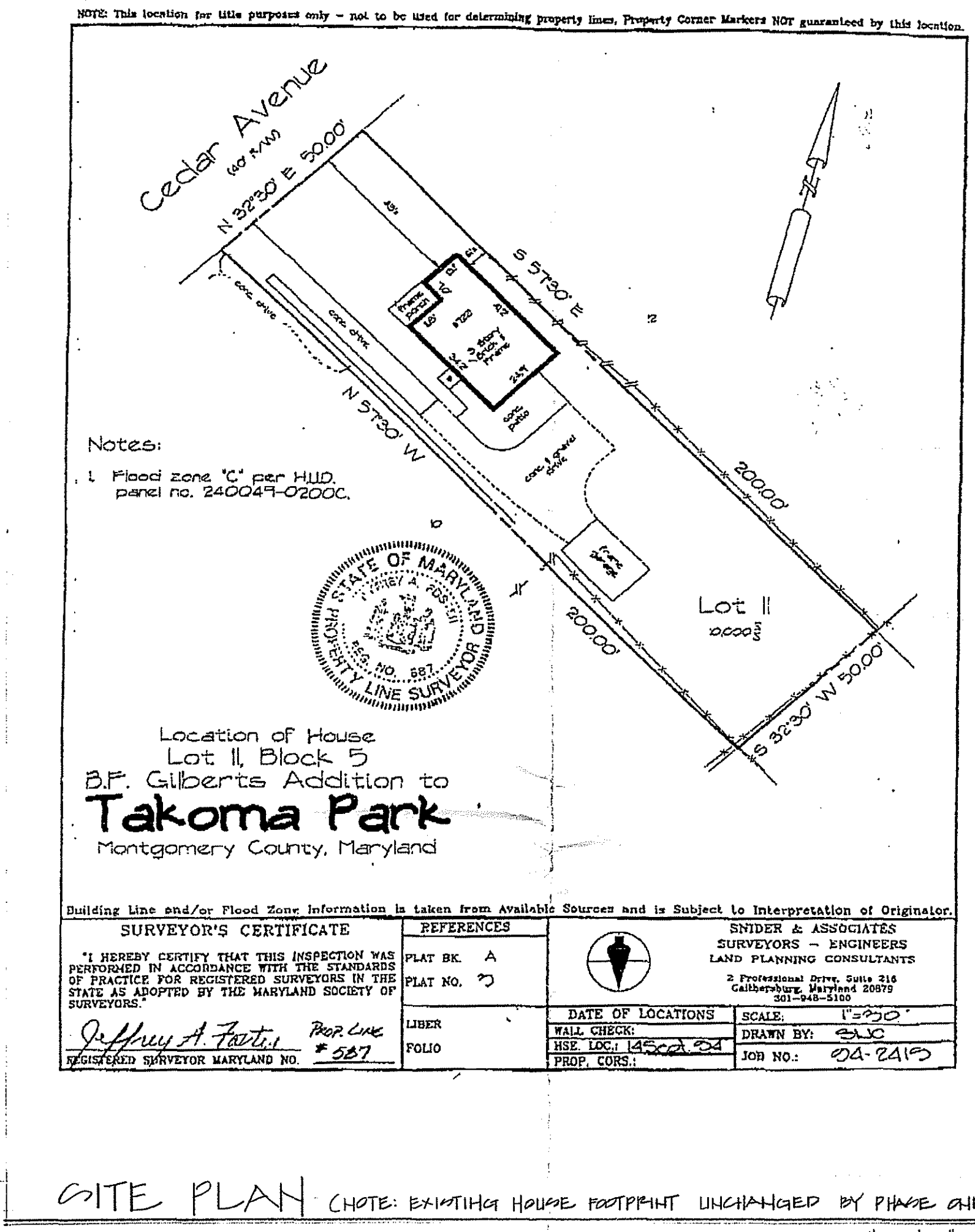


37/3-99N 7221 Cedar Avenue  
(Takoma Park Historic District)

# BANKWELL HOME REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

## PHASE ONE: SECOND FLOOR & ATTIC ADDITION



**SITE PLAN** (NOTE: EXISTING HOUSE FOOTPRINT UNCHANGED BY PHASE ONE WORK)  
1"=30'-0"

### GENERAL PROJECT NOTES

**1. SCOPE OF WORK:**

THE WORK DESCRIBED IN THESE DRAWINGS REPRESENTS PHASE ONE OF THE REMODEL PROJECT OF THE EXISTING HOUSE AT 7221 CEDAR AVENUE, TAKOMA PARK, MD 20912 IN MONTGOMERY COUNTY.

THE EXISTING HOUSE IS CLASSIFIED AS 'CLASS II' HISTORICAL BY THE MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING. THE WORK OF PHASE ONE OF THIS PROJECT HAS BEEN APPROVED BY THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION UNDER HISTORIC AREA WORK PERMIT (HAWP) REFERENCE NO.

PHASE ONE OF THIS PROJECT INCLUDES A SECOND FLOOR ADDITION ABOVE THE EXISTING KITCHEN; THIS AREA SHALL BE A STAIRWELL WITH A NEW STAIRWAY TO ACCESS THE ATTIC. THIS PHASE ALSO INCLUDES AN ADDITION TO THE EXISTING ATTIC ABOVE THE NEW STAIRWELL. PART OF THE EXISTING ROOF WILL BE REMOVED & A NEW ROOF WILL REPLACE IT TO SUPPORT AN ATTIC MULTI-USE AREA.

ANY MECHANICAL & ELECTRICAL WORK FOR PHASE ONE OF THIS PROJECT WILL BE INSTALLED BY EXPANDING THE EXISTING SYSTEMS OF THE HOUSE.

THREE EXISTING MASONRY CHIMNEYS WILL BE RECONSTRUCTED (ONLY TWO WILL EXTEND BEYOND THE ROOFLINE) AS PART OF PHASE ONE WORK.

**2. SUMMARY OF AREAS:**

LOT: 10,000 SF

PROPOSED ADDITION TO HOUSE FOOTPRINT FOR PHASE ONE: 0 SF (N/A)

HOUSE AREAS

FIRST FLOOR (EXISTING): 1,057 SF (INCL. EXISTING MUDROOM & PORCH)  
 SECOND FLOOR (EXISTING): 887 SF  
 SECOND FLOOR ADDITION: 150 SF  
 ATTIC FLOOR (EXISTING): 791 SF  
 ATTIC FLOOR ADDITION: 66 SF

TOTAL AREA WITH ADDITIONS OF PHASE ONE: 2,951 SF (EXCLUDING BASEMENT)  
 AREA OF NEW ATTIC WITH HEADROOM ≥ 5'-0": 383 SF  
 (SAME EXPRESSED AS A PERCENTAGE OF NEW SECOND FLOOR AREA: 37%)

**3. ZONING SUMMARY:**

LOT: LOT II, BLOCK 5, B.F. GILBERTS ADDITION TO TAKOMA PARK, MONTGOMERY COUNTY, MARYLAND

ZONE: R-60

SETBACKS (MIN.):  
 FRONT: 25'  
 SIDE: 7'  
 REAR: 20'

MAXIMUM LOT COVERAGE: 33%

**4. DESIGN CRITERIA SUMMARY:**

- PROJECT DESIGNED & SHALL BE BUILT IN ACCORDANCE WITH THE GOVERNING CODE: CABO, 1995 EDITION WITH AMENDMENTS.
- DESIGN LOAD VALUES:  
 FLOOR LIVE LOAD: 40 Psf  
 FLOOR DEAD LOAD: 10 Psf  
 ROOF SNOW LOAD: 20 Psf (NOTE: 40 Psf FOR FLAT ROOF)  
 ROOF DEAD LOAD: 15 Psf
- WOOD FRAMING MEMBERS ASSUMED TO BE NO. 2 SOUTHERN PINE OR EQUAL.
- ENGINEERED LUMBER BEAMS SIZED AS BOISE CASCADE 2800 F (100%) 'VERSA LAM' LAMINATED VENEER LUMBER (LVL). SUBSTITUTIONS MUST MEET OR EXCEED 'VERSA LAM' CHARACTERISTICS FOR PROPOSED LOADING CONDITIONS.

**5. MODEL ENERGY CODE REQUIREMENTS:** N/A FOR WORK OF PHASE ONE

### DRAWING INDEX

SHEET NO.	SHEET TITLE
1	SITE PLAN, PROJECT NOTES, DRAWING INDEX & SYMBOLS
2	SECOND & ATTIC FLOOR PLANS
3	SECTIONS
4	EXTERIOR ELEVATIONS
5	SECOND FLOOR, ATTIC FLOOR AND ROOF FRAMING PLANS

### DRAWING SYMBOLS

ARCHITECTURAL SYMBOLS	ELECTRICAL SYMBOLS
DRAWING NO. REFERENCE SHEET NO.	CEILING MOUNTED LIGHT FIXTURE
SECTION LINE/REFERENCE	RECESSED CAN LIGHT FIXTURE
ELEVATION REFERENCE	WALL MOUNTED LIGHT FIXTURE
WINDOW REFERENCE NO.	SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
EXISTING WALL TO BE REMOVED (PLAN ONLY)	SMOKE/HEAT DETECTOR
EXISTING WALL TO REMAIN	WATER RESISTANT FIXTURE
NEW WALL/CONSTRUCTION	CEILING FAN
	EXHAUST FAN
	SINGLE POLE SWITCH
	THREE POLE SWITCH
	FOUR POLE SWITCH
	DOORBELL
	DOORBELL CHIME
	TELEPHONE JACK
	TELEPHONE JACK - DEDICATED LINE
	CABLE TV JACK
	DUPLEX OUTLET, 18" A.F.F.
	DUPLEX OUTLET, 42" A.F.F.
	QUADPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	SPECIAL PURPOSE CONNECTION
	220 VOLT OUTLET
	DISCONNECT
	MAIN ELECTRICAL PANEL
	ELECTRIC METER

DATE: 6/18/99  
CD CHECK SET

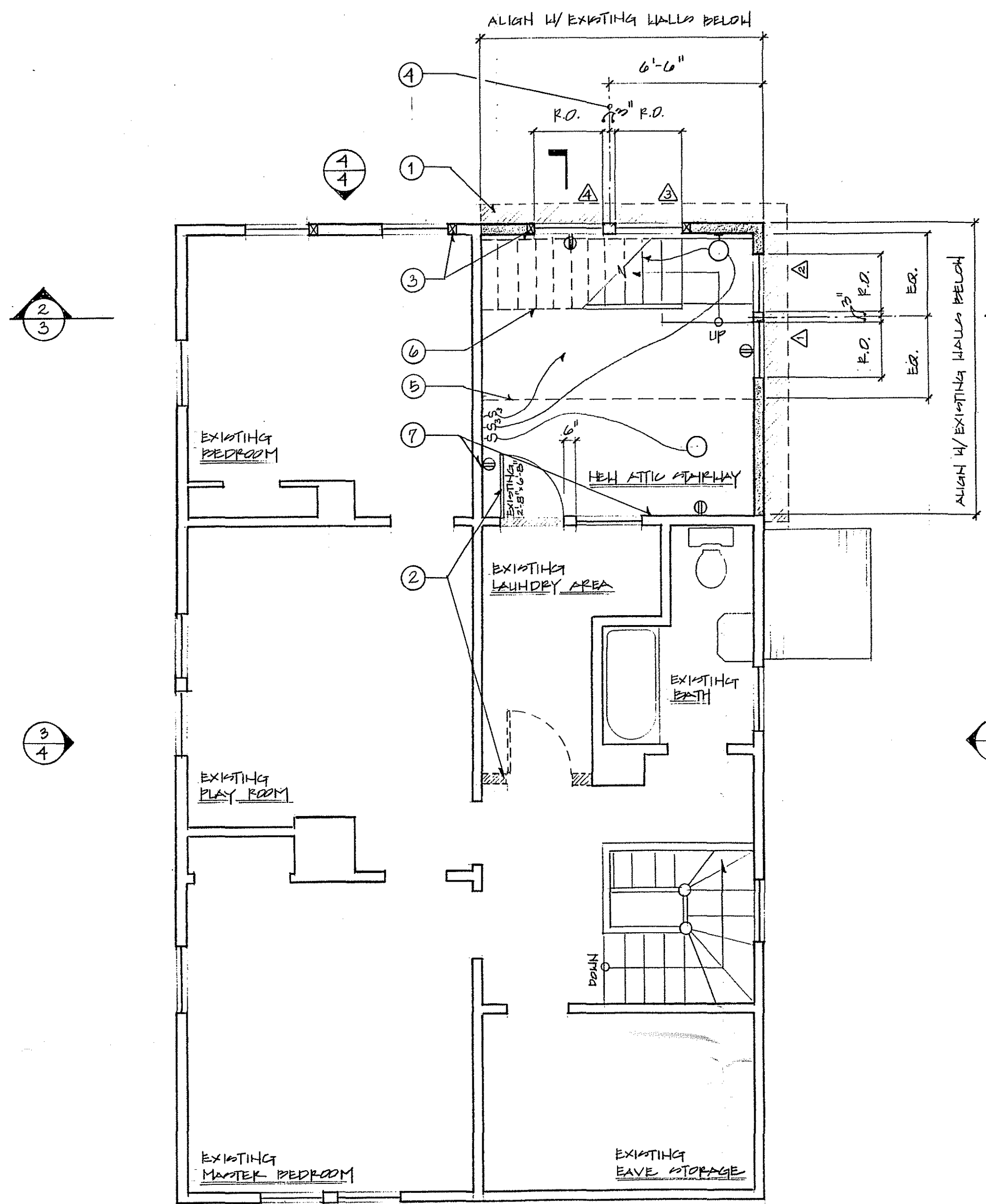
BANKWELL HOME REMODEL  
7221 CEDAR AVENUE  
TAKOMA PARK, MD 20912  
(301) 587-2375

DESIGN BY  
CASA BUILDERS  
GREGORY LARSON  
DESIGNER/BUILDER  
718 HART SPRINGS AVENUE  
HUNTINGTON, PA 16652  
(814) 643-5053

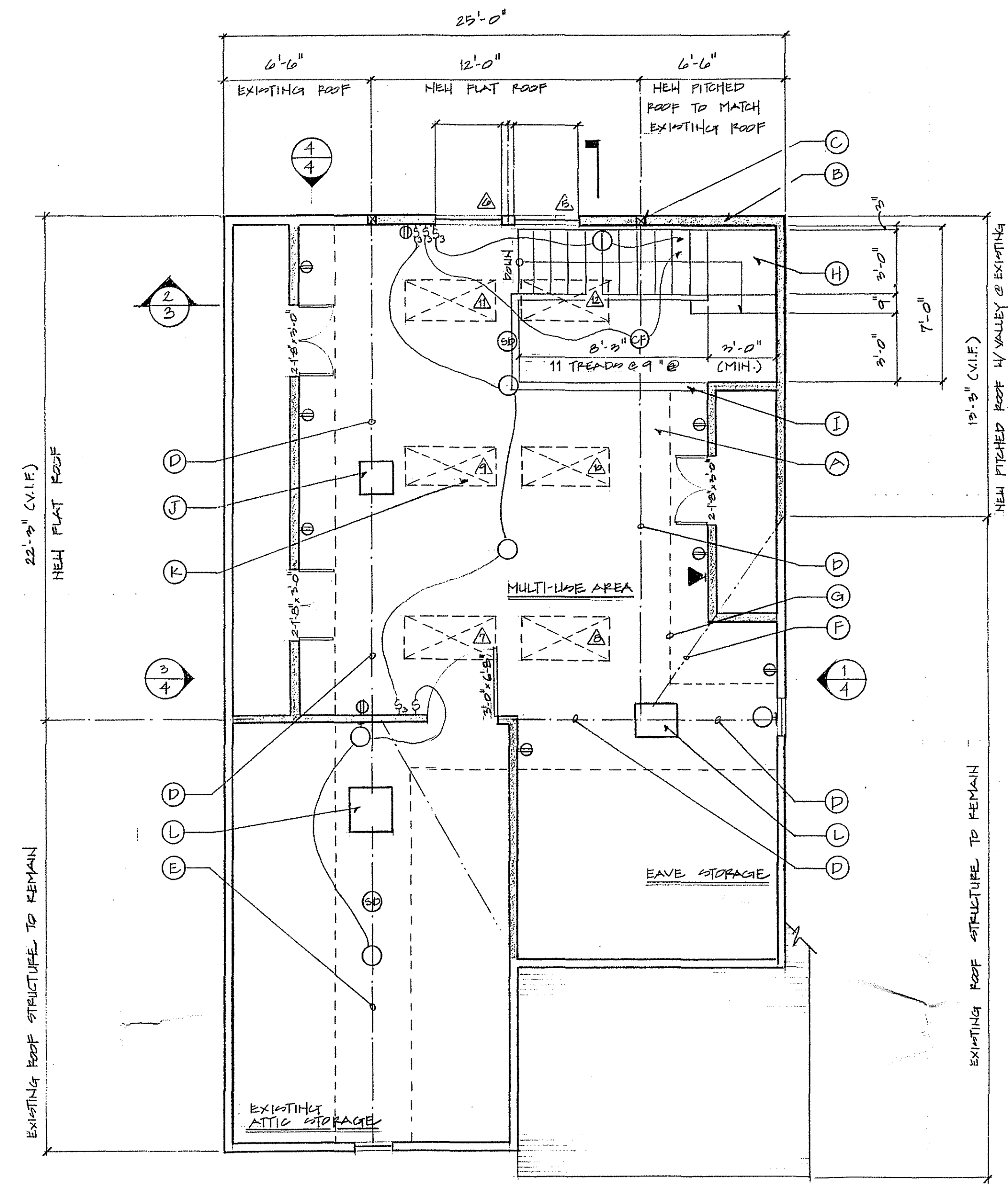
SHEET TITLE:  
SITE PLAN,  
PROJECT NOTES,  
DRAWING  
INDEX AND  
SYMBOLS

SHEET NO.  
1

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
P02 6/27/99



- SECOND FLOOR NOTES**
- REMOVE EXISTING KITCHEN ROOF & CEILING:  
A) REPLACE EXISTING SLOPED KITCHEN CEILING (SEE SECTIONS, SHT. NO. 3 AND FRAMING PLANS, SHT. NO. 5)  
B) INSTALL NEW STUDY FLOOR TO MATCH EXISTING SECOND FLOOR LEVEL
  - REMOVE EXISTING WALL AND RELOCATE EXISTING INTERIOR DOOR
  - POINT LOAD: 2-2x4 COLUMN WITH SQUASH BLOCKING TO FOUNDATION BELOW (TYP)
  - CENTERLINE OF NEW ROOF BEAM ABOVE
  - LINE OF NEW ATTIC FLOOR ABOVE
  - NEW STAIR TO ATTIC; SEE ATTIC FLOOR PLAN, SHT. NO. 2 AND SECTIONS, SHT. NO. 3
  - REMOVE EXISTING EXTERIOR FINISHES & SHEATHING; FINISH WITH 1/2" GYPSUM HALDBOARD



- ATTIC FLOOR NOTES**
- REMOVE EXISTING ATTIC ROOF BETWEEN SIDINGS OF REAR & SOUTH (DRIVEWAY) GABLES:  
1) REPLACE ROOF AS PER SECTIONS, SHT. NO. 3, AND FRAMING PLANS, SHT. NO. 5  
2) INSTALL NEW ATTIC FLOOR TO FORM ATTIC STAIRWELL; MATCH EXISTING FINISH FLOOR OF ATTIC
  - REMOVE SOUTHWEST (DRIVEWAY) HALF OF EXISTING REAR GABLE WALL AND REPLACE PER NEW REAR GABLE ELEVATION; SEE 1/4
  - POINT LOAD: 3-2x4 COLUMN WITH SQUASH BLOCKING TO SECOND FLOOR BEAM BELOW (TYP)
  - CENTERLINE OF NEW ROOF BEAM ABOVE
  - CENTERLINE OF EXISTING RIDGE TO REMAIN
  - NEW VALLEY @ EXISTING SOUTH GABLE
  - LINE OF 5'-0" HEADROOM (TYP)
  - NEW STAIR TO ATTIC
  - 36" HIGH GUARDRAIL AROUND NEW STAIRWELL OPENING
  - RECONSTRUCT EXISTING MASONRY CHIMNEY TO BEARING POINT OF NEW ROOF BEAM ABOVE (NOTE: CHIMNEY NOT BEING USED FOR VENTING PURPOSES)
  - NEW SKYLIGHT ABOVE. NOTE: EXACT LAYOUT TO BE DETERMINED IN FIELD (TYP)
  - RECONSTRUCT EXISTING MASONRY CHIMNEY TO POINT ≥ 2'-0" ABOVE HIGHEST ROOF RIDGE/CURB; ALLOW FOR BEARING (2" MIN) OF NEW ROOF BEAM ABOVE.

1 SECOND FLOOR PLAN  
2

2 ATTIC FLOOR PLAN  
2

- GENERAL CARPENTRY NOTES:**
- ALL DIMENSIONS GIVEN TO FINISH SURFACES, UNLESS NOTED OTHERWISE.
  - ALL NEW EXTERIOR WALLS TO BE 2x6 STUD CONSTRUCTION, 16" OC WITH 1/2" OSB EXTERIOR GRADE SHEATHING
  - ALL NEW INTERIOR PARTITIONS TO BE 2x4 STUD CONSTRUCTION, 16" OC.

- GENERAL MECHANICAL NOTES**
- NO NEW HEATING, COOLING, OR PLUMBING WORK IS PLANNED FOR WORK UNDER THIS PHASE/PERMIT.
  - ANY MODIFICATION REQUIRED OF EXISTING MECHANICAL SYSTEMS DUE TO RENOVATIONS WILL BE COMPLETED PER CABO ONE & THE FAMILY DWELLING CODE, 1995 EDITION.

- GENERAL ELECTRICAL NOTES**
- INSTALL NEW ELECTRICAL SYSTEM FOR FIXTURES SHOWN ON PLANS OFF EXISTING ELECTRICAL SERVICE; ALL NEW WORK TO BE COMPLETED PER NFPA 70A AND THE CABO MODEL ENERGY CODE REQUIREMENTS.

DATE: 6/18/11  
CD CHECK SET

BANWELL HOME REMODEL  
7221 CEDAR AVENUE  
TAKOMA PARK, MD 20912  
(301) 557-2375

DESIGNED BY:  
CASA BUILDERS  
GREGORY LARSON  
DESIGNER/BUILDER  
718 WARM SPRINGS AVENUE  
HUNTINGTON, PA 16652  
(814) 643-8053

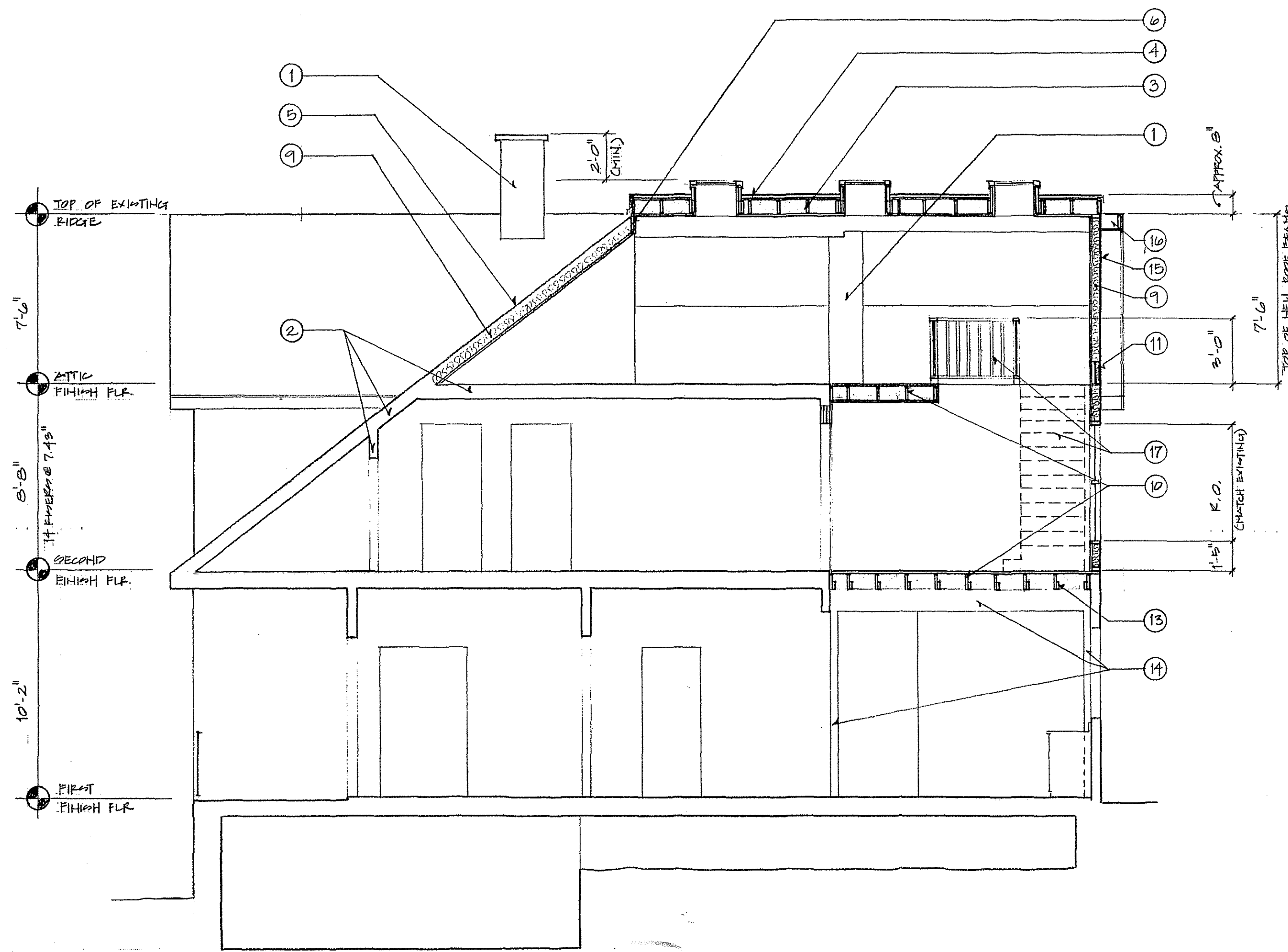
SHEET TITLE:  
SECOND &  
ATTIC  
FLOOR  
PLANS

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Montgomery County  
Historic Preservation Commission

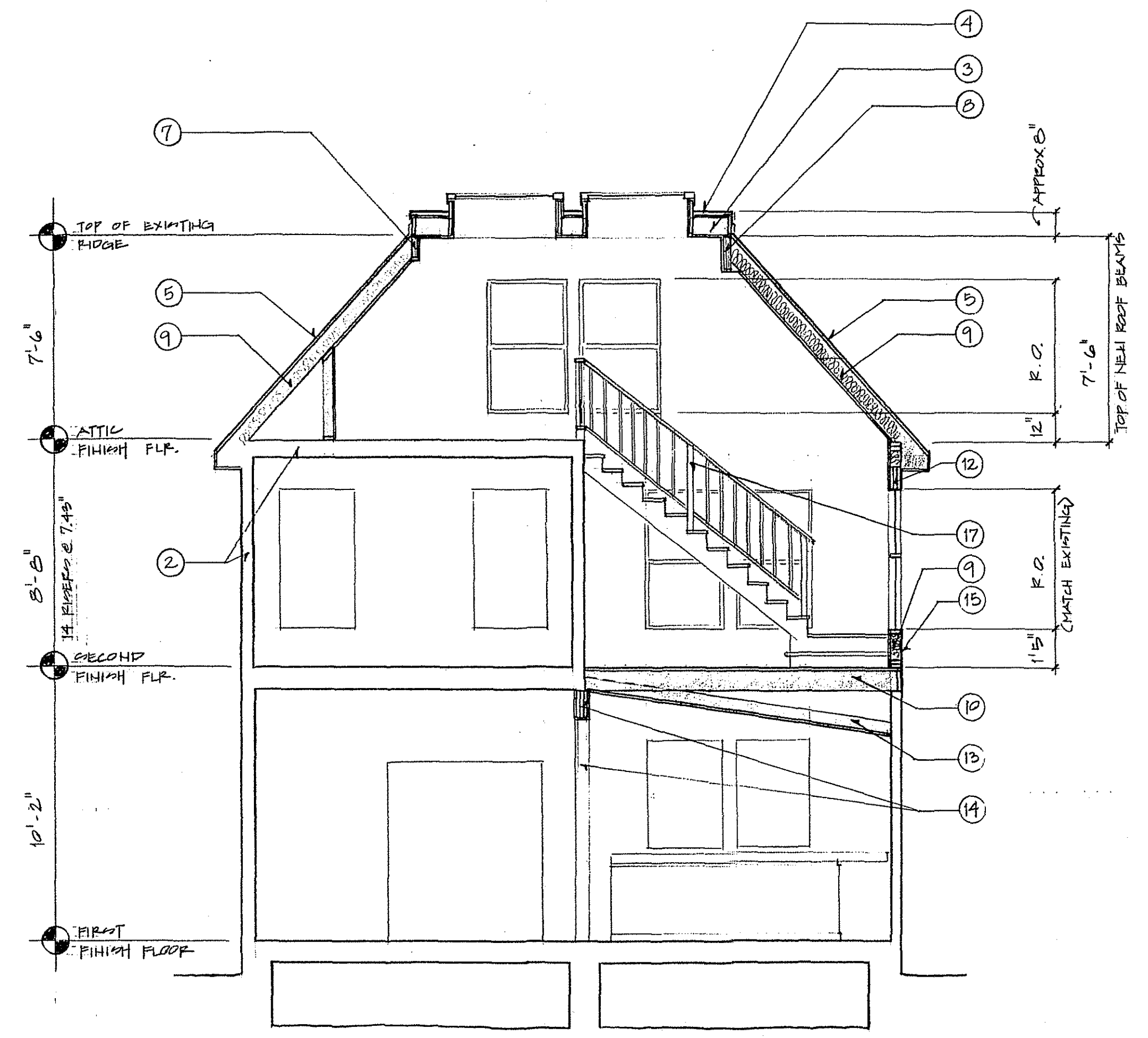
202  
6/29/11

SHEET NO.  
2





- SECTION(S) NOTES**
- 1 EXISTING/RECONSTRUCTED MASONRY CHIMNEY TO PROVIDE BEARING FOR NEW LVL ROOF BEAMS
  - 2 EXISTING ROOF/FLOOR/WALL STRUCTURE TO REMAIN (TYP)
  - 3 2x8 ROOF RAFTERS @ 16" O.C. W/ 3/8" OSB SHEATHING
  - 4 FLAT ROOF SYSTEM: INSTALL 'DURALAST' SINGLE-PLY SYSTEM OVER 'ROOFBOARD' INSULATION; ALL ANYLIGHT CURBS AND FLASHING DETAILS TO BE PER MANUFACTURER'S RECOMMENDATIONS & SPECIFICATIONS
  - 5 PITCHED ROOF SYSTEM: INSTALL ASPHALT TAB SHINGLES OVER 1/2" ROOFING FELT AS PER MANUFACTURER'S RECOMMENDATIONS & SPECIFICATIONS
  - 6 1 3/4" x 9 1/2" LVL ROOF RIDGE BEAM
  - 7 3 1/2" x 9 1/2" LVL ROOF BEAM
  - 8 3 1/2" x 16" LVL ROOF BEAM
  - 9 R-19 FIBERGLASS BATT INSULATION (NOTE: FOR ROOF RAFTER APPLICATIONS PROVIDE 2" AIRSPACE BELOW ROOF SHEATHING; PROVIDE SOFFIT VENTS & RIDGE VENTS FOR NEW & EXISTING PITCHED RAFTERS)
  - 10 2x8 FLOOR JOISTS @ 16" O.C. WITH 3/4" T&G OSB SUBFLOOR
  - 11 1 3/4" x 11 1/8" LVL BEAM TO DISTRIBUTE ROOF POINT LOAD ABOVE
  - 12 TYPICAL NEW WINDOW HEADER: 3-2x10
  - 13 2x6 CEILING JOISTS @ 16" O.C.
  - 14 EXISTING 2-1 3/4" x 11 1/8" LVL BEAM: INSTALL ADDITIONAL 1 3/4" x 11 1/8" LVL BEAM TO EXISTING BEAM; SUPPORT NEW COMPOSITE BEAM WITH NEW 4-2x4 PILLARS; PROVIDE SQUARE BLOCKING TO FOUNDATION FOR NEW PILLARS
  - 15 NEW EXTERIOR WALL (TYP)
  - 16 NEW FASCIA/SOFFIT TO MATCH EXISTING (TYP)
  - 17 NEW ATTIC STAIR/STAIRWELL WITH 36" HIGH GUARDRAIL



1 LONGITUDINAL SECTION  
3  
1/4" = 1'-0"

2 CROSS SECTION  
3  
1/4" = 1'-0"

DATE / NOTES  
6/18/99 CD CHECK  
RET

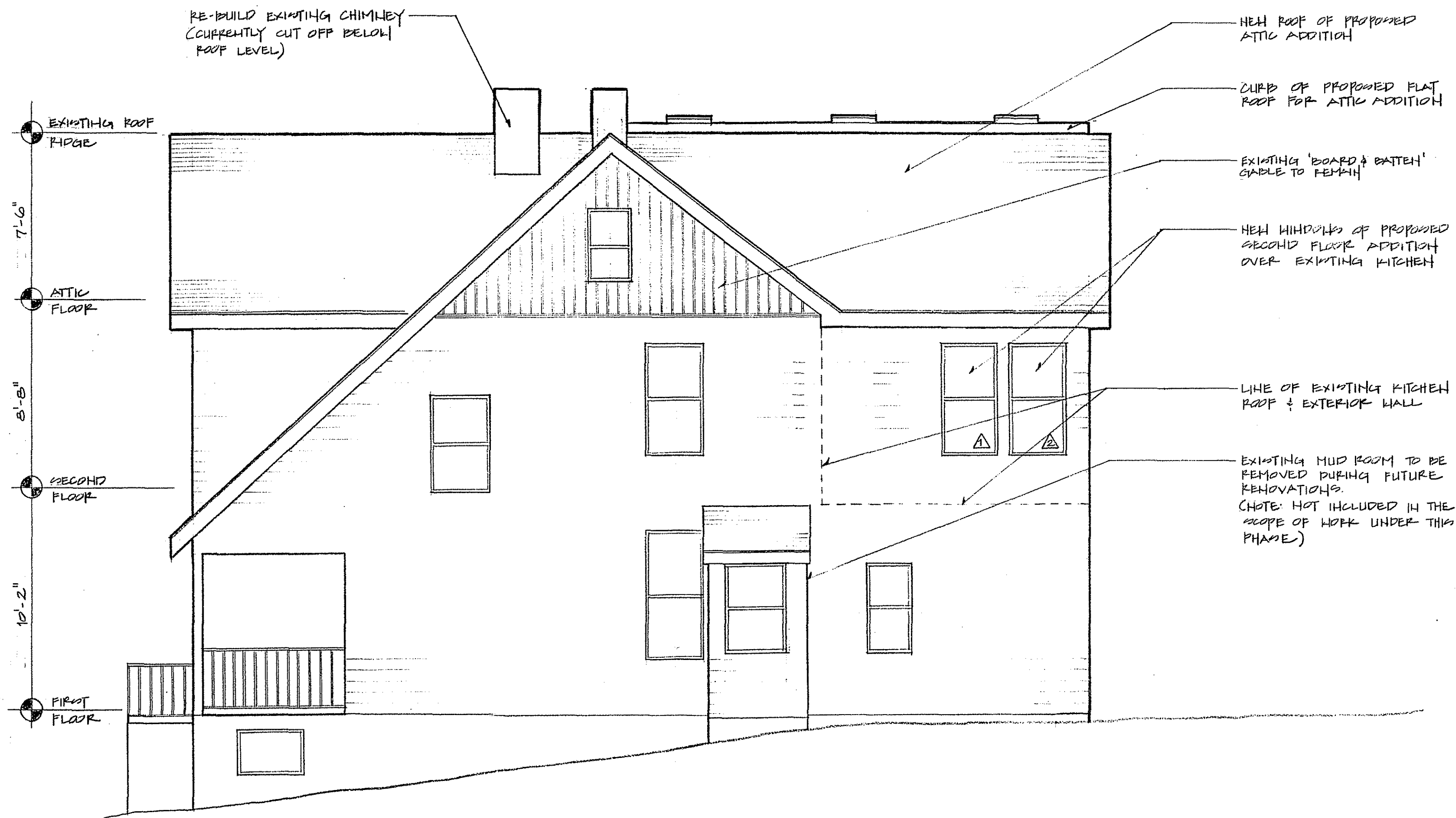
BRANKHILL HOME REMODEL  
7821 CEDAR AVENUE  
TAKOMA PARK, MD 20912  
(301) 587 2375

DESIGN BY:  
LARA BUILDERS  
GREGORY LARSON  
DESIGNER/BUILDER  
718 WALK SPRING AVENUE  
HUNTINGDON, PA 16652  
(814) 643-5093

SHEET TITLE:  
SECTIONS

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
6/29/99

SHEET NO.  
3



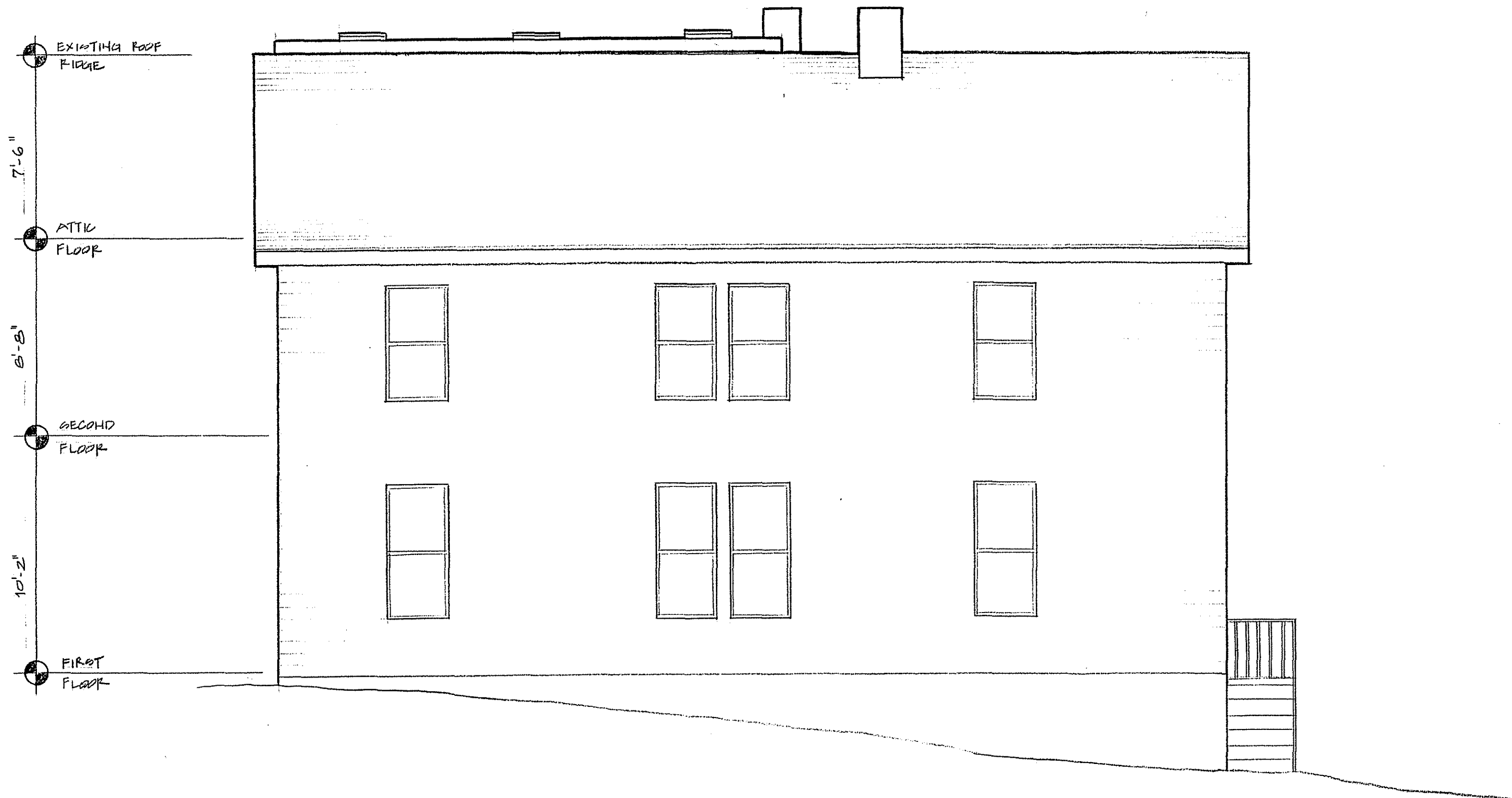
1 SOUTH SIDE ELEVATION

1/4" = 1'-0"



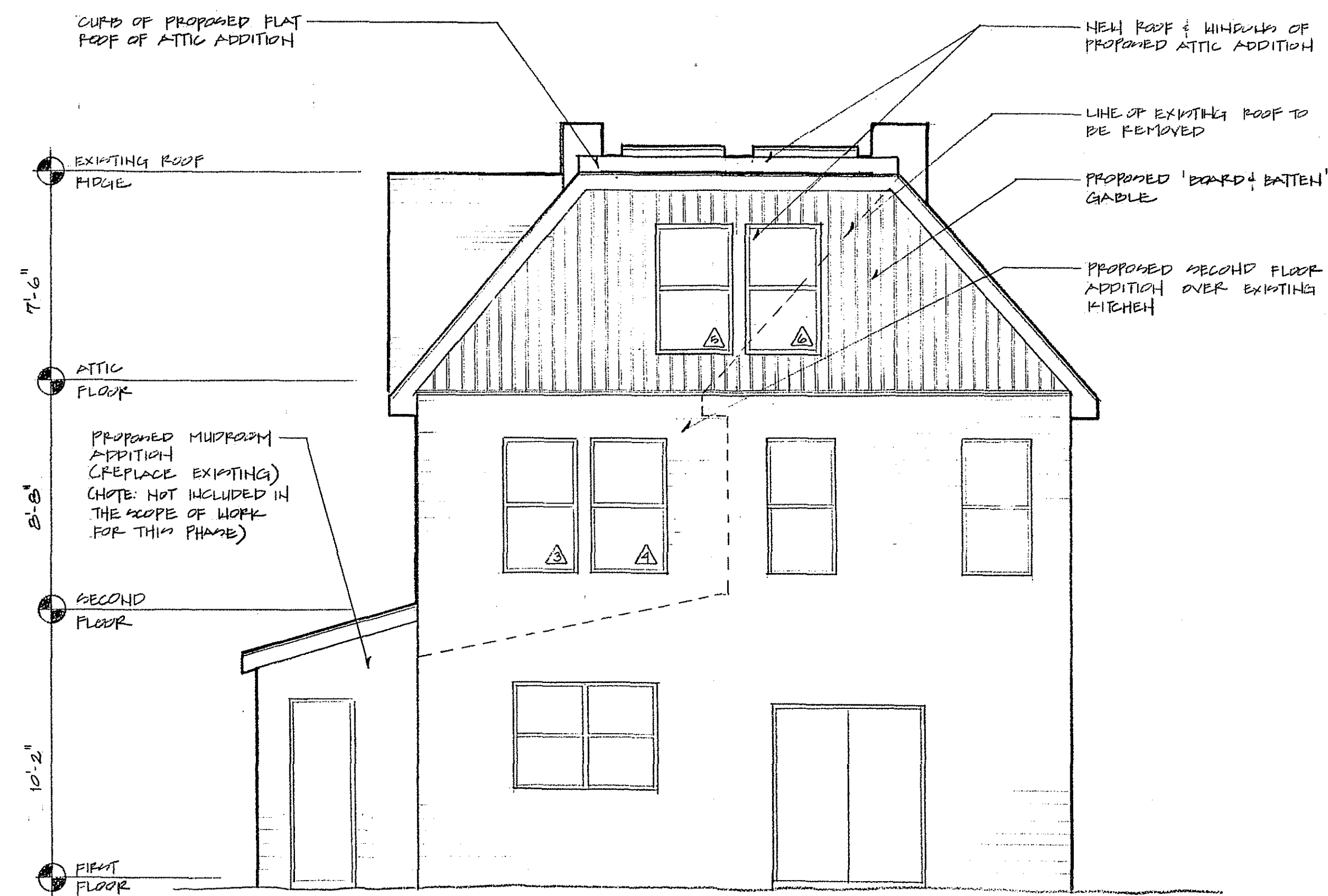
2 CEDAR AVENUE ELEVATION

1/4" = 1'-0"



3 NORTH SIDE ELEVATION

1/4" = 1'-0"



4 REAR ELEVATION

1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

DATE 6/21/99

DATE / NOTES  
6/18/99 CD CHECK  
DET

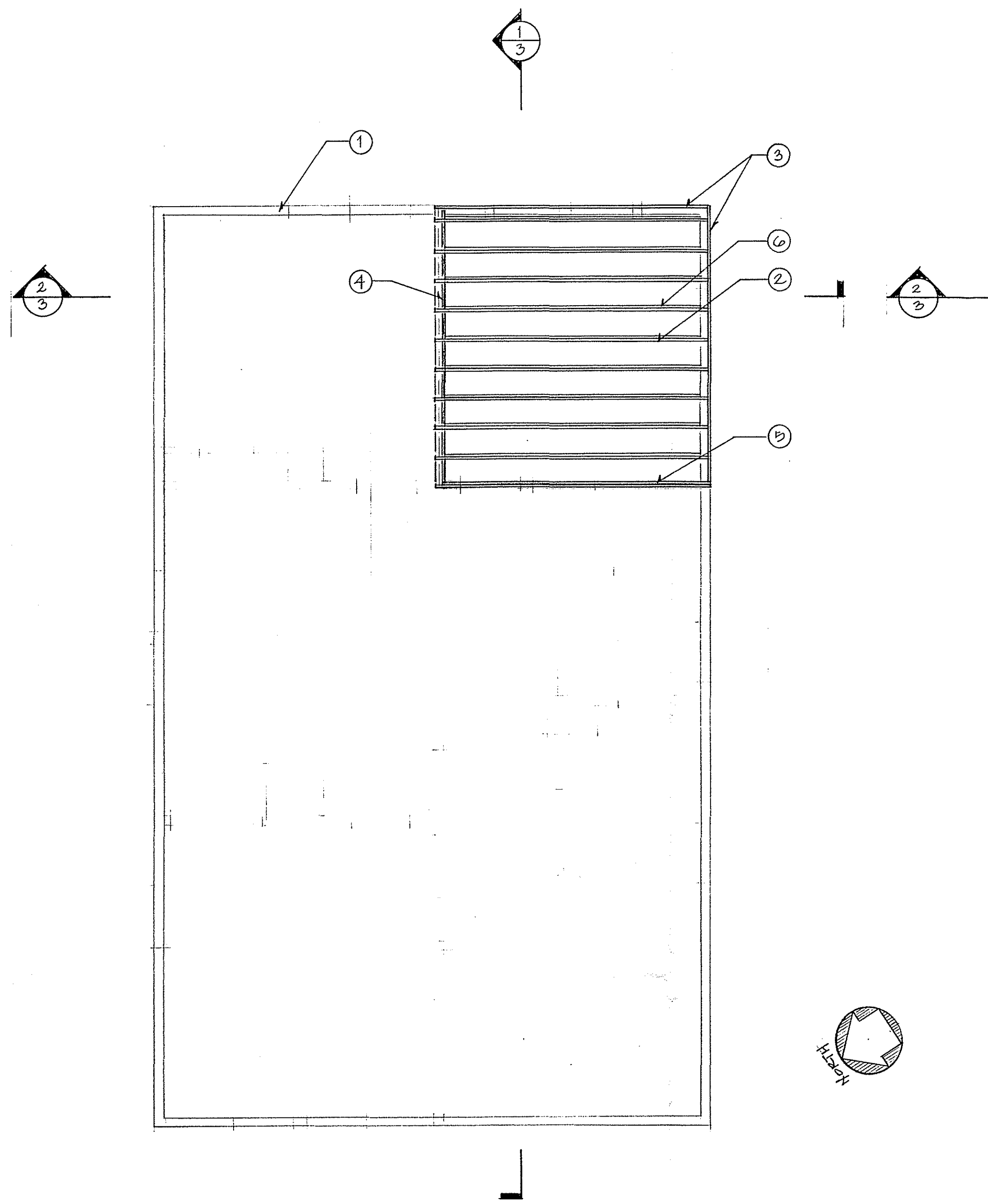
BAYWELL HOME REMODEL  
7221 CEDAR AVENUE  
TAKOMA PARK, MD 20912  
(301) 587-2375

DESIGNED BY  
CASA BUILDERS  
GREGORY LARSON  
DESIGNER/BUILDER  
710 WARM SPRINGS AVENUE  
HUNTINGDON, PA 16652  
(814) 643-5053

SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NO.  
4

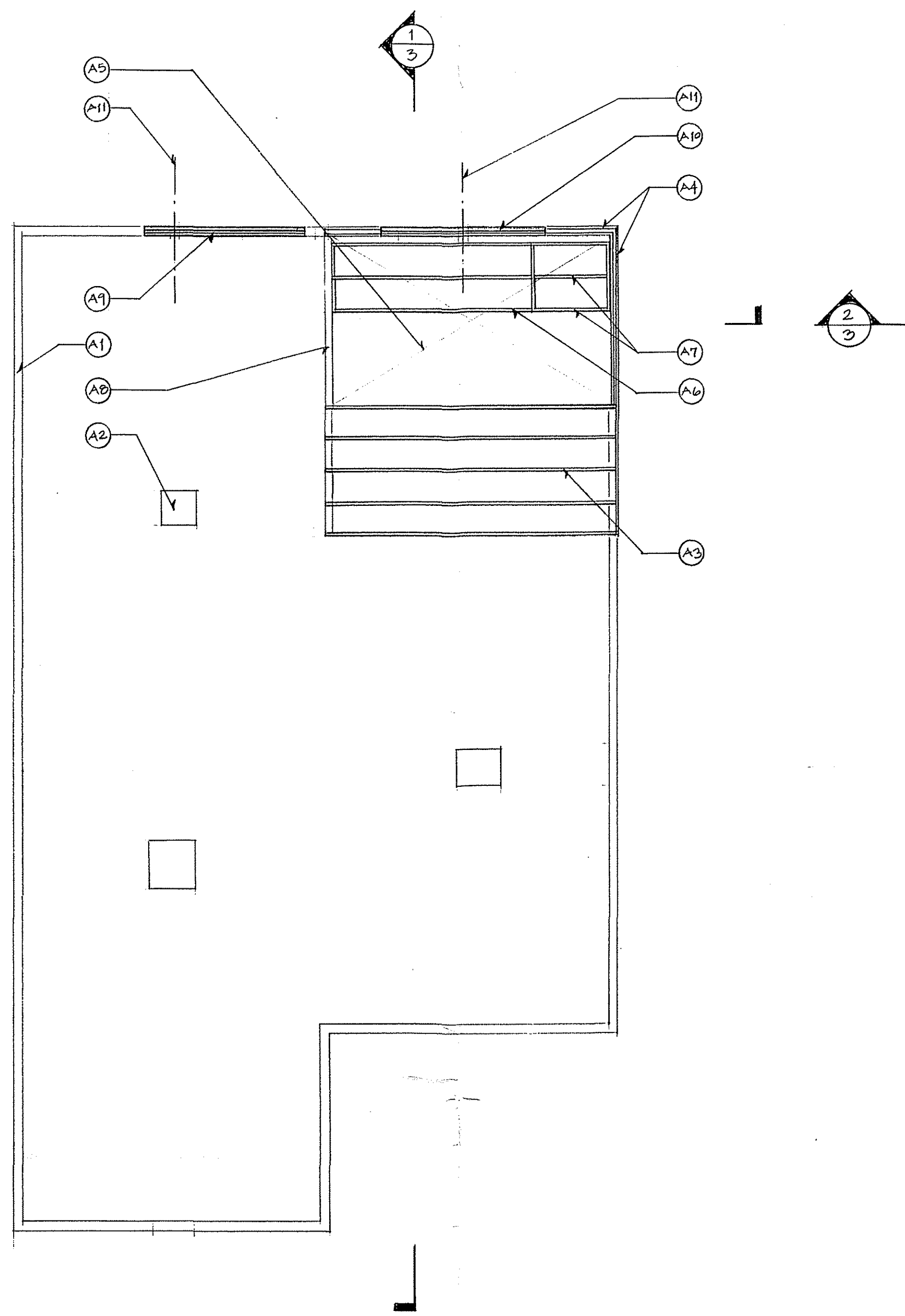




① SECOND FLOOR FRAMING NOTES

- ① EXISTING WALL BELOW (TYP.)
- ② 2x8 (MIN.) FLOOR JOISTS @ 16" o.c.; FINISH FLOOR TO MATCH EXISTING SECOND FLOOR
- ③ 2x8 (MIN.) RIM JOIST
- ④ EXISTING 2-1 3/4" x 11 7/8" LVL BEAM BELOW; ADD NEW 1 3/4" x 11 7/8" LVL MEMBER TO EXISTING BEAM; SUPPORT NEW COMPOSITE BEAM WITH NEW 3-2x4 PILASTERS BELOW; PROVIDE SQUARE PLYWOOD FLOORING TO FOUNDATION BELOW FOR EACH PILASTER.
- ⑤ EXISTING LVL BEAM BELOW TO REMAIN.
- ⑥ 2x6 CEILING JOISTS @ 16" o.c. FOR KITCHEN BELOW

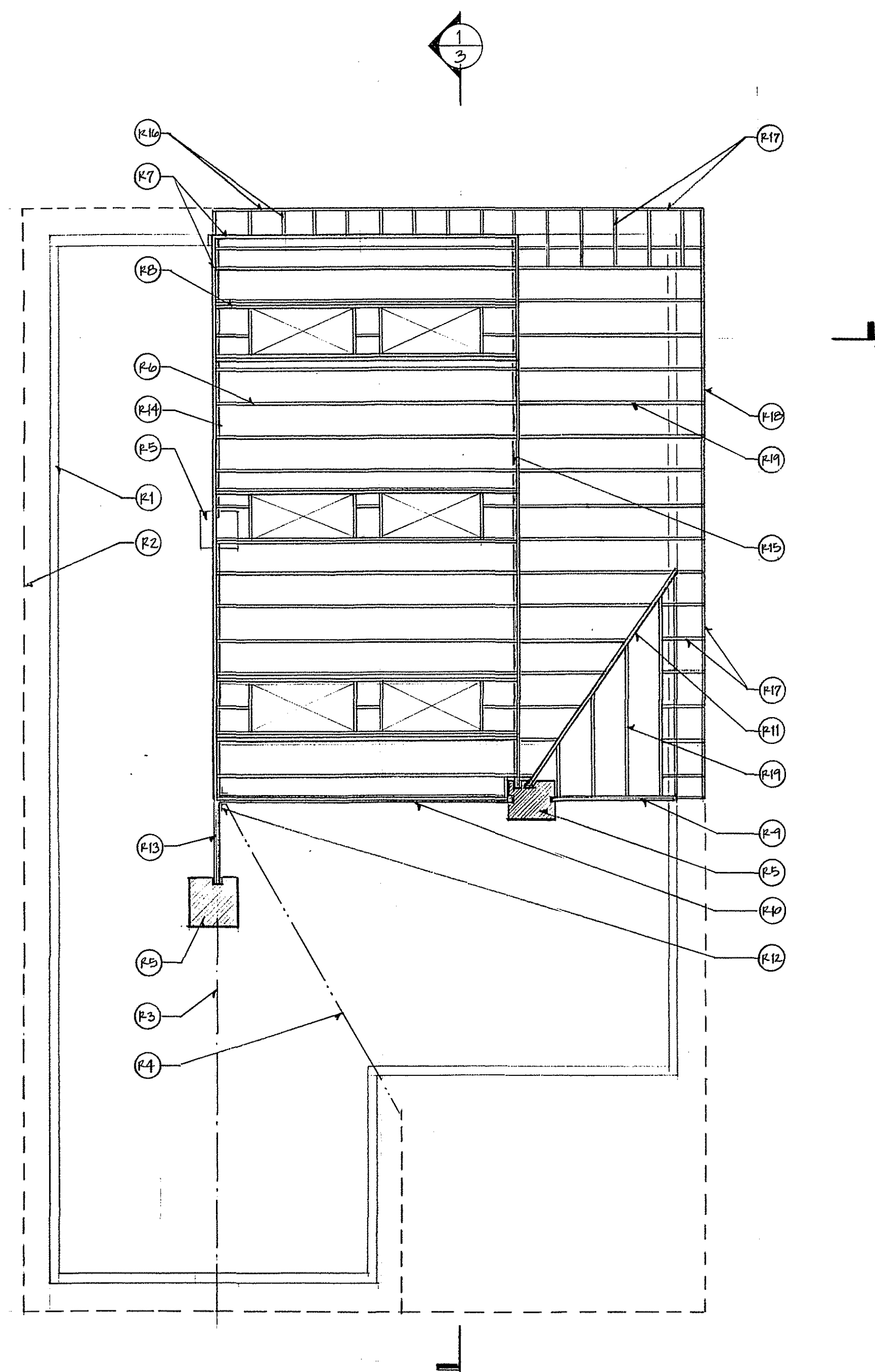
① SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"



② ATTIC FLOOR FRAMING NOTES

- A1 EXISTING WALL BELOW (TYP.)
- A2 EXISTING/RECONSTRUCTED MASONRY CHIMNEY (TYP.)
- A3 2x8 FLOOR JOISTS @ 16" o.c.; FINISH FLOOR TO MATCH EXISTING ATTIC FLOOR
- A4 2x8 RIM JOIST (s)
- A5 NEW STAIRWELL OPENING
- A6 3-2x12 STRINGERS FOR NEW STAIRWAY (TYP.)
- A7 2x6 (MIN) CONSTRUCTION, 16" o.c. FOR NEW STAIR LANDING BELOW
- A8 EXISTING BEARING WALL BELOW
- A9 1 3/4" x 9 1/2" LVL @ ATTIC FLOOR LEVEL TO DISTRIBUTE POINT LOAD ABOVE.
- A10 1 3/4" x 11 7/8" LVL BEAM @ ATTIC FLOOR LEVEL TO DISTRIBUTE POINT LOAD ABOVE.
- A11 CENTERLINE OF NEW ROOF BEAM/POINT LOAD ABOVE

② ATTIC FLOOR FRAMING PLAN  
1/4" = 1'-0"



③ ROOF FRAMING NOTES

- E1 EXISTING WALL BELOW (TYP.)
- E2 OUTLINE OF EXISTING ROOF TO REMAIN (TYP.)
- E3 EXISTING RIDGE TO REMAIN
- E4 EXISTING VALLEY TO REMAIN; BEARING ON NEW LVL BEAM OF FLAT ROOF
- E5 EXISTING/RECONSTRUCTED MASONRY CHIMNEY TO PROVIDE BEARING FOR NEW LVL BEAMS OF ROOF; 3" MIN. BEARING FOR EACH BEAM POCKET (TYP.)
- E6 2x8 RAFTERS @ 16" o.c. BEARING ON LVL BEAMS BELOW
- E7 2x8 RIM RAFTER/CURB (TYP. FLAT ROOF)
- E8 2-2x8 RAFTER @ SKYLIGHT OPENING (TYP.)
- E9 1 3/4" x 7 1/4" LVL RIDGE BEAM; TOP OF BEAM @ 7'-6" ABOVE ATTIC FINISH FLOOR
- E10 1 3/4" x 9 1/2" LVL BEAM BELOW; TOP OF BEAM @ 7'-6" ABOVE ATTIC FINISH FLOOR
- E11 1 3/4" x 9 1/2" LVL VALLEY BEAM
- E12 1 3/4" x 9 1/2" LVL BEAM HANGER
- E13 3/2" x 11 7/8" LVL BEAM BELOW; TOP OF BEAM @ 7'-6" ABOVE ATTIC FINISH FLOOR
- E14 3/2" x 9 1/2" LVL BEAM BELOW; TOP OF BEAM @ 7'-6" ABOVE ATTIC FINISH FLOOR
- E15 3/2" x 16" LVL BEAM BELOW; TOP OF BEAM @ 7'-6" ABOVE ATTIC FINISH FLOOR
- E16 2x6 SUB-FASCIA WITH 2x4 SOFFIT SUPPORTS @ 16" o.c.
- E17 2x6 SUB-FASCIA/FLY RAFTER WITH 2x4 'LADDER' SUPPORTS @ 16" o.c.
- E18 2x6 SUB-FASCIA
- E19 2x8 RAFTERS @ 16" o.c.

③ ROOF FRAMING PLAN  
1/4" = 1'-0"

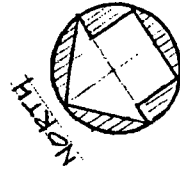
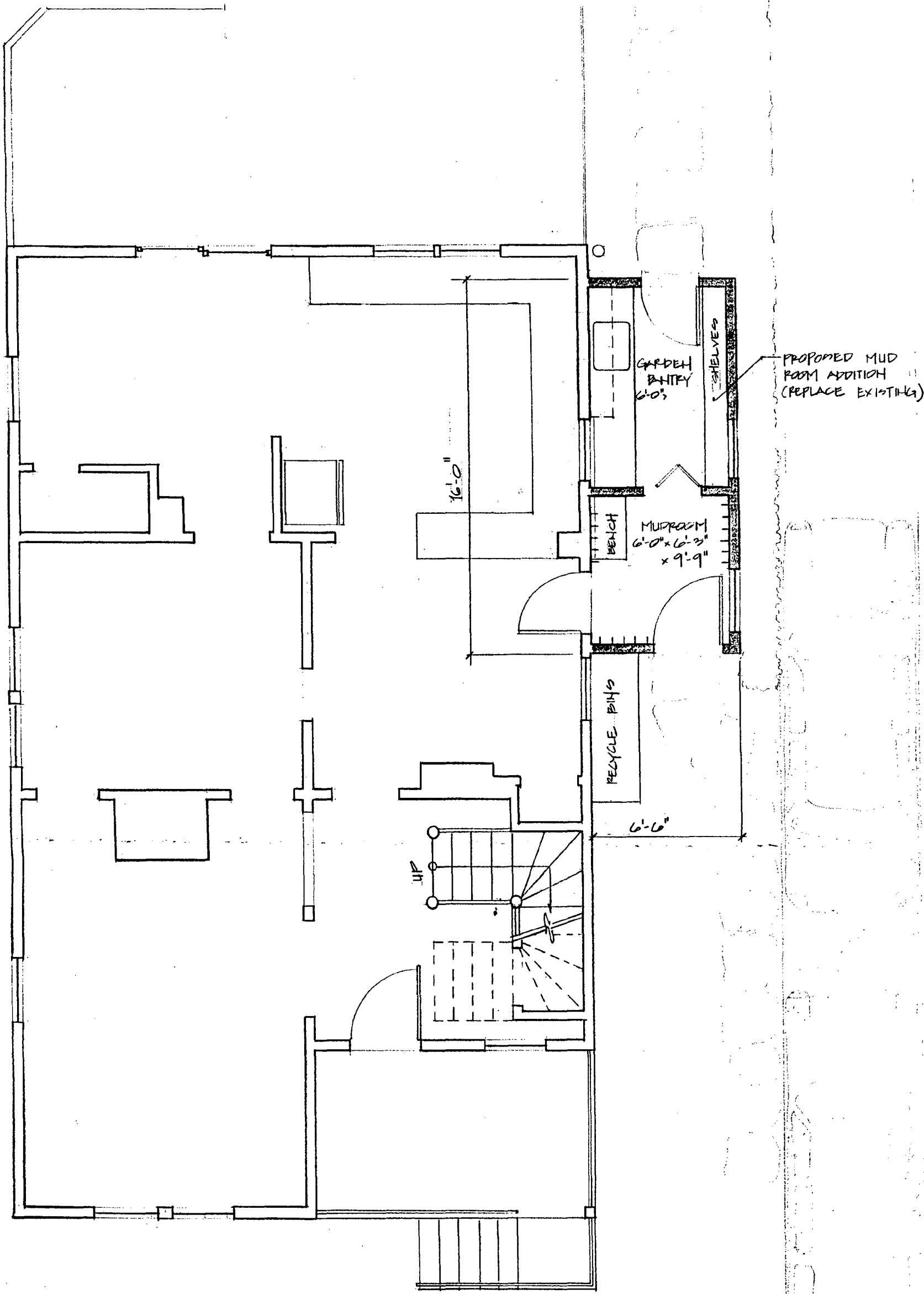
DATES / NOTES  
6/18/11 CD CHECK  
RBT

BANWELL HOME REMODEL  
7221 CEDAR AVENUE  
TAKOMA PARK, MD 20912  
(301) 557-2375

DESIGN BY:  
CASA BUILDERS  
GREGORY LARSON  
DESIGNER/BUILDER  
718 WARM SPRINGS AVENUE  
HUNTINGDON, PA 16652  
(814) 643-8053

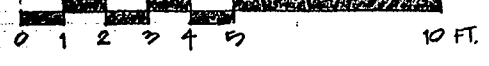
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SECOND FLOOR, ATTIC FLOOR, AND ROOF FRAMING PLANS

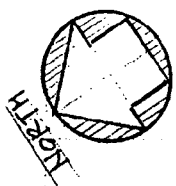
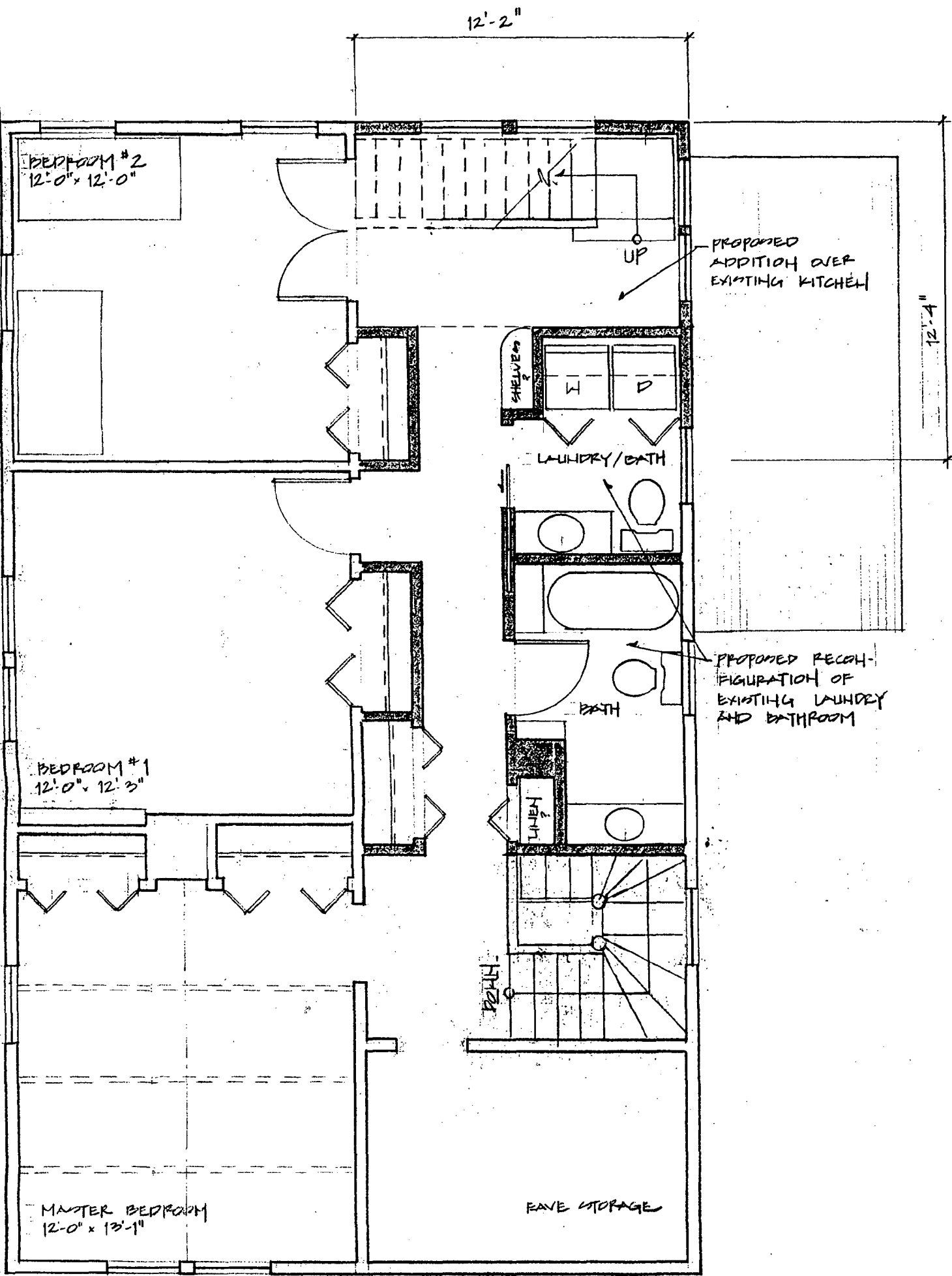
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5



1 FIRST FLOOR PLAN

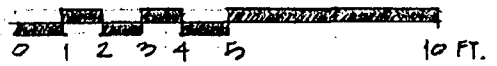
BAYWELL REMODEL 7221 CEDAR AVE TAKOMA PARK, MD. 20912 CASA BUILDERS 9/20/99



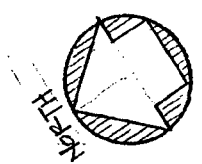
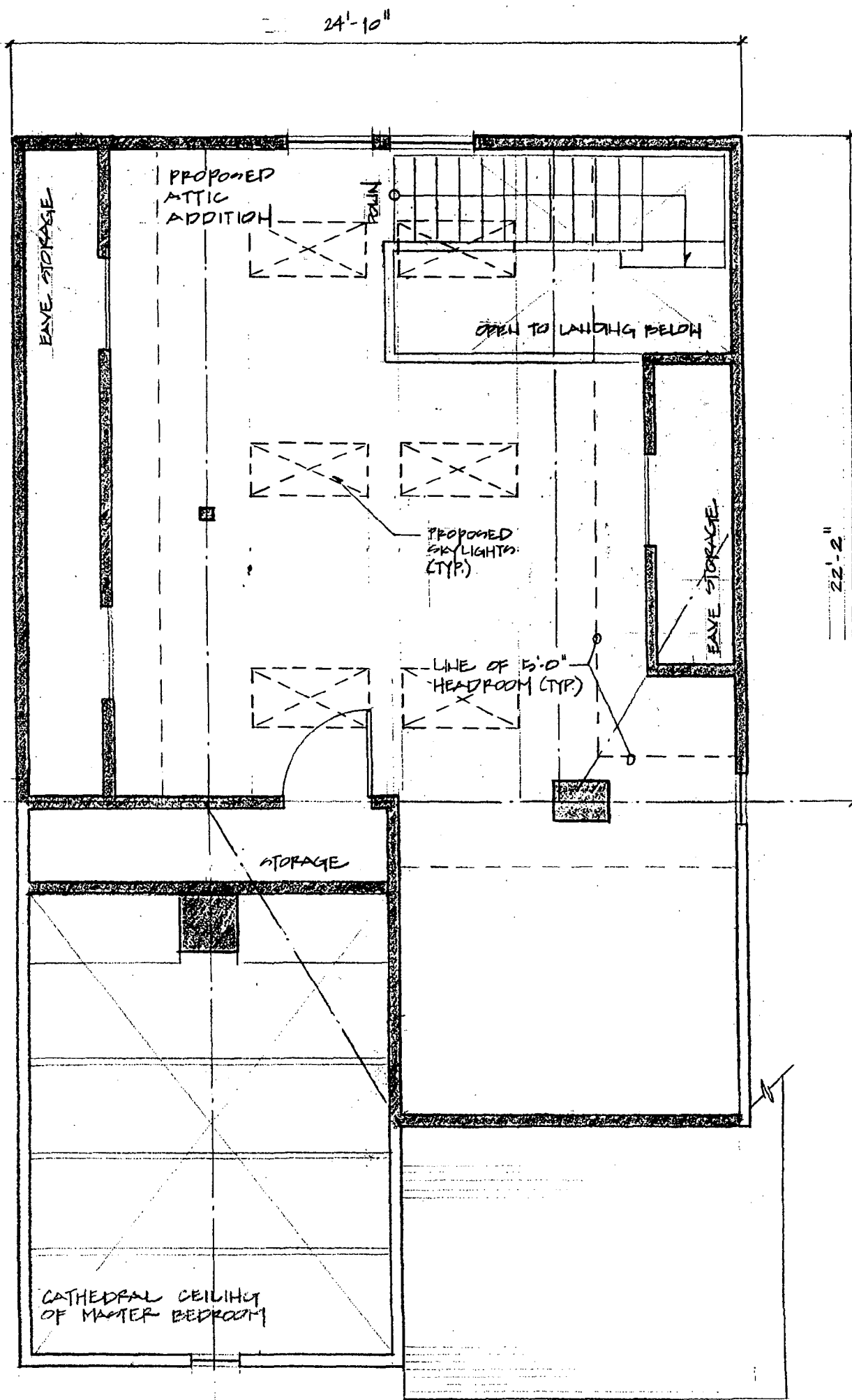


2 SECOND FLOOR PLAN

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
 CASA BUILDERS 9/28/99

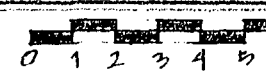






3 ATTIC FLOOR PLAN

DANWELL REMODEL 7221 CEDAR AVE TAKOMA PARK, MD 20912  
 CASA BUILDERS 5/28/99



3

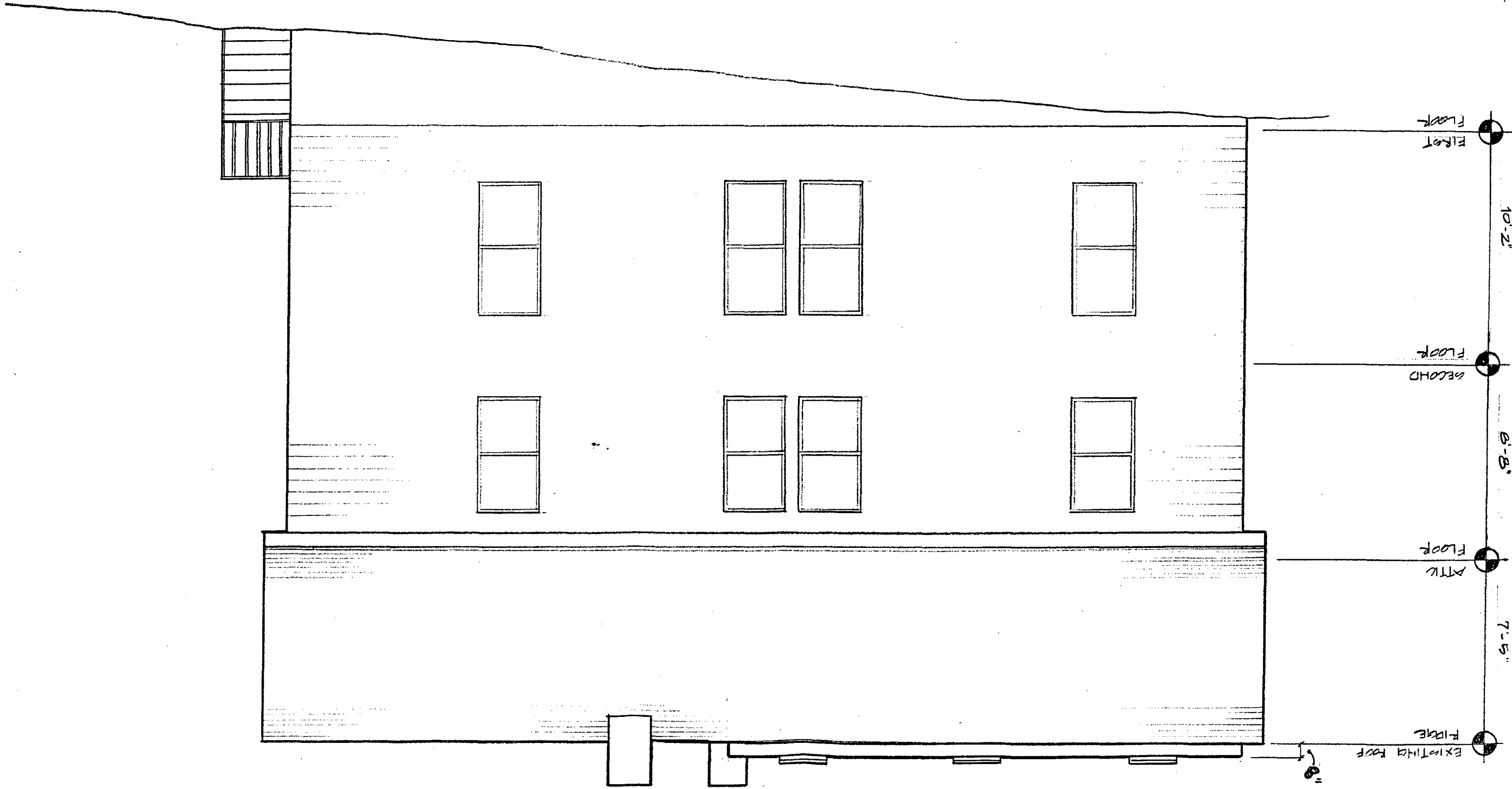
NORTH SIDE ELEVATION

BATHWELL FEMOPEL 7221 CERNY AVE. TAKOMA PARK, MD 20912

DATE BUILDERS 9/28/99

0 1 2 3 + 5

10



FIRST FLOOR

SECOND FLOOR

ATTIC FLOOR

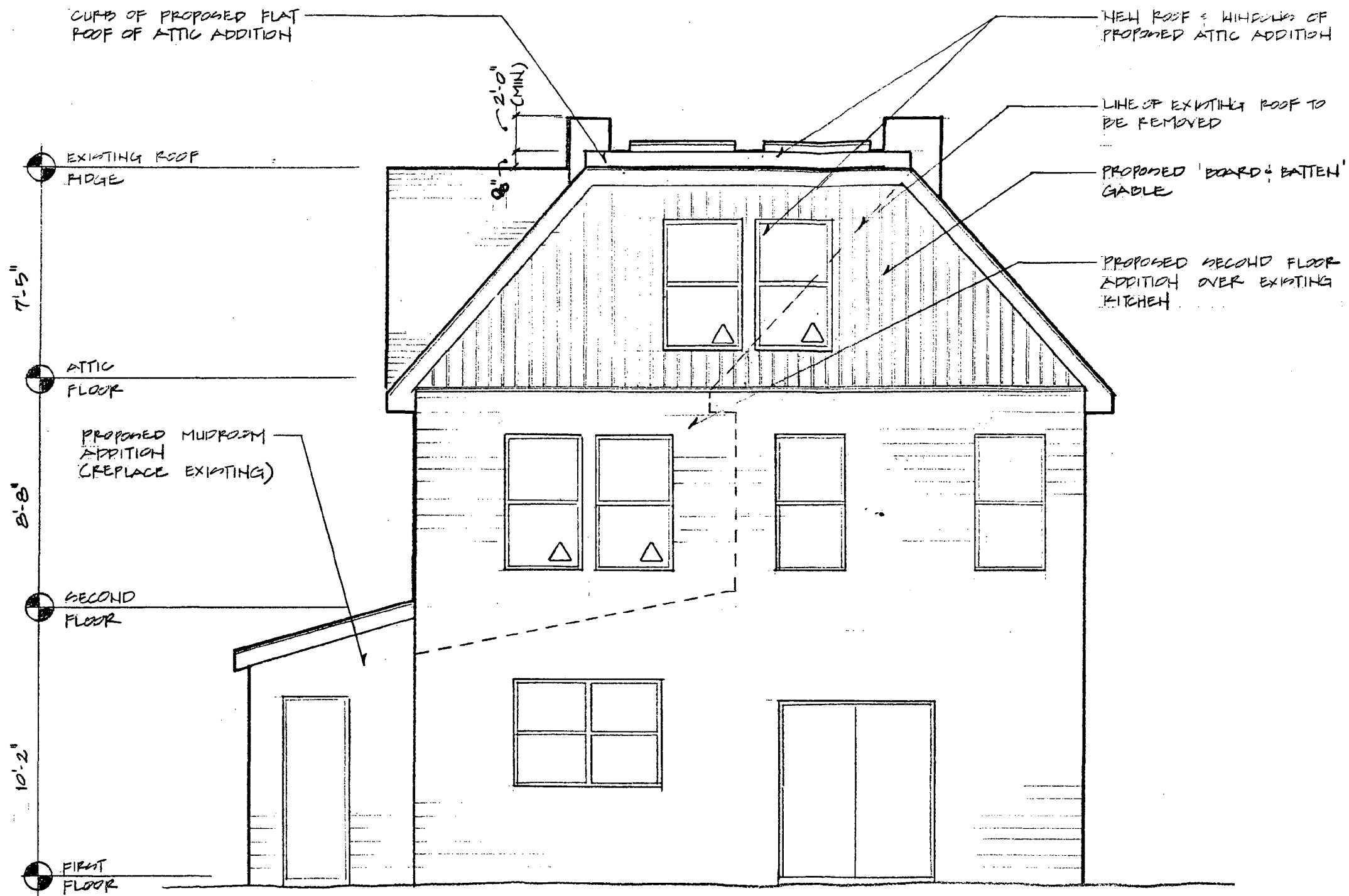
EXISTING FOOT

10'-2"

8'-8"

7'-5"

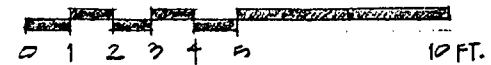
8"

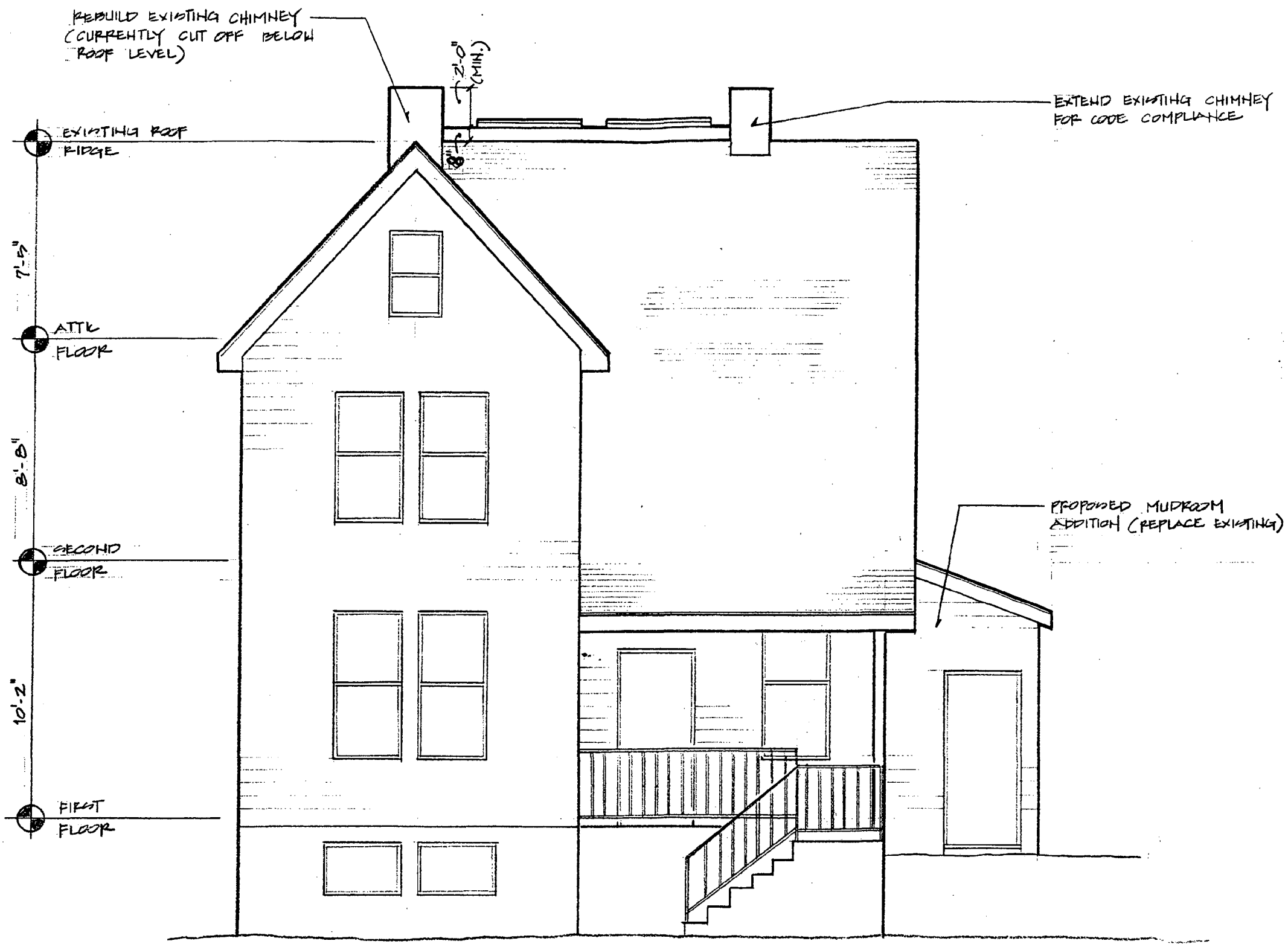


4 REAR ELEVATION

DANWELL REMODEL 7221 JEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 5/28/99



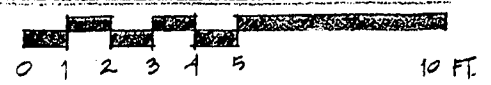


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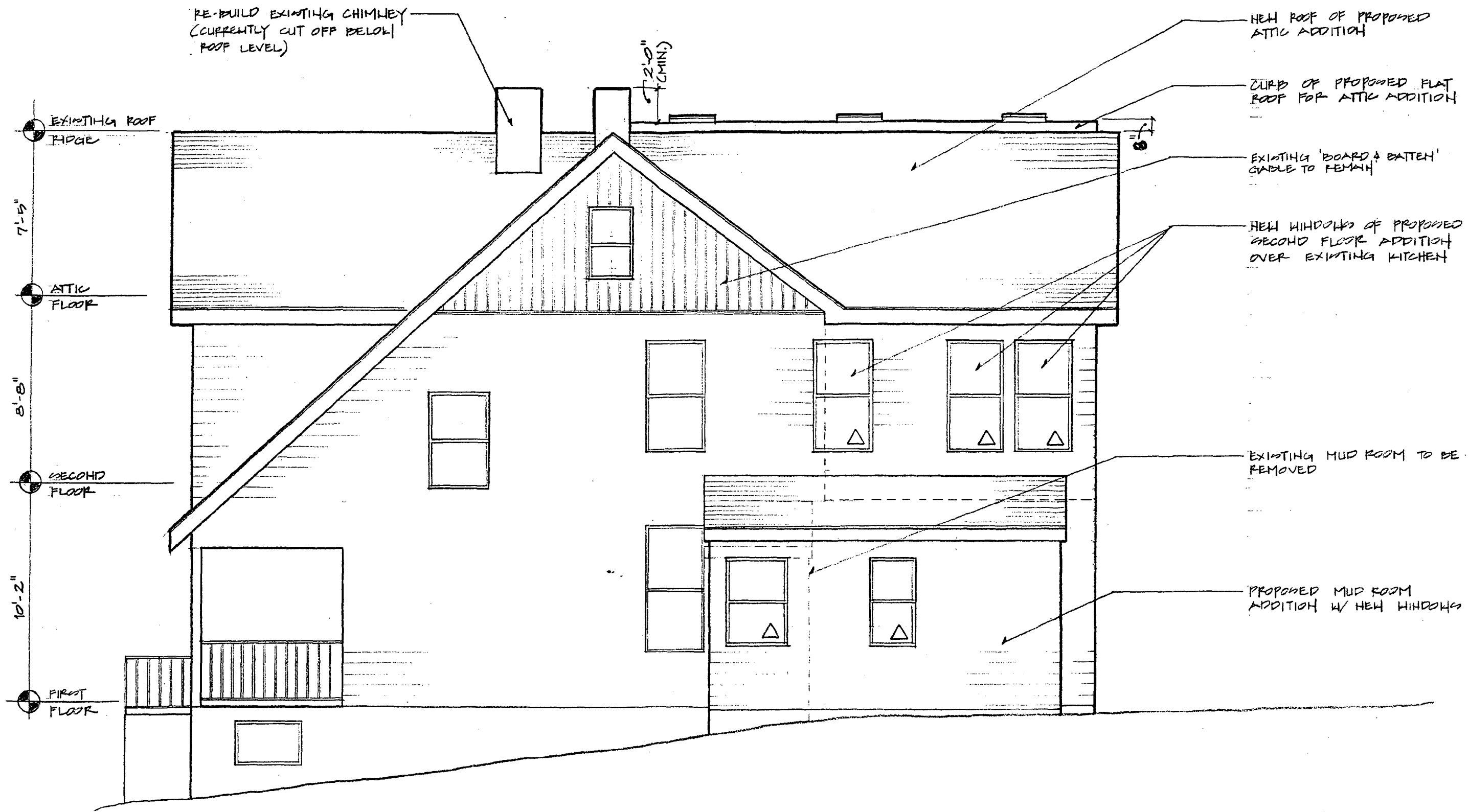
CEDAR AVENUE ELEVATION

BANKHELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 5/28/99





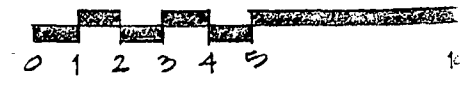


1

SOUTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASH BUILDERS 9/28/99



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 6/23/99

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: GW Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Peter & Suzanna Barwell

Address: 7221 Cedar Avenue, Takoma Park 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: SUZANNA BANWELL  
Daytime Phone No.: (301) 587-2375

Tax Account No.: 002-48-6153

Name of Property Owner: Peter & Suzanna S Banwell Daytime Phone No. (301) 587-2375

Address: 7221 Cedar Ave Takoma Park MD 20912  
Street Number City State Zip Code

Contractor: James Noel, STUDIO SCAPE Phone No. (202) 364-7300

Contractor Registration No.: H1672569

Agent for Owner: James Noel Daytime Phone No. (301) 404 6739

**LOCATION OF BUILDING/PREMISE**

House Number: 7221 Street: Cedar Ave

Town/City: Takoma Park Nearest Cross Street: BIRCH

Lot: 11 Block: 5 Subdivision: B.F. GILBERT

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC    02  Septic    03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC    02  Well    03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Suzanna Banwell  
Signature of owner or authorized agent

4/23/99  
Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 6/23/99

Application/Permit No.: 9905040083 Date Filed: 5/4/99 Date Issued: \_\_\_\_\_

HPA 301

Edit 2/4/98

**SEE REVERSE SIDE FOR INSTRUCTIONS**

37/3-99N

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CIRCA 1916 BRICK FOUNDATION WOOD FRAME "STICK"  
VICTORIAN SINGLE FAMILY HOUSE IN TAKOMA PARK  
HISTORIC DISTRICT.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2nd fl. PROJECT WILL TAKE PLACE ON THE BACK HALF OF THE HOUSE,  
NOT THE STREET SIDE. MUDROOM WILL BE EXPANDED  
NEXT TO DRIVEWAY. PURPOSE: TO INCREASE THE SIZE OF  
OUR HOUSE TO ACCOMMODATE OUR GROWING FAMILY AND  
ADD A BEDROOM/WALK UP ATTIC ACCESS. INCREASE CHIMNEY  
HEIGHT (FOR FIREPLACES) TO MEET CODE.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date:

6/23/99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *PDZ* Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7221 Cedar Avenue Meeting Date: 6/23/99  
Resource: Takoma Park Historic District Review: HAWP  
Case Number: 37/3-99N CONTINUED Tax Credit: No  
Public Notice: 6/9/99 Report Date: 6/16/99  
Applicant: Peter & Suzanna S. Banwell Staff: Robin D. Ziek  
PROPOSAL: Rear Addition RECOMMEND: Approval

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Resource: Contributing Resource in the Takoma Park Historic District  
Style: Victorian Vernacular  
Date: c1890-1900

**The applicant submitted an application for a HAWP on 5/4/99. After staff-level review, and discussion with the applicant, the applicant agreed to submit the proposal to the HPC as a Preliminary Consultation at the 5/26/99 meeting. The applicant has made substantial revisions to the proposal from the initial submission, and has considered the comments of the HPC in their most recent revisions. The application now comes to the HPC for a HAWP.**

The subject property is a Victorian Vernacular frame building with a high level of integrity. In terms of massing, it is a T-shape with strong intersecting gable roofs (12/12 pitch). The house has many of its original decorative windows which are typically described as "Queen Anne"; this includes the top sash with the small rectangles surrounding a larger rectangle, and the top sash with the diamond pane filling the field, leaving four small triangles in the corners. The windows appear as both paired with a central fluted motif, as well as singly. The siding includes board-and-batten in the gable ends on the front and side elevations, and asbestos shingle over the remainder of the walls.

The massing of the house is also notable for the pairing of the narrow two-story block with its front-facing gable, and the steep side-gable roof which projects over an entry porch at the front right corner of these intersecting forms. The ell-form is exposed at the rear elevation, where the corner has been filled with a one-story element (the kitchen) only.

### **PROJECT DESCRIPTION**

The applicant proposes to add a rear addition to accommodate additional living space on the 2nd-story, incorporate the attic into the living area, and reconfigure 2nd-story circulation. With the exception of enlarging the 1-story side entrance along the driveway, the new addition with work within the existing footprint. The rear addition will span the width of the rear of the house, with a simple gable roof that is no higher than the original roof. The back of the house would shift to a simple rear-facing gable form, while the front of the house would retain the duality of the two blocks with intersecting gables. The only changes to the front elevation will be the 8" curb at the ridge line to accommodate the roof changes (see Circle 8, 9 ).

The applicant also proposes to restore an original chimney which was removed at some time in the past, and add an additional chimney (see Circle 10, 11 ).

## STAFF DISCUSSION

The applicant had originally submitted a proposal which staff felt was not sympathetic to the individual resource or to the historic district. This proposal was revised for the Preliminary Consultation with the HPC, and the revised proposal was discussed at the 5/26/99 meeting.

The HPC comments were generally positive, although one of the Commissioners suggested that the applicant consider a alternative which would preserve the strong rear gable by configuring the new addition as a second rear-facing gable. The applicant notes in a letter dated June 2, 1999 (see Circle 6 ) that they considered the option with their architect. However, they decided that the proposal with the simplified rear addition will better meet their needs.

Staff notes that, as a Contributing Resource in the historic district, HPC review is directed to those elements visible from the public right-of-way. The *Takoma Park Guidelines* recommend that additions be placed at the rear to minimize the effect on the existing streetscape. This proposal meets the criteria of the Guidelines, and preserves the asymmetrical massing of the house as viewed from Cedar Avenue. As such, the proposal would be considered "consistent with the predominant architectural style", and would "...preserve the predominant architectural features of the resource.." (Takoma Park Guidelines, p. 16).

## STAFF RECOMMENDATION

Staff recommends, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.





**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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NOT THE STREET SIDE. MUDROOM WILL BE EXPANDED  
NEXT TO DRIVEWAY. PURPOSE: TO INCREASE THE SIZE OF  
OUR HOUSE TO ACCOMMODATE OUR GROWING FAMILY AND  
ADD A BEDROOM/WALK UP ATTIC ACCESS. INCREASE CHIMNEY  
HEIGHT (FOR FIREPLACES) TO MEET CODE.

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- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

5

MACK; LOUISE Ewell  
7301 Cedar Ave  
Takoma Park, MD  
20912

~~THE~~ John LORENZ  
Chris SIMPSON  
7218 Cedar Ave  
Takoma Park, MD  
20912

Shirley Tree  
7217 Cedar Ave  
Takoma Park, MD  
20912

(5)

(6)

TO: Robin Ziek  
FROM: Suzanna Banwell  
RE: HAWP Application for 7221 Cedar Ave, Takoma Park  
DATE: June 2, 1999

Dear Robin,

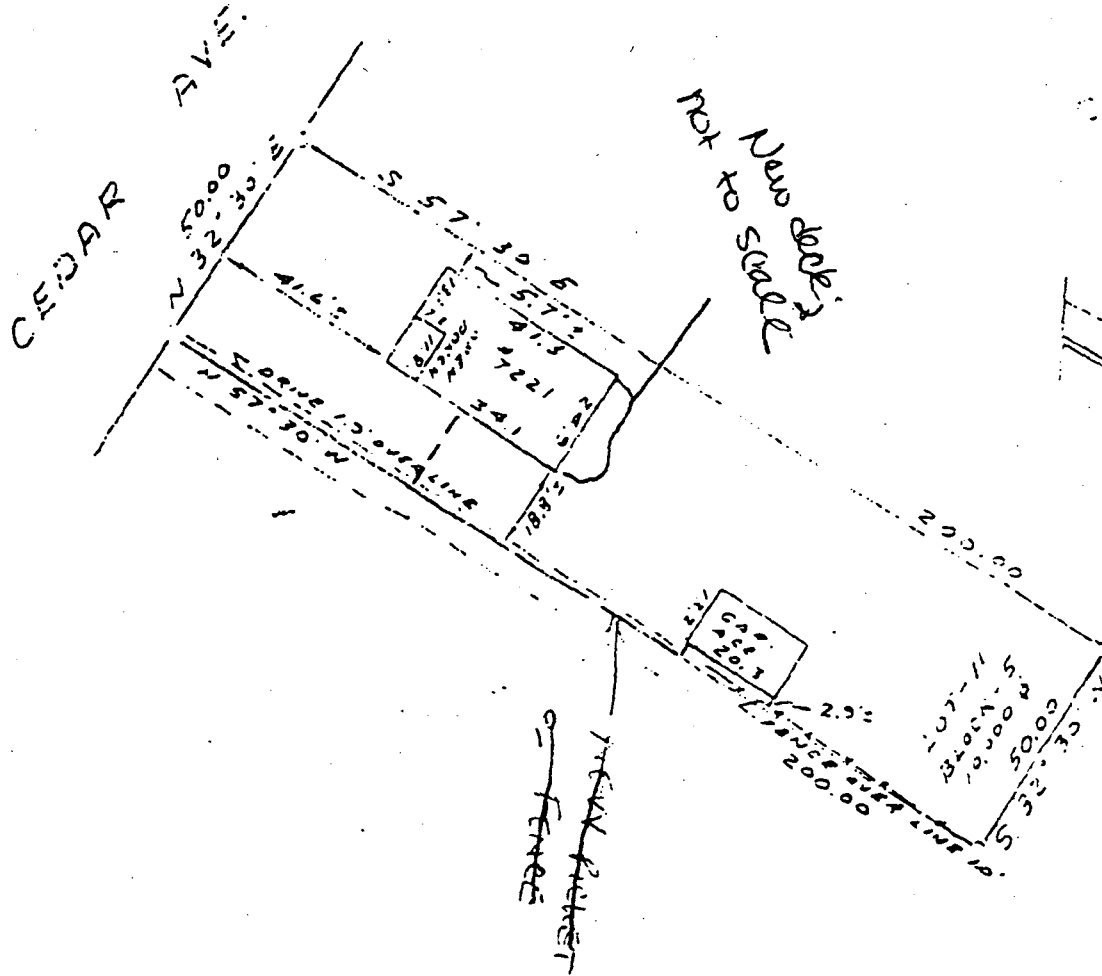
Attached please find copies of the latest plans for a rear addition on our house to be considered for HAWP approval on June 23, 1999. We presented our plans in a preliminary consultation with the Historic Commission on Wednesday, May 26, 1999. The Commission indicated no significant problems with our plan, except some concern over a proposed triangular window on the driveway side, which we have therefore eliminated from the design. The Commission also suggested that we consider a dual gable facade on the rear exterior. We have considered that design, but are unable to use it because it does not allow for large enough windows for fire egress, which are required by the building code. Therefore we are proposing essentially the same design as the one we presented to the Commission in May, but have changed the rear exterior attic materials to board and batten in order to: reflect the style on the existing gable on the South side; "lighten up" the look of the exterior; and keep the scale more in line with the existing house as suggested by the Commission. Also considering the Commission's comments about drainage, and sharing that concern, we are proposing a minimal 2 inch slope from the center line of the flat roof to shed water to the North and South sides. The proposed slope will be 2 inches over 6 feet. This change will not affect the elevations presented herein as it will be contained within the proposed 8 inch curb.

We trust this plan will be acceptable to the Commission. If we can be of any further help between now and June 23 please don't hesitate to call.

Thank you and the Commission for your help with this effort.

Sincerely,

  
Suzanna Banwell



**HOUSE LOCATION**  
LOT - 11      BLOCK - 5

B. F. GILBERT'S ADDITION TO  
**TAKOMA PARK**

MONTGOMERY COUNTY, MARYLAND  
RECORDED IN PLAT BOOK A PLAT - 3      SCALE 1" = 40'

This drawing is not intended to establish property lines nor are distances of corner markers stated. All information shown is taken from the land records in the county in which the property is located.

I hereby certify that the position of all the existing improvements on the above described property has been established by direct tape measurement and that unless otherwise shown there are no encroachments.

*Wood L. Renn*  
BY Wood L. Renn

Date: MAR. 16, 1970

WOOD L. RENN  
Registered

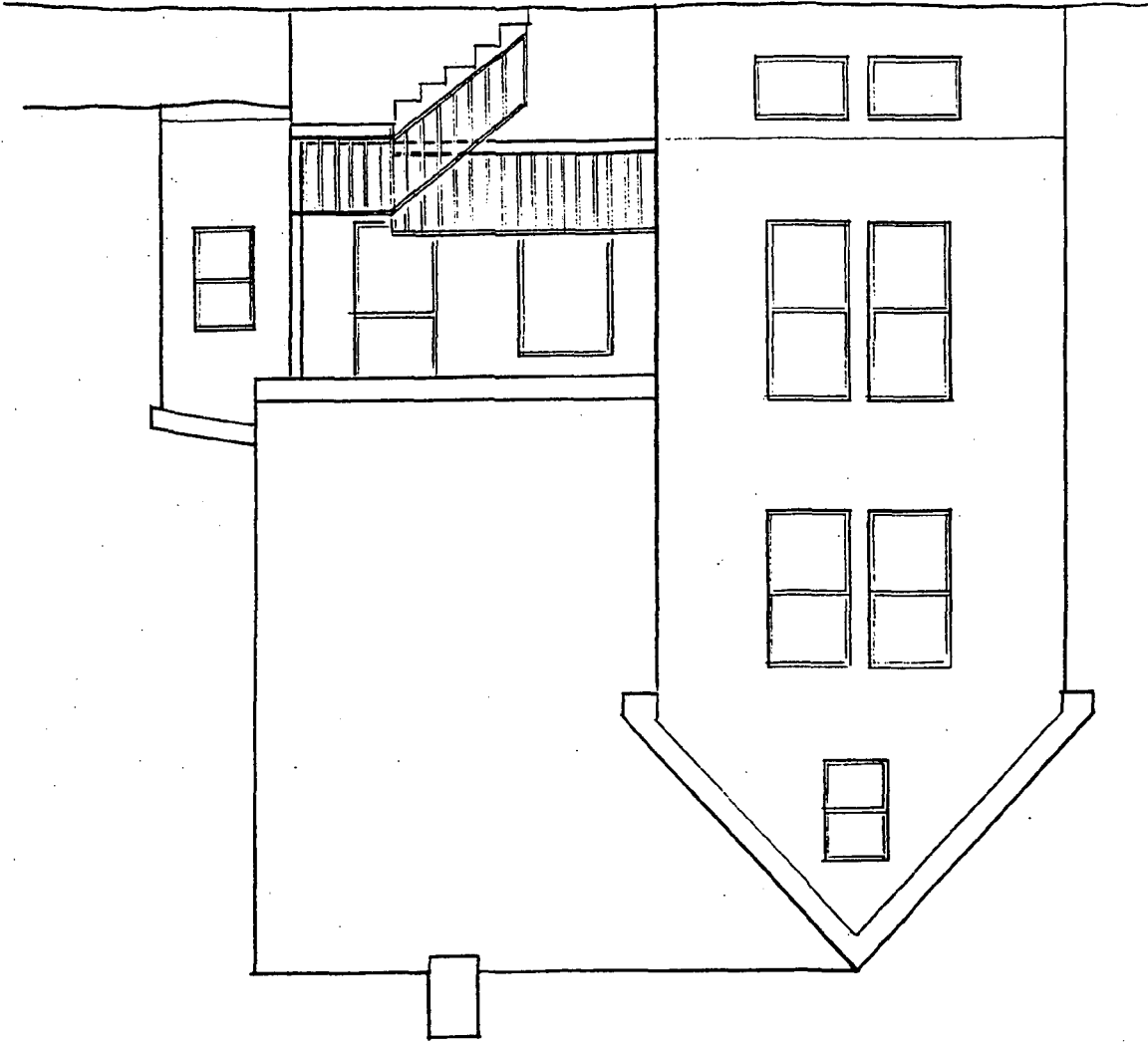
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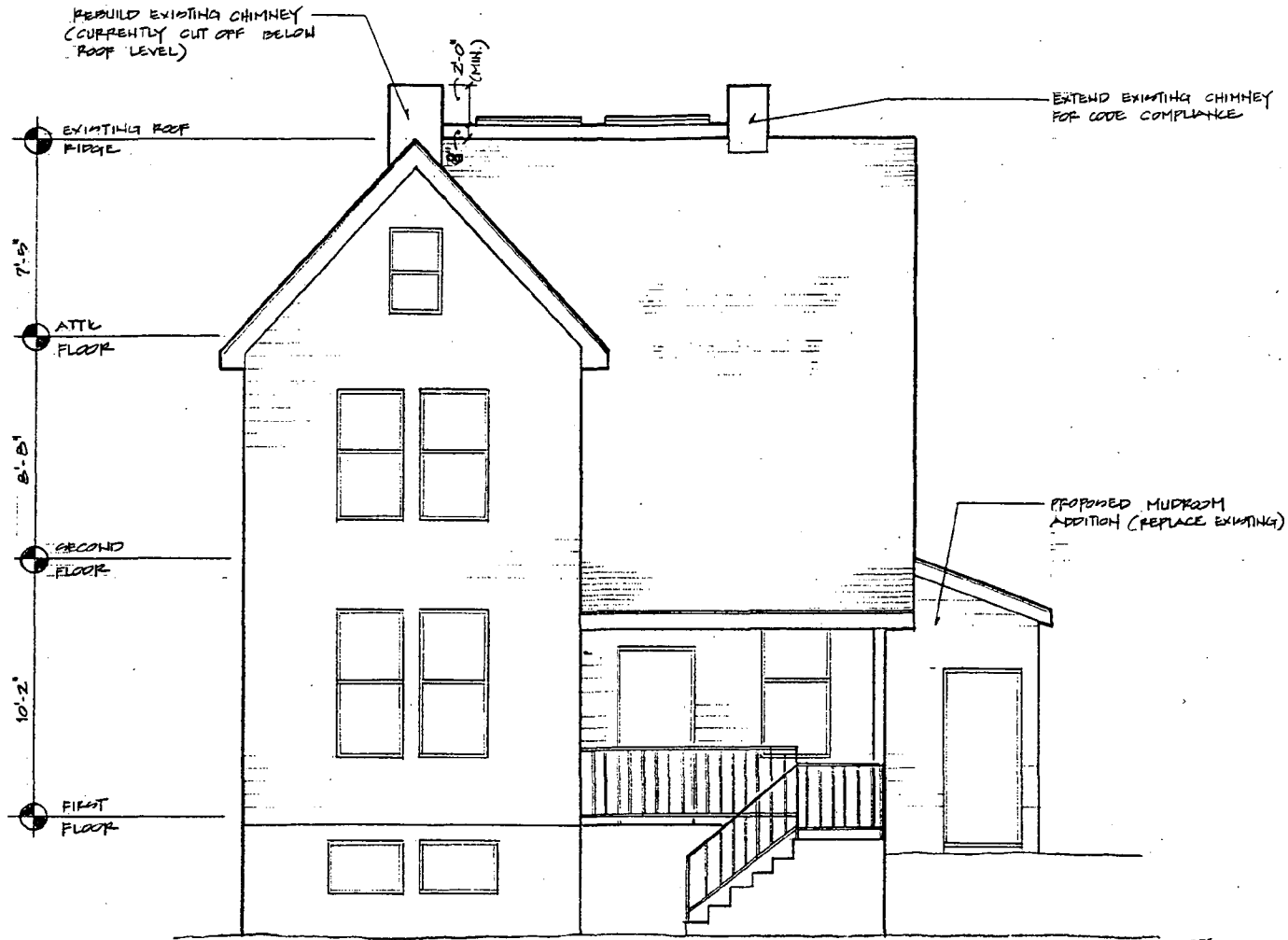
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2  
1

2 EXISTING CEDAR AVENUE ELEVATION  
RHELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
DATE PUBLISHED 4/27/99  
0 1 2 3 4 5 FT

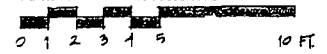




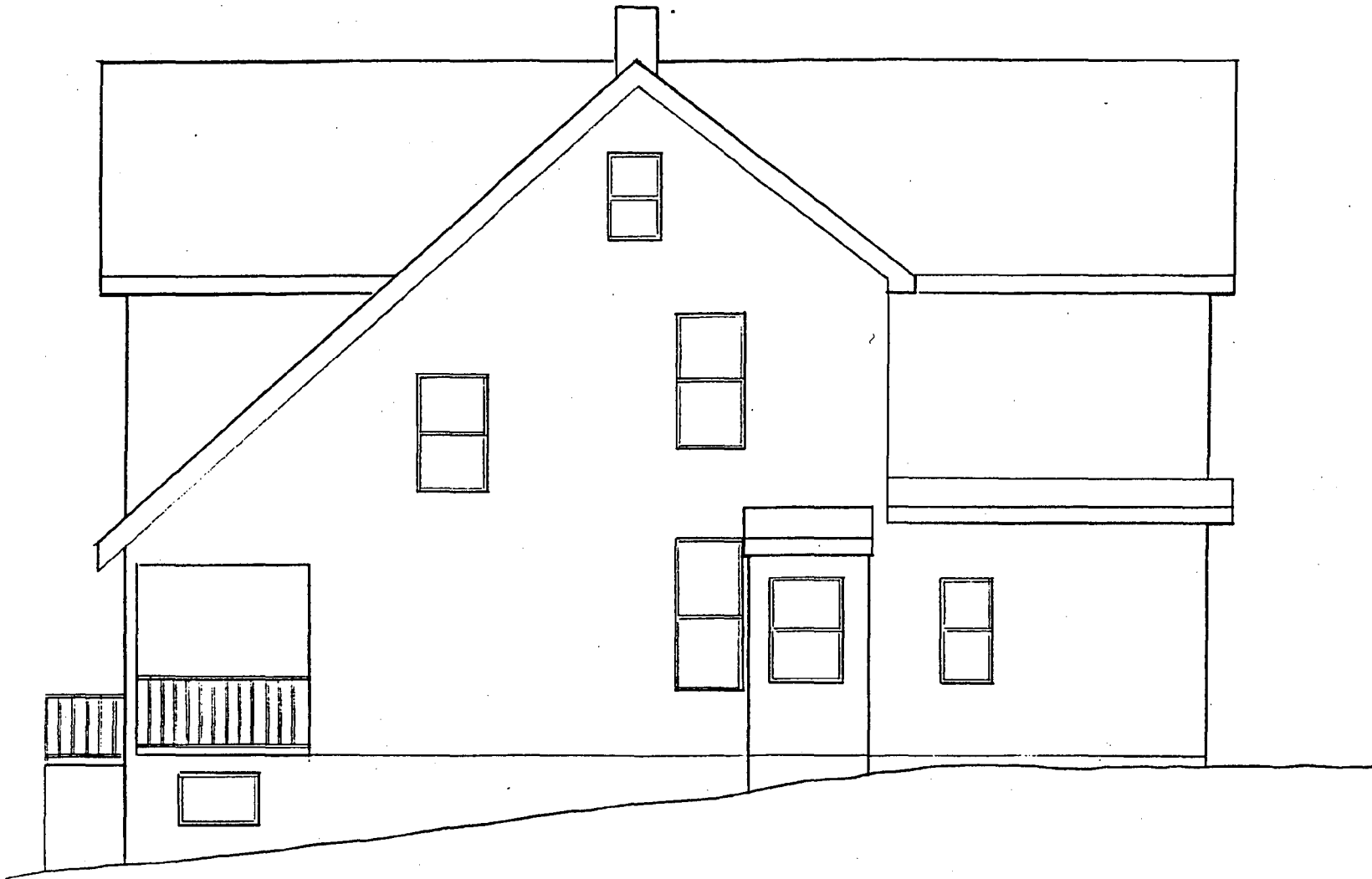
2 CEDAR AVENUE ELEVATION

DANIEL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CAMA BUILDERS 9/20/99



5

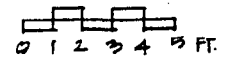


1

EXISTING SOUTH SIDE ELEVATION

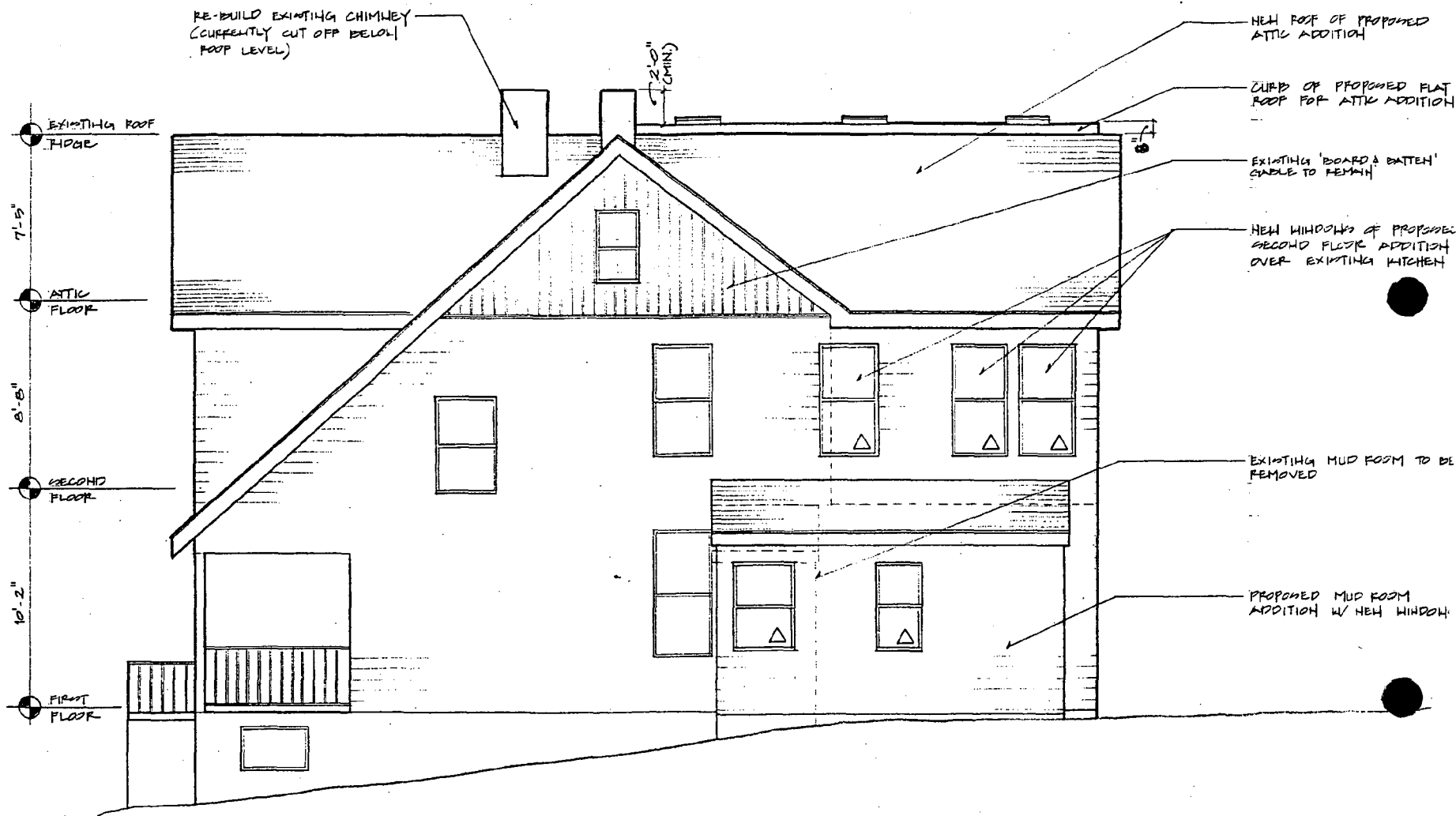
BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



+

10



1 SOUTH SIDE ELEVATION

BATHWELL FEMOUEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

OWNER BUILDER 9/28/99

0 1 2 3 4 5

11

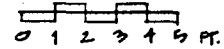


4

EXISTING REAR ELEVATION

DANIEL KEMPEL 7201 CEDAR AVE. TAYOMA PARK, MD 20912

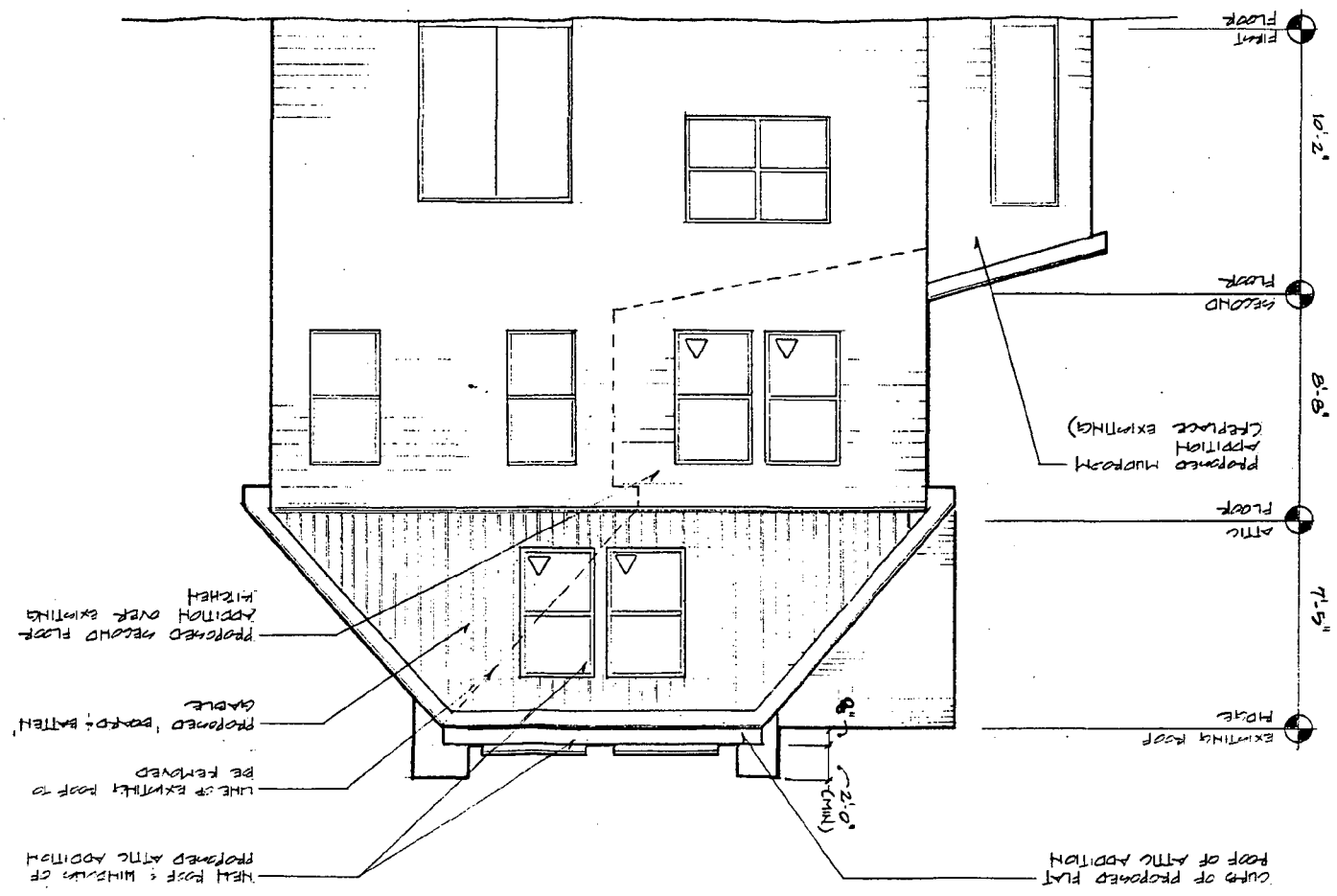
CAMA BUILDERS 1/27/99



12



10 FT. 0 1 2 3 + 4  
CASH BUILDERS 9/20/11  
BULLOCK REPORT 721 20th AVE. TAKOMA PARK, MD 20112  
FIRST ELEVATION



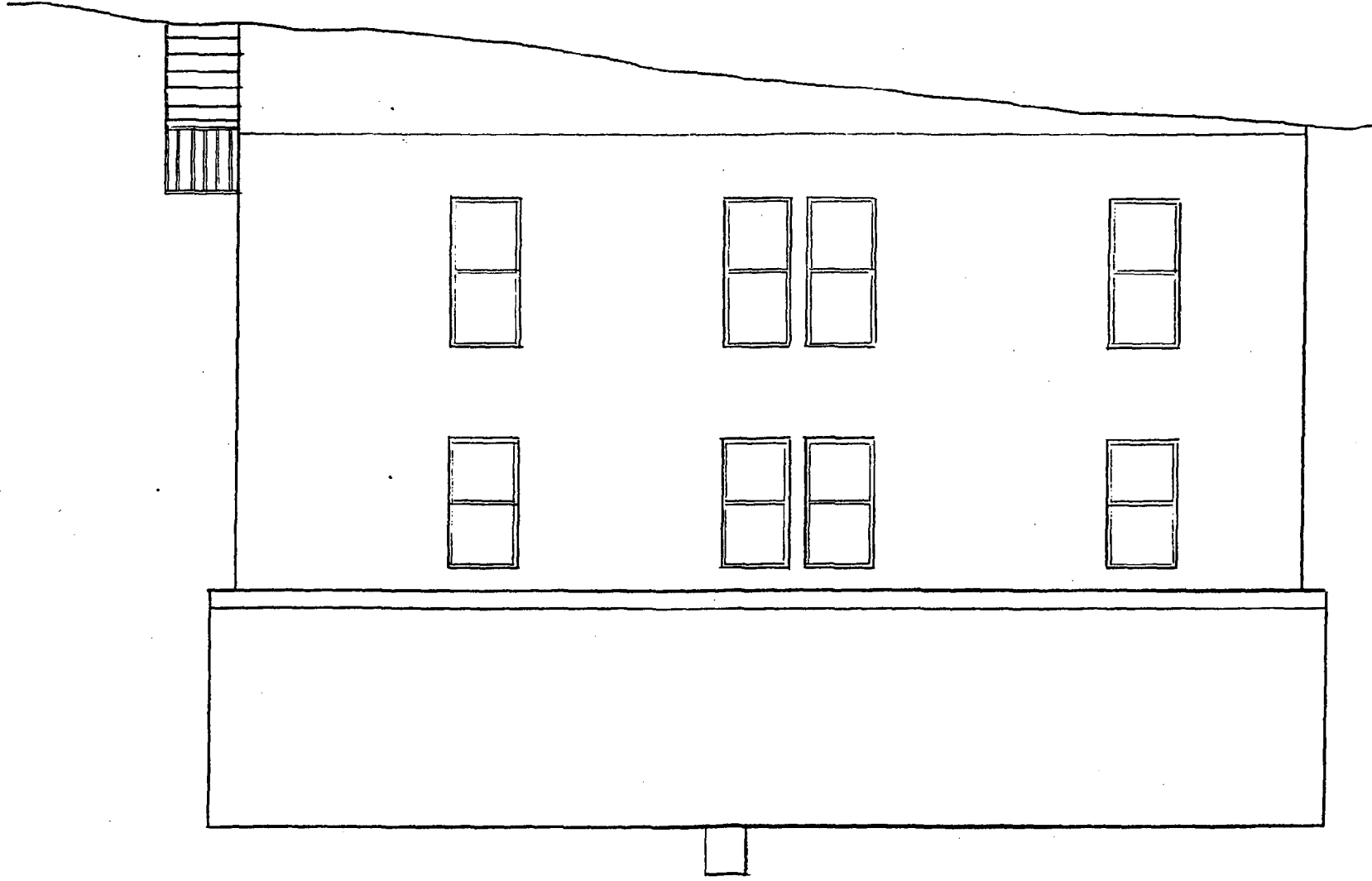
h1  
~~1E~~

3 EXISTING NORTH SIDE ELEVATION

BRADLEY FEMPEL 7221 SEAF AVE. TAYLOR PARK MO 2012

LAST REVISED 4/27/09

0 1 2 3 4 5 FT



31

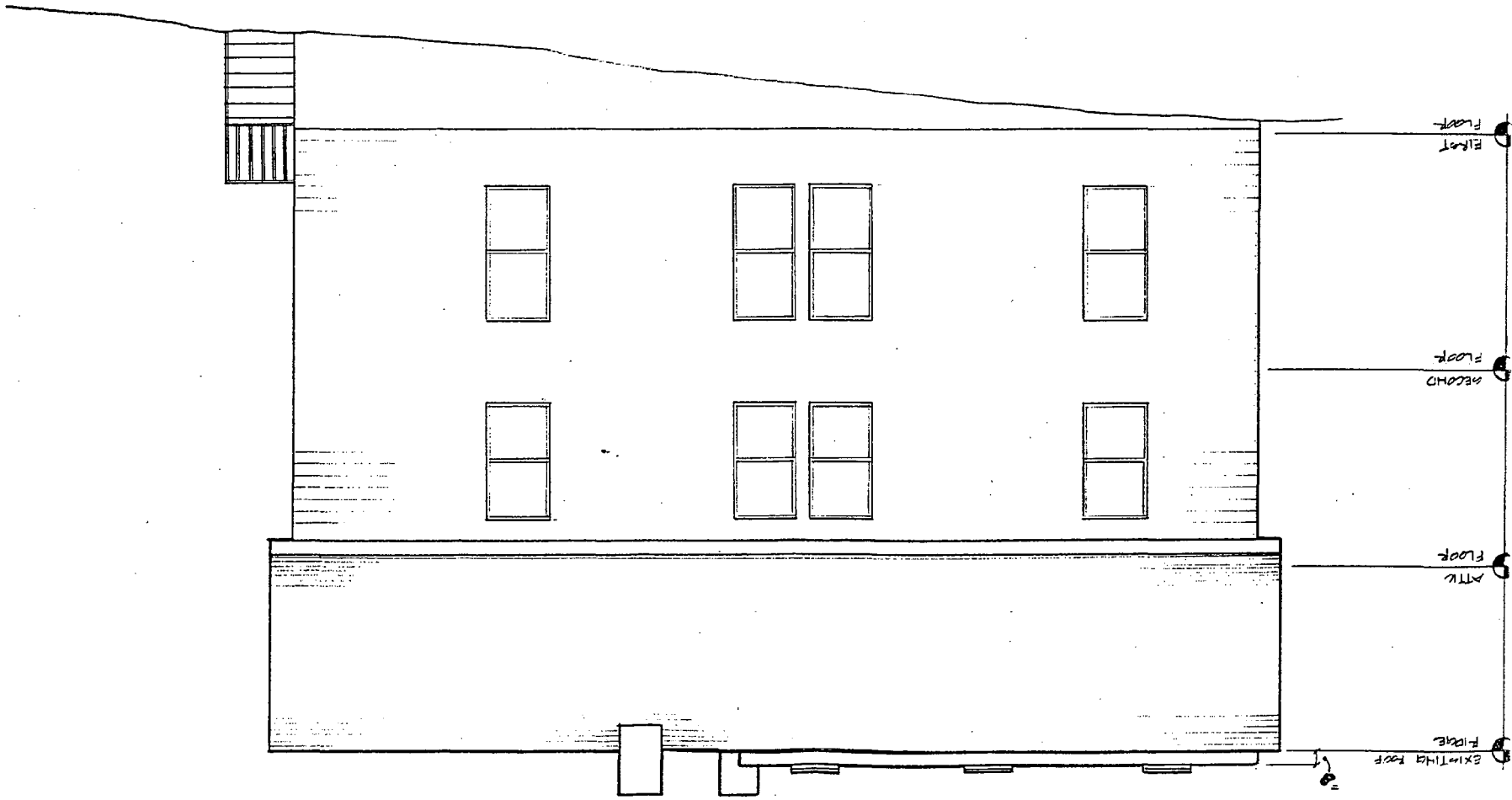
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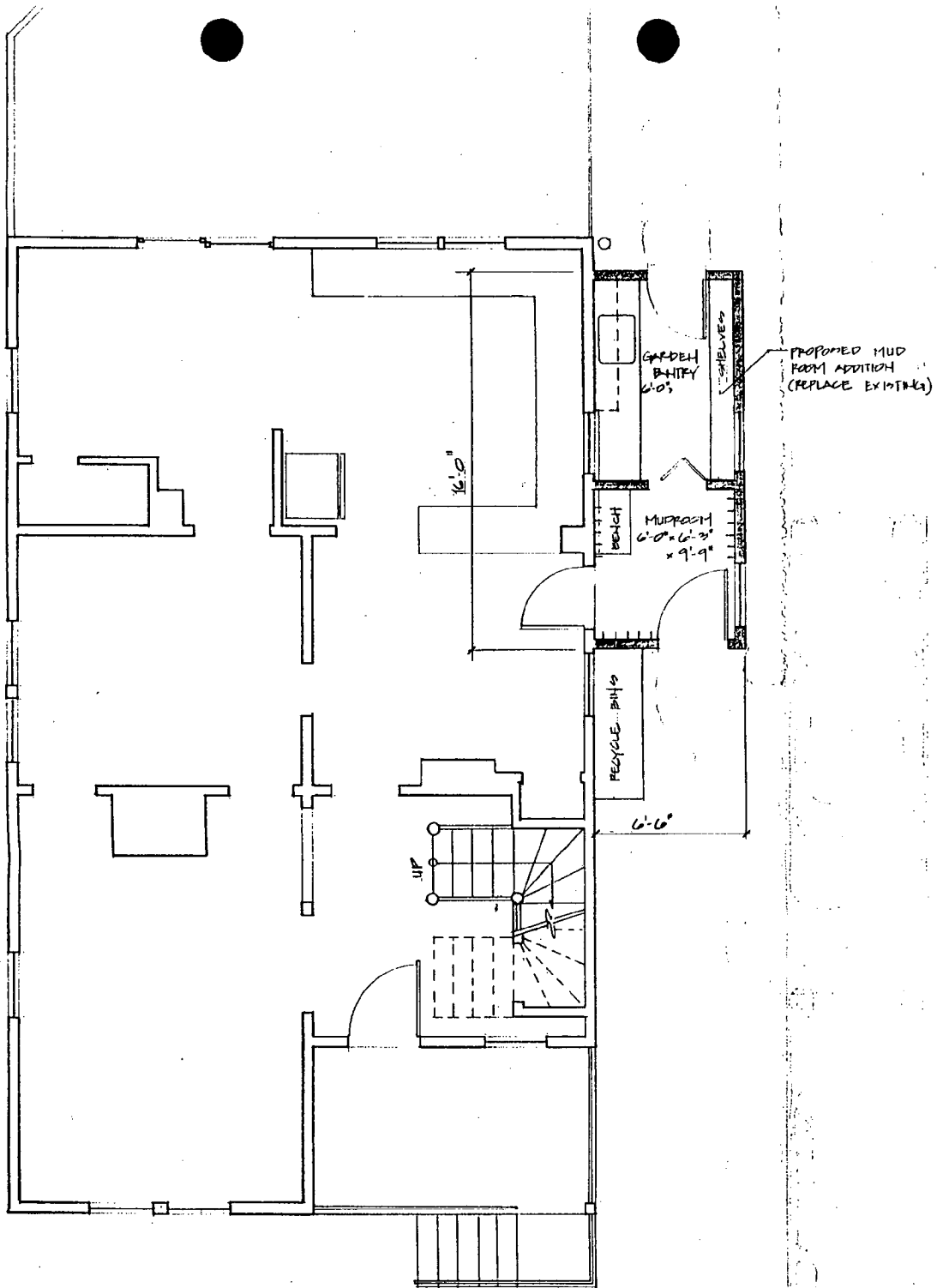
NORTH SIDE ELEVATION

BATHWELL FEMPEL 7221 CENT AVE TROMA PARK, MO 63112

DATE: 04/20/99

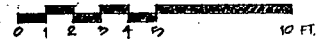
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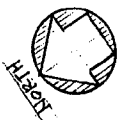
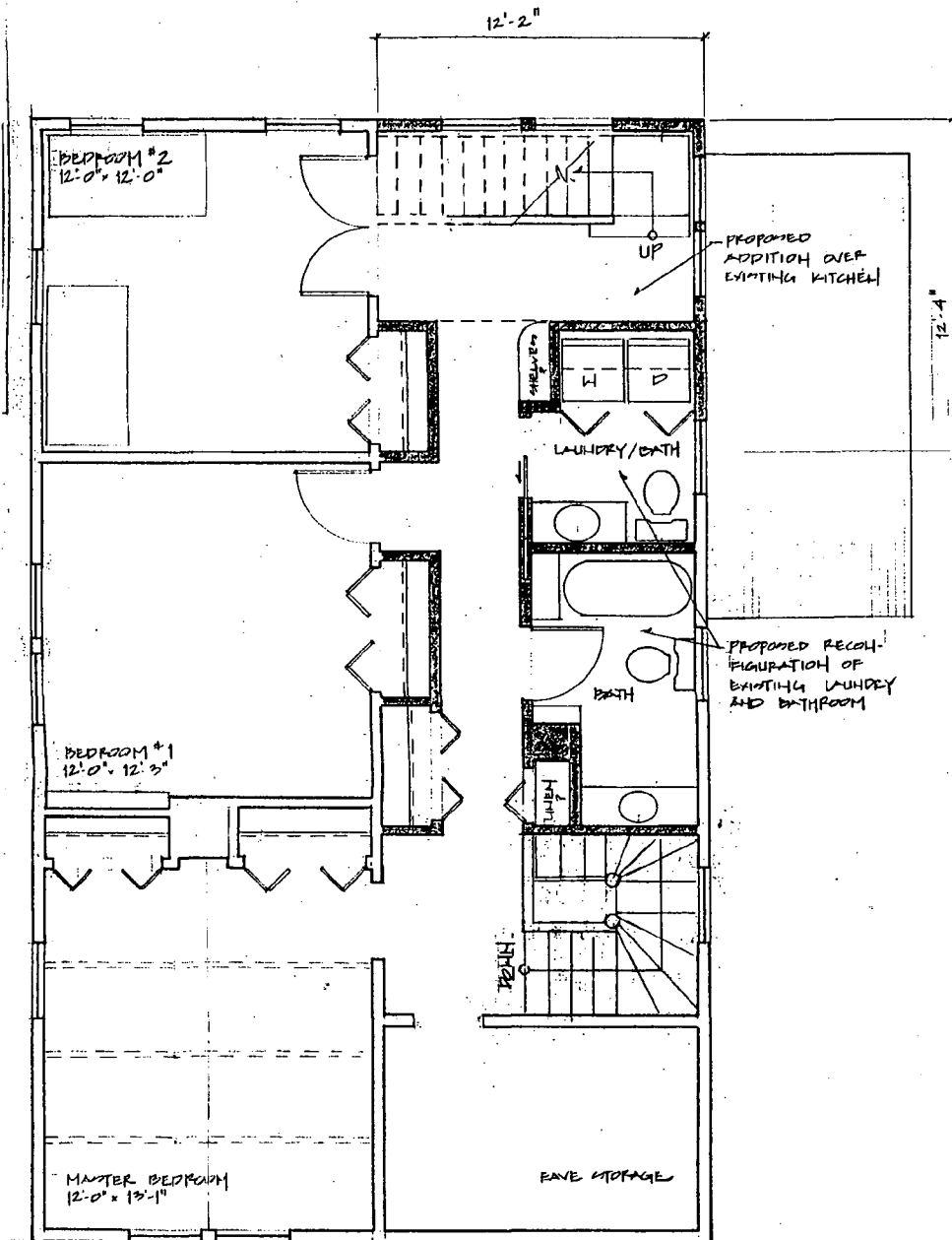




FIRST FLOOR PLAN

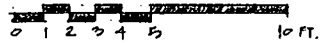
DAWHELL REMODEL 7221 CEDAR AVE TAYLOR PARK, MD. 20912 CHA BULDERO 9/20/99

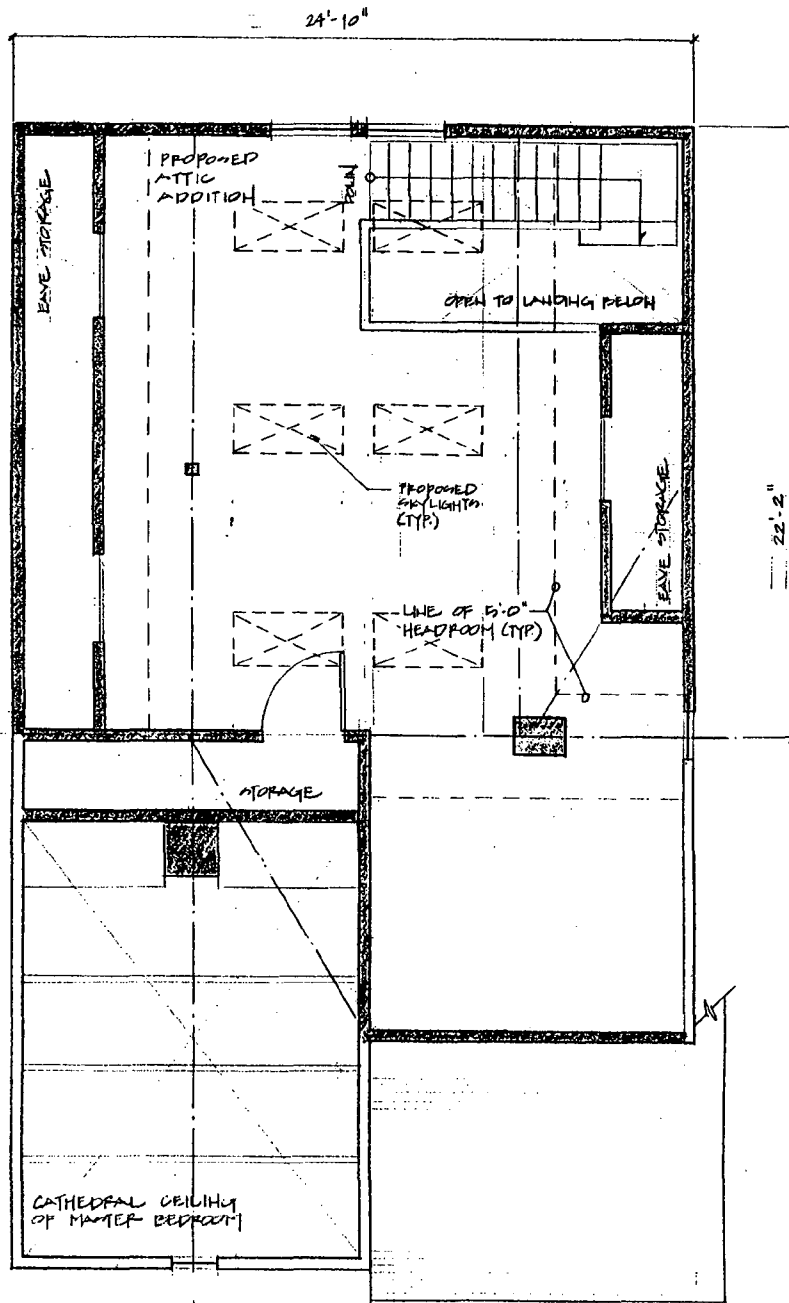




2 SECOND FLOOR PLAN

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
 CASH BUILDERS 9/30/99





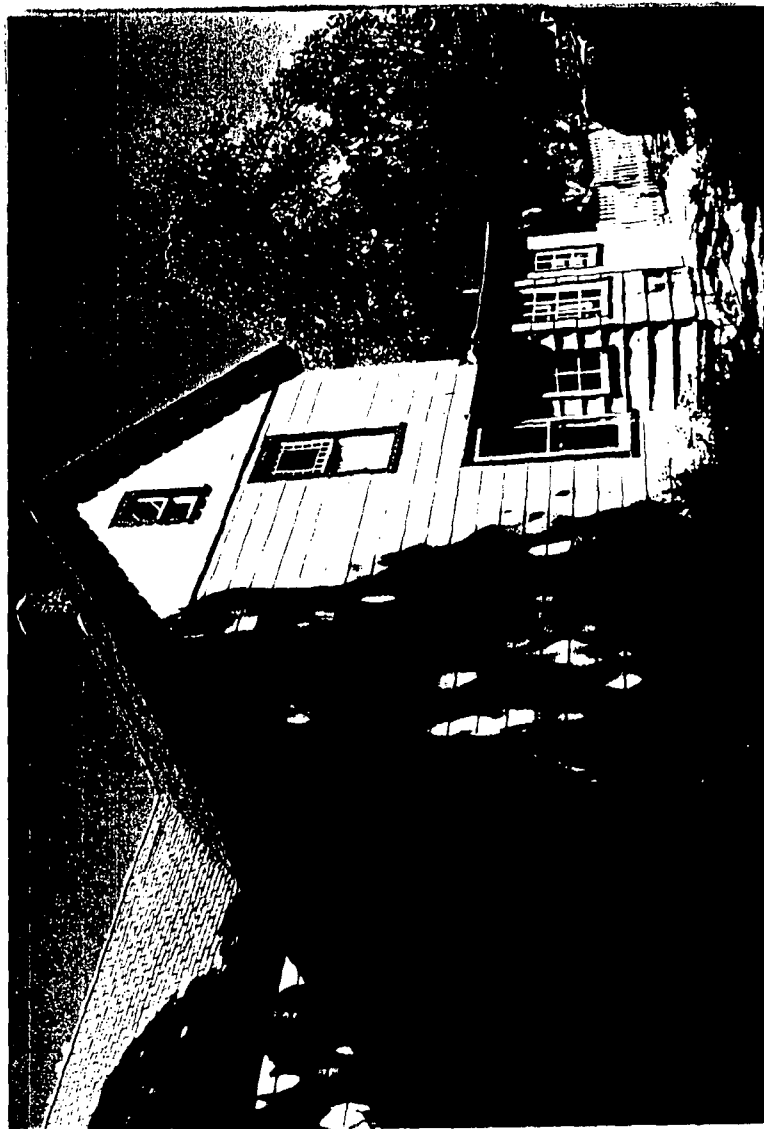
3

ATTIC FLOOR PLAN

CANNELL REMODEL 7221 CER-R AVE TAKOMA PARK, MD 20912  
 CASA BUILDERS 5/28/99

18





(1) (2)

28  
12





(21)  
(25)

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7221 Cedar Avenue Meeting Date: 5/26/99  
Resource: Takoma Park Historic District Review: PRELIMINARY  
CONSULTATION  
Case Number: 37/3 Tax Credit: No  
Public Notice: 5/12/99 Report Date: 5/19/99  
Applicant: Peter & Suzanna S. Banwell Staff: Robin D. Ziek  
PROPOSAL: Rear Addition RECOMMEND: Revise Proposal

---

Resource: Contributing Resource in the Takoma Park Historic District  
Style: Victorian Vernacular  
Date: c1890-1900

The subject property is a Victorian Vernacular frame building with a high level of integrity. In terms of massing, it is a T-shape with strong intersecting gable roofs (12/12 pitch). The house has many of its original decorative windows which are typically described as "Queen Anne"; this includes the top sash with the small rectangles surrounding a larger rectangle, and the top sash with the diamond pane filling the field, leaving four small triangles in the corners. The windows appear as both paired with a central fluted motif, as well as singly.

The massing of the house is also notable for the pairing of the narrow two-story block with its front-facing gable, and the steep side-gable roof which projects over an entry porch at the front right corner of these intersecting forms. The ell-form is exposed at the rear elevation, where the corner has been filled with a one-story element (the kitchen) only.

The siding includes board-and-batten in the gable ends on the front and side elevations, and asbestos shingle over the remainder of the walls.

The applicant has come to the HPC in the past, including for alterations at the rear of the house (exterior changes include a french door and new windows, and a deck which is on-grade).

### **PROJECT DESCRIPTION**

The applicant has identified two general problems involving circulation and available space, and is bringing a design solution to the HPC for consideration.

1) Due to the steeply sloping roofs, the second-story space is more limited than the first-story space. For example, the area above the front porch on the 2nd floor is sufficient for storage space only because of the steep slope of the roof. The floor area is approximately 3.5' x 8'-11", but the ceiling height is negligible as the slope of the ceiling begins at the doorway.

In addition, the rear bedroom is accessible only through the play room, so that the house is effectively a 2-bedroom house. Also on the 2nd floor, the utility space and the bathroom are both awkward spaces that could be re-configured to be used more efficiently (see Circle // ). Finally, the stair hall has a landing element which is failing structurally, and should be addressed.

(1)

2) The ridge line in the attic provides approximately 6'-5" of headroom, but with the steep slope of the roof, the headroom in the attic overall is reduced (see Circle 1 3 ). Currently, there is a trap door in the hall for attic access.

To address these issues concerning circulation and need for additional space, the applicant would like to provide a **separate entrance** to the rear bedroom so that the middle room could function as a third bedroom. In addition, they would like to **reconfigure the utility and bath space** to provide a better use of the available space, as well as provide room for an additional bathroom. And, they would like to achieve **better access to the attic space**, as well as provide for the possibility to **use the attic as additional living space** (see Circle 4).

### Proposed solution

The applicant proposes to retain the original footprint, and add a second story above the kitchen to reconfigure the second-story floor space. The roof of this addition would be tied into the original roof and they would raise the roof on half of the rear gable by an additional 6'-9" to provide greater headroom in the attic. As part of this proposal, they would have to extend the existing chimney by the same amount, to assure that it will extend at least 2' above the roof. They propose to add a second chimney (see Circle 6 ) as well.

The back of the house would shift to a simple rear-facing gable form, while the front of the house would retain the duality of the two blocks with intersecting gables. In addition, the rear roof of the new rear addition would rise above the existing roof line by 6'-9" (see Circle 22 ).

### STAFF DISCUSSION

Staff feels that this proposal is not sympathetic to the individual resource or to the historic district. The proposal compromises the massing of the house, which is one of its strongest features. While the *Takoma Park Guidelines* recognize the frequency of rear additions and the ability of the historic district to absorb these changes, rear additions are typically at the same height or lower than the original structures to retain the hierarchy of the original resource and to not overshadow the original structure. The HPC is directed to be more lenient with Contributing Resources than with Outstanding Resources, and particularly when the proposed alteration is not *at all* visible from the public right-of-way.

This proposal doesn't meet that test, and the HPC is directed to consider the proposal from the point of view of the individual resource as well as from the perspective of the overall district. If an addition was proposed which was an extension off of the rear, or if the roof height of the proposal was no greater than the existing roof height, a proposal could be approved. However, this proposal could not be considered "consistent with the predominant architectural style", or that it ... "preserves the predominant architectural features of the resource.." (Takoma Park Guidelines, p. 16).

Staff recognizes that the applicant has looked at different design solutions, and are open to suggestions now as well. The problem of filling in a corner such as this, with the cross-gable roof forms, is a construction problem as well as a design problem. With the steeply pitched roofs draining into the corner, any addition here will have to redirect the water through a system of crickets and valleys. This can be complicated and is of great concern. However, there are examples of filling in this type of corner situation at other properties in Takoma Park. For example, at 7307 Takoma Avenue, a house with a similar corner situation filled in the corner soon after the house was constructed (ca. 1910) with a tower element to which is directed all of the water from two different gable roofs. (see Circle 7)

**A second-story addition in the corner will address many of the concerns of the applicant.** They will achieve more floor area on the second floor, which will allow them to reconfigure the utility and bath areas, add a second bathroom, and provide a separate entrance to the rear bedroom. Without the stairway to the attic, there would also be extra space for a play area, storage, or a study. Such an addition would allow them to retain the original massing, and retain the original scale of the resource. The HPC is directed to be lenient with regard to changes and alterations which are not at all visible from the public right-of-way, and there would be great flexibility in terms of the rear-facing windows.

Such an addition at the rear will not provide additional living space in the attic. Access to the attic as a storage space only could be easily provided with high-quality drop-down stairs through an expanded ceiling hatch in the hall. This would provide increased accessibility to the attic for storage.

Staff has discussed various expansion strategies with the applicant, including raising the roof on the house. This option generally has been used for 1 or 1-1/2 story buildings, and might not work in this case because it would change the overall proportions of the existing resource. The structure is a wonderful example of the Victorian Vernacular, with high-style windows, a variety of siding, and a dynamic play of forms. The interior has ornate door and window trim with bulls eye corner blocks, and the stairway is dramatic as it rises to a suspended landing. All of these elements, however, have been compressed because of the small scale of the resource. Staff feels that this scale is integral to the resource, and should not be compromised.

#### **STAFF RECOMMENDATION**

Staff recommends that the applicant revise the proposal in order to achieve the additional second-story floor area, but not raise the roof on the rear portion to utilize the attic space. Additional living area can be achieved with further expansion at the rear. For example, the applicant might consider a second story extension over a rear porch (over the existing deck), where the costs for footings would be reduced to point footers.

With a revised proposal that reflects the existing massing, the applicant could proceed to the HAWP application.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SUZANNA BANWELL

Daytime Phone No.: (301) 587-2375

Tax Account No.: 002-48-6153

Name of Property Owner: Peter & Suzanna S Banwell Daytime Phone No. (301) 587-2375

Address: 7221 Cedar Ave Takoma Park MD 20912  
Street Number City State Zip Code

Contractor: James Noel, STUDIO SCAPE Phone No. (202) 364-7300

Contractor Registration No.: H1672569

Agent for Owner: James Noel Daytime Phone No. (301) 404 6739

### LOCATION OF BUILDING/PREMISE

House Number: 7221 Street: Cedar Ave

Town/City: Takoma Park Nearest Cross Street: Birch

Lot: 11 Block: 5 Subdivision: B.F. GILBERT

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |                                    |                                  |  |  |                                    |   |  |                               |                               |
|------------------------------------|----------------------------------|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____             |  |                               |                               |

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal:  WSSC    02  Septic    03  Other: \_\_\_\_\_

2B. Type of water supply:  WSSC    02  Well    03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Suzanna Banwell  
Signature of owner or authorized agent

4/23/99 (4)  
Date



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CIRCA 1910 BRICK FOUNDATION WOOD FRAME "STICK"  
VICTORIAN SINGLE FAMILY HOUSE IN TAKOMA PARK  
HISTORIC DISTRICT.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2nd fl. PROJECT WILL TAKE PLACE ON THE BACK HALF OF THE HOUSE,  
NOT THE STREET SIDE. MUDROOM WILL BE EXPANDED  
NEXT TO DRIVEWAY. PURPOSE: TO INCREASE THE SIZE OF  
OUR HOUSE TO ACCOMMODATE OUR GROWING FAMILY AND  
ADD A BEDROOM/WALK UP ATTIC ACCESS. INCREASE CHIMNEY  
HEIGHT (FOR FIREPLACES) TO MEET CODE.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

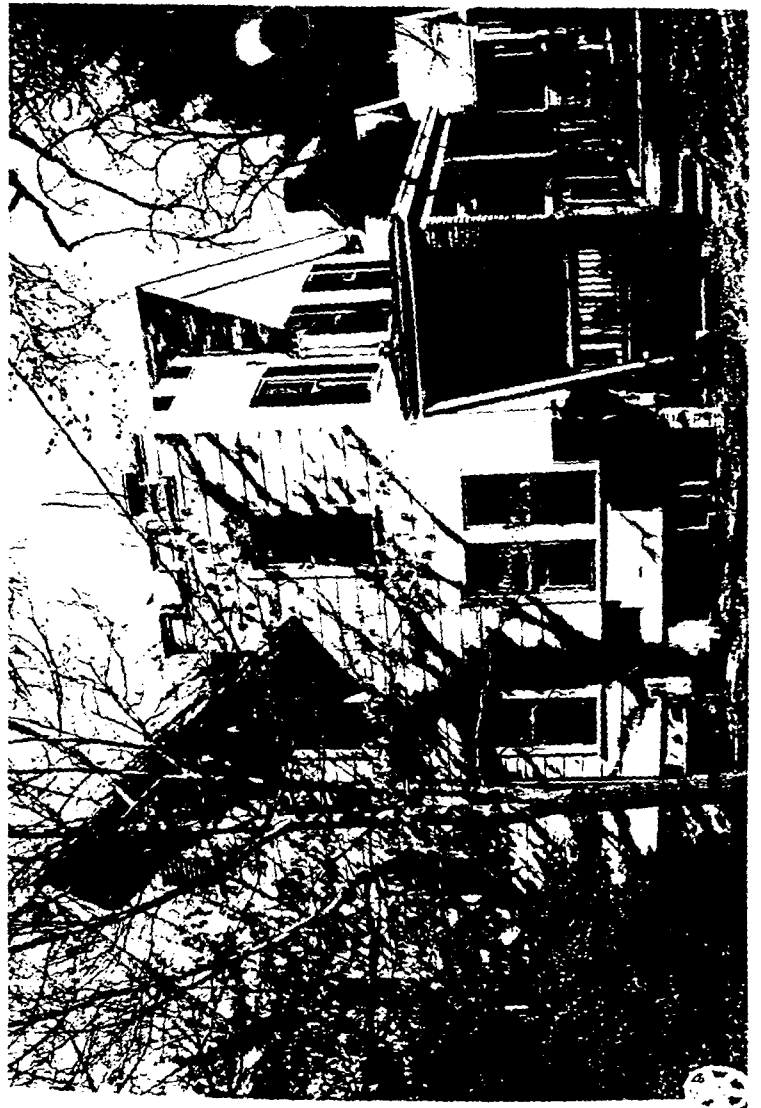
- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

5

MARK; LOUISE Ewell  
7301 Cedar Ave  
Takoma Park, MD  
20912

~~CHRIS~~ John LORENZ  
Chris Simpson  
7218 Cedar Ave  
Takoma Park, MD  
20912

Shirley Tru  
7217 Cedar Ave  
Takoma Park, MD  
20912



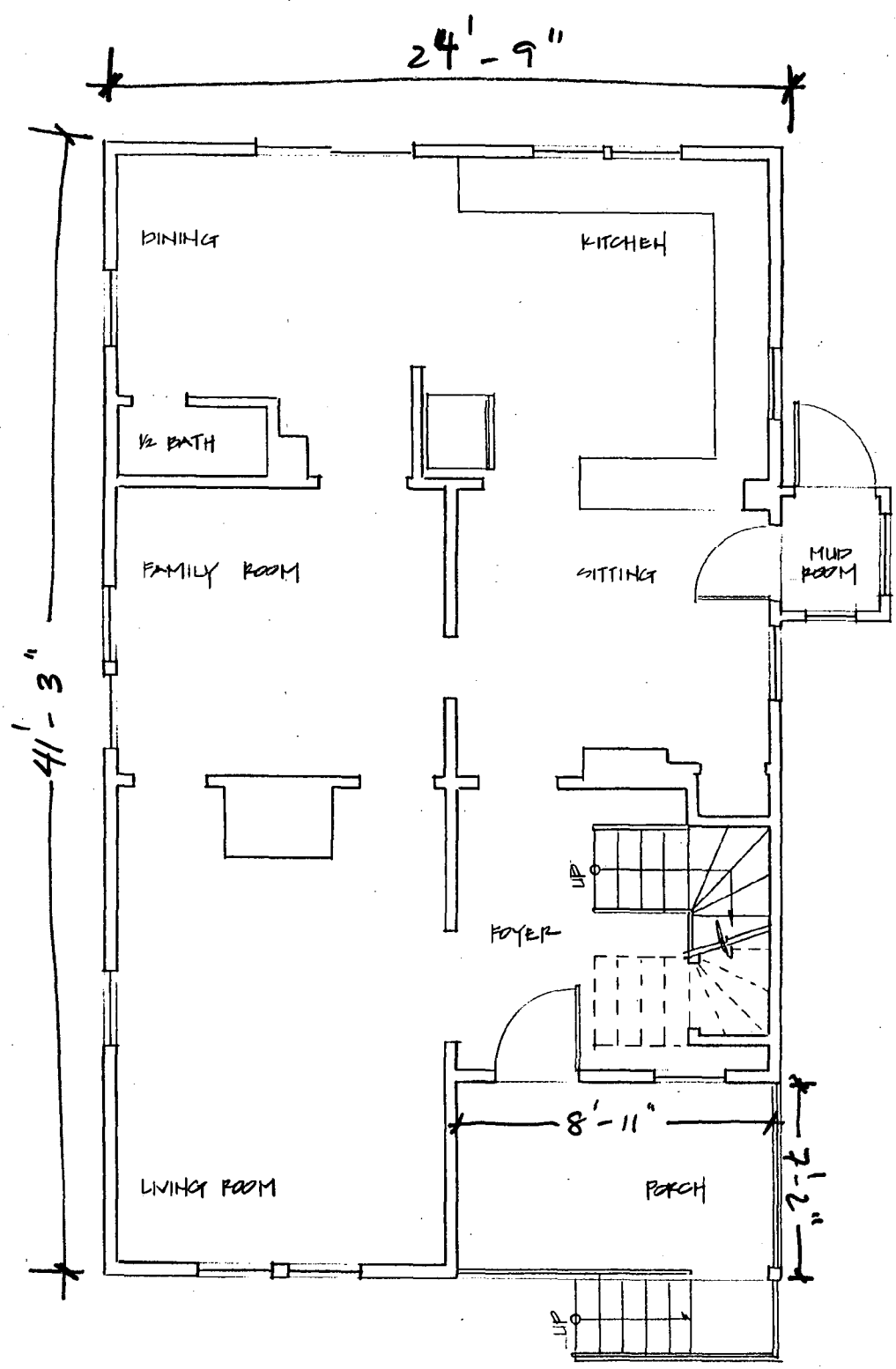
7307 TAKOMA AVENUE



NOTE ADDRESS:  
NOT  
THE  
SUBJECT  
PROPERTY

~~40~~ 7

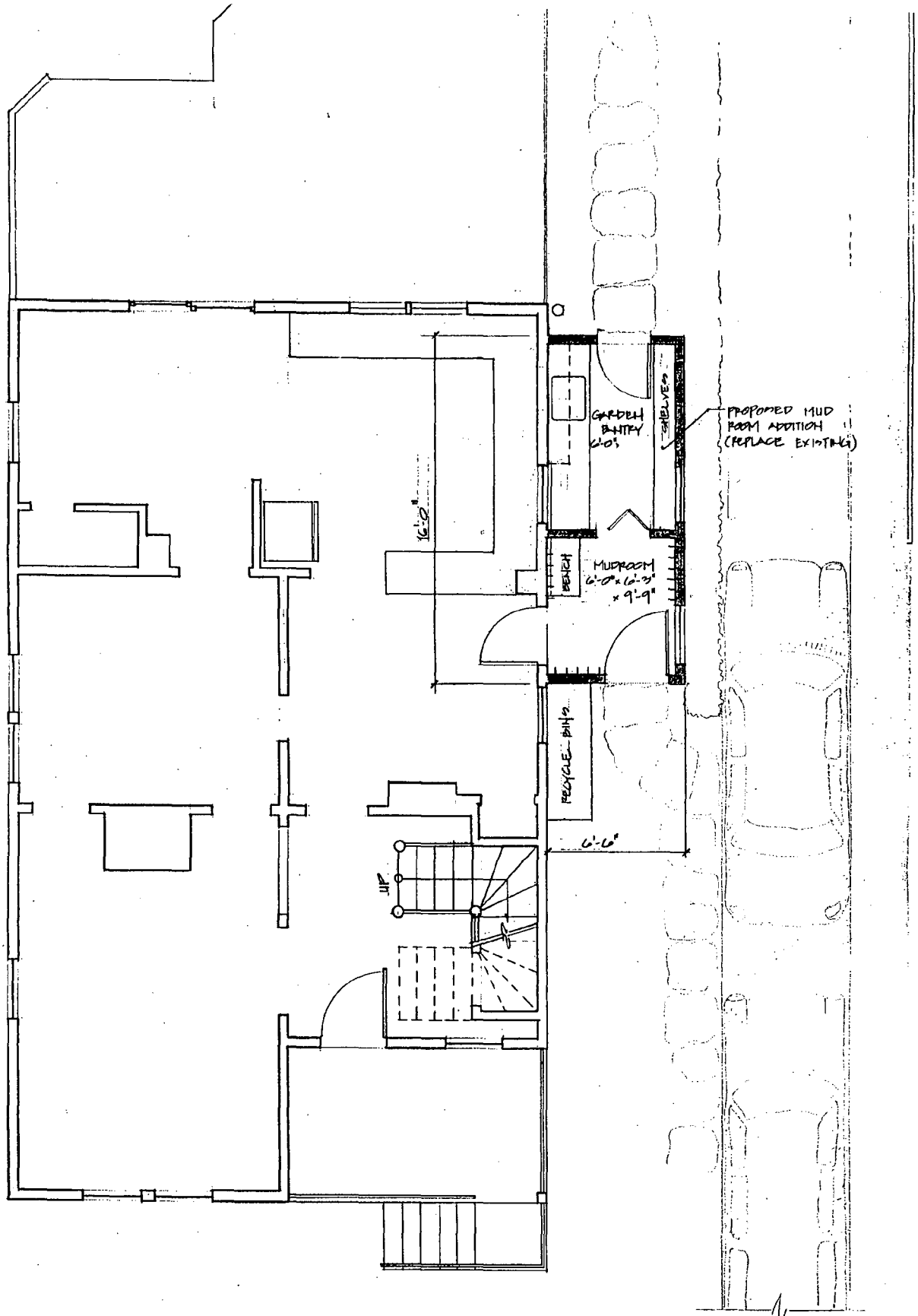




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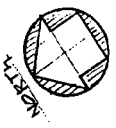
EXISTING FIRST FLOOR PLAN

9

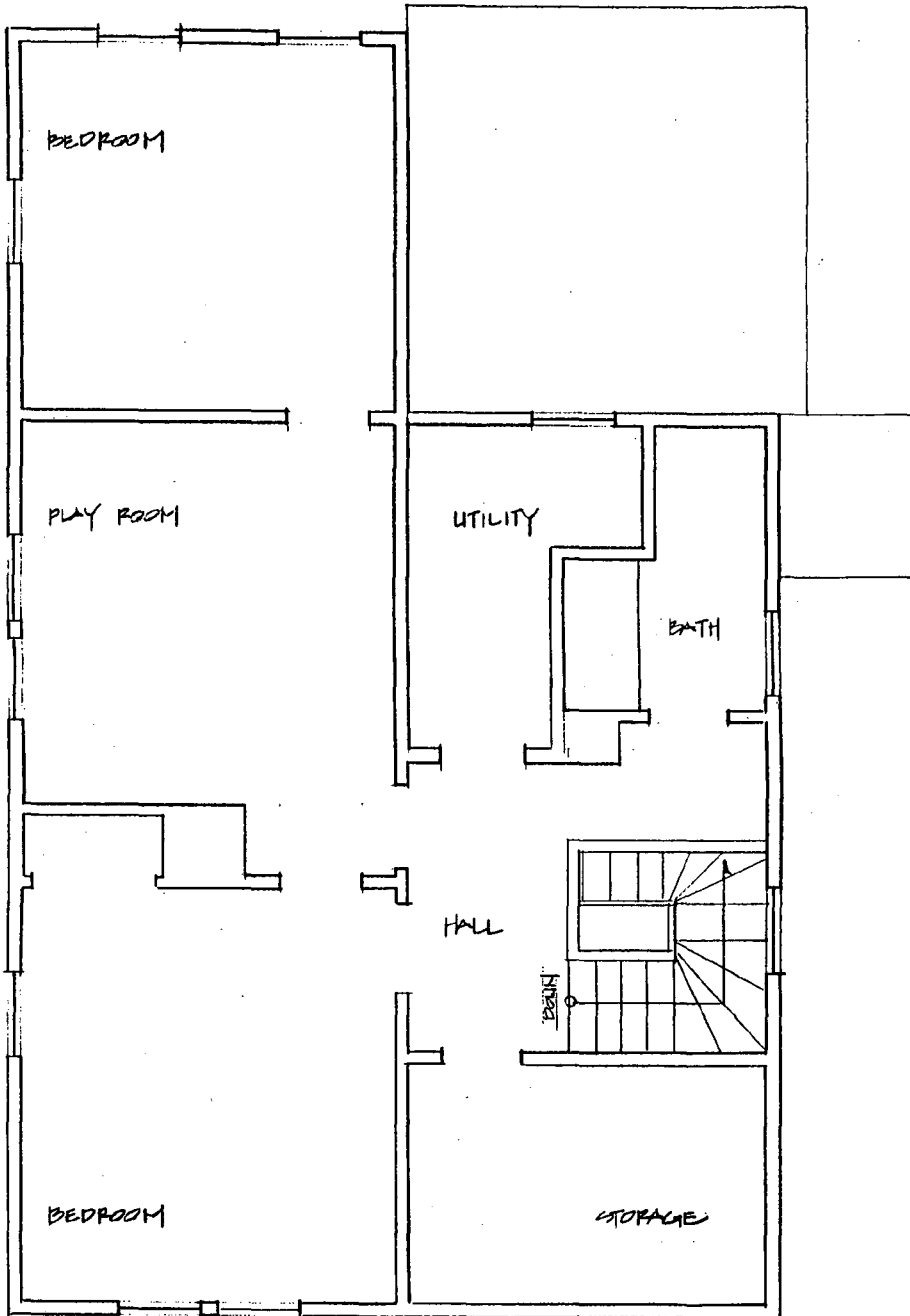


PROPOSED MUD ROOM ADDITION (REPLACE EXISTING)

TO CEDAR AVE.



1 FIRST FLOOR PLAN



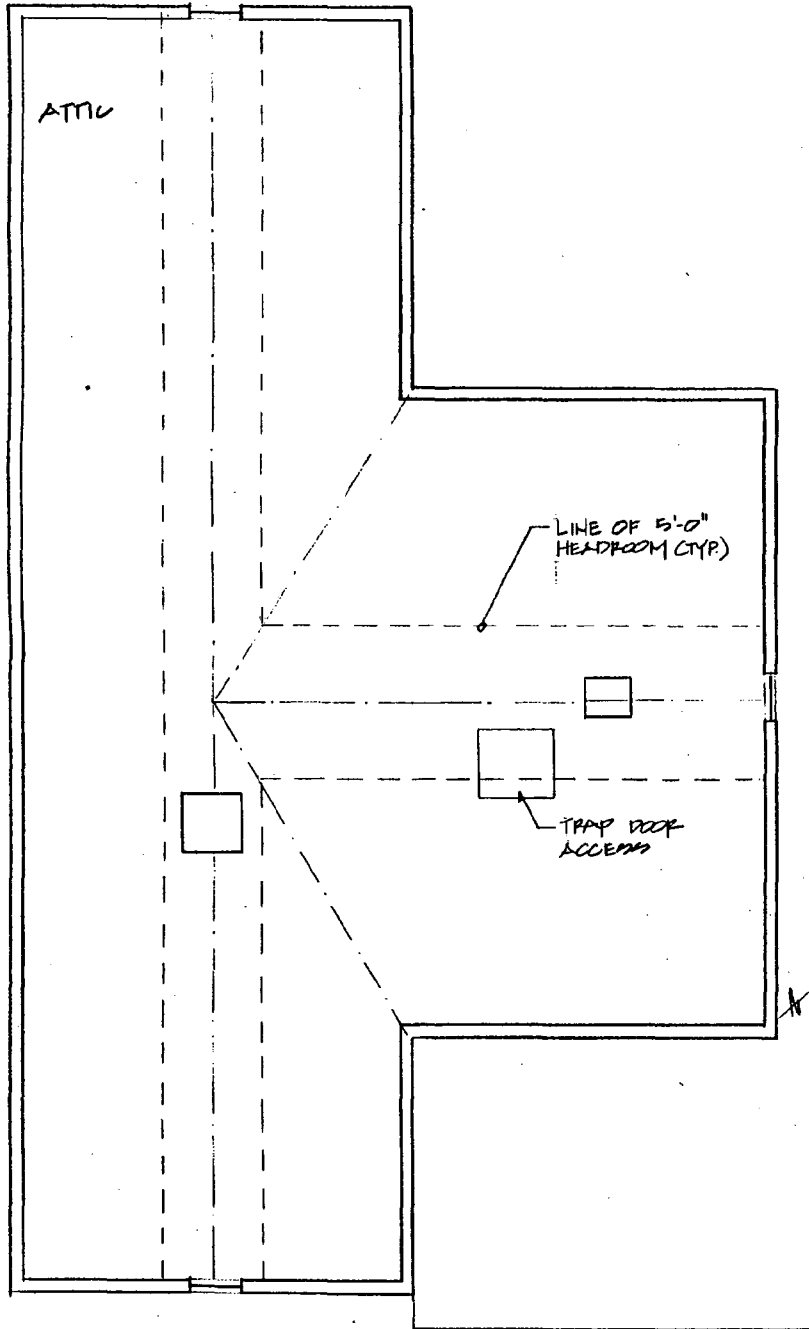
2 EXISTING SECOND FLOOR PLAN

REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

11

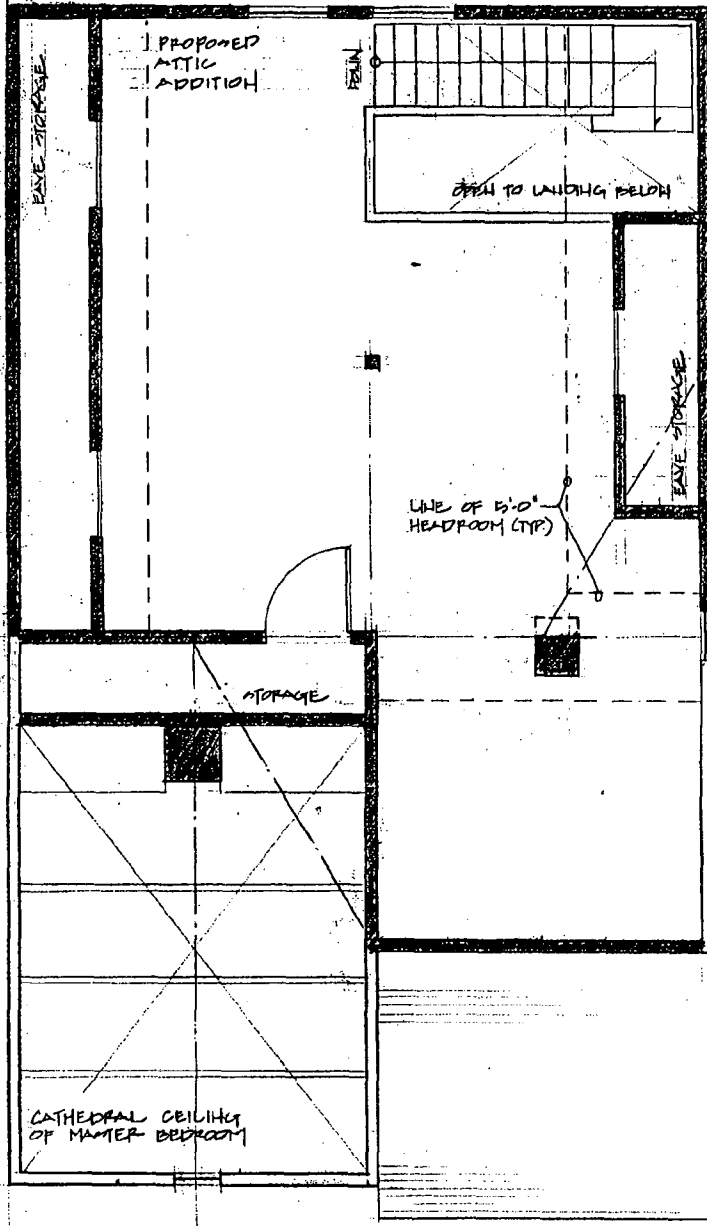




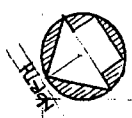


3 EXISTING ATTIC FLOOR PLAN

24'-10"



22'-2"



ATTIC FLOOR PLAN

14



2 EXISTING CEDAR AVENUE ELEVATION

BANWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

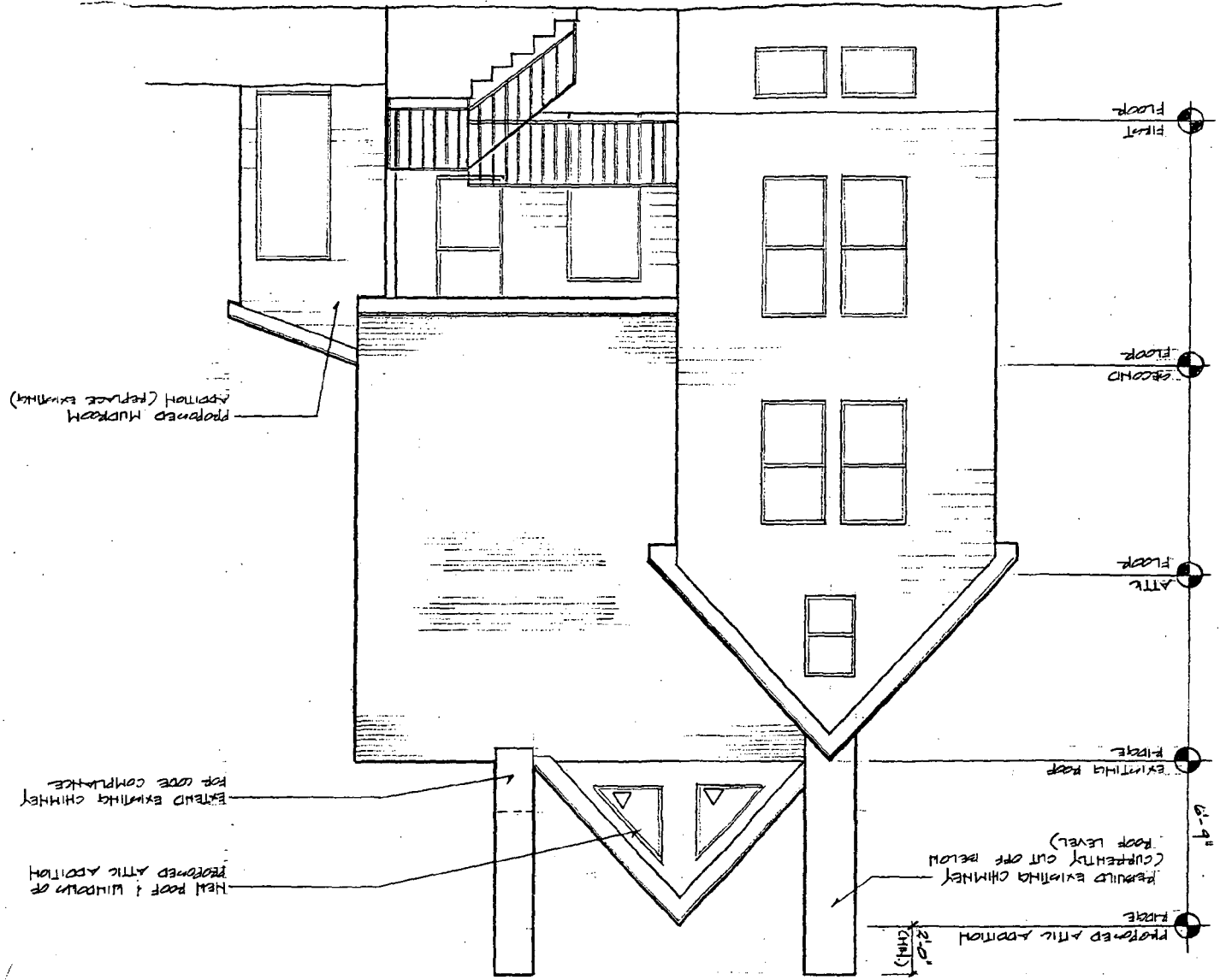
CASH BUILDERS 4/27/99



15

BANWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
CANN BUILDERS 4/20/99  
0 1 2 3 4 5  
10 FT

2 CEDAR AVENUE ELEVATION



FIRST FLOOR

SECOND FLOOR

ATTIC FLOOR

EXISTING ROOF

6'-9"

FUDGE

PROPOSED MURKIN ADDITION (REPLACE EXISTING)

EXTEND EXISTING CHIMNEY FOR CODE COMPLIANCE

REPAIR EXISTING CHIMNEY (CURRENTLY CUT OFF BELOW ROOF LEVEL)

PROPOSED ATTIC ADDITION

6'-0" (CHIM)

REPAIR ROOF & WINDOWS OF PROPOSED ATTIC ADDITION

17

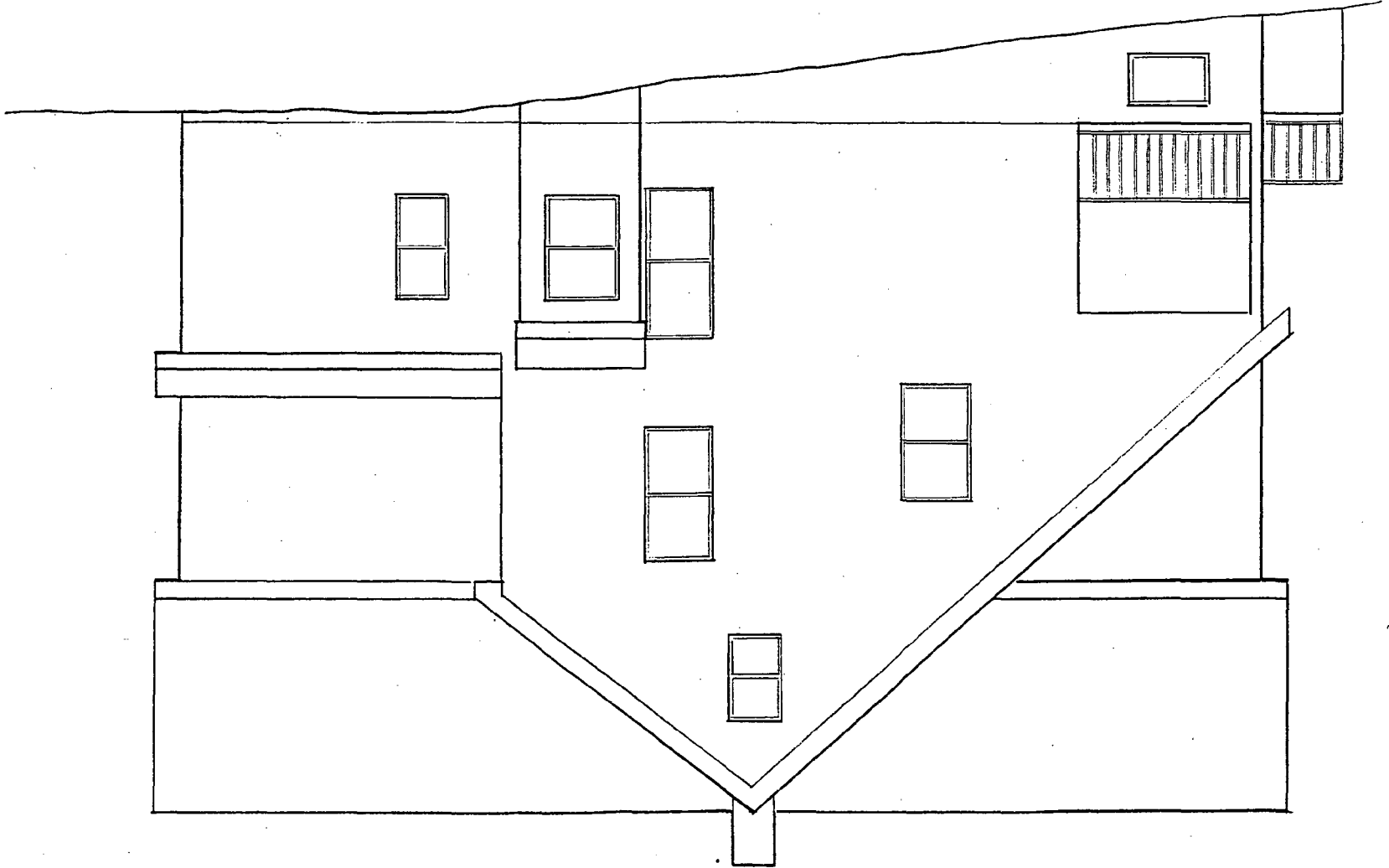
1

EXISTING SOUTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. DROMA PARK, MD 20912

COMP. PULDERER 4/27/99

0 1 2 3 4 5 FT.



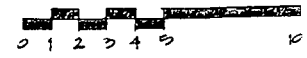


- MATERIALS**
- 1) WOODEN DOUBLE HUNG WINDOWS MATCHING EXISTING
  - 2) SHINGLE SIDING MATCHING EXISTING
  - 3) MATCHING ASPHALT ROOF

1 SOUTH SIDE ELEVATION

DANWELL REMODEL 7221 CLAY AVE. TAKOMA PARK, MD 20912

CONTRACTOR BUILDER 1/20/99



18

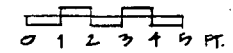


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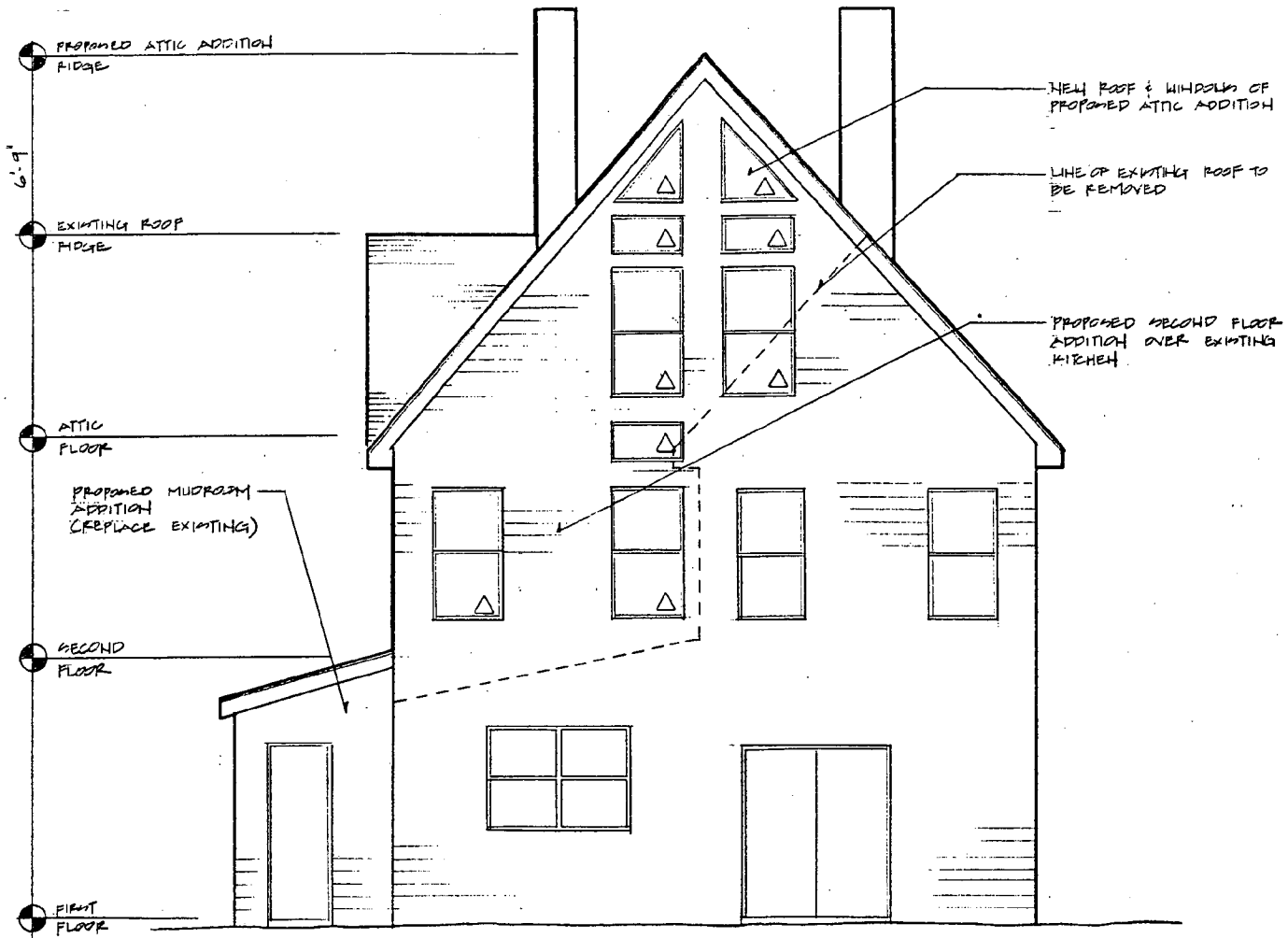
EXISTING REAR ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



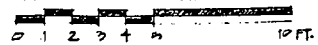
19



4 REAR ELEVATION

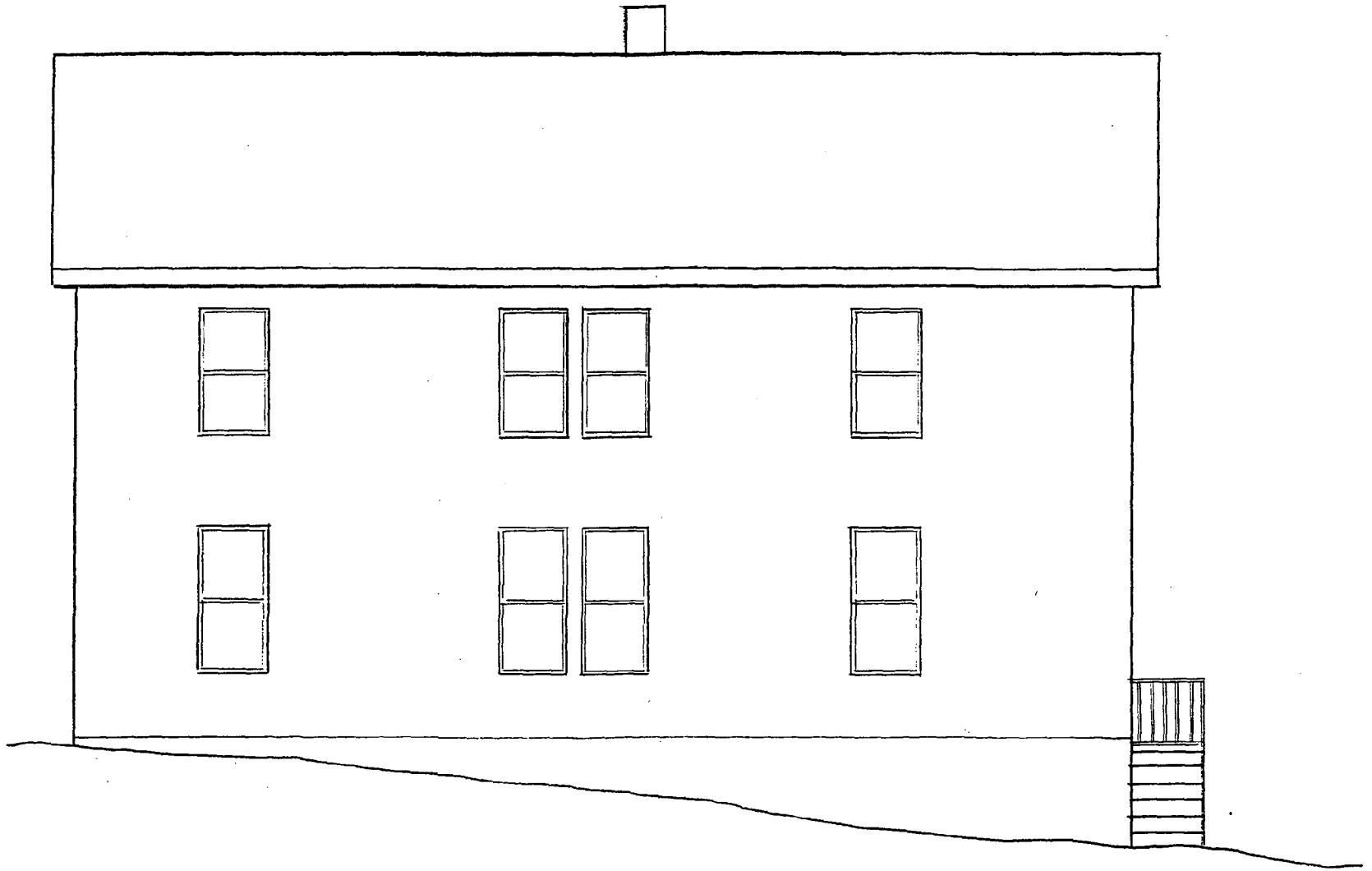
BRUNNELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/20/11



25



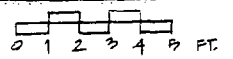


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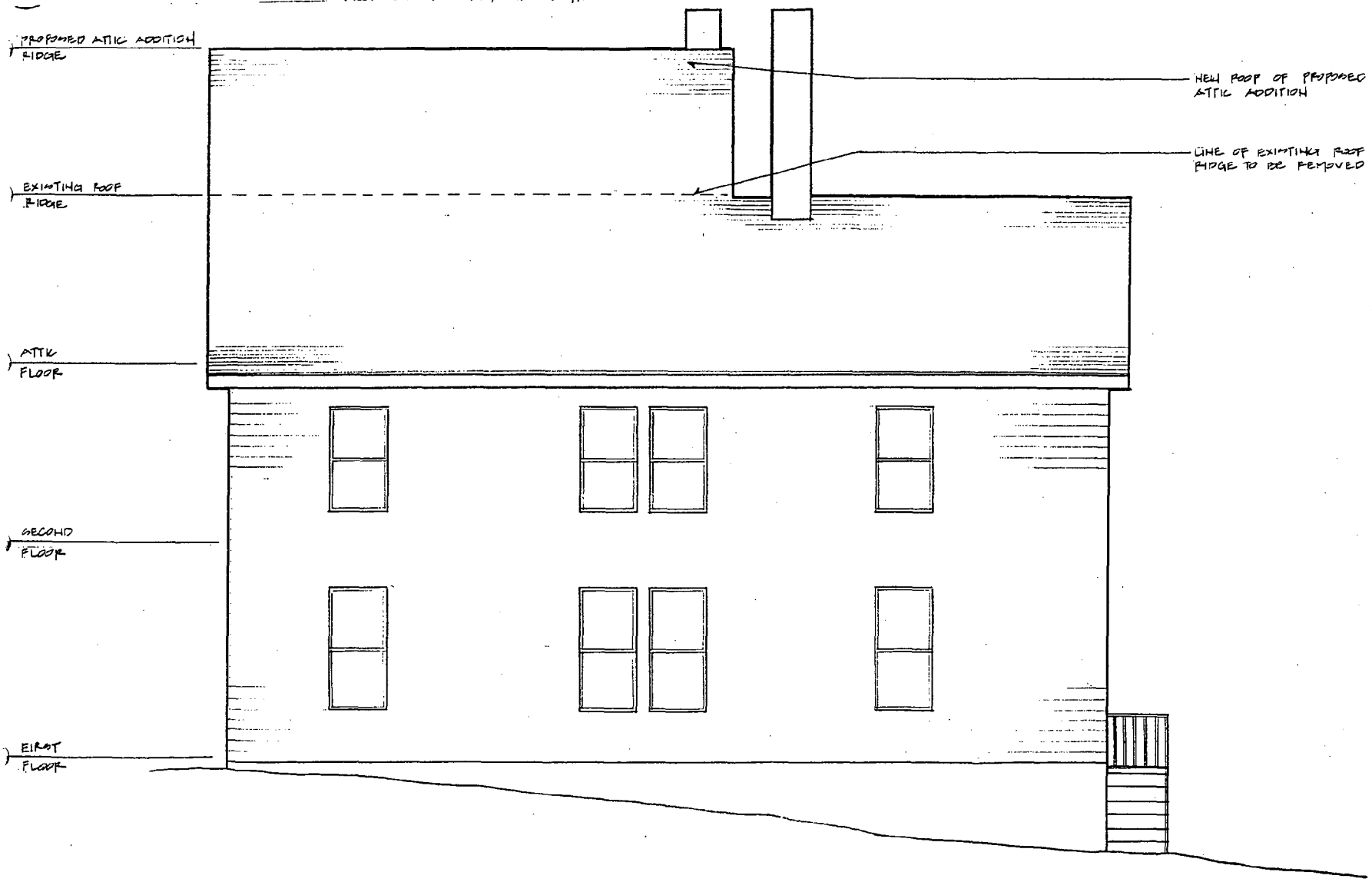
EXISTING NORTH SIDE ELEVATION

BAINWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK MD 20912

CASA BUILDERS 4/27/99



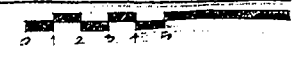
21



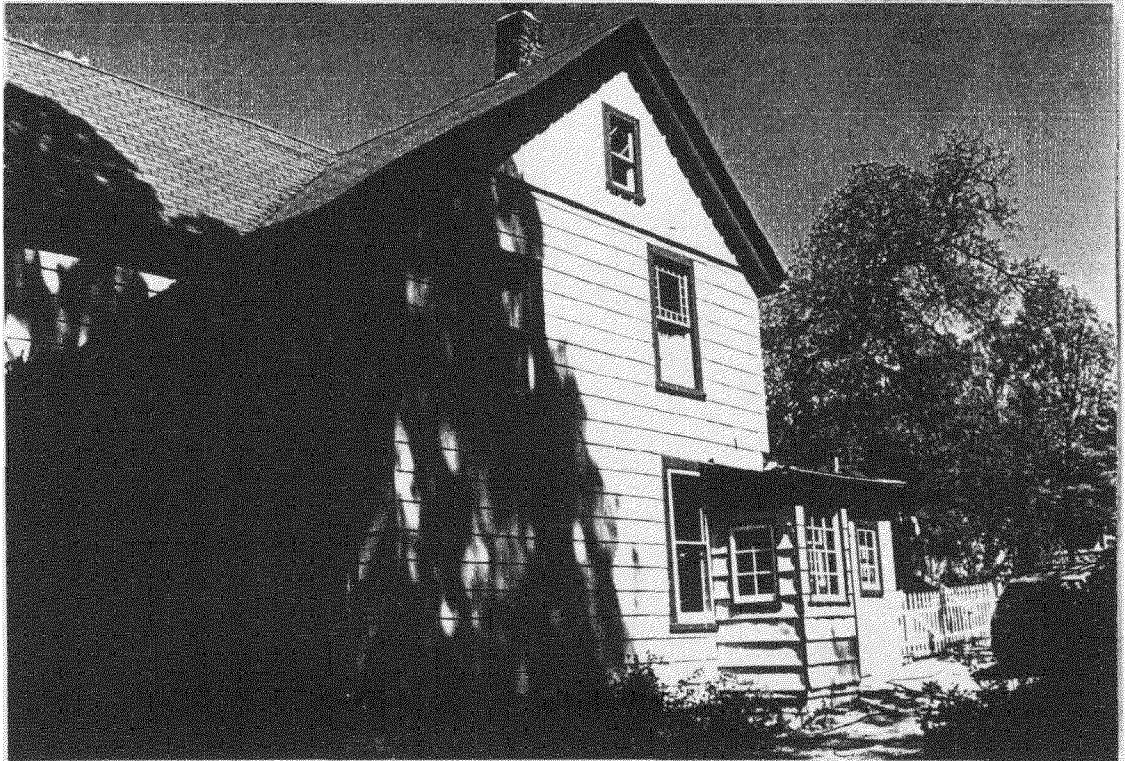
3 NORTH SIDE ELEVATION

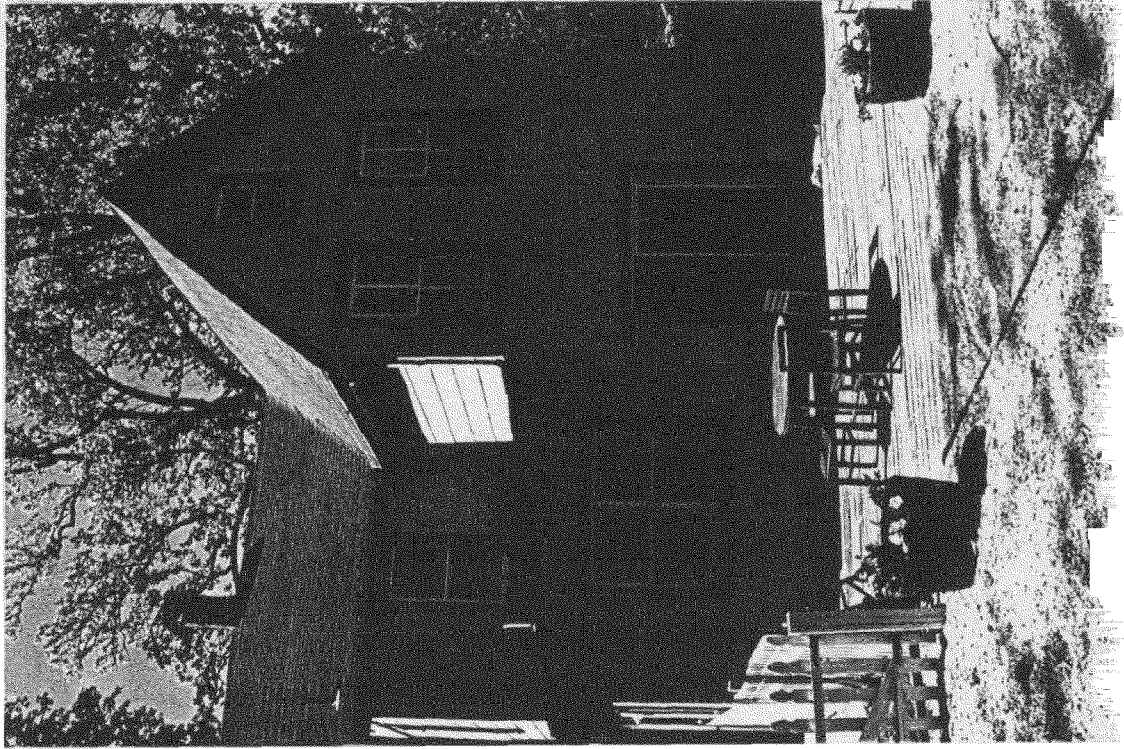
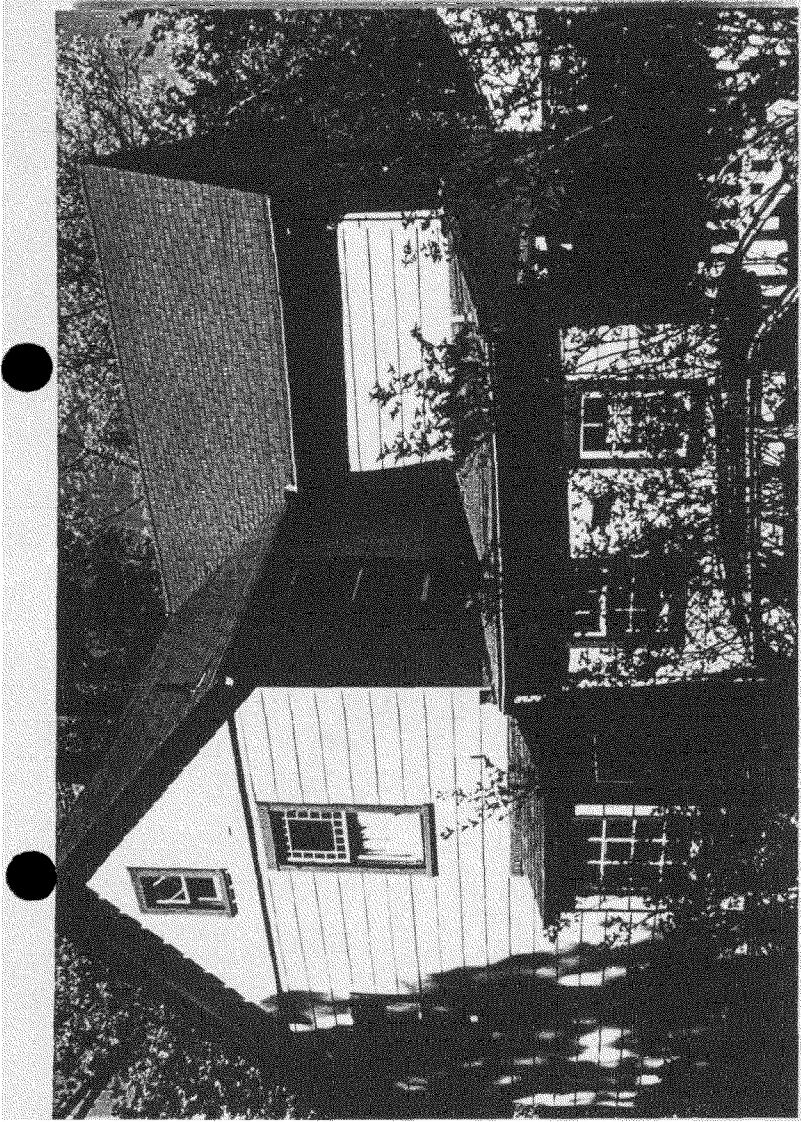
BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CAPA BUILDERS 4/20/99

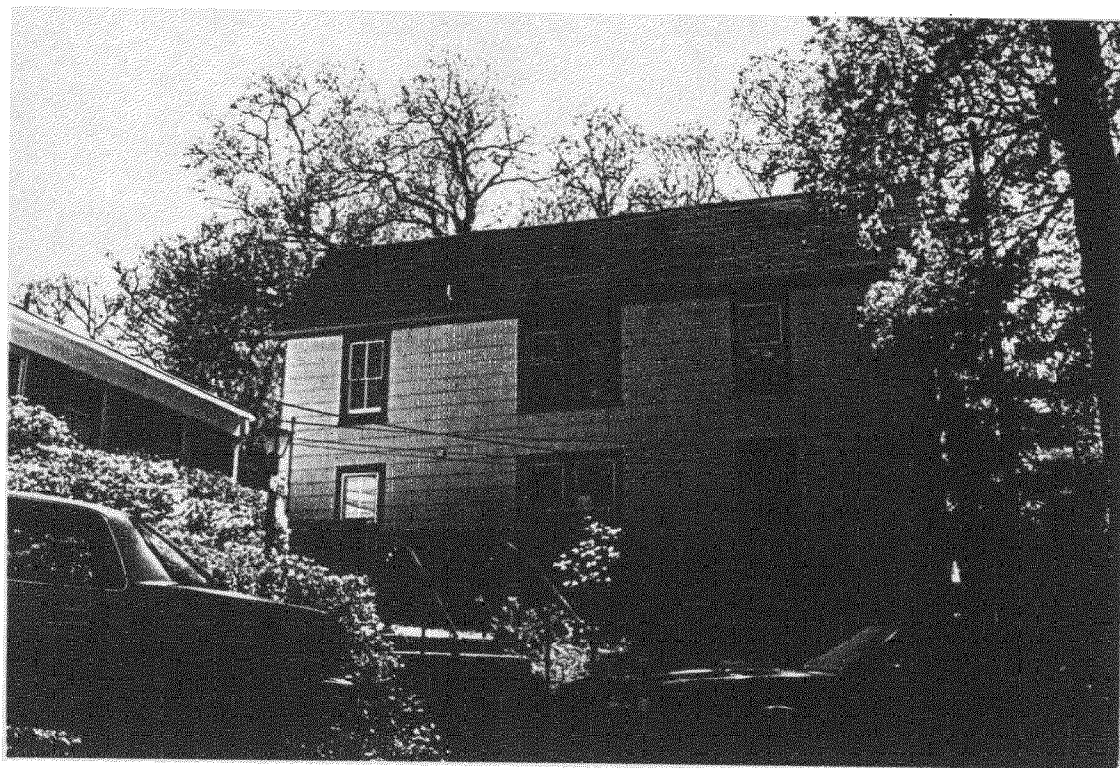


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# III - A

**HISTORIC PRESERVATION COMMISSION  
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc.). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 5/26/99

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: II.C. Benwell Addition

NAME: Gregory Larson

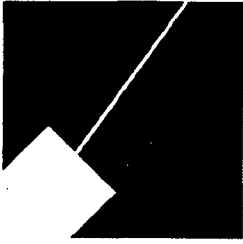
COMPLETE MAILING ADDRESS: 713 Warm Springs Ave  
Huntington, PA 16652

REPRESENTING (INDIVIDUAL/ORGANIZATION): Peter & Suzana Benwell

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation..... 7 minutes
- Comment by affected property owners on Master Plan designation..... 3 minutes
- Comment by adjacent owners/interested parties..... 3 minutes
- Comment by citizens association/interested groups..... 5 minutes
- Comment by elected officials/government representatives..... 7 minutes

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Section  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

LYNN WATKINS

TO: HPC COMMISSIONER FAX NUMBER: \_\_\_\_\_

FROM: ROBIN ZIEK

DATE: 5.24.99

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: # 5

NOTE:

RE: REVISED AGENDA: PRELIMINARY CONSULTATION  
ON PETER & SUZANNA BANWELL @ 7221 CEDAR AVE,  
TAROMA PARK.

REVISED PROPOSAL FOR YOUR CONSIDERATION. LOWER ROOF  
LINE; NOTE SKYLIGHTS.

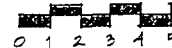
FOR WED. MEETING



2 CEDAR AVENUE ELEVATION

DANWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CSA BUILDERS 9/19/99



10 FT.

5/26/99  
 REVISED PROPOSAL



*Georgs says I would be advised of flat roof - I would only not so w/ 6'-11" in terms of just use the space.*

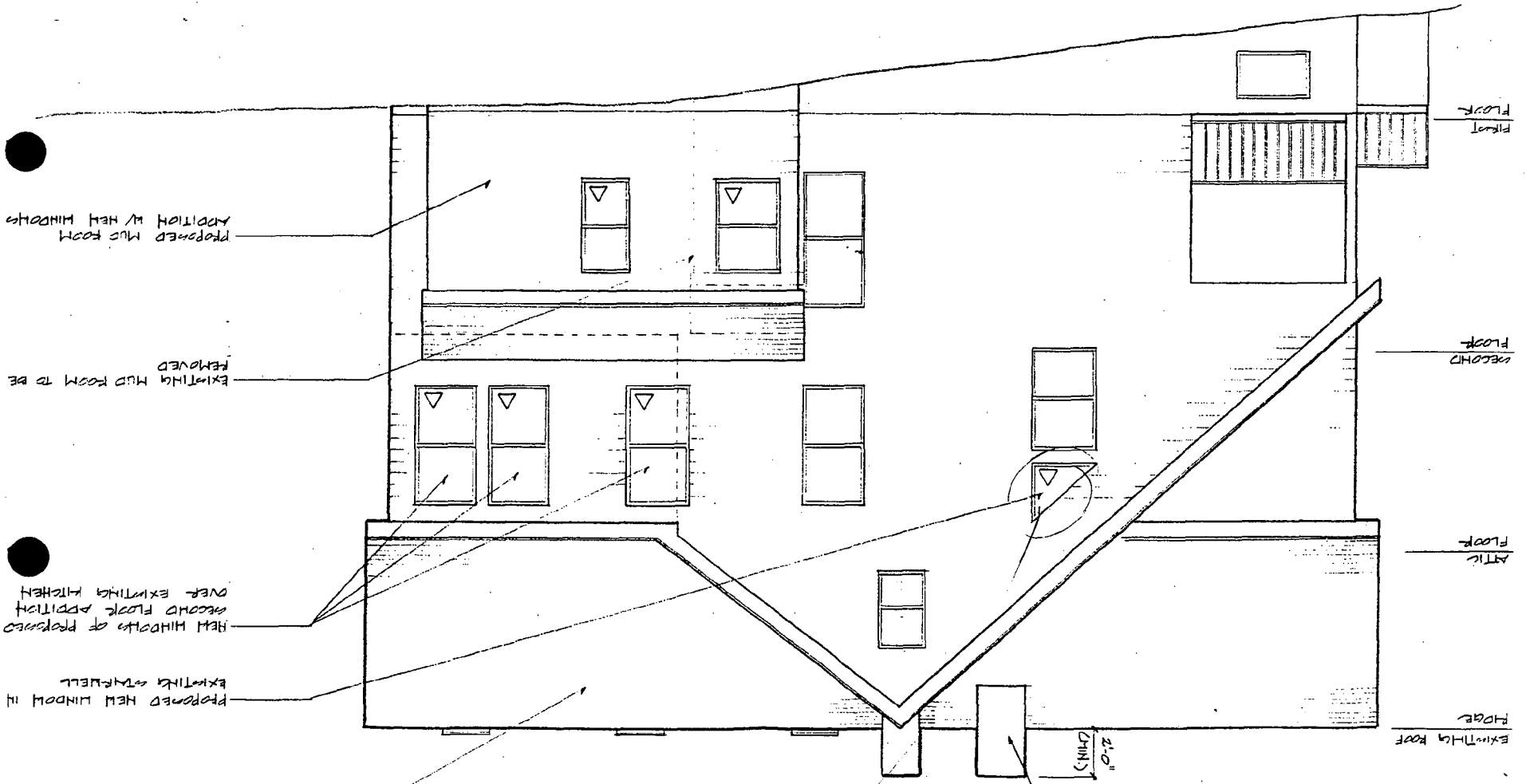
**SOUTH SIDE ELEVATION**

BRAHILL PERIODIC 7221 DEPT AVE TAKOMA PARK, MD 20912

DATE: 9/19/99

012345

10 FT



PROPOSED MUD ROOM WITH WINDOWS

EXISTING MUD ROOM TO BE REMOVED

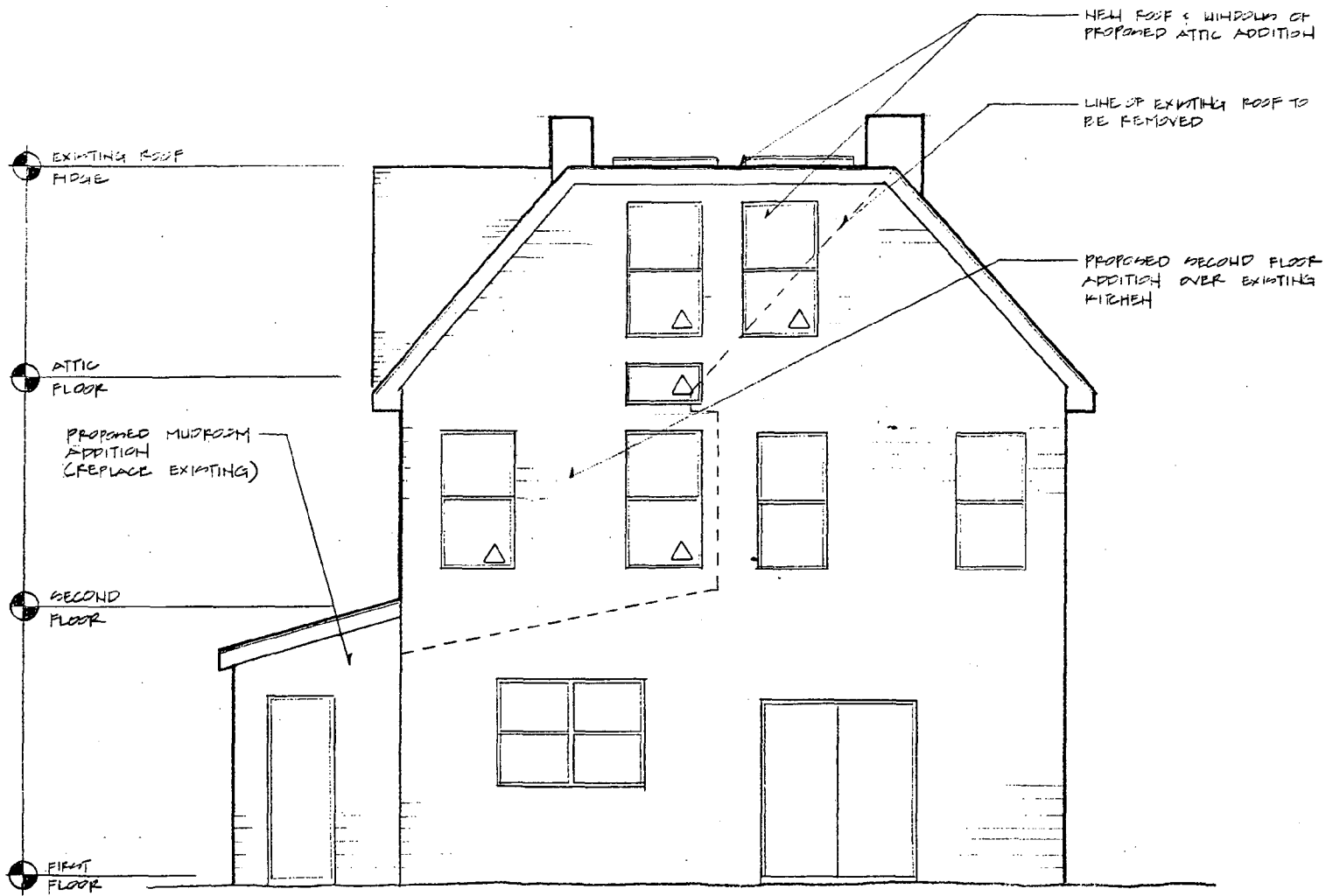
HEAT WINDOWS OF PROPOSED SECOND FLOOR ADDITION OVER EXISTING KITCHEN

PROPOSED NEW WINDOW IN EXISTING STAIRWELL

HEAT ROOF OF PROPOSED ATMC ADDITION

RE-BUILD EXISTING CHIMNEY CURRENTLY CUT OFF BELOW ROOF LEVEL)

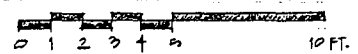
*Stone Sparlock - Look to another stage windows*



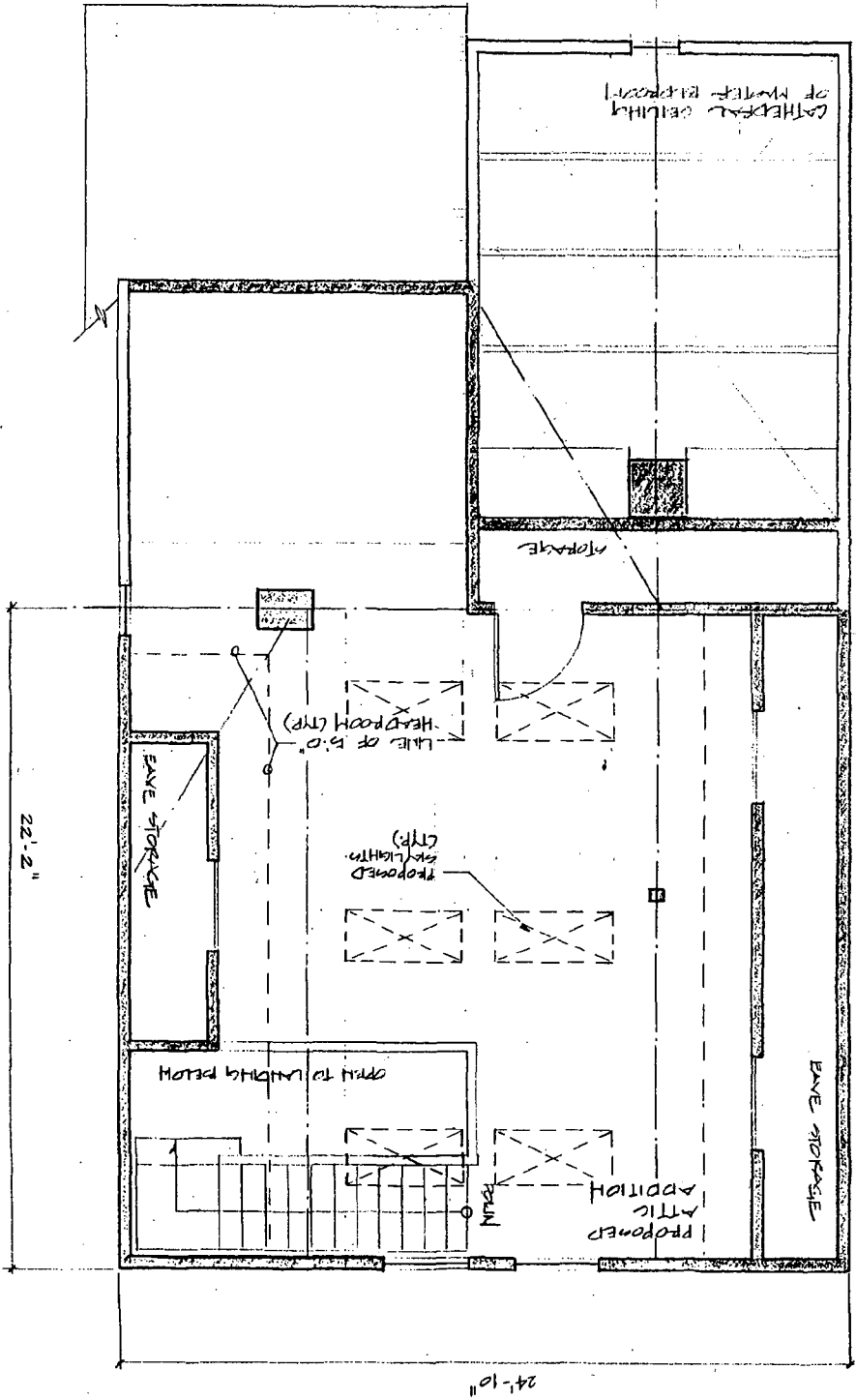
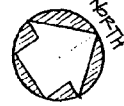
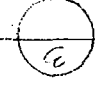
4 REAR ELEVATION

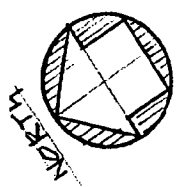
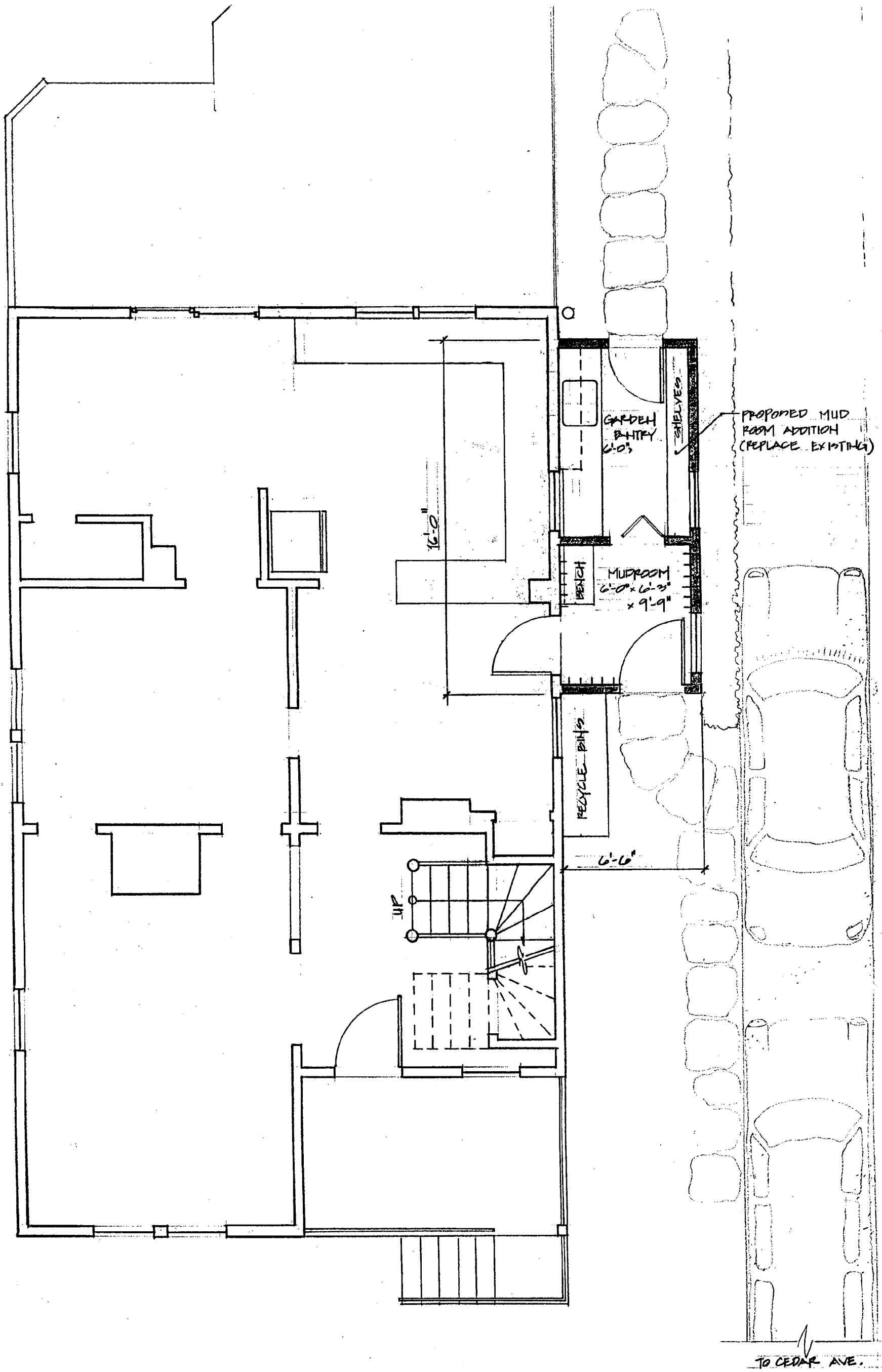
BOWEN REMODEL 7221 JEDAR AVE. TAKOMA PARK, MD 20912

CASA DULPERS 6/19/99



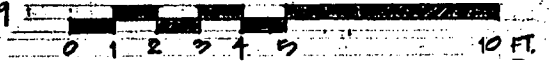
# ATTIC FLOOR PLAN

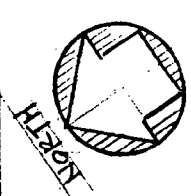
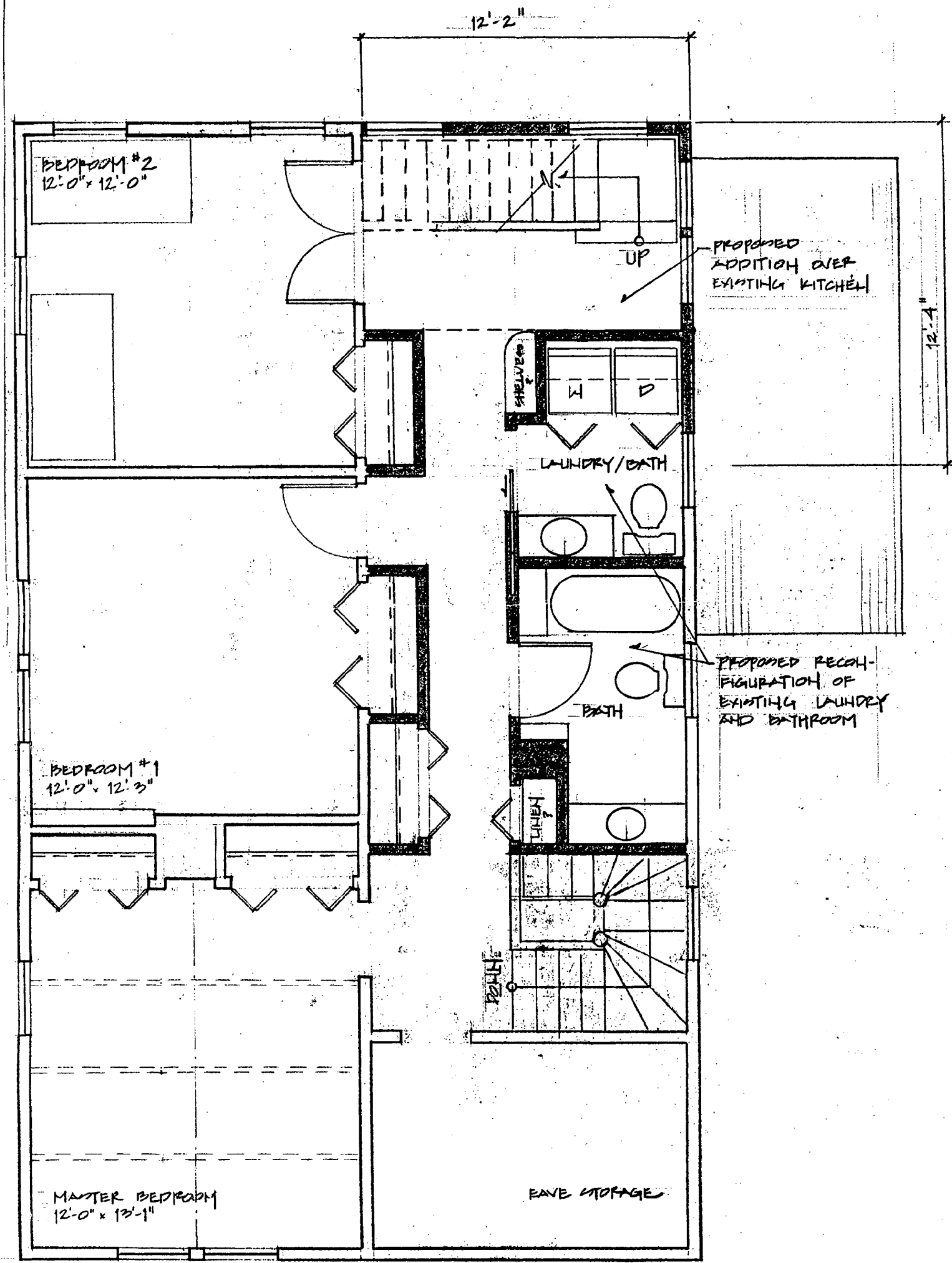




1

FIRST FLOOR PLAN



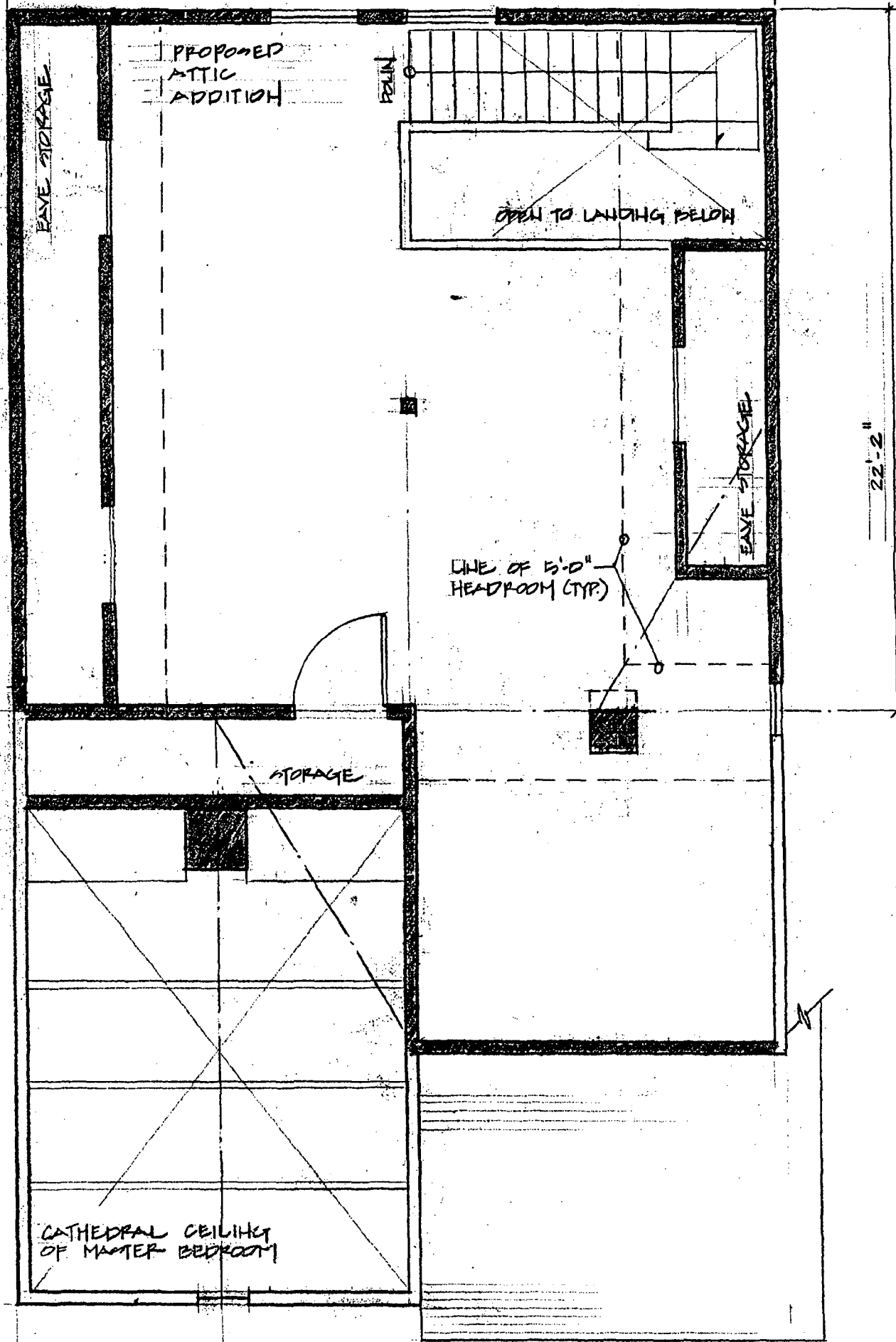


2 SECOND FLOOR PLAN

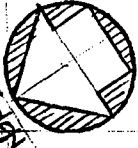
BATHWELL REMODEL 7224 CEDAR AVE. TAKOMA PARK, MD 20912

SEE BILL SHEET 4/20/09

24'-10"

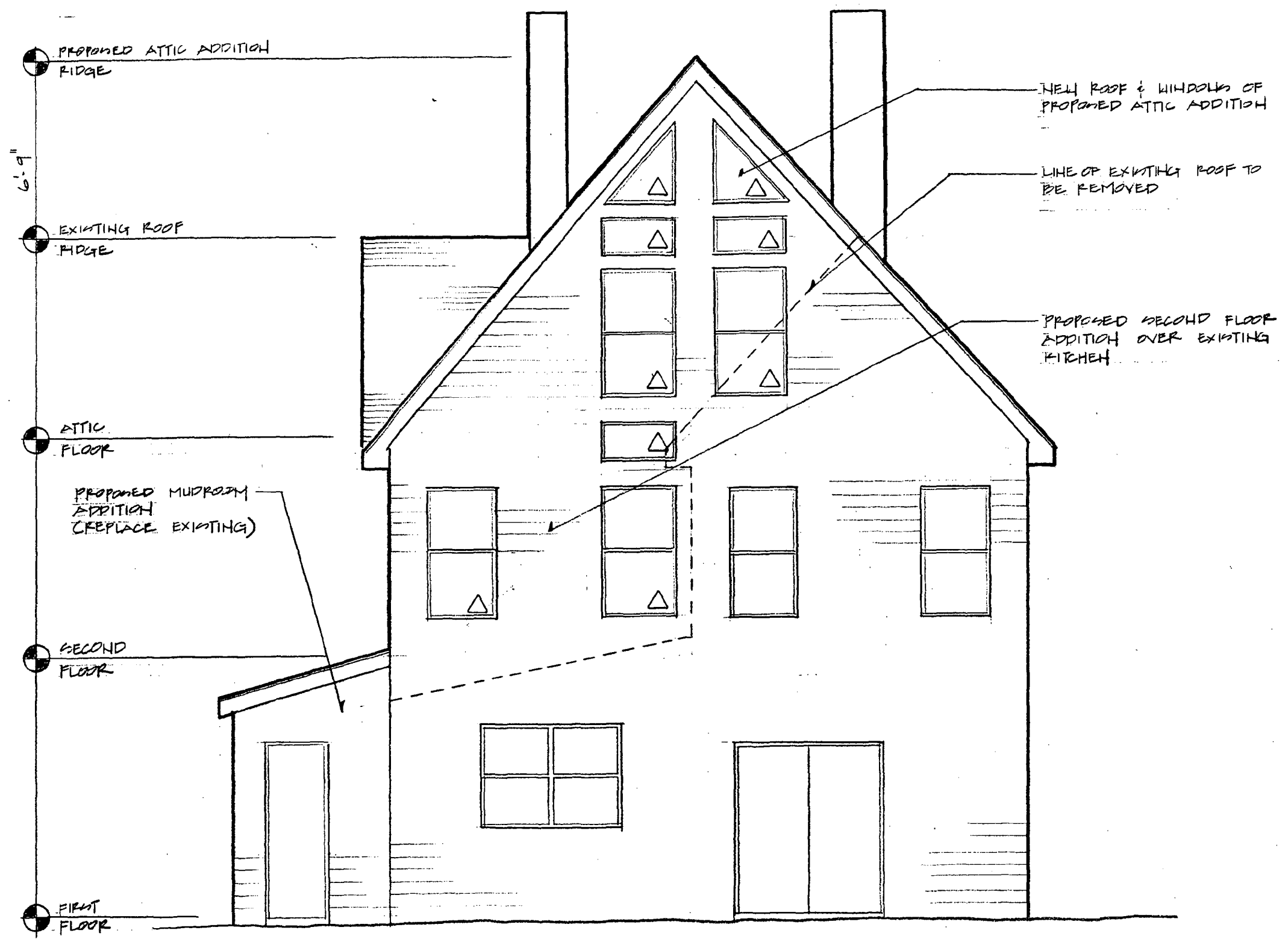


22'-2"

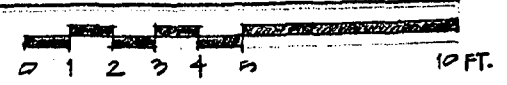


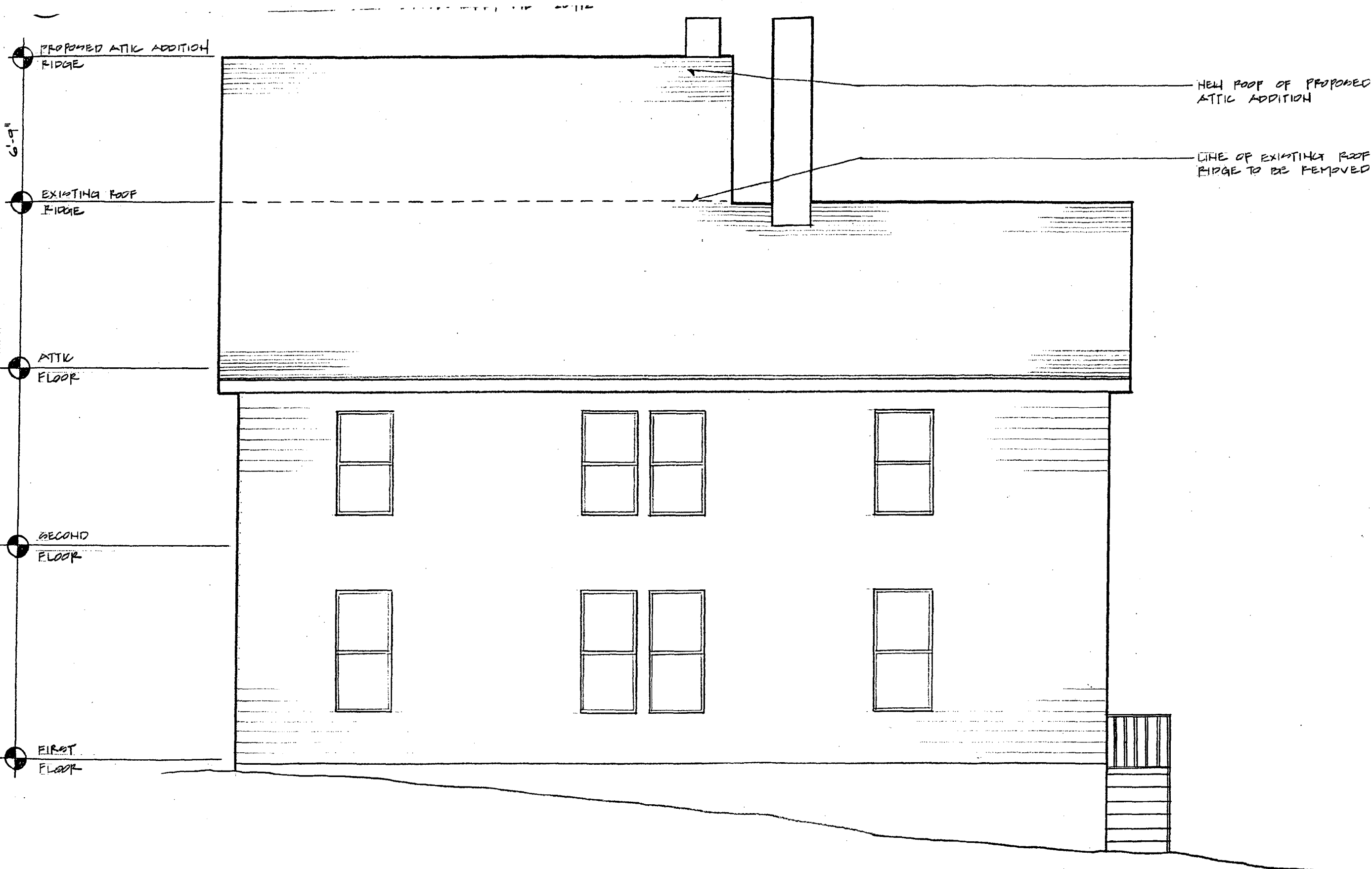
3 ATTIC FLOOR PLAN

D. H. WELLS REMODEL 7334 CEDAR AVE. ADOMA PARK, MD 20912



4 REAR ELEVATION  
 DANWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
 CASH BUILDERS 4/30/99





6'-9"

PROPOSED ATTIC ADDITION RIDGE

EXISTING ROOF RIDGE

ATTIC FLOOR

SECOND FLOOR

FIRST FLOOR

NEW ROOF OF PROPOSED ATTIC ADDITION

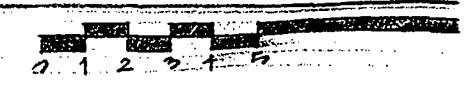
LINE OF EXISTING ROOF RIDGE TO BE REMOVED

3

NORTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/20/99







PROPOSED ATTIC ADDITION  
RIDGE

2'-0"  
(MIN)

RE-BUILD EXISTING CHIMNEY  
(CURRENTLY CUT OFF BELOW  
ROOF LEVEL)

EXTEND EXISTING CHIMNEY  
FOR CODE COMPLIANCE

NEW ROOF OF PROPOSED  
ATTIC ADDITION

LINE OF EXISTING ROOF  
RIDGE TO BE REMOVED

PROPOSED NEW WINDOW IN  
EXISTING STAIRWELL

NEW WINDOWS OF PROPOSED  
SECOND FLOOR ADDITION  
OVER EXISTING KITCHEN

- MATERIALS**
- 1) WOODEN DOUBLE HUNG WINDOWS
  - 2) MATCHING EXISTING SHINGLE SIDING
  - 3) MATCHING ASPHALT ROOF
- EXISTING MUD ROOM TO BE REMOVED

PROPOSED MUD ROOM  
ADDITION W/ NEW WINDOWS

6'-9"

EXISTING ROOF  
RIDGE

ATTIC  
FLOOR

SECOND  
FLOOR

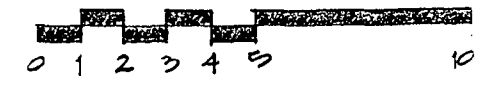
FIRST  
FLOOR

1

**SOUTH SIDE ELEVATION**

BAHLL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/20/99



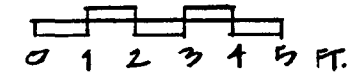


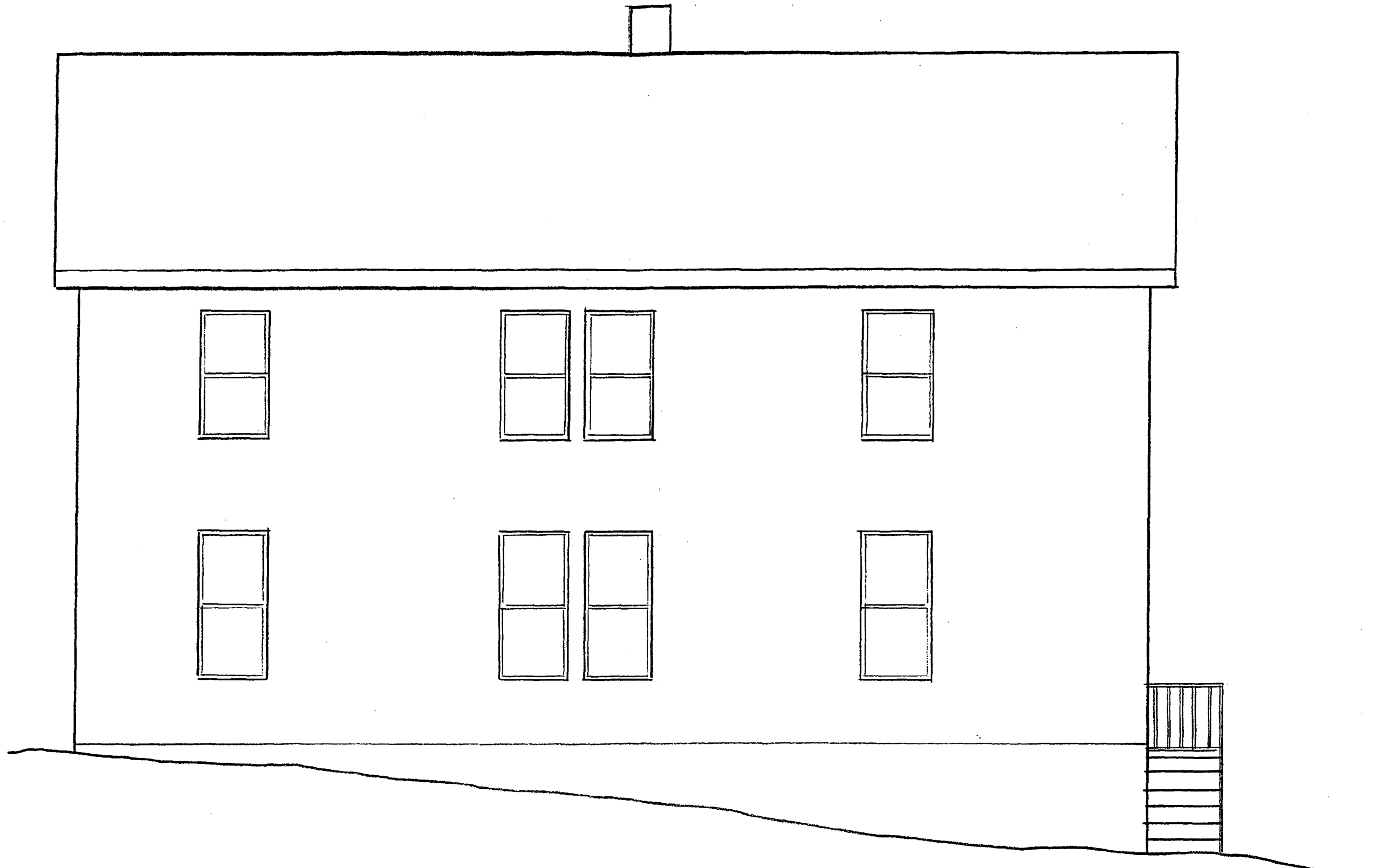
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EXISTING REAR ELEVATION

BANKWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



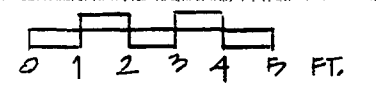


3

EXISTING NORTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



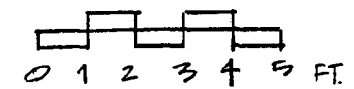


2

EXISTING CEDAR AVENUE ELEVATION

BANKWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



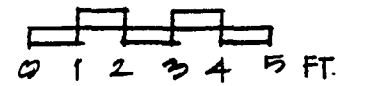


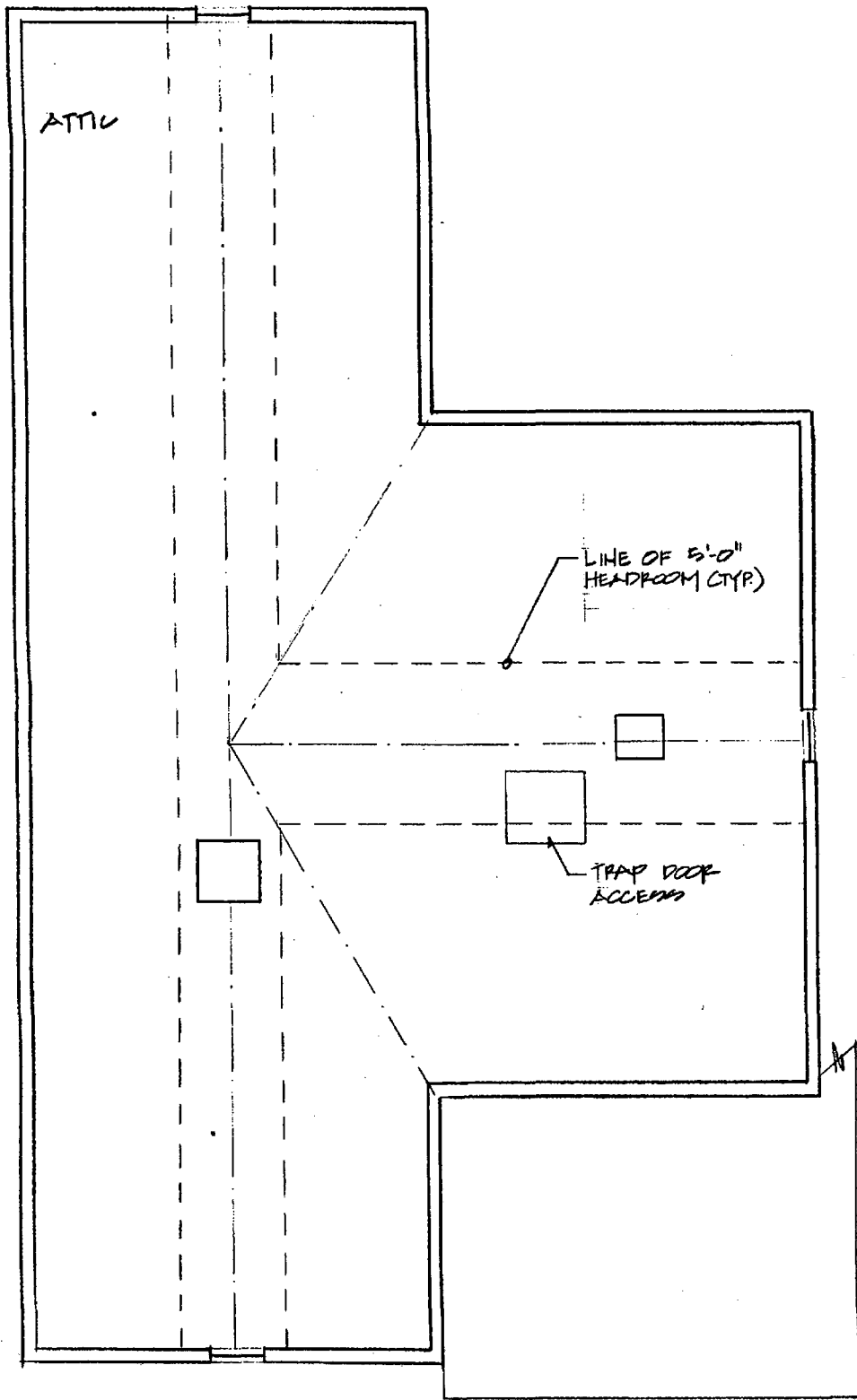
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EXISTING SOUTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

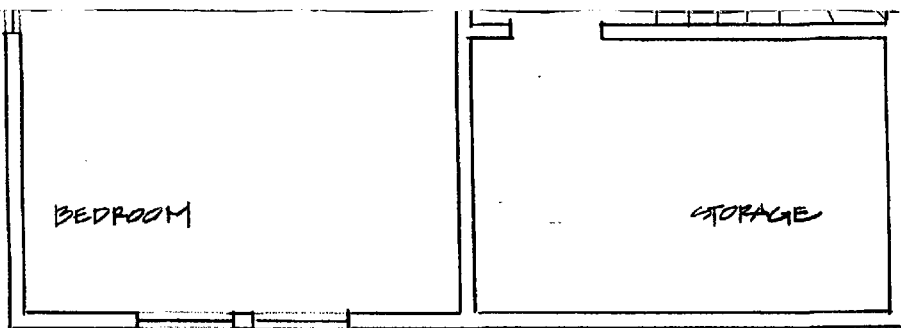
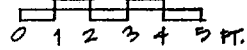
CAMA BUILDERS 4/27/99





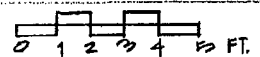
3 EXISTING ATTIC FLOOR PLAN

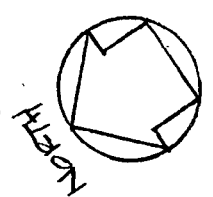
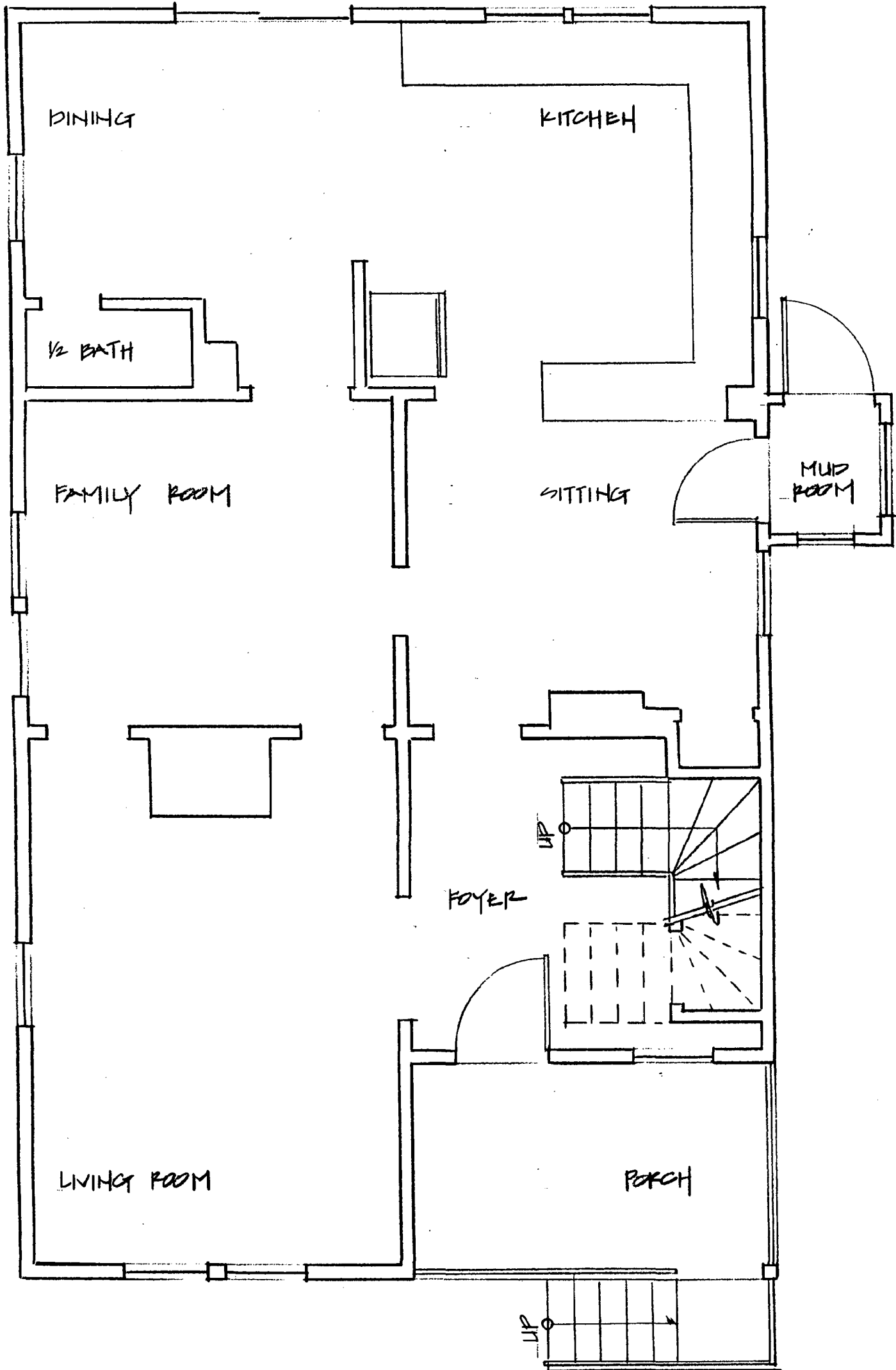
BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
 CASA BUILDERS 4/27/99



2 EXISTING SECOND FLOOR PLAN

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912  
 CASA BUILDERS 4/27/99



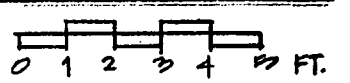


1

EXISTING FIRST FLOOR PLAN

BATHWELL REMODEL 7221 CEDAR AVE TAKOMA PARK, MD 20912

CASA BUILDERS 4/27/99



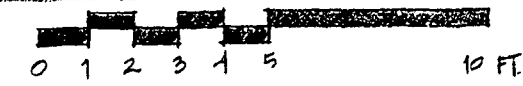


2

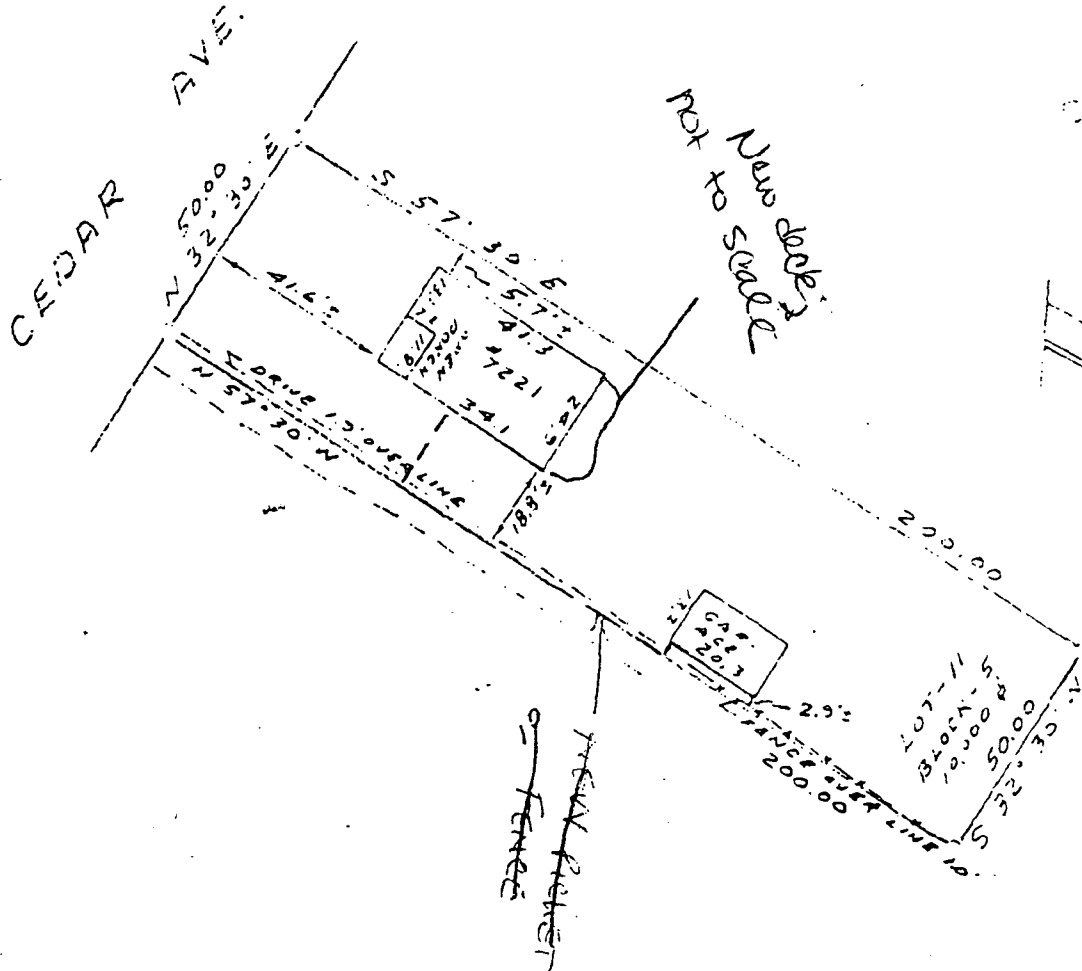
CEDAR AVENUE ELEVATION

BANHELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 4/20/99







**HOUSE LOCATION**

LOT - 11      BLOCK - 5

B. F. GILBERT'S ADDITION TO

**TAKOMA PARK**

**MONTGOMERY COUNTY, MARYLAND**

RECORDED IN PLAT BOOK A    PLAT - 3    SCALE 1" = 40'

NOTE: This drawing is not intended to establish property lines nor are the existence of corner markers guaranteed. All information shown herein taken from the land records of the county in which the property is located.

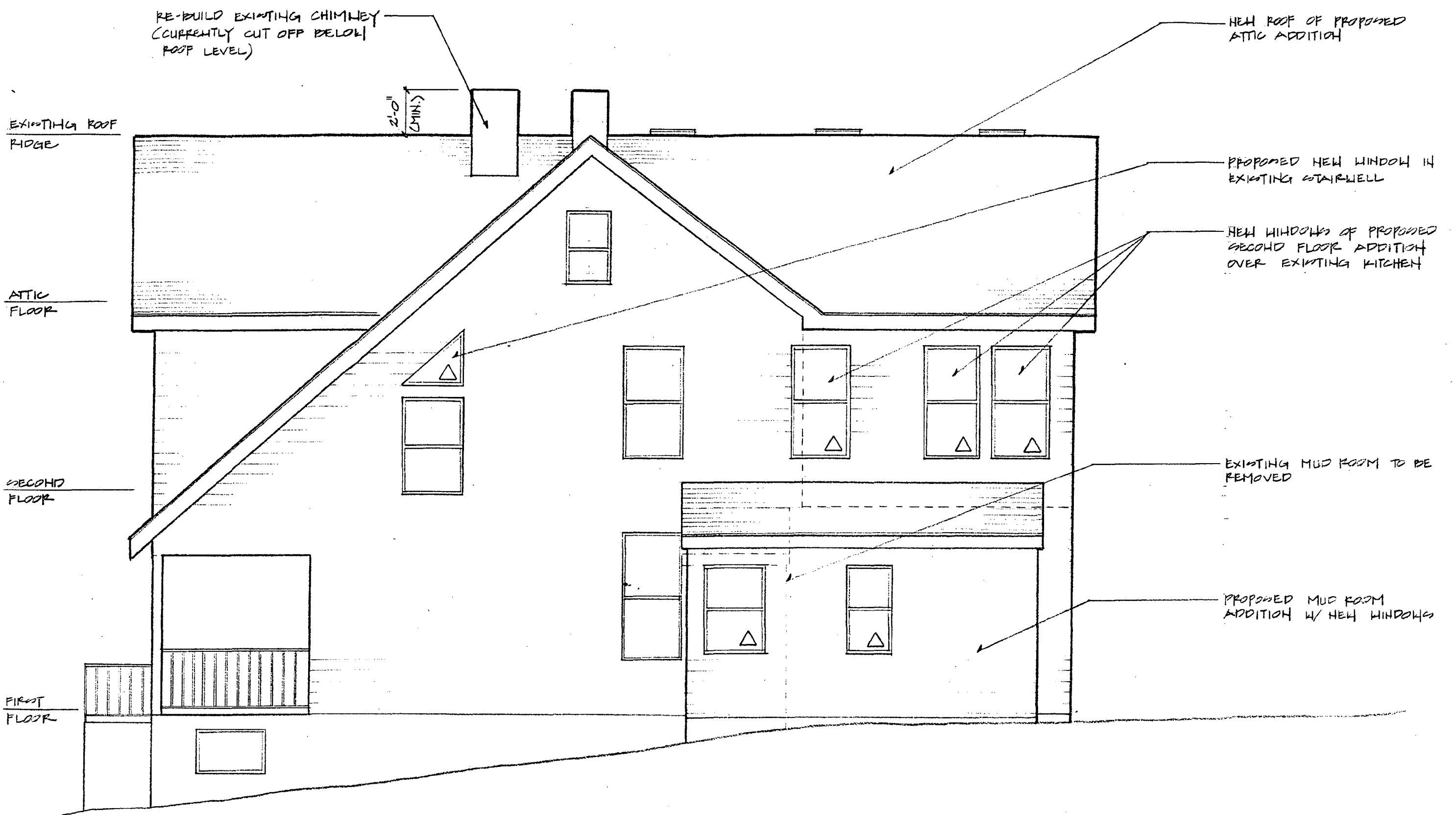
I hereby certify that the position of all the existing improvements on the above described property has been established by a transit tape measurement and that unless otherwise shown there are no encroachments.

BY Elwood L. Renn

ELWOOD L. RENN  
Registered Land Surveyor  
Maryland No. 3382

Date: MAR. 16, 1970

Dear Robin -  
We are doing to hope  
that this version  
responds effectively  
to your concerns while  
also achieving our goals.  
Please let me know what  
you think at your earliest  
convenience. Many thanks  
Suzanna Barwell



RE-BUILD EXISTING CHIMNEY  
(CURRENTLY CUT OFF BELOW  
ROOF LEVEL)

NEW ROOF OF PROPOSED  
ATTIC ADDITION

EXISTING ROOF  
RIDGE

2'-0"  
(MIN)

PROPOSED NEW WINDOW IN  
EXISTING STAIRWELL

ATTIC  
FLOOR

NEW WINDOWS OF PROPOSED  
SECOND FLOOR ADDITION  
OVER EXISTING KITCHEN

SECOND  
FLOOR

EXISTING MUD ROOM TO BE  
REMOVED

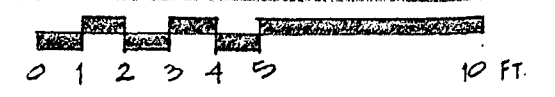
FIRST  
FLOOR

PROPOSED MUD ROOM  
ADDITION W/ NEW WINDOWS

SOUTH SIDE ELEVATION

BAHLELL FEMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 9/19/99



RE-BUILD EXISTING CHIMNEY  
(CURRENTLY CUT OFF BELOW  
ROOF LEVEL)

NEW ROOF OF PROPOSED  
ATTIC ADDITION

EXISTING ROOF  
RIDGE

2'-0"  
(MIN)

PROPOSED NEW WINDOW IN  
EXISTING STAIRWELL

ATTIC  
FLOOR

NEW WINDOWS OF PROPOSED  
SECOND FLOOR ADDITION  
OVER EXISTING KITCHEN

SECOND  
FLOOR

EXISTING MUD ROOM TO BE  
REMOVED

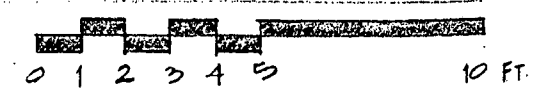
FIRST  
FLOOR

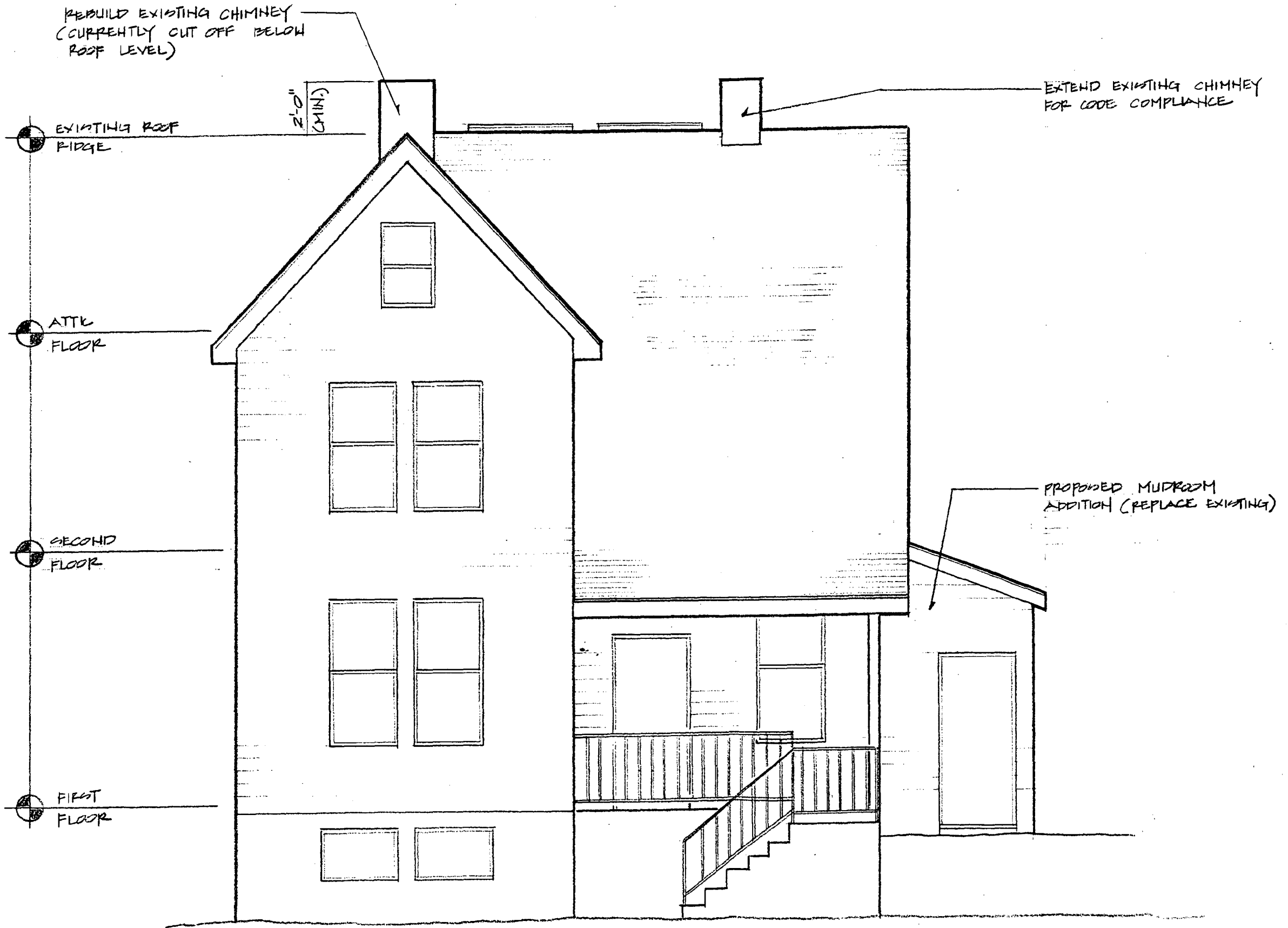
PROPOSED MUD ROOM  
ADDITION W/ NEW WINDOWS

# SOUTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 9/19/99

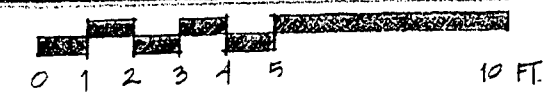


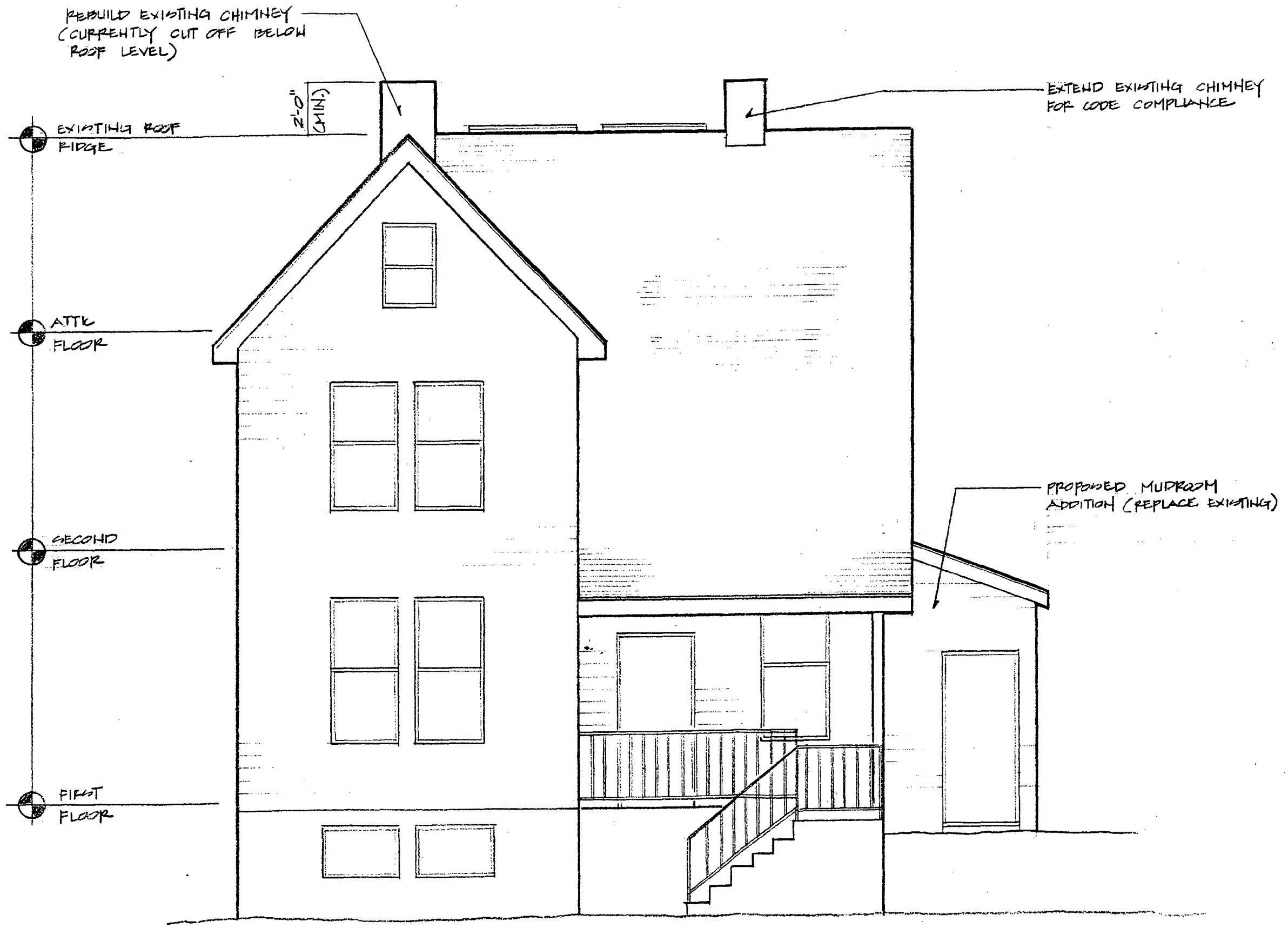


2 CEDAR AVENUE ELEVATION

BANKHELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 5/19/99

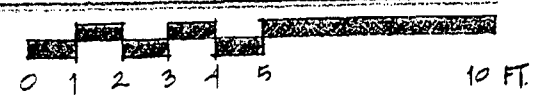


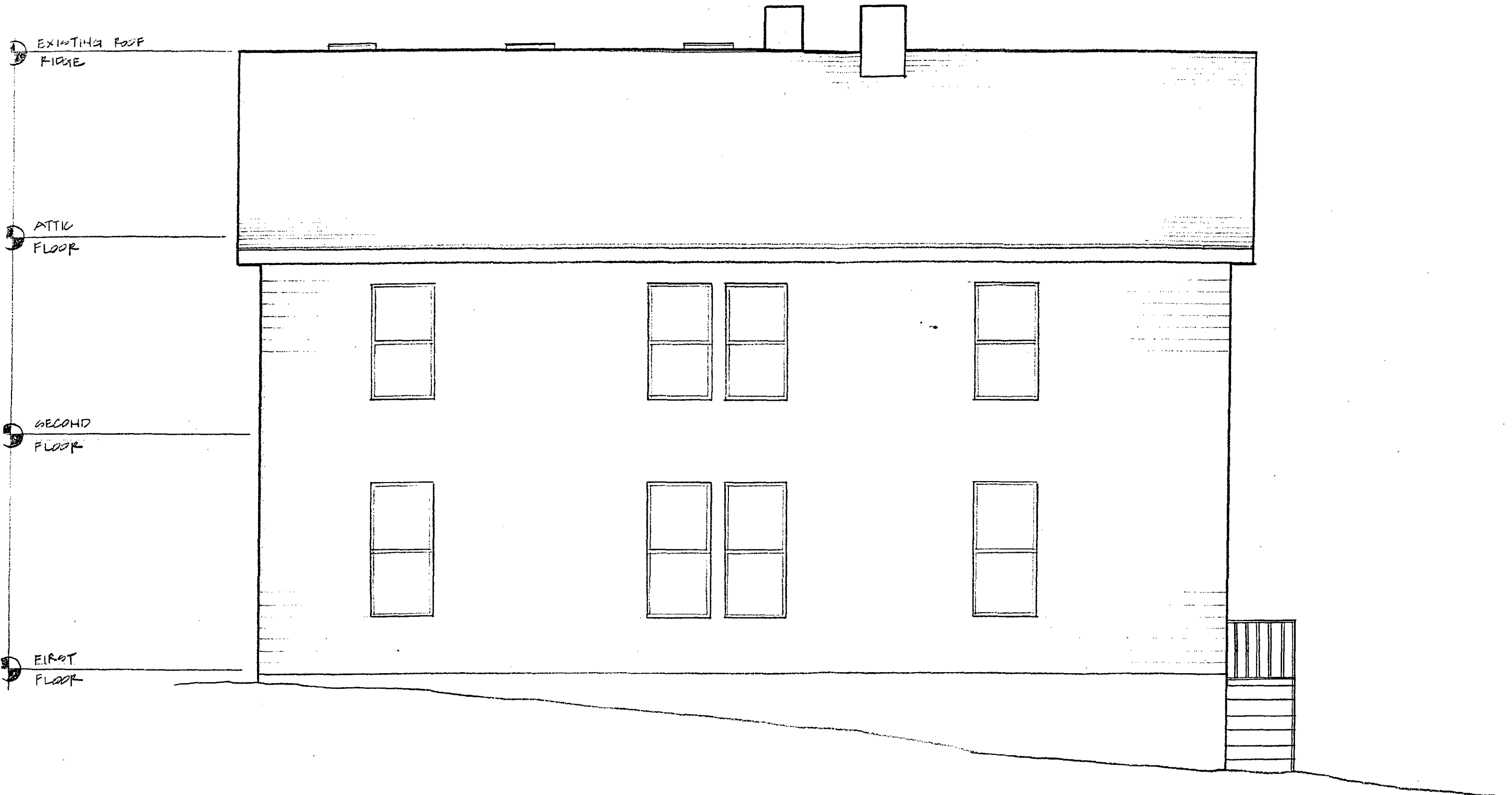


2 CEDAR AVENUE ELEVATION

BANKWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 9/19/99

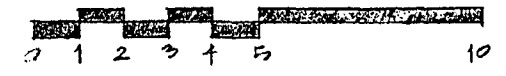




3 NORTH SIDE ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 5/19/99

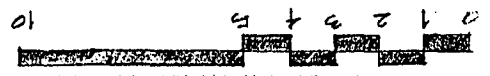


3

NORTH SIDE ELEVATION

BAHWELL FEMPEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

DATE: BUILDERS 9/19/99

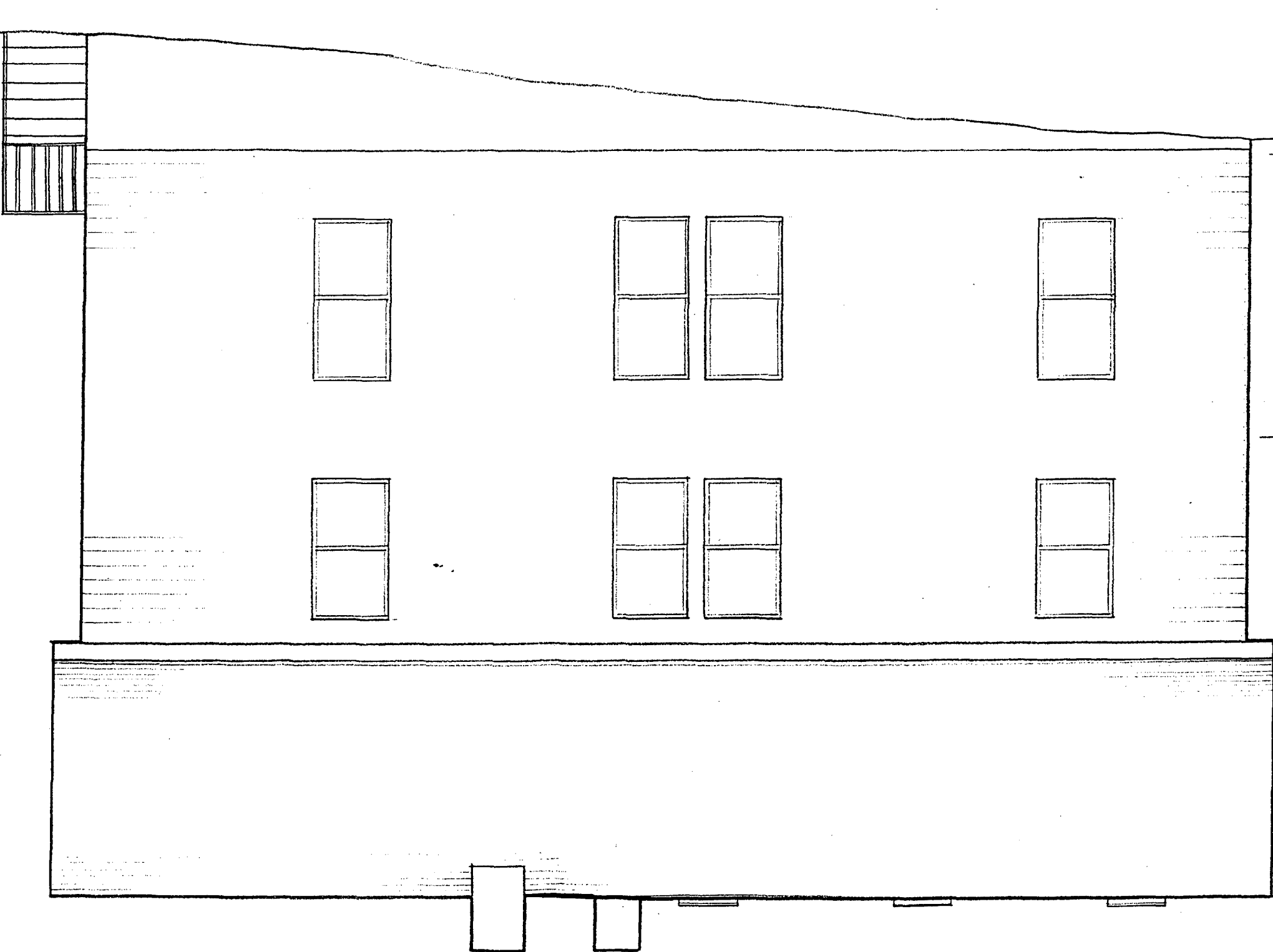


FIRST FLOOR

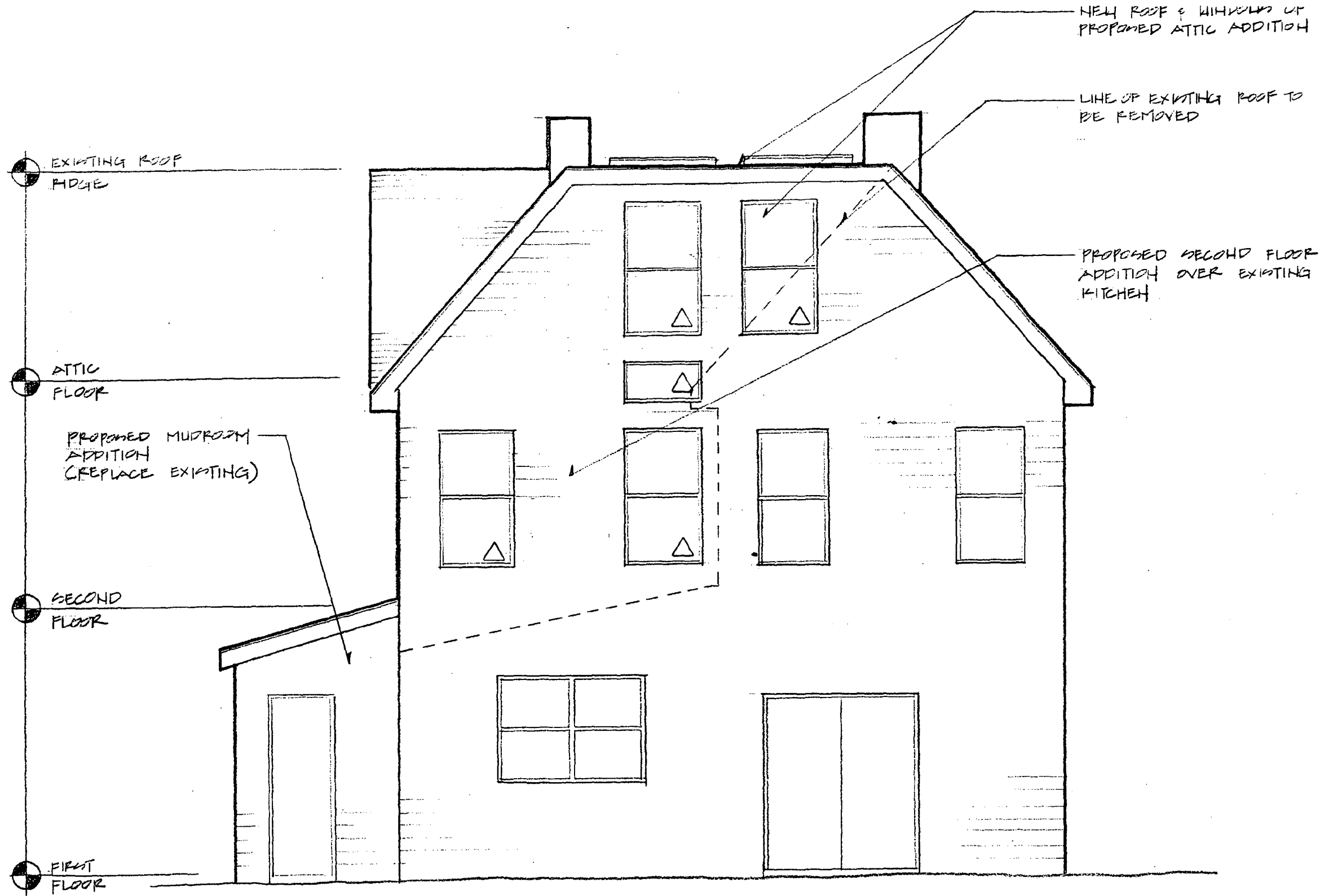
SECOND FLOOR

ATTIC FLOOR

EXISTING ROOF FLOOR



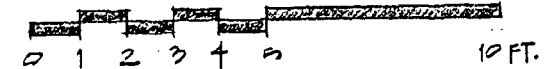


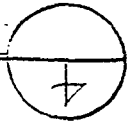


4 REAR ELEVATION

BATHWELL REMODEL 7221 CEDAR AVE. TAKOMA PARK, MD 20912

CASA BUILDERS 5/19/99



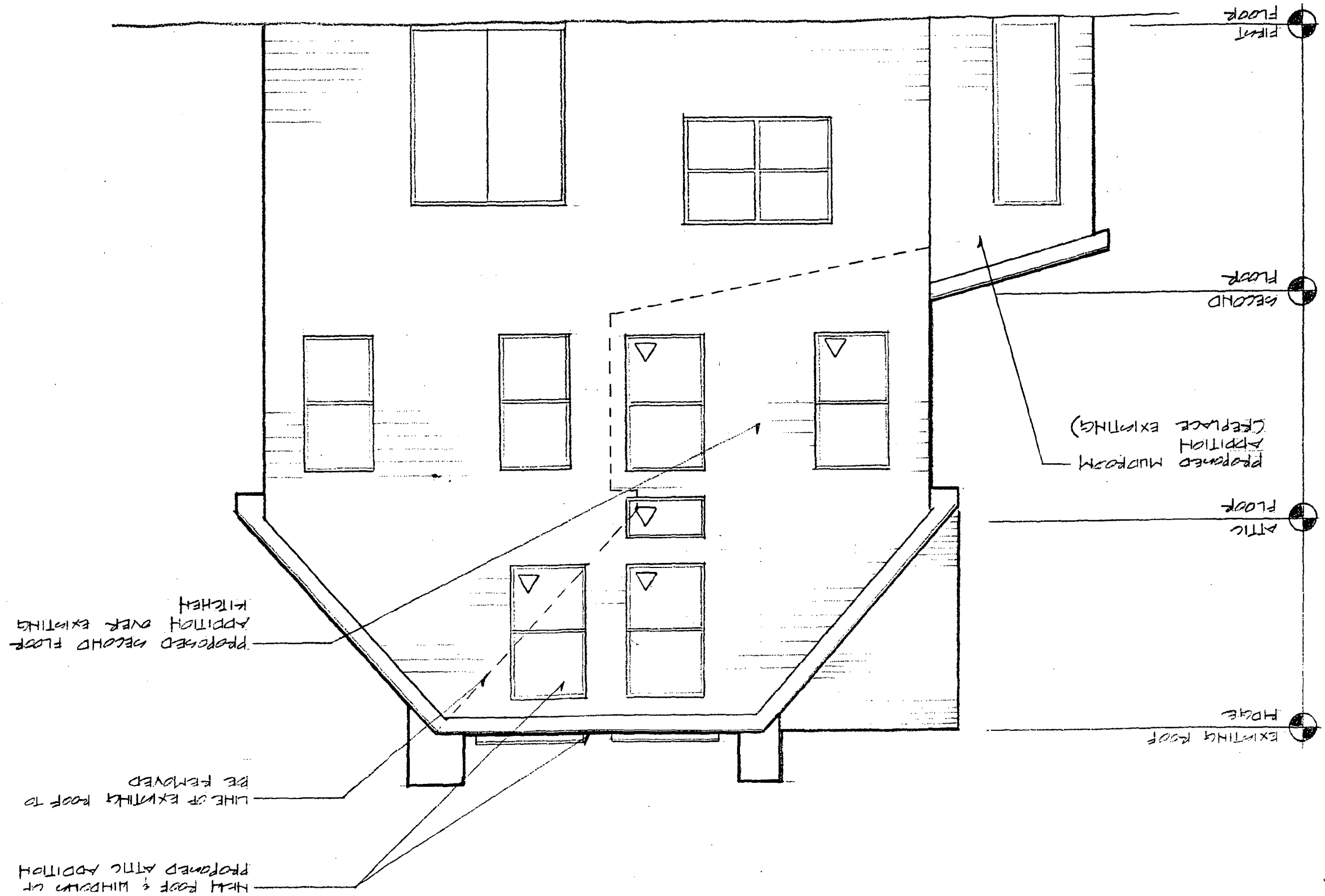


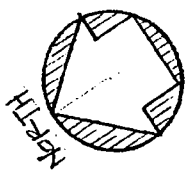
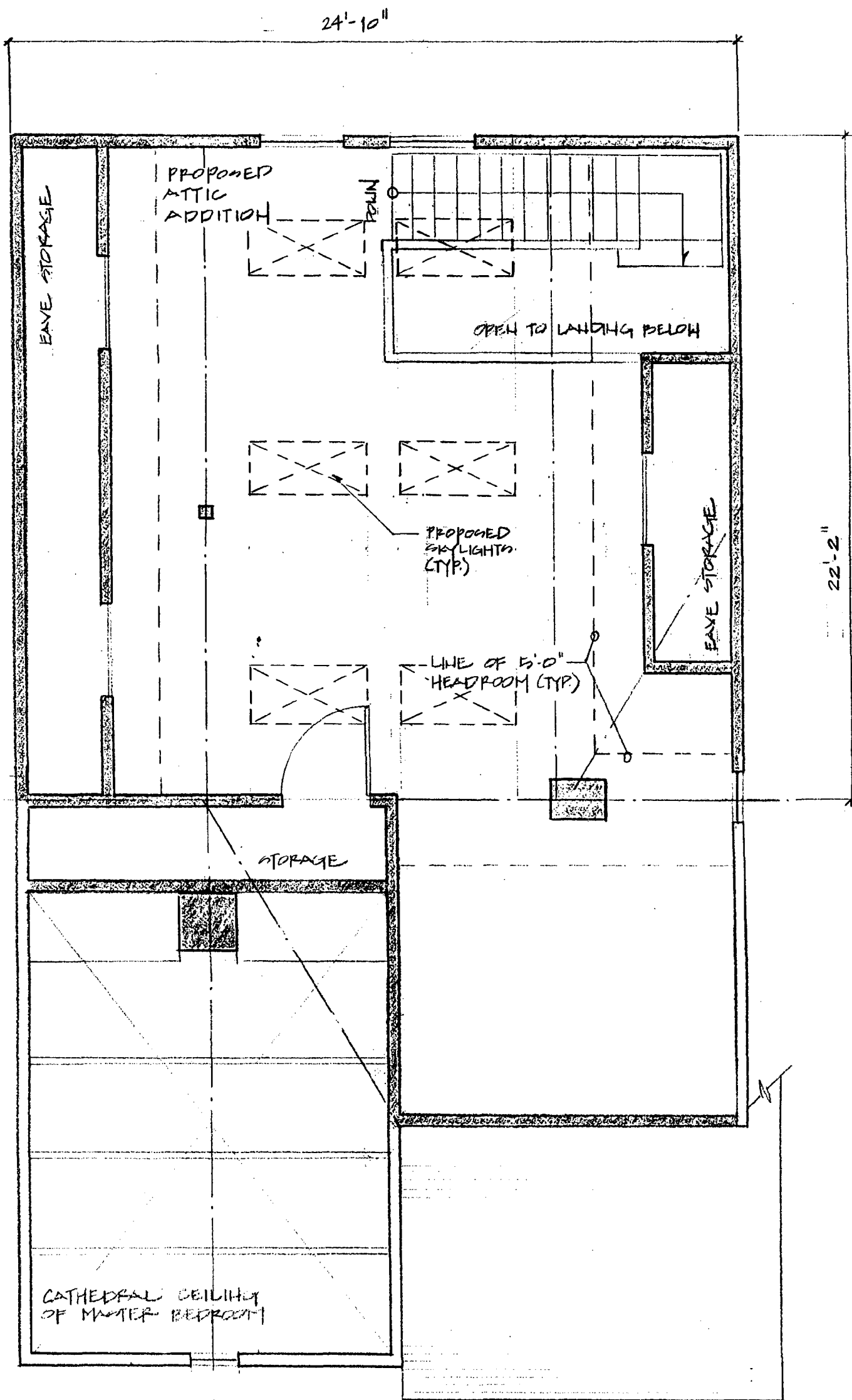
REAR ELEVATION

PHILIP REMODEL 7221 CEDAR AVE TAKOMA PARK, MD 20912

CASH BUILDERS 5/19/99

0 1 2 3 + 4  
10 FT.



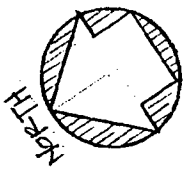
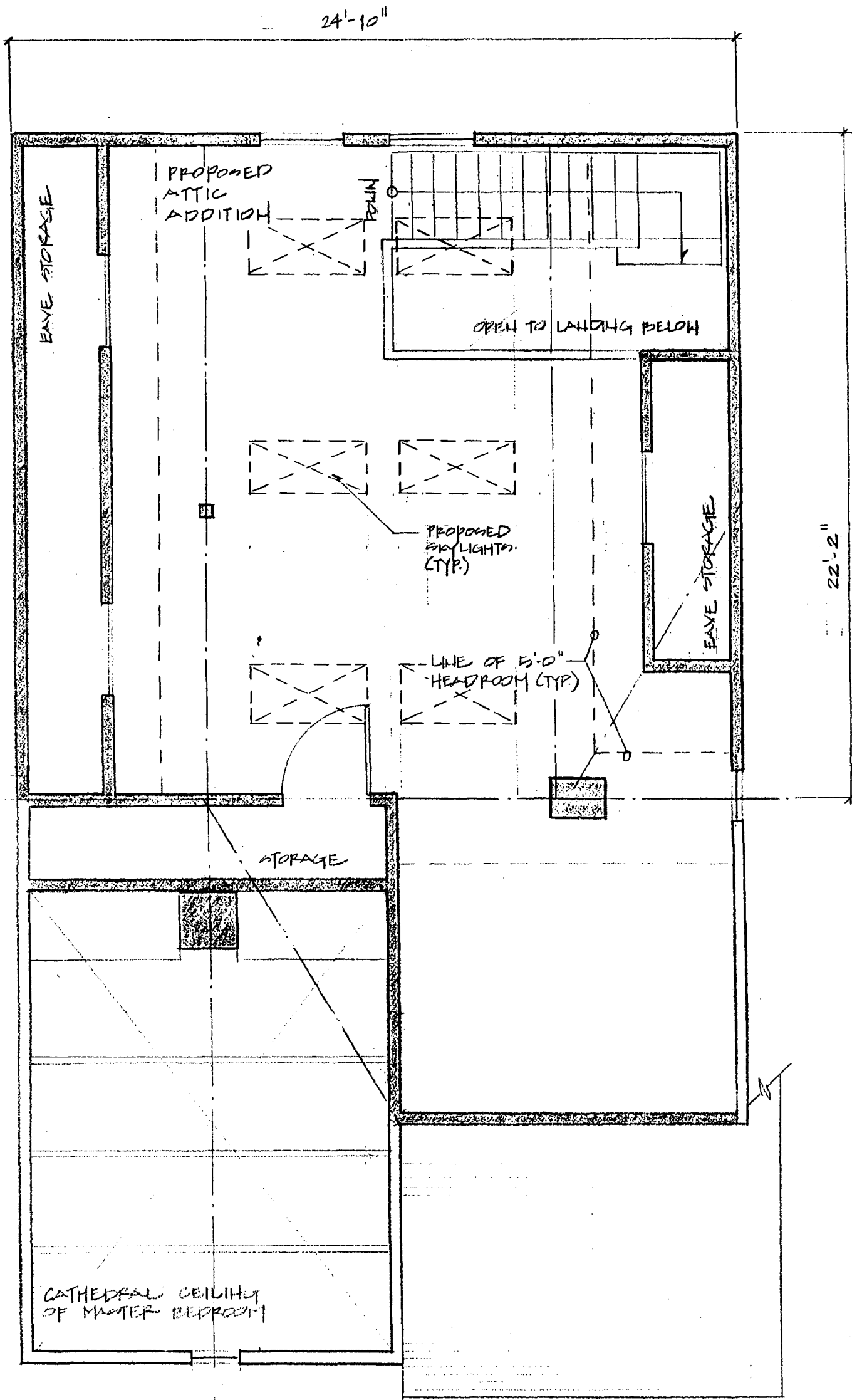


3 ATTIC FLOOR PLAN

PAWELL REMODEL 7221 CEDAR AVE TAKOMA PARK, MD 20912  
 CASA BUILDERS 5/19/99

0 1 2 3 4 5

10 FT.



3 ATTIC FLOOR PLAN

CANWELL REMODEL 7221 CEDAR AVE TAKOMA PARK, MD 20912  
 CASA BUILDERS 5/19/99

0 1 2 3 4 5

10 FT.













