

37/3-99AA 104 Elm Avenue  
(Takoma Park Historic District)

# RENOVATION OF 104 ELM AVENUE TAKOMA PARK, MD

## ZONING INFORMATION

LOT: 16  
BLOCK: 17

## LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES & LIST OF DRAWINGS
A-1	BASEMENT AND FIRST FLOOR PLANS, FRAMING PLANS, ELECTRICAL PLANS
A-2	SECOND FLOOR PLAN AND ROOF PLAN, FRAMING PLANS, & ELECTRICAL PLANS
A-3	EXTERIOR ELEVATIONS
A-4	SECTION, INTERIOR ELEVATIONS & DETAILS
S-1	STRUCTURAL NOTES

## GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY.

THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.

THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

EACH AND EVERY CONTRACTOR AND/OR SUB-CONTRACTOR SHALL LEAVE THE WORK IN PERFECT ORDER AT COMPLETION. NEITHER THE FINAL CERTIFICATE OF PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR NEGLIGENCE OF FAULTY MATERIALS OR WORKMANSHIP. UPON WRITTEN NOTICE, HE SHALL REMEDY ANY DEFECTS DUE THERETO AND PAY ALL EXPENSES FOR ANY DAMAGE TO OTHER WORK OF THIS CONTRACT RESULTING THEREFROM. THE ENTIRE WORK IS TO BE GUARANTEED FOR THE PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALIGN NEW WALLS FLUSH WITH CORNERS AND EDGES OF EXISTING WALLS AS INDICATED ON THE DRAWINGS. FINISH NEW WALLS WITH PAINT AND TRIM TO MATCH ADJACENT SURFACES, OR AS SPECIFIED BY THE OWNER.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:

ROOF- 30PSF  
FLOORS- 40PSF

STRENGTH OF FRAMING MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE:

STRUCTURAL LUMBER- FB=1300, E=1,400,000

WOOD STUDS (2x4 @ 16" O.C.)- NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENING, 3 FULL MEMBERS @ CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

WOOD LINTEL SHALL BE UTILIZED FOR OPENINGS UP TO 12 FEET IN BEARING WALLS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

OPENING	NO STORY ABOVE
UP TO 4'-0"	2-2x4
4'-0" TO 6'-0"	2-2x6
6'-0" TO 8'-0"	2-2x8
8'-0" TO 10'-0"	2-2x10
10'-0" TO 12'-0"	2-2x12

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (SILLS, PLATES, SLEEPERS) SHALL BE PRESSURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE. FOOTINGS SHALL EXCEED BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

TERMITE CONTROL: APPLY SOIL TREATMENT IN CRAWL SPACE AND AROUND THE PERIMETER OF THE BUILDING.

EXTERIOR TRIM: UNLESS NOTED OTHERWISE: SIZE, SHAPE, AND COLOR SHALL MATCH EXISTING TRIM.

INTERIOR TRIM AND DOOR FRAMES: UNLESS NOTED OTHERWISE: SIZE, SHAPE AND COLOR SHALL MATCH EXISTING TRIM. WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GLUED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM: SIZE, SHAPE AND COLOR TO MATCH EXISTING.

FLASH BLOCK AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2"

PLUMBING: CONTRACTOR SHALL PROVIDE ROUGH-INS FOR OWNER SUPPLIED BATHROOM FIXTURES. CONTRACTOR SHALL INSTALL OWNER SUPPLIED FIXTURES AND FAUCETS.

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY ON CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

ALL GYPSUM BD. SURFACES TO BE PAINTED WITH ONE COAT OF LATEX PRIMER ON UNPAINTED GYP. BD. FINISH WITH 2 COATS OF LATEX FLAT.

INSTALLATION OF SKYLIGHTS MAY REQUIRE STRUCTURAL ANALYSIS IF SKYLIGHTS ARE LARGER THAN SPACING OF THE TRUSSES. VERIFY WITH ARCHITECT OR ENGINEER.

MECHANICAL DUCTS MAY HAVE TO BE MOVED DUE TO INSTALLATION OF SKYLIGHTS.

MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
2022  
10/25/19

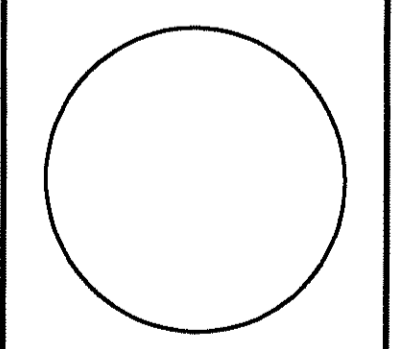
RENOVATION OF  
104 ELM AVE.  
TAKOMA PARK, MD

STUDIO D  
4405 Riggs Creek Parkway  
Takoma Park, Md 20912  
301-716-0601



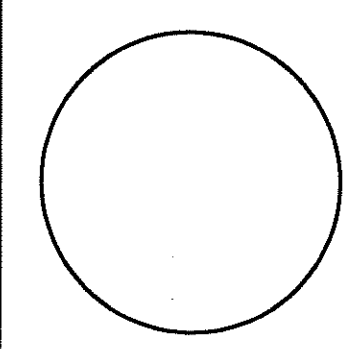
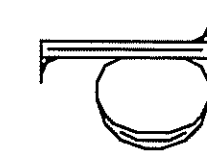
DANA REIGERS HADEN, AIA architect

ISSUE:  
PERMIT SET: 6/16/99



SHEET:  
ZONING INFORMATION  
GENERAL NOTES  
LIST OF DRAWINGS

CO



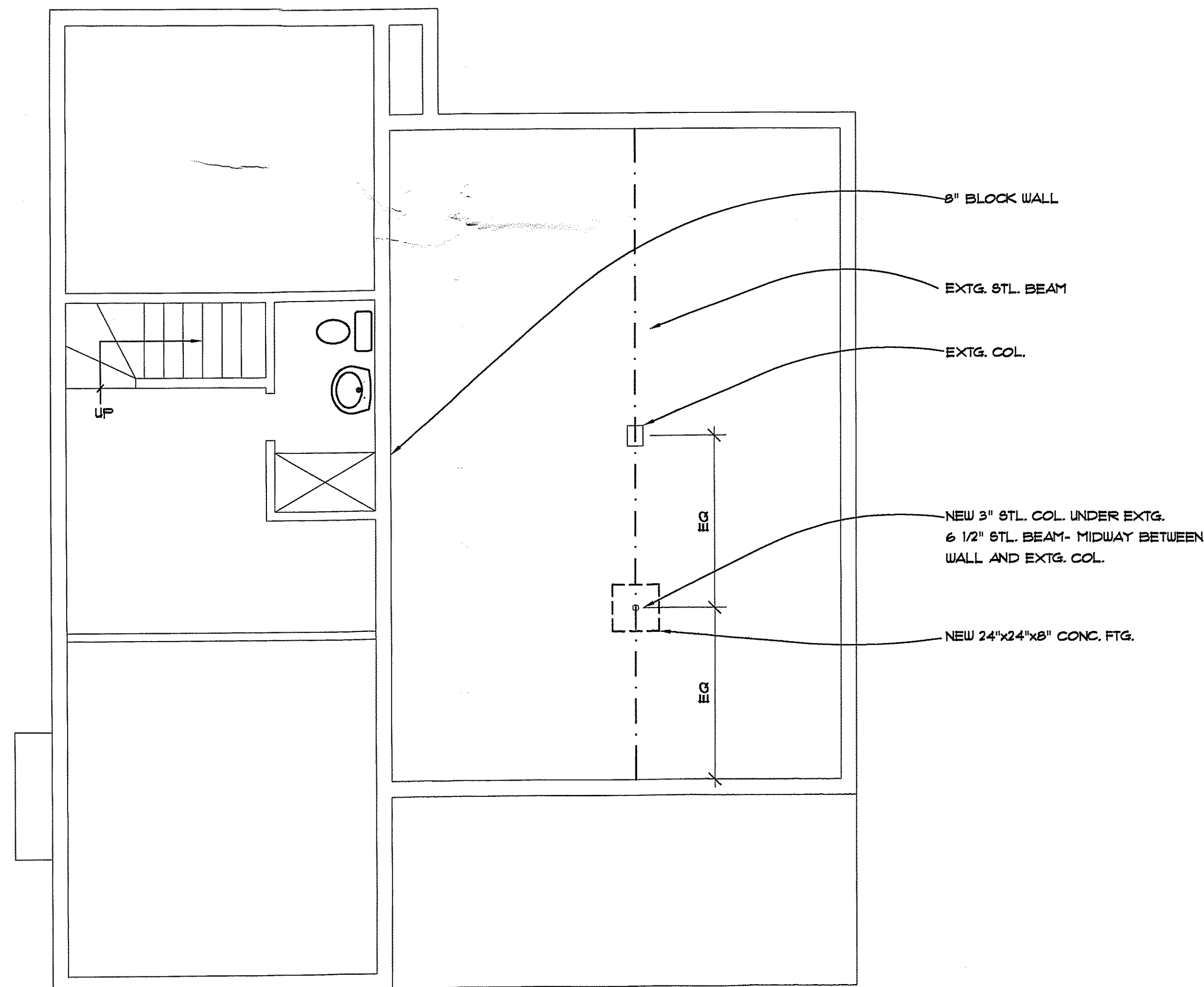
ELECTRICAL LEGEND	
⊖	120 V DUPLEX RECEPTACLE 18" AFF.
⊖	120 V DUPLEX RECEPTACLE 48" AFF.
⊖ <sub>GFI</sub>	GROUND FAULT INTERRUPTOR RECEPTACLE
⊖ <sub>WP</sub>	WATER PROOF FIXTURE
⊕	SPECIAL PURPOSE CONNECTION
⊙	CLG. MOUNTED LIGHT FIXTURE
⊙	RECESSED DOWNLIGHTS
⊙	SWITCH
⊙ <sub>3</sub>	3 WAY SWITCH
⊙	EXHAUST FAN
⊙	GARBAGE DISPOSAL
⊙	SMOKE DETECTOR / HEAT DETECTOR
▲	TELEPHONE

WINDOW SCHEDULE		
WINDOW TYPE	ROUGH OPENING	DESCRIPTION
①	3'-4" x 3'-2"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
②	(2) 2'-6" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
③ E	2'-8" x 5'-0"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
④	1'-4" x 2'-6"	FIXED WINDOW W/ PANEES
⑤	2'-4" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
⑥	2'-8" x 1'-2"	1/2 ROUND FIXED WIND. TO MATCH EXTG.

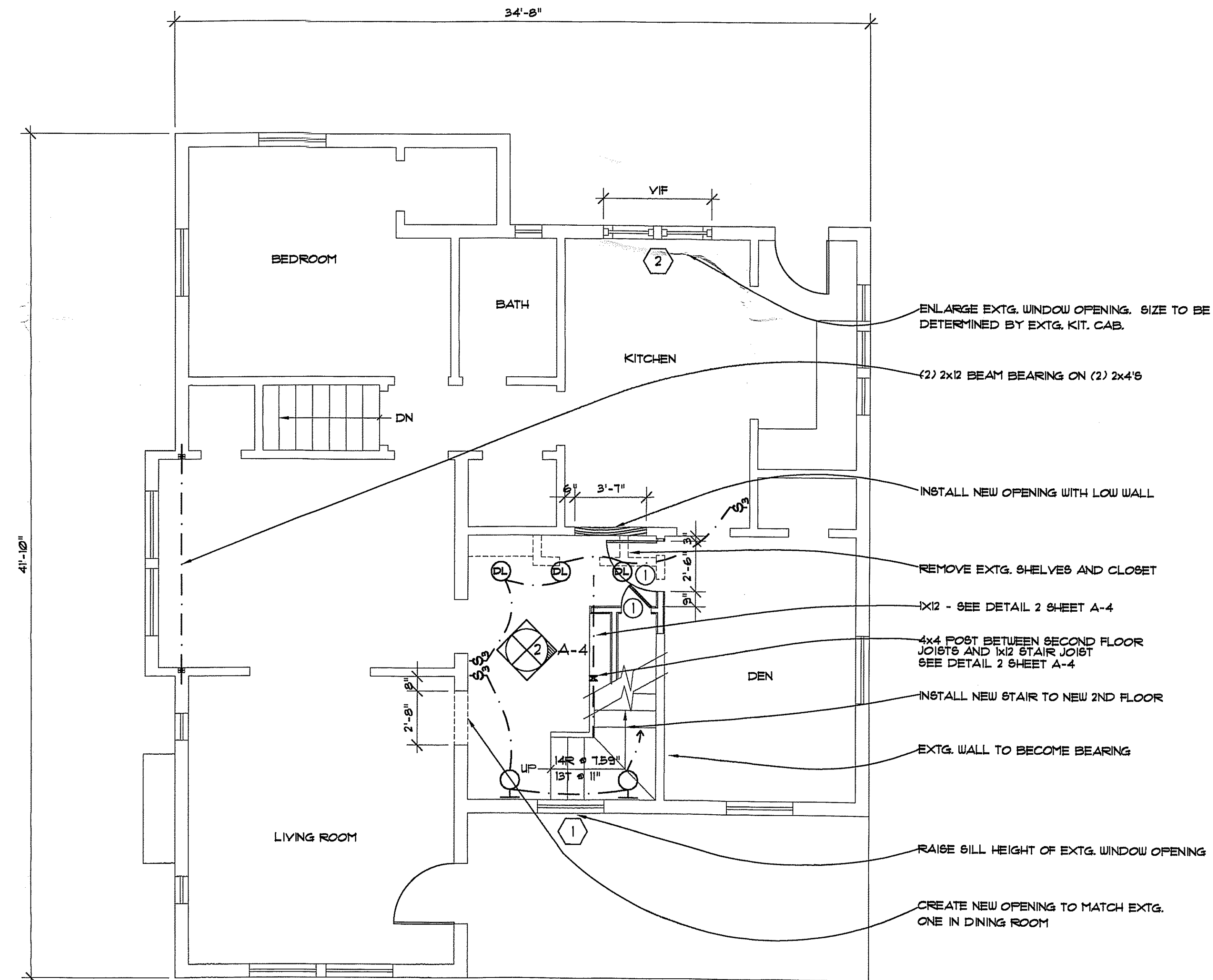
NOTES:  
1. WINDOWS DENOTED WITH "E" SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS REGARDING FIRE EGRESS WINDOWS

DOOR SCHEDULE				
NO.	SIZE	LABEL (RATING)	DESCRIPTION	HARDWARE
①	2'-6" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
②	3'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BEDROOM PRIVACY SET
③	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
④	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BATH PRIVACY SET
⑤	1'-6" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET

\*\*\*REUSE ANY EXISTING DOORS THAT THE OWNERS HAVE IF THEY FIT

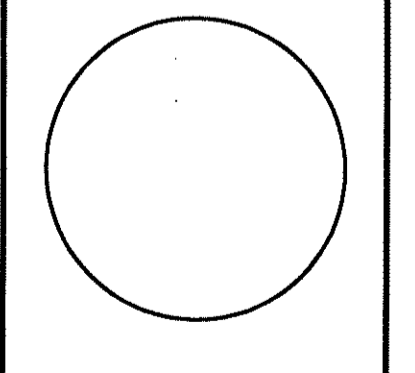


1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN & SECOND FLOOR FRAMING  
SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
12/12/99



ELECTRICAL LEGEND

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⊖	120 V DUPLEX RECEPTACLE 48" AFF.
⊖ <sub>GFI</sub>	GROUND FAULT INTERRUPTOR RECEPTACLE
⊖ <sub>WP</sub>	WATER PROOF FIXTURE
⊕	SPECIAL PURPOSE CONNECTION
⊙	CLG. MOUNTED LIGHT FIXTURE
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⊕	SWITCH
⊕ <sub>3</sub>	3 WAY SWITCH
⊕	EXHAUST FAN
⊕	GARBAGE DISPOSAL
⊕	SMOKE DETECTOR / HEAT DETECTOR
▲	TELEPHONE

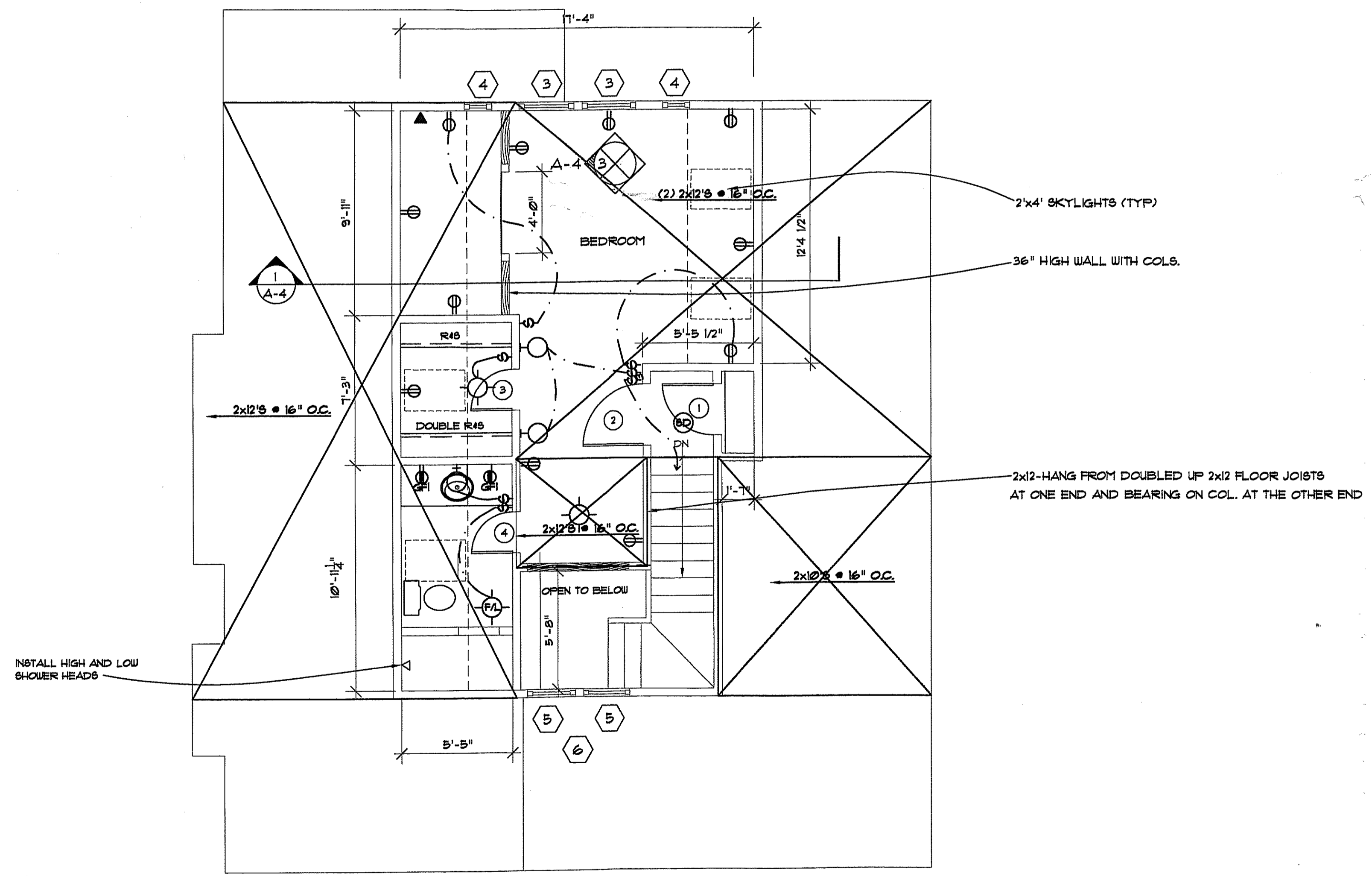
WINDOW SCHEDULE

WINDOW TYPE	ROUGH OPENING	DESCRIPTION
①	3'-4" x 3'-2"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
②	(2) 2'-6" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
③ E	2'-8" x 5'-0"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
④	1'-4" x 2'-6"	FIXED WINDOW W/ PANES
⑤	2'-4" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
⑥	2'-8" x 1'-2"	1/2 ROUND FIXED WIND. TO MATCH EXTG.

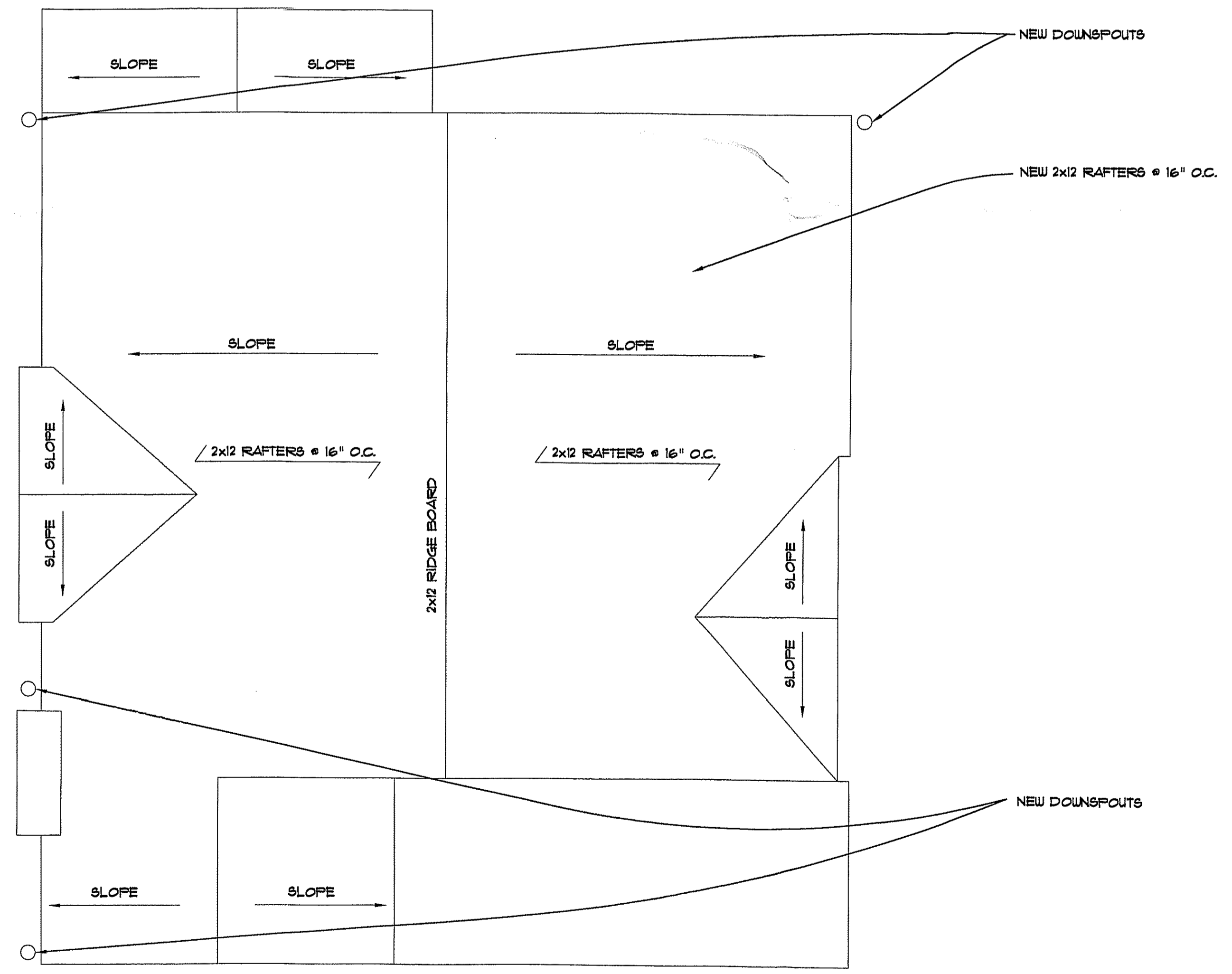
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DOOR SCHEDULE

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①	2'-6" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
②	3'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BEDROOM PRIVACY SET
③	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
④	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BATH PRIVACY SET



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



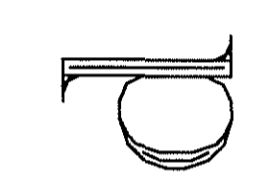
3 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/2  
10/20/99



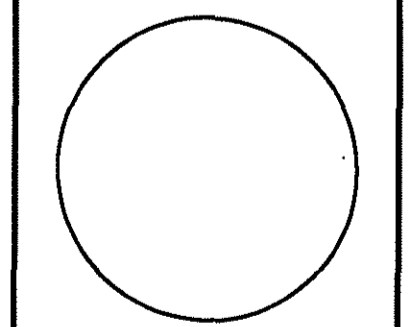
Renovation and Addition to  
104 Elm Avenue  
Takoma Park, MD

STUDIO D  
609 Eligs Creek Parkway  
Takoma Park, MD  
301-270-5911



DANA RIGERS HADEN, AIA architect

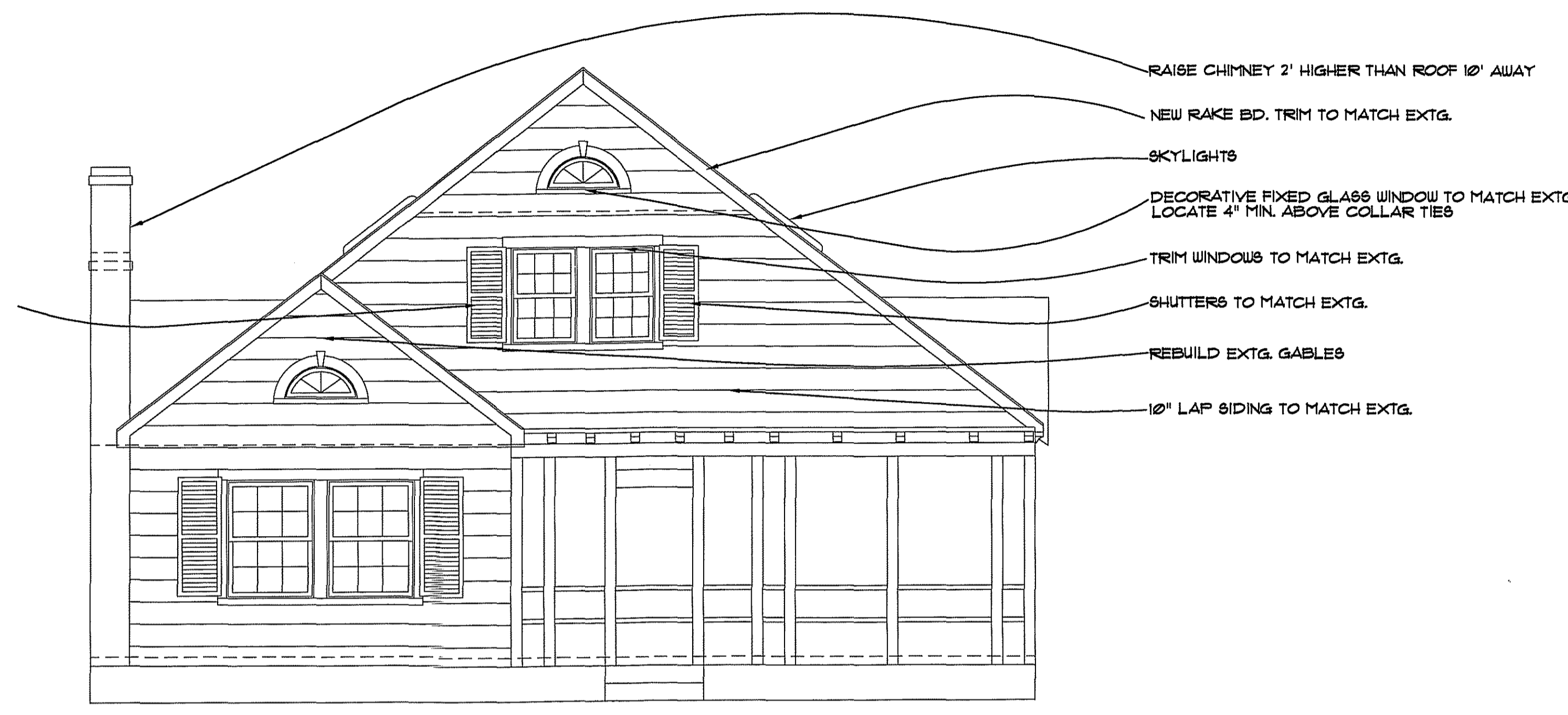
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CHECK SET: XXXX



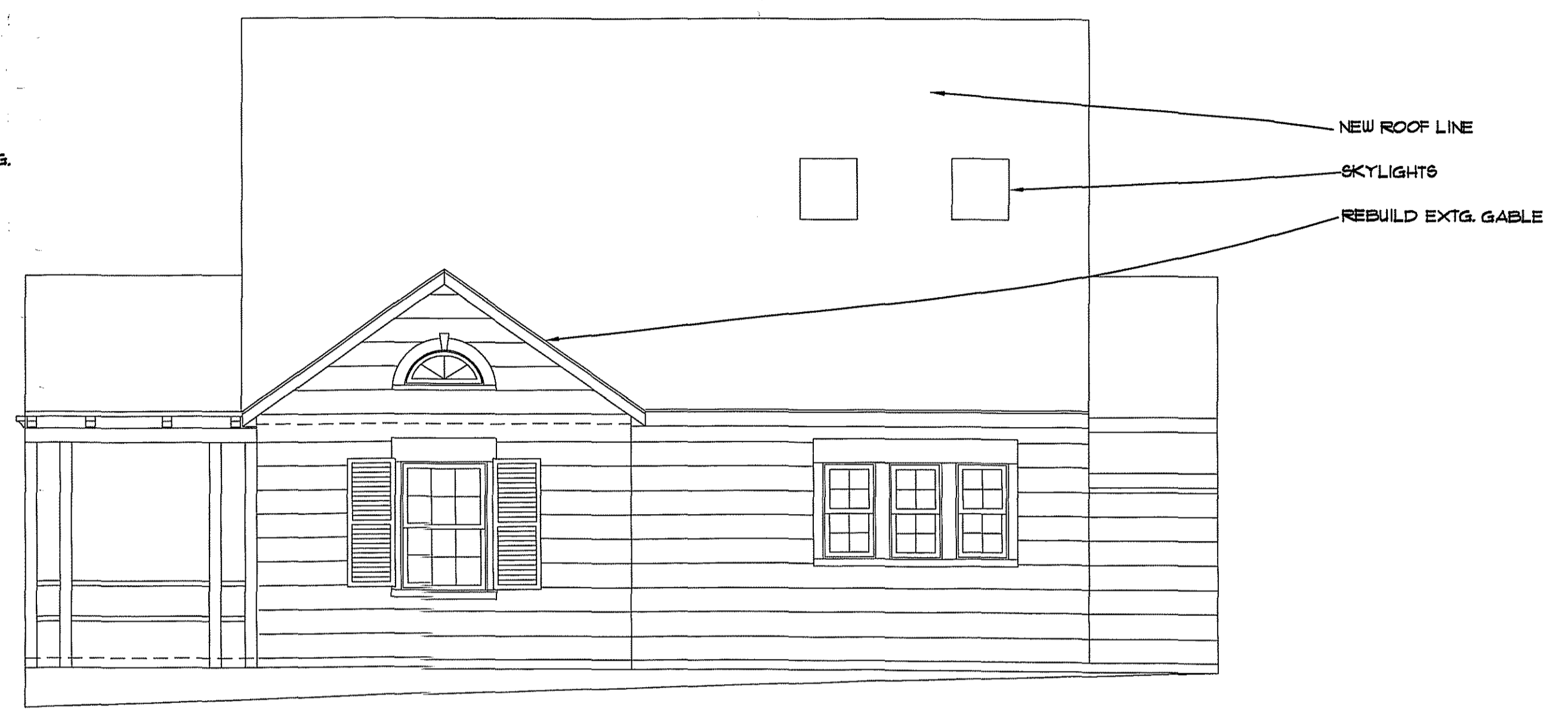
DRAWN BY: DRH

SHEET:  
ELEVATIONS

A-3



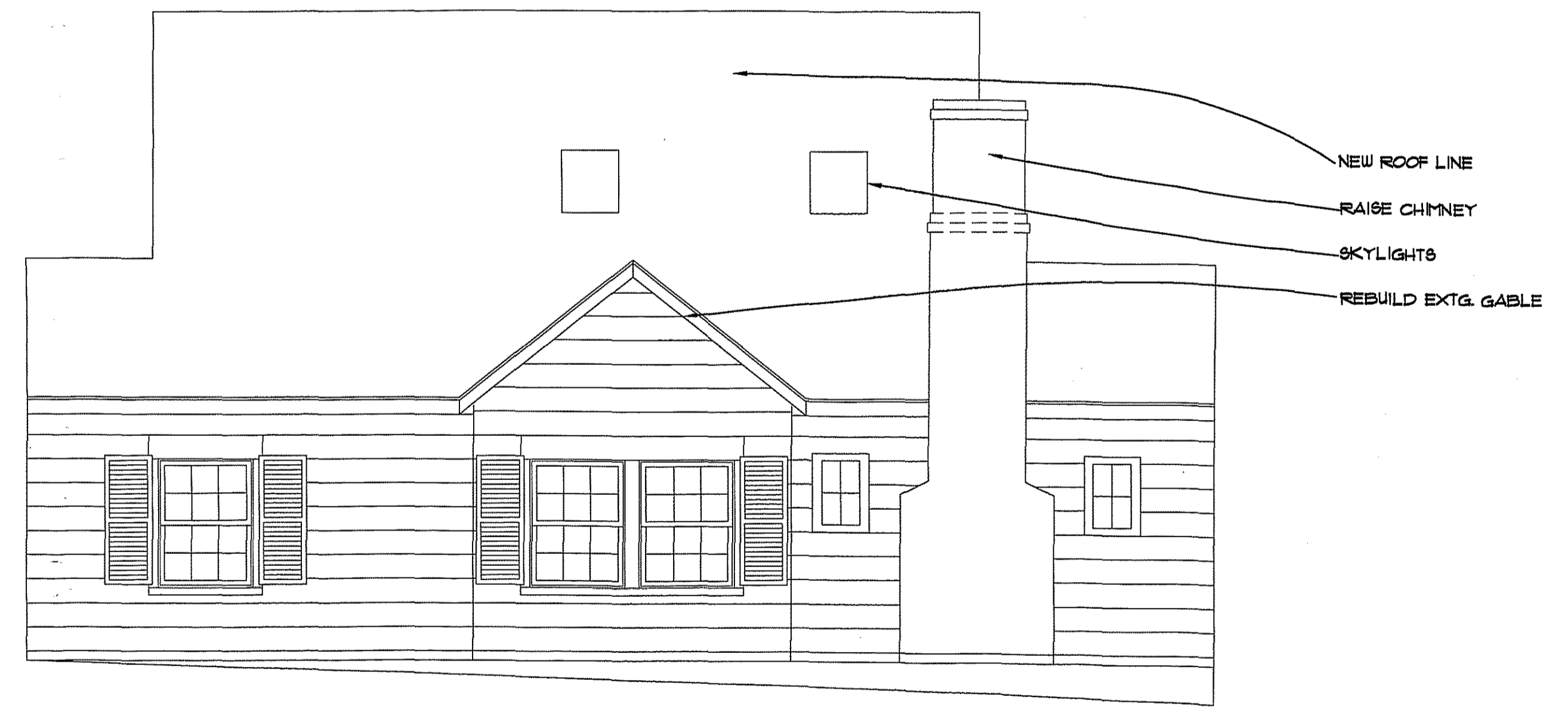
1 NEW FRONT ELEVATION  
A-3 1/4"=1'-0"



2 NEW RIGHT SIDE ELEVATION  
A-3 1/4"=1'-0"

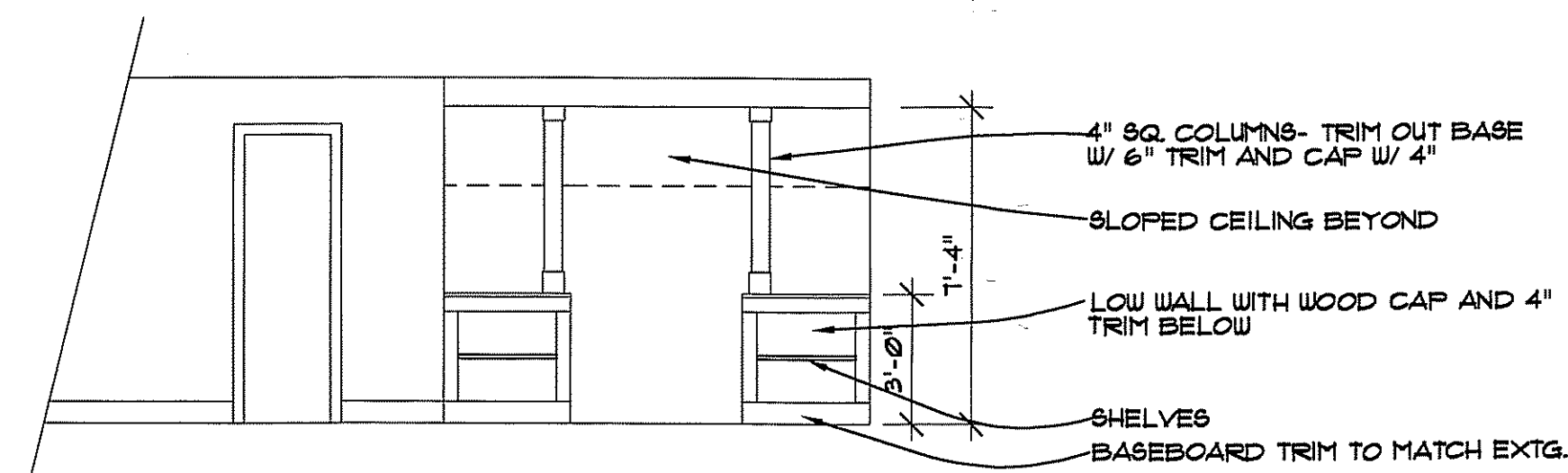
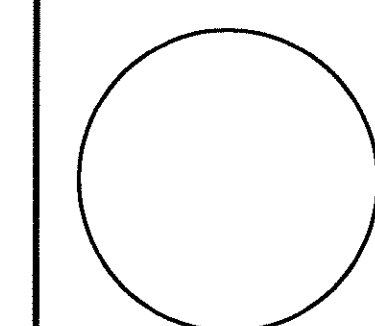


4 NEW REAR ELEVATION  
A-3 1/4"=1'-0"

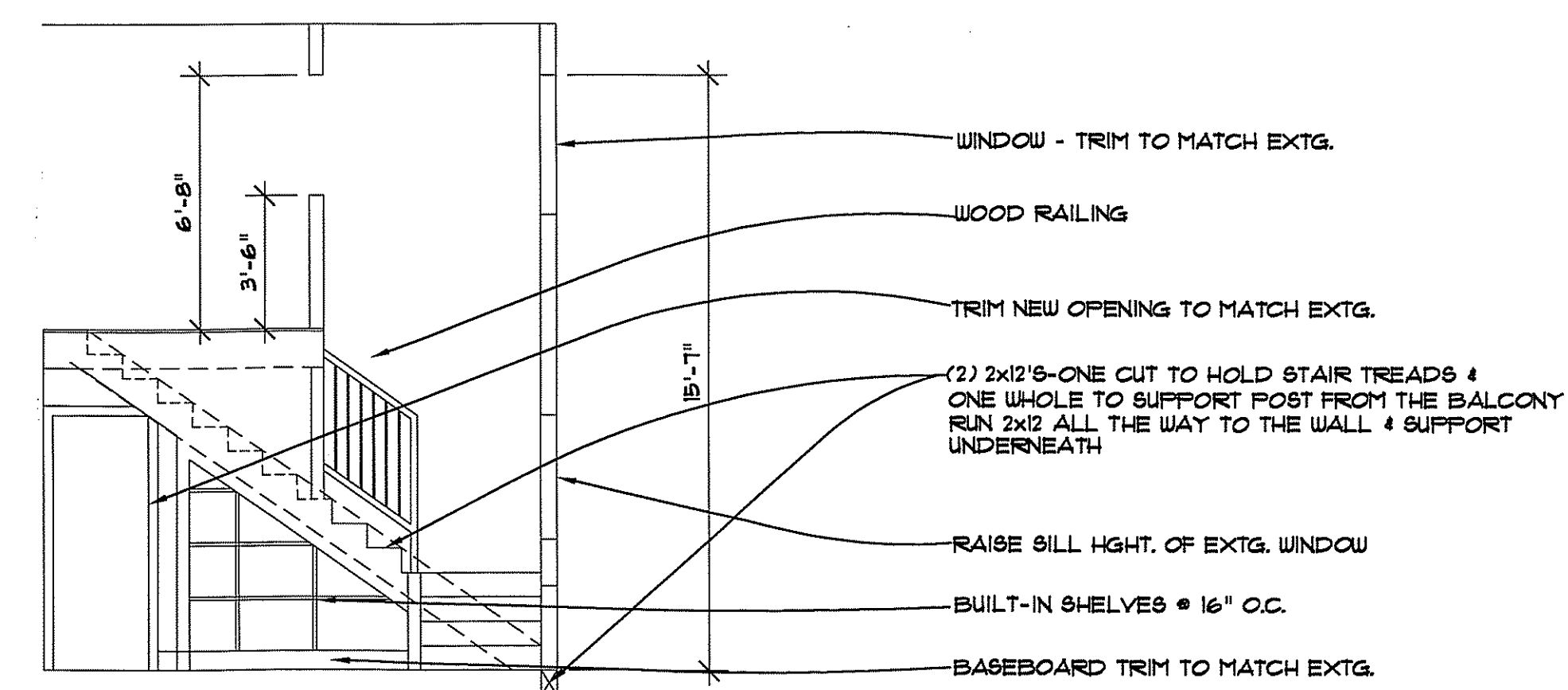


3 NEW LEFT SIDE ELEVATION  
A-3 1/4"=1'-0"

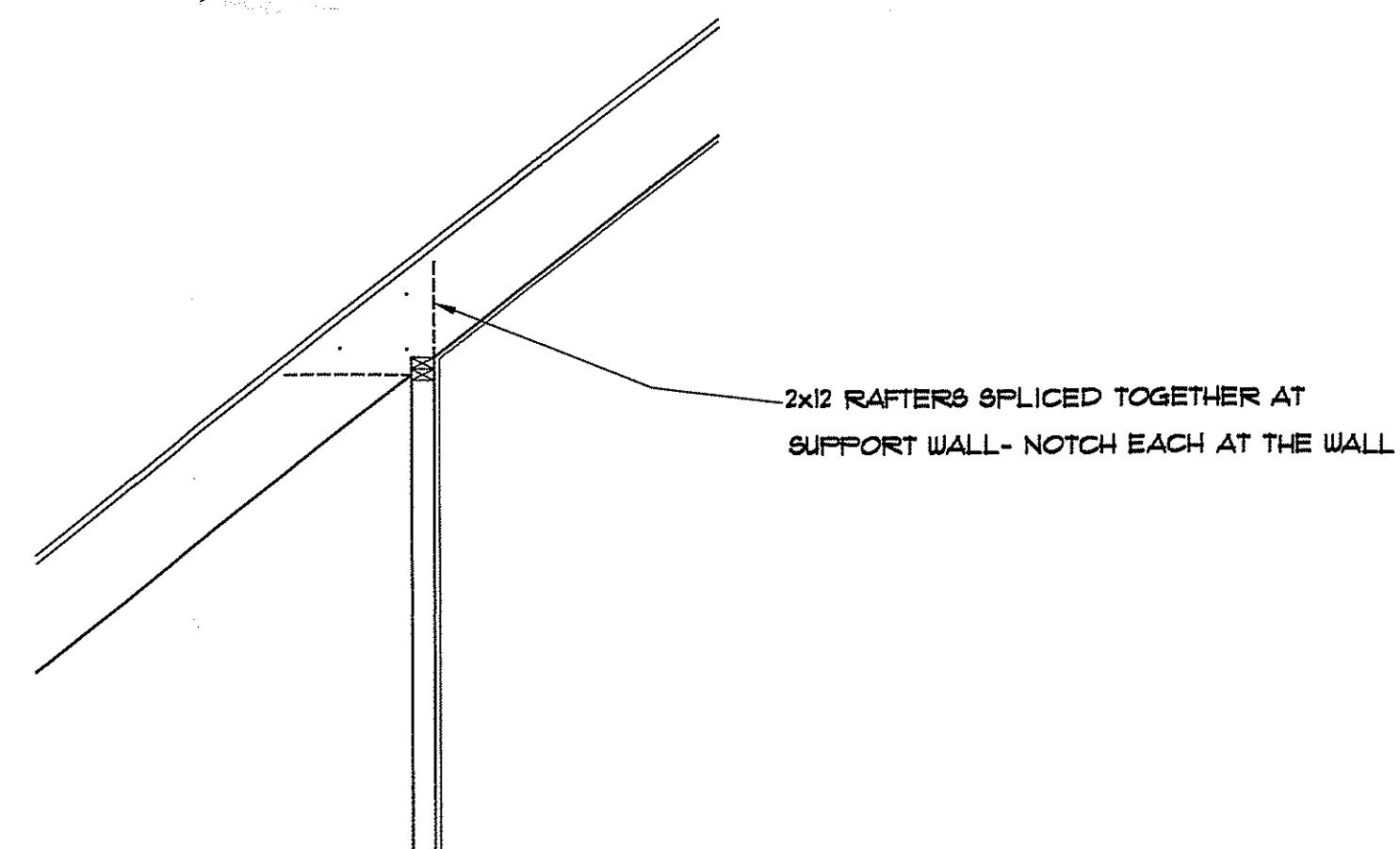
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
1/23/14



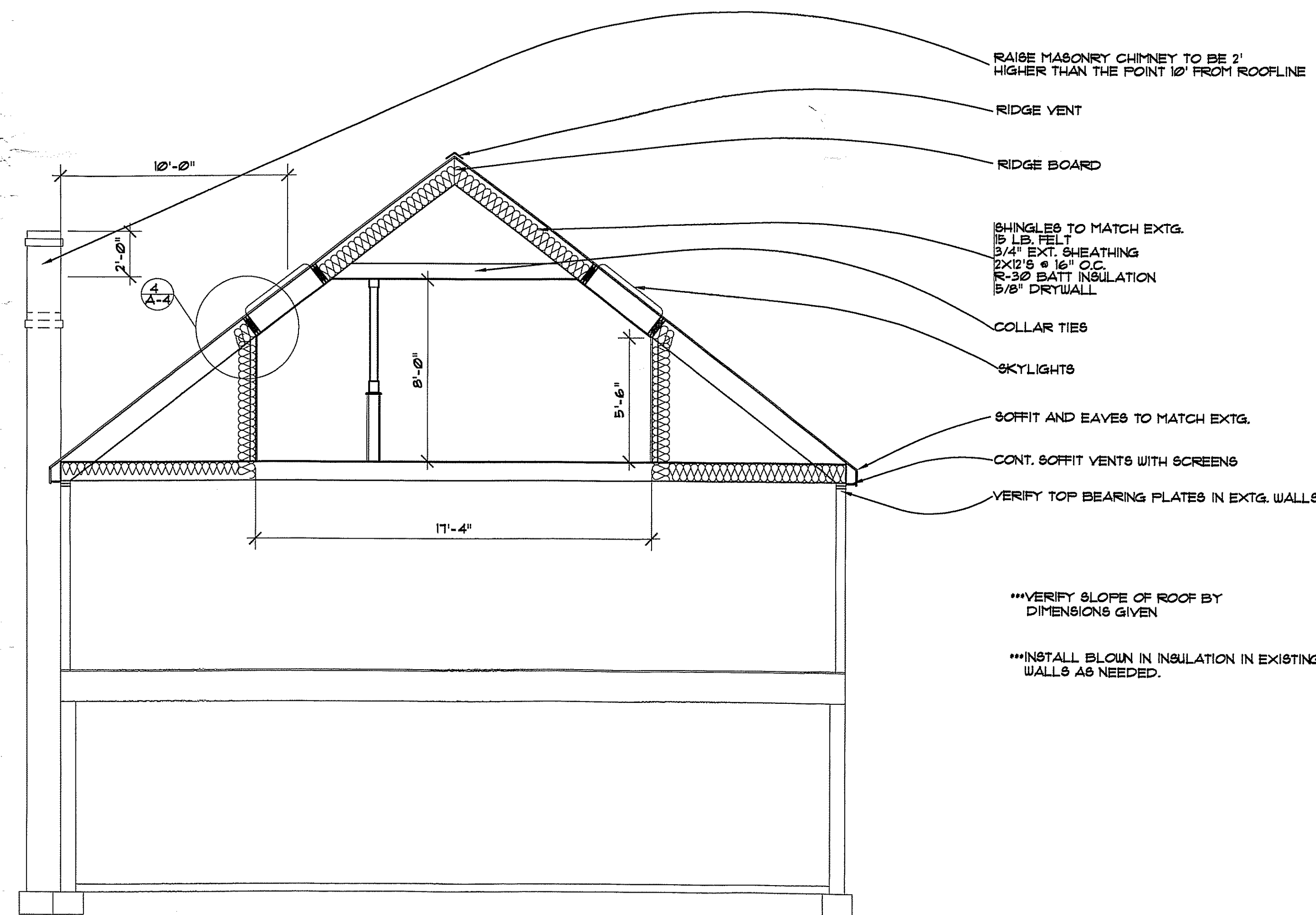
3 ELEVATION OF LOW WALL  
SCALE: 1/4" = 1'-0"



2 ELEVATION OF STAIR  
SCALE: 1/4" = 1'-0"



4 DETAIL OF RAFTERS @ WALL  
NO SCALE



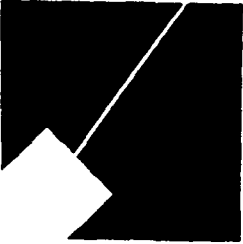
1 SECTION  
SCALE: 1/4" = 1'-0"

\*\*\*VERIFY SLOPE OF ROOF BY DIMENSIONS GIVEN  
\*\*\*INSTALL BLOWN IN INSULATION IN EXISTING WALLS AS NEEDED.

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
2009  
10/20/99

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: Sept. 23, 1999

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Patrick Heagy & Rani Parker

Address: 104 Elm Avenue, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEN

Daytime Phone No.: 301-270-5811

Tax Account No.: \_\_\_\_\_

Name of Property Owner: PATRICK MEAGHER & KANI PARKER Daytime Phone No.: OUT OF COUNTRY

Address: 104 ELM AVE TAKOMA PARK MD. 20912  
Street Number City State Zip Code

Contractor: ADDED DIMENSIONS Phone No.: 301-270-8235

Contractor Registration No.: 51200 MD.

Agent for Owner: DANA HADEN Daytime Phone No.: 301-270-5811

LOCATION OF BUILDING/PREMISE

House Number: 104 Street: ELM AVE.

Town/City: TAKOMA PARK Nearest Cross Street: \_\_\_\_\_

Lot: 16 Block: 17 Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 66,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] [Signature] 20 June 99  
Signature of owner or authorized agent Date

Approved: X \_\_\_\_\_  
Signature of Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 9908230067 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOME IS A 1 STORY W/ BASEMENT FRAME HOUSE DESCRIBED BY THE TAKOMA PARK HISTORIC DISTRICT AS "COLONIAL REVIVAL". IT WAS BUILT SOMETIME BETWEEN THE 1920'S & 1930'S. THE EXISTING HOME HAS A VERY COTTAGE TYPE FEELING W/ WOOD LAP SIDING & DOUBLE HUNG WINDOWS W/ SHUTTERS. IT IS LISTED AS A CONTRIBUTING RESOURCE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED ADDITION WOULD INVOLVE REMOVING THE EXISTING ROOF & RE-ORIENTING THE ROOF ~~TO~~ ~~THE~~ ~~REAR~~ ~~OF~~ ~~THE~~ ~~HOUSE~~ ~~TOWARDS~~ ~~THE~~ ~~FRONT~~. THE PITCH OF THE ROOF WOULD BE GREATER IN ORDER TO CREATE A NEW SECOND FLOOR SPACE. MANY HOUSES ON THE BLOCK HAVE SECOND STORIES IN THE REAR AREA. WINDOWS, SIDING & DETAILS WOULD MATCH EXISTING.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date:

Sept. 23, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Dana ~~Haden~~ Haden  
805 Sligo Creek Parkway  
Tak. Park - 20912

II-F

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	104 Elm Avenue	Meeting Date:	9/22/99
Applicant:	Patrick Meager & Rani Parker	Report Date:	9/15/99
Resource:	Takoma Historic District	Public Notice:	9/1/99
Review:	HAWP	Tax Credit:	No
Case Number:	37/3-99AA	Staff:	Robin Ziek
PROPOSAL:	Second Story Addition	RECOMMEND:	Approval

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**PROJECT DESCRIPTION**

RESOURCE: Contributing Resource in Takoma Park Historic District  
STYLE: Colonial Revival  
DATE: c1920s - 1930s

This resource is a simple 1-story Colonial Revival structure with an "ell" shape. There is a small front-facing gable section and a cross-gable section; the screened front porch fills in the corner of the ell. Colonial Revival features include paired double-hung windows, a half-circle window in the gable attic, 10" lapped wood siding, and operable shutters on most of the windows (not sized for the opening).

The applicant came before the HPC on 5/12/99 for a Preliminary Consultation on this proposal. The HPC agreed with the applicant's approach, and recommended that the applicant proceed with the HAWP.

**PROPOSAL**

The applicant proposes to add an extra bedroom (Master Bedroom suite) and bath in the attic story by raising the roof of the area behind the front porch with a front facing gable. All of the materials would match the existing.

**STAFF DISCUSSION**

The existing building is a very simple; the strongest features are the front-facing gable and the front porch. The proposal utilizes the existing vocabulary. This seems appropriate for a house of this small scale, where anything else would simply overwhelm the existing structure. Even with the proposed alterations, the house will still be a small house. Staff notes that the gable

①

height (as measured from the finished first floor level) will only be raised 6'-4", and the house will still have a modest presence in the historic district.

The *Takoma Park Guidelines* (p. 16) recognize that second story additions will be proposed. The *Guidelines* stipulate that such additions "should be generally consistent with the predominant architectural style and period of the resource...and should be appropriate to the surrounding streetscape in terms of scale and massing." Staff feels that this proposal meets the requirements of the *Guidelines*, and is the type of alteration which was envisioned when the historic district was designated.

### **STAFF RECOMMENDATION**

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that **the applicant shall present the 2 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEN

Daytime Phone No.: 301-270-5811

Tax Account No.: \_\_\_\_\_

Name of Property Owner: PATRICIA MEAGHER & RANI PARKER Daytime Phone No.: OUT OF COUNTRY

Address: 104 ELM AVE TAKOMA PARK MD. 20912  
Street Number City State Zip Code

Contractor: ADDED DIMENSIONS Phone No.: 301-270-8235

Contractor Registration No.: 51200 MD.

Agent for Owner: DANA HADEN Daytime Phone No.: 301-270-5811

### LOCATION OF BUILDING/PREMISE

House Number: 104 Street: ELM AVE.

Town/City: TAKOMA PARK Nearest Cross Street: \_\_\_\_\_

Lot: 16 Block: 17 Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 65,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

20 June 99 (3)  
Date



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOME IS A 1 STORY W/ BASEMENT FRAME HOUSE DESCRIBED BY THE TAKOMA PARK HISTORIC DISTRICT AS "COLONIAL REVIVAL". IT WAS BUILT SOMETIME BETWEEN THE 1920'S & 1930'S. THE EXISTING HOME HAS A VERY COTTAGE TYPE FEELING W/ WOOD LAP SIDING & DOUBLE HUNG WINDOWS W/ SHUTTERS. IT IS LISTED AS A CONTRIBUTING RESOURCE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED ADDITION WOULD INVOLVE REMOVING THE EXISTING ROOF & RE-ORIENTING THE ROOF ~~TO~~ TOWARDS THE FRONT. THE PITCH OF THE ROOF WOULD BE GREATER IN ORDER TO CREATE A NEW SECOND FLOOR SPACE. MANY HOUSES ON THE BLOCK HAVE SECOND STORIES IN THE RAETER AREA. WINDOWS, SIDING & DETAILS WOULD MATCH EXISTING.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

**List of Neighbors:**

**Louise Howells and Sandy Ogilvy**  
102 Elm Street  
301-270-4522

**Gloria and Willie Fisher**  
106 Elm Street  
301-270-4559

**Carol Reisen and Patrick Flanagan**  
105 Elm Street  
301-270-5737

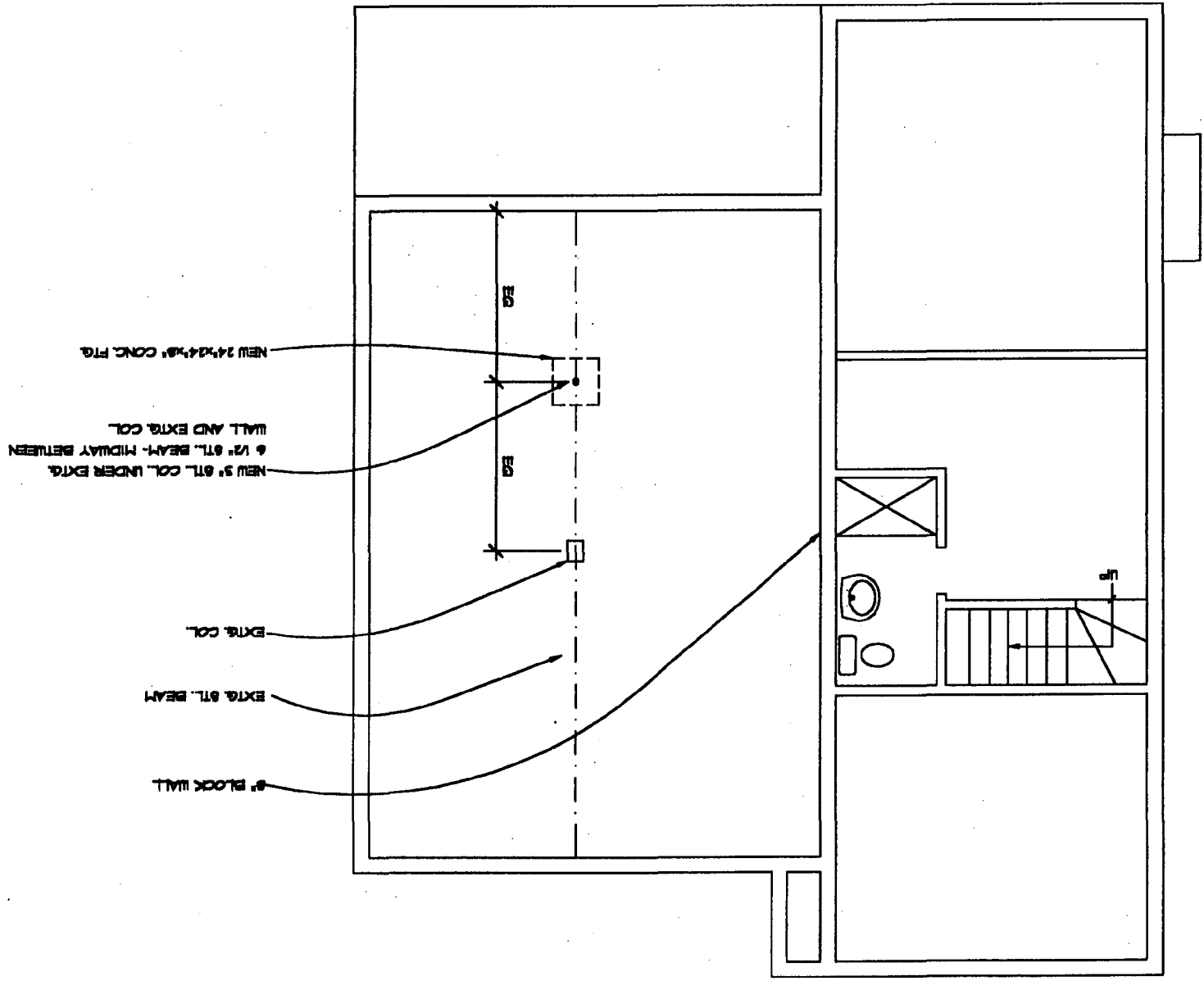
**Michelle and Don Harvey**  
107 Elm Street  
301-891-3474

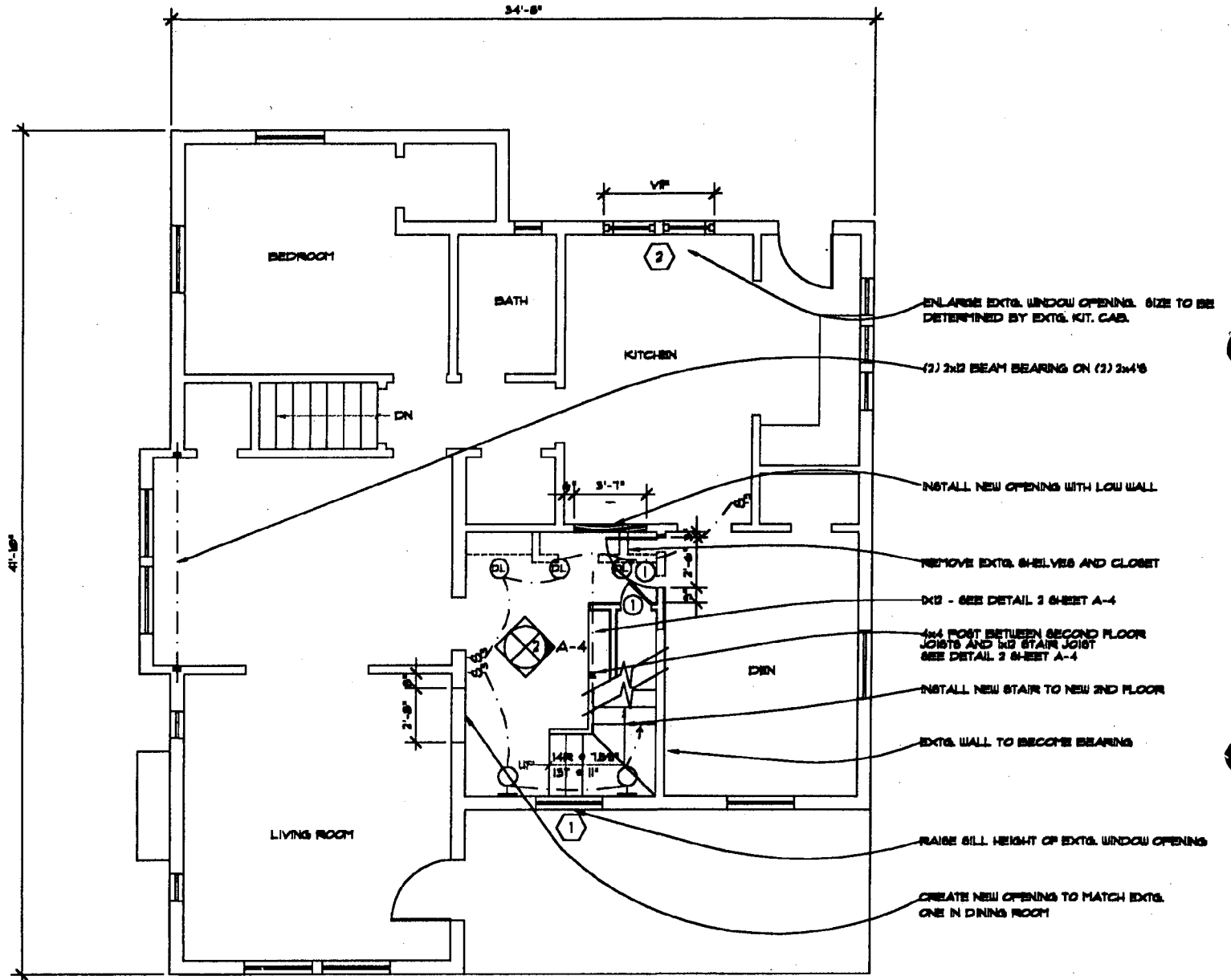
5

2

1 BASEMENT PLAN

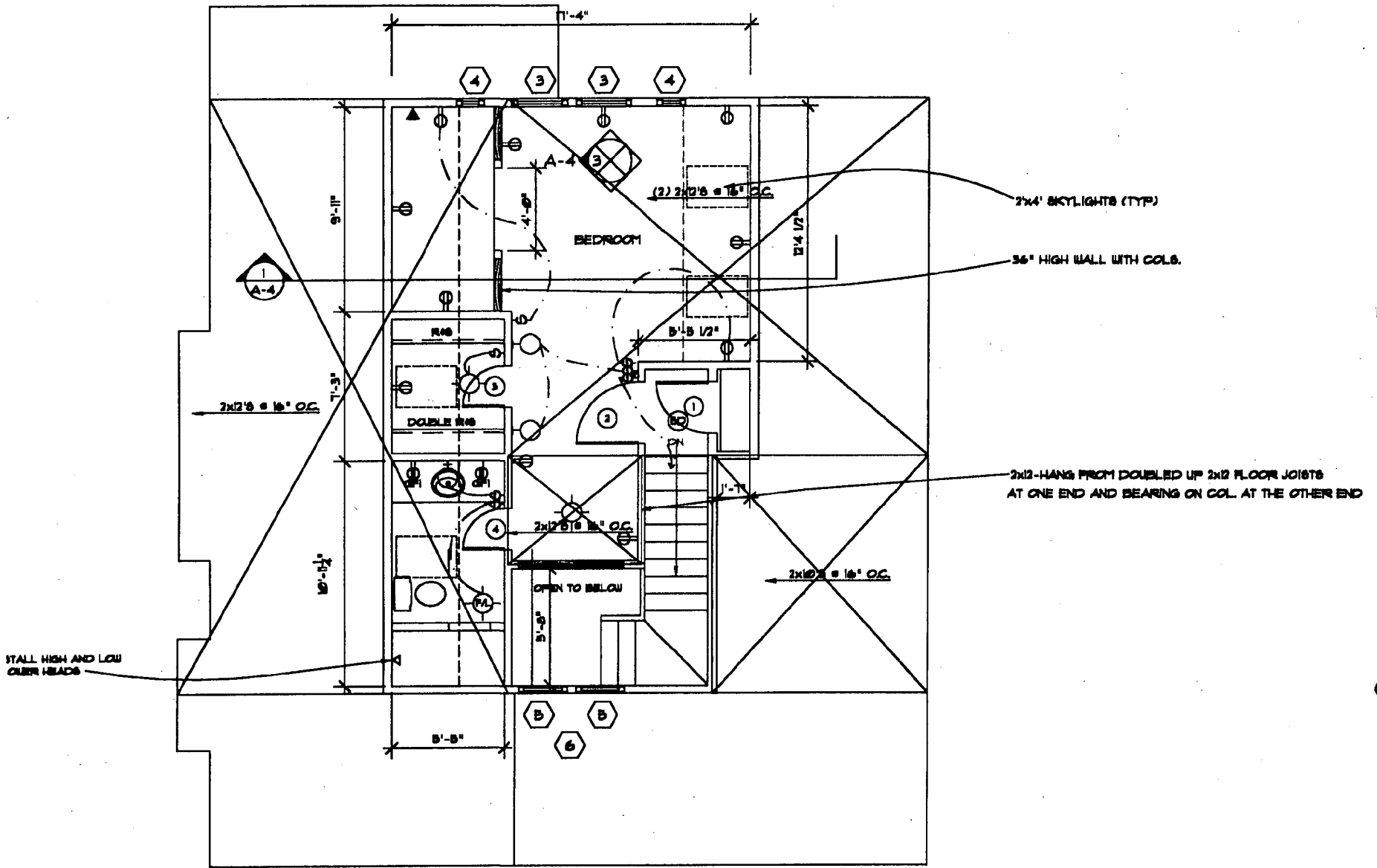
SCALE: 1/4" = 1'-0"





2
A-1
**FIRST FLOOR PLAN & SECOND FLOOR FRAMING**  
 SCALE: 1/4" = 1'-0"

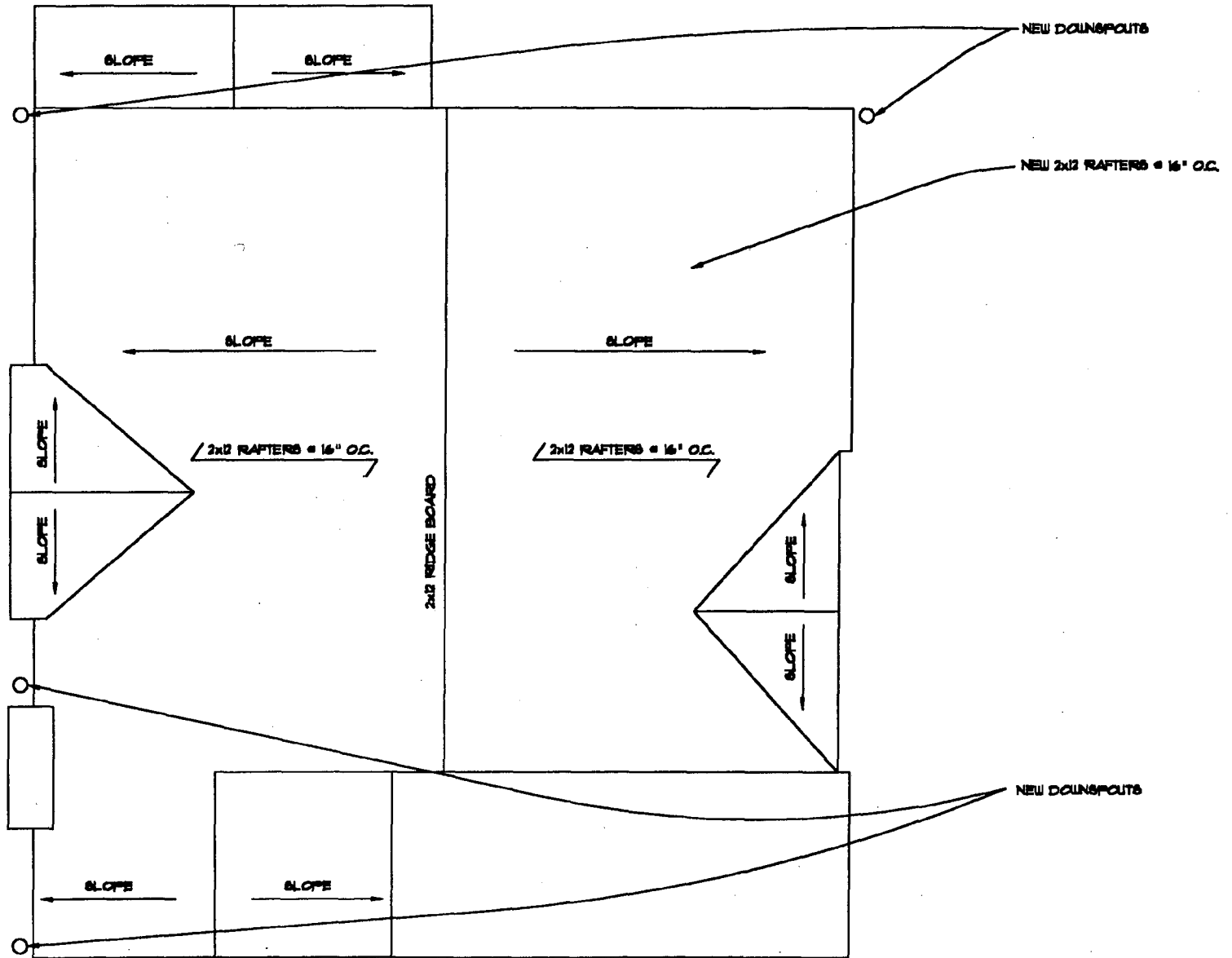
7



1 SECOND FLOOR PLAN  
 A-2 SCALE: 1/4" = 1'-0"

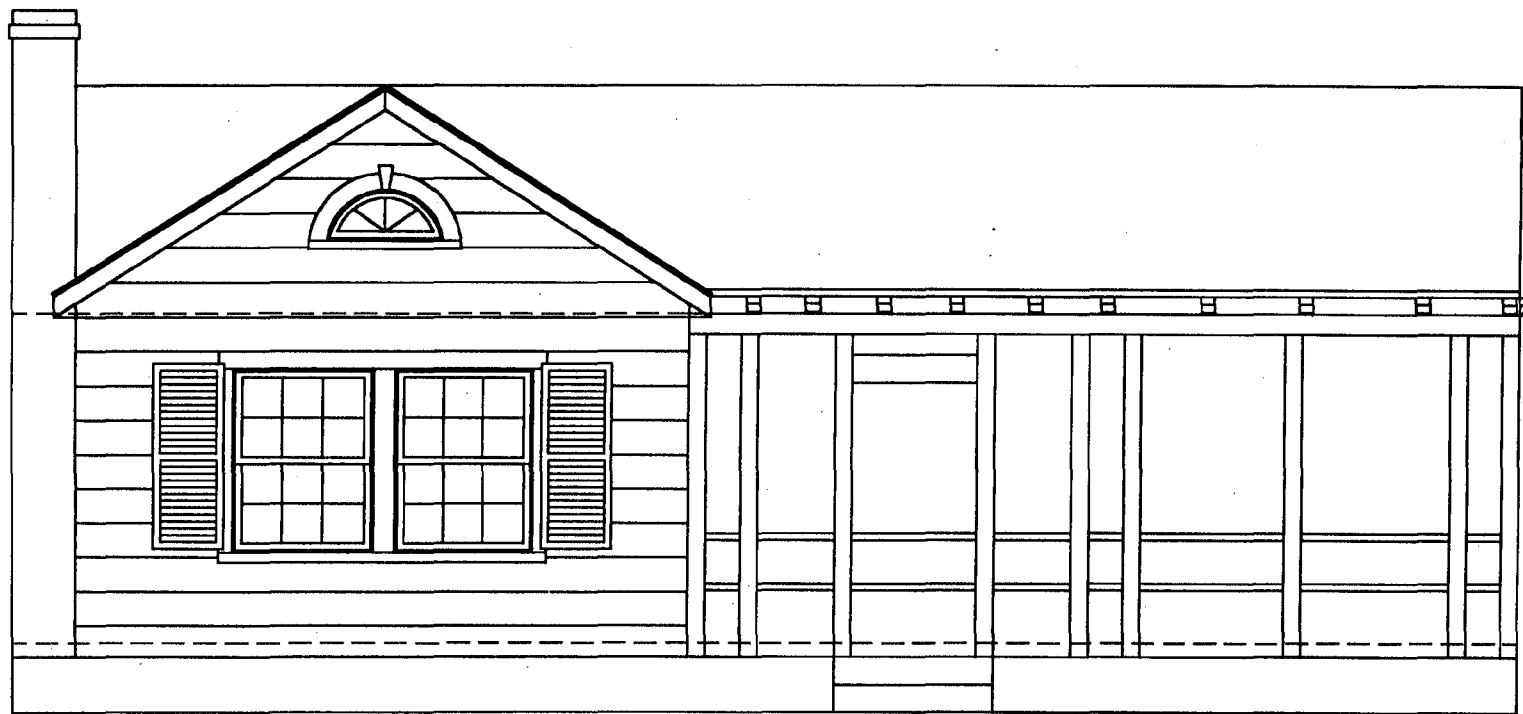
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6

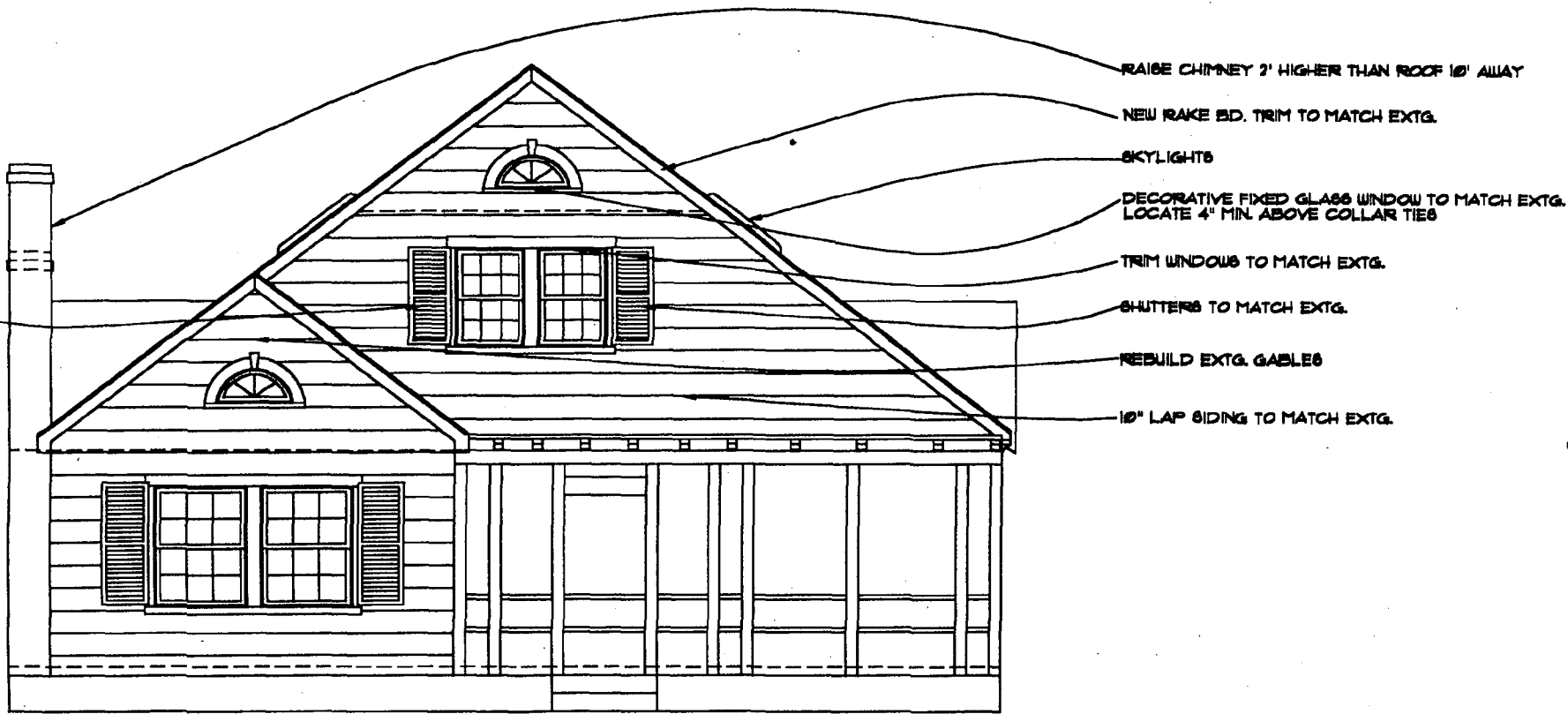
3 ROOF FRAMING PLAN  
 A-2 SCALE: 1/4" = 1'-0"



101

EXISTING FRONT ELEVATION

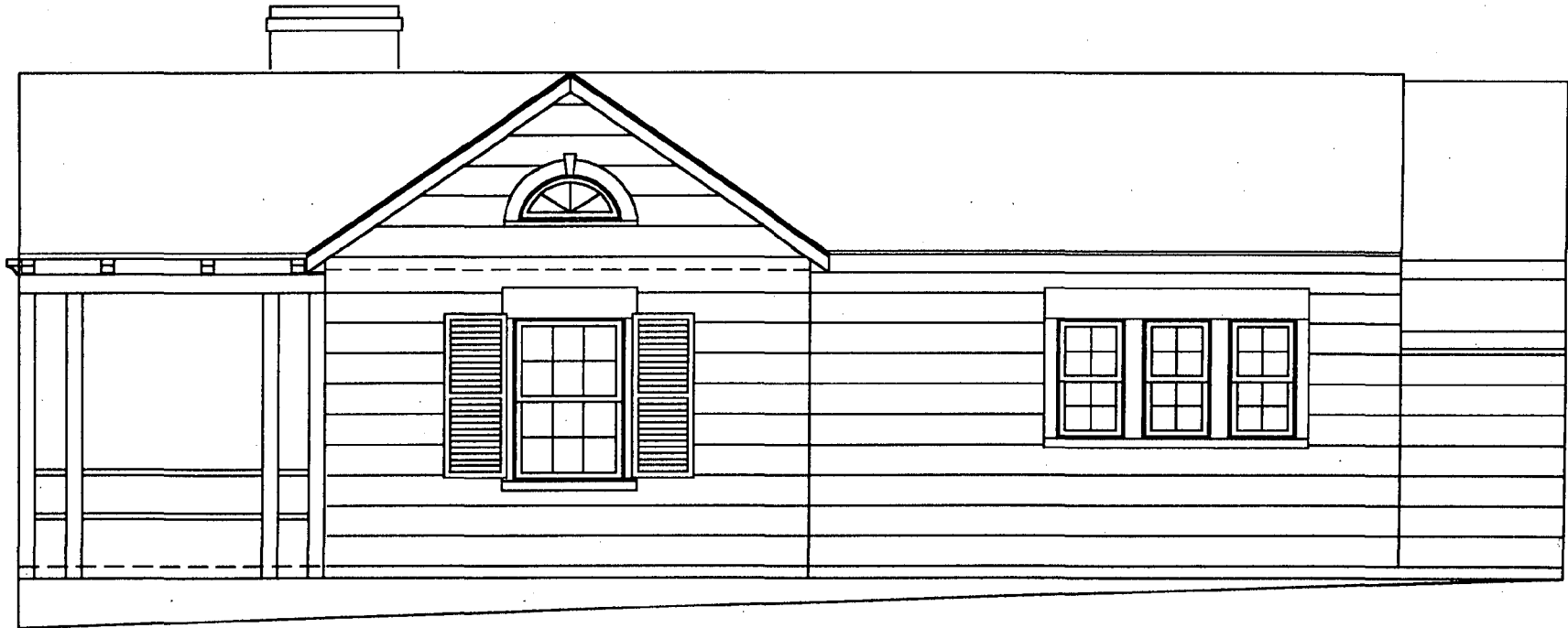
NO SCALE



11

1 NEW FRONT ELEVATION



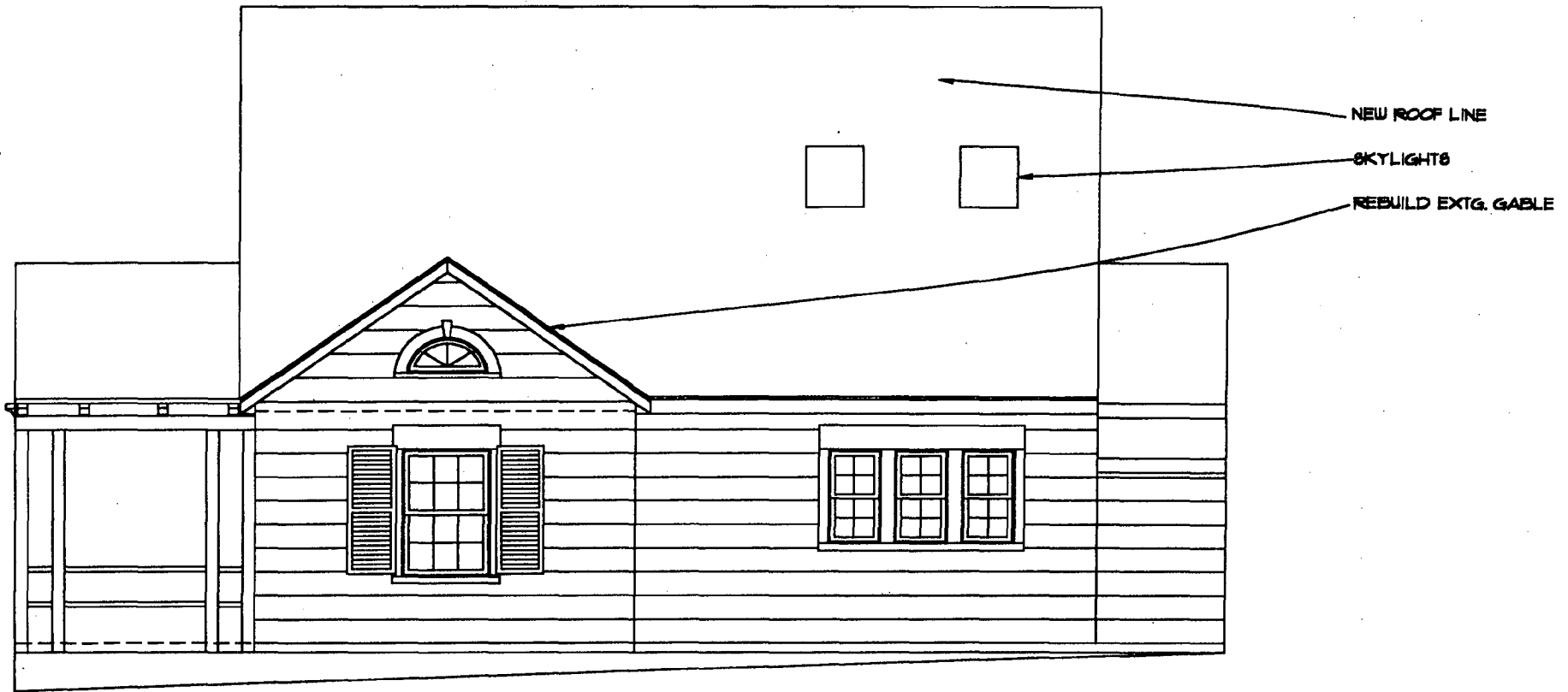


12

EXISTING RIGHT SIDE ELEVATION

NO SCALE

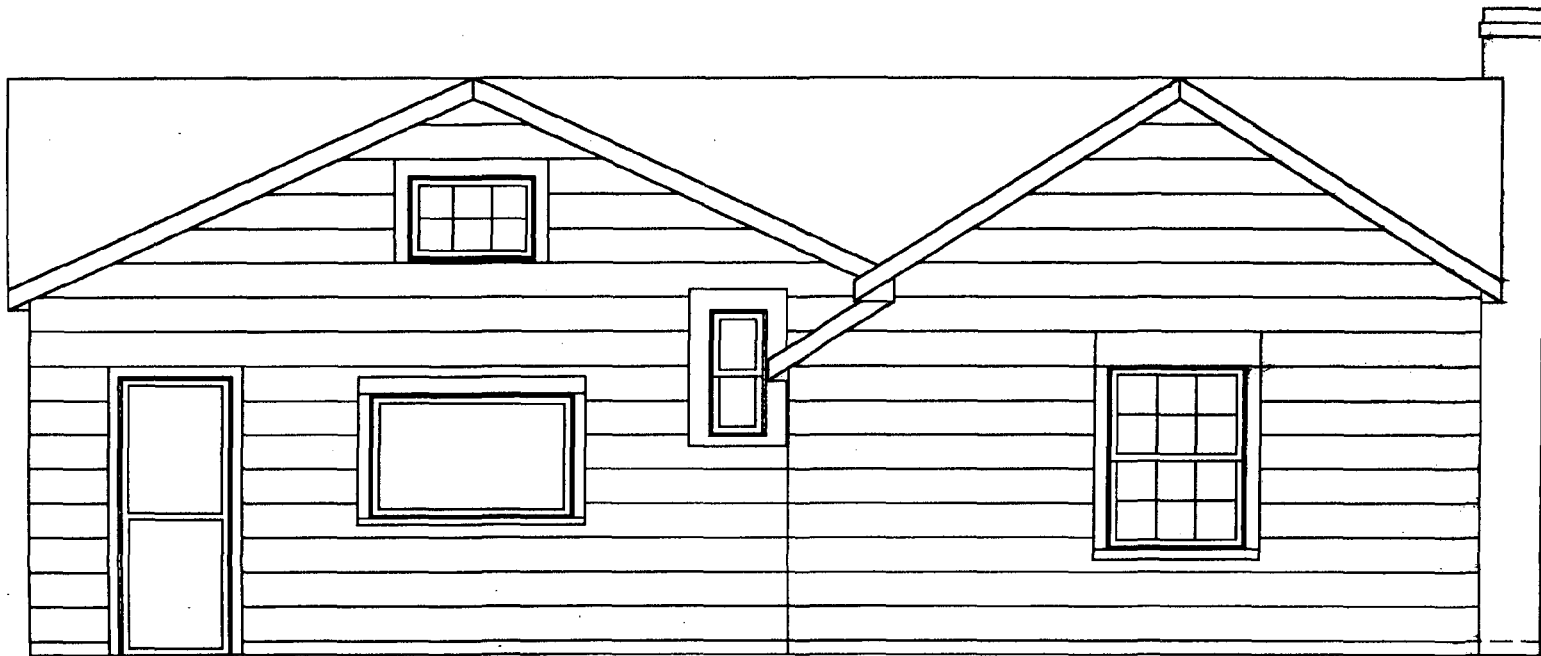
XTG.



13

2 NEW RIGHT SIDE ELEVATION  
A-3 1/4"=1'-0"





14

EXISTING REAR ELEVATION

NO SCALE



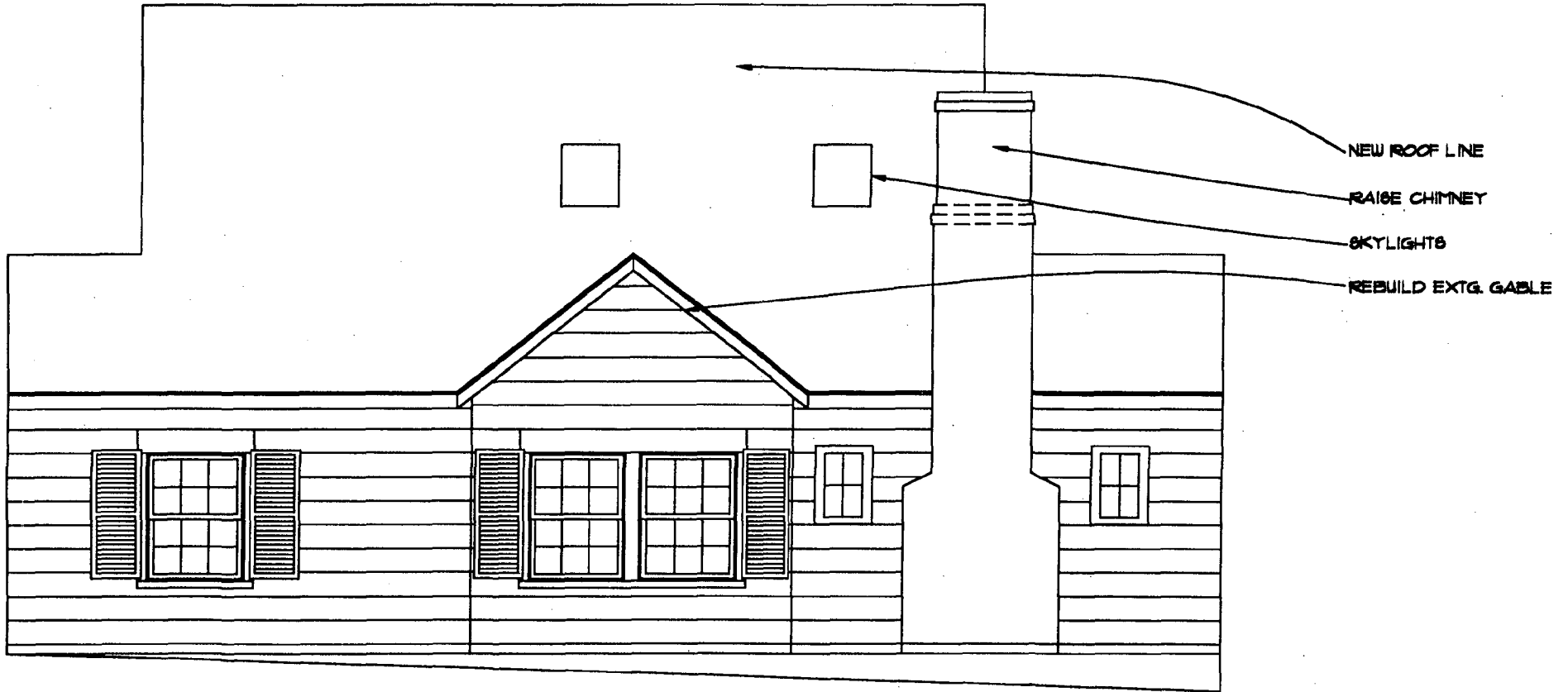
4 NEW REAR ELEVATION  
 A-3 1/4" = 1'-0"

5



16

EXISTING LEFT SIDE ELEVATION



3 NEW LEFT SIDE ELEVATION  
 A-3 1/4" = 1'-0"

14

## WINDOW SCHEDULE

WINDOW TYPE	ROUGH OPENING	DESCRIPTION
①	3'-4" x 3'-2"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
②	(2) 2'-6" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
③ E	2'-8" x 5'-0"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
④	1'-4" x 2'-6"	FIXED WINDOW W/ PANES
⑤	2'-4" x 3'-6"	DOUBLE-HUNG, WOOD TO MATCH EXTG.
⑥	2'-8" x 1'-2"	1/2 ROUND FIXED WIND. TO MATCH EXTG.

**NOTES:**

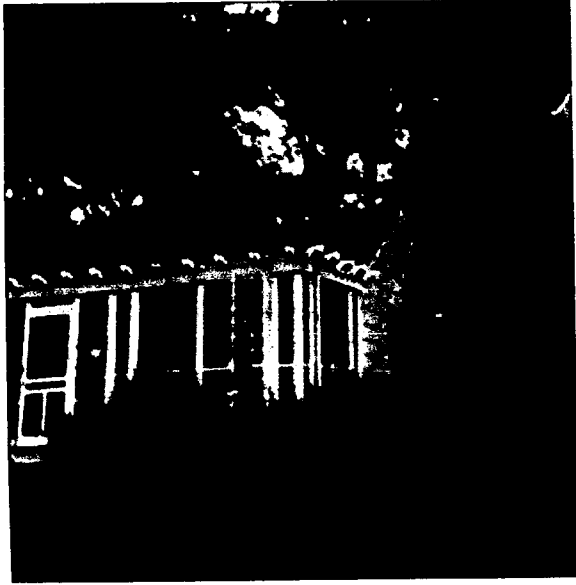
1. WINDOWS DENOTED WITH "E" SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS REGARDING FIRE EGRESS WINDOWS

31

## DOOR SCHEDULE

NO.	SIZE	LABEL (RATING)	DESCRIPTION	HARDWARE
①	2'-6" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
②	3'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BEDROOM PRIVACY SET
③	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	PASSAGE SET
④	2'-0" x 6'-8"	NA	DOOR TO MATCH EXISTING DOORS	BATH PRIVACY SET

14



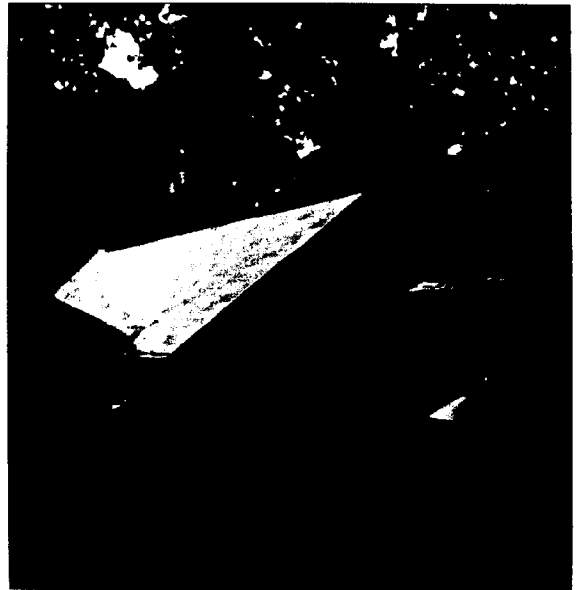
FRONT



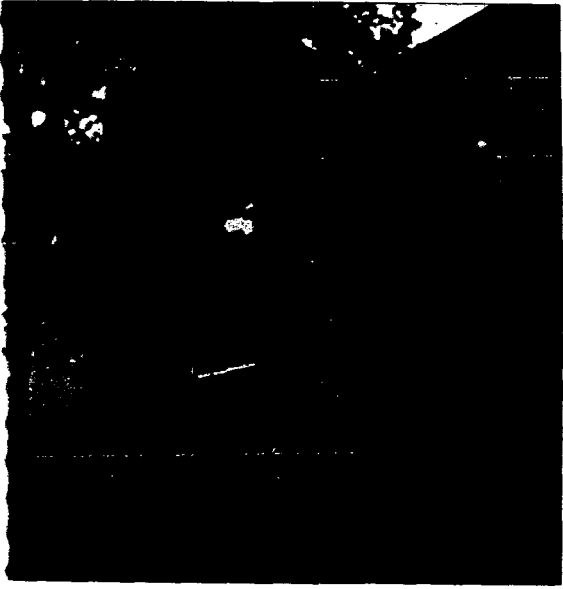
FRONT ELEVATION



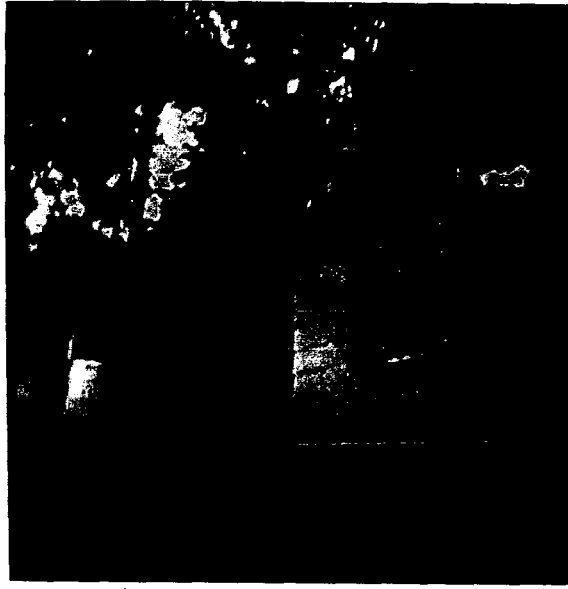
REAR ELEVATION



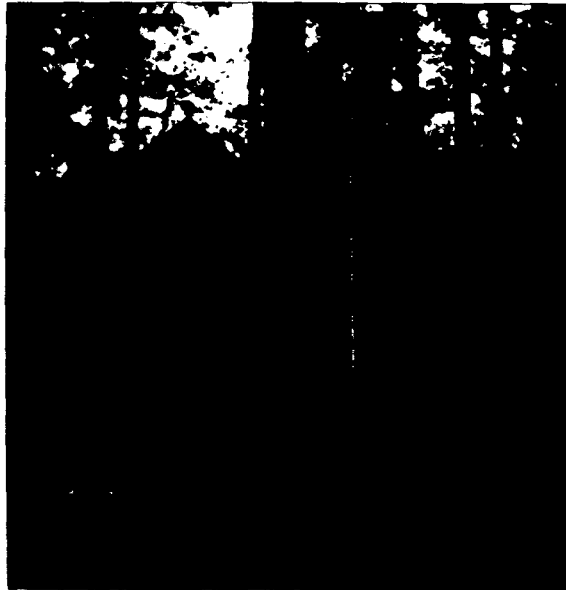
REAR



LEFT SIDE



LEFT SIDE







FRONT ELEVATION





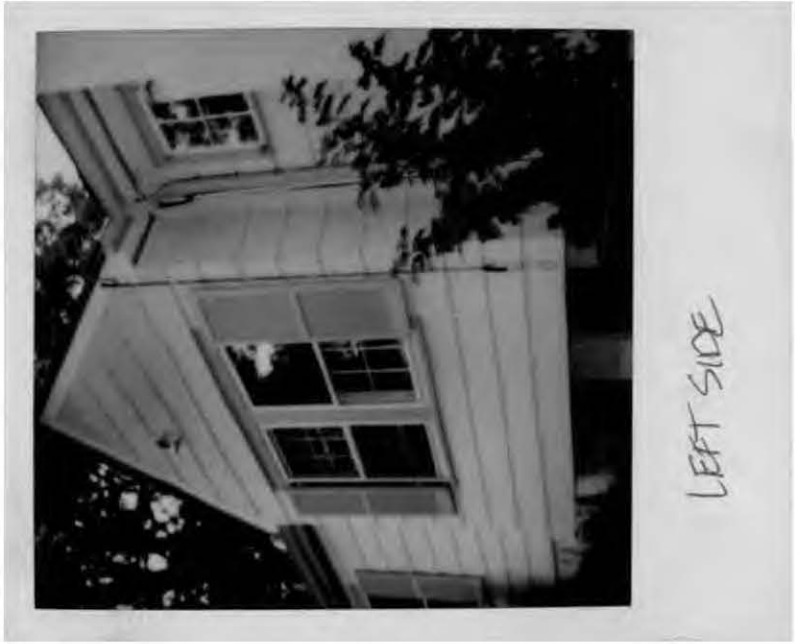
REAR



REAR ELEVATION



LEFT SIDE



LEFT SIDE



1952-53

