

23/65-98A-310 Market Street  
Brookeville (Brookeville HD)

Deeds Wells.

301-924-2117.

- 1) not saying each piece of wood is precious. they can be repl in kind
- 2) design material plan - not entirely clear appears to be for back yard deck - not a front porch

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

January 14, 1998

MEMORANDUM

TO: Donald E. Lang  
310 Market Street  
Brookeville, MD

FROM: Perry Kephart  
Historic Preservation Planner  
301-563-3400

SUBJECT: Repair of the Front Porch at 310 Market Street

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Your application for a Historic Area Work Permit was approved with the condition that **any porch material needing replacement should be replaced with materials that match the existing materials exactly, and with the following conditions:**

1. The porch railing is to be repaired, and not replaced.
2. The porch pillars are to be repaired, and not replaced.
3. The lattice work is to be repaired, and not replaced.
4. The brick pilings, including the footings were to be repaired, or replaced using exactly matching materials as stated above.

Matching repair materials include tongue and groove flooring installed perpendicularly to the house for the porch floor repair. **Decking was not approved for use as porch flooring.**

Changes to the design of the steps were not approved, although repair with matching materials was encouraged. **The design submitted for the stair railing was not approved, but a change in the railing design for the stair (not the porch) was approved with the new design to be submitted to staff for approval.**

A condition of approval was that the downspouts for the porch gutters be realigned in order that water not drain or pool around the porch pilings.

Attached is a tax credit application. Repairs of the porch with exactly matching materials qualify for a tax credit. On the accompanying memorandum is information on how to arrange a field inspection prior to commencement of the work and within two weeks following completion.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 1-14-98

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *GW*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

\_\_\_\_ Approved \_\_\_\_\_ Denied

Approved with Conditions:

1. Porch railing to be repaired & not replaced
  2. Porch pillars to be repaired & not replaced.
  3. Porch steps are to be repaired & not replaced.
  - \* 4. Porch flooring & floor joists are to be replaced with in-kind (same) materials, including tongue & groove flooring. (Decking not to be used for flooring)
  5. Brick pilings to be repaired, including the footings & not replaced.
  6. Lattice to be repaired & not replaced.
- THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Donald E Lang

Address: 310 Market St, Brookeville

- \* 7. Downspouts should be realigned to drain away
- \* 8. Steps railing (not porch railing) is replaced, design to be submitted to staff for approval.
- \* 9. All materials must match existing exact ly.

All materials must match existing exact ly.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850  
301/217-6370

12-2-97

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/495-4570

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: DONALD LANE

Daytime Phone No.: 301 774 1929

Tax Account No.: 731825

Name of Property Owner: DONALD E LANE Daytime Phone No.: 301 774 1929

Address: 310 MARKET ST BROOKVILLE MARKET 20835  
Street Number City Street Zip Code

Contractor: LONG FENCE Phone No.: 301 428 9090

Contractor Registration No.: 69050

Agent for Owner: DAVID KRAJEWSKI Daytime Phone No.: 301 428 9090

**LOCATION OF BUILDING/PREMISE**

House Number: 310 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: GA AVE & MARKET ST

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: 13540 Folio: 300 Parcel: 49

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 4938.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Donald E Lane Signature of owner or authorized agent  
Date: 12-2-97 10-17-97

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 1-14-98

Application/Permit No.: 97102200 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

2310000

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING PORCH IS A 6'x6' FRAME WITH 2"x1" FLOOR BOARDS. THIS IS SUPPORTED BY BRICK PILLARS. A SKIRT OF LATTICE COVERS THE BOTTOM OF PORCH.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVE EXISTING FLOOR, FRAME, STEPS, BRICK PILLARS, LATTICE AND RAIL. REPLACE THE ABOVE WITH NEW MATERIAL ACCORDING TO CONTRACTOR SPECIFICATIONS. (ATTACHED)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

12-24

From Don Lang  
To Perry Kephart  
Re NAMES of Adjoining properties

SIDNEY J. ROTHER  
301 MARKET ST  
Brookeville Md 20833

309 MARKET ST  
Brookeville Md 20833

2 HIGH ST  
Brookeville Md 20833

Todd CAME VANGELDER  
306 MARKET ST  
Brookeville Md 20833



Adjacents:

308

312

307

309

311

} Market Street

Brooksville MD 20833.

Postmaster: public notice - please deliver to  
post office box number.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 1-14-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section *gwr*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

# # EXISTING SITE PLAN #

Washington, D.C.

and  
P.G. County

(301) 350-2400 (Washington)  
(410) 793-0443 (Baltimore)  
1-800-486-4283 (Other Areas)  
(301) 336-0743 (Fax)

Fairfax,  
Loudoun,  
& Prince William  
Counties

(703) 471-0960 (Fairfax)  
(703) 327-6557 (Loudoun)  
(703) 494-1000 (Prince William)  
(703) 478-3545 (Fax)

Montgomery  
Washington & Carroll  
Counties  
Frederick

(301) 428-9040 (Montgomery Co.)  
(301) 662-1600 (Frederick Co.)  
1-800-222-9650 (Other Areas)  
(301) 874-5706 (Fax)

Anne Arundel, Howard  
Calvert, Charles,  
St. Mary's Counties  
and Eastern Shore

(410) 793-0600 (Baltimore)  
(301) 261-3444 (Washington)  
1-800-296-5664 (Other Areas)  
(301) 261-0643 (Fax)

Baltimore Co.  
Baltimore City  
Harford Co.  
Cecil Co.

(410) 682-5380 (Baltimore)  
1-800-296-3362 (Other Areas)  
(410) 391-3449 (Fax)

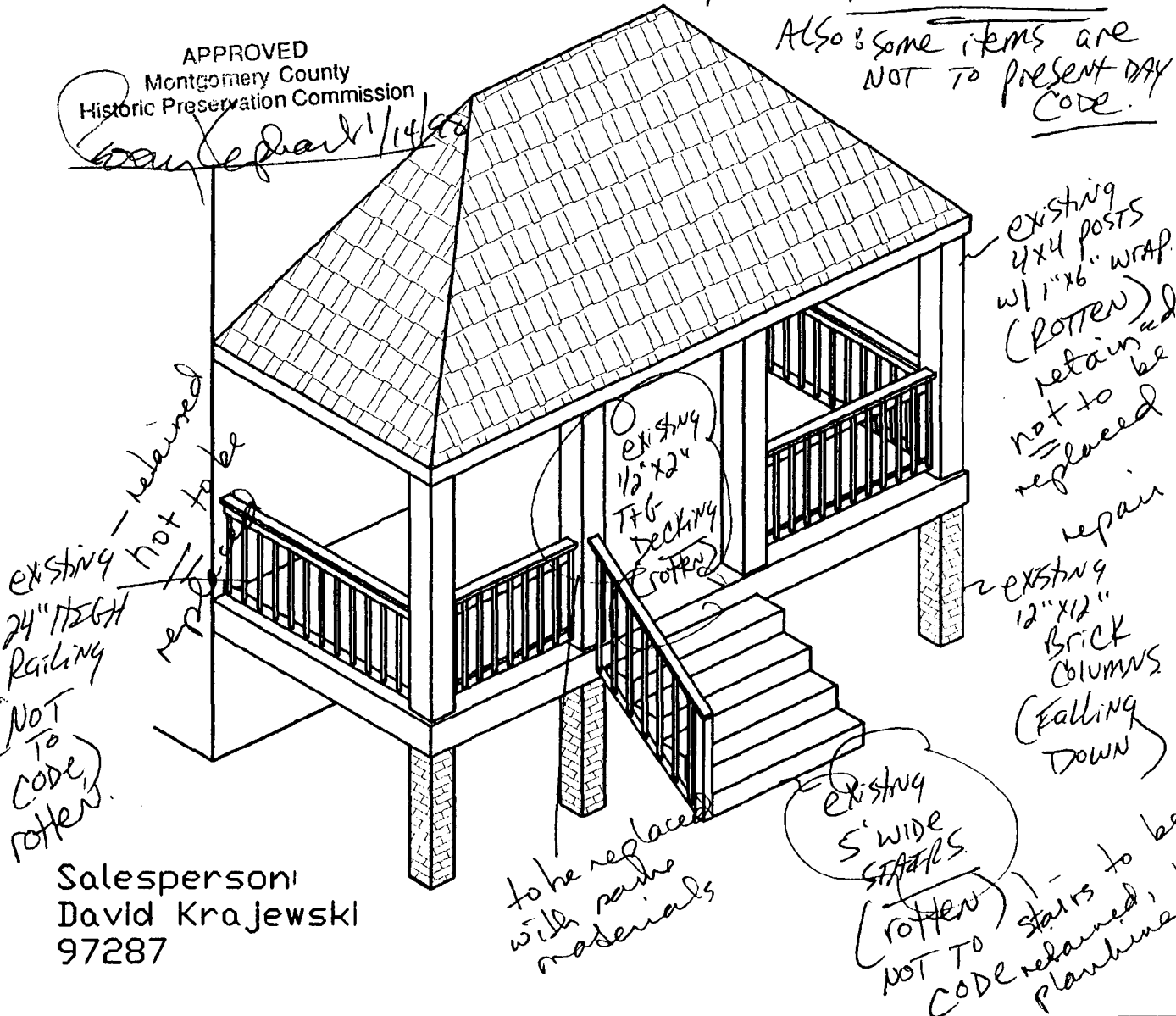
Replace Existing Porch for the  
Lang Residence

APPROVED  
Montgomery County  
Historic Preservation Commission

*Wanted Part 1/14/98*

NOTE: ALL EXISTING DECKING, RAILING,  
STAIRS, AND 4x4 POSTS ARE  
ROTTEN AND ARE NOT  
PRESSURE TREATED MATERIALS.

ALSO: SOME ITEMS ARE  
NOT TO PRESENT DAY  
CODE.



Sheet No. \_\_\_\_\_ of \_\_\_\_\_ Scale

Project: \_\_\_\_\_ Date: \_\_\_\_\_

LONG® FENCE

Residence \_\_\_\_\_  
Phone (H) \_\_\_\_\_  
Phone (W) \_\_\_\_\_

Salesperson:  
David Krajewski  
97287

~~#A~~ NOTE: Attempt IS to Bring LANG Residence up to CODE, AND up to Normal STANDARD of Living, NOT to Change Historical Looks.

Washington, D.C.  
and  
P.G. County

(301) 350-2400 (Washington)  
(410) 793-0443 (Baltimore)  
1-800-486-4283 (Other Areas)  
(301) 336-0743 (Fax)

Fairfax,  
Loudoun,  
& Prince William  
Counties

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Montgomery  
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Anne Arundel, Howard  
Calvert, Charles,  
St. Mary's Counties  
and Eastern Shore

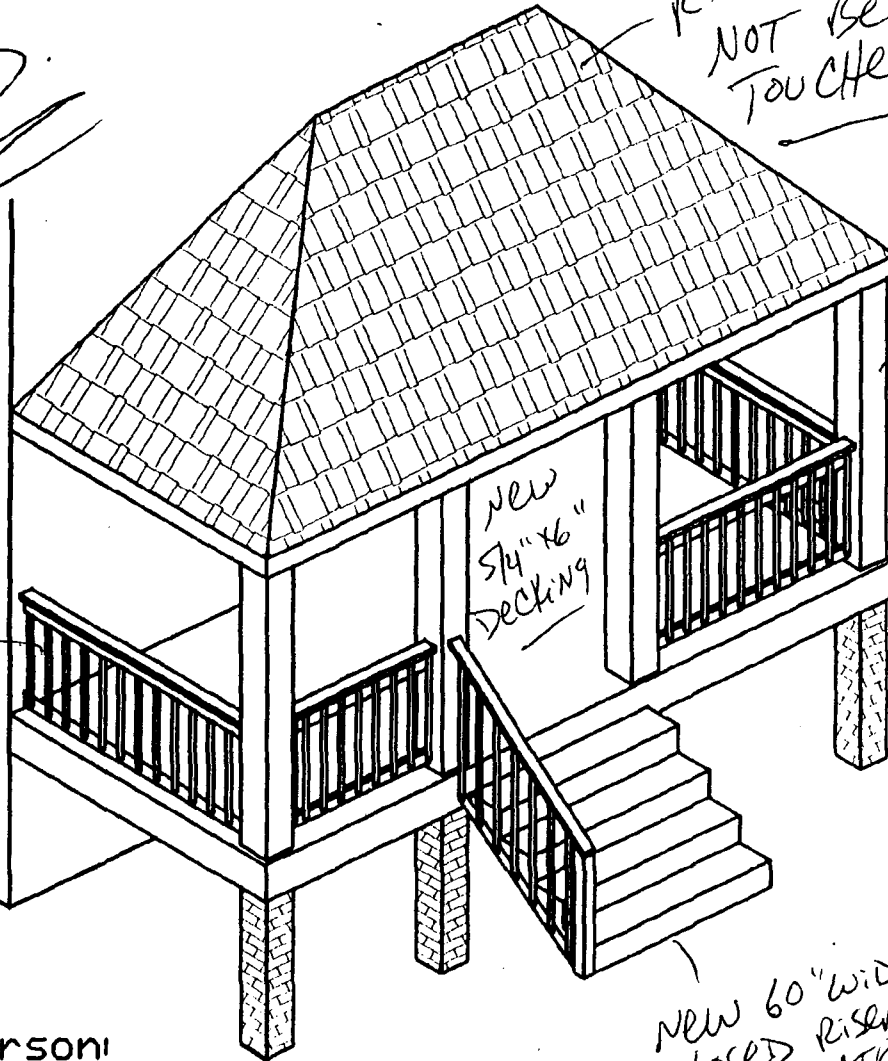
(410) 793-0600 (Baltimore)  
(301) 261-3444 (Washington)  
1-800-296-5664 (Other Areas)  
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Baltimore Co.  
Baltimore City  
Harford Co.  
Cecil Co.

(410) 682-5380 (Baltimore)  
1-800-296-3362 (Other Areas)  
(410) 391-3449 (Fax)

Replace Existing Porch for the  
Lang Residence

REVISED



new 36"  
HIGH  
PRESSURE  
TREATED  
RAILING  
(PER DETAIL)

new 60" wide  
CLOSED RISER  
STAIRS

new  
12" x 12"  
BRICK  
COLUMNS

not approved

Salesperson:  
David Krajewski  
97287

Not approved

Sheet No. _____	Scale _____
Project: _____	Date: _____
<b>LONG FENCE</b>	
Residence _____	Phone H: ( ) - ( ) - _____
	Phone W: ( ) - ( ) - _____

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 310 Market Street	<b>Meeting Date:</b> 01/14/98
<b>Resource:</b> Brookeville Historic District	<b>Review:</b> HAWP
<b>Case Number:</b> 23/65-98A	<b>Tax Credit:</b> Yes
<b>Public Notice:</b> 12/31/97	<b>Report Date:</b> 01/07/98
<b>Applicant:</b> Donald E. Lang	<b>Staff:</b> Perry Kephart
<b>PROPOSAL:</b> Porch Alteration	<b>RECOMMEND:</b> Approval With Conditions

7-0

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**DATE OF CONSTRUCTION:** ca. 1830, front facade and porch ca. 1870

**SIGNIFICANCE:** Primary Resource (19th century) in Brookeville Historic District.

**ARCHITECTURAL DESCRIPTION**

Three-story, three bay, side gable linear wood house with lapped wood siding now covered by asbestos shingle. Basement level is constructed of fieldstone with a side entry door. The front facade has been altered with a Gothic Revival front gable and with a shallow-hipped roof, central entry porch set on brick pilings with chamfered porch supports and an inset picket porch railing around three sides. Heavy latticework is set between the pilings. The porch has tongue and groove flooring. An out-of-period single plank painted wood railing has been added to one side of four wooden front steps set on a concrete bottom plate. The front gable has a round arched window in the pediment and scalloped vergeboard detail. The front gable and both end gables are decorated with patterned painted wood shingles.

**BACKGROUND**

The historic resource in question is a primary resource in the Brookeville Historic District, and as such is subject to the highest level of review. The house appears to have been constructed in the first half of the 19th century in a simple linear design seen in German and Quaker settlements from the 18th and early 19th century whereby the lower kitchen or living level was built of stone at ground level with a frame or log structure of one to two stories above. This can still be seen. The subject house has been modified with a Gothic Revival front porch and front gable, and the addition of Gothic Revival lapped siding decoration on the end gables to match that in the front gable. The architectural details from both the early and later styles, including the front porch that is the subject of this application, are substantially intact.

## PROPOSAL

Applicant proposes to replace the original flooring, floor fascia boards, porch supports, step and porch railings, steps, brick pilings and latticework of the Gothic Revival front porch as follows:

1. Replace two inch tongue and groove flooring, set perpendicularly to the house and slightly canted away from the structure, with parallel 1 1/4" x 6" wood openwork decking. (Parallel floor joists are proposed to be replaced by perpendicular floor joists.)
2. Replace chamfered porch supports (pillars) with 6"x 6" wood posts.
3. Replace four wood steps and concrete two step bottom plate with eight shallow rise (8 1/4") wood stairs.
4. Replace 24" porch railing that has inset spindles (pickets) and heavy wood caprail with 36" wood porch railing with 2x2 pickets set against 2x4 horizontal runner with beveled caprail.
5. Single plank 2x4 stair rail is to be replaced with railing to match the proposed new porch railing.
6. Replace in-kind the brick pilings with new brick pilings, old lattice with new, and old facing boards with new.

No changes are proposed for the gutters, downspouts, or porch roof.

## STAFF DISCUSSION

As a general principle of historic preservation, it is always better to repair deteriorated architectural features rather than performing total replacement. This is particularly true of important, visible features like front porches.

The Secretary of the Interior's Guideline for Rehabilitation #6 states:

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive features, the new feature will match the old in design, color, texture, and, where possible, materials.

For these reasons, staff has looked at this proposal very carefully. The front porch for which the proposal has been submitted appears to be adversely affected by a number of factors. A large evergreen tree in the front yard has overgrown the porch such that droppings from the tree appear to be damaging the front porch steps. Pruning back the tree may alleviate this problem. Additionally, the applicant has installed gutters around the perimeter of the porch roof with downspouts that empty near the base of the corner pilings of the porch. Staff is concerned that this is undermining the footings for the pilings. In staff's opinion, the drainage should be corrected before the pilings are repaired, or replaced.

Staff - after visiting the site and examining the porch - feels that this porch does not require total replacement. It does require some significant repairs that could be considered a

maintenance project. A Historic Area Work Permit would not be required if the needed porch repairs and maintenance work were made with in-kind materials and design. The project would also be eligible for Tax Credits.

The repairs, in addition to the drainage and pruning, that appear necessary are:

- 1) replacement of the tongue-in-groove flooring on about one-half of the porch,
- 2) repair of the facing boards at the front corners of the porch,
- 3) epoxy and molding repair at the base of two of the porch supports,
- 4) reinstalling several spindles that have fallen out of the porch railing,
- 5) repair or replacement of any rotted floor joists under the rotten spot in the flooring,
- 6) replacement of the planking on the steps,
- 7) refastening loose lattice pieces,
- 8) repair of loose mortar and repositioning of the brick pilings.

**To summarize, the original Gothic Revival features of the front porch of this outstanding resource are substantially intact, needing only maintenance. The porch railing, the pillars, the lattice, most of the joists and stringers, and much of the flooring is intact, with no evidence of rot or decay, except as noted and could be retained. The brick pilings require repair, not replacement.**

If the applicant feels strongly that the elements of the porch must be replaced, then they must be replaced with exactly matching, in-kind materials - tongue and groove porch flooring, posts milled to replicate the existing, a railing matching the existing, etc.

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** with conditions the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the following conditions:

1. The porch railing is to be repaired and not replaced.
2. The porch pillars are to be repaired and not replaced
3. The porch steps are to be repaired and not replaced.
4. The porch flooring and floor joists are to be repaired with in-kind materials, including tongue and groove flooring.

5. The brick pilings are to be repaired and not replaced.
6. The lattice is to be repaired and not replaced.
7. The downspouts should be realigned to drain away from the historic resource.
8. Replacement of the stair railing should be of a design to be submitted to staff for approval, but should be of painted wood and similar to the existing porch railing.
9. If any porch fabric must be replaced completely, then the replacement materials must match the existing exactly.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Staff further recommends that the applicant explore the repair of the existing porch elements and relocation of the gutter downspouts by contractors with experience in the repair of historic wood houses. Staff recommends that the applicant apply for a tax credit when repairs have been completed.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DONALD L. LANE

Daytime Phone No.: 301 774 1429

Tax Account No.: 731825

Name of Property Owner: DONALD E. LANE Daytime Phone No.: 301 774 1429

Address: 310 MARKET ST BROCKEVILLE MARKET 20933  
Street Number City State Zip Code

Contractor: LONG FENCE Phone No.: 301 428 9090

Contractor Registration No.: 69050

Agent for Owner: DAVID KRAJEWSKI Daytime Phone No.: 301 428 9090

## LOCATION OF BUILDING/PREMISE

House Number: 310 Street: MARKET

Town/City: BROCKEVILLE Nearest Cross Street: GA AVE & MARKET ST

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: 13546 Folio: 300 Parcel: 49

## PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- |                                    |                                  |  |  |                                    |  |   |                               |                               |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family    |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other:    |  |   |                               |                               |

1B. Construction cost estimate: \$ 4938.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: INDIVIDUAL SEWER SYSTEM

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Donald E. Lane  
 Signature of owner or authorized agent

12-29-97 ↑  
10-17-97  
 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

43

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**



**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING PORCH IS A 2' x 6" FRAME WITH 2' x 1" FLOOR BOARDS. THIS IS SUPPORTED BY BRICK PILLARS AND BRICK LATTICE COURSE. THE BOTTOM OF PORCH.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVE EXISTING FLOOR, FRAME, STEPS, BRICK PILLARS, LATTICE AND RAIL. REPLACE THE ABOVE WITH NEW MATERIAL ACCORDING TO CONTRACTOR SPECIFICATIONS. (ATTACHED)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

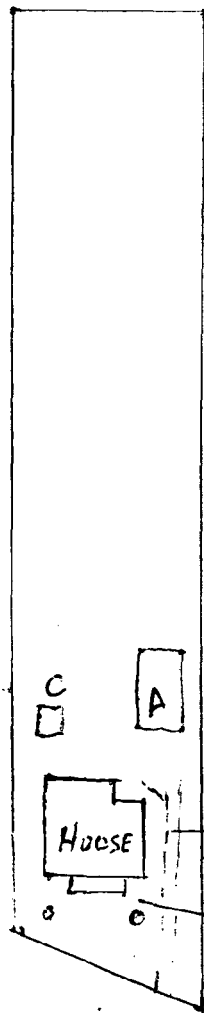
**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

5

12-2-97

310 MARKET STREET 1710-97



House 27 x 36

A 15 x 20

C 10 x 10

PorCH 7'5 x 15'

↓ NORTH

Scale

1 inch equals 1 perch

⑥

12-2-97



View from 308 Market Street



View from 312 Market Street



View from street

7

# # EXISTING SITE PLAN #

Washington, D.C.  
and  
P.G. County

(301) 350-2400 (Washington)  
(410) 793-0443 (Baltimore)  
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(301) 336-0743 (Fax)

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& Prince William  
Counties

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and Eastern Shore

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(301) 261-3444 (Washington)  
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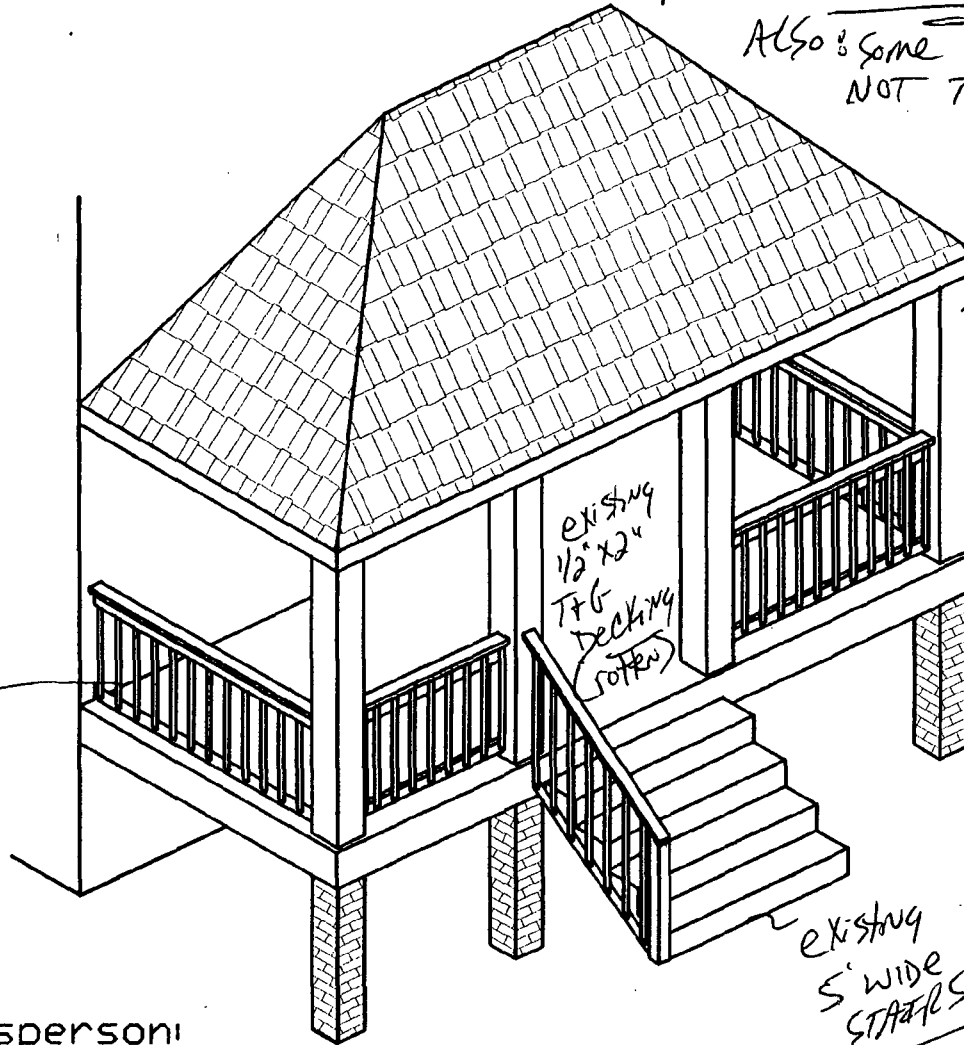
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Cecil Co.

(410) 682-5380 (Baltimore)  
1-800-296-3362 (Other Areas)  
(410) 291-3449 (Fax)

Replace Existing Porch for the  
Lang Residence

NOTE: ALL EXISTING DECKING, RAILING,  
STAIRS, AND 4x4 POSTS ARE  
ROTTEN AND ARE NOT  
PRESSURE TREATED MATERIALS.

ALSO: SOME ITEMS ARE  
NOT TO PRESENT DAY  
CODE.



existing  
24" HIGH  
RAILING  
(NOT  
TO  
CODE)  
(ROTTEN)

existing  
1/2" x 2"  
T&G  
DECKING  
(ROTTEN)

existing  
4x4 POSTS  
w/ 1"x6" WRAP.  
(ROTTEN)

existing  
12" x 12"  
BRICK  
COLUMNS  
(FALLING  
DOWN)

existing  
5' WIDE  
STAIRS  
(ROTTEN)  
NOT TO  
CODE

Salesperson:  
David Krajewski  
97287

Sheet No. \_\_\_\_\_  
of \_\_\_\_\_  
Scale \_\_\_\_\_

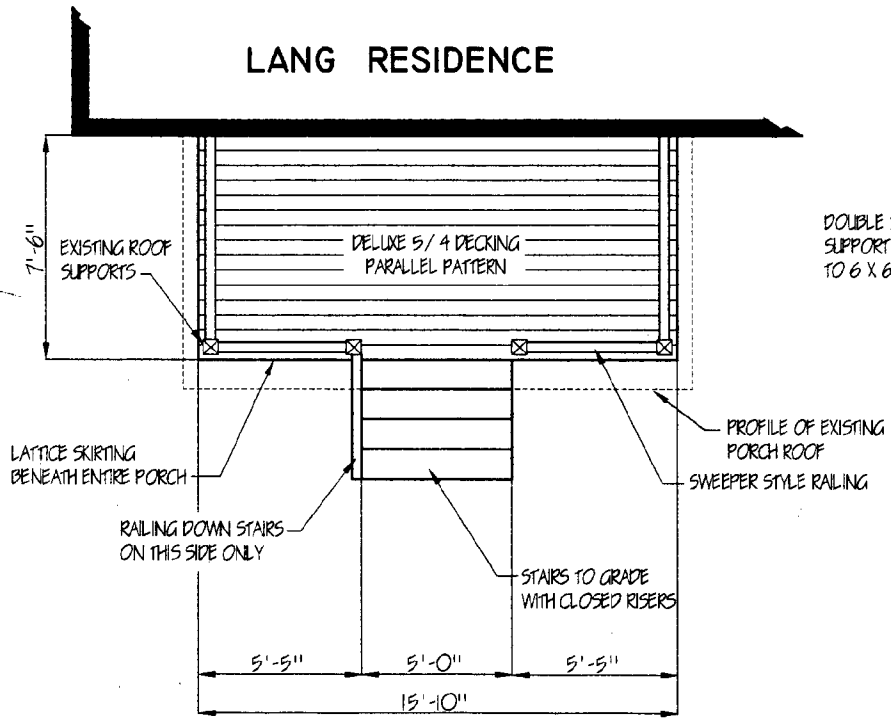
Project: \_\_\_\_\_  
Date: \_\_\_\_\_

LONG® FENCE

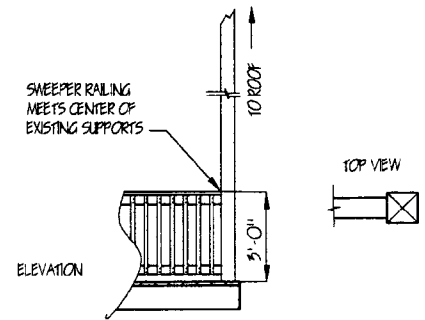
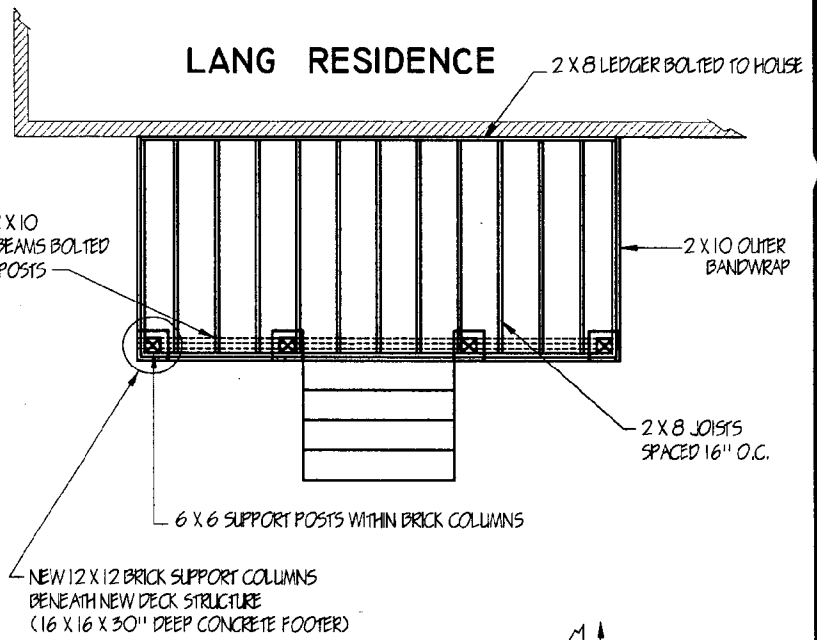
Residence \_\_\_\_\_  
Phone (H) \_\_\_\_\_  
Phone (C) \_\_\_\_\_



# PROPOSED DELUXE DECK \ FRAMING PLAN



NOTE:  
2 X 10 PRESSURE TREATED BANDWRAP ON STAIR STRINGERS



DRAWING BY:  
RICHARD F. MILLS

COUNTY:  
MONTG.

SCALE:  
1/4" = 1'

SALESPERSON:  
KRALENSKI

DATE: 11/97

**LONG FENCE**

LANG RESIDENCE  
310 MARKET STREET  
BROCKVILLE, MD 20835  
(301) 774-1429 HM  
( ) WK

9

Washington, D.C.

and  
P.G. County

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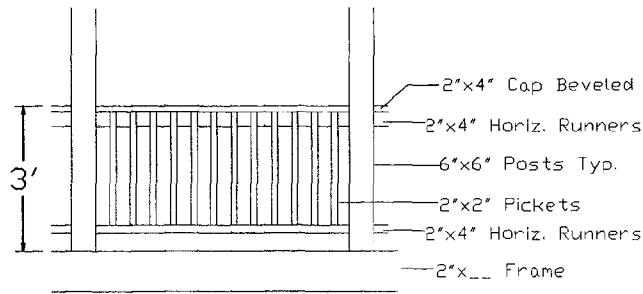
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Calvert, Charles,  
St. Mary's Counties  
and Eastern Shore

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(301) 261-3444 (Washington)  
1-800-296-5664 (Other Areas)  
(301) 261-0643 (Fax)

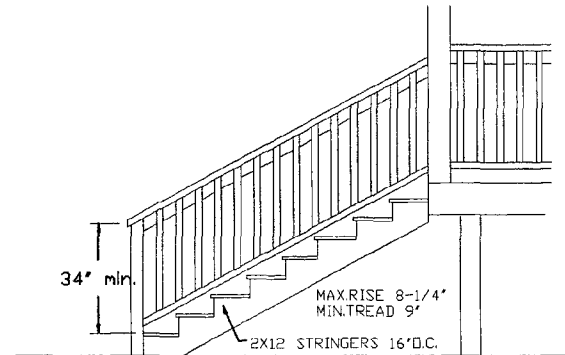
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Harford Co.  
Cecil Co.

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(410) 391-3444 (Fax)

# Proposed Details for the Lang Residence



SWEeper RAIL DETAIL



STAIR DETAIL

Sheet No. \_\_\_\_\_  
of \_\_\_\_\_  
Scale \_\_\_\_\_

Project: \_\_\_\_\_  
Date: \_\_\_\_\_

# LONG® FENCE

Residence \_\_\_\_\_  
Phone H/C \_\_\_\_\_  
Phone W/C \_\_\_\_\_

~~NOTE~~ NOTE: Attempt is to bring LANG RESIDENCE UP TO CODE,

AND UP TO NORMAL STANDARD OF LIVING,  
 NOT TO CHANGE HISTORICAL LOOKS.

Replace Existing Porch for the  
 Lang Residence

Washington, D.C.  
 and  
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 Washington & Carroll  
 Counties  
 Frederick

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 1-800-222-9650 (Other Areas)  
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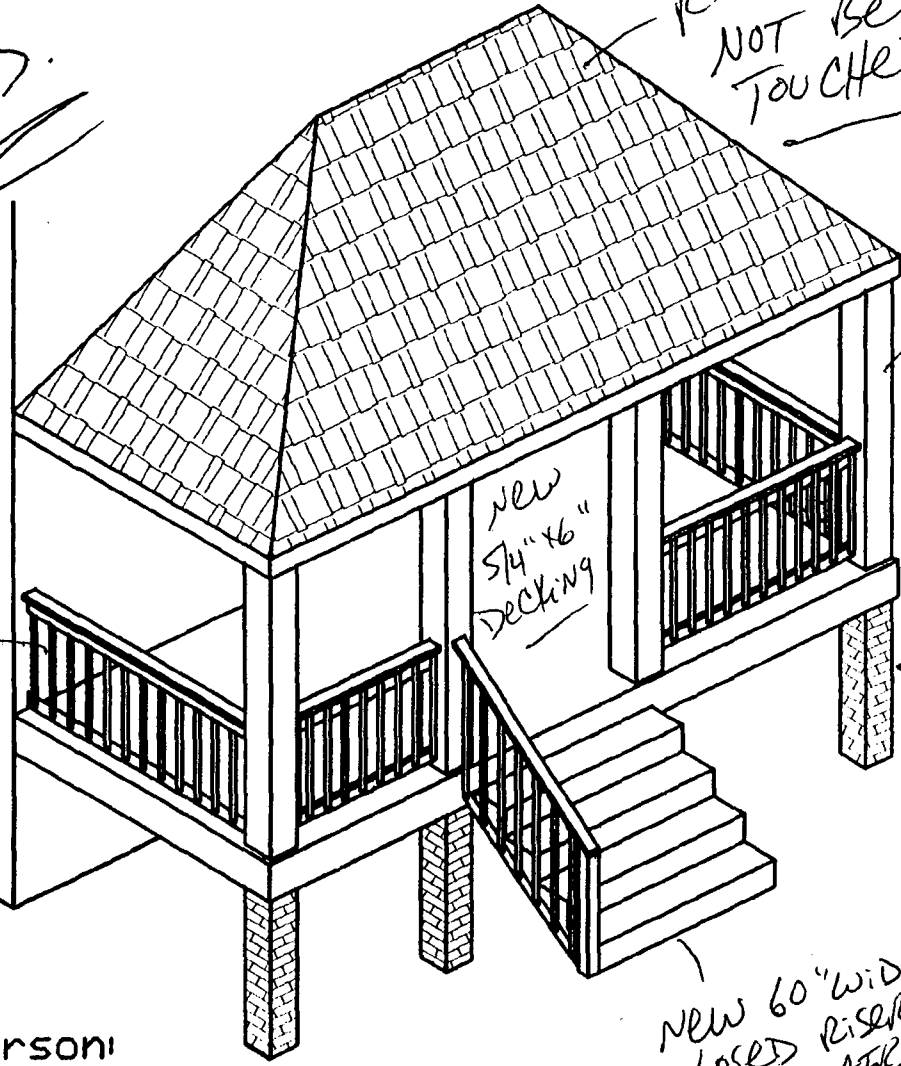
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 (410) 391-3400 (Fax)

*REVISED*



ROOF WILL NOT BE TOUCHED.

new 6x6 POSTS.

new 5/4" x 6" DECKING

new 12" x 12" BRICK COLUMNS.

new 36" HIGH PRESSURE TREATED RAILING (PER DETAIL)

new 60" wide CLOSED RISER STAIRS

Salesperson:  
 David Krajewski  
 97287

Sheet No. _____	of _____	Scale _____
Project: _____		Date: _____
<b>LONG® FENCE</b>		
Residence _____	Phone Hk _____	Phone Vc _____



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and  
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Anne Arundel, Howard  
Calvert, Charles,  
St. Mary's Counties  
and Eastern Shore

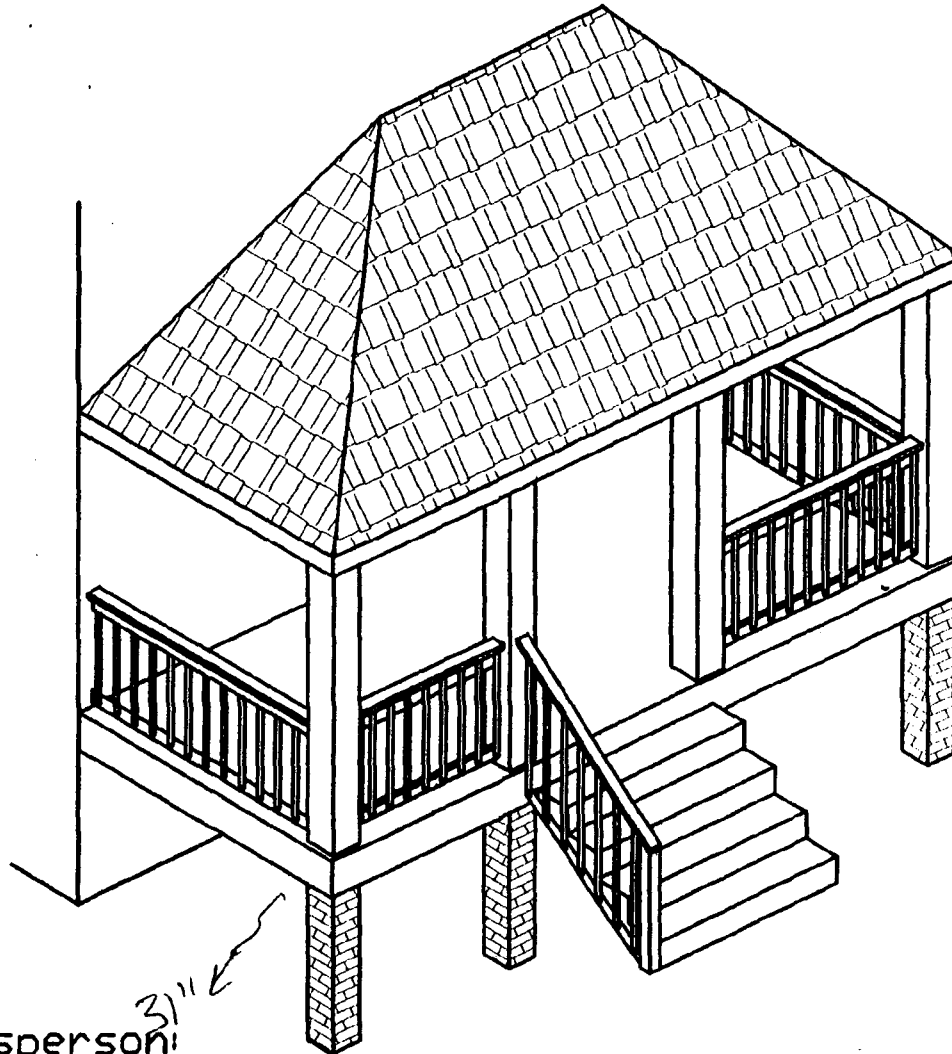
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1-800-296-5664 (Other Areas)  
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# Replace Existing Porch for the Lang Residence

*Elevation.*



Salesperson:  
David Krajewski  
97287



Sheet No. _____	of _____	Scale _____
Project: _____		Date: _____
<b>LONG® FENCE</b>		
Residence _____	Phone H( ) _____	Phone W( ) _____

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and  
P.G. County

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Counties  
Frederick

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(301) 261-3444 (Washington)  
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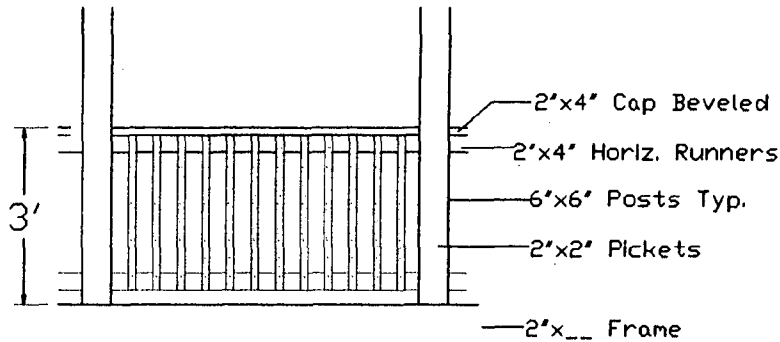
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13

*NEW railing detail*

# Replace Existing Porch for the Lang Residence



SWEEPER RAIL DETAIL

Salesperson:  
David Krajewski  
97287

Sheet No. \_\_\_\_\_  
of \_\_\_\_\_  
Scale \_\_\_\_\_

Project: \_\_\_\_\_  
Date: \_\_\_\_\_

**LONG® FENCE**

Residence \_\_\_\_\_  
Phone HK > \_\_\_\_\_  
Phone WC < \_\_\_\_\_

12-24

From DON LANG

To Perry Keppert

Re NAMES of Adjoining properties

SIDNEY J. ROTTEN

301 MARKET ST

Brookeville Md 20833

309 MARKET ST

Brookeville Md 20833

2 HIGH ST

Brookeville Md 20833

Todd CAME VANGELDER

306 MARKET ST

Brookeville Md 20833

Adjacents:

308

312

307

309

311

} Market Street

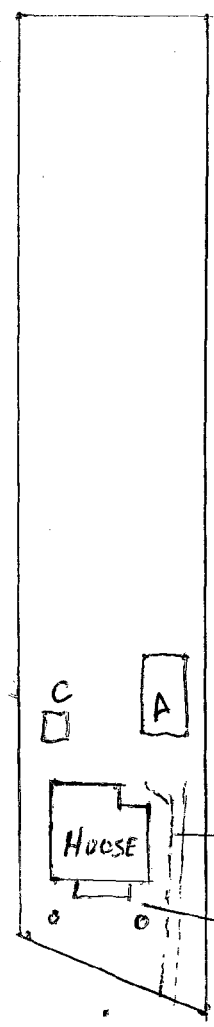
Brookeville MD 20833.

(14)

Postmaster: public notice - please deliver to post office box number.

12-2-97

310 MARKET STREET 1710-97



- House 27 x 36
- A 15 x 20
- C 10 x 10
- Porch 7'5" x 15'3"

↓ NORTH

Scale  
1 inch equals 1 perch

**LONG FENCE**

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Decks • Guardrail • Dog Kennels • Steel Bollards  
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DATE: 11/25/97 NUMBER OF PAGES: \_\_\_\_\_  
(Including Cover Sheet)

Please deliver the following to:  
Mrs. Perry Kephart

FROM: DAVID KRAJEWSKI

RE: \_\_\_\_\_

MESSAGE: Perry  
- Please call me if you have any  
questions. I hope this is what  
you need.

thanks,  
D. and

Washington, D.C.  
and  
P.G. County

(301) 350-2400 (Washington)  
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Anne Arundel, Howard  
Calvert, Charles,  
St. Mary's Counties  
and Eastern Shore

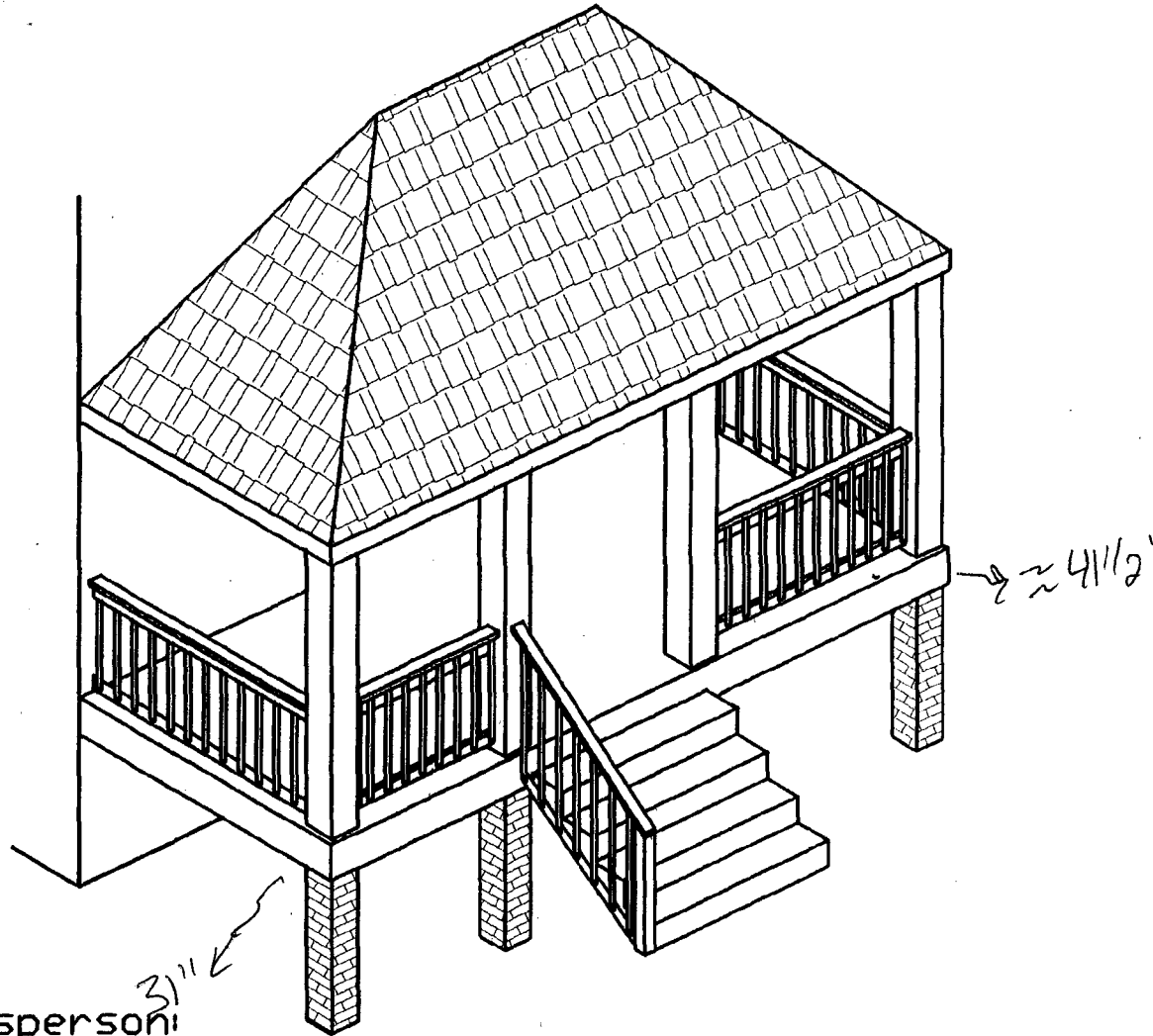
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(410) 391-3449 (Fax)

Replace Existing Porch for the  
Lang Residence

*Elevation.*



Salesperson:  
David Krajewski  
97287

Sheet No. \_\_\_\_\_  
of \_\_\_\_\_  
Scale \_\_\_\_\_

Project: \_\_\_\_\_  
Date: \_\_\_\_\_

LONG® FENCE

Residence \_\_\_\_\_  
Phone HC ) - \_\_\_\_\_  
Phone VC ) - \_\_\_\_\_



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and  
P.G. County

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Anne Arundel, Howard  
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and Eastern Shore

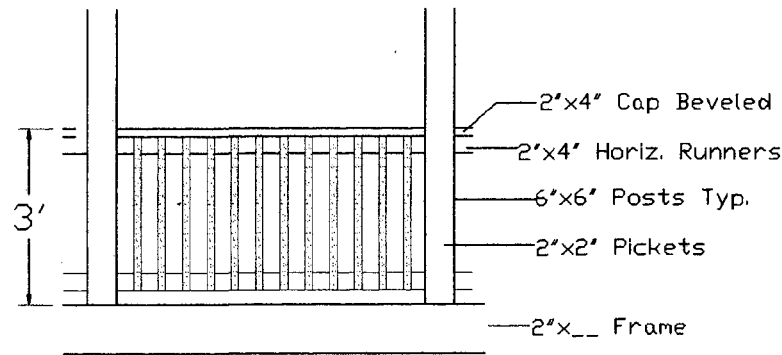
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(301) 261-0643 (Fax)

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*NEW railing detail*

Replace Existing Porch for the  
Lang Residence



SWEEPER RAIL DETAIL

Salesperson:  
David Krajewski  
97287

Sheet No. \_\_\_\_\_  
of \_\_\_\_\_  
Scale \_\_\_\_\_

Project: \_\_\_\_\_

Date: \_\_\_\_\_

LONG® FENCE

Residence \_\_\_\_\_

Phone HC > >  
Phone VC < <

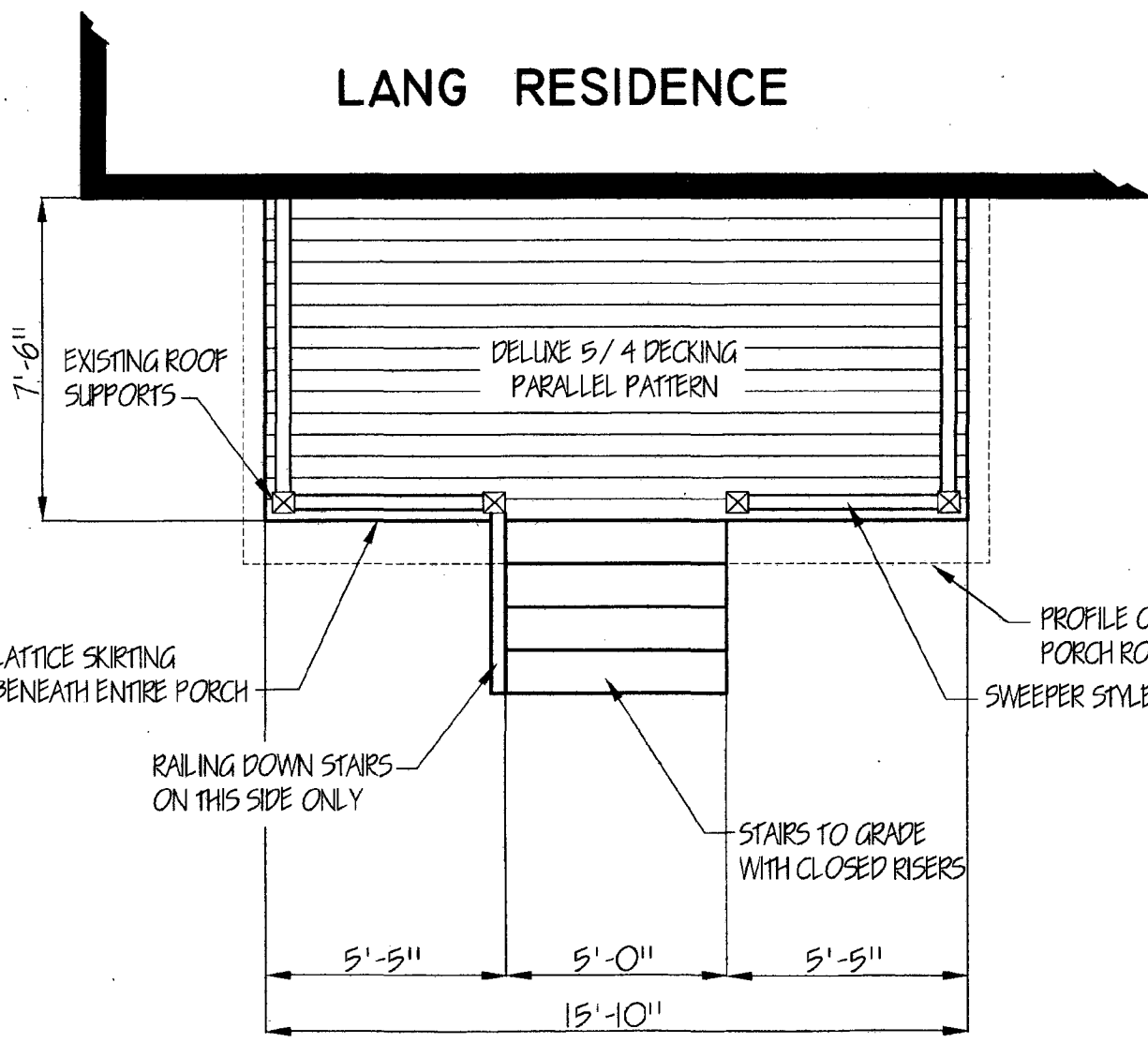
# PROPOSED DELUXE DECK \ FRAMING PLAN

DRAWING BY:  
RICHARD F. MILLS  
COUNTY:  
MONTG.  
SCALE:  
1/4" = 1'

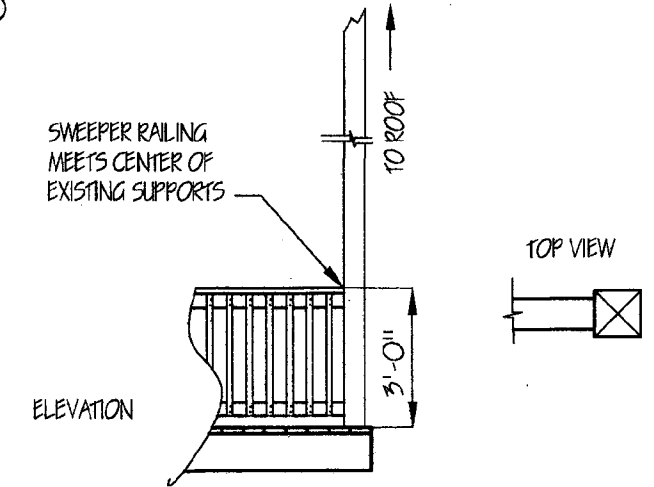
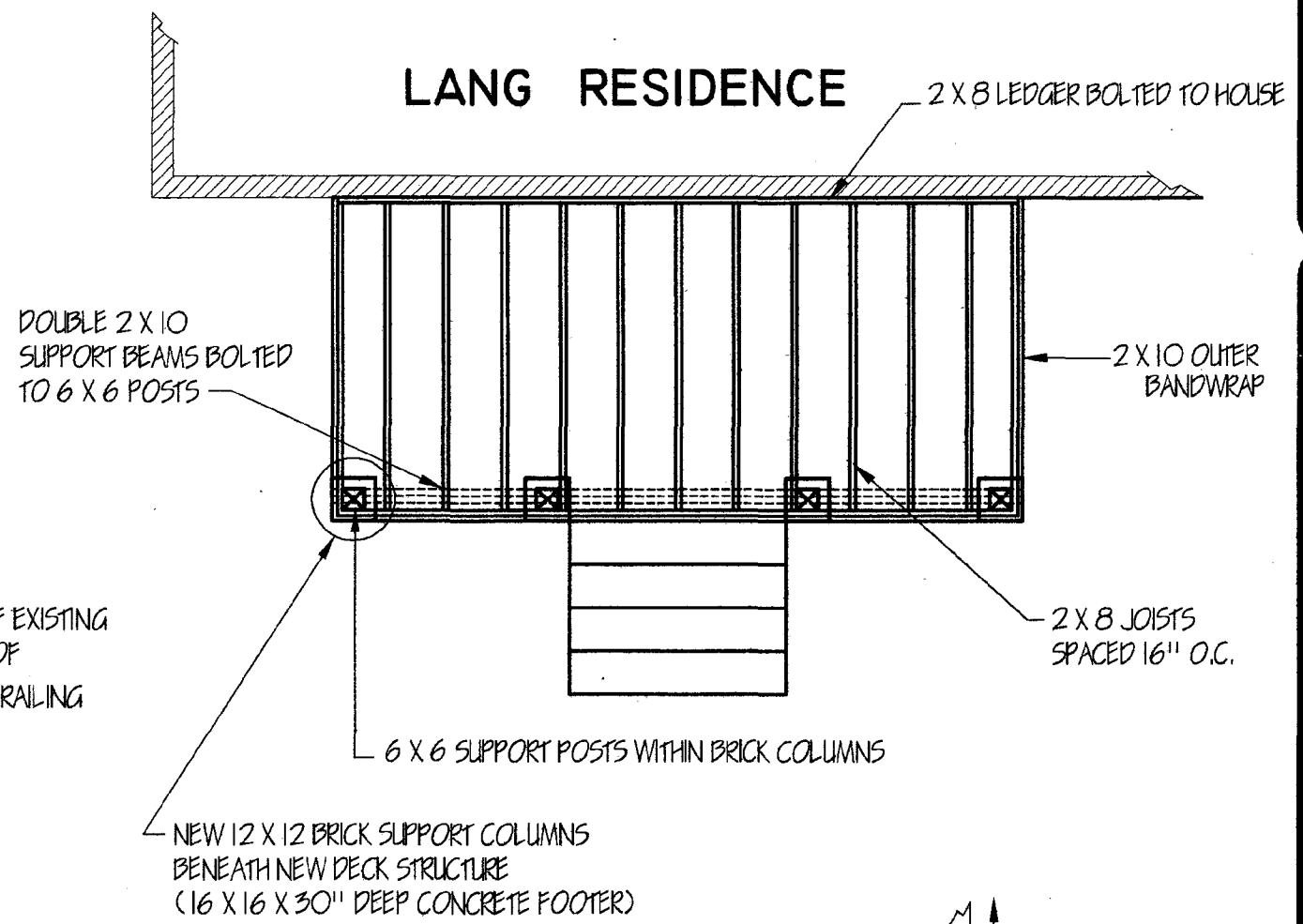
SALESPERSON:  
KRAJENSKI  
DATE: 11/97

## LONG FENCE<sup>®</sup>

LANG RESIDENCE  
310 MARKET STREET  
BROOKVILLE, MD 20833  
(301) 774-1429 PM WK



NOTE:  
2 X 10 PRESSURE TREATED BANDWRAP ON STAIR STRINGERS



Smith  
J  
Co

12-2-97

VIEW  
from  
308  
MARKET  
STREET



VIEW  
from  
312  
MARKET  
STREET



VIEW  
from  
STREET



12-2-97



View from 308 Market Street



View from 312 Market Street



View from street



2520 Urbana Pike  
Hjamsville, Maryland 21754-8624  
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Fax: (301) 874-5706

FACSIMILE SHEET

DATE: 10/31/97

NUMBER OF PAGES: 2  
(Including Cover Sheet)

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Perry Kephart

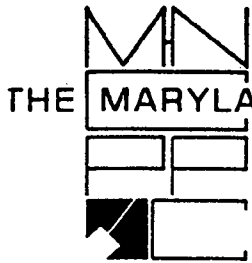
FROM: DAVID KRISTENSKI

RE: \_\_\_\_\_

MESSAGE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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Our fax number is: (301) 874-5706



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

**FAX TRANSMITTAL SHEET**

**Historic Preservation Section  
Department of Park & Planning**

Telephone Number: (301) 495-4570

Fax Number: (301) 495-1307

TO: Devon Stjewski FAX NUMBER: 301 874-5706

FROM: Perry Kephart PHONE NUMBER: 301 495-4570

DATE: \_\_\_\_\_

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE:

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M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

November 4, 1997

Mr. Donald E. Lang  
310 Market Street  
Brookeville, MD 20833

Dear Mr. Lang,

Enclosed is your Application for a Historic Area Work Permit. I am returning it to you as it is incomplete. I have been unable to obtain from either you or your contractor, David Krajewski at Long Fence, the information that is needed in order to submit the application to the Historic Preservation Commission for review.

Specifically, in addition to the information you provided, the application must include:

1. A description of the work, elevations, and schematic drawings that are in conformance with each other and with the configuration of the existing porch. The drawings and elevations should be of both the existing and proposed structures. These must include complete dimensions and a complete description of the work being proposed. It cannot include work that is not on the application such as changes to the roof and pillars that are shown in the drawing submitted by Long Fence.
2. A description of materials and manufactured items proposed for incorporation in the project. This includes detailed pictures of the railing and picket design, the flooring, the pilings, the stair design, and the latticework.
3. A site plan that indicates any road frontage or other pertinent details.

Your photographs were adequate and clearly labeled. Be sure to resubmit them with the completed application. Please call me at 301-495-4570 if you have questions about any of this. The back of the green copy of the application has a fairly detailed list of the required information.

Sincerely,

  
Perry Kephart  
Historic Preservation Planner



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DATE: 11/25/97 NUMBER OF PAGES: \_\_\_\_\_  
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Mrs. Perry Kephart

FROM: DAVID KRAJEWSKI  
RE: \_\_\_\_\_

MESSAGE: Perry  
- Please call me if you have any  
questions. I hope this is what  
you need.  
Thanks,  
Dave



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DATE: 12/29/97 NUMBER OF PAGES: \_\_\_\_\_  
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Mrs. Perry Kephart

FROM: DAVID KRZEWSKI

RE: \_\_\_\_\_

MESSAGE: Mrs. Kephart -  
Please find attached Railing Details  
as requested. Call me if you  
have any questions.  
Thanks,  
David

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