

37/3-98Y 35 Hickory Avenue
(Takoma Park Historic District)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-10-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied

✓

Approved with Conditions:

- 1) Permit set of drawings to be submitted to HPC staff for review & stamp.
- 2) All framing to be of wood
- 3) Architectural details removed to be stored on site

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jim & Megan Swoyers

Address: ~~200~~ 35 Hickory Avenue Phone Park

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Jim Swyers

Daytime Phone No.: 301-270-4129

Tax Account No.: 106 8994

Name of Property Owner: Jim & Megan Swyers Daytime Phone No.: 301-270-4129

Address: 206 Spring Ave. Takoma Park, MD 20912
Street Number City State Zip Code

Contractor: Added Dimensions, Inc. Phone No.: 301-270-8235

Contractor Registration No.: 51200

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: # 35 Street: Hickory Ave

Town/City: Takoma Park Nearest Cross Street: Elm Ave

Lot: 25 Block: 17 Subdivision: B.F. Gilbert

Liber: 9644 Folio: 275 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James P. Swyers
Signature of owner or authorized agent

5/5/98
Date

Approved: WJcond For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6-10-98

Application/Permit No.: 9805060062 Date Filed: 5-6-98 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a 90-year old, 2-story frame house that is listed as a "contributing" property on the Master Plan. The house has been maintained in fairly original shape, except for the enclosure of a sleeping porch (see photo A) and the replacement of the original metal roof with fiberglass shingles. The interior woodwork is bare, except for paint in two rooms. Overall structure is sound, except for the back 2nd-floor porch.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project involves enclosing the back porch area (1st floor) and converting it to living space. There has been significant settling of the upstairs porch in right rear corner (see photo B). It is therefore necessary to first jack up the upstairs porch, ~~upon footing~~, build brick foundation, and then shore up the upstairs structure w/ 6" thick walls beneath.

2. **SITE PLAN** Without this work, the entire back corner of the upstairs

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-10-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *GW*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Fence Design for 35 Hickory Ave

APPROVED
Montgomery County
Historic Preservation Commission

Wendy K. [Signature] 6/10/98

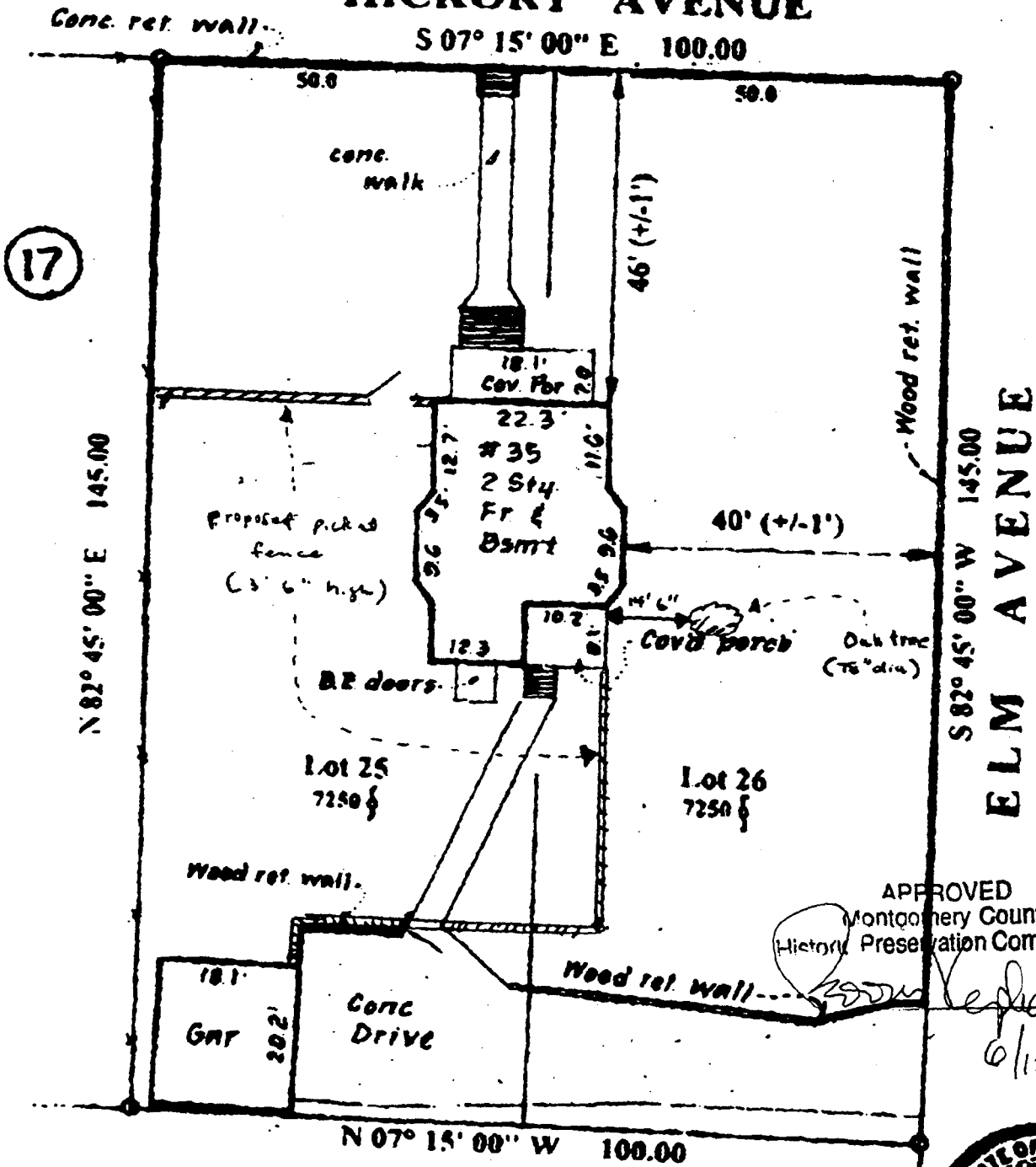
Names and Addresses of Adjacent Property Owners

1. John P. and G. Pavlovsky - #33 Hickory Street. (next door on left side -- will be impacted by changes when viewed from back yard) (see photo C)
2. David Corn - # 38 Hickory Street (directly across street-- will not be impacted by changes) (see photo D)
3. Charles and J. Lee - # 116 Elm Avenue (directly behind house -- will be impacted by changes) (see photo B)
4. John Nevins Andrews School - # 117 Elm Avenue (directly across Elm Avenue-- N/A)

L. D. OTECH ASSOCIATES, INC.
 7807 BALTIMORE AVENUE SUITE 814
 COLLEGE PARK, MARYLAND 20740

HICKORY AVENUE

S 07° 15' 00" E 100.00



17

APPROVED
 Montgomery County
 History Preservation Commission

Keenan
 6/10/98



NOTES:

The plot is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 The plot is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
 The plot does not provide for the accurate identification of property industry lines, but such identification may not be required for the

1

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 35 Hickory Avenue **Meeting Date:** 06/10/98
Resource: Takoma Park Historic District **Review:** HAWP
Case Number: 37/3-98Y (REVISION) **Tax Credit:** None
Public Notice: 05/27/98 **Report Date:** 06/03/98
Applicant: Jim & Megan Swyers **Staff:** Perry Kephart
PROPOSAL: Rear porch enclosure **RECOMMEND:** Approval
With Conditions.

DATE OF CONSTRUCTION: ca. 1908

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

The wood frame, two-story, two bay cross-gabled Sears house has a full width front porch with a balustraded balcony above and stairs leading down to grade on the right front. Set diagonally from the front entrance is a rear corner pocket porch with steps leading to grade. Above the rear porch is a full width sleeping porch that has been enclosed with a ribbon of windows sized to fit under the eaves of the rear gable. The cross gables on both sides are square cornered on the second floor with a three sided bay on the first level. The house is set above grade on a brick foundation and is on a corner lot.

PROPOSAL

The applicant proposes:

1. To enclose the rear corner pocket porch ~~with lapped siding and install double french doors and a wood stoop and steps to grade.~~ with wood panels above and below paired 1/1 windows. The existing porch supports are proposed to be retained. A pair of single light french doors with a one light transom above is proposed to be installed with steps leading down to grade.
2. ~~Replace the brick pier supporting the existing porch with a brick foundation.~~
3. Repair the sagging sleep porch. ~~and replace the five windows enclosing the sleeping porch with two windows and a wood, lap-sided wall.~~
4. ~~Replace the existing window to the rear of the first floor with two windows removed from the second floor porch (see 3.)~~
5. Install a 42" wood picket fence, with wood gates, from the right front corner of the

(R1)

house out to the property line and from the left rear corner of the house back to the concrete apron at the rear of the property.

STAFF DISCUSSION

The applicant's architect has provided a new set of drawings for the pocket rear porch modification. The differentiation between the porch opening and the solid mass of the house has been preserved, in staff's opinion, by the use of windows and wood panels rather than of lapped siding.

Proposed changes to the sleeping porch windows and the rear window have been deleted from the application.

The architect has also indicated that the latticework and brick pier foundation structure under the porch can be retained, with rehabilitation that would be eligible for a tax credit, as the foundation for the new porch enclosure.

Modifications to the rear of a structure are generally approved. For this unusually intact structure that sits on a corner lot such that three sides are readily visible from either Hickory or Elm Avenue, the proposed changes do not, in staff's opinion, substantially alter the streetscape in a historic district.

Staff would concur with the applicant's proposal to repair the structural problems with the sleep porch, work that is eligible for a tax credit.

Staff would recommend that the original porch doors and railing be preserved and stored, if they cannot be used at this time, as they are original materials.

The fence that is proposed on the attached plat is probably approveable, but staff would suggest that a fence design be submitted for staff approval as part of the application.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions:

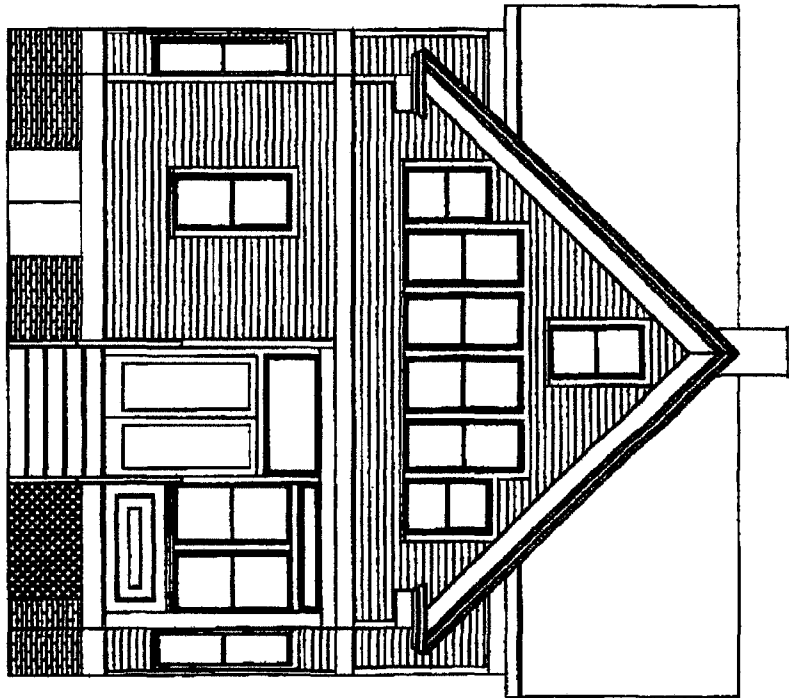
R2

1. The window and door framing and paneled siding used to enclose the rear pocket porch are to be of wood.
2. Any doors or railings, or other original architectural details, removed should be stored on the premises for future reinstallation.
3. The permit set of construction drawings is to be stamped as approved by the HPC staff before being submitted to the Department of Permitting Services.
4. A design for the picket fence is to be submitted to the HPC staff to be approved.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

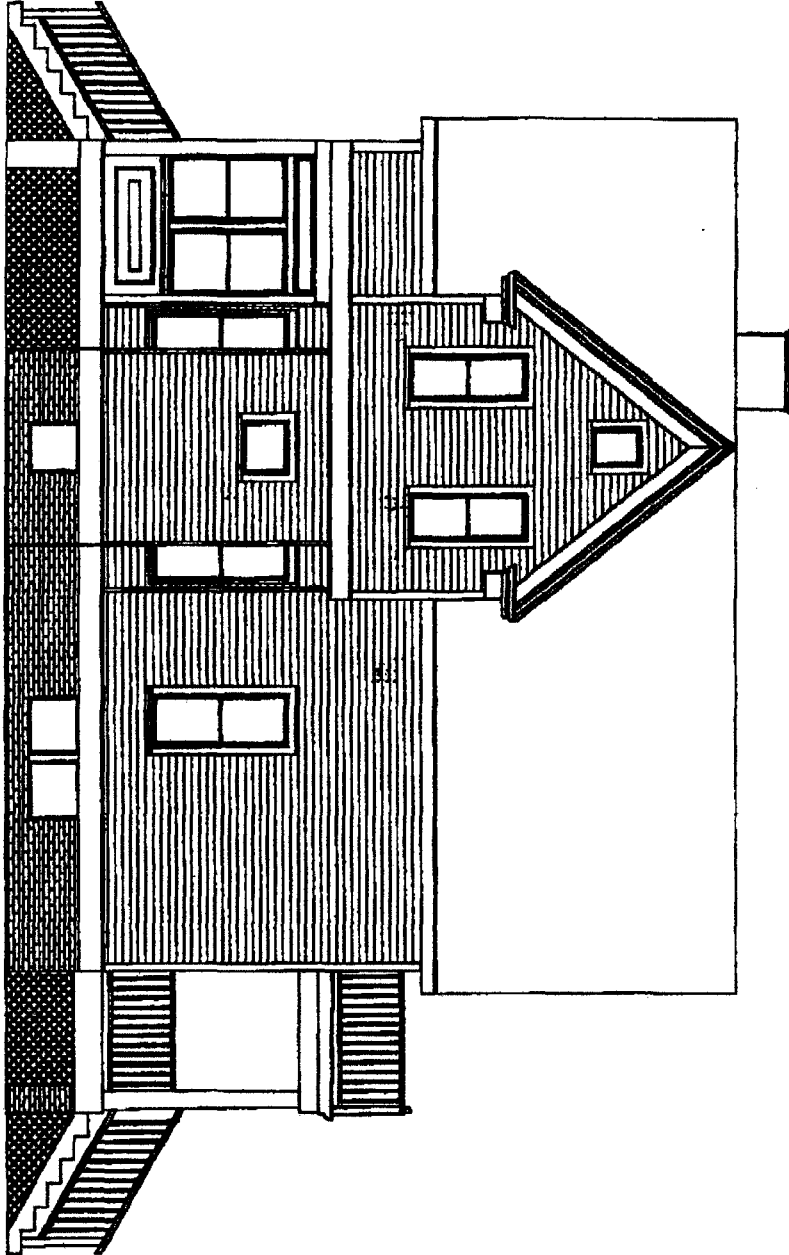
R3

NEW REAR ELEVATION
SCALE: 1/4" = 1'-0"



RA

NEW SIDE ELEVATION
SCALE: 1/4"=1'-0"



R5

June 2, 1998

Ms. Kephart-

I am faxing to you, two new elevations of the house @ 36 Hickory in Takoma Park. I have added transoms above the windows to the height of the porch trim as well as panels under the windows as opposed to siding. Please call if you have any comments or questions! I'll be happy to address any concerns you may have.

Thank you for your time!

Sincerely,

Dana Haden

My number is 301-270-5911.

Names and Addresses of Adjacent Property Owners

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Case Number: 37/3-98Y	Tax Credit: None
Public Notice: 05/13/98	Report Date: 05/20/98
Applicant: Jim & Megan Swyers	Staff: Perry Kephart
PROPOSAL: Rear porch enclosure	RECOMMEND: Approval With Conditions.

DATE OF CONSTRUCTION: ca. 1908

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

The wood frame, two-story, two bay cross-gabled Sears house has a full width front porch with a balustraded balcony above and stairs leading down to grade on the right front. Set diagonally from the front entrance is a rear corner pocket porch with steps leading to grade. Above the rear porch is a full width sleeping porch that has been enclosed with a ribbon of windows sized to fit under the eaves of the rear gable. The cross gables on both sides are square cornered on the second floor with a three sided bay on the first level. The house is set above grade on a brick foundation and is on a corner lot.

PROPOSAL

The applicant proposes:

1. To enclose the rear corner pocket porch with lapped siding and install double french doors and a wood stoop and steps to grade.
2. Replace the brick pier supporting the existing porch with a brick foundation.
3. Repair the sagging sleep porch and replace the five windows enclosing the sleeping porch with two windows and a wood, lap-sided wall.
4. Replace the existing window to the rear of the first floor with two windows removed from the second floor porch (see 3.)
5. Install a 42" wood picket fence, with wood gates, from the right front corner of the house out to the property line and from the left rear corner of the house back to the concrete apron at the rear of the property.

①

STAFF DISCUSSION

Modifications to the rear of a structure are generally approved. In this case, however, the historic resource is, as the applicant has noted, an unusually intact structure. It should also be taken into consideration that it sits on a corner lot such that three sides are readily visible from either Hickory or Elm Avenue. Changes to the rear of this resource on the corner facing the street must be considered as substantially altering the streetscape in a historic district.

Staff would concur with the applicant's proposal to repair the structural problems with the sleep porch, work that is eligible for a tax credit. Staff is concerned with the replacement of the windows on the porch with lapped siding. The configuration of windows now enclosing the porch are a notable feature of the house, and removal should be avoided. Further enclosure would remove any vestige of the original architectural features.

Of greater concern is the removal of the pocket porch at the corner of the house that would take away an important component of the overall design of the house that balances the porch treatment on the front facade. The relationship of front and rear entrances and the subordination of the rear entrance is an important feature of the architecture of this period. Staff would suggest that the porch might be enclosed if it is needed as interior living space, but that it should be retained and discernible as a historic feature of the house.

Replacement of the porch pier with a brick foundation would modify the existing contrast between the latticework enclosed open space under the porch and the solid brick foundation that is supporting the house. More problematic is the unknown affect this construction would have on the large tree near the site. The care with which the applicant proposes to undertake the project is to be commended, but as all parties are concerned that the project will adversely affect the tree, staff would recommend that this be studied further before the project is approved.

The fence that is proposed on the attached plat is probably approveable, but staff would suggest that a fence design be submitted for approval as part of the application.

The replacement of original features, in this case, the window on the first level at the rear, is always discouraged.

Staff would suggest that the applicant may want to rework the proposal and return with a revised application.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;



REMOVE SOME WINDOWS

ENCLOSE EXISTING PORCH

INSTALL NEW WOOD FRENCH DOORS

INSTALL DOUBLE WINDOW (REUSE EXISTING WINDOW FROM ABOVE)

INSTALL WOOD STOOP AND STEPS TO GRADE

INSTALL NEW BRICK FOUNDATION UNDER OLD PORCH

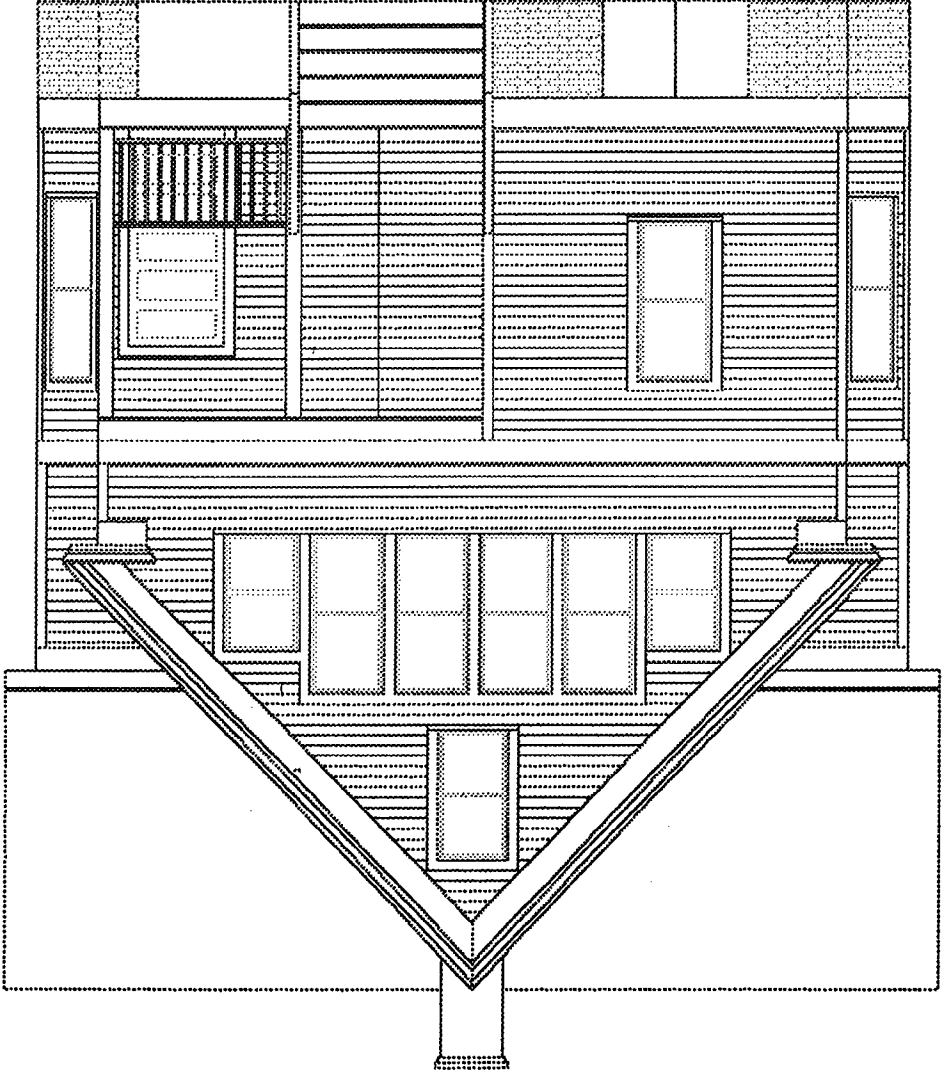
PROPOSED REAR ELEVATION



21

SCALE: 1/4"=1'-0"

EXISTING REAR ELEVATION



copy

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions:

1. The rear porch will be enclosed such that it be still discernible as the rear porch. A revised design for enclosure will be presented for approval.
2. The windows are not to be modified on the sleeping porch.
3. The original rear window on the first level is not to be replaced.
4. The existing exterior walls of the rear porch are to be retained, and any doors removed should be stored on the premises for future reinstallation.
5. More information is to be provided to the HPC as to the adverse effects of installing a brick foundation on the large tree near the proposed construction site.
6. A design for the picket fence is to be submitted to the HPC staff to be approved.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jim Swyers
Daytime Phone No.: 301-270-4129

Tax Account No.: 106 8994

Name of Property Owner: Jim & Megan Swyers Daytime Phone No.: 301-270-4129

Address: 206 Spring Ave. Takoma Park, MD 20912
Street Number City State Zip Code

Contractor: Added Dimensions, Inc. Phone No.: 301-270-8235

Contractor Registration No.: 51200 Dana Waden

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: # 35 Street: Hickory Ave.

Town/City: Takoma Park Nearest Cross Street: Elm Ave.

Lot: # 25 Block: 17 Subdivision: B.F. Gilbert

Liber: 9644 Folio: 275 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James P. Swyers
Signature of owner or authorized agent

5/5/98
Date

4

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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This project involves enclosing the back porch area (1st floor) and converting it to living space. There has been significant settling of the upstairs porch in right rear corner (see photo B). It is therefore necessary to first jack up the upstairs porch, pour footing, build brick foundation, and then shore up the upstairs structure w/ 6" thick walls beneath.

2. **SITE PLAN** Without this work, the entire back corner of the upstairs is in peril.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

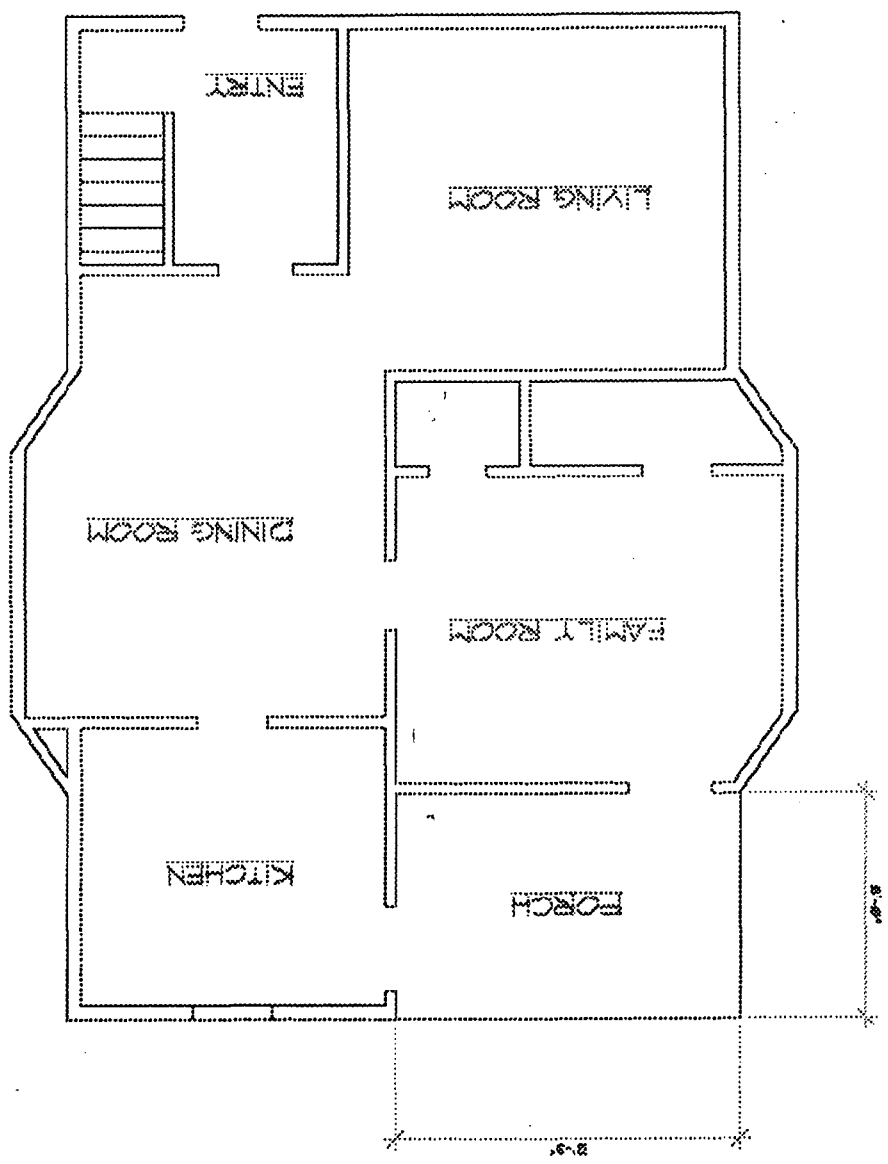
5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

(5)

8

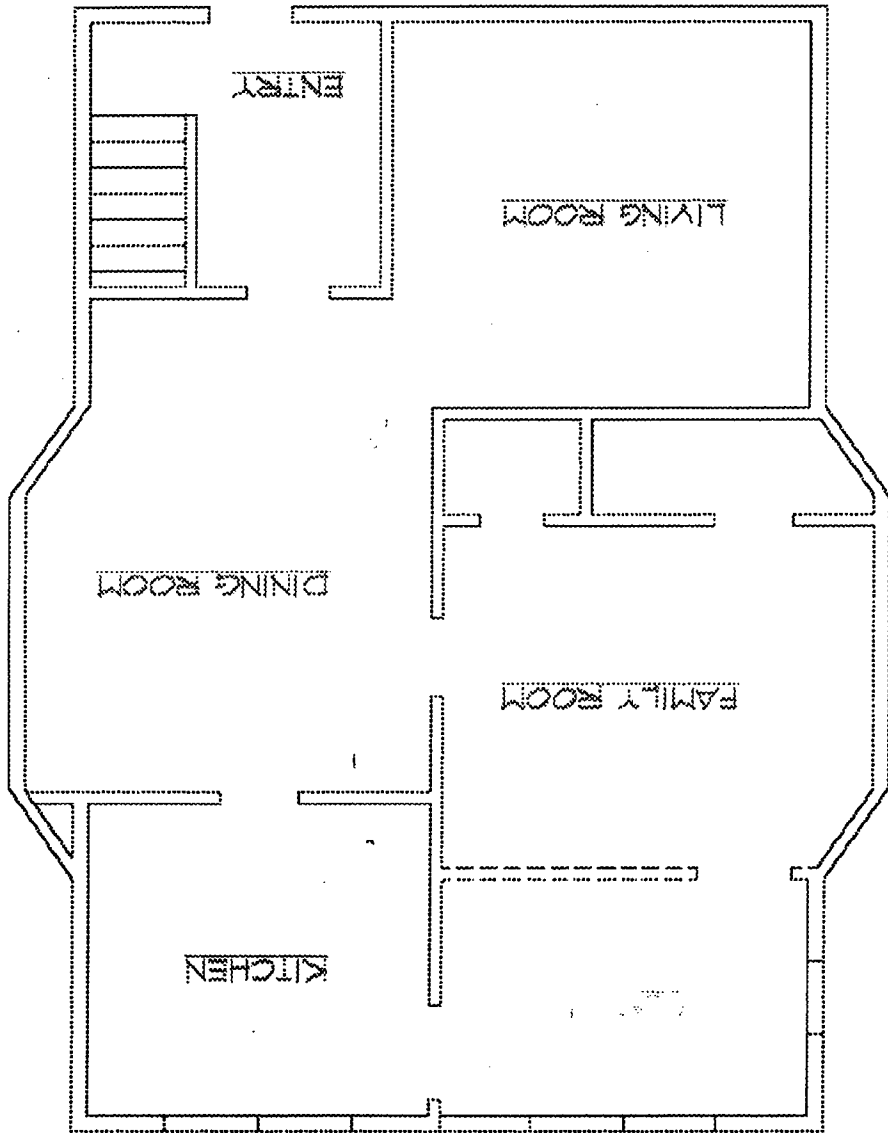
EXISTING FIRST FLOOR PLAN



Copy A

10

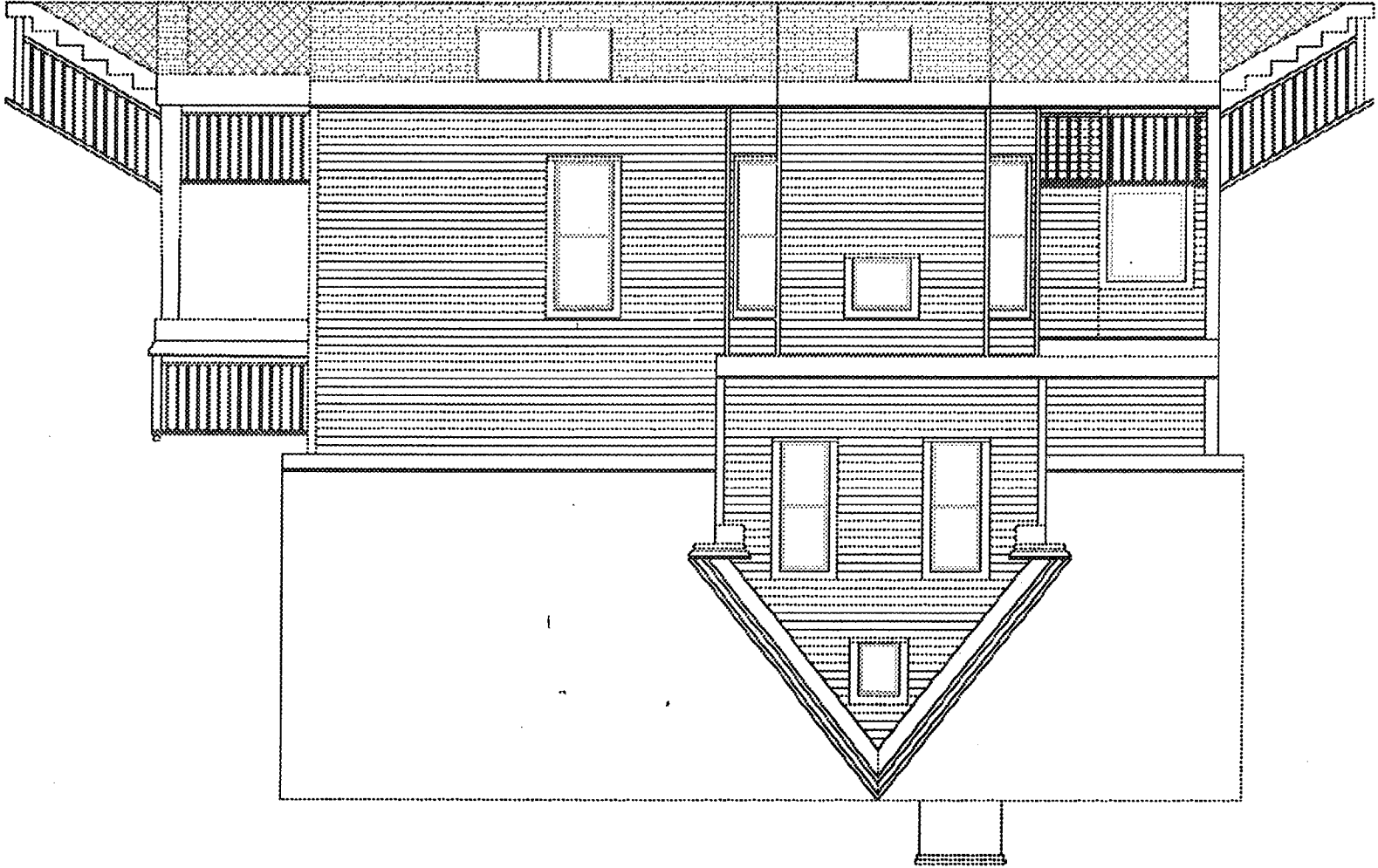
NEW FIRST FLOOR PLAN



1/2

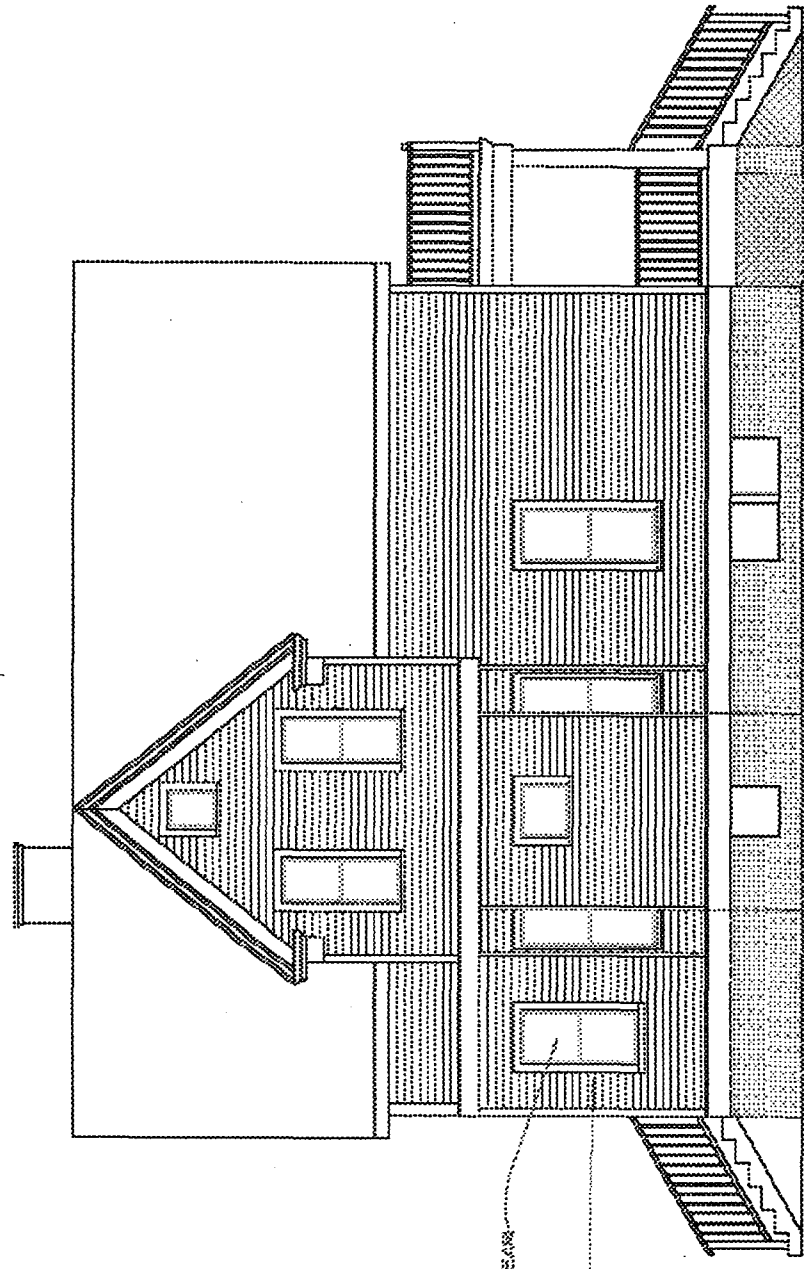
21

EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1x
copy

copy. 13



INSTALL NEW WINDOW CASES/USE EXISTING WINDOW FROM MEANS
 FOR NEW PORCH ENCLOSURE - USE
 NEW SIDING TO MATCH EXISTING

PROPOSED SIDE ELEVATION

Description of Materials

Foundation:

The foundation above the ground will be built entirely of red brick to match the existing foundation.

Siding:

Because the proposed project involves attempting to match the porch enclosure as closely as possible to the rest of the house, our plan is to recycle as much material as possible. During the demolition of the back porch, the existing siding will be removed as carefully as possible and preserved for finishing the outside of the enclosure. Also, inside the upstairs sleeping porch, there is some additional siding on the interior wall that can be recycled as well.

Windows:

On the upstairs sleeping porch, which is to be converted to additional bedroom and closet space for the two upstairs back bedrooms, our plan is to eliminate the two smaller outside windows and the two center windows (see photo C) and leave the final two existing windows. That is, there will be only one back window per bedroom (total of 2) where there now are 6 windows aligned in a row (see plans and elevation section). The area around these two last windows will be filled in with identical siding. One of the two windows that is removed will be used on the outside wall of the new first floor enclosure (see photo A). The only new windows and doors will be on the back of the house: A new double wood-framed window in the kitchen, and a double wood-framed door on the back corner of the house.

Painting and Roofing:

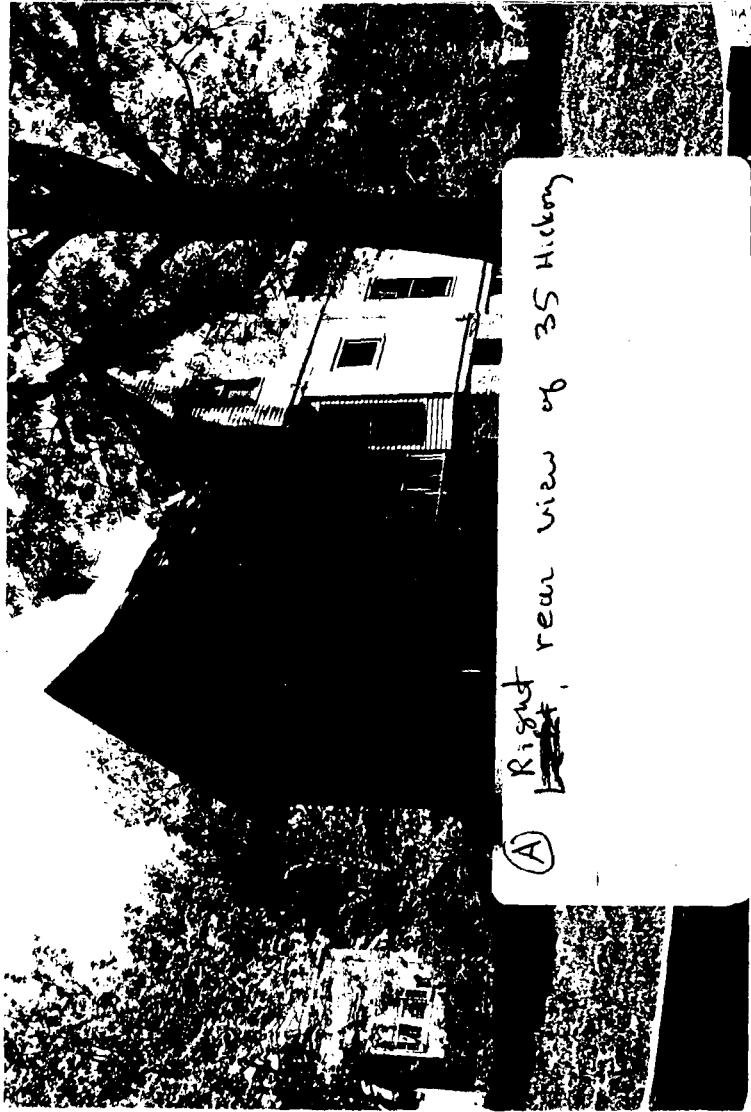
When all of the exterior repairs have been completed, the entire house will be repainted. This includes all of the siding, soffit, trim, windows, and doors. Therefore, when the entire project is complete, no one but a trained professional will be able to detect a difference between the older and new sections of the house's exterior. In addition, the roof will be completely replaced with 25-year fiberglass shingles that match the existing roof as closely as possible.

Tree Protection Plan

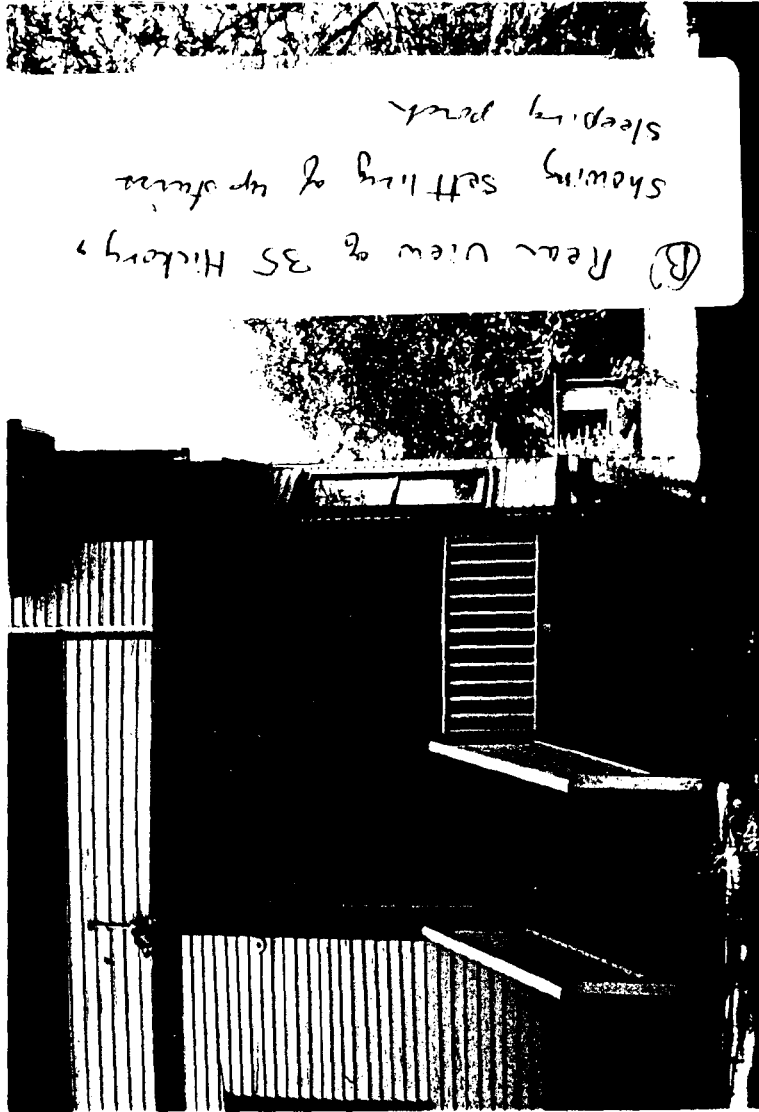
The proposed project lies immediately adjacent (about 2 feet outside the drip line) of a 45 foot tall (78 in. dia.) white oak tree. These trees are very sensitive to root disturbance, and precautions must be taken to ensure that damage is minimized during any excavation and construction activity.

Therefore, to minimize any damage to this beautiful, healthy tree, we will take the following steps:

1. Enlist the services of **Watershed Landscapes, Inc.** (Paul Crumrine, Pres., 301-588-0070) to supervise the digging of the foundation, which will be about 15 feet from the trunk of the tree (See Section A, Site Plan).
2. The foundation will be dug by hand rather than by backhoe or ditchwitch. Furthermore, if any major roots are discovered to be intersecting with the work area, an additional space will be dug under the entire length of the root to just outside the work area so that the root can be buried deeper in the ground and will not be significantly impacted by the new foundation.
3. A fence will be constructed around the entire perimeter of the tree along the drip line to protect it from any negative impact by construction equipment or vehicles. However, the use of heavy equipment is not anticipated in this area, other than heavy-duty jacks to fix the structural problems with the house.
4. If deemed appropriate by ^{our}~~the~~ landscape consultant, additional watering, mulching, and fertilization may be implemented.



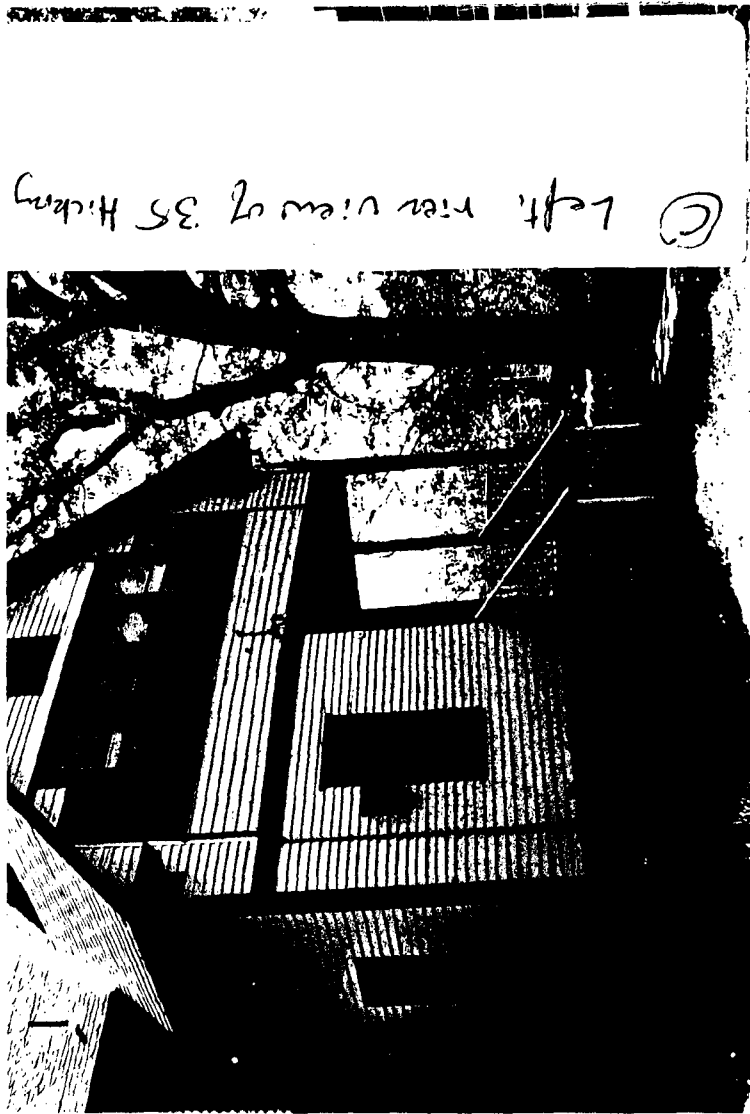
(A) Right ~~side~~, rear view of 35 Hickory



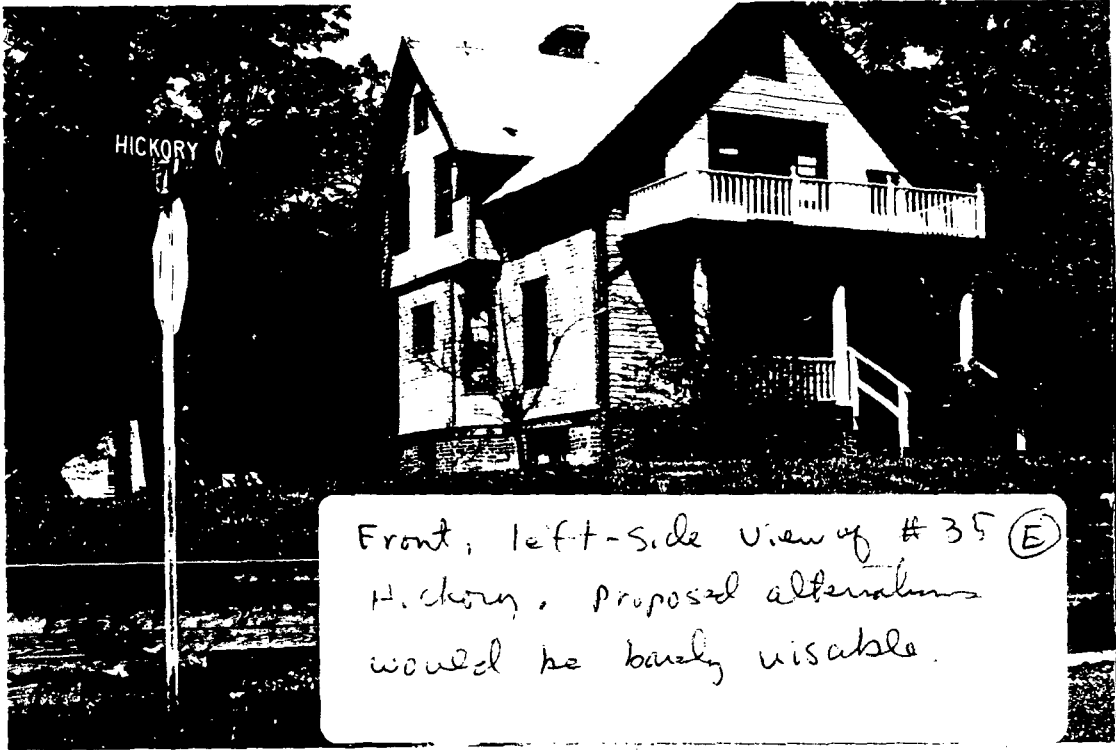
(B) Rear view of 35 Hickory, showing settling of upper floor sleeping porch



① Back front view of #35 Hickory & Mc Chesney properties



② Left rear view of 35 Hickory



Front, left-side view of #35 (E)
Hickory. Proposed alterations
would be barely visible.



Front, right side view of (F)
#35 Hickory. No changes
proposed

LANDTECH ASSOCIATES, INC.
7807 BALTIMORE AVENUE SUITE 214
COLLEGE PARK, MARYLAND 20740

HICKORY AVENUE

Conc. ret. wall

S 07° 15' 00" E 100.00

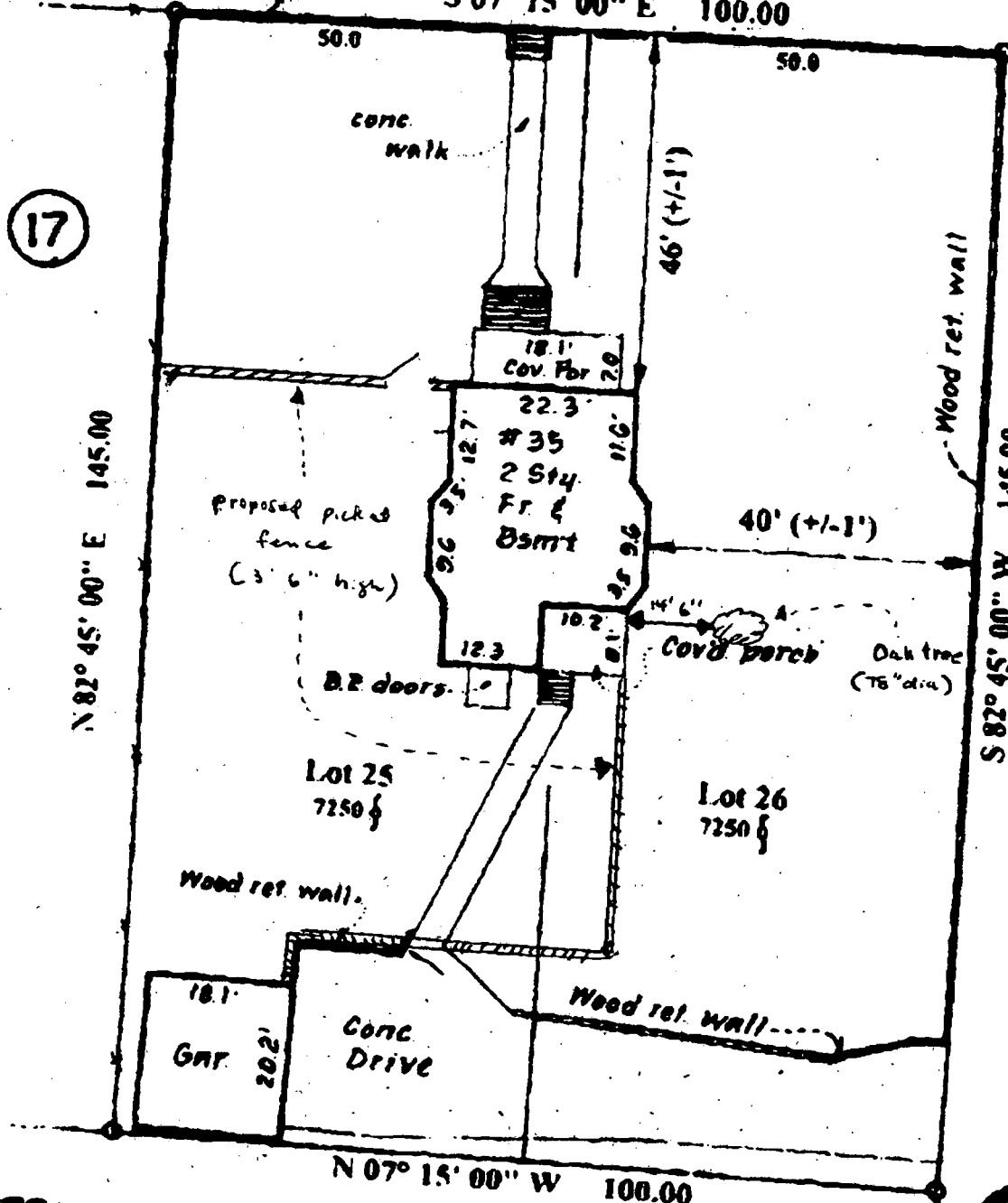
17

N 82° 45' 00" E 145.00

Wood ret. wall

S 82° 45' 00" W 145.00

ELM AVENUE

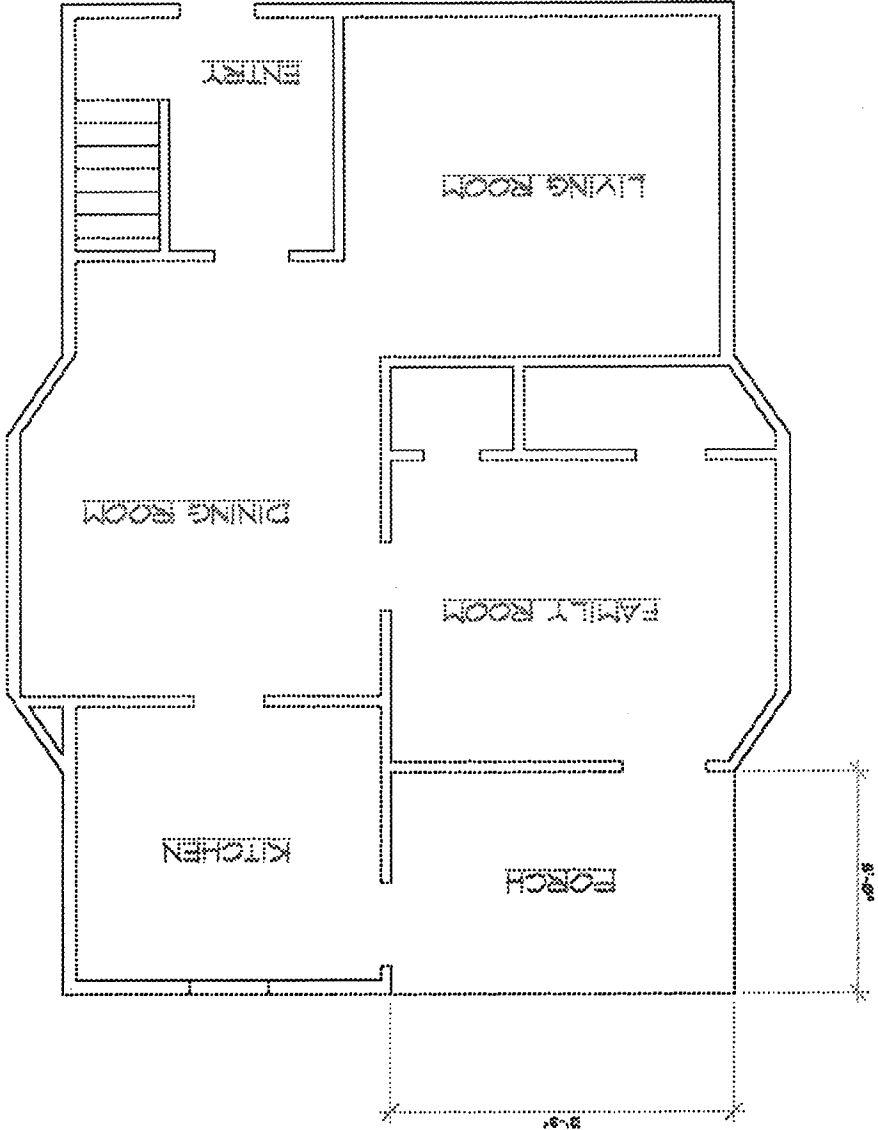


NOTES:

1. The plot is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plot is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plot does not provide for the accurate identification of property boundary lines, but such identification may not be required for the

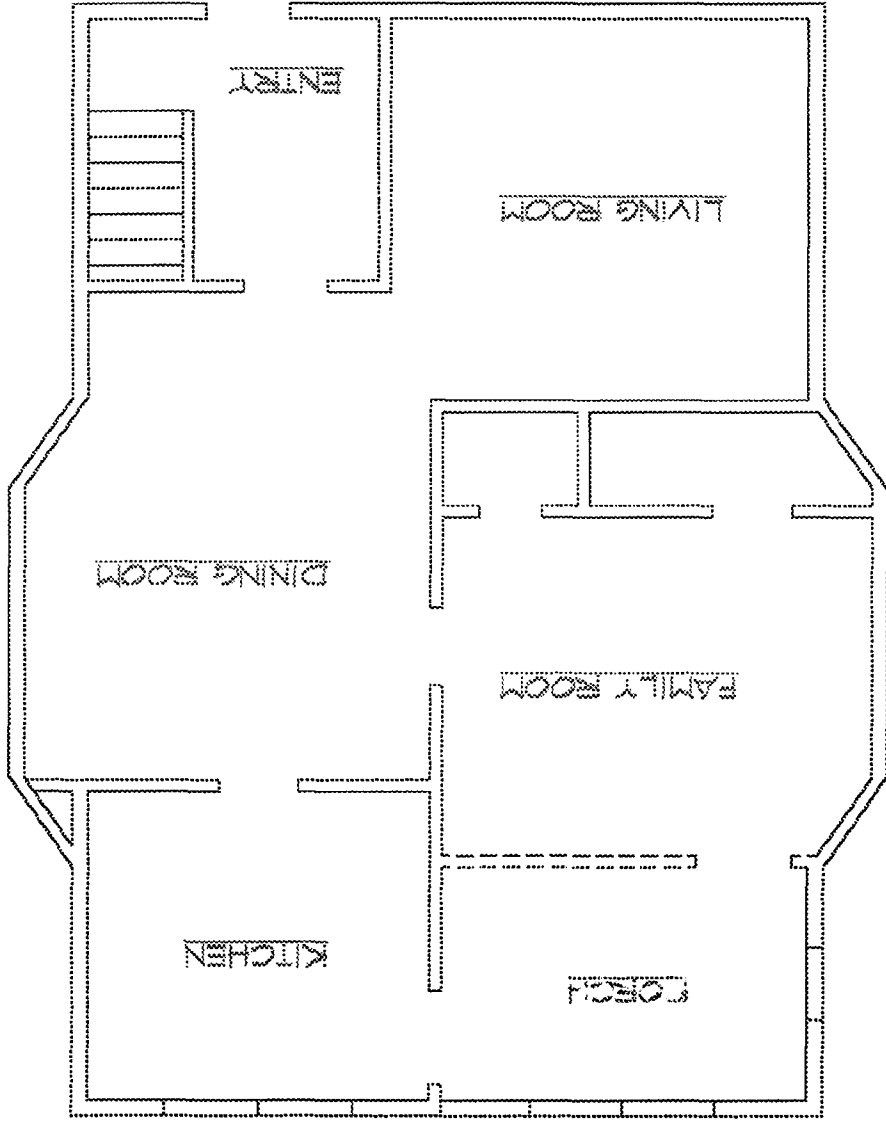


EXISTING FIRST FLOOR PLAN



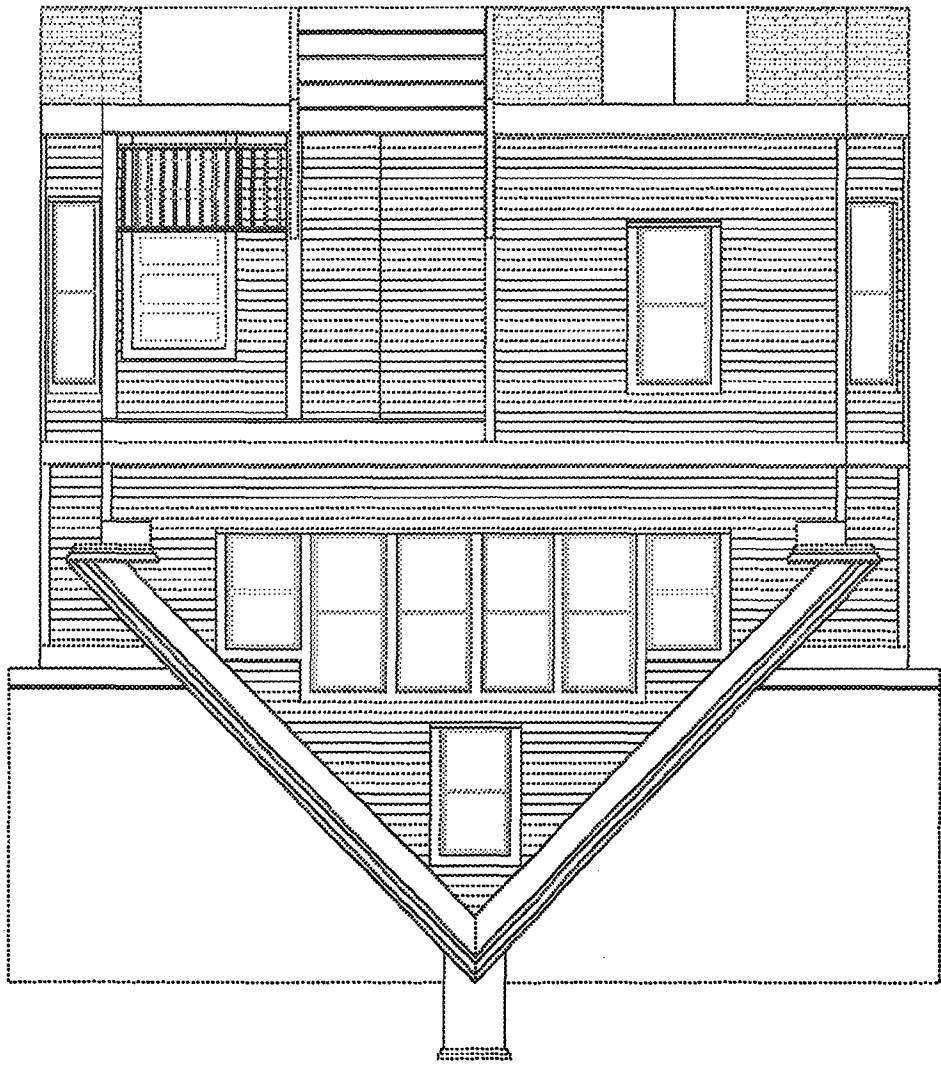
Copy A

NEW FIRST FLOOR PLAN



Copy A

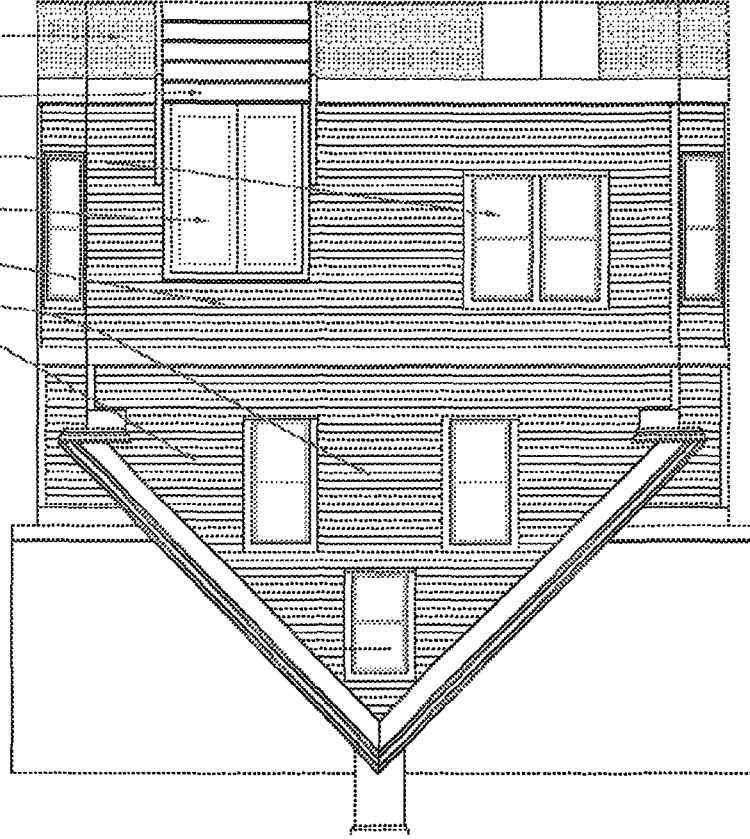
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



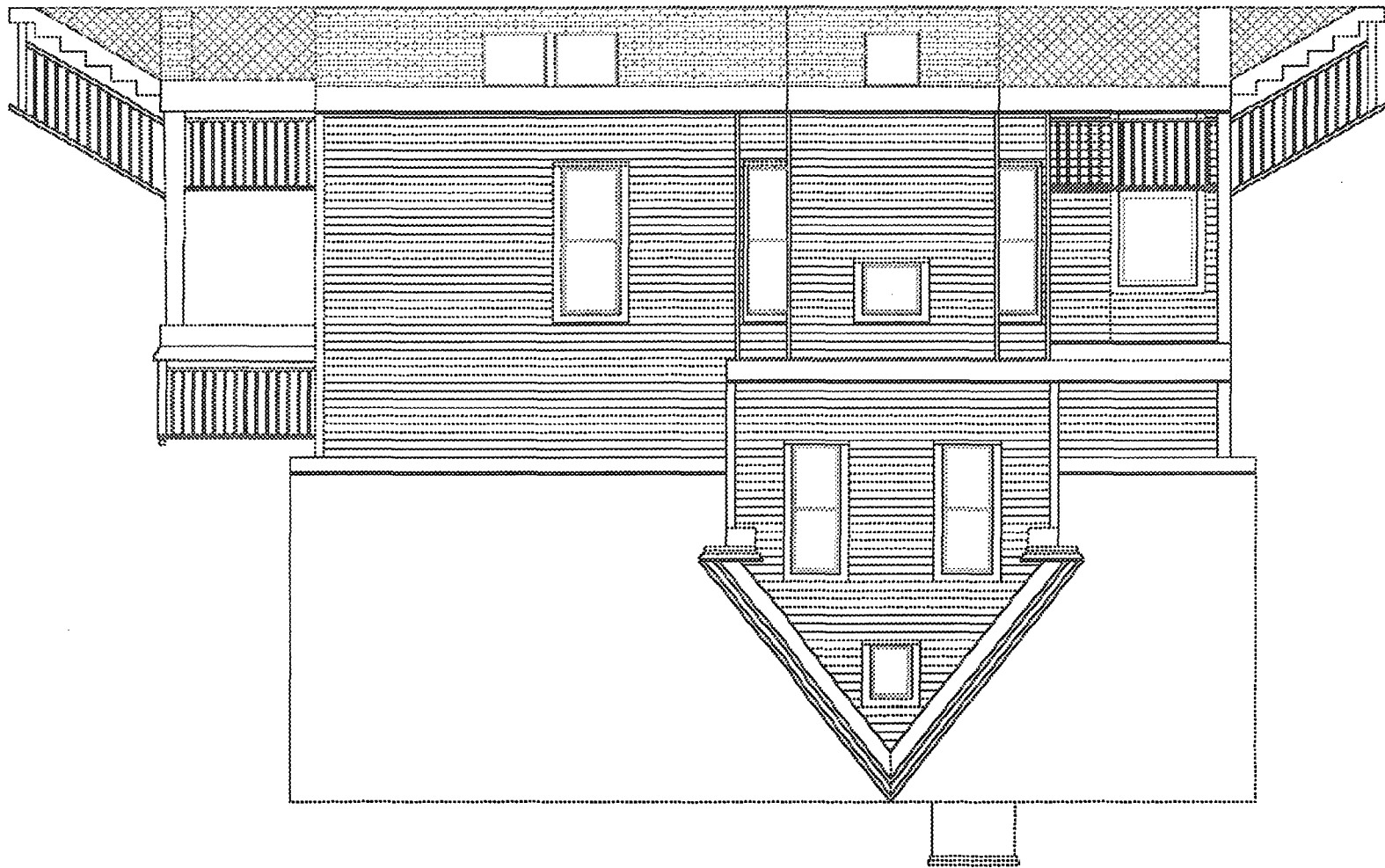
hda7

PROPOSED REAR ELEVATION

- INSTALL NEW BRICK FOUNDATION UNDER OLD PORCH
- INSTALL WOOD STOMP AND STEPS TO GRADE
- INSTALL DOUBLE WINDOW (REUSE EXISTING WINDOW FROM ABOVE)
- INSTALL NEW WOOD PRENCH DOORS
- ENCLOSE EXISTING PORCH
- REMOVE SOME WINDOWS

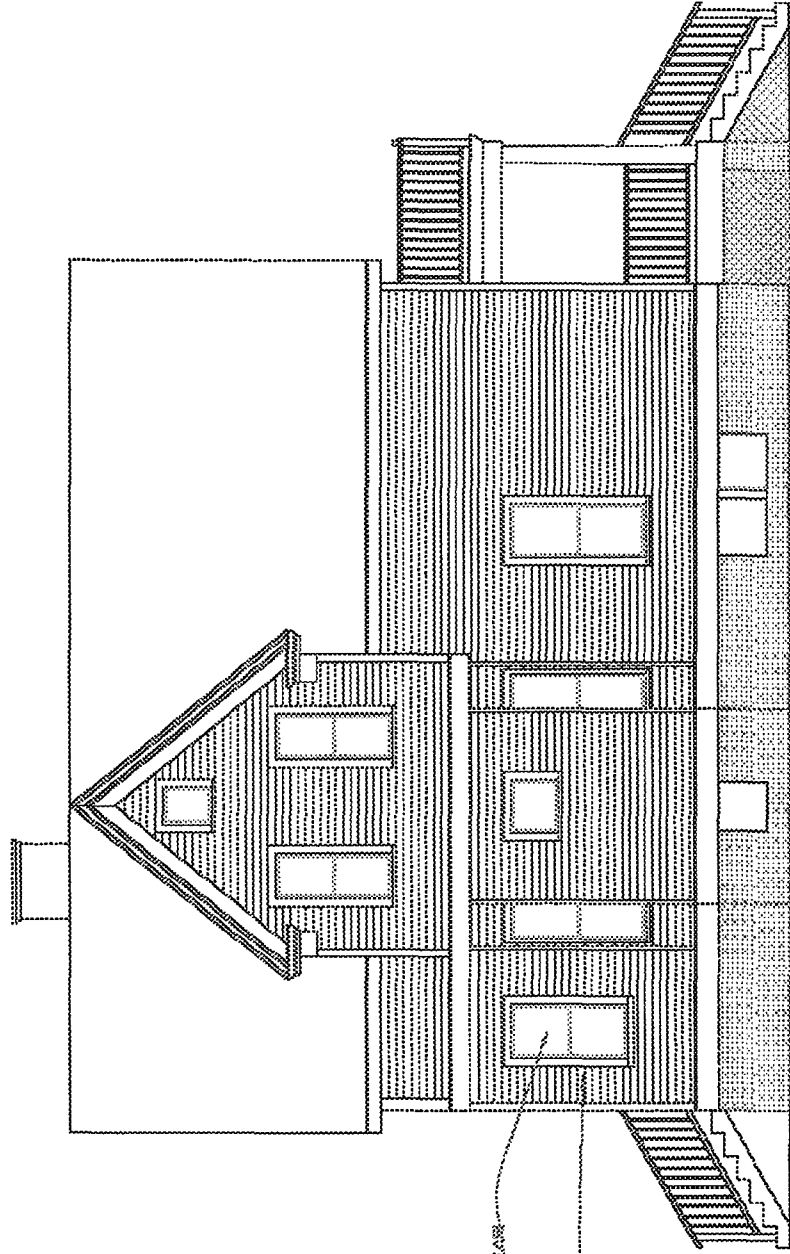


EXISTING SIDE ELEVATION
SCALE: 1/4"=1'-0"



Copy A

Copy A



INSTALL NEW WINDOWS (REUSE EXISTING WINDOWS FROM REAR)
FOR NEW FRONT ENCLOSURE - USE
NEW SIDING TO MATCH EXISTING

PROPOSED SIDE ELEVATION

Description of Materials

Foundation:

The foundation above the ground will be built entirely of red brick to match the existing foundation.

Siding:

Because the proposed project involves attempting to match the porch enclosure as closely as possible to the rest of the house, our plan is to recycle as much material as possible. During the demolition of the back porch, the existing siding will be removed as carefully as possible and preserved for finishing the outside of the enclosure. Also, inside the upstairs sleeping porch, there is some additional siding on the interior wall that can be recycled as well.

Windows:

On the upstairs sleeping porch, which is to be converted to additional bedroom and closet space for the two upstairs back bedrooms, our plan is to eliminate the two smaller outside windows and the two center windows (see photo C) and leave the final two existing windows. That is, there will be only one back window per bedroom (total of 2) where there now are 6 windows aligned in a row (see plans and elevation section). The area around these two last windows will be filled in with identical siding. One of the two windows that is removed will be used on the outside wall of the new first floor enclosure (see photo A). The only new windows and doors will be on the back of the house: A new double wood-framed window in the kitchen, and a double wood-framed door on the back corner of the house.

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Tree Protection Plan

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Therefore, to minimize any damage to this beautiful, healthy tree, we will take the following steps:

1. Enlist the services of **Watershed Landscapes, Inc.** (Paul Crumrine, Pres., 301-588-0070) to supervise the digging of the foundation, which will be about 15 feet from the trunk of the tree (See Section A, Site Plan).
2. The foundation will be dug by hand rather than by backhoe or ditchwitch. Furthermore, if any major roots are discovered to be intersecting with the work area, an additional space will be dug under the entire length of the root to just outside the work area so that the root can be buried deeper in the ground and will not be significantly impacted by the new foundation.
3. A fence will be constructed around the entire perimeter of the tree along the drip line to protect it from any negative impact by construction equipment or vehicles. However, the use of heavy equipment is not anticipated in this area, other than heavy-duty jacks to fix the structural problems with the house.
4. If deemed appropriate by ~~the~~^{our} landscape consultant, additional watering, mulching, and fertilization may be implemented.



(A) ~~Right~~ Rear view of 35 Hickory



(B) Rear view of 35 Hickory,
showing settling of up stairs
sleeping porch



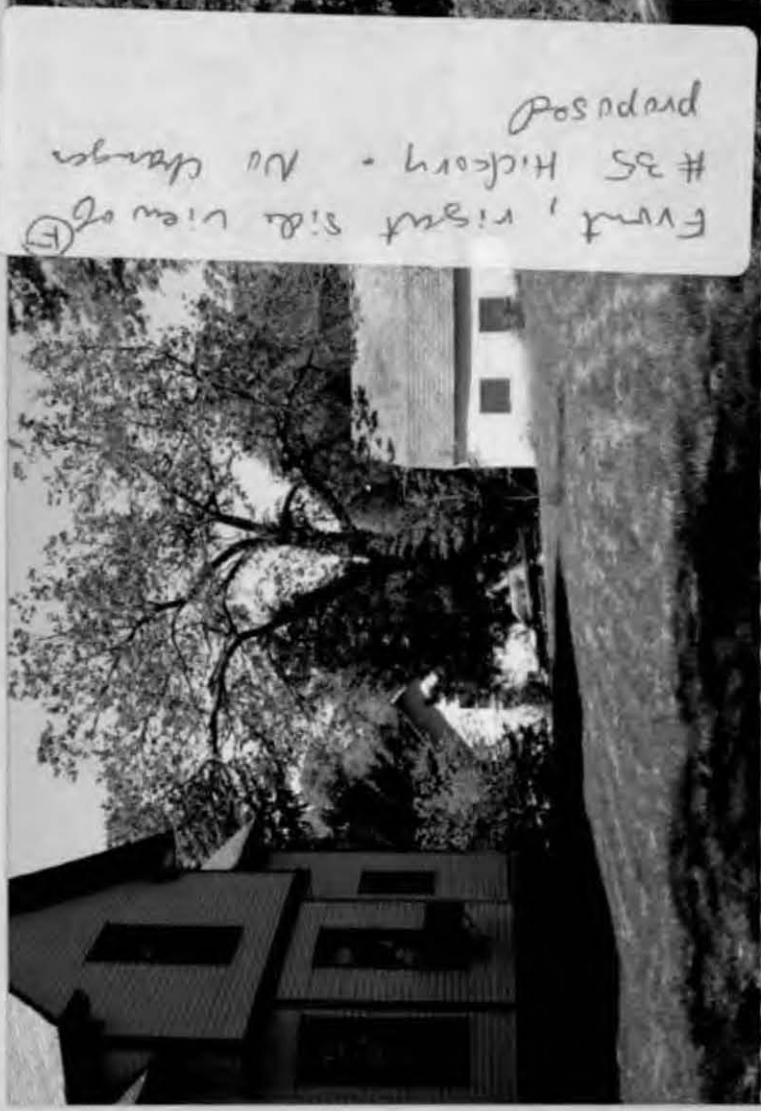
© Left, view view of 35 Hickory



Full front view of #35 ①
Hickory. No changes proposed



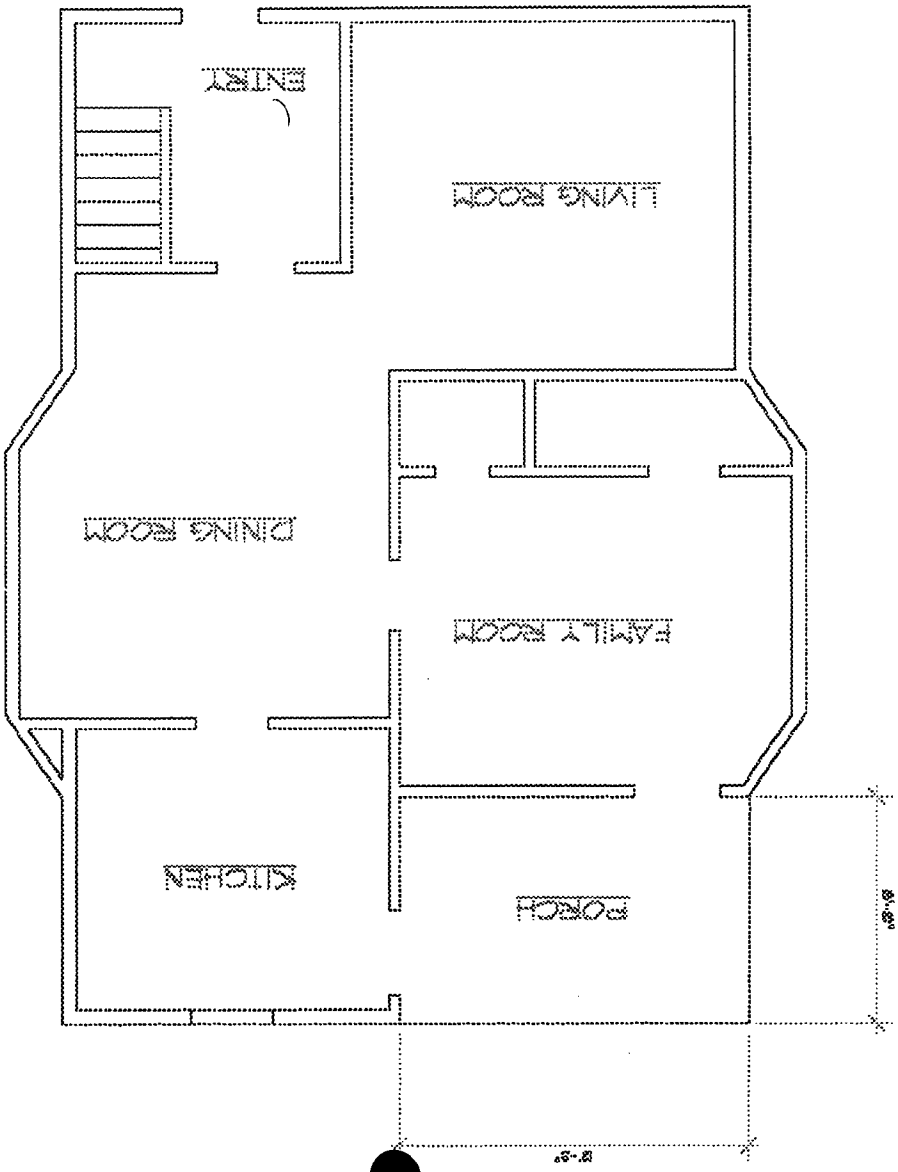
Front, left-side view of #35 (E)
Hickory, Proposed alterations
would be barely visible.



Front, right side view of (E)
#35 Hickory - No changes
proposed

1. When was ~~was~~ porch en
closed?
2. chg in a/
3. what is sence? that
is in proposal.

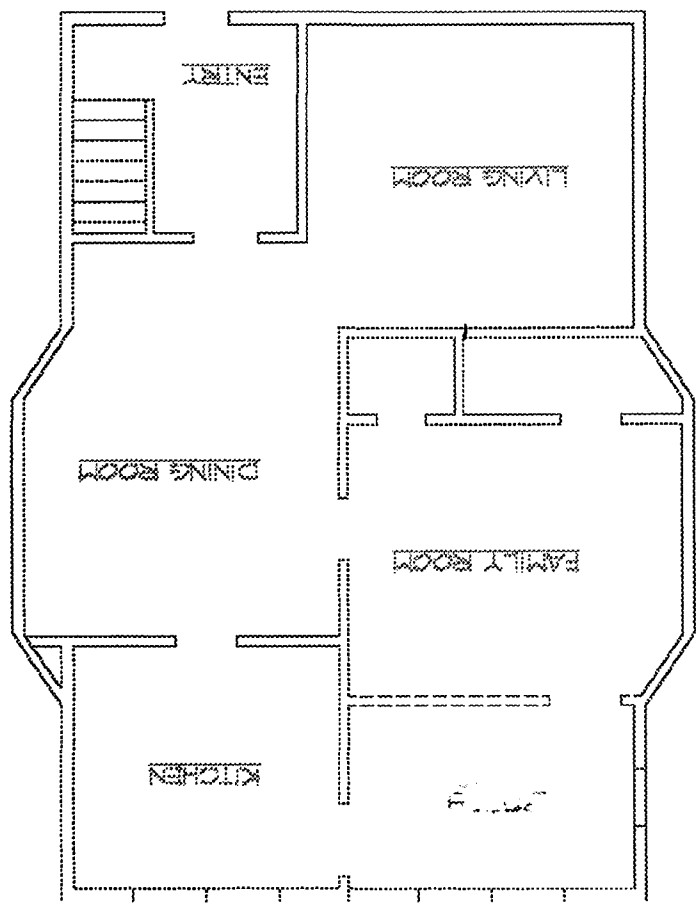
EXISTING FIRST FLOOR PLAN



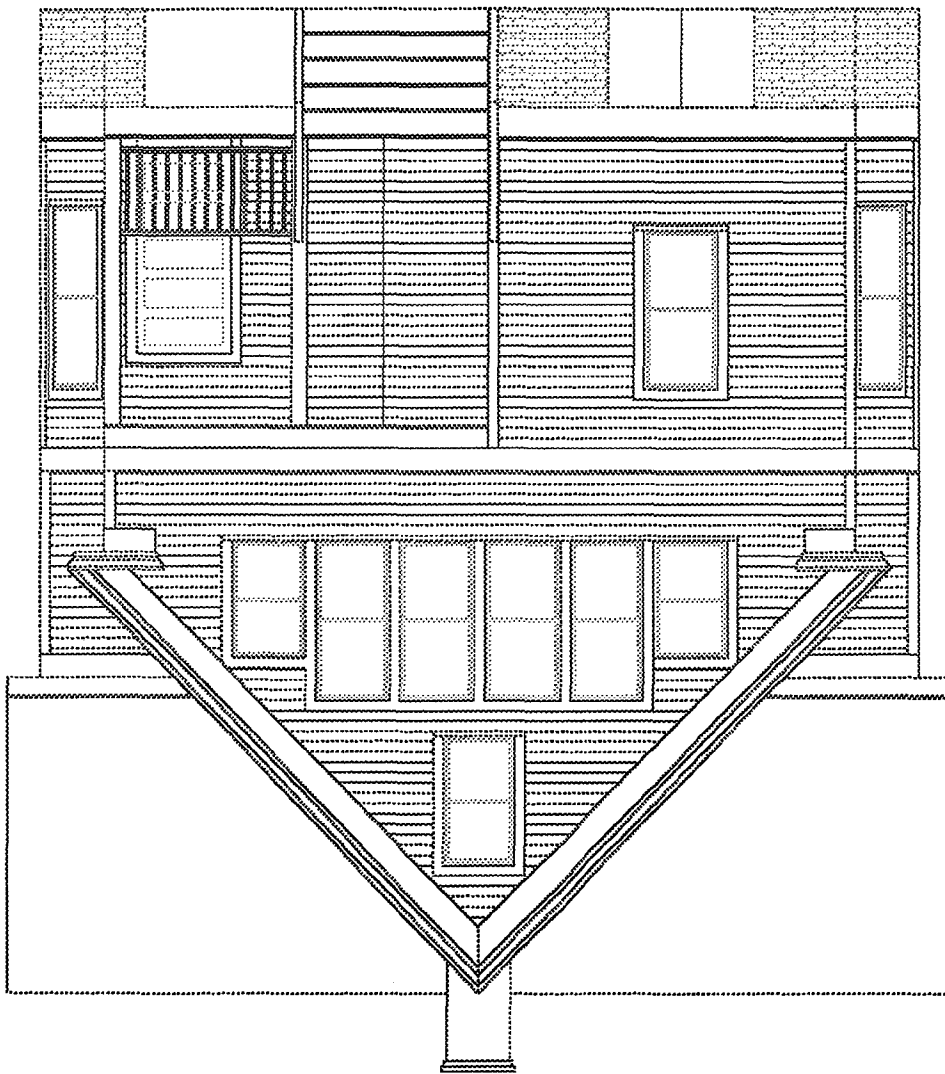
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NEW FIRST FLOOR PLAN



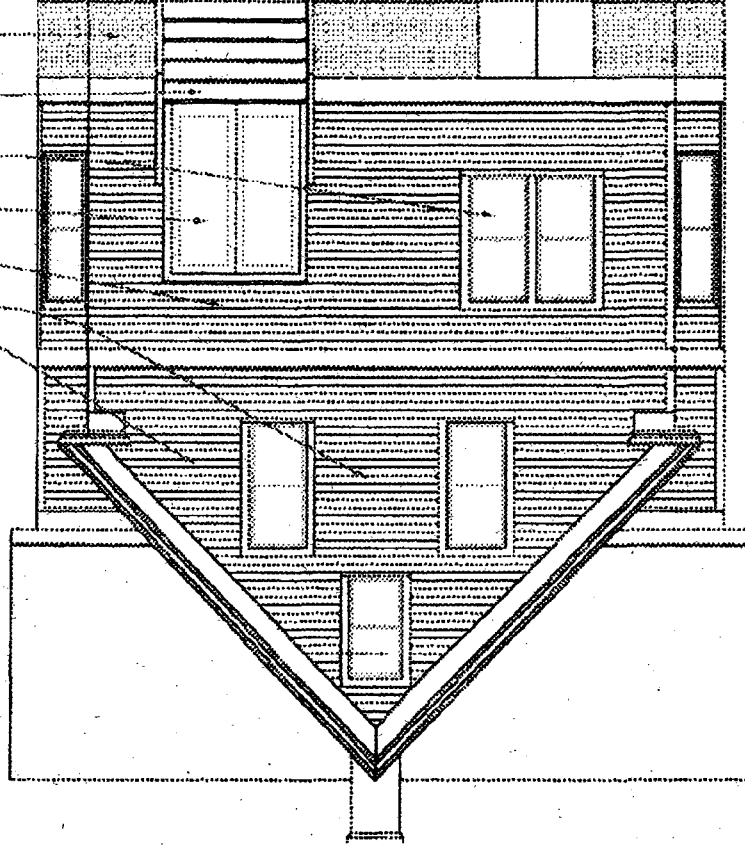
EXISTING REAR ELEVATION



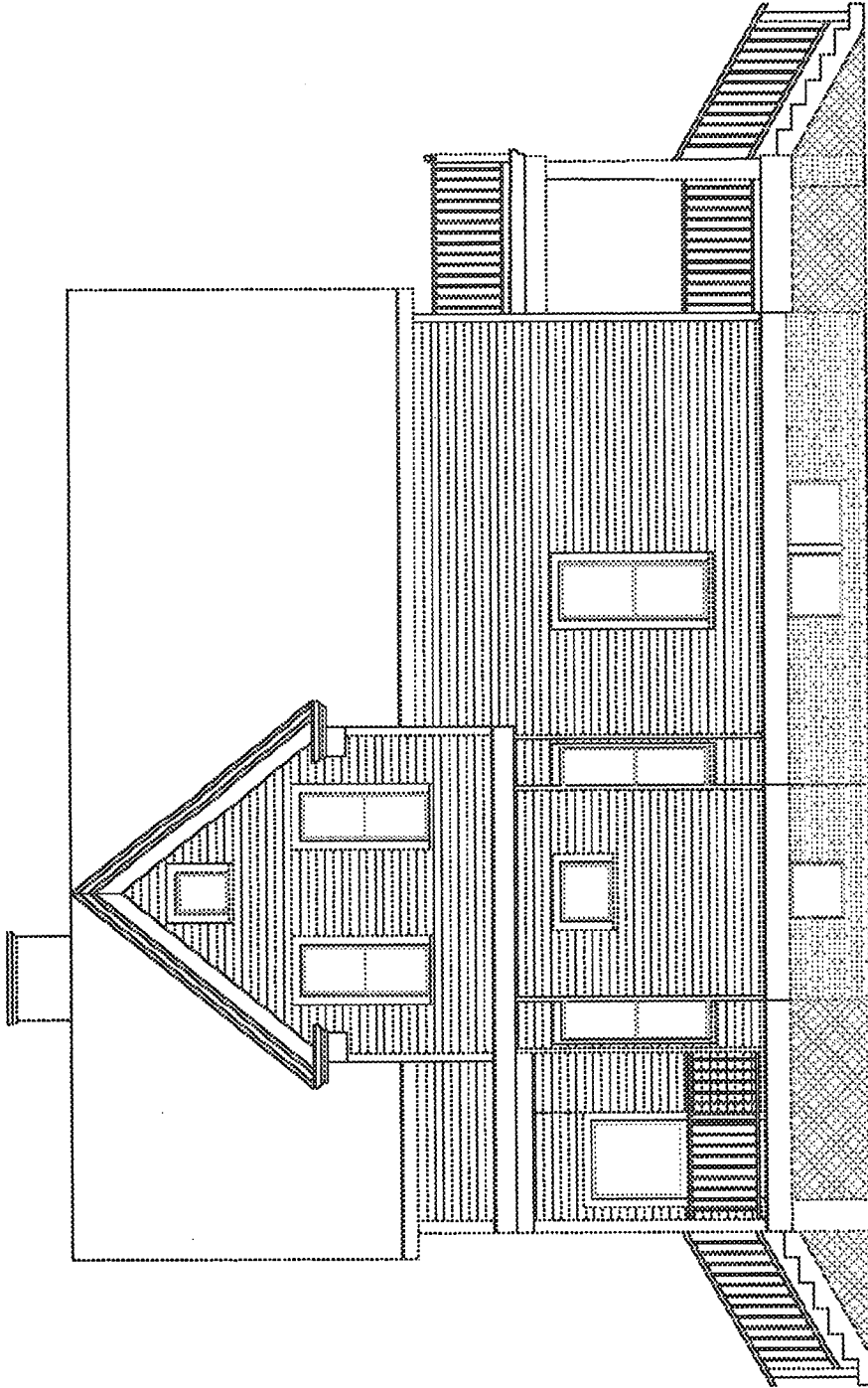
Copy 15

PROPOSED REAR ELEVATION

- INSTALL NEW BRICK FOUNDATION UNDER OLD PORCH
- INSTALL WOOD STOPS AND STEPS TO GRADE
- INSTALL DOOR/E WINDOW (REMOVE EXISTING WINDOW FROM ABOVE)
- INSTALL NEW WOOD FRENCH DOOR
- ENCLOSE EXISTING PORCH
- REMOVE SOME WINDOWS

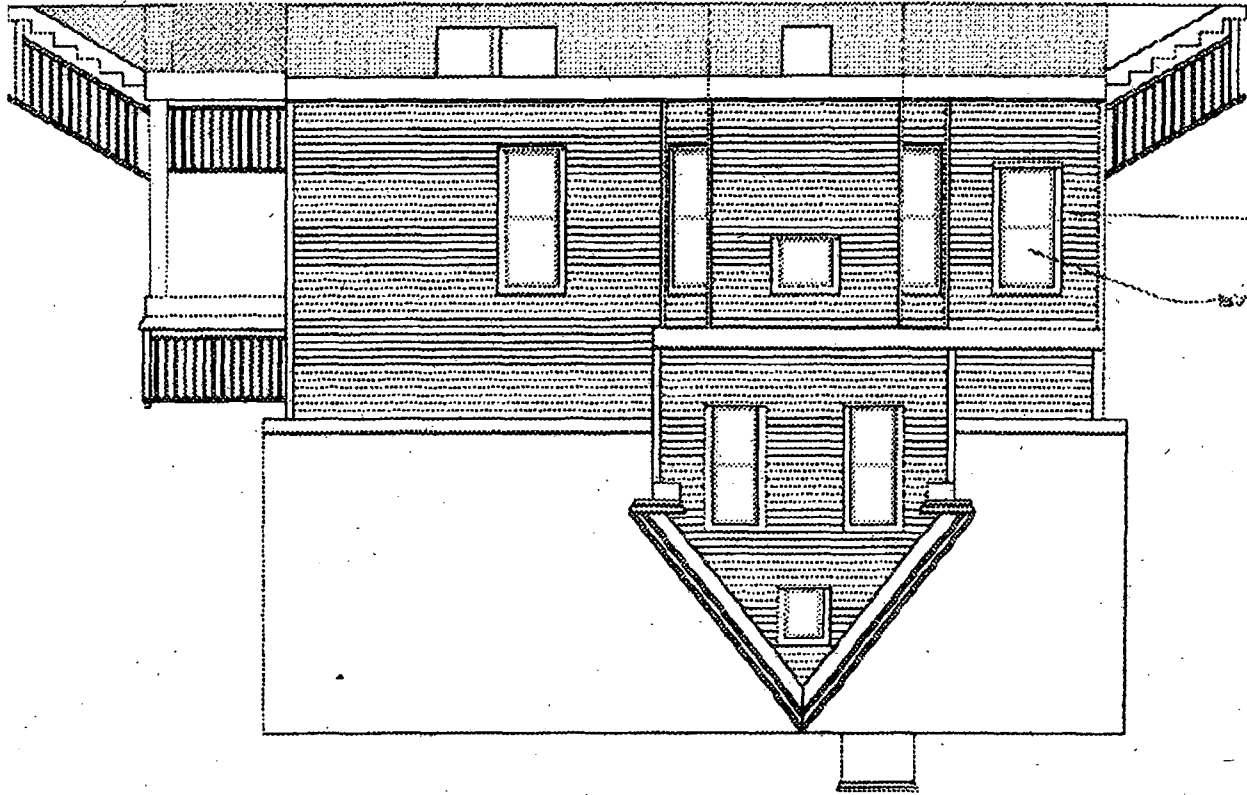


copy B



EXISTING SIDE ELEVATION

PROPOSED SIDE ELEVATION



INSTALL NEW WINDOW FRAME EXISTING WINDOW FROM REAR
FOR NEW WINDOW FRAME - USE
NEW SIDING TO MATCH EXISTING

Copy B