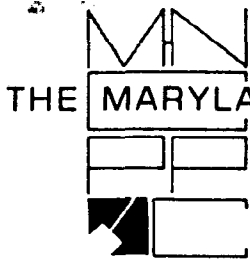


37/3-97WW 7025 Eastern Avenue
(Takoma Park Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 10/23/97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: ^{POC} Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Peter Feiden & Mary Joell Holin

Address: 7025 Eastern Avenue, Takoma Park, MD 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: PETER FEIDEN
Daytime Phone No.: 202-962-3561

Tax Account No.: _____
Name of Property Owner: Peter Feiden & Mary Joell Holman Daytime Phone No.: 202-962-3561
Address: 7025 Eastern Ave. Takoma Park, Md 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7025 EASTERN AVE. Street: EASTERN AVE.
Town/City: TAKOMA PARK Nearest Cross Street: HOLLY AVE.
Lot: 4 Block: 007 Subdivision: BRADLEY HILLS
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 34,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

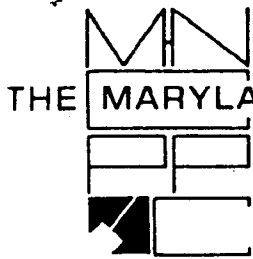
3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter Feiden Signature of owner or authorized agent
10/5/97 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 10/23/97
Application/Permit No.: 9710060061 Date Filed: 10/06/97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 10/23/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: ^{WPM} Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

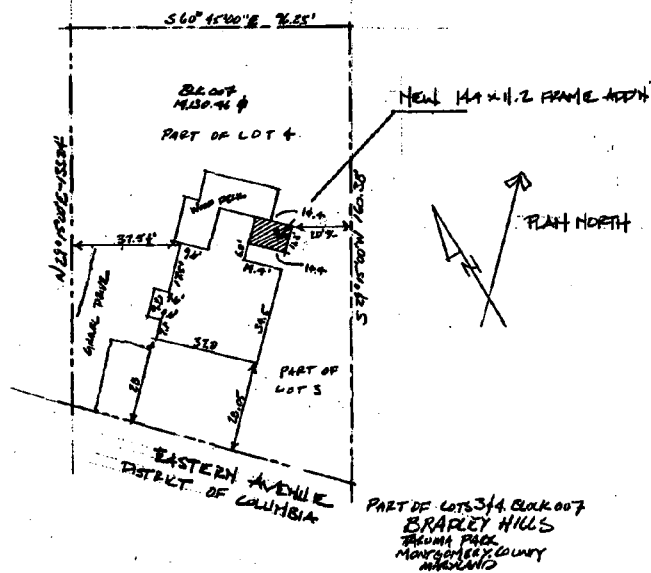
You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

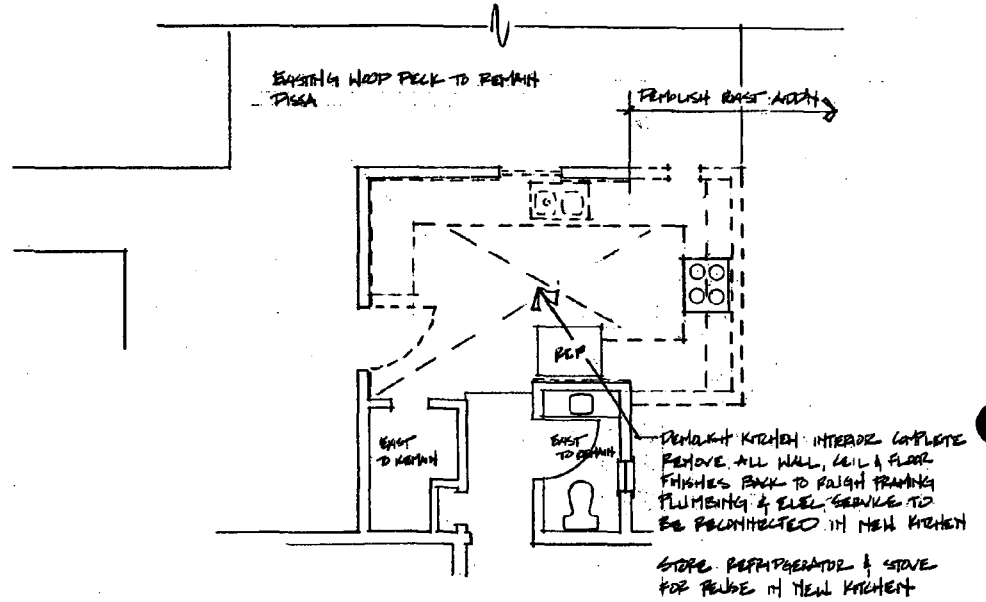
If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



SITE PLAN
1" = 20'



DEMOLITION PLAN
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 3/28/10/13/97

Jeffrey C. Luker - Architect

7307 Takoma Avenue, Takoma Park Maryland 20912
(301) 565 - 3958

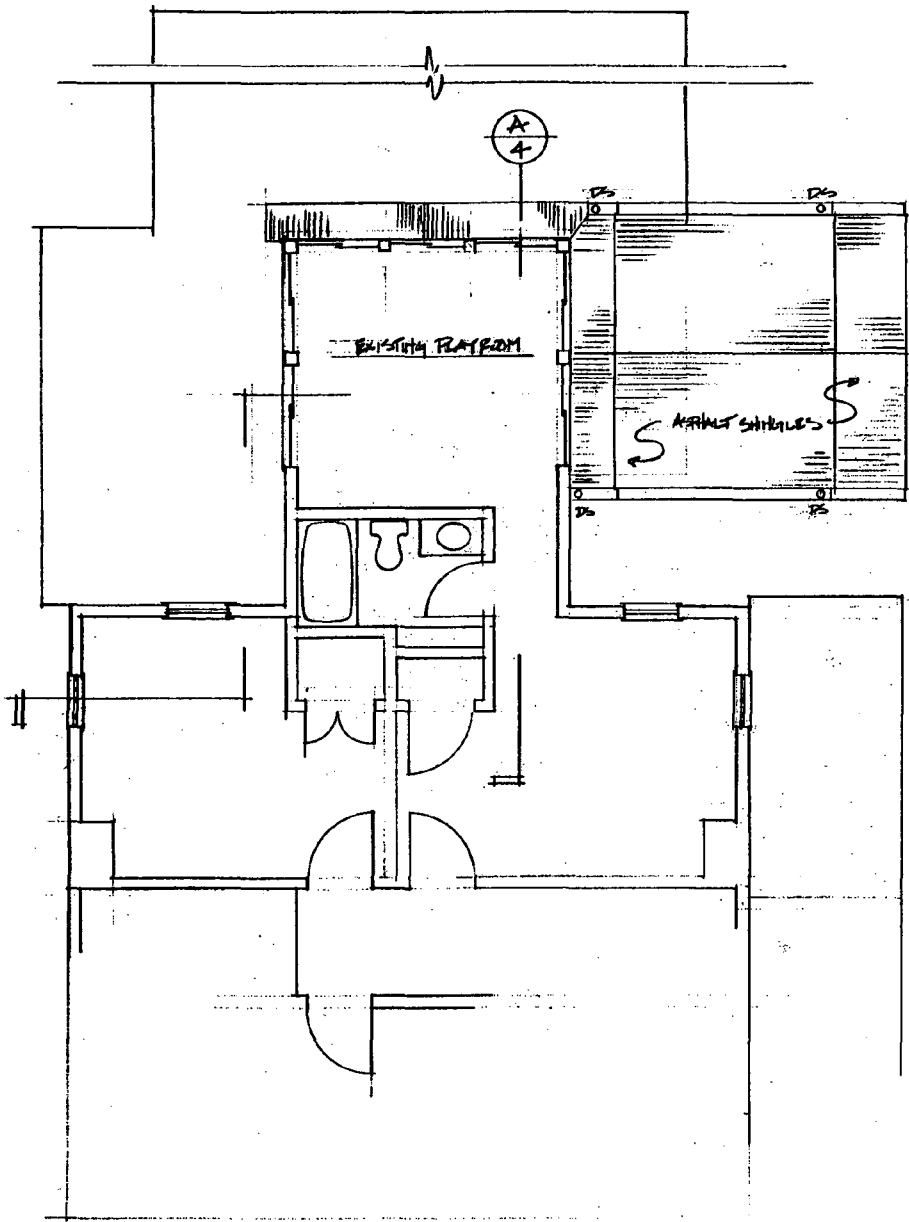
FEIDEN - HOLIN RESIDENCE

Takoma Park, Maryland

PLANS
SCHEMATIC

2/1/97

1 OF 6



EXISTING FLOOR PLAN
1/4" = 1'-0"

FIXTURE SCHEDULE

SYMBOL	DESCRIPTION
⊏	CABLE TV JACK
▶	TELEPHONE JACK
⊞	SWITCH, DIMMER CONTROL
⊙	COMBINATION CEILING FAN & LIGHT FIXTURE
⊙	SURFACE MOUNT CAN PAINTLIGHT
⊖	TRACK LIGHTING
⊕	OUTLET

FINISH NOTES

LOCATION	FINISH
FAMILY ROOM FLOOR WALLS TRIM WOPS/DOORS CEIL	2" WIDE T&G OAK FLOORING, STAINED 1/2" DRYWALL, PAINTED WOOD, PAINTED - MATCH EXIST IN DINING PRE-FINISHED, WHITE 1/2" DRYWALL, PAINTED
KITCHEN FLOOR WALLS TRIM COLLAR BEAMS WOPS CEIL	2" WIDE T&G OAK FLOORING, STAINED 1/2" DRYWALL, PAINTED WOOD, PAINTED - PROFILES TO MATCH EXIST IN DINING 1/2" DRYWALL, PAINTED PRE-FINISHED - WHITE 1/2" DRYWALL, PAINTED

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 10/23/97

Jeffrey C. Luker - Architect

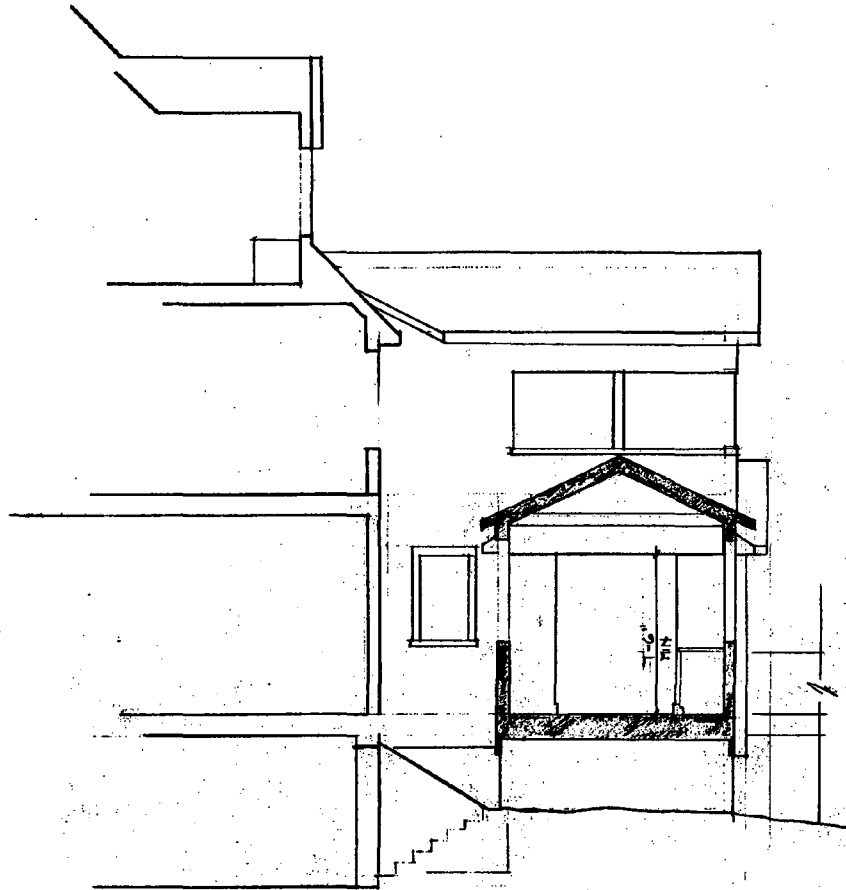
7307 Takoma Avenue, Takoma Park Maryland 20912
(301) 565 - 3958

FEIDEN - HOLIN RESIDENCE
Takoma Park, Maryland

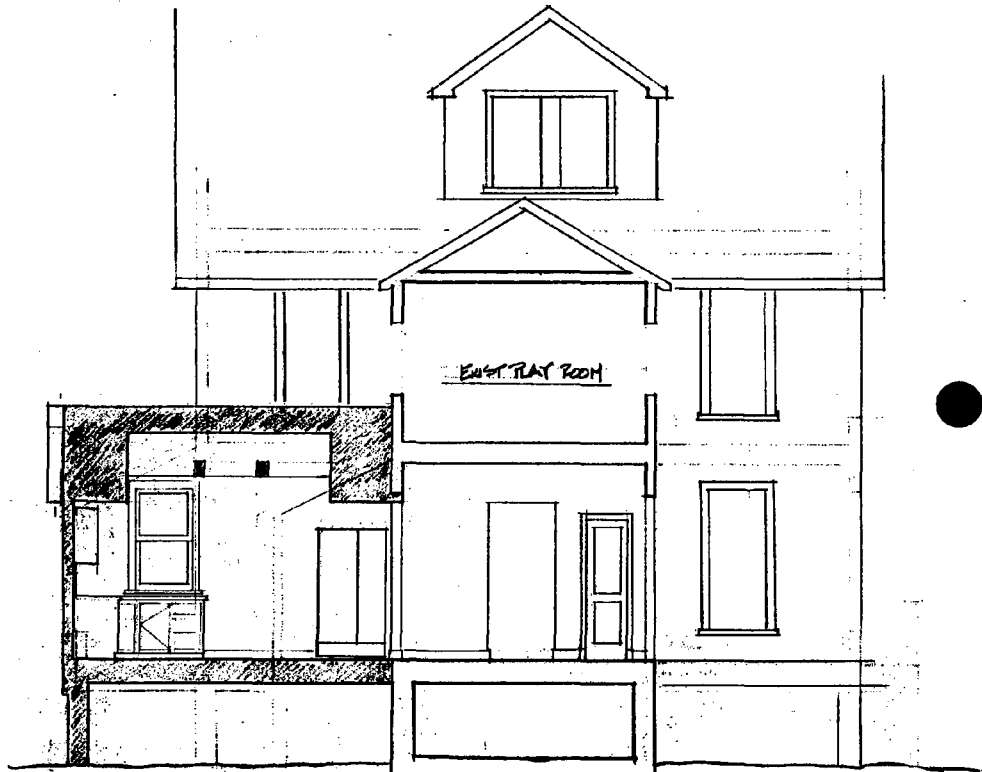
PLANS
EXISTING
SCHEMATIC

5/31/97
7/1/97

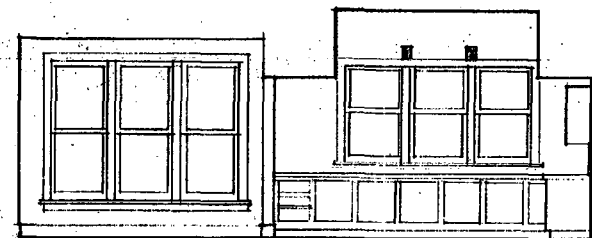
3 OF 6



A WEST - EAST SECTION
1/4" = 1'-0"



B SOUTH - NORTH SECTION
1/4" = 1'-0"



C WEST ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 10/25/97

Jeffrey C. Luker - Architect

7307 Takoma Avenue, Takoma Park Maryland 20912
(301) 565 - 3958

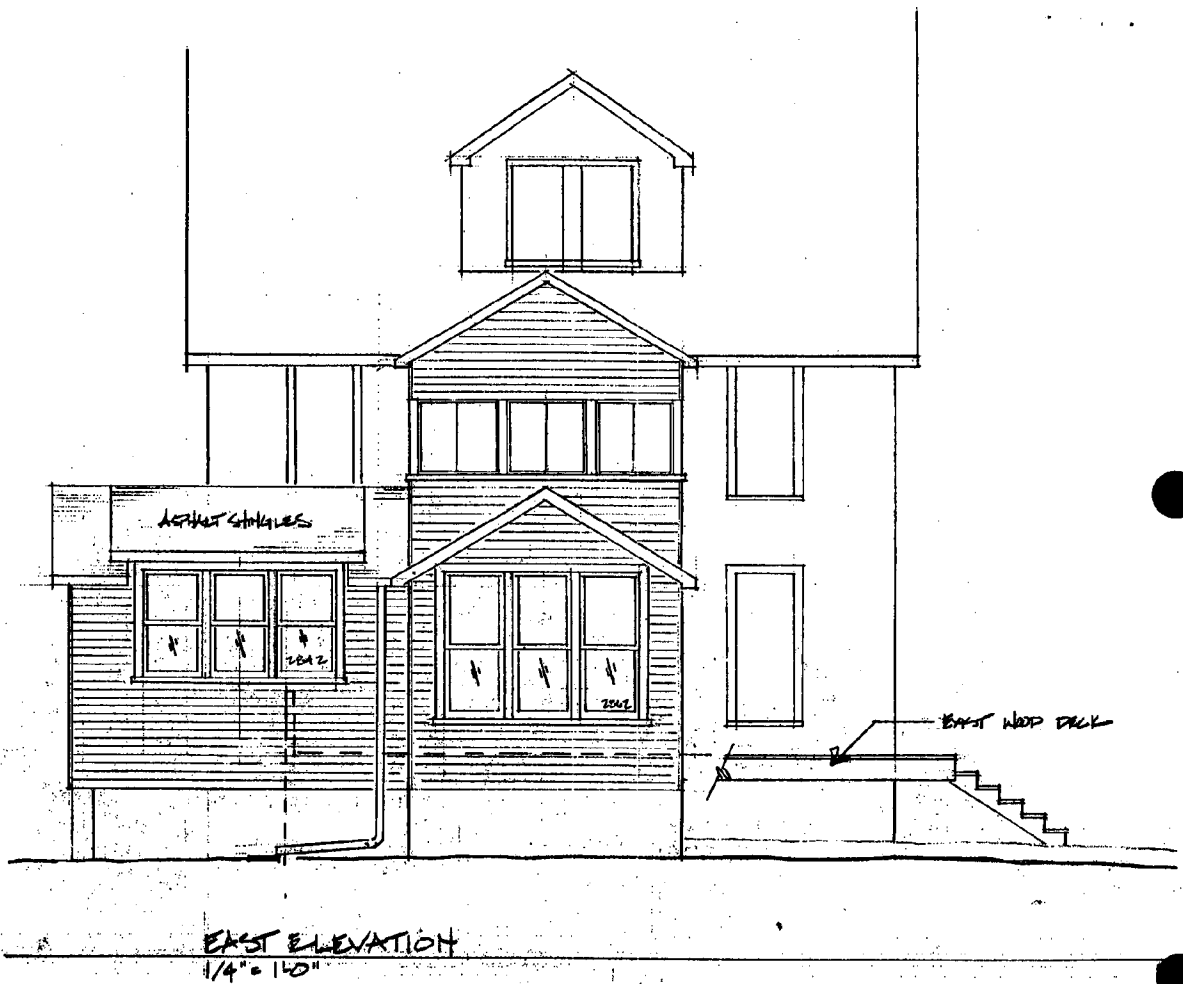
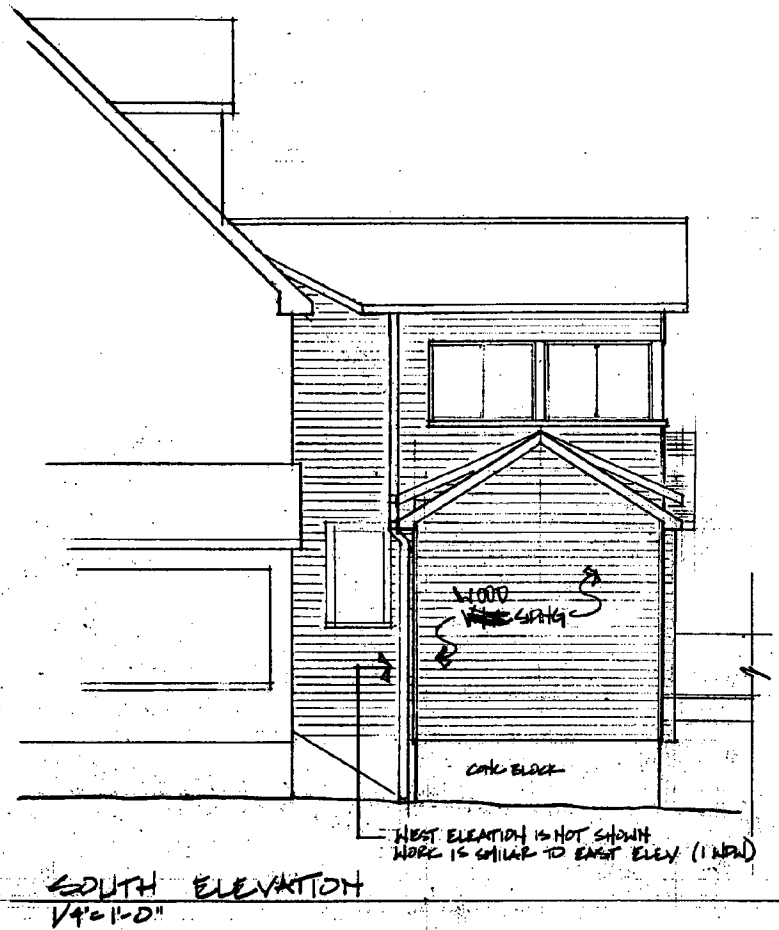
FEIDEN - HOLIN RESIDENCE

Takoma Park, Maryland

SECTIONS
EXISTING
SCHEMATIC

5/31/97
3/1/97

4 OF 6



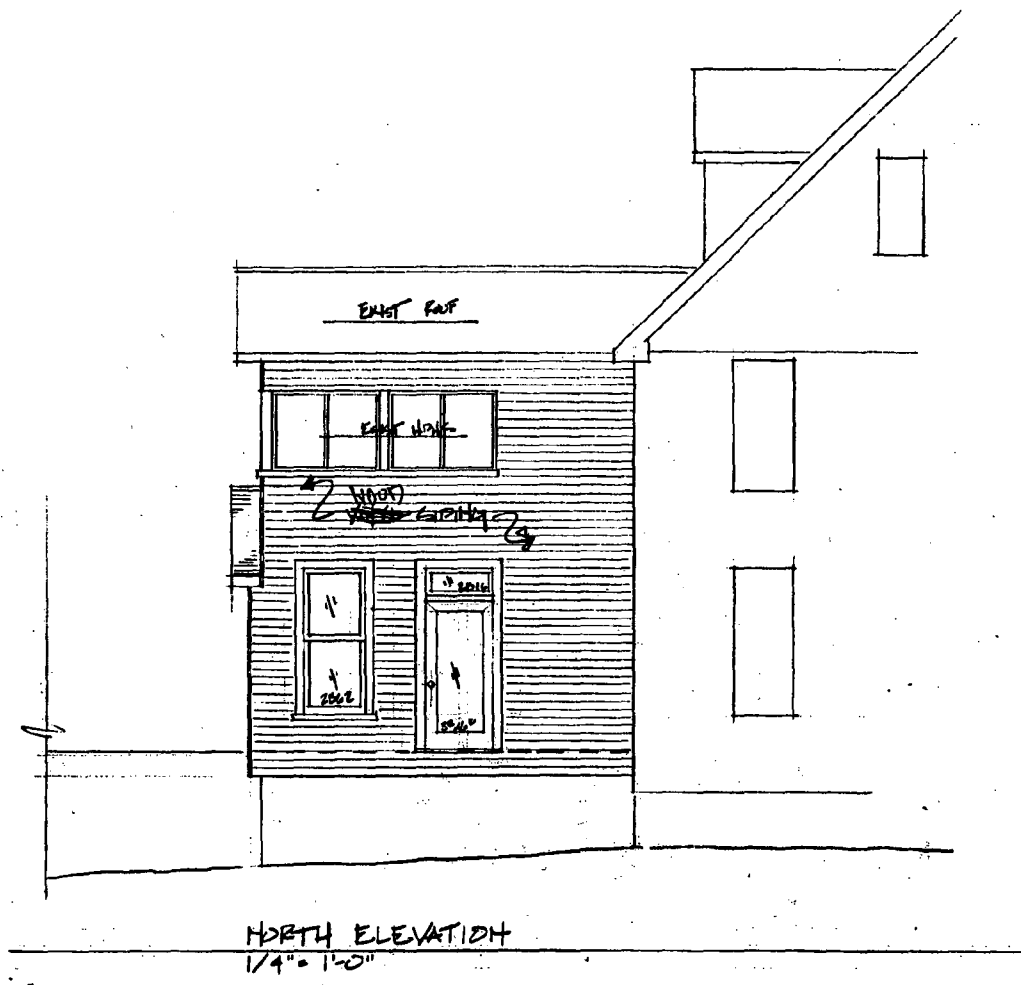
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 10/23/97

Jeffrey C. Luker - Architect
 7307 Takoma Avenue, Takoma Park Maryland 20912
 (301) 565 - 3958

FEIDEN - HOLIN RESIDENCE
 Takoma Park, Maryland

ELEVATIONS	
EXISTING	5/21/97
SCHEMATIC	7/1/97

5 OF **6**



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 10/23/97

Jeffrey C. Luker - Architect
 7307 Takoma Avenue, Takoma Park Maryland 20912
 (301) 565 - 3958

FEIDEN - HOLIN RESIDENCE
 Takoma Park, Maryland

ELEVATIONS	
EXISTING	5/31/97
SCHEMATIC	7/17/97

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7025 Eastern Avenue

Meeting Date: 10/22/97

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-97WW

Tax Credit: No

Public Notice: 10/8/97

Report Date: 10/15/97

Applicant: Peter Feiden & Mary Joel Holin

Staff: Robin D. Ziek

PROPOSAL: Demolition of existing rear addition
Construction of new rear addition

RECOMMENDATIONS:
APPROVAL

PROJECT DESCRIPTION

RESOURCE: Contributing Resource in Takoma Park Historic District

STYLE: Queen Anne

DATE: c1885 - 1895

The subject property has been moderately altered through the years, although the basic massing is intact, with the corner tower and wrap-around porch. There is an existing modern two-story addition at the rear, which provided space for a new kitchen and powder room on the first floor, with a playroom on the second floor. A shed addition was built to expand this kitchen area, and this is proposed to be removed.

PROJECT PROPOSAL

The proposed new construction would be located at the rear of the structure, within the basic massing of the house. The new one-story addition would provide a new kitchen area, and the old kitchen would then be renovated for a breakfast room. All of the proposed materials will match existing materials. The new siding is proposed as wood siding, to match existing. The new exterior door will be a wood door, with a wood storm door. The proposed new windows will be 1/1 vinyl-clad wood windows, with wood trim.

STAFF COMMENTS

The proposed project is wholly at the rear of the property, and not readily visible from the public right-of-way. The proposed demolition of a new shed addition has no effect on the original structure. Similarly, the replacement of this shed addition with another small new addition will have no effect on the original structure. The proposed use of the vinyl-clad wood windows would not be recommended on the original structure, nor would it be recommended if the addition were readily visible from the street. In this project, however, as the new construction is quite distinct from the original structure, staff feels that the proposed windows will have little effect on the historic district overall.

(1)

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PETER FEIDEN
Daytime Phone No.: 202-962-3561

Tax Account No.: _____
Name of Property Owner: Peter Feiden & Mary Jo Holm Daytime Phone No.: 202-962-3561
Address: 7025 Eastern Ave Takoma Park, Md 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE
House Number: 7025 EASTERN AVE. Street: EASTERN AVE.
Town/City: TAKOMA PARK Nearest Cross Street: HOLLY AVE.
Lot: 4 Block: 007 Subdivision: BRADLEY HILLS
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 34,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter Feiden Signature of owner or authorized agent
10/5/97 Date 3

Approved: _____ For Chairperson, Historic Preservation Commission

WENDY RODGERS
SABRINA EATON
7019 EASTERN AVE.
TAKOMA PARK, MD.
20912

EVELYN CLARKE
7027 EASTERN AVE.
TAKOMA PARK, MD.
20912

RUSS PITTMAN
7105 HOLLY AVE.
TAKOMA PARK, MD.
20912

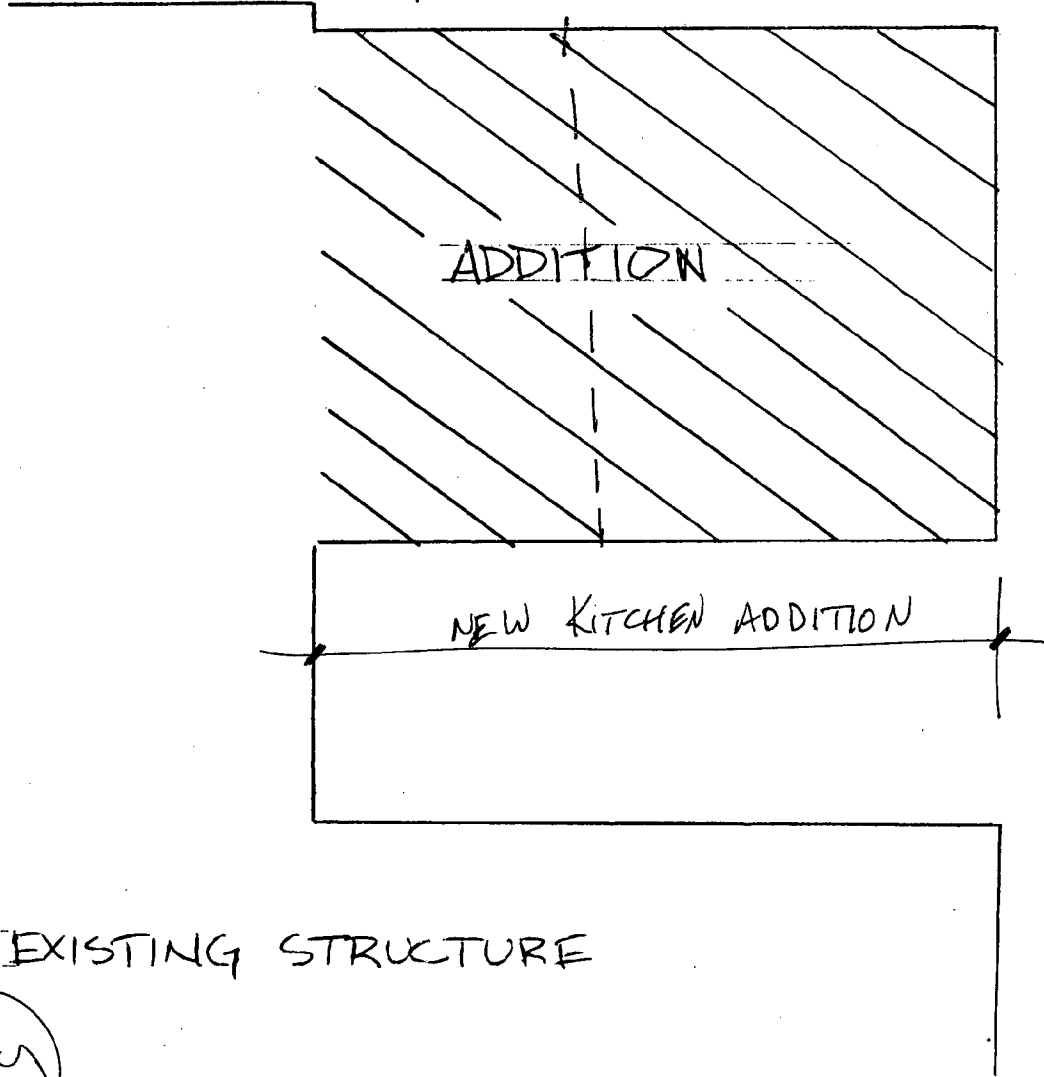
TONY FITCH
7112 CEDAR AVE.
TAKOMA PARK, MD.
20912

(METRO PARKING LOT AND PARK ARE
ACROSS EASTERN AVE.)

TREE SURVEY

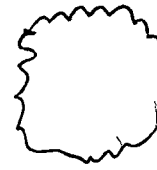
7025 EASTERN AVE.
TAKOMA PARK, MD.

PROPOSED
SHED
TO BE
REMOVED



EXISTING STRUCTURE

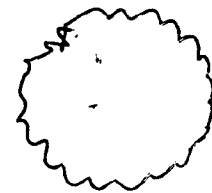
RED OAK
2' DIA.



PROPERTY
LINE

NOTE: ALL TREES
TO REMAIN UNDISTURBED

RED OAK
2'-6" DIA.



9

Project Description

7025 Eastern Ave., Takoma Park, Md. 20912

Home of Peter Feiden and Mary Joel Holin

October 5, 1997

This project consists of renovation and addition to the rear of the property. The existing kitchen, measuring approximately 14 X 12 will be renovated and converted into a breakfast room. Additional windows will be added and the rear door will be move by approximately one foot. An existing addition of approximately 6 X 11, which appears once to have been a landing, and which does not have a proper foundation (it rests on wooden piers) will be demolished. In its place will be an addition of approximately 15 X 11 containing a new kitchen.

All exterior finishes will be wooden and will match the existing wood facade. Roof pitches will also match the existing. Window dimensions will match existing. The new addition will not be seen from the street. It should be noted that the addition to be demolished is not part of the original structure, is not on a proper foundation, is clad in a combination of aluminum siding and plywood, and has no proper windows. No trees will be removed.

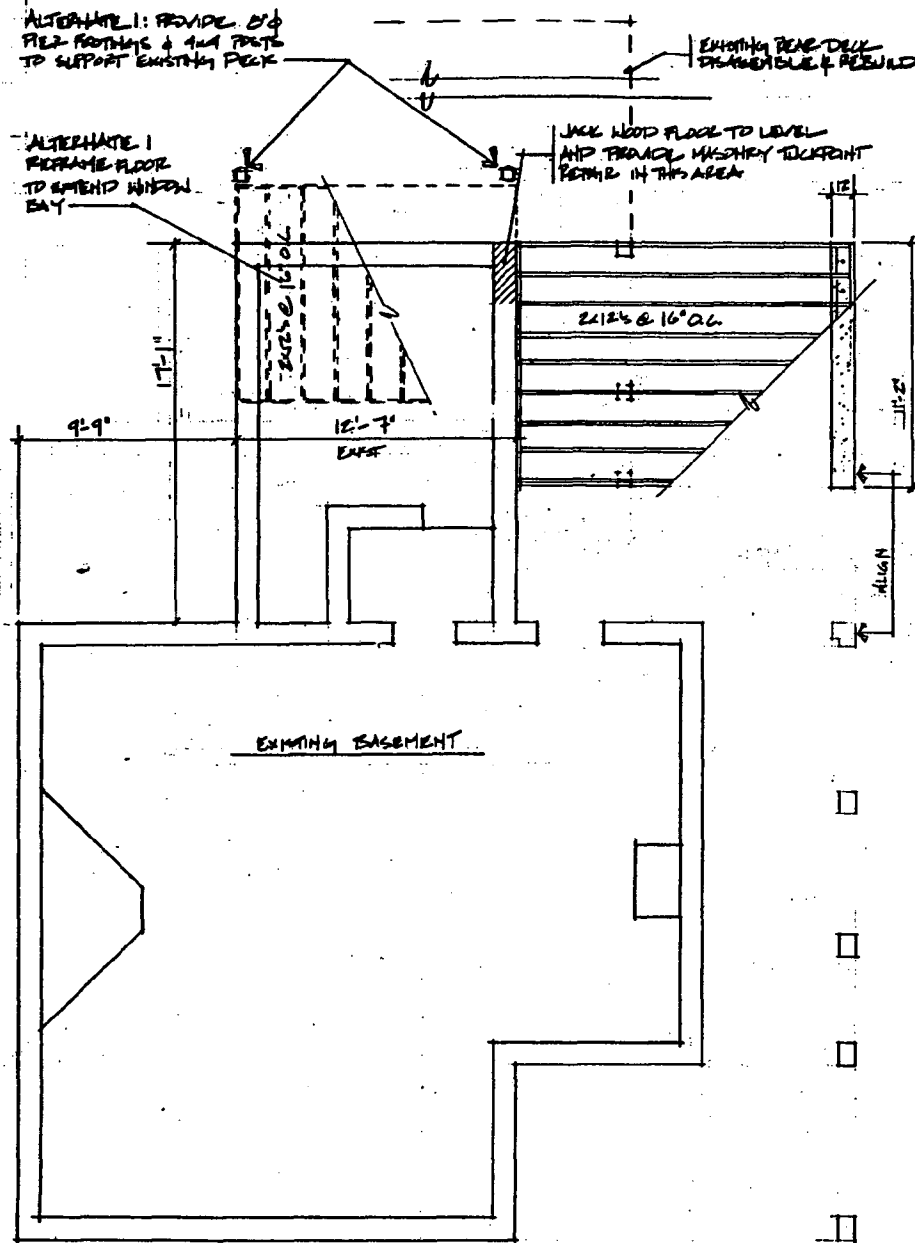
6

ALTERNATE 1: PROVIDE 2x4
 FLEET FOOTINGS & 4x4 POSTS
 TO SUPPORT EXISTING DECK

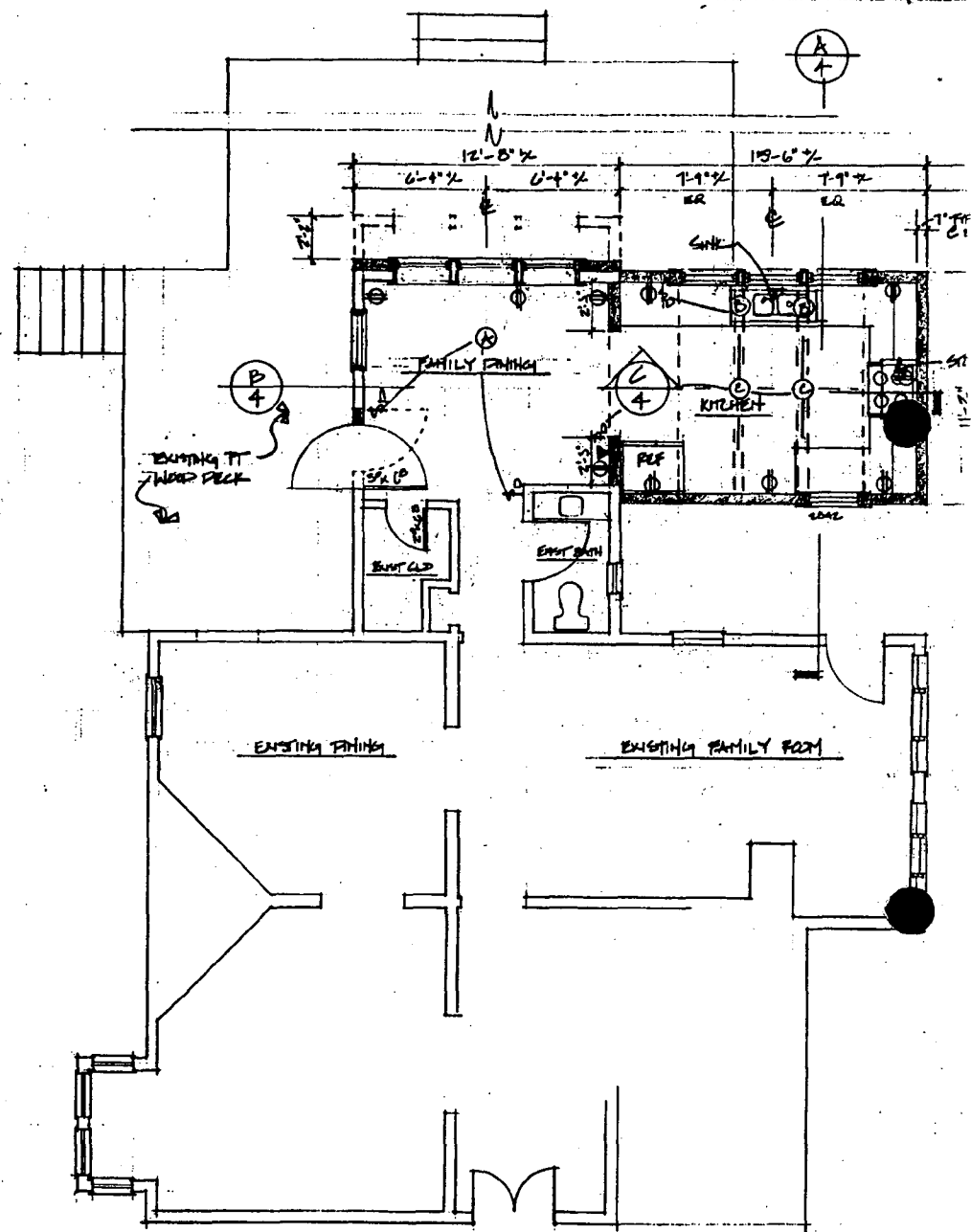
EXISTING DECK
 TO BE DEMOLISHED & REBUILT

ALTERNATE 1
 REFRAME FLOOR
 TO EXTEND WINDOW
 BAY

JACK WOOD FLOOR TO LEVEL
 AND FINISH W/SHINY TEAK
 FINISH IN THIS AREA



108 BASEMENT FLOOR PLAN & 1ST FLOOR FRAMING PROPOSED
 1/4" = 1'-0"



FIRST FLOOR PLAN PROPOSED
 1/4" = 1'-0"

Jeffrey C. Luker - Architect

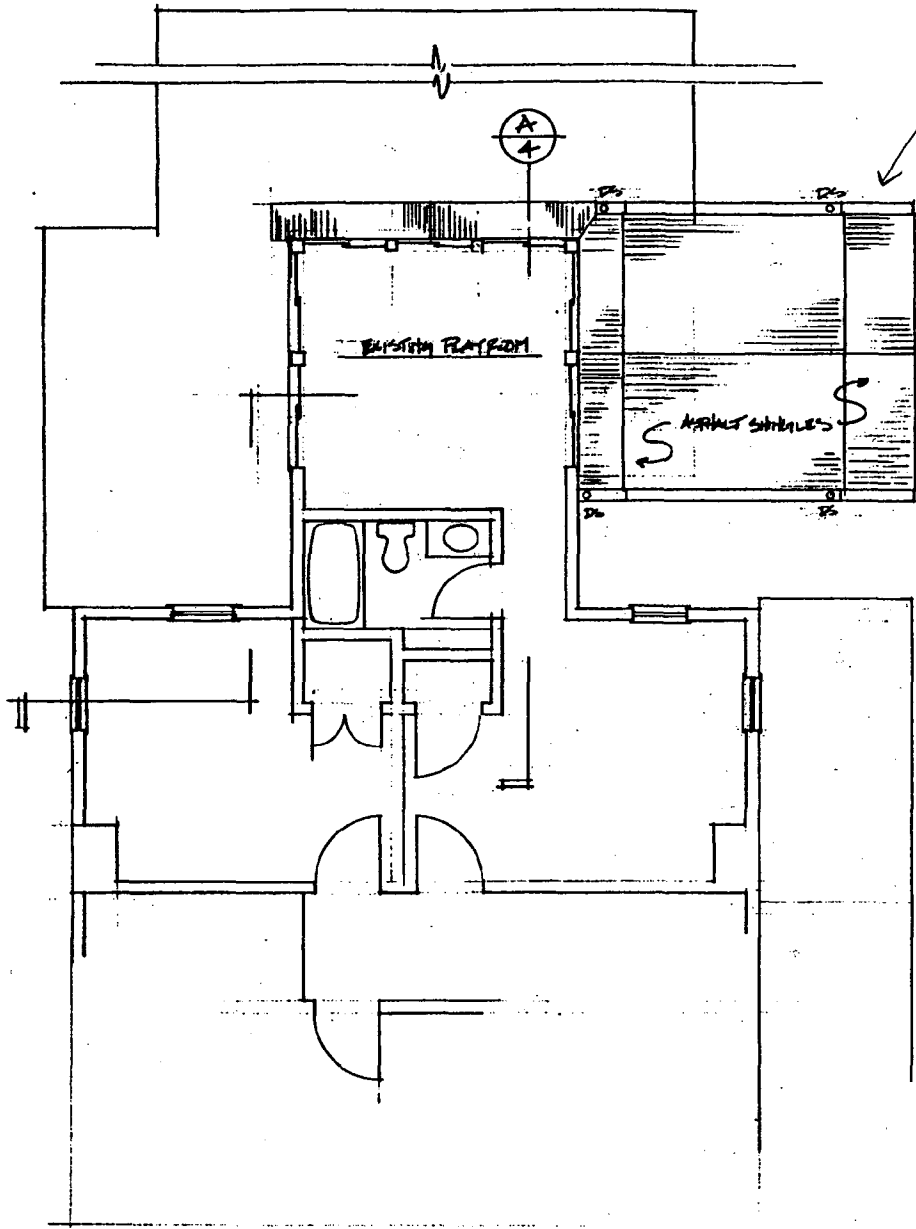
7307 Takoma Avenue, Takoma Park Maryland 20912
 (301) 565 - 3952

FEIDEN - HOLIN RESIDENCE

Takoma Park, Maryland

PLANS
 EXISTING
 SCHEMATIC

5/31/97
 3/1/97



ROOF OF NEW
KITCHEN
ADDITION

FIXTURE SCHEDULE

SYMBOL	DESCRIPTION
B	CABLE TV JACK
▶	TELEPHONE JACK
\$P	SWITCH, DIMMER CONTROL
⊕	CATENATED CEILING FAN & LIGHT FIXTURE
⊙	SURFACE MOUNT CAN FAN LIGHT
⊖	TRACK LIGHTING
⊖	OUTLET

FINISH NOTES

LOCATION	FINISH
FAMILY DINING FLOOR WALLS TRIM COLUMNS/DOORS CEILING	2" WIDE T&G OAK FLOORING, STAINED 1/2" DRYWALL, PAINTED WOOD, PAINTED - MATCH CASES IN DINING PRE-FINISHED, WHITE 1/2" DRYWALL, PAINTED
KITCHEN FLOOR WALLS TRIM COLLAR BEAMS DOORS CEILING	2" WIDE T&G OAK FLOORING, STAINED 1/2" DRYWALL, PAINTED WOOD, PAINTED - PROFILES TO MATCH CASES IN DINING 1/2" DRYWALL, PAINTED PRE-FINISHED - WHITE 1/2" DRYWALL, PAINTED

SECOND FLOOR PLAN PROPOSED
1/4" = 1'-0"

Jeffrey C. Luker - Architect

7307 Takoma Avenue, Takoma Park Maryland 20912
(301) 565 - 3958

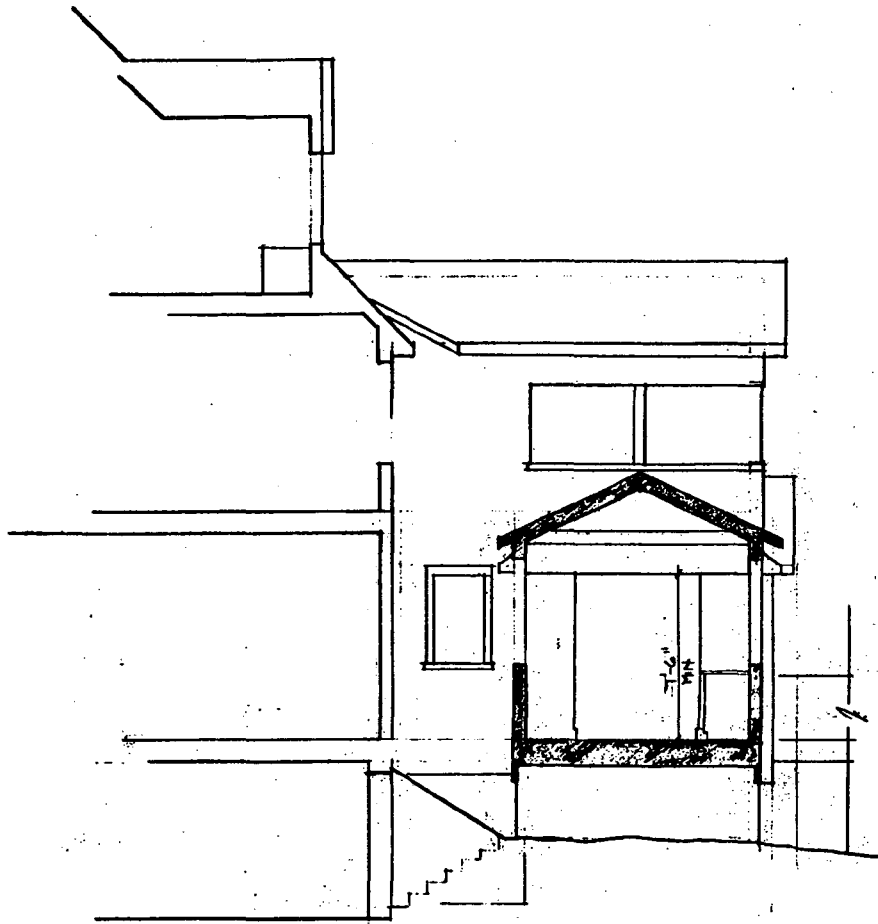
FEIDEN - HOLIN RESIDENCE

Takoma Park, Maryland

PLANS
EXISTING
SCHEMATIC

5/31/97
7/1/97

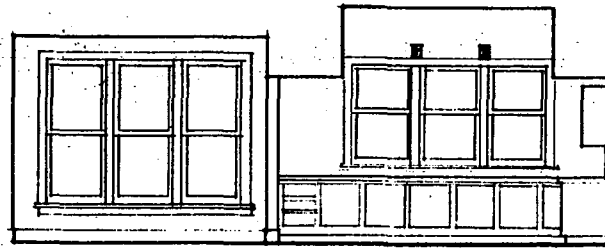
3 OF 1



(A) WEST-EAST SECTION
1/4" = 1'-0"



(B) SOUTH-NORTH SECTION
1/4" = 1'-0"



(C) WEST ELEVATION

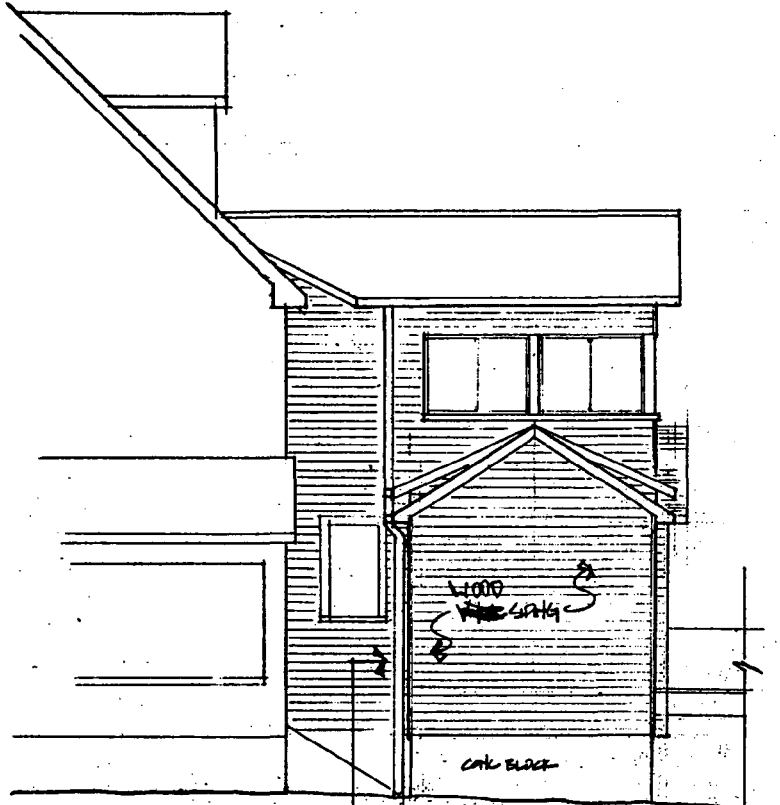
ey C. Luker - Architect

7 Takoma Avenue, Takoma Park Maryland 20912
301-565-3958

FEIDEN - HOLIN RESIDENCE
Takoma Park, Maryland

SECTIONS
EXISTING
SCHEMATIC

5/31/97
3/1/97



WEST ELEVATION IS NOT SHOWN
WORK IS SIMILAR TO EAST ELEV (1 NEW)

SOUTH ELEVATION
1/4" = 1'-0"

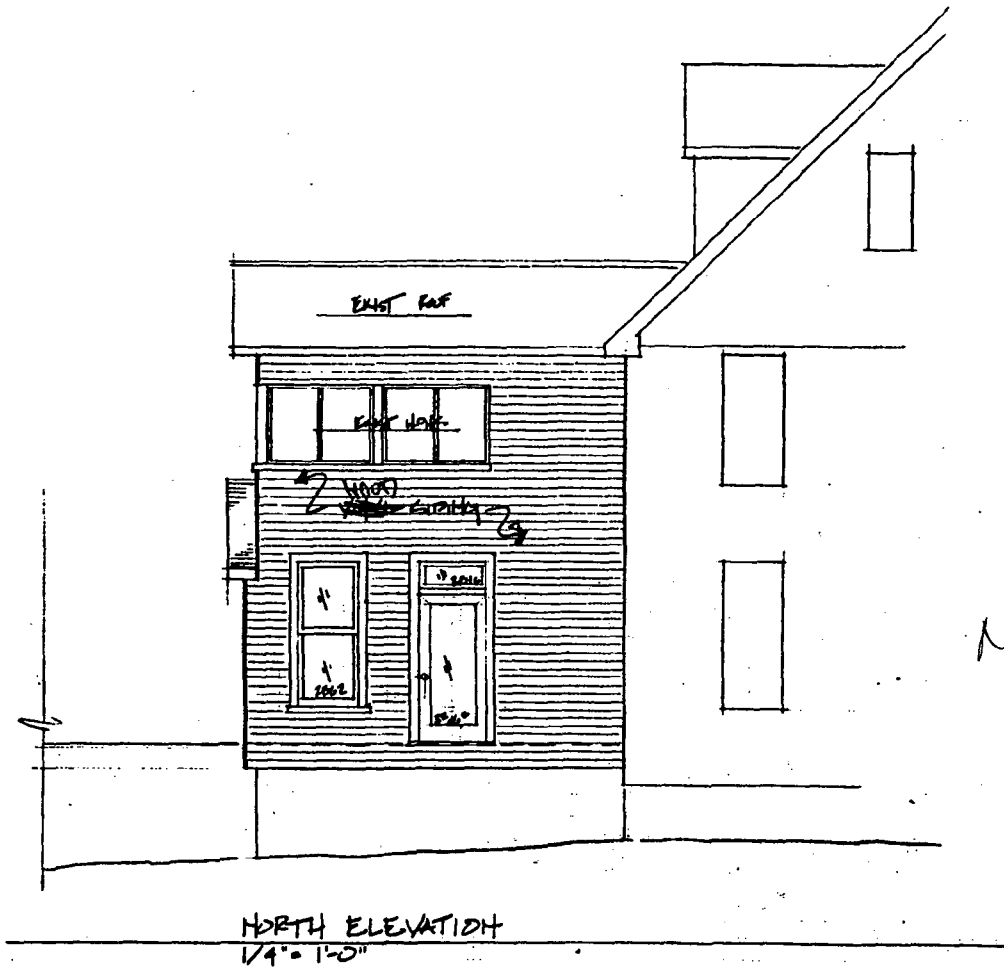
PROPOSED



EAST ELEVATION
1/4" = 1'-0"

PROPOSED

11



NEW DOOR LOCATION
 + NEW WINDOW ON
 FIRST FLOOR.

PROPOSED

12

DIVISION 1 - GENERAL REQUIREMENTS

1. Summary of the Work:

Base Contract

- a) *Final Design* as needed to plan and construct the complete project. Design work will include: miscellaneous rough carpentry and finish details, details to install kitchen cabinets and counter top, light fixture selection, and final electrical design, HVAC systems extension.
- b) *Temporary relocation* of kitchen appliances. Relocate refrigerator to the existing family room, temporarily store oven on front porch.
- c) *Demolition* of existing rear kitchen addition, and impacted interior finishes.
- c) *Construction of a one story addition* including structural, mechanical, electrical, and architectural items.
- d) *Renovation* as necessary to interconnect new kitchen and the existing room including structural, mechanical, electrical, and architectural items.
- e) *Site work immediately adjacent* to the Addition: grading and repair of construction area landscape, exterior entrance deck walkway; and new free standing wood storage bin including architectural, and electrical items.

~~Add Alternate 1~~

- ~~f) *Construction of a cantilever extension to the kitchen dining area including structural and architectural items.*~~

2. The house and site shall be inspected by the Contractor before bidding the Work. Contractor and/or Sub-contractors noting any deficiencies or concerns relevant to accomplishment of the project shall report them to the Owner prior to presentation of the bid.
3. This Project will disrupt the Owner's use of their existing Kitchen. Cabinets, appliances, and needed materials shall be on site prior to dismantling and demolishing the existing kitchen. The Contractor shall schedule the work so that the Owner will be without kitchen facilities for a period of less than 3-1/2 weeks.
4. All areas adjacent to the Work shall be protected during construction and if damaged during construction shall be replaced or restored to the original condition.

5. The Contractor shall field verify all dimensions prior to ordering and/or installing materials and equipment.
6. Site shall be kept in an orderly manner at all times. Materials shall be stored properly. All debris, etc. shall be removed from the site and disposed of legally.
7. The Contractor shall protect the structural integrity of existing building and adjacent structures as necessary during construction and as acceptable to local building codes and requirements. If damage occurs to adjacent areas, the Contractor shall repair the damage at no cost to the owner.
8. All equipment and materials shall be installed in accordance with the manufacturers recommendations.
9. The Contractor shall obtain and pay for all permits except for the Historic Work Area Permit (HWAP), and deliver same to Owner at the completion of the project.
10. Construction is to comply with all applicable building codes and ordinances; including but not limited to the requirements dictated by the City of Takoma Park, Montgomery County, and the State of Maryland.
11. The Contractor shall guarantee construction details and workmanship for a period of two years subsequent to substantial completion of the project.

DIVISION 2 - SITE WORK

1. The Contractor shall excavate for footings to undisturbed soil. The Contractor shall hire a state licensed soils consultant or arrange for the County Inspector to verify that the soil bearing capacity below the footings is equal to or greater than 1500 psi.
2. All trees and shrubbery shall to be protected during construction period. The Contractor shall coordinate Vehicle access with the Owner. All lawn and damaged areas shall be repaired to present condition with finish grading and reseeding at the end of the construction period. Damaged trees and shrubbery outside of the Demolition area are to be replaced at the contractor's expense.
3. The Contractor shall provide finish grading around the Work area with positive drainage directed away from perimeter of the house.

DIVISIONS 3 & 4 - CONCRETE & MASONRY

1. Foundations: Steel reinforced 12" minimum wide concrete trench footing; 8" concrete block above ground, and anchor bolts set in grouted cores at 2' on center.

DIVISION 6 - WOOD

1. **Rough Carpentry:**
 - a) See DIVISION 7 for wall and ceiling construction.
See DIVISION 9 for floor construction.
See STRUCTURAL NOTES.
 - b) Maximum allowable moisture content of all lumber to be 19%.
 - c) Provide pressure treated Southern Yellow Pine #2 or better lumber for crawl space framing and repairs to existing deck.
2. **Finish Carpentry**
 - a) Review with owner 1'-0" long sample of milled stock for each configuration, species, and grade shown or specified.
 - b) For painted trim, provide surfaced lumber.
 - c) Install finish carpentry plumb, level true and straight with no distortions. Shim as required using concealed shims. Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finishing nails for exposed nailing except as indicated, countersunk and filled flush with finished surface.
 - d) Install standing and running trim with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns, miter at corners to produce tight fitting joints. Use scarf joints for end to end joints.
3. **Cabinets and Counter Top & Sink Installation**
 - a) Contractor to install Cabinets provided by the Owner. Contractor is to review final order and shop drawings to assure dimensional coordination.
 - b) Contractor to coordinate Counter Top installation provided by the Owner. Contractor is to review order and shop drawings to assure dimensional coordination. Counter Top fabricator responsible for counter top installation.
 - c) Contractor to install sink and faucet and electric disposal system provided by Owner. See also Division 15.

DIVISION 7 - WATERPROOFING AND INSULATION

1. Crawl Space:

4" gravel, set on pvc plant prevention fabric, set on cut soil (remove all topsoil).

2. Floor Construction:

2" wide oak flooring, set on 5/8" (min) T & G "Sturdi-Floor" Exterior Grade, Exposure 1 plywood rated for joists 16" O.C., set on 4 mil polyethylene film vapor barrier set on 2x12 Pressure treated southern yellow pine framing, Fill Between Joists with 8" thick fiberglass batt insulation, paper side up, held in place with 1/2" x 1/2" galvanized wire fabric stapled to the underside of the joists.

3. Exterior Wall Construction:

~~WOOD SIDING TO MATCH EXISTING~~
~~Wolverine Benchmark D14.5 vinyl siding and one-piece corners to match existing, set over 15 lb felt building paper, set on 1/2" thick Exterior grade Exposure 1 plywood sheathing, set on 2 x 6 rough framing at 16" on center, filled with 6" thick fiberglass batt insulation, 4 mil polyethylene film vapor barrier, and 1/2" thick gypsum wallboard at interior.~~



4. Roof Construction:

Asphalt shingles certified appropriate for low slope application, roofing cement at the free tabs, set on 1 layer of Grace Ice and Water Shield membrane roofing, set on 1/2" plywood sheathing, set on 2x8 rough framing at 16" on center, filled with fiberglass batt insulation, vented construction, and finished with, 4 mil polyethylene film vapor barrier and 5/8" gypsum wallboard ceiling.

5. Insulation/Vapor Barrier shall be as follows:

- a) As identified above provide Kraft faced fiberglass insulation with R-value or thickness as indicated.
- b) As identified above, provide 4 mil polyethylene film vapor barrier continuous on interior sides of all perimeter floor, wall and ceiling surfaces before installation of interior finishes.

DIVISION 8 - DOORS AND WINDOWS

- 1. Window Units to be Anderson Narrollne PermaClad or approved equal, verify fit and coordination of the Anderson model numbers indicated on the elevations. Install units in accordance with the manufacturer's recommendations.

*Vinyl-clad
wood
windows*

2. New entry door to be 3'-0" wide x 6'8" tall painted solid wood stile and rail door with full double glazed glass panel, and matching solid wood storm door. Door to be provided by Morgan or approved equal. Coordinate installation with Anderson Transom window to be installed above. Provide three 4-1/2" solid brass hinges. Review door selection with owner for final approval. Install latchset provided by Owner.

DIVISION 9 - FINISHES

1. Floors: Oak T&G flooring with stain followed by sealer and 2 coats of clear polyurethane.
2. Walls: Provide 1/2" thick gypsum drywall complete as shown on drawings in new addition and remodeled areas of existing house. Gypsum drywall system shall be installed and finished in a neat and workmanlike manner exceeding minimum industry standards.
3. Ceiling: Provide 1/2" thick gypsum drywall complete as shown on drawings in new addition and remodeled areas of existing house. Gypsum drywall system shall be installed and finished in a neat and workmanlike manner exceeding minimum industry standards.
4. Trim: Painted wood, profiles to match existing trim in the Dining Room.
5. Painting - Interior:
 - a) All paint and primer to be manufactured by Benjamin Moore or alternate approved by the owner. Paint to be applied per manufacturers' recommended specifications.
 - b) Interior walls and ceilings (new) to receive 1 coat primer, 2 coats latex flat.
 - c) Interior woodwork and trim including windows and doors to receive one coat alkyd primer and 2 coats alkyd semi-gloss enamel.
6. Exterior:
 - a) ~~Provide vinyl siding by Wolverine Products or approved equal.~~ ^{PROVIDE WOOD SIDING TO MATCH EXISTING} Colors to be selected from standard options. Provide color section samples for final selection by the Owner.
 - b) Windows, doors, soffits, trim, downspouts and miscellaneous items to be white.

DIVISION 15 - MECHANICAL

1. HVAC:

- a) Remove one existing hot water radiator, extend existing hot water heating and install 1 wall mount narrow radiator behind the window seat.
- b) Extend existing A/C system including associated duct and electrical work.
- c) Provide ductwork and exterior vent from overhead vent at stove. Coordinate with kitchen design provided by owner.

2. Plumbing

- a) Provide complete hot and cold water supply and associated drainage connection to kitchen sink. Include final installation of sink and electric disposal system.
- b) Provide gas connection for stove installation.
- c) Provide one exterior hose bib, coordinate location with owner .

DIVISION 16 - ELECTRICAL

- 1. Provide all service connections, receptacles, switches, junction boxes, connections to equipment as required to complete project. Provide outlets as indicated on the drawings.
- 2. Lighting - Fixtures to be purchased by the Owner and installed by the Contractor. Install built in light fixtures at locations shown or as modified by the Owner. Review on site and confirm final fixture and switch locations with the Owner.
- 3. All electrical work to be performed in accordance with all local and applicable national building codes.
- 4. Telephone - provide one wall mount telephone junction box. Review and confirm final location with the Owner..
- 5. Cable TV - provide one cable TV junction box. Review and confirm final location with the Owner.

STRUCTURAL NOTES

1. All structural lumber shall have the following minimum properties:

- Bending stress "Fb" - 1250 psi for single member use.
- Bending stress "Fb" - 1450 psi for repetitive member use.
- Horizontal shear "fv" - 95 psi.
- Compression perpendicular to grain "Fc1" - 385 psi.
- Compression parallel to grain "Fc1" - 1050 psi.
- Modulus of elasticity - "g" - 1,700,000 psi.

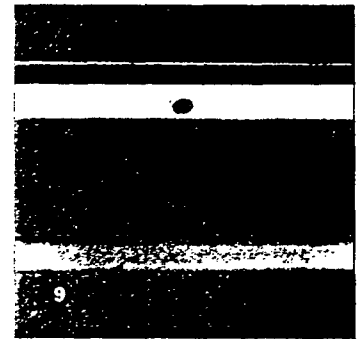
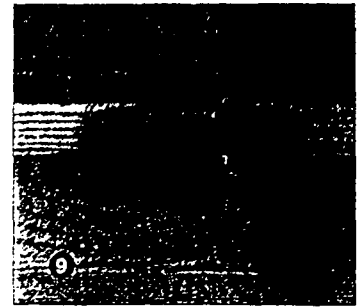
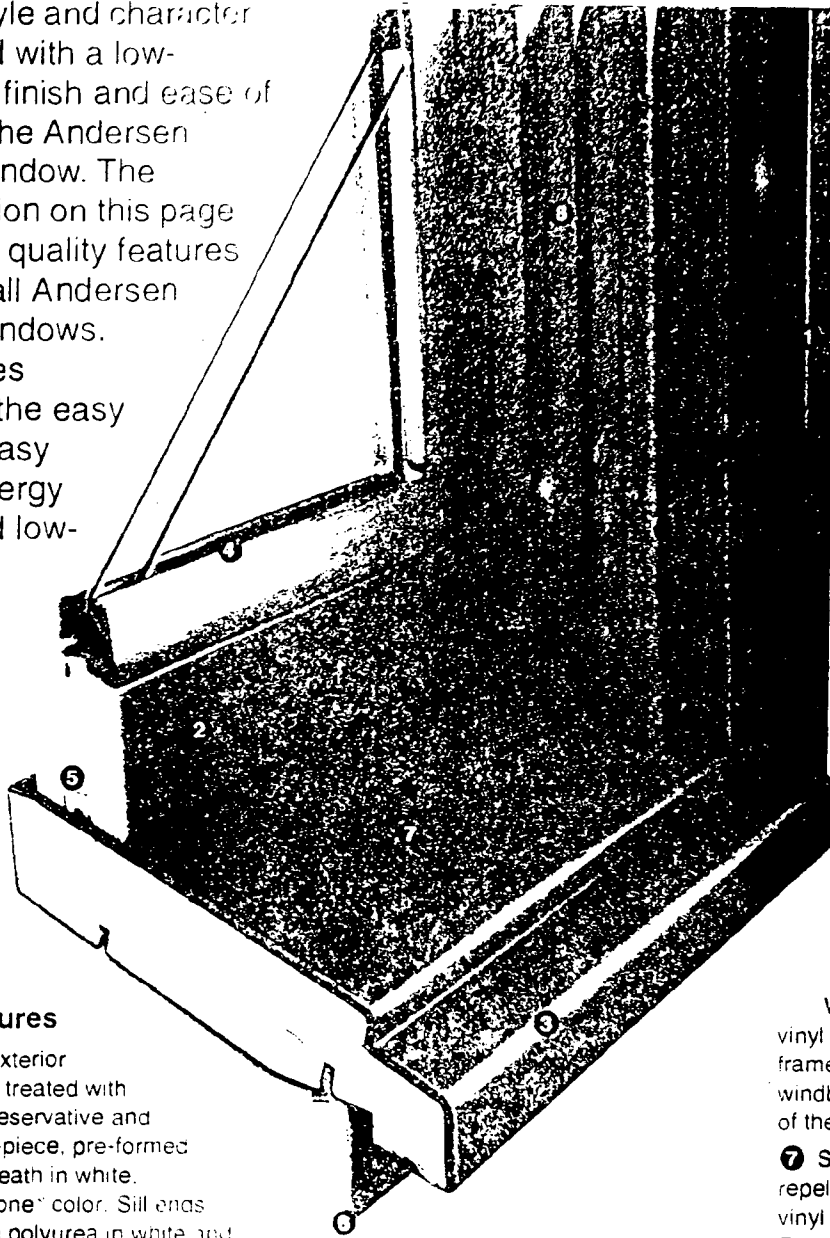
Timber construction shall be in accordance with the national design specifications for wood construction. Latest edition, published by the National Forest Products Assoc.

2. Soil bearing value at the bottom of all footings is assumed to be 1500 psi.
3. All concrete to have a minimum compressive strength - 3000 psi in 28 days.
4. All reinforcing steel to be new billet ASTM-A-615-78-Grade 60. Placing plans and shop fabrication details shall be in accordance with the "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
5. Footings shall bear on original undisturbed earth. Bottom of all exterior footings shall be a minimum of 30" below finished exterior grade.
6. Provide bridging in 2 x 6 stud walls at 4'-0" maximum o.c. provide solid bridging between floor, roof and ceiling joists at maximum 8'-0" o.c., and minimum 1 row.

END OF SPECIFICATION

Standard Features of Andersen Narroline Double Hung Windows

Additional style and character are combined with a low-maintenance finish and ease of operation in the Andersen Narroline™ Window. The cutaway section on this page illustrates the quality features standard on all Andersen Narroline™ Windows. These features contribute to the easy installation, easy operation, energy efficiency and low-maintenance of this product. Please use these as points of comparison when selecting windows.



Base Unit Features

FRAME. The exterior wood members are treated with a water repellent preservative and covered with a one-piece, pre-formed rigid vinyl (PVC) sheath in white, Sandtone or Terratone™ color. Sill ends are prefinished with polyurea in white and polyester urethane in Sandtone and Terratone®.

SASH. Wood members are treated with a water repellent preservative. The exterior of the wood sash is protected with a long-lasting, patented polyurea finish for white color, and with polyester urethane finish in Sandtone and Terratone® colors. The interior face of the sash is clear for accepting stain or paint finishes. Optional prefinished interior finish is available.

- ① PERMA-SHIELD VINYL. A modern low-maintenance PVC covering.
- ② GLAZING BEAD. A specially designed with a textured finish and built-in drainage to prevent water to the exterior.
- ③ WEATHERSTRIPPING. A specially designed weatherstripping system that provides a tight seal between the sash and frame and helps to reduce air infiltration. Weatherstripping is available in a variety of materials and colors to match the interior or exterior finish.

⑤ ANCHORING FLANGE AND WINDBREAK. Factory applied rigid vinyl flanges at head and side of outer frame members. A flexible vinyl sill windbreak is factory applied to the bottom of the sill as flashing.

⑦ SILL. Wood core treated with a water repellent preservative, covered with rigid vinyl (PVC) sheath in white, Sandtone or Terratone color.

⑧ JAMB LINER. White rigid vinyl (PVC) and complementary color rigid vinyl (PVC) for unit in Sandtone or Terratone color.

⑨ SASH LOCK AND LIFT. Factory applied hardware with an attractive stone-color decorator finish. (Also available in white, see page NL7)

● PICTURE WINDOW UNITS. Non-operating picture windows made with components similar to those for Narroline double-hung unit. 1-3/4" picture sash sheathed in rigid vinyl inside and out use thicker insulating glass. Optional interior sash stop made of western clear pine can be finished to match interior decor.



Architect Specified Options

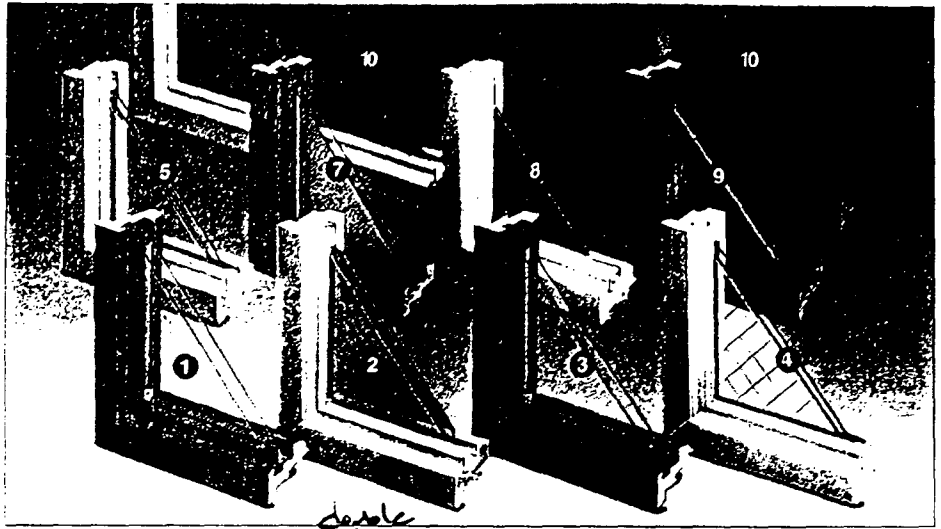
A wide variety of options are available for Andersen® windows. The most common selections the architect should make when specifying an Andersen® Narroline® Double Hung Window are shown on this page. See pages NL6 and NL7 for additional Narroline® window optional accessories.



COLOR (COLOR)* Andersen® Narroline® Double Hung Windows are available in white, Sandtone and Terratone®. White is a soft white that won't fade or yellow even after extended exposure to the sun and elements. Sandtone is a beige color midway between white and Terratone. Terratone is an earth-hued color unique to Andersen. For information on painting Perma-Shield® vinyl, contact your Andersen supplier.

PREFINISHED INTERIOR Andersen® Narroline® sash can be prefinished in either white, Sandtone or Terratone. The same long-life polyurea and polyester urethane finishes used on the sash exterior can be specified to be applied to the interior as well.

*NOTE: Abbreviations, shown in parentheses, refer to the Andersen CADD-1 computer aided design program.



GLAZING (GLASS) Standard glazing selections include High-Performance (HP) and High-Performance Sun (HPSun). High-Performance and High-Performance Sun are low emissivity glazings with an argon-filled air space that are created by applying a transparent, microscopically-thin, metallic coating to the number two surface sealed within the desiccated, argon gas-filled space of the insulating unit. The coating and the argon gas work to retard the flow of heat through the glass area. Glass types used in HP and HPSun insulating units are a heat strengthened interior light and annealed exterior light. Additional information about the over 100 glazing options available for Andersen® Narroline® Windows can be obtained from your Andersen supplier.

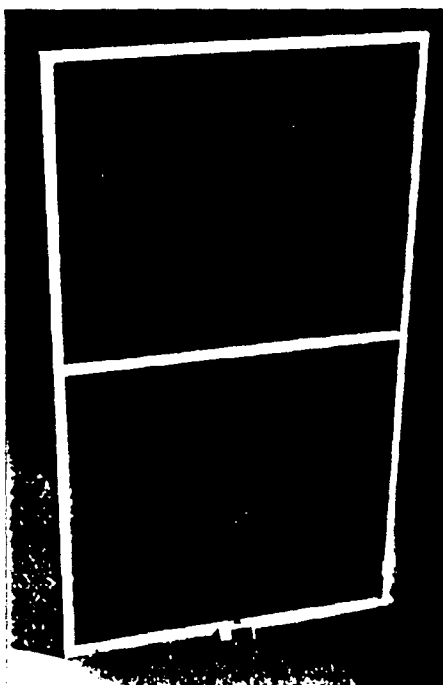
OPTIONAL GLAZING REFERENCE CHART

Standard Glazings	1 High-Performance
	2 HPSun
Safety Glazing Options	3 Tempered Glass ¹⁾
	4 Wire Glass ¹⁾
	5 Laminated Glass ²⁾
	6 Lexan® or Plexiglass ²⁾
Non-transparent Glazings	7 Obscure Glass ³⁾
	8 AllianceWall ³⁾
	9 KrinkleGlass ³⁾
	10 Ceramalite ³⁾
Sound Control	11 Safetee Silentus ³⁾

1) These glazings can have the same low-emissivity coating found on High-Performance and High-Performance Sun insulating glass.

2) Some restrictions apply, consult your Andersen supplier regarding availability.

3) Not pictured.



FULL INSECT SCREEN (SCREEN)

(pictured at left)

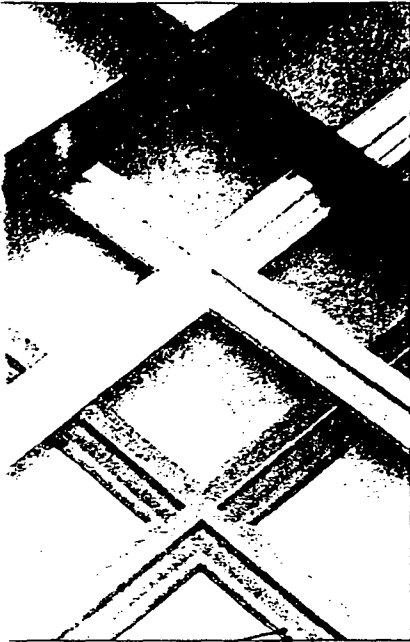
New full insect screen features improved rigidity and security. Aluminum screen cloth. Comes in white, Sandtone or Terratone® color. Warning label alerts consumers to potential falls from windows.



(2)

Optional Accessories for Andersen™ Narroline™ Double Hung Windows

The accessories described here could allow you to completely specify an Andersen™ Narroline™ window (see page NL5 for specific options). If more specific information is required please contact your local Andersen supplier.



EXTERIOR GRILLES (GRLTYPE)

Fixed light grilles give the appearance of divided lights without the traditional sash and shortcomings of true divided sash. They fit tightly against the inside glass surface and are easily removed for cleaning. Available in white, Sandtone™ or Terratone™ color to match Andersen® windows. Or they are available with an optional Tycote™ finish – a factory applied finisher that allows the grille to be stained (with quality gel or heavy-bodied oil base stains only) or painted to match interior window finishes.

TOP INTERIOR GRILLES

Top or custom unfinished maple hardwood grilles are available on special order.



EXTERIOR GRILLES (GRLTYPE)

Profiles simulate true divided light muntin bars. Used in combination with our interior grille. High-Performance glass energy savings not compromised. (Not possible with small pane units with multiple "edge effects.") Grilles are chlorinated poly-vinyl chloride coated with white, Terratone™ or Sandtone™ capping material. Can be painted. Permanently applied.

INTERIOR TRIM

Prefinished sill stops and clear pine stools are available for all sizes of Narroline™ units.

PICTURE WINDOW ACCESSORY STOP (OPTSTOP)

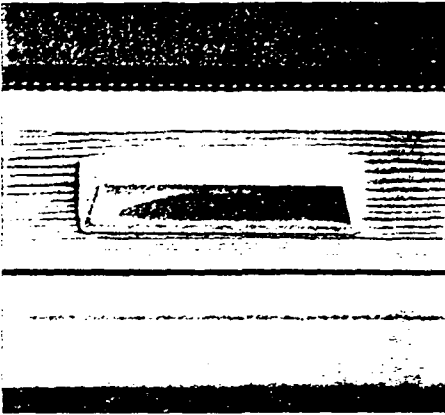
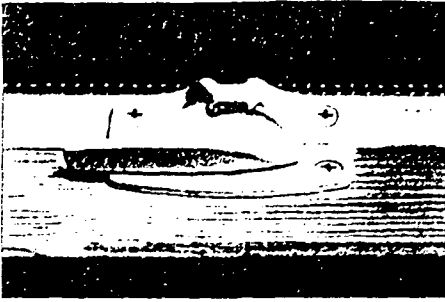
Accessory stops that cover the interior sash profile are available for all sizes of Narroline™ picture windows. Made of western clear pine, and can be finished to match interior decor.



COMBINATION UNITS (COMBO)

A complete unit for triple glazing, consisting of a prefinished aluminum frame, storm panels and an insect screen. They are finished in either white, Sandtone™ or Terratone™.

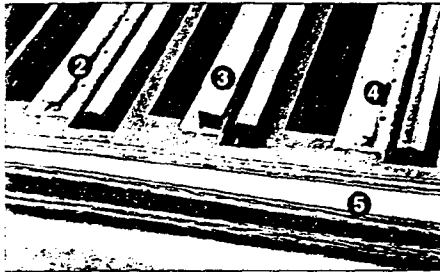
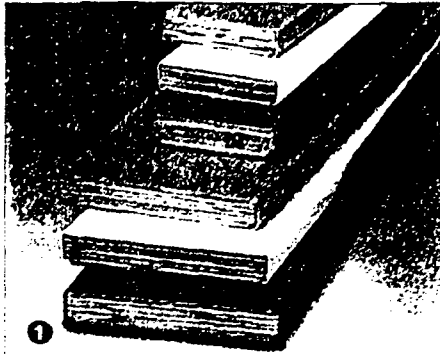
NOTE: Abbreviations, shown in parentheses, refer to the Andersen CAAD-1™ computer aided design program.



WHITE HARDWARE (HARDWARE)

The Narroline sash lock and keeper in white coated zinc die cast material and a white polycarbonate lift handle are now available. Must be purchased and applied locally. Contact your Andersen supplier for availability.

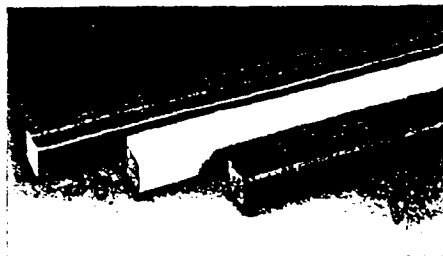
* NOTE: Abbreviations, shown in parentheses, refer to the Andersen CAOD-1 computer aided design program.



INSTALLATION ACCESSORIES

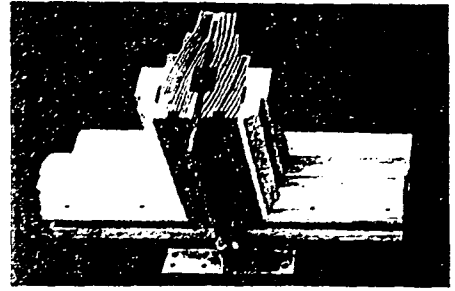
Perma-Shield® casing, "J", "H", "H" channel and vinyl laminated board are available in white, Terratone®, and Sandtone.

	Length	Thickness	Width
1. Perma-Shield® Casing	150"	3/4"	3 1/2", 5 1/2"
2. Rigid Vinyl "J" Channel	150"	1/2"	
3. Rigid Vinyl "H" Channel	34", 150"	3/4"	
4. Rigid Vinyl "H" Channel	150"	1/2"	
5. Vinyl Laminated Board	36"	1/2"	24"

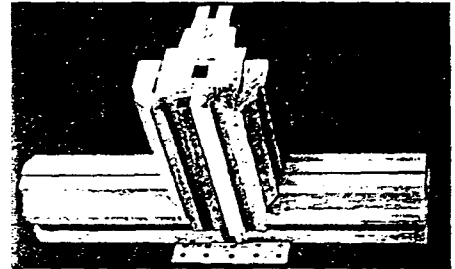


PERMA-SHIELD® AUXILIARY CASING

A treated wood core encased in a seamless vinyl extrusion. Available in white, Terratone® or Sandtone color, used to simulate exterior casing. 1-3/16" x 1-3/16" in 150" lengths.



Steel Reinforced Joining



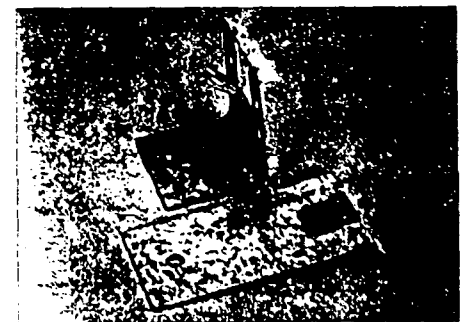
Aluminum Reinforced Joining

REINFORCED MULLION/TRANSOM (JOINING)

Reinforced mullions should be used when individual window units in a milled combination are not fastened through coposite sides (head and sill or side jamos) into framing material and thus need increased support to conform to design and building codes.

Andersen's aluminum and steel reinforced narrow mullions have been designed and tested to meet NWWDA structural requirements under various wind loads. They are identical in final installed appearance but have different sizes offered and different methods for attaching frame and windows.

For more information see the Andersen Joining Materials section in the Feature Windows section of this book.

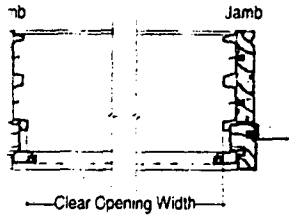


SIDE JAMB CLIP

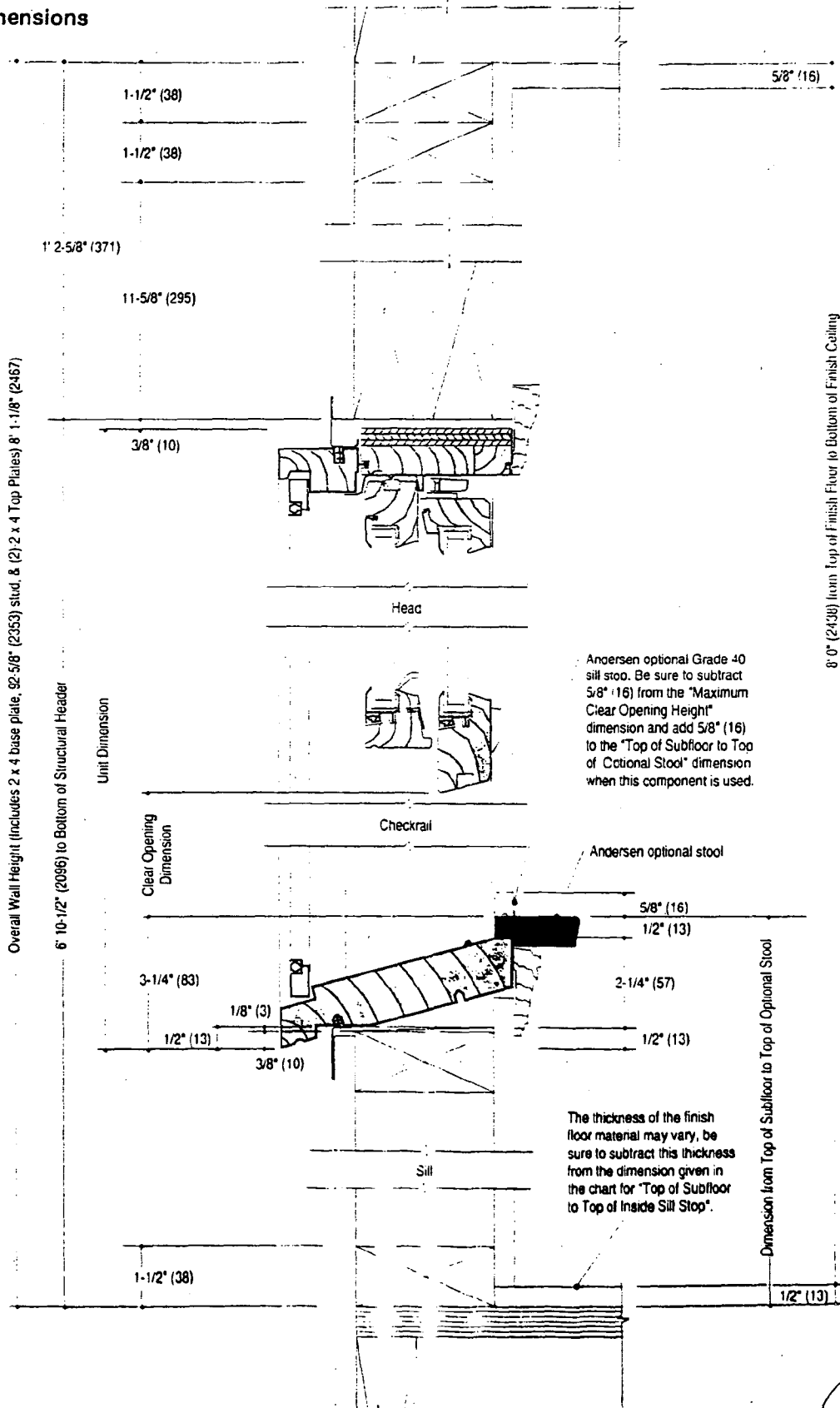
1-1/2" x 3" Galvanized sheet metal clip (available from Andersen distributors) is first secured to back of side jamb through pre-punched holes. Clip can be bent to secure unit in opening. Cut vinyl flange as required. See page NL24 for performance limitations.

Narroline[®] Clear Opening Details and Opening Specifications

Optional Details Notification of Clear Opening Dimensions



Horizontal
Scale 1-1/2" = 1'-0" (1:8)



Andersen optional Grade 40 sill stool. Be sure to subtract 5/8" (16) from the "Maximum Clear Opening Height" dimension and add 5/8" (16) to the "Top of Subfloor to Top of Optional Stool" dimension when this component is used.

The thickness of the finish floor material may vary, be sure to subtract this thickness from the dimension given in the chart for "Top of Subfloor to Top of Inside Sill Stop".

8' 0" (2438) from Top of Finish Floor to Bottom of Finish Ceiling

Dimensions in parentheses throughout this book are metric equivalents, shown in millimeters unless otherwise noted.

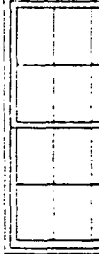


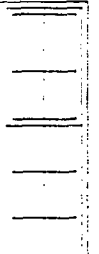
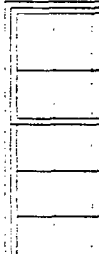
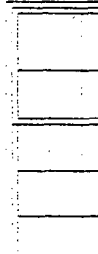
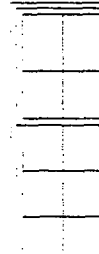
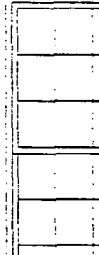
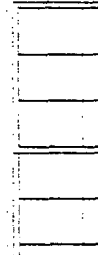
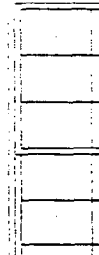
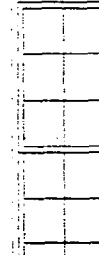


Table of Basic Sizes Scale 1/4" = 1'-0" (1:48)

UNIT DIM.	1'-9 1/4" (549)	2'-1 1/4" (651)	2'-5 1/4" (752)	2'-9 1/4" (854)	3'-1 1/4" (956)	3'-5 1/4" (1057)	3'-9 1/4" (1159)
RGH. OPG.	1'-10 1/4" (562)	2'-2 1/4" (664)	2'-6 1/4" (765)	2'-10 1/4" (867)	3'-2 1/4" (968)	3'-6 1/4" (1070)	3'-10 1/4" (1172)
GLASS*	16 1/4" (418)	20 1/4" (519)	24 1/4" (621)	28 1/4" (722)	32 1/4" (824)	36 1/4" (926)	40 1/4" (1027)
3'-1 1/2" (946) 3'-1 1/2" (946) 13 3/4" (354)							
	18210	20210	24210	28210	30210	34210	38210
3'-5 1/2" (1048) 3'-5 1/2" (1048) 15 3/4" (405)							
	1832	2032	2432	2832	3032	3432	3832
4'-1 1/2" (1251) 4'-1 1/2" (1251) 19 3/4" (506)							
	18310	20310	24310	28310	30310	34310	38310
4'-5 1/2" (1353) 4'-5 1/2" (1353) 21 3/4" (557)							
	1842	2042	2442	2842	3042	3442	3842
4'-9 1/2" (1454) 4'-9 1/2" (1454) 23 3/4" (608)							
	1846	2046	2446	2846	3046	3446	3846

* Unobstructed glass sizes shown in inches (and millimeters).

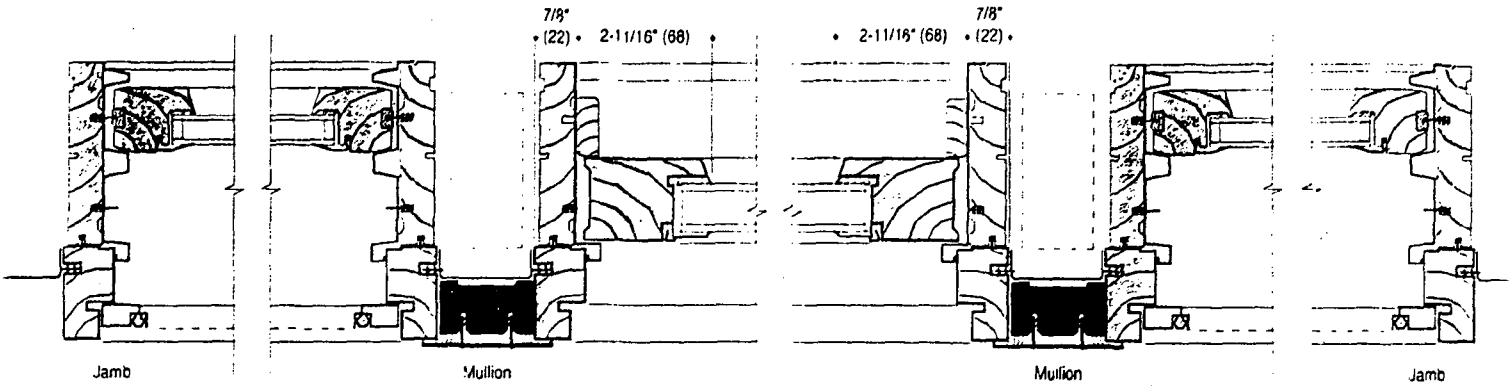
Table of Basic Sizes Scale 1/4" = 1'-0" (1:48)

NIT DIM.	1'-9 1/4" (549)	2'-1 1/4" (651)	2'-5 1/4" (752)	2'-9 1/4" (854)	3'-1 1/4" (956)	3'-5 1/4" (1057)	3'-9 1/4" (1159)
SH. OPG.	1'-10 1/4" (562)	2'-2 1/4" (664)	2'-6 1/4" (785)	2'-10 1/4" (887)	3'-2 1/4" (968)	3'-6 1/4" (1070)	3'-10 1/4" (1172)
GLASS*	18 1/4" (418)	20 1/4" (519)	24 1/4" (621)	28 1/4" (722)	32 1/4" (824)	36 1/4" (926)	40 1/4" (1027)
5'-5 1/4" (1657) 27 3/4" (710)							
	1852	2052	2452	2852	3052	3452	3852
5'-9 1/4" (1759) 35 1/4" (913)							
	1856	2056	2456	2856	3056	3456	3856
6'-0 1/4" (1864) 33 3/4" (862)							
	1862	2062	2462	2862	3062	3462	3862

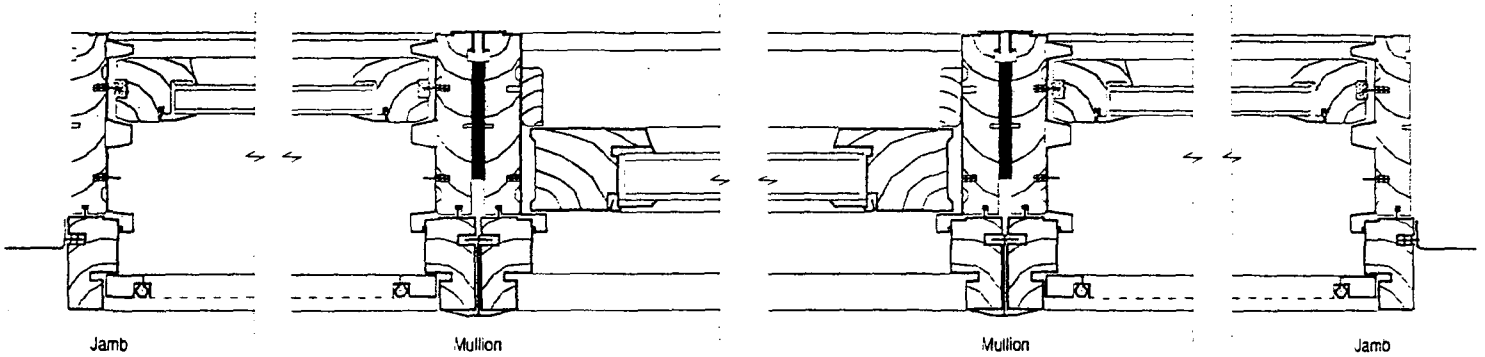
*Unobstructed glass sizes shown in inches (and millimeters).



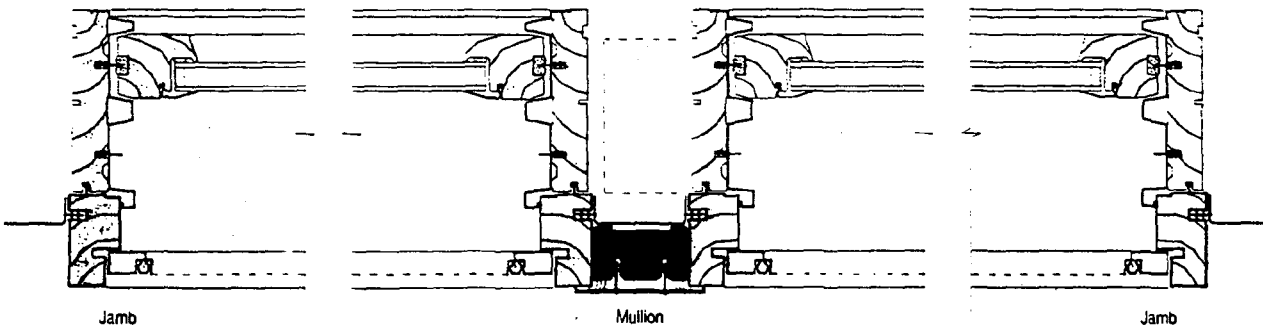
Basic Unit Details Scale 3" = 1'-0" (1:4)



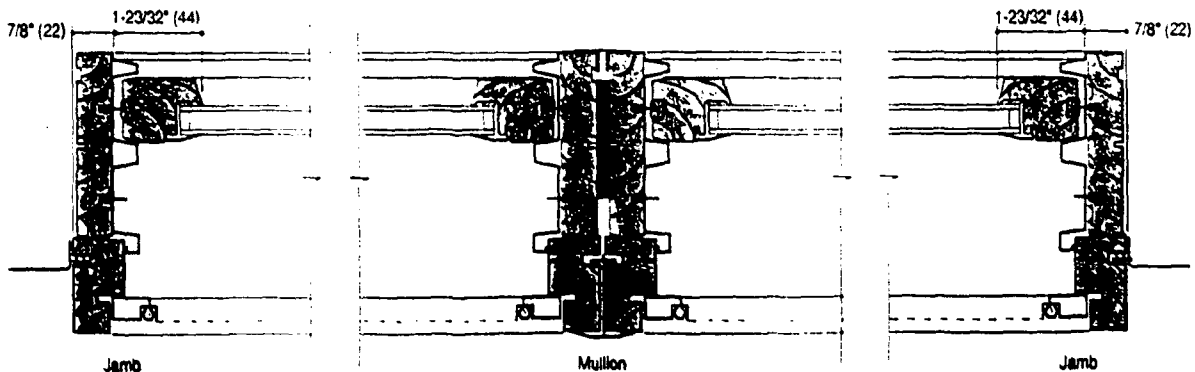
Picture Window Support Mullion



Picture Window Narrow Mullion

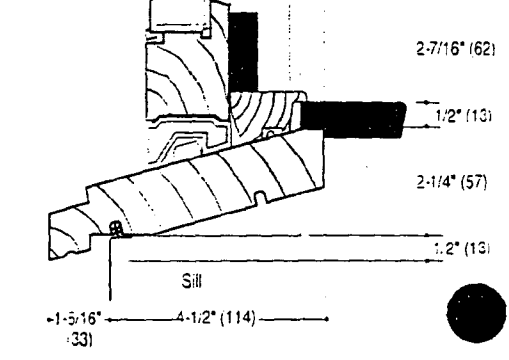
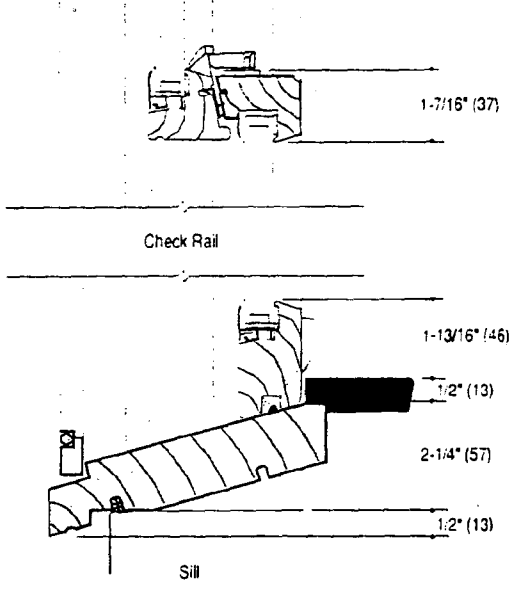
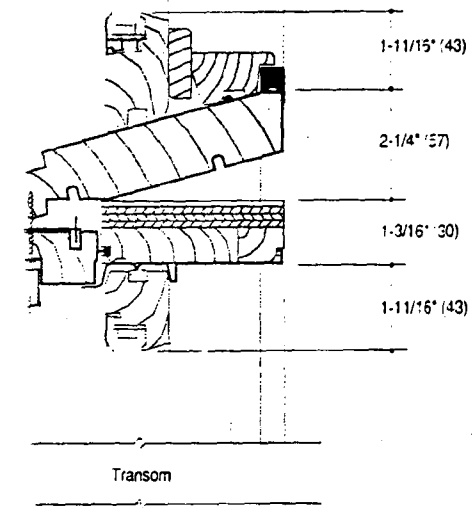
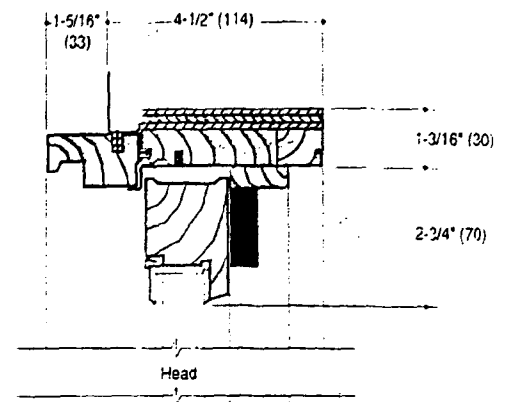
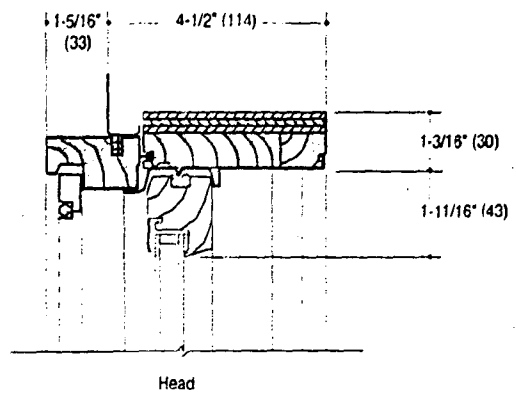
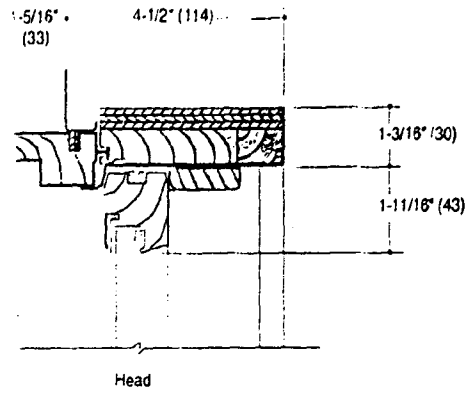


Support Mullion



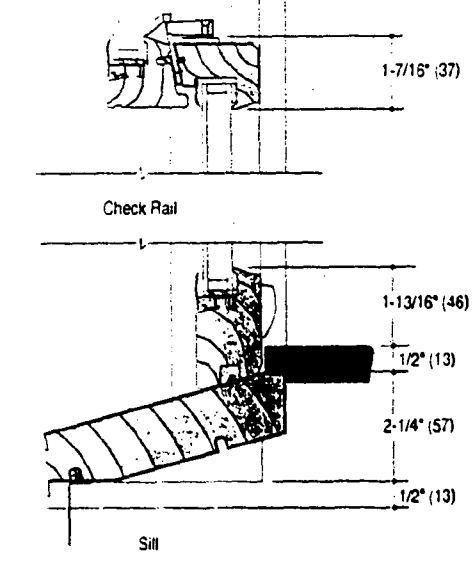
Narrow Mullion

Basic Unit Details Scale 3" = 1'-0" (1:4)

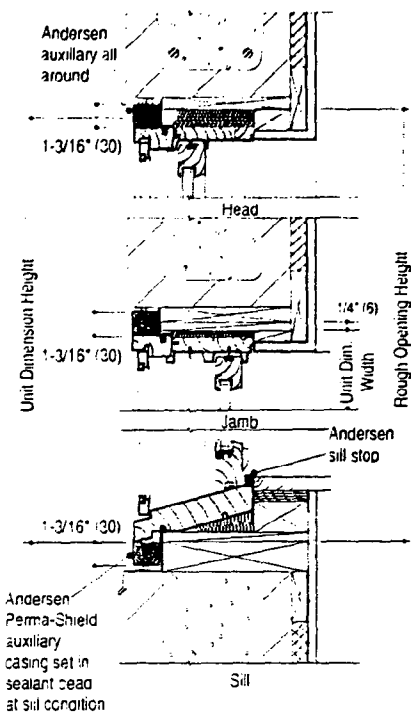


Basic Unit (Left)

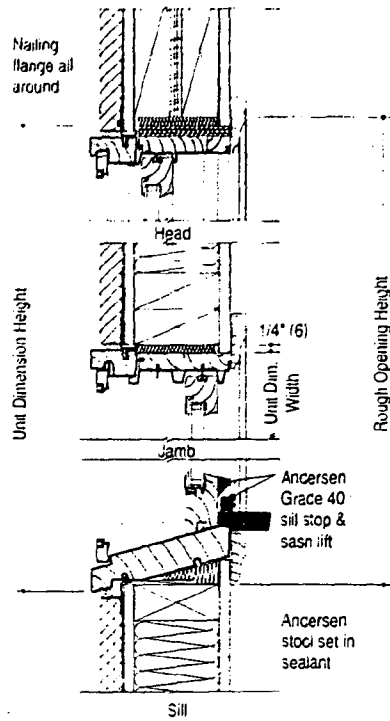
Picture Window Unit (Left)



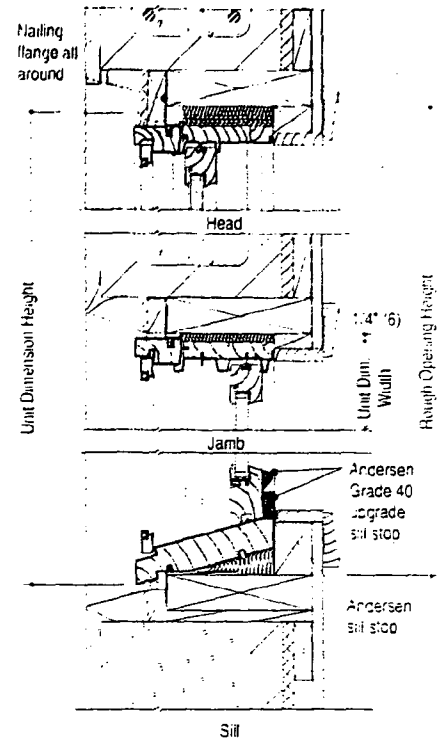
Transom Unit (Left)



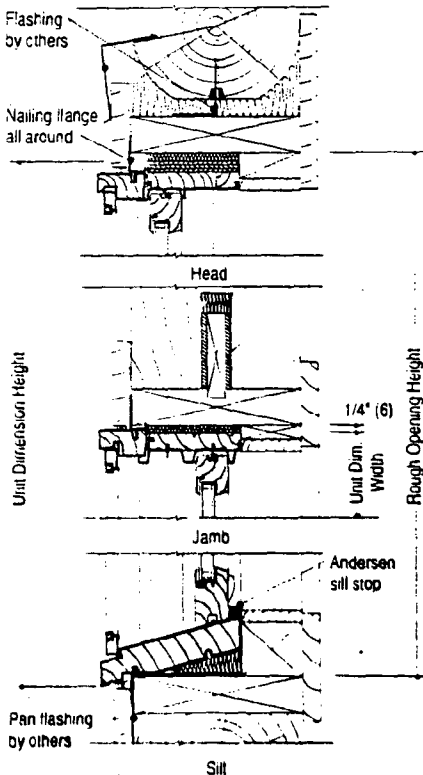
Decorative 8" Concrete Masonry Unit (CMU)



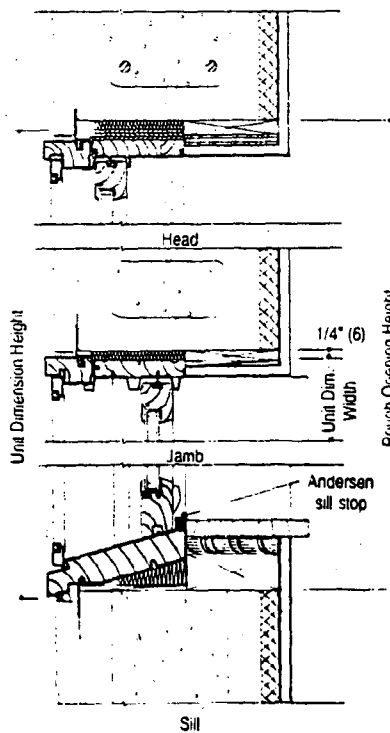
Exterior Insulation Finish System / 2 x 4 Wood Frame



Stucco / 8" Concrete Masonry Unit (CMU) Inset Window



Log Construction



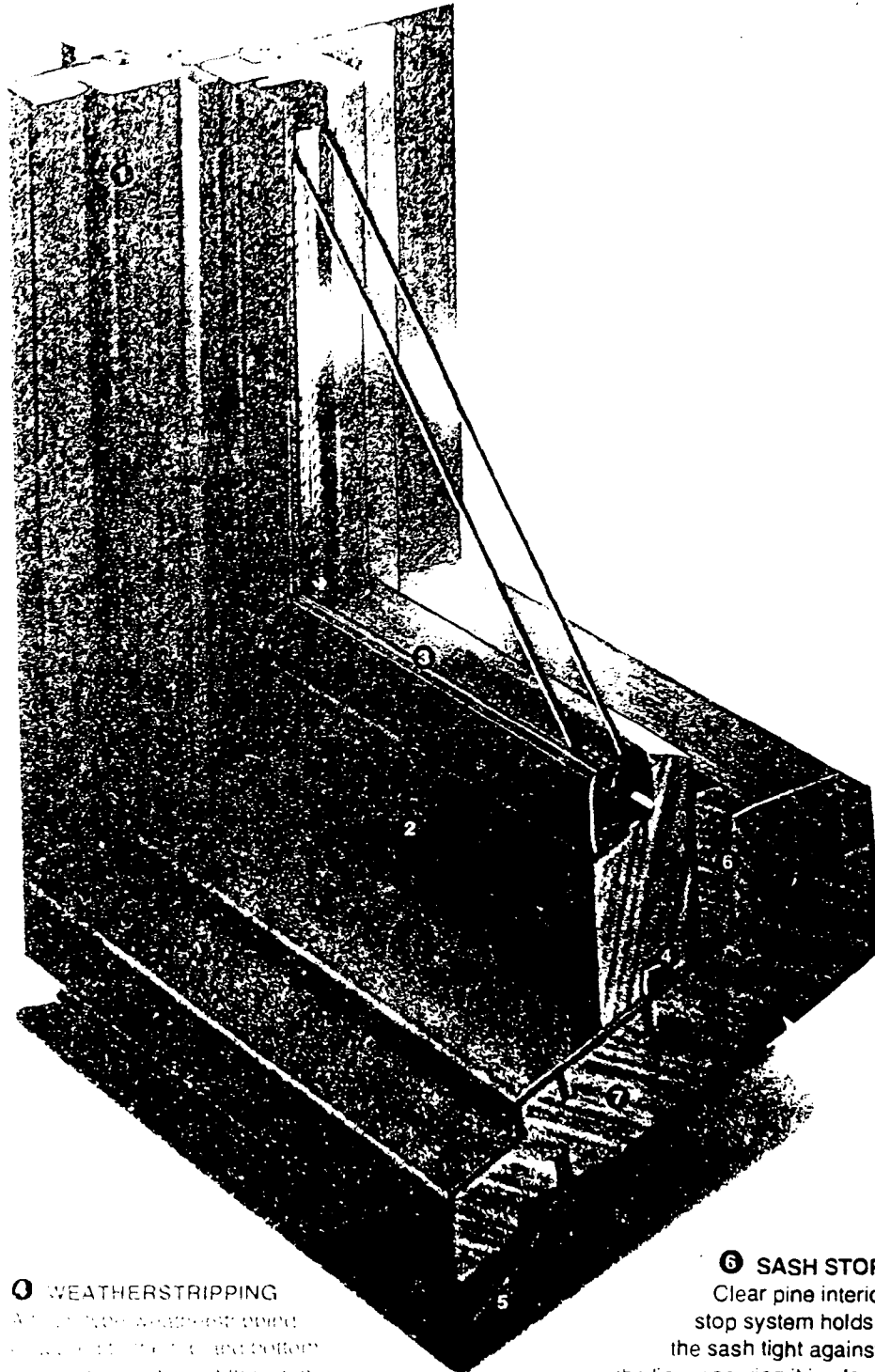
Stucco / 8" Concrete Masonry Unit (CMU)

Proper installation and maintenance of Andersen® windows is essential if the benefits of experienced window design and engineering, quality materials, and skilled workmanship are to be fully attained. General recommendations regarding installation are guidelines only. Every installation is different, and Andersen strongly recommends consultation with the local Andersen supplier and/or an experienced contractor, architect, or structural engineer prior to the installation of any Andersen product. Installation of Andersen products is the sole responsibility of the architect, building owner, contractor, and/or consumer and Andersen has no responsibility in this regard.

NOTE: Leave adequate clearance between sill and masonry for caulking and dimensional change of framework. Nailing flange may be removed where construction sequence/detailing requires no flange.

Standard Features of a Andersen Narroline Transom Window

Andersen® Narroline™ transom windows combine the low-maintenance qualities of Perma-Shield® with the additional appearance of the Andersen® Narroline™. The cutaway section on this page illustrates the quality features standard on all Andersen® Narroline™ transom windows. The features that contribute to the unit's easy installation, energy efficiency, and low-maintenance are described below. Please use them as points of comparison when selecting windows. The Andersen® Narroline™ transom is available only as a stationary unit.



THE UNIT FEATURES:

FRAME. The wood members are treated with a water repellent preservative and covered with a rigid vinyl (PVC) finish in white, Sandtone or Terratone® color. The sill ends are prefinished with urethane in white and polyester urethane in Sandtone and Flexacron in Sandtone.

GLASS. Exterior sash surfaces are protected with a long-lasting patented urethane finish for white and polyester urethane coat for Terratone® and Flexacron® in Sandtone. Interior sash surfaces are finished clear pine.

SLAZING BEAD. Rigid vinyl profile secured by a barbed leg engaging a curved surface of the sash.

1 WEATHERSTRIPPING
A high grade neoprene compound is used to seal the window against the frame. The sash is held in place by a flexible rubber weatherstripping seal and sash stop.

2 ANCHORING FLANGE & WINDBREAK
A rigid vinyl flange is attached to the exterior side of the sash. The flange is secured to the frame by a barbed leg. The windbreak is a rigid vinyl flange attached to the interior side of the sash.

3 SASH STOP.
Clear pine interior stop system holds the sash tight against the liner securing it in place.

4 SILL. Wood core treated with a water repellent preservative, covered with rigid vinyl (PVC) for units in white, Sandtone or Terratone® color.

5 JAMB LINER. White rigid vinyl (PVC) for unit in white and complementary color rigid vinyl (PVC) for units in Sandtone or Terratone® color.



Table of Basic Sizes Scale 1/8" = 1'-0" (1:96)

UNIT DIM	1'-9 1/2" (549)	2'-1 1/2" (1251)	2'-5 1/2" (1752)	2'-9 1/2" (2254)	3'-1 1/2" (2755)	3'-5 1/2" (3257)	3'-9 1/2" (3759)
RGH. OPN.	1'-10 1/2" (652)	2'-2 1/2" (1364)	2'-6 1/2" (1665)	2'-10 1/2" (2067)	3'-2 1/2" (2368)	3'-6 1/2" (2870)	3'-10 1/2" (3272)
GLASS*	16 1/2" (418)	20 1/2" (519)	24 1/2" (621)	28 1/2" (722)	32 1/2" (824)	36 1/2" (926)	40 1/2" (1027)
	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)	1'-3 1/2" (387) 1'-9 1/2" (540) 1'-11 1/2" (691) 2'-3 1/2" (842) 2'-5 1/2" (993) 2'-7 1/2" (1144) 2'-11 1/2" (1395) 3'-5 1/2" (1646)
	TR2410	TR2810	TR3010	TR3410			
	TR1816	TR2016	TR2416	TR2816	TR3016	TR3416	TR3816
	TR1818	TR2018	TR2418	TR2818	TR3018	TR3418	TR3818
	TR1820	TR2020	TR2420	TR2820	TR3020	TR3420	TR3820
	TR1822	TR2022	TR2422	TR2822	TR3022	TR3422	TR3822
	TR1824	TR2024	TR2424	TR2824	TR3024	TR3424	TR3824
	TR1828	TR2028	TR2428	TR2828	TR3028	TR3428	TR3828
	TR1832	TR2032	TR2432	TR2832	TR3032	TR3432	TR3832

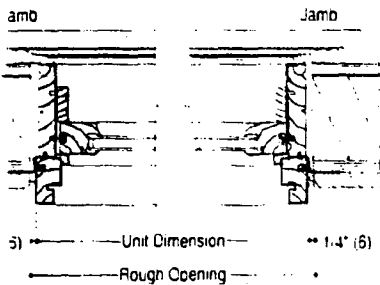
When ordering specify;
White (W), Sandtone (SND)
or Terratone (T).

White TR2016W
Sandtone TR2016SND
Terratone TR2016T

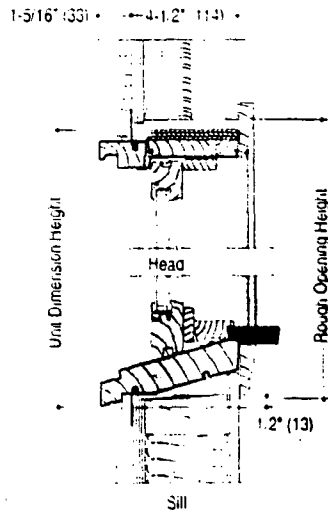
NOTE:
Always specify and check for the Andersen® name or trademark to be sure you're getting top quality Andersen® extension jambs, head and seat boards, platforms and other window parts and accessories.

Obstructed glass sizes shown in inches.
Each member profile differs slightly from other transom sizes.

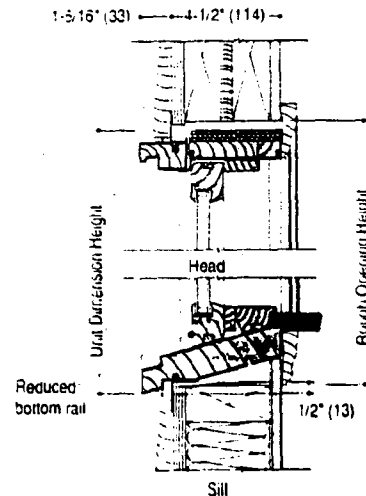
and Rough Opening Description Scale 1-1/2" = 1'-0" (1:8)



Horizontal Section



Vertical Section



TR10 Series
Vertical Section

Dimensions in parentheses throughout this book are metric equivalents, shown in millimeters unless otherwise noted.



WEST (FRONT OF HOUSE)



WEST (FRONT OF HOUSE)



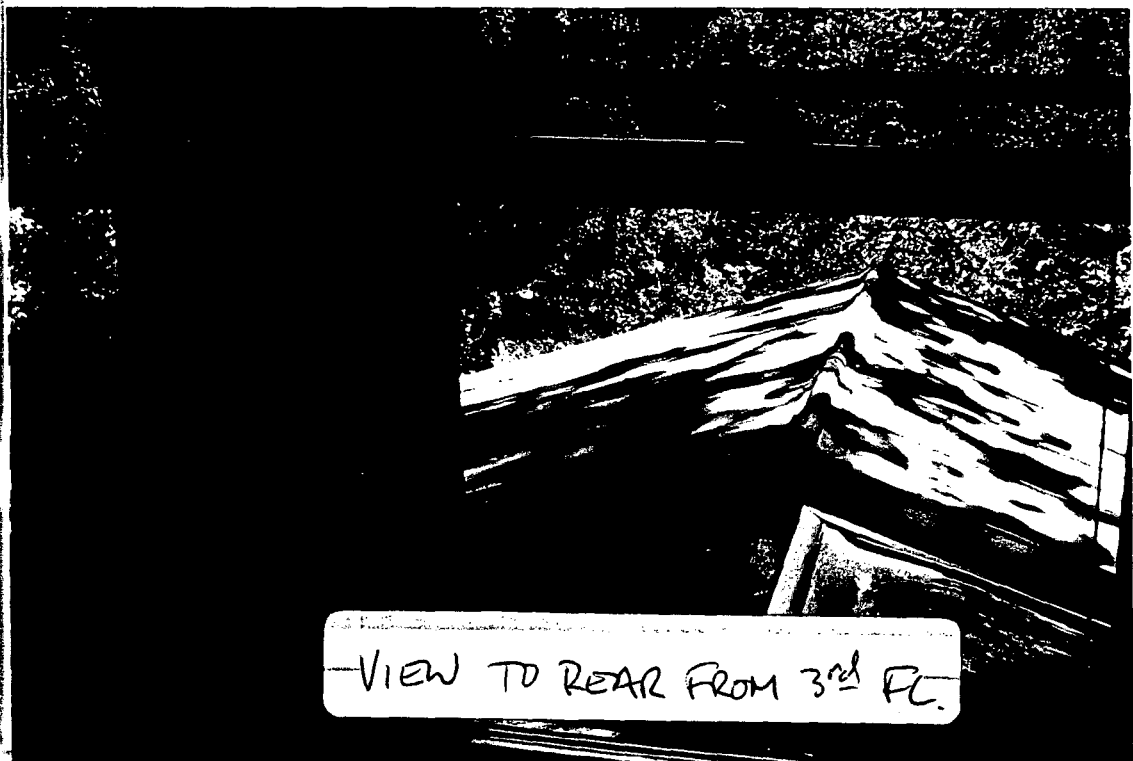
SOUTH (LOOKING FROM FRONT)



SOUTH



SOUTH (SHOWING AREA OF DEMOLITION/NEW CONSTRUCTION)



VIEW TO REAR FROM 3rd FL.





EAST ELEVATION

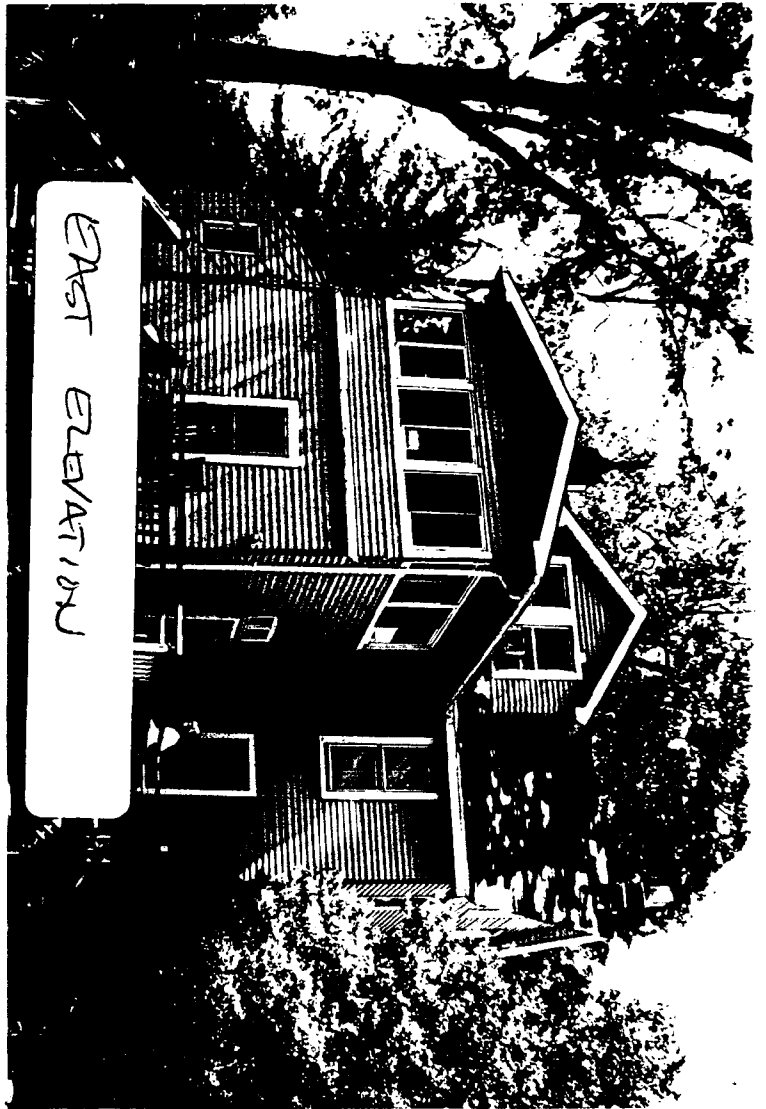


EAST ELEVATION



SOUTH ELEVATION

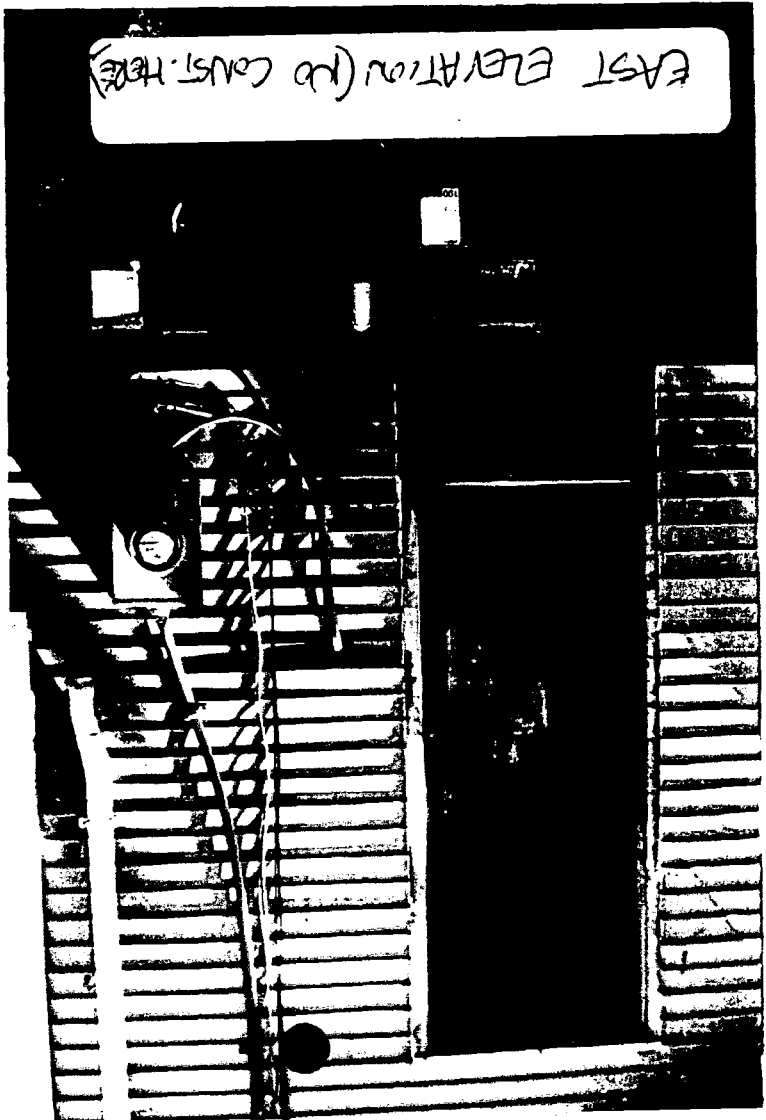
36



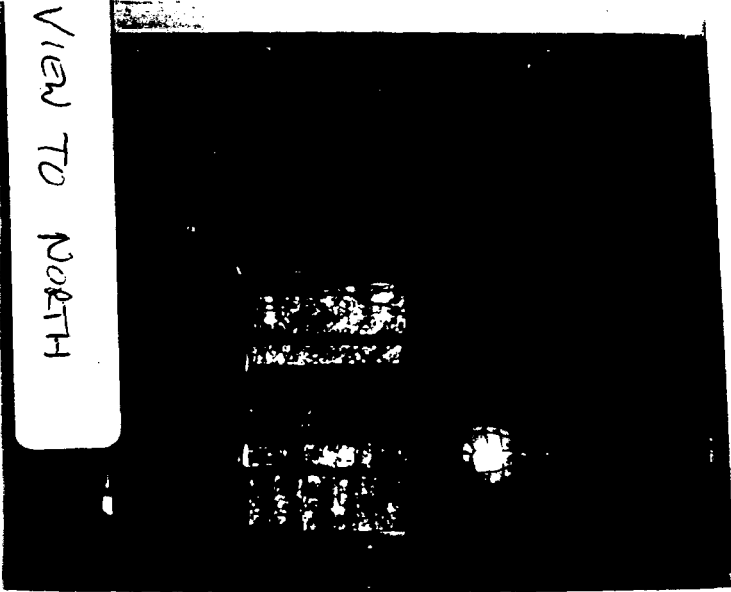
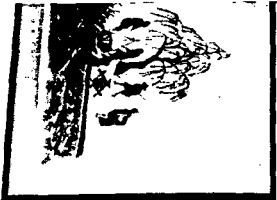
37



BREEZING

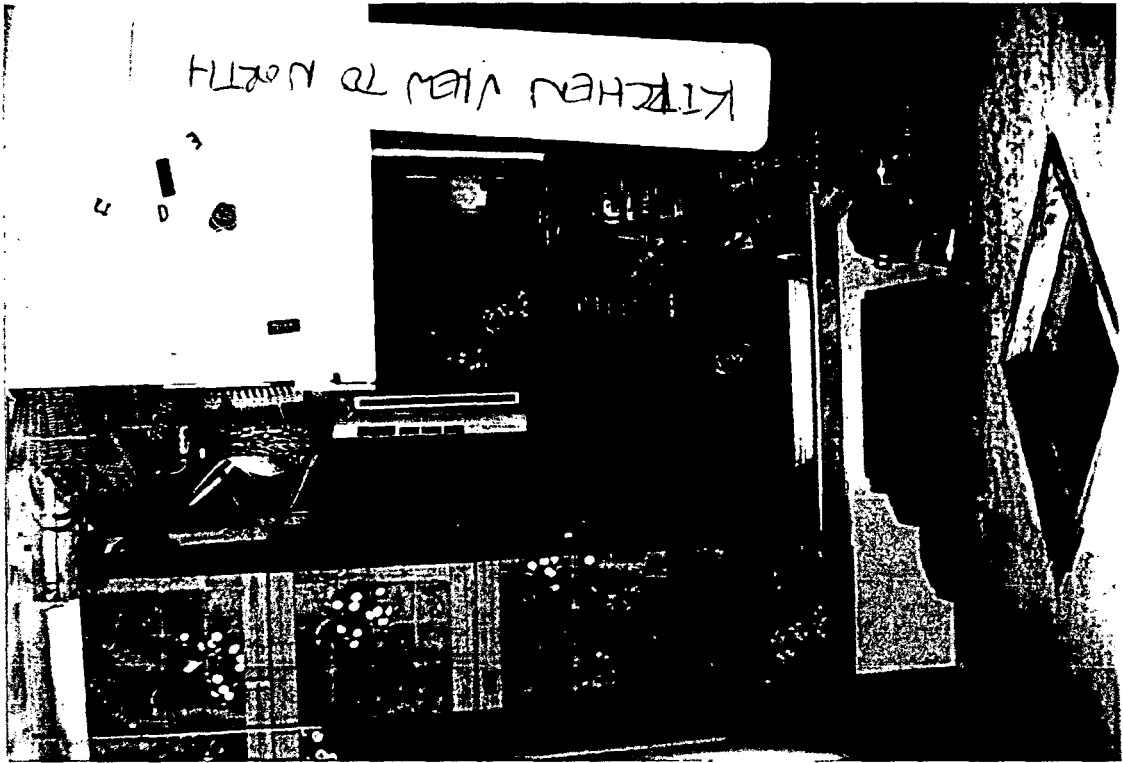


EAST ELEVATION (NO CONST. HERE)

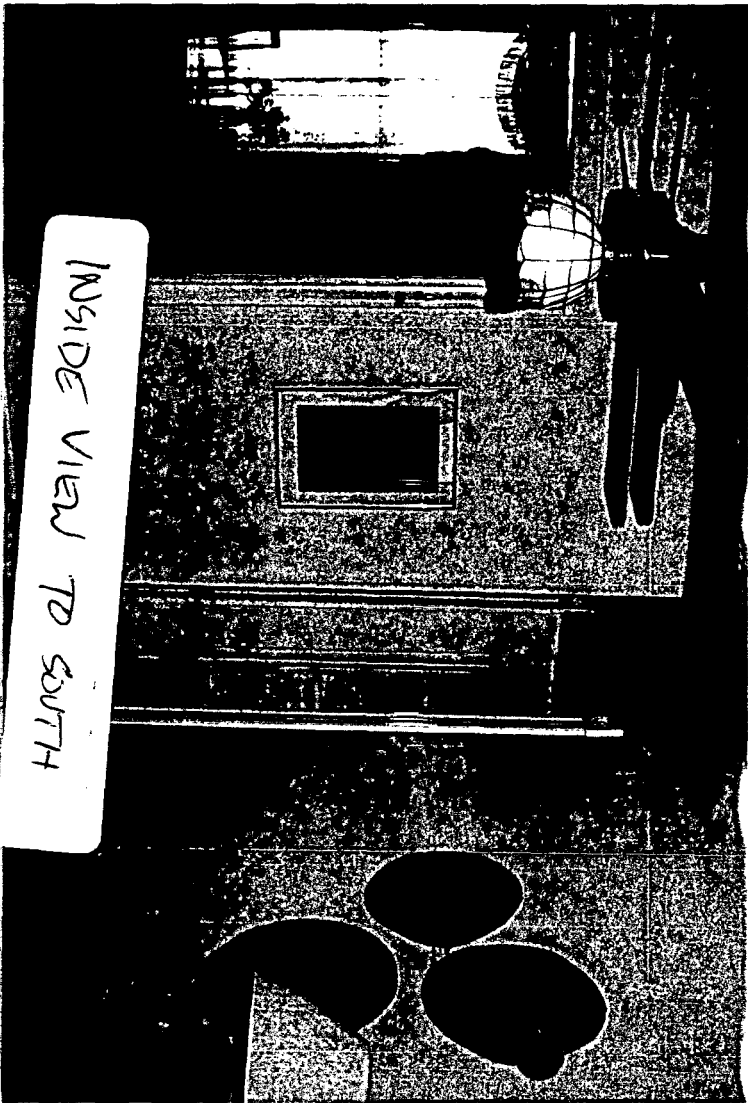


INSIDE VIEW TO NORTH

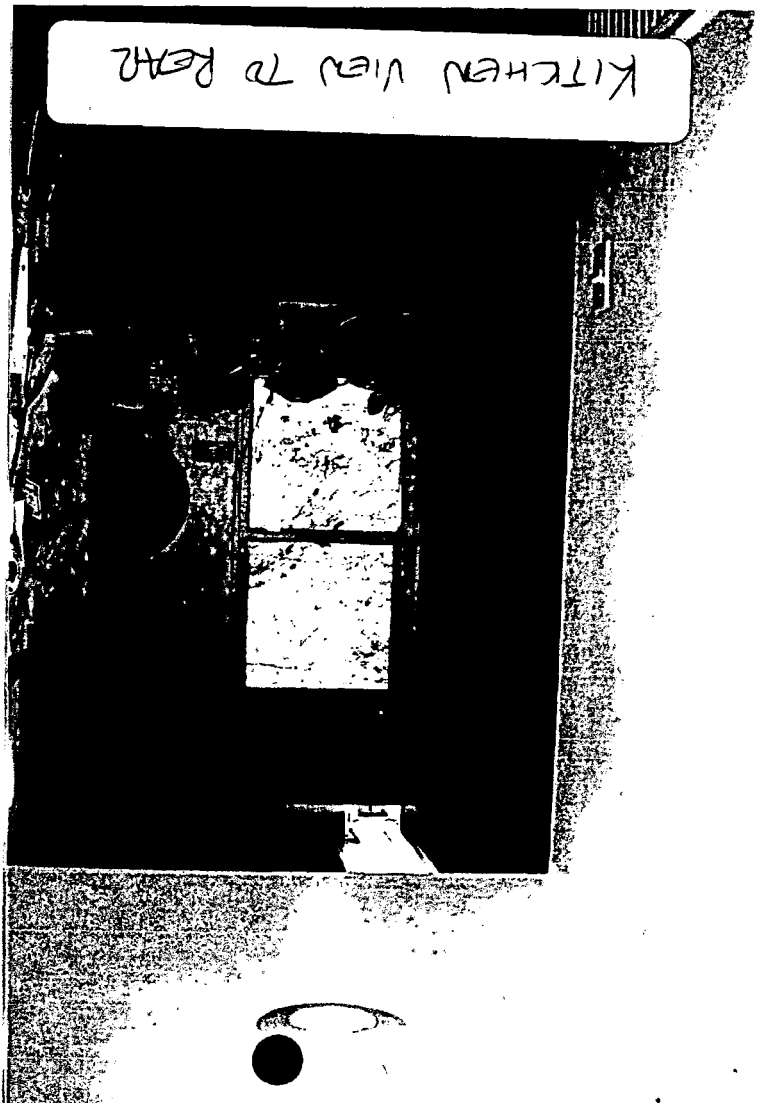
38



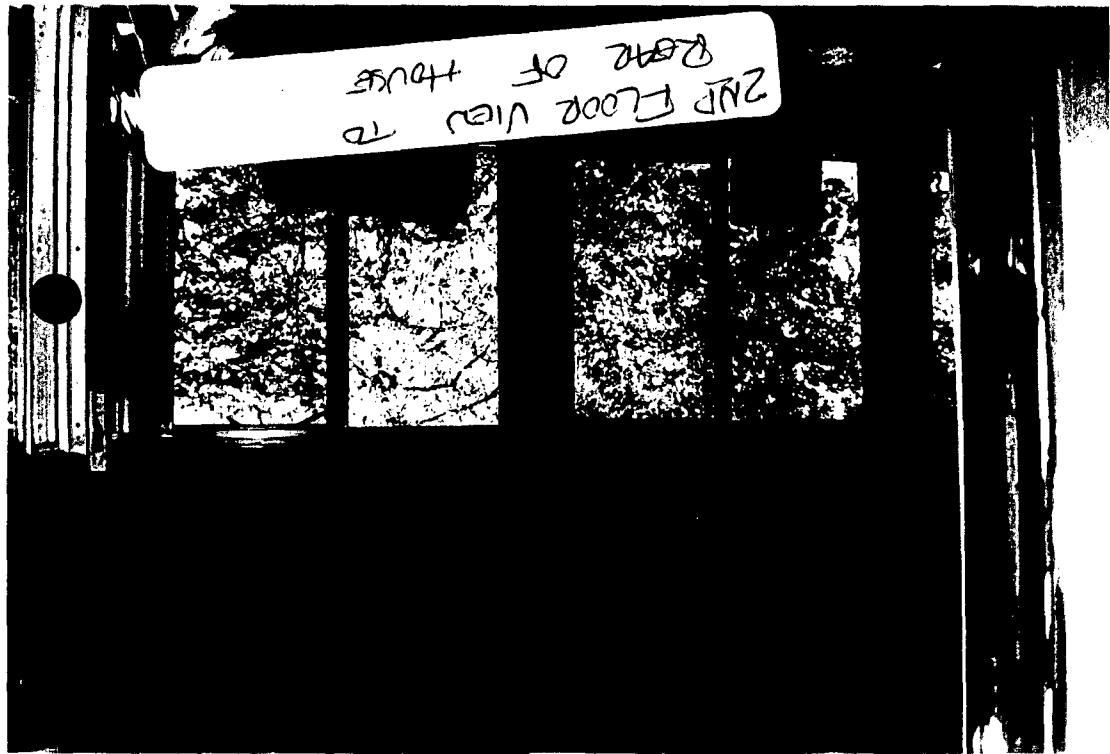
KITCHEN VIEW TO NORTH



INSIDE VIEW TO SOUTH



KITCHEN VIEW TO REAR



STYLE NO. 44-4P

P.O. BOX 407433 • ORLANDO, FL 32740 • (407) 884-3100

Print File
ARCHIVAL PRESERVES



WEST (FRONT OF HOUSE)



WEST (FRONT OF HOUSE)



SOUTH (LOOKING FROM FRONT)



SOUTH



SOUTH (SHOWING AREA OF
DEMOLITION/NEW CONSTRUCTION)



VIEW TO REAR FROM 3RD FL.



SOUTH ELEVATION



SECTION TO
BE
DEMOLISHED

EAST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



SOUTH - (2ND FL. DETAIL - AT ROOF)



REAR OF HOUSE - UNDER DECK

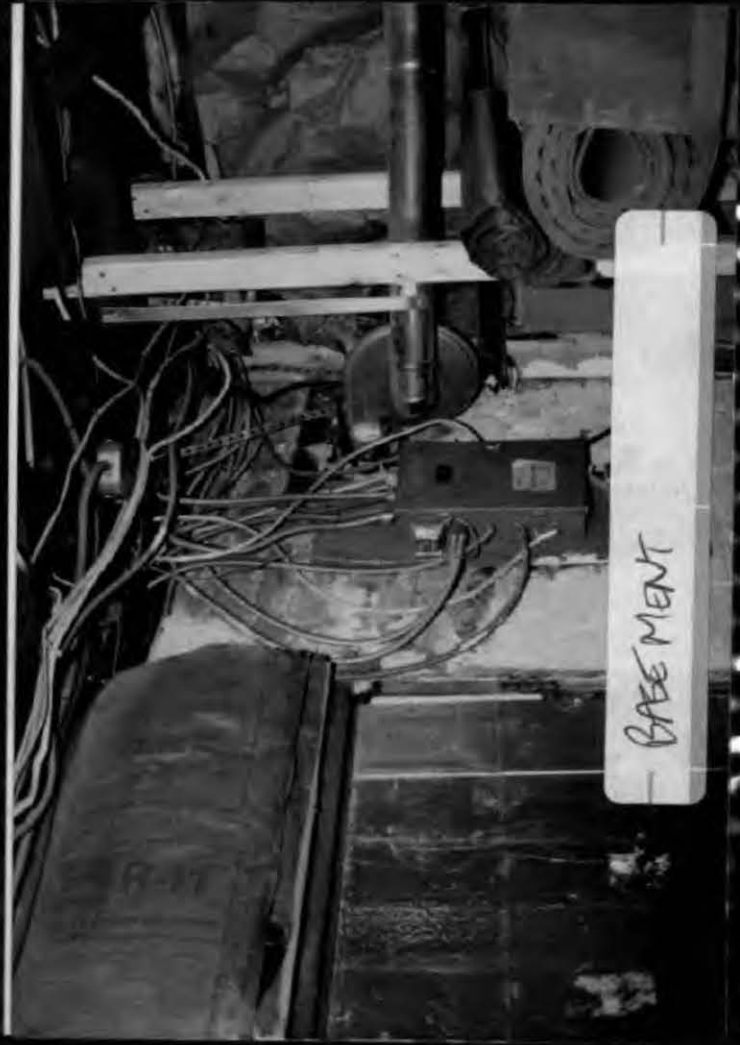
INSIDE VIEW TO NORTH



EAST ELEVATION (NO CONST. HERE)



BASEMENT



STYLE NO. 45-6P

P.O. BOX 607438 • ORLANDO, FL 32760 • (407) 884-3100

Print File
ARCHIVAL PRESERVES



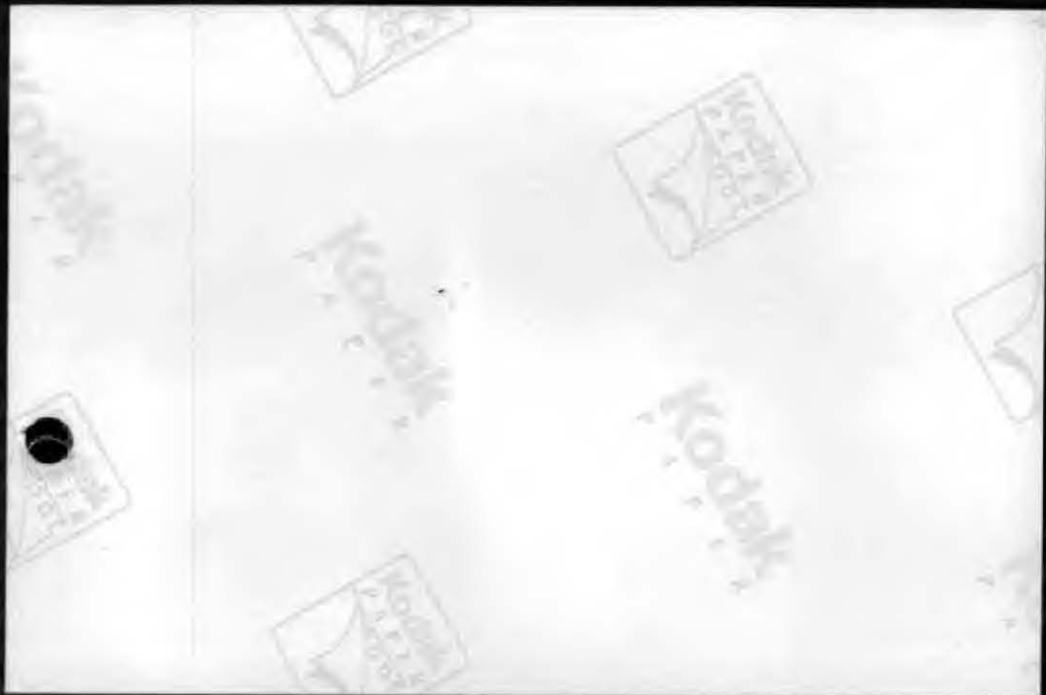
KITCHEN VIEW TO REAR



INSIDE VIEW TO SOUTH



KITCHEN VIEW TO NORTH



2ND FLOOR VIEW TO
REAR OF HOUSE