

31/6-01G 10300 Fawcett Street  
(Kensington Historic District)

III-f-mich

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

December 14, 2001

**Mr. Glenn Cowen**  
10300 Fawcett Street  
Kensington, MD 20895

Mr. Cowen:

I am writing you this letter in response to the Historic Preservation Commission's (HPC) comments with regard to the proposed revisions to your HAWP # 31/06-01G. The proposed revision is the installation of a 36" painted, wood picket railing on the already approved rear deck. It is our understanding that Montgomery County Permitting Services is requiring this modification due to the existing height of the deck above grade. Your request for the installation of a 36" high, painted wood picket railing is approved. Additional alterations to this deck or any alterations to the exterior of the house must be reviewed by the HPC prior to the project's commencement.

This letter will serve as your official approval for this alteration. If you have any additional questions, please do not hesitate to contact me. Thank you for your cooperation in this matter.

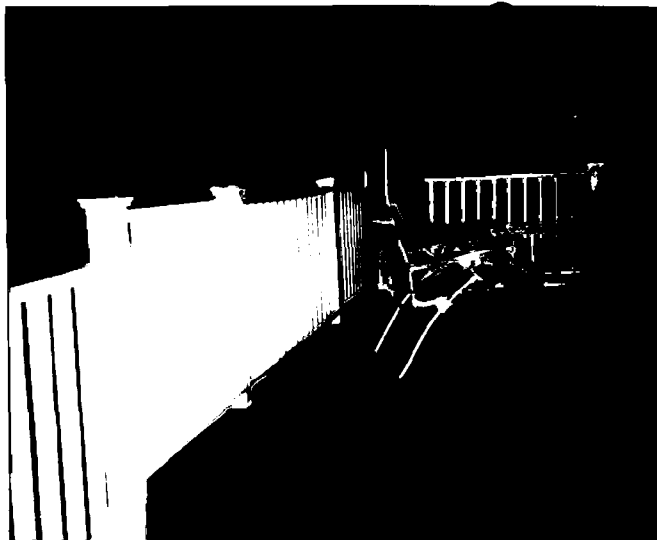
Sincerely,

A handwritten signature in cursive script that reads "Michele Naru".

Michele Naru  
Historic Preservation Planner

Cc: Ms. Lynn Raufaste, Mayor, Town of Kensington  
Mr. Barry Peoples, Kensington Historical Society





30 November 2001

Michele Naru  
Historic Preservation Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Ms. Naru:

It had not been my intention to have a railing on the deck that was approved by the HPC.

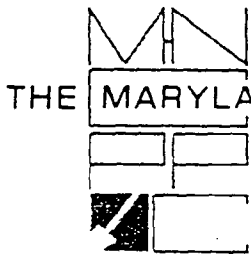
I was informed that Montgomery County Building regulations required a railing and added a 36" picket railing per that regulation. It is a cedar railing painted white to match the attached porch.

I have enclosed two pictures for your review. Hopefully this will satisfy your requirements as well as those of the County.

Thanks

A handwritten signature in black ink, appearing to read "Glenn Cowan", written over a horizontal line.

Glenn Cowan  
10300 Fawcett Street  
Kensington, MD 20895



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/16/01

MEMORANDUM

202-347-3344

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

HPC# 31/0-01E DPS# 250629

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved

X Approved with Conditions: ① DECK WILL BE CONSTRUCTED ENTIRELY OF STAINED OR PAINTED WOOD. THE SYNTHETIC "TREX" MATERIAL WILL NOT BE USED IN THIS APPLICATION.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: GLENN COWEN

Address: 10300 FAWCETT ST., KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: GLENN COWAN

Daytime Phone No.: 202-354-8208

Tax Account No.:

Name of Property Owner: GLENN COWAN Daytime Phone No.: 202-354-8208

Address: 10300 FAWCETT ST Street Number City State Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 10300 FAWCETT ST Street:

Town/City: KENSINGTON Nearest Cross Street: BARTIMORE

Lot: 445 Block: 9 Subdivision: KENSINGTON PARK

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct (checked)
Extend
Alter/Renovate
Move
Install
Wreck/Raze
Revision
Repair
Revocable

CHECK ALL APPLICABLE:

- A/C
Slab
Room Addition
Porch
Deck (checked)
Shed
Solar
Fireplace
Woodburning Stove
Single Family
Fence/Wall (complete Section 4)
Other:

1B. Construction cost estimate: \$ 2500

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
Entirely on land of owner
On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Glenn Cowan Date: 6/12/01

Approved: [Signature] W/CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 7/17/01

Application/Permit No.: 250629 Date Filed: 6/12/01 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING 2 1/2 STORY WOOD FRAME STUCCO  
HOUSE BUILT CIRCA 1890. HOUSE IS VICTORIAN  
QUEEN ANNE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A 300 SQ FT WOODEN PLATFORM OFF NEAR  
STEPS ELEVATED 4"-12" FROM GRADE. PART  
OF NEW LANDSCAPING PLAN, HAS LITTLE  
VISUAL AFFECT ON PROPERTY AND NONE ON  
ADJOINING PROPERTIES.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

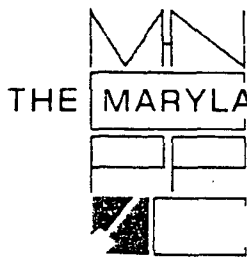
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY DNTO MAILING LABELS.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/16/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

HPC# 31/0-01E DPS # 250629

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Prior to your permit submission, you must present Historic Preservation staff with 3 permit sets of drawings for review and stamping. In addition, please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: GLENN COWAIN

Daytime Phone No.: 202-354-8208

Tax Account No.: \_\_\_\_\_

Name of Property Owner: GLENN COWAIN

Daytime Phone No.: 202-354-8208

Address: 10300 FAWCETT ST  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 10300 FAWCETT ST Street \_\_\_\_\_

Town/City: KENSINGTON Nearest Cross Street: BALTIMORE

Lot: 445 Block: 9 Subdivision: KENSINGTON PARK

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 2500

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Glenn Cowain  
Signature of owner or authorized agent

6/12/01  
Date

Approved: 250629 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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QUEEN ANNE.

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STEPS ELEVATED 4'-12" FROM GRADE. PART  
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2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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6. **TREE SURVEY**



SOUTH SIDE  
10300 FAWCETT ST  
KENSINGTON



BACK  
10300 FAWCETT ST  
KENSINGTON



NORTH SIDE  
10300 FAWCETT ST  
KENSINGTON



FRONT  
10300 FAWCETT ST  
KENSINGTON

HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b>	10300 Fawcett Street, Kensington	<b>Meeting Date:</b>	07/11/01
<b>Resource:</b>	Primary Resource Kensington Historic District	<b>Report Date:</b>	07/04/01
<b>Review:</b>	HAWP	<b>Public Notice:</b>	06/27/01
<b>Case Number:</b>	31/06-01G	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Glenn Cowen	<b>Staff:</b>	Michele Naru
<b>PROPOSAL:</b>	Deck installation	<b>RECOMMEND:</b>	Approval w/cond.

PROJECT DESCRIPTION:

**SIGNIFICANCE:** Primary Resource in Kensington Historic District.  
**STYLE:** Folk Victorian  
**DATE:** c1880-1910

PROPOSAL:

The applicant is proposing to:

1. Construct new 24' x 14' deck at the rear of the house. The proposed material is the synthetic product called Trex.

STAFF DISCUSSION:

The applicants are proposing to construct this deck out of a synthetic building material. Staff is of the opinion that additions to an outstanding resource should be compatible with the historic fabric of the existing structure as specified in the *Secretary of Interior's Standards for Rehabilitation*. Staff does not feel that this product will be compatible with the historic fabric of the house and is recommending that the Commission approve the deck installation with the condition that the deck be constructed entirely of a stained or painted wood.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the condition:

1. Deck will be constructed entirely of stained or painted, wood. The synthetic "Trex" material will not be used in this application.

With the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits**, and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

Adjacent + Confronting Owners  
for 10300 Fawcett

- 10302 Fawcett St.  
Kensington, MD 20895
- 10220 Carroll Pl  
Kensington, MD 20895
- 10231 Carroll Pl
- 3807 Baltimore St.
- 3806 Baltimore
- 10305 Army Ave.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: GLENN COWAN

Daytime Phone No.: 202-354-8208

Tax Account No.: \_\_\_\_\_

Name of Property Owner: GLENN COWAN Daytime Phone No.: 202-354-8208

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### CHECK ALL APPLICABLE:

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 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 2500

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

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[Signature]  
Signature of owner or authorized agent

6/12/01  
Date

Approved: 250629 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

3



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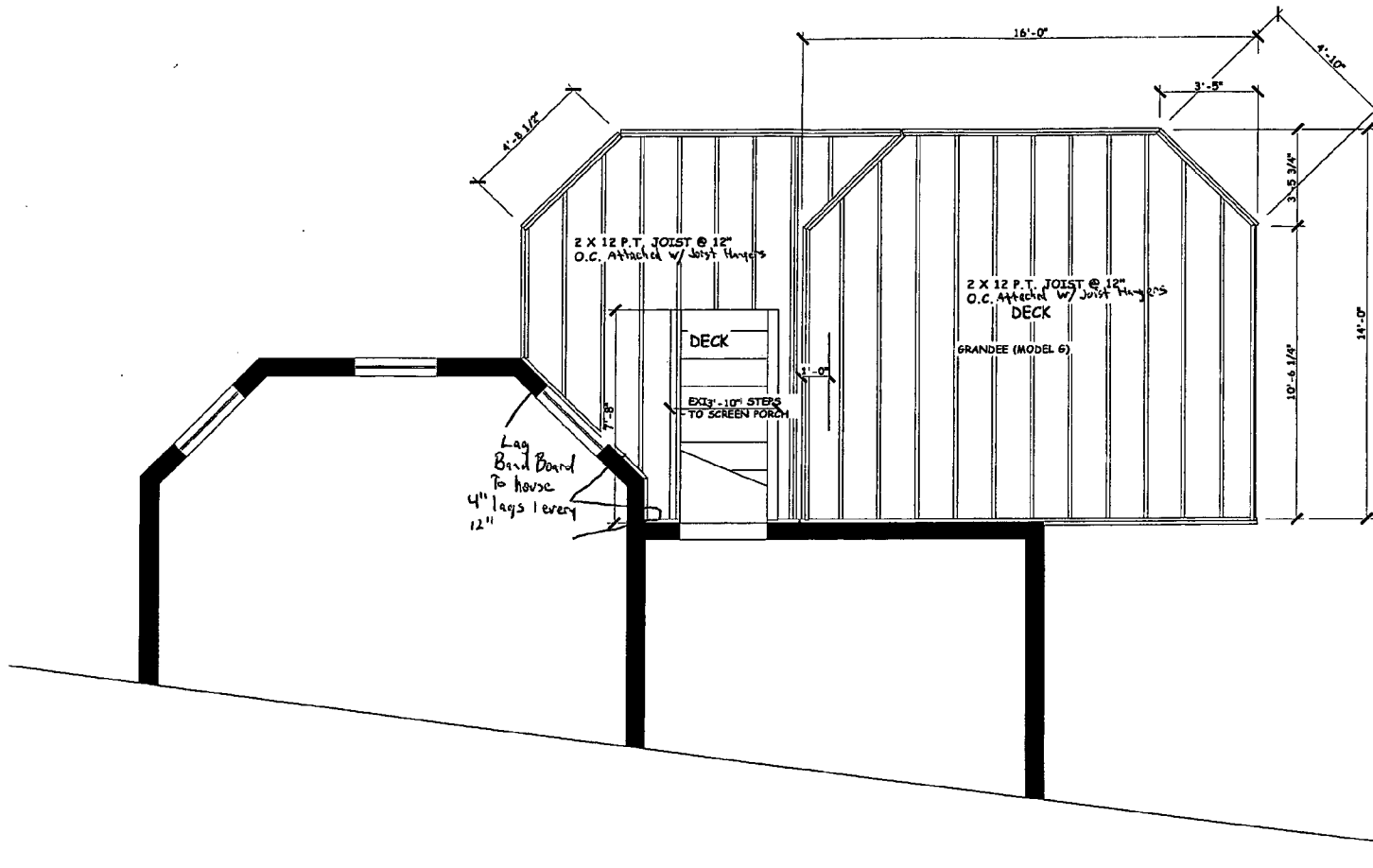
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9

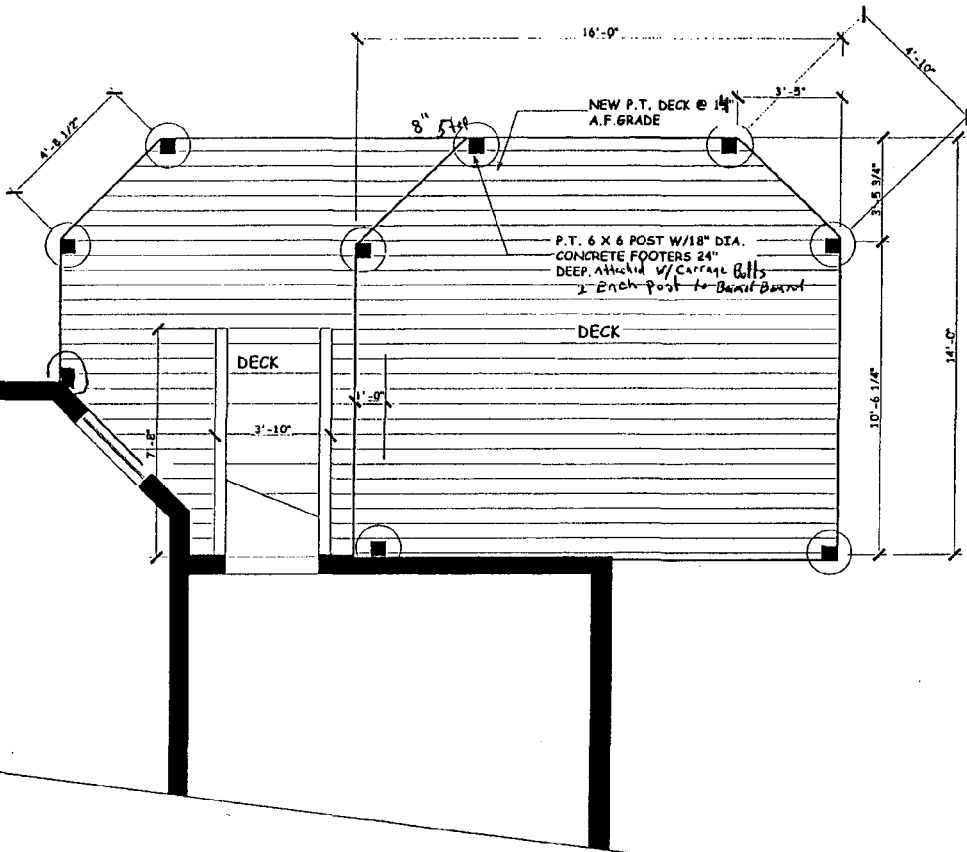


**DECK FRAMING PLAN SCALE:**  
1/4"=1'-0"

**SPECIFIC DESIGN ARCHITECTURE**  
P.O. BOX 456  
GLENN DALE, MD. 20769  
441-9235

**CLIENT NAME**  
COWAN DECK  
10300 FAWCETT ST.  
KENSINGTON, MD 20895

**A-3**



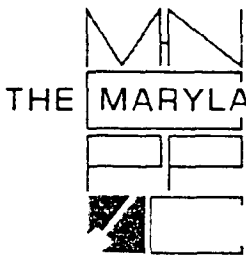
FOOTER LOCATION PLAN  
 1/4"=1'-0"

**SPECIFIC DESIGN ARCHITECTURE**  
 P.O. BOX 456  
 GLENN DALE, MD. 20769  
 (301) 441-9235

CLIENT NAME  
 COWAN DECK  
 10300 FAWCETT ST.  
 KENSINGTON, MD. 20895

**A-4**

7



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/16/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

HPC# 31/0-01E DPS # 250629

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Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: GLENN COWAN

Daytime Phone No.: 202-354-8208

Tax Account No.:

Name of Property Owner: GLENN COWAN Daytime Phone No.: 202-354-8208

Address: 10300 FAWCETT ST Street Number City State Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 10300 FAWCETT ST Street

Town/City: KENSINGTON Nearest Cross Street: BALTIMORE

Lot: 445 Block: 9 Subdivision: KENSINGTON PARK

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct [checked] Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck [checked] Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 2500

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 6/12/01

Approved: [Signature] W/CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 7/17/01

Application/Permit No.: 250629 Date Filed: 6/12/01 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING 2 1/2 STORY WOOD FRAME STUCCO  
HOUSE BUILT CIRCA 1870. HOUSE IS VICTORIAN  
QUEEN ANNE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A 300 SQ FT RAISED PLATFORM OAK LEAF  
STEPS ELEVATED 4"-12" FROM GROUND. PART  
OF NEW LANDSCAPING PLAN. HAS LITTLE  
VISUAL AFFECT ON PROPERTY AND NONE ON  
ADJOINING PROPERTIES.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

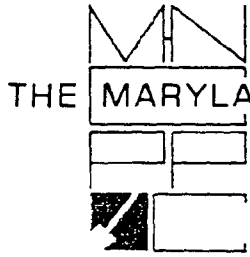
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/16/01

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

HPC# 31/0-01E DPS# 250629

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

       Approved

X Approved with Conditions: ① DECK WILL BE CONSTRUCTED ENTIRELY OF STAINED OR PAINTED WOOD. THE SYNTHETIC "TREX" MATERIAL WILL NOT BE USED IN THIS APPLICATION.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

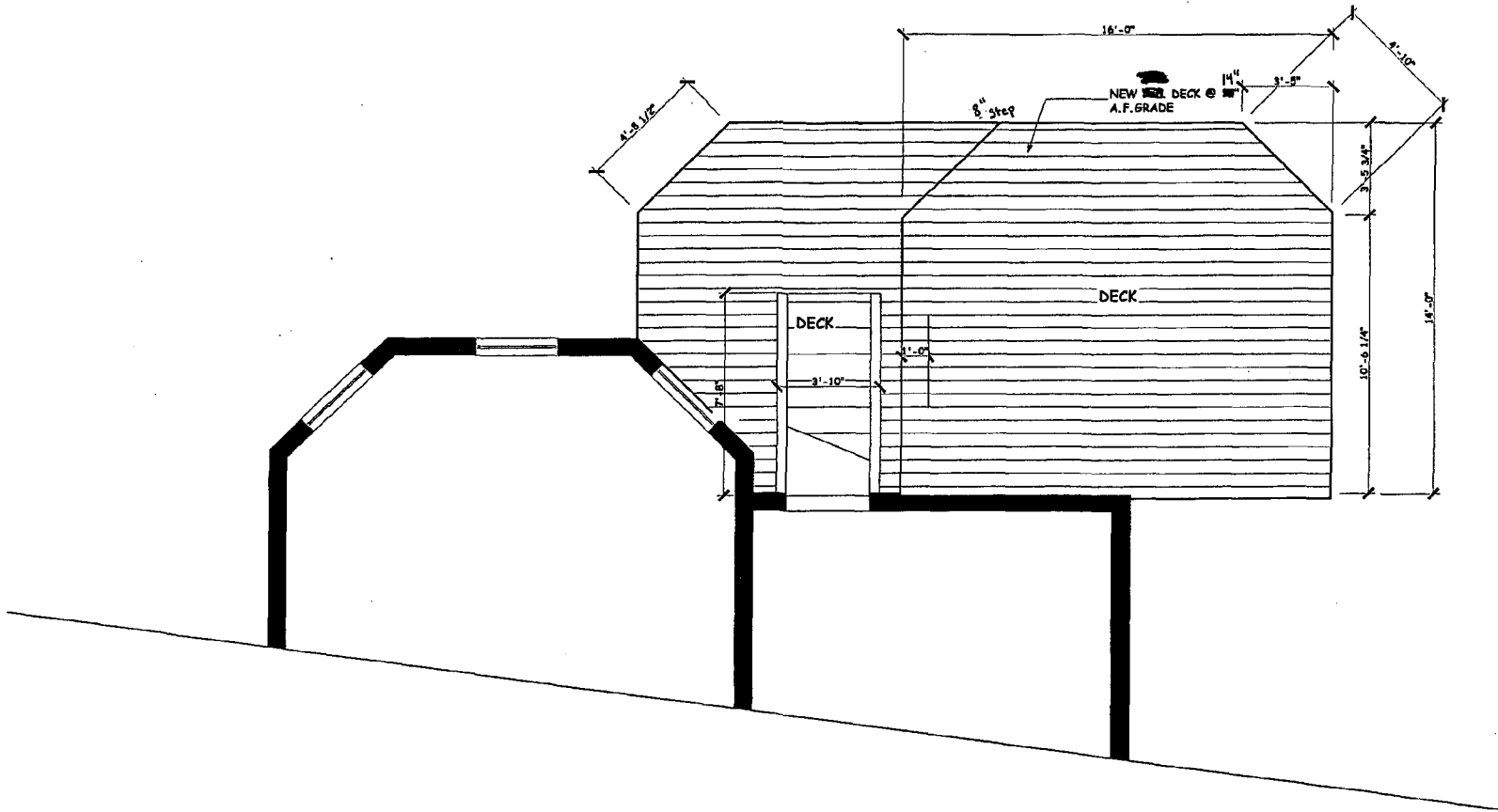
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: GLENN COWEN

Address: 10300 FAWCETT ST., KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



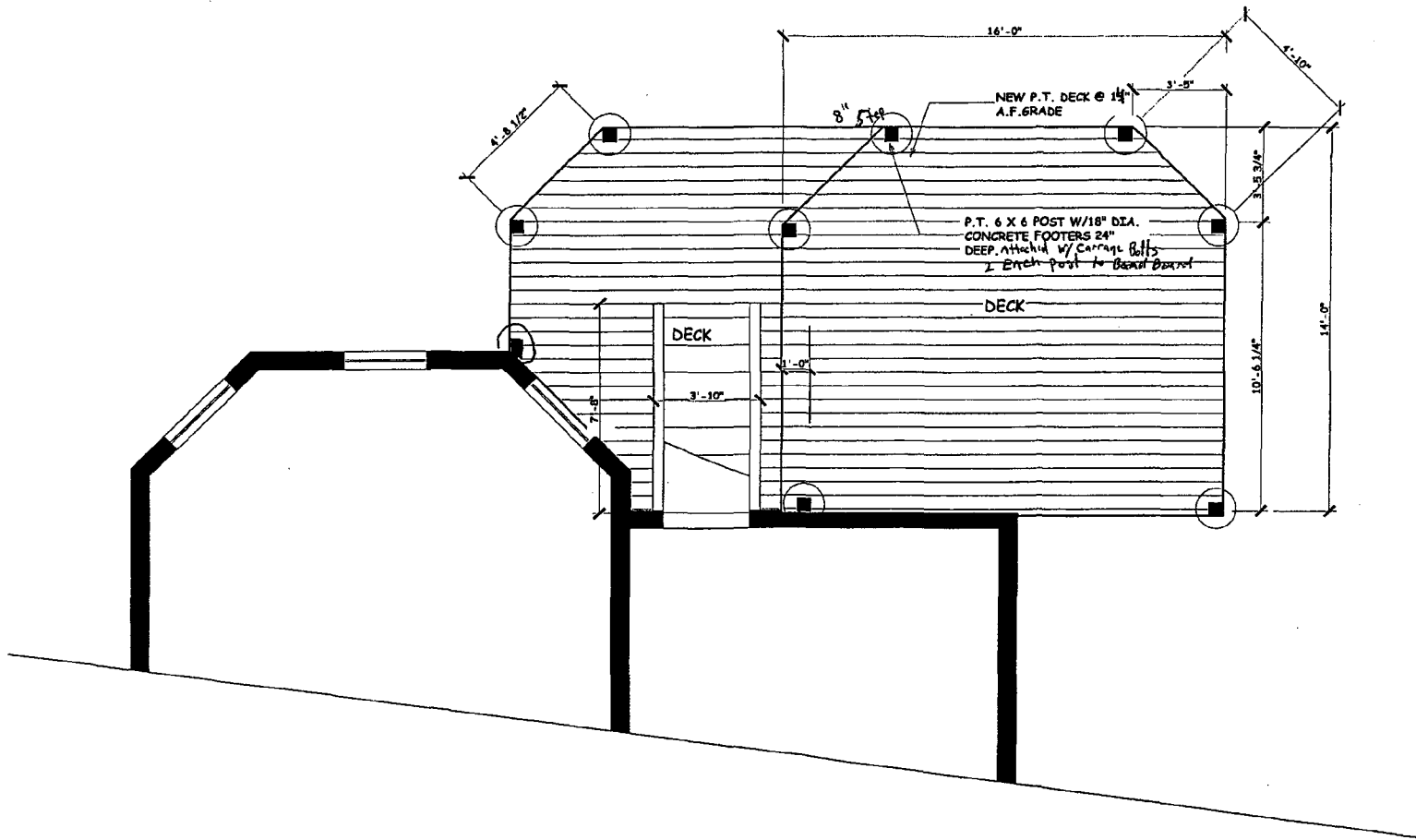


**NEW DECK PLAN**  
**SCALE: 1/4"=1'-0"**

**SPECIFIC DESIGN ARCHITECTURE**  
**P.O. BOX 456**  
**GLENN DALE, MD. 20769**  
**(301) 441-9235**

**CLIENT NAME**  
**COWAN DECK**  
**10300 FAWCETT ST.**  
**KENSINGTON, MD. 20895**

**A-1**



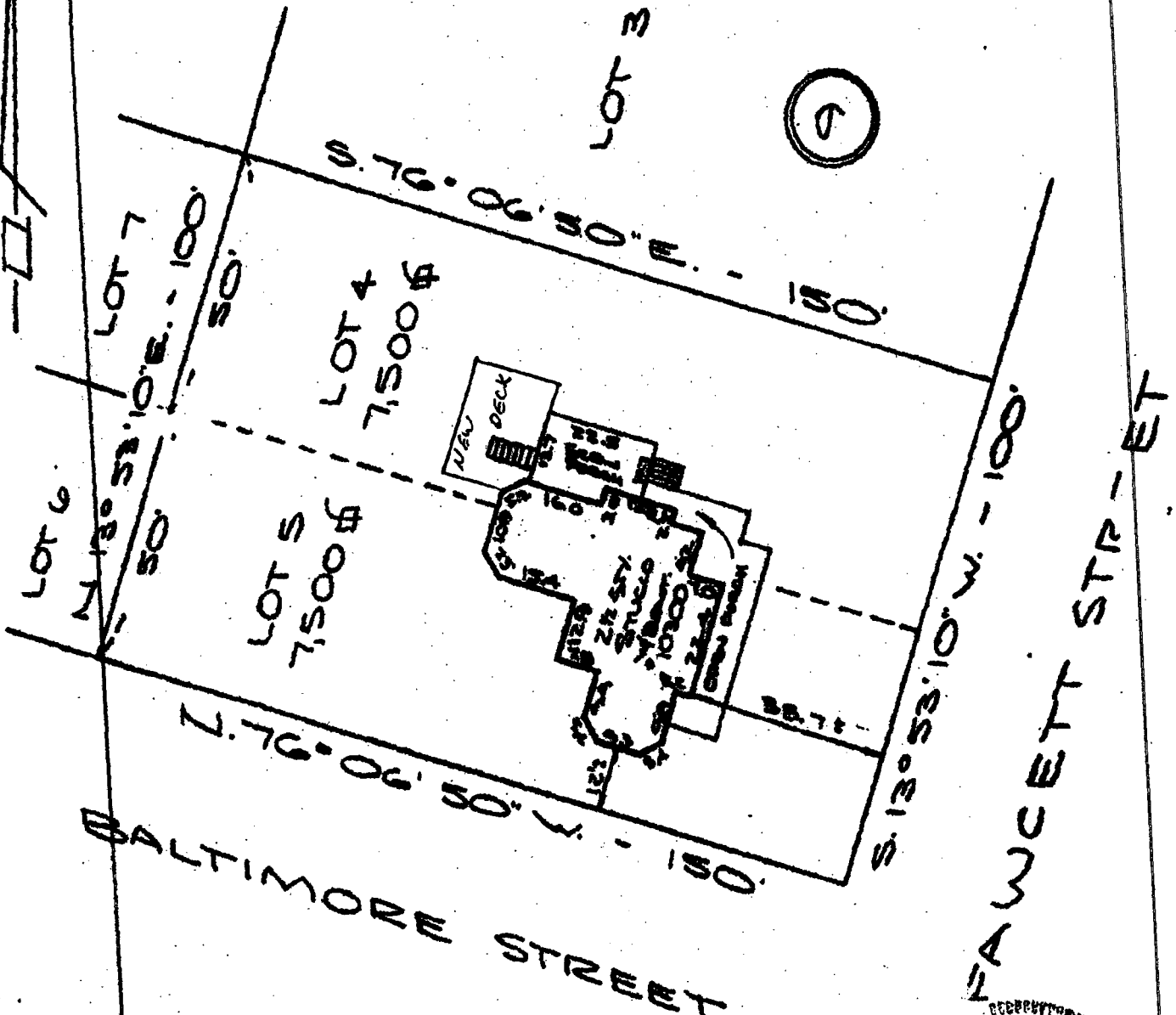
FOOTER LOCATION PLAN  
 1/4"=1'-0"

SPECIFIC DESIGN ARCHITECTURE  
 P.O. BOX 456  
 GLENN DALE, MD. 20769  
 (301) 441-9235

CLIENT NAME  
 COWAN DECK  
 10300 FAWCETT ST.  
 KENSINGTON, MD. 20895

A-4

Notes: **Address - 10200 Flamingo Street**  
**Total Area - 13,000 sq**



Note: This property does not lie within the limits of a flood hazard zone as delineated on the maps of the national flood insurance program.



**CAPITOL SURVEYS**

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county city in which the property is held and fieldwork performed.

**HOUSE LOCATION**  
**LOTS 4 & 5 BLOCK 9**  
**KENSINGTON PARK**  
**MONTGOMERY COUNTY, MARYLAND**

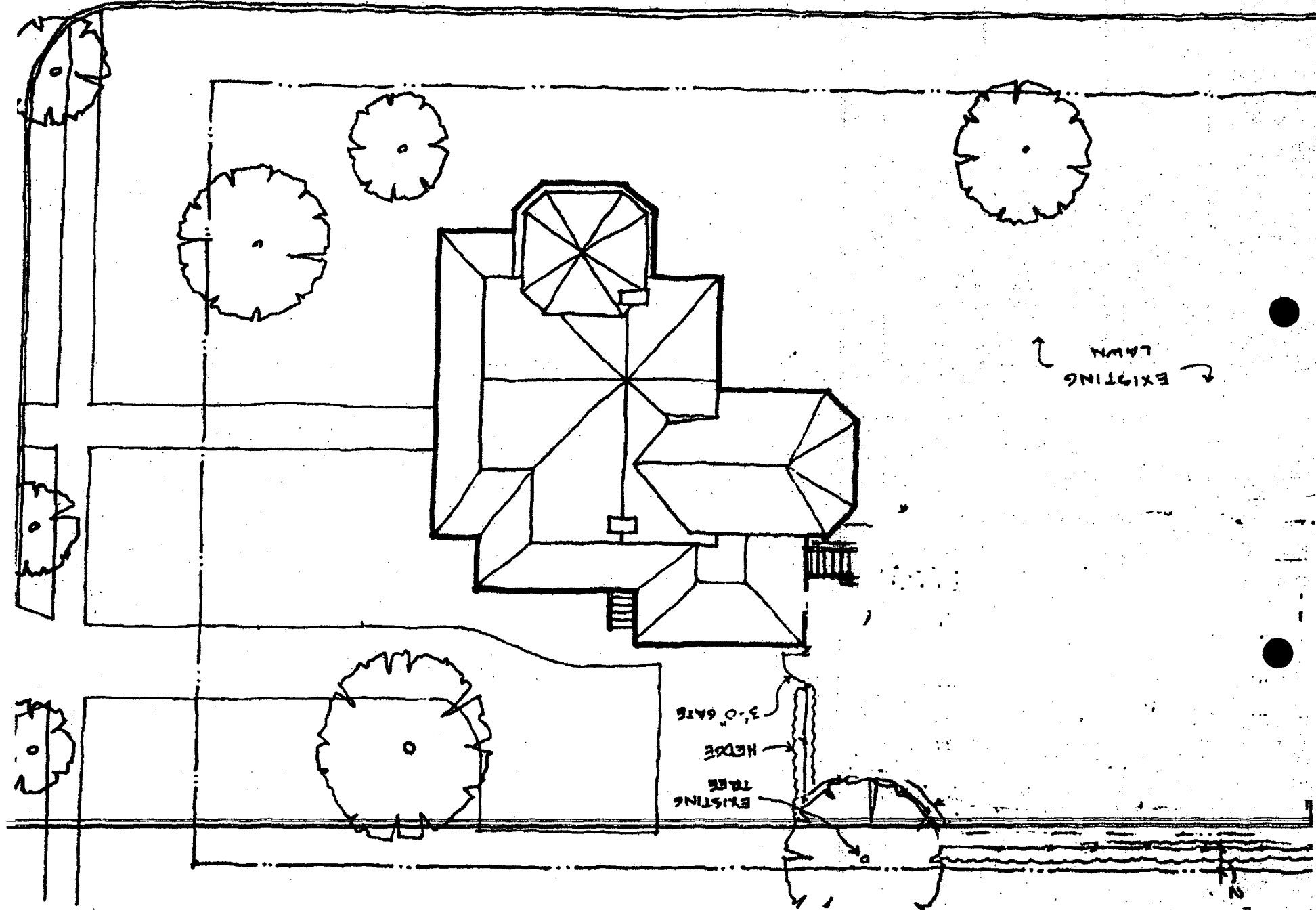
I hereby certify that the position of all the existing improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

*[Signature]*  
**LOUIS CONEN**

Recorded in Plat Book **B** Page **4** Scale **1" = 30'**

**NOV 24 1992**

BALTIMORE STREET



EXISTING LAWN

EXISTING TREES  
HERDS  
3'-0" GATS

KENSINGTON MD. #10300 FAUCETT ST.

Res. OH. 50ft. deep, Inst. UG. of HV. To 400 AMP

FOR LOCATION OF UTILITIES  
CALL 24 HOURS A DAY  
1-800-257-7777  
48 HOURS IN ADVANCE OF  
ANY WORK IN THIS VICINITY

WORK BEING PERFORMED UNDER  
STANDARD SEDIMENT CONTROL  
PLAN AND PERMIT # 9401  
FOR MINOR UTILITY CONSTRUCTION

BUILDER NOTE:  
THE FAULT CUR  
AS SHOWN ON  
NOT EXCEED 11

C&P NOTE!

778433-7780

C/P #154

(C/P TO REPLACE P35/4  
WITH P35/4)

Rep. Inst. TO 600V-1  
K6M760456-1, K6125X456-1  
GROWER-1

(NOTE: EX. Poles SET IN  
CONCRETE APRON.)

UNITY MAP  
93, A-11

KENSINGTON Park  
Lots 4 & 5, ⑨  
GLEN COWEN  
RESIDENCE

TEL. 686-9020

4  
5

D&A ELEC.  
933-4619

Prop. New  
STANDARD  
Porch

New  
ADDITION

#10300

Ex. OH. Red

FAUCETT ST.

CARROLL PL.

BALTIMORE ST.

OH. W/LINE

REAR.

1-5-(MATRIXV-123')

AT-5-(HR'S-1) (H615)  
(MOM'S-1)

Inst.

1-2-CHARIVMU-34'

CONDUIT NOTES

BUILD

2-3 - 71.0 X 3.0

EXCAVATION

2-3 - AC1W56

(AC1W56

PV05005

AT-2 - (ACCOL5)

AC90X24

2CR25C.

AT-4 - SR7046

3-4 - 71.0 X 3.0

TRY C/P  
IF SURVEYORS.

T. 1.0000 - T. 1.0000

Adjacent + Confronting Owners  
for 10300 Fawcett

- 10302 Fawcett St.  
Kensington, MD 20895
- 10220 Carroll Pl  
Kensington, MD 20895
- 10231 Carroll Pl
- 3807 Baltimore St.
- 3806 Baltimore
- 10305 Army Ave.

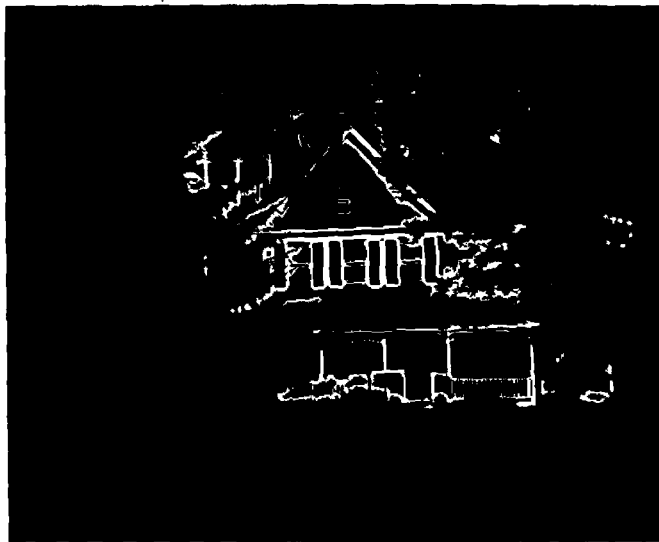


BACK  
10300 FIDWORTH ST  
KENSINGTON



NORTH SIDE  
10300 HARBETT ST  
KENSINGTON





FRONT  
10300 FAWCETT ST  
KENSINGTON



SOUTH SIDE  
10300 FAWCETT ST  
KENSINGTON





**GTM**  
ARCHITECTS

10415 ARMORY AVENUE  
KENSINGTON, MD, 20895  
(301)442-4262  
(301)442-3424 FAX

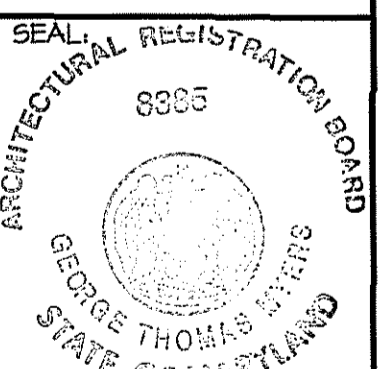
10314 FANCETT STREET  
KENSINGTON, MD

DEMOLITION PLANS

**MYERS  
RESIDENCE**

REVISIONS:

PERMIT SET 12/17/01



DRAWN BY:

MB

CHECKED BY:

GTM

SCALE:

3/16"=1'-0"

DATE:

12/17/01

PROJECT NO.

2001567

DRAWING NO.

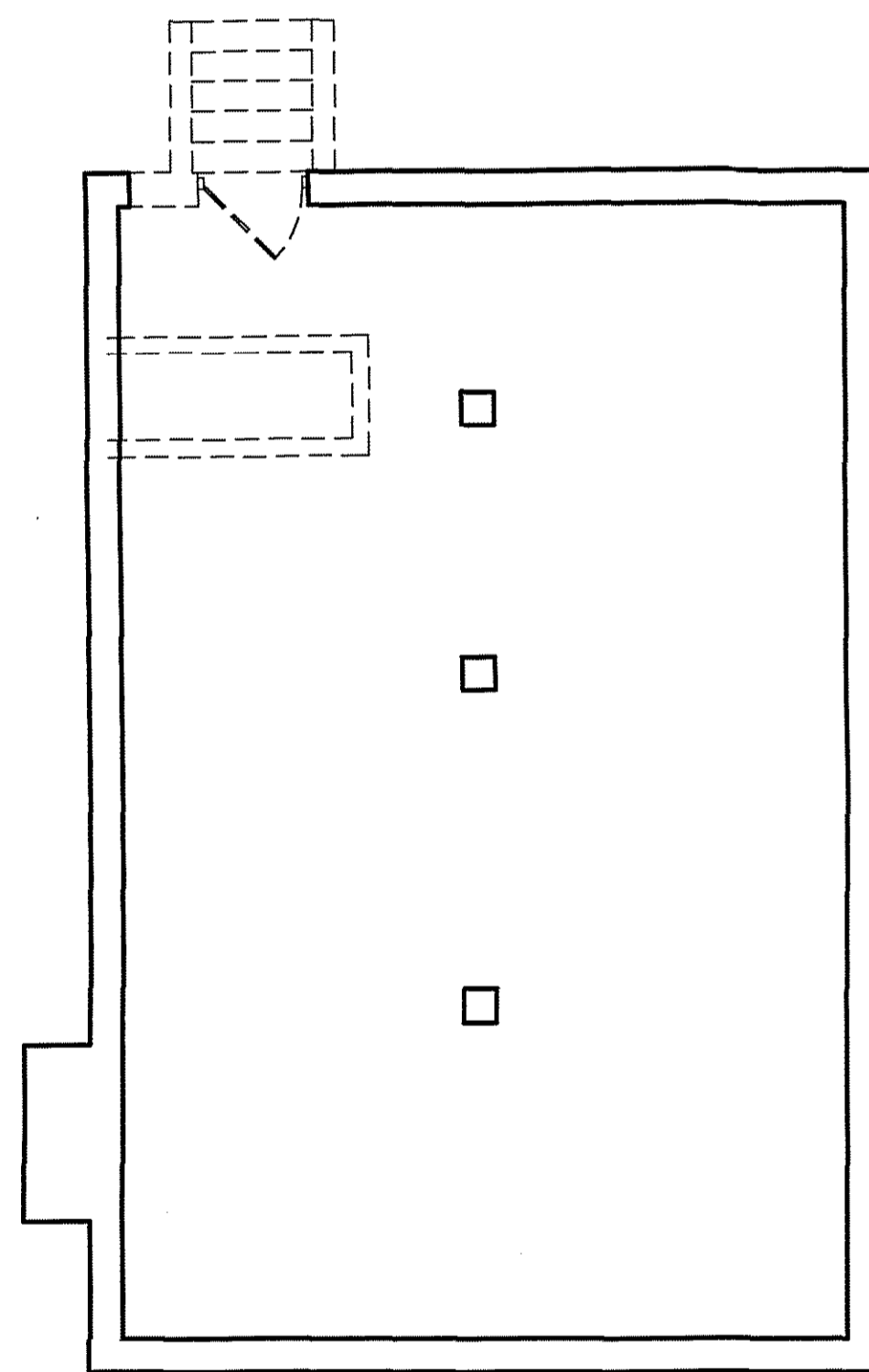
**D1.0**

**DEMOLITION NOTES**

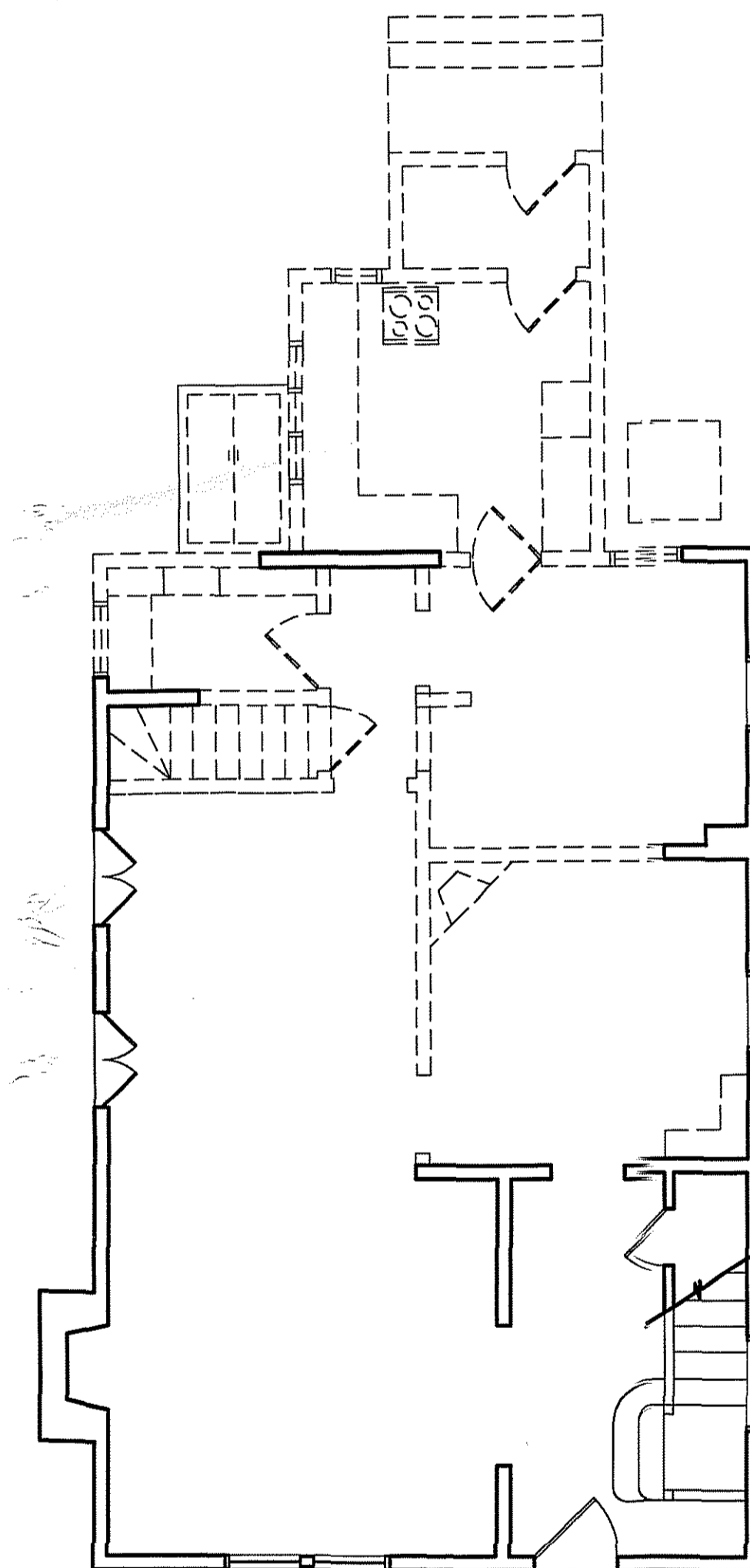
- D1 REMOVE DOORS & WINDOWS, ETC. IN CONFLICT W/ NEW WORK.
- D2 REMOVE WALLS AS REQUIRED & SHOWN
- D3 REMOVE EXISTING CONCRETE PORCH AS SHOWN
- D4 REMOVE EXISTING ROOF AS SHOWN
- D5 REMOVE EXISTING SKYLIGHT
- D6 REMOVE EXISTING WOOD POST & BRICK BASE
- D7 REMOVE EXISTING WOOD DECK & STAIRS
- D8 REMOVE / RELOCATE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT W/ NEW WORK.

**GENERAL DEMOLITION NOTES**

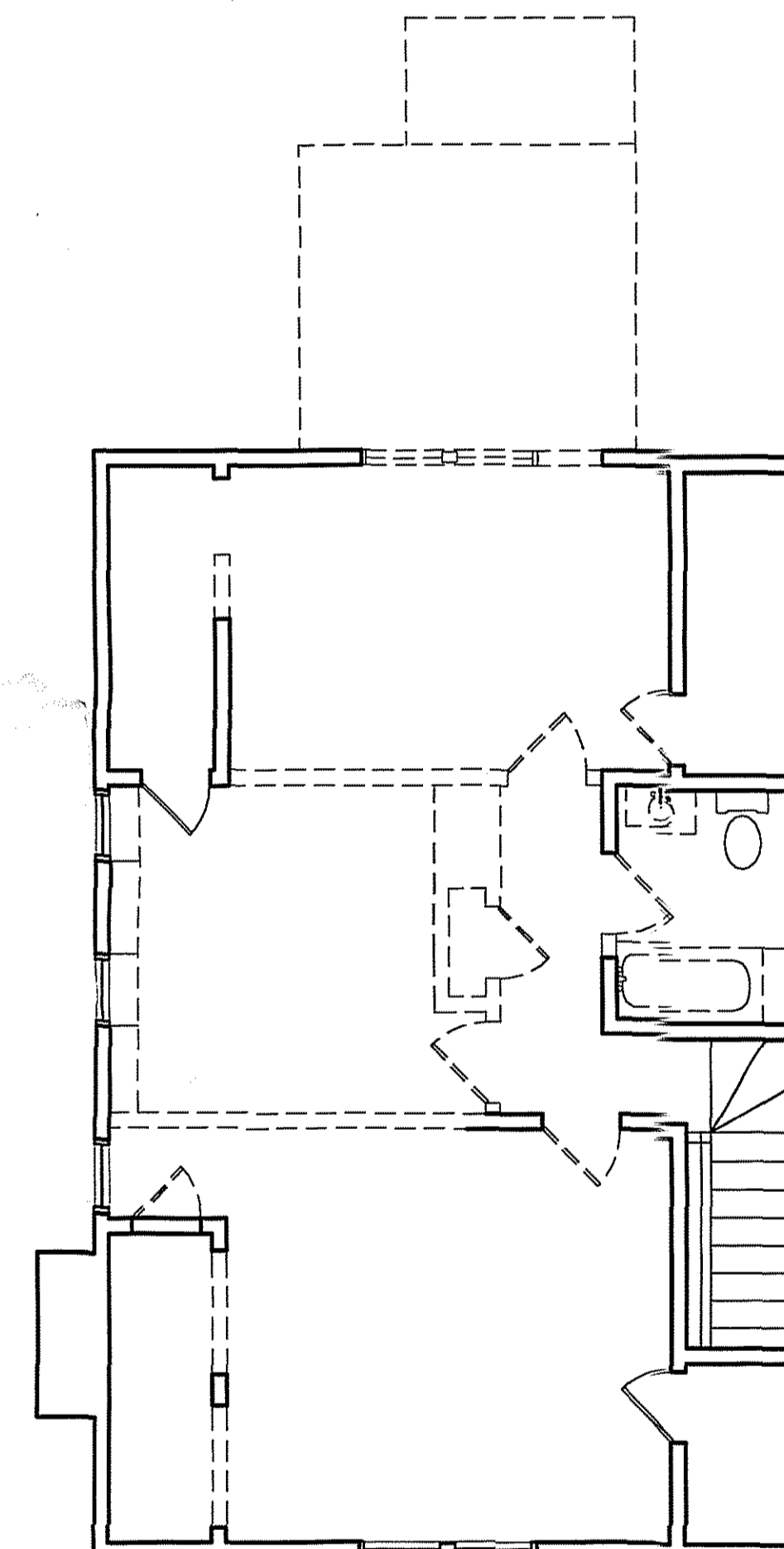
1. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work.
3. All dashed walls, fixtures, windows, etc., are to be removed.
4. Conduct all demolition operations in compliance with applicable codes and ordinances.
5. Coordinate demolition with work of subcontractors.
6. Maintain the existing structure in a watertight condition at all times.
7. Relocate/ remove any existing gas, electrical, plumbing lines, etc. in conflict with new work.
8. See structural sheets for additional information.



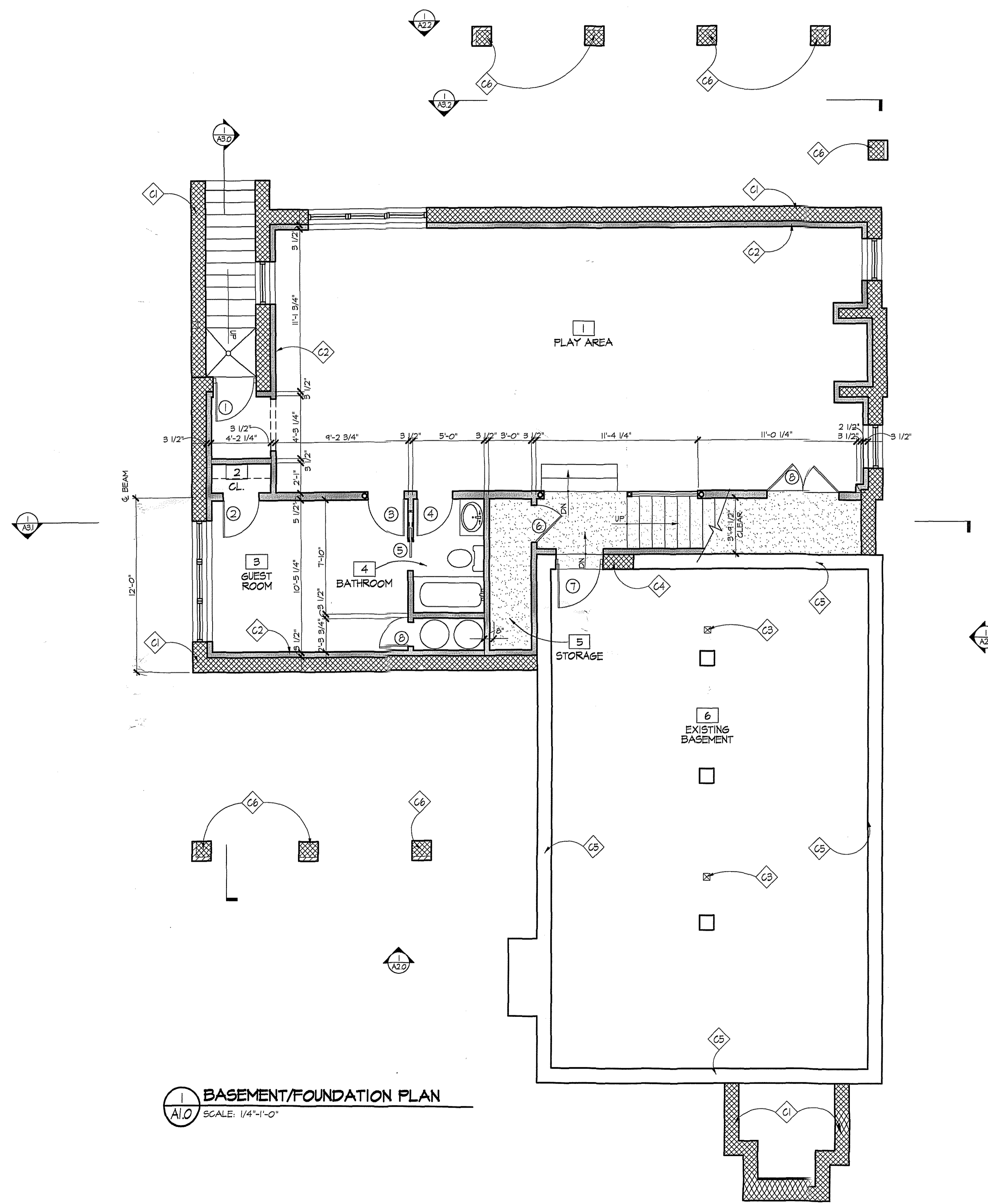
**1 BASEMENT FLOOR DEMO PLAN**  
D1.0 SCALE: 3/16"=1'-0"



**2 FIRST FLOOR DEMO PLAN**  
D1.0 SCALE: 3/16"=1'-0"



**3 SECOND FLOOR DEMO PLAN**  
D1.0 SCALE: 3/16"=1'-0"



**1** BASEMENT/FOUNDATION PLAN  
 A1.0 SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 12" CMU WALL, SEE S1.0
- C2 FUR OUT FOUNDATION WALLS W/ 2x4 STUDS 16" O.C. (W/ PRESSURE TREATED SILL PLATE), R-19 INSULATION, GYP. BD.
- C3 6x6 PRESS. TREATED POSTS ON CONC. FOOTING, SEE SHEET S1.0
- C4 INFILL FOUNDATION WALL WITH SOLIDLY GROUTED CMU
- C5 EXSTG. FOUNDATION WALLS
- C6 C.M.U./BRICK PIER, GROUT SOLID, SEE SHEET S1.0

NOTE:  
 SEE SHEET S1.0  
 FOR DIMENSIONED  
 FOUNDATION PLAN

**GENERAL NOTES**

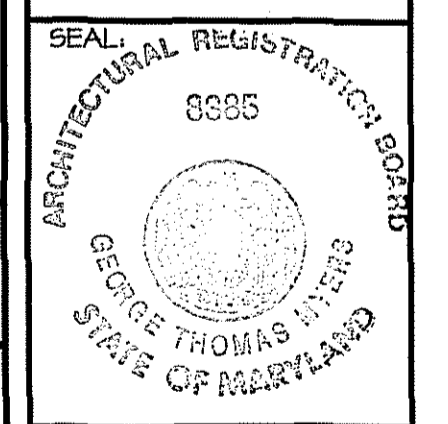
**GTM**  
 ARCHITECTS  
 10415 ARMORY AVENUE,  
 KENSINGTON, MD, 20845  
 (301)442-9062  
 (301)442-3424 FAX

10314 FAWCETT STREET  
 KENSINGTON, MD  
 FINISHED BASEMENT PLAN

**MYERS  
 RESIDENCE**

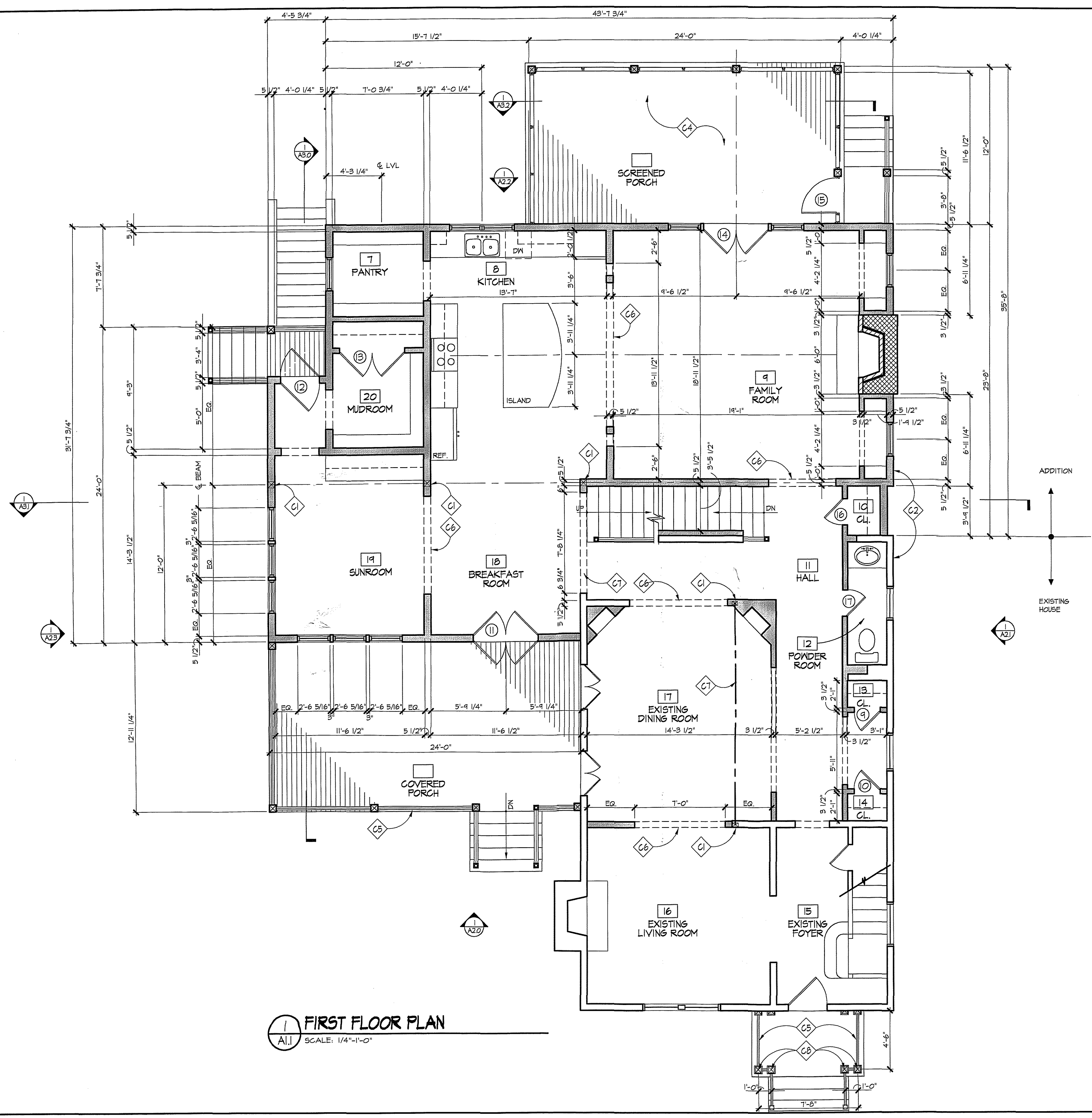
REVISIONS:

PERMIT SET 12/17/01



DRAWN BY: DER/MB  
 CHECKED BY: GTM  
 SCALE: 1/4"=1'-0"  
 DATE: 12/17/01  
 PROJECT NO: 2001561  
 DRAWING NO:

**A1.0**



**1 FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 POST W/IN WALL, SEE FRAMING PLANS
- C2 ALIGN
- C3 PROVIDE WOOD SCREEN DOOR
- C4 T & G PINE FLOORING
- C5 FTD. SMOOTH RAILING SYSTEM; SEE EXISTING ELEVATIONS
- C6 NEW CASSED OPENING
- C7 NEW BEAM ABOVE, SEE FRAMING PLANS
- C8 6x6 POST W/ COLUMN TRIM.

NOTE: ALL DIMENSION ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.

**GENERAL NOTES**

TYPICAL EXTERIOR WALL: 2"x6" WOOD STUDS 16" O.C. W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEC BUILDING WRAP, & PAINTED SIDING. INTERIOR FINISH TO BE GYP. BD. (1/2").

TYPICAL INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE. INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

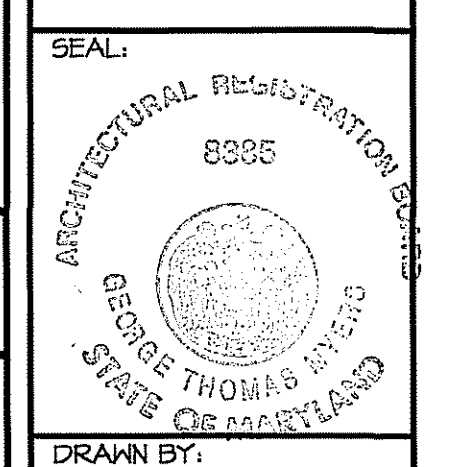


10415 ARMORY AVENUE,  
 KENSINGTON, MD. 20845  
 (301)442-4062  
 (301)442-3424 FAX

10314 FAWCETT STREET  
 KENSINGTON, MD  
**FIRST FLOOR PLAN**

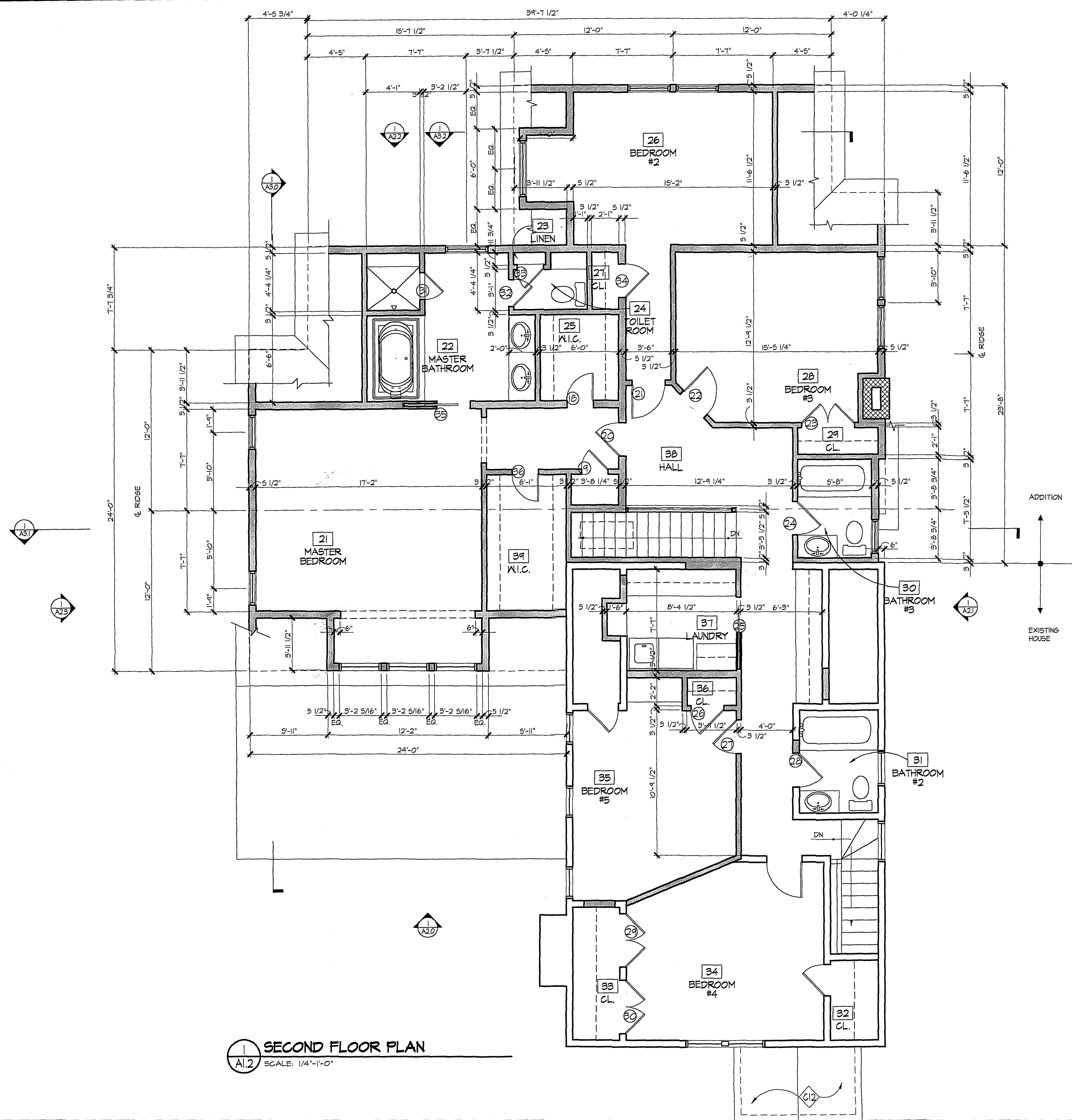
**MYERS RESIDENCE**

REVISIONS:  
 PERMIT SET 12/17/01



DRAWN BY: DER/MB  
 CHECKED BY: GTM  
 SCALE: 1/4"=1'-0"  
 DATE: 12/17/01  
 PROJECT NO: 2001567  
 DRAWING NO.

**A1.1**



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 1/4" PLATE GLASS MIRROR, FULL WIDTH OF VANITY, SEE INTERIORS FOR EXTENT OF HEIGHT
- C2 VANITY, TO BE SELECTED.
- C3 CLOSET SHELVES & RODS, TO BE SELECTED.
- C4 TILED SHOWER, PROVIDE RECESSED TILED SHELF, COORDINATE LOCATION OF RECESSED TILED SHELF W/ OWNER.
- C5 PROVIDE (5) PTD. SHELVES IN LINEN CLOSET, FULL DEPTH OF CLOSET
- C6 NEW ROOF BELOW
- C7 SLOPPED CEILING ABOVE, SEE SECTIONS
- C8 NEW SKYLIGHT ABOVE
- C9 PROPOSED LOCATION OF NEW SANITARY LINE
- C10 EXISTING ROOF / SKYLIGHT BELOW
- C11 ALIGN FINISHES
- C12 NEW PROTICO ROOF BELOW

NOTE: ALL DIMENSION ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.

**GENERAL NOTES**

TYPICAL EXTERIOR WALL: 2"x6" WOOD STUDS 16" O.C., W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEC BUILDING WRAP, & PAINTED SIDING. INTERIOR FINISH TO BE GYP. BD. (1/2").

TYPICAL INTERIOR PARTITION: 2"x4" STUDS 16" O.C., W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

**GTM ARCHITECTS**

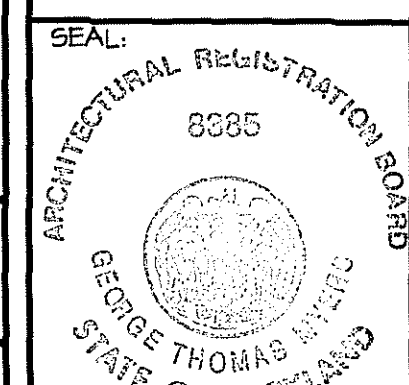
10415 ARMORY AVENUE,  
 KENSINGTON, MD, 20845  
 (301)442-4062  
 (301)442-3424 FAX

10314 FANCETT STREET  
 KENSINGTON, MD  
 SECOND FLOOR PLAN

**MYERS RESIDENCE**

REVISIONS:

PERMIT SET 12/17/01



DRAWN BY: DER/MB

CHECKED BY: GTM

SCALE: 1/4"=1'-0"

DATE: 12/17/01

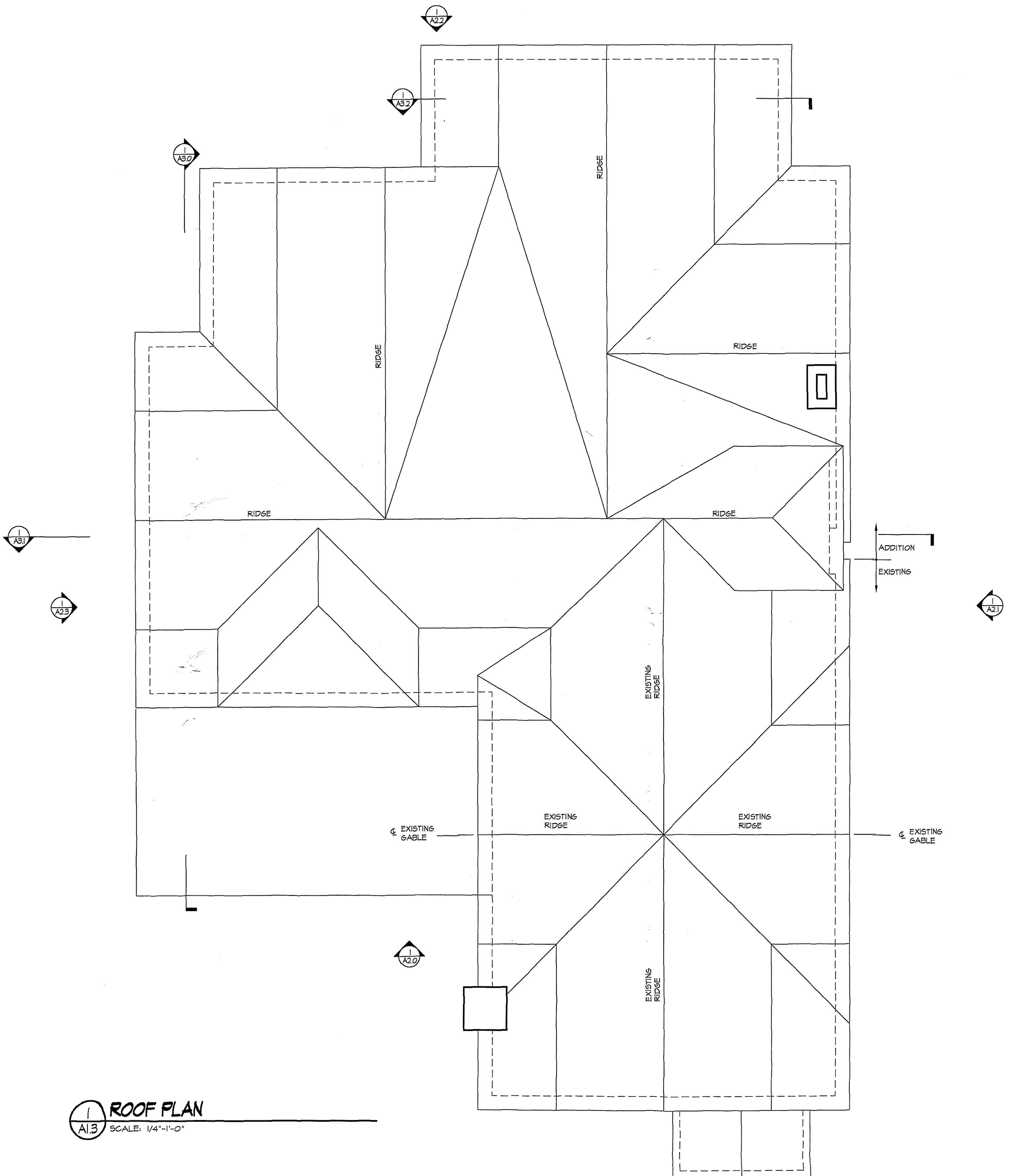
PROJECT NO. 2001567

DRAWING NO.

**A1.2**



**ROOF PLAN**  
A1.3 SCALE: 1/4"=1'-0"



**ROOFING NOTES**

- ◇ C1 NEW ROOF SHINGLES, 40 YR, GAF SLATELINE; OR APPROVED EQUAL; STYLE & COLOR, T.B.S.
- ◇ C2 RIDGE VENTS BY "ROLL VENT" OR APPROVED EQUAL.
- ◇ C3 NEW GUTTER TO MATCH EXISTING, TYP.
- ◇ C4 NEW DOWNSPOUT TO MATCH EXISTING, TYP.
- ◇ C5 EXSTG. CHIMNEY
- ◇ C6 NEW ROOF BELOW
- ◇ C7 OVERBUILD
- ◇ C8 NEW SKYLIGHT
- ◇ C9 EXISTING DOWNSPOUT, TYP.
- ◇ C10 EXISTING SKYLIGHT TO REMAIN

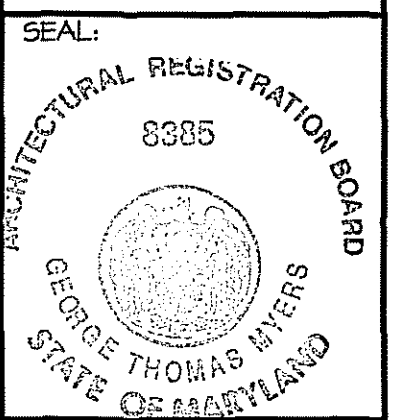
**GTM ARCHITECTS**

10415 ARMORY AVENUE  
KENSINGTON, MD. 20845  
(301)442-9062  
(301)442-9424 FAX

10314 FANCETT STREET  
KENSINGTON, MD  
ROOF PLAN

**MYERS RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01



DRAWN BY: DER/MB  
CHECKED BY: GTM  
SCALE: 1/4"=1'-0"  
DATE: 12/17/01  
PROJECT NO. 2001567  
DRAWING NO.

**GENERAL ROOFING NOTES**

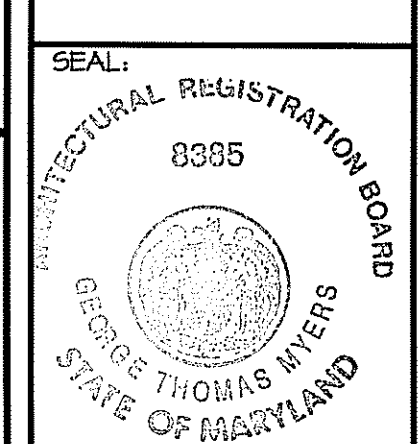
1. PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.

**A1.3**

10314 FANCETT STREET  
 KENSINGTON, MD  
 WEST ELEVATION

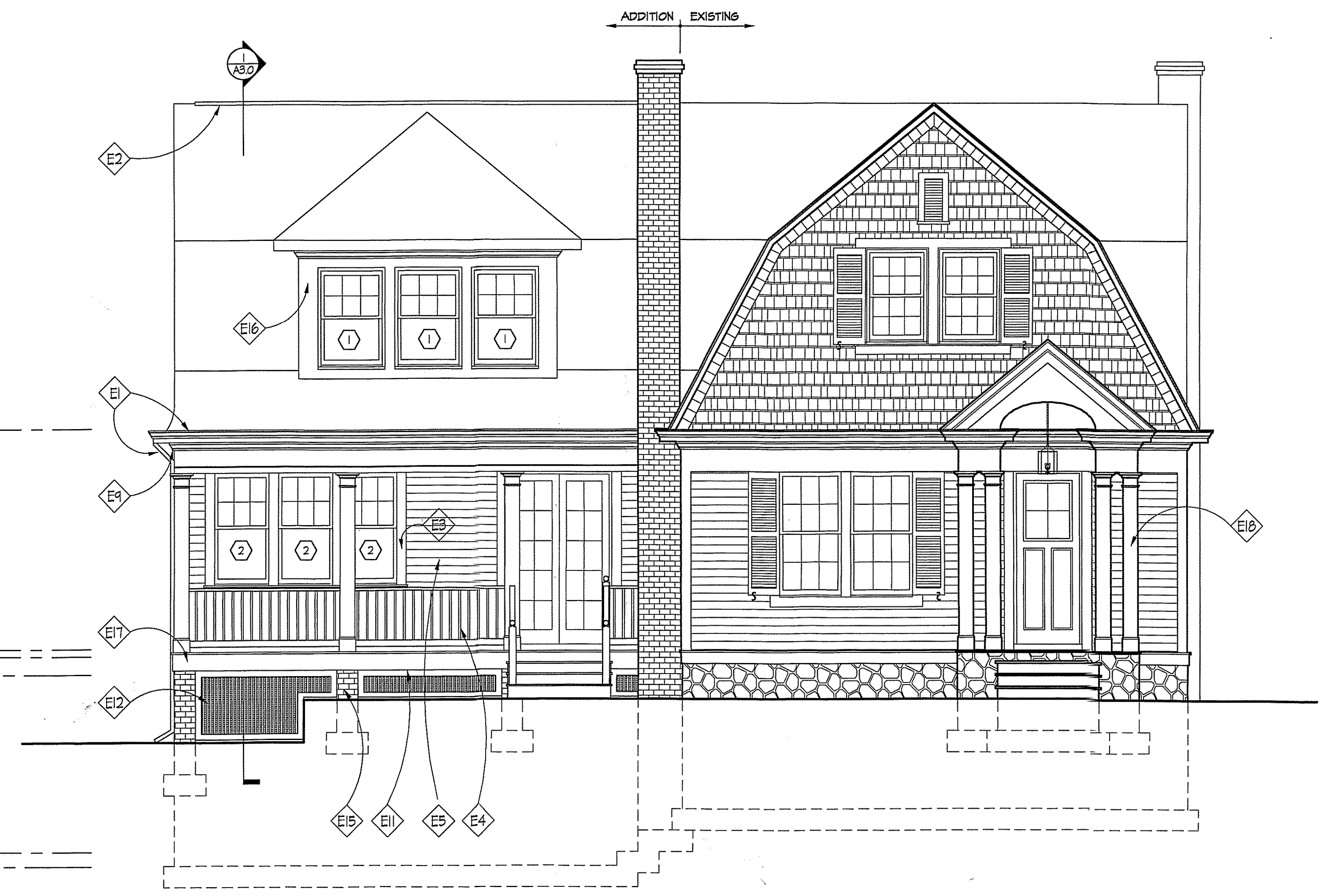
**MYERS  
 RESIDENCE**

REVISIONS:  
 PERMIT SET 12/11/01



DRAWN BY: MB  
 CHECKED BY: GTM  
 SCALE: AS NOTED  
 DATE: 12/11/01  
 PROJECT NO. 2001567  
 DRAWING NO.

**A2.0**



**WEST ELEVATION**  
 A2.0 SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

- |   |   |
|---|---|
| E1 NEW GUTTERS & DOWNSPOUTS   | E10 PAINTED SHUTTERS TO MATCH EXISTING        |
| E2 RIDGE VENT BY ROLLVENT OR APPROVED EQUAL   | E11 NEW WATERTABLE TRIM TO MATCH EXISTING     |
| E3 PAINTED 5/4"x4" WINDOW/DOOR TRIM BOARDS  | E12 LATTICE PANELS W/ 1x4 TRIM                |
| E4 PAINTED RAILING SYSTEM:<br>TOP RAIL: SMOOT # SM-8840<br>BOT. RAIL: SMOOT # SM-8841<br>PICKETS: SMOOT # LHM-237 | E13 NEW STAIR, PTD. RISERS TYP.               |
| E5 NEW PTD. 'HARDPLANK' SIDING, CONFIRM W/ OWNER, EXPOSURE TO MATCH EXISTING                                      | E14 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD) |
| E6 CEDAR SHINGLES TO MATCH EXISTING   | E15 BRICK PIERS                               |
| E7 PAINTED & PARGEED CMU (OR CONCRETE)  | E16 5/4 TRIM, CUT TO FIT                      |
| E8 PTD. 5/4x4 CORNER BOARDS W/ 2"ø 1/2 ROUND, (MATCH EXISTING DETAIL)   | E17 5/4x12 TRIM                               |
| E9 CROWN TO MATCH EXISTING  | E18 NEW FRONT PORTICO                         |

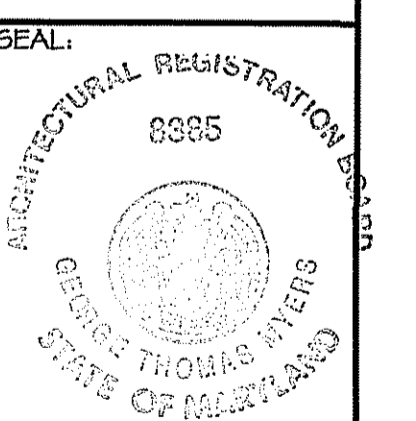
**NOTE:**  
 VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.  
 \* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.

FILE NAME: 200420

10314 FANCETT STREET  
KENSINGTON, MD  
NORTH ELEVATION

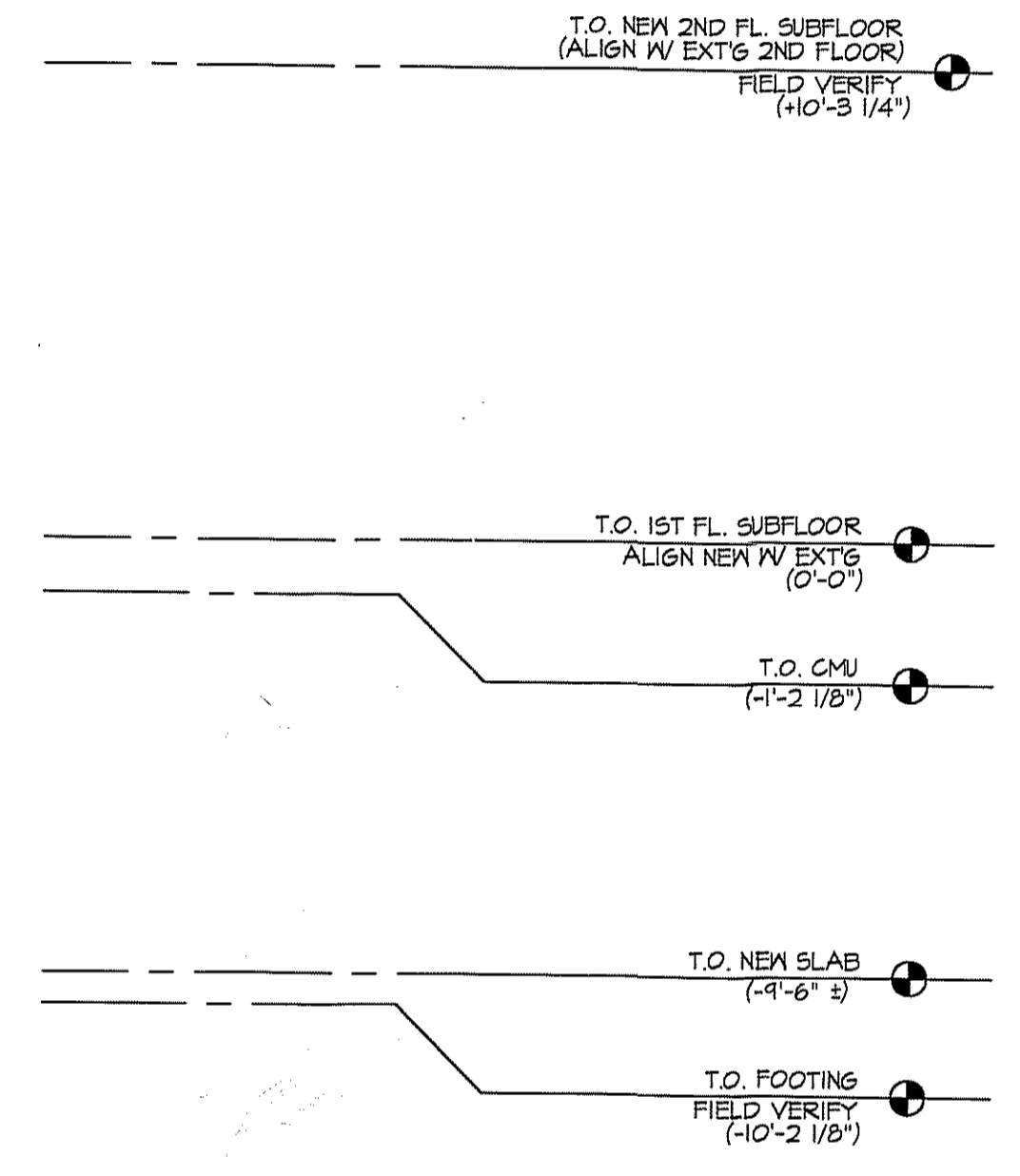
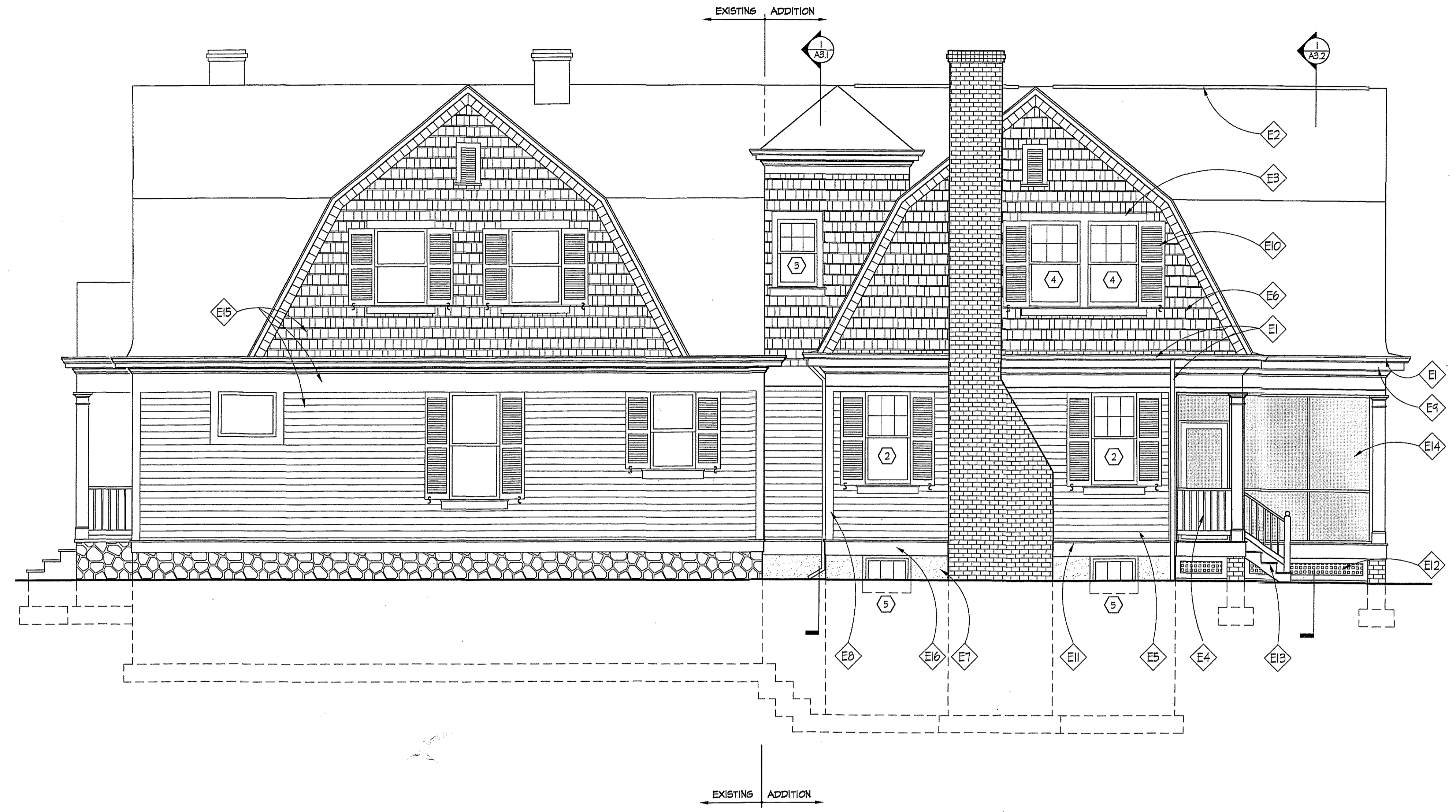
**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01



DRAWN BY: MB  
CHECKED BY: GTM  
SCALE: AS NOTED  
DATE: 12/17/01  
PROJECT NO: 2001567  
DRAWING NO:

**A2.1**



**A2.1** NORTH ELEVATION  
SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

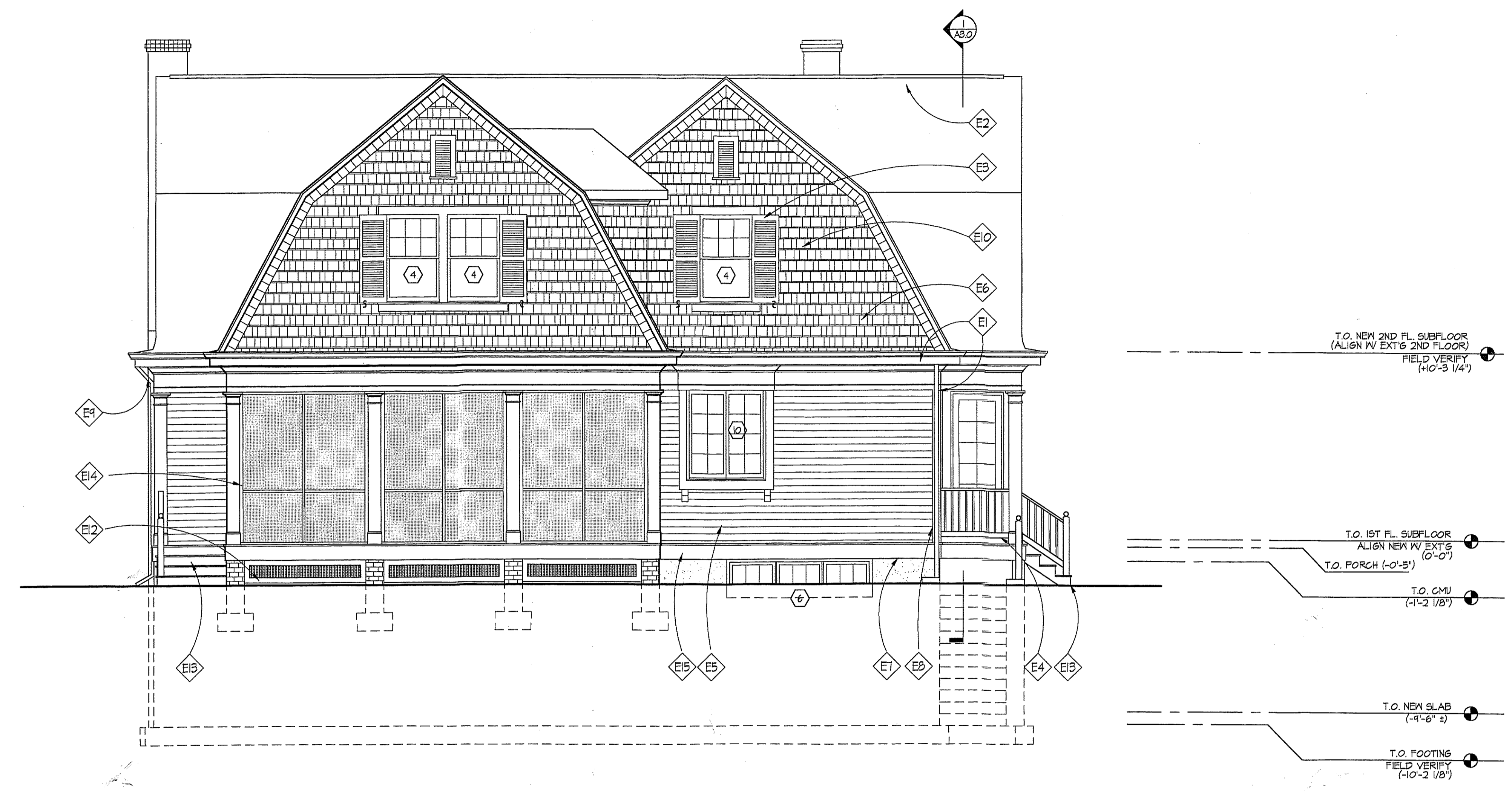
- |    |  |     |   |
|----|--|-----|---|
| E1 | NEW GUTTERS & DOWNSPOUTS   | E10 | PAINTED SHUTTERS TO MATCH EXISTING            |
| E2 | RIDGE VENT BY ROLLVENT OR APPROVED EQUAL   | E11 | NEW WATERTABLE TRIM TO MATCH EXISTING         |
| E3 | PAINTED 5/4"x4" WINDOW/DOOR TRIM BOARDS  | E12 | LATTICE PANELS 1/4" 1x4 TRIM                  |
| E4 | PAINTED RAILING SYSTEM:<br>TOP RAIL: SMOOT # SM-8840<br>BOT. RAIL: SMOOT # SM-8841<br>PICKETS: SMOOT # LHM-231 | E13 | NEW STAIR                                     |
| E5 | NEW PTD 'HARDPLANK' SIDING; CONFIRM W/ OWNER; EXPOSURE TO MATCH EXISTING                                       | E14 | 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD)     |
| E6 | CEDAR SHINGLES TO MATCH EXISTING, PTD.   | E15 | PREP & REPAINT CEDAR SHINGLES, SIDING, & TRIM |
| E7 | PAINTED & PARGEED CMU (OR CONCRETE)  | E16 | 5/4x12 TRIM                                   |
| E8 | PTD. 5/4x4 CORNER BOARDS W/ 2" 1/2 ROUND, (MATCH EXISTING DETAIL)  |     |   |
| E9 | CROWN TO MATCH EXISTING  |     |   |

**NOTE:**  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.  
\* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.

FILE NAME: 2001567.A2.1

10314 FANCETT STREET  
 KENSINGTON, MD  
 EAST ELEVATION

**MYERS  
 RESIDENCE**



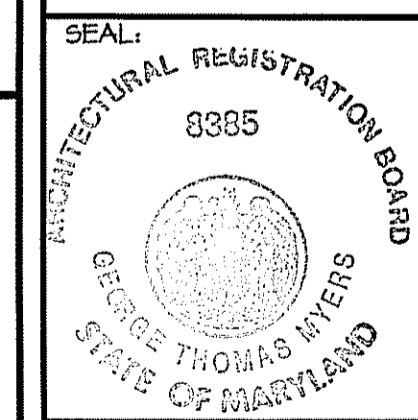
**1 EAST ELEVATION**  
 A2.2 SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

- |   |   |
|---|---|
| E1 NEW GUTTERS & DOWNSPOUTS   | E10 PAINTED SHUTTERS TO MATCH EXISTING        |
| E2 RIDGE VENT BY ROLLVENT OR APPROVED EQUAL   | E11 NEW WATERTABLE TRIM TO MATCH EXISTING     |
| E3 PAINTED 5/4"x4" WINDOW/DOOR TRIM BOARDS  | E12 LATTICE PANELS W/ 1x4 TRIM                |
| E4 PAINTED RAILING SYSTEM:<br>TOP RAIL: SMOOT # SM-2240<br>BOT. RAIL: SMOOT # SM-2241<br>PICKETS: SMOOT # LNM-237 | E13 NEW STAIR, FTD. RISERS                    |
| E5 NEW FTD. 'HARDPLANK' SIDING; CONFIRM W/ OWNER; EXPOSURE TO MATCH EXISTING                                      | E14 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD) |
| E6 CEDAR SHINGLES TO MATCH EXISTING, FTD.   | E15 5/4x12 TRIM                               |
| E7 PAINTED & FARGED CMU (OR CONCRETE)   |   |
| E8 FTD. 5/4x4 CORNER BOARDS W/ 2" Ø 1/2 ROUND, (MATCH EXISTING DETAIL)  |   |
| E9 CROWN TO MATCH EXISTING  |   |

REVISIONS:

PERMIT SET 12/17/01



DRAWN BY: MB  
 CHECKED BY: GTM  
 SCALE: AS NOTED  
 DATE: 12/17/01  
 PROJECT NO: 2001567  
 DRAWING NO:

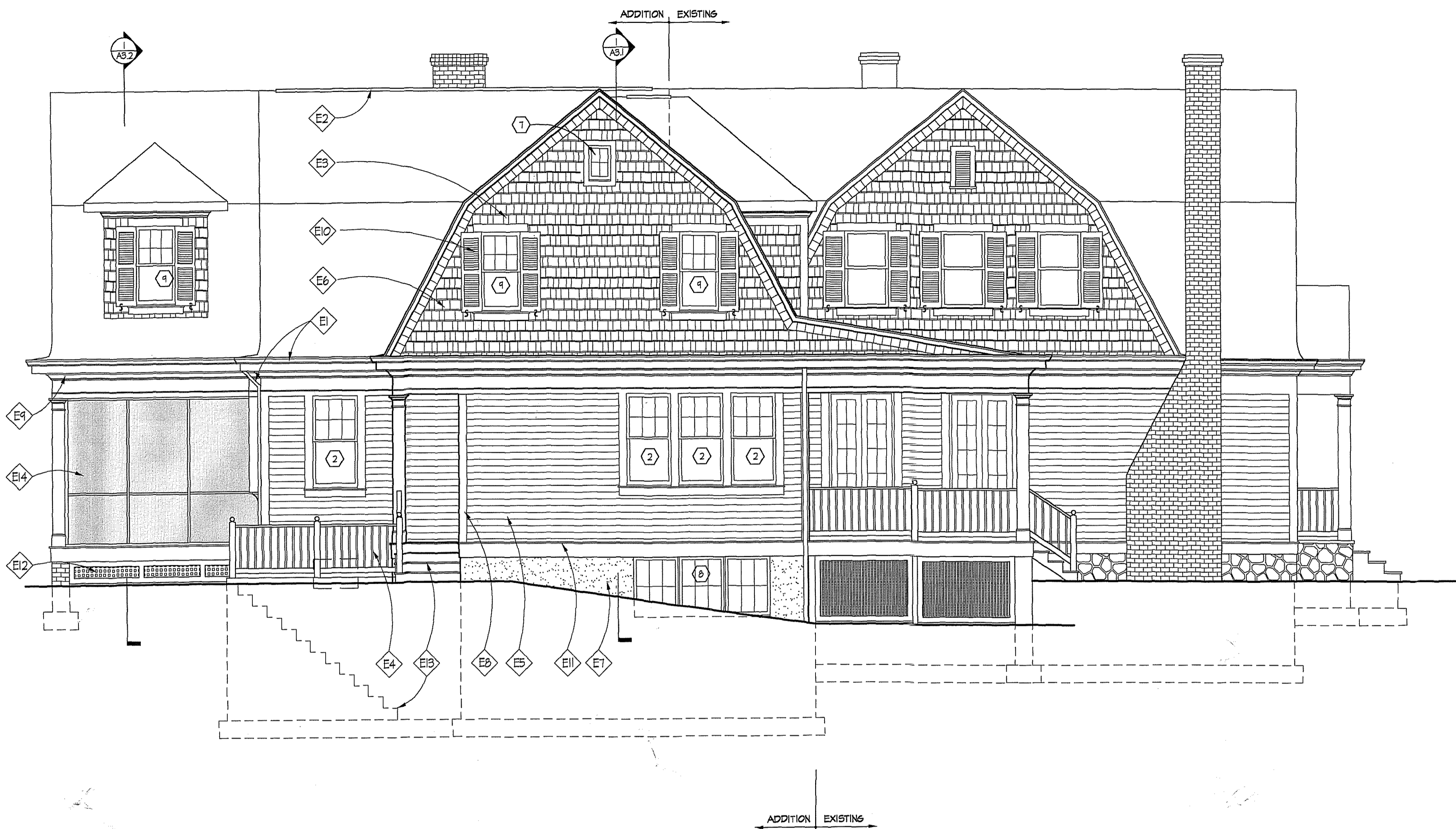
**A2.2**

NOTE:  
 VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.  
 \* MATCH NEW ROOF FITCH W/ EXISTING, V.I.F.

RELEASE 8/20/02

10314 FANCETT STREET  
KENSINGTON, MD  
SOUTH ELEVATION

**MYERS  
RESIDENCE**



T.O. NEW 2ND FL. SUBFLOOR  
(ALIGN W/ EXT'S 2ND FLOOR)  
FIELD VERIFY  
(10'-3 1/4")

T.O. 1ST FL. SUBFLOOR  
(ALIGN NEW W/ EXT'S  
(0'-0"))

T.O. CMU  
(-1'-2 1/8")

T.O. NEW SLAB  
(-4'-6" ±)

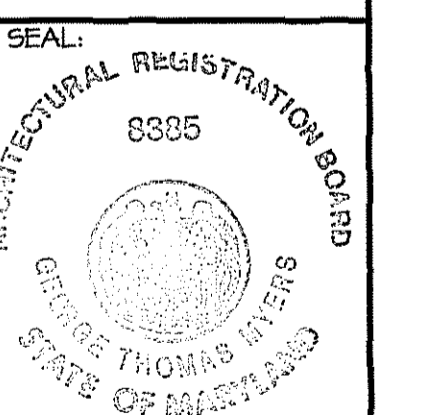
T.O. FOOTING  
FIELD VERIFY  
(-10'-2 1/8")

**SOUTH ELEVATION**  
A2.3 SCALE: 1/4"=1'-0"

**ELEVATION NOTES**

- |    |  |     |   |
|----|--|-----|---|
| E1 | NEW GUTTERS & DOWNSPOUTS   | E10 | PAINTED SHUTTERS TO MATCH EXISTING        |
| E2 | RIDGE VENT BY ROLLVENT OR APPROVED EQUAL   | E11 | NEW WATERTABLE TRIM TO MATCH EXISTING     |
| E3 | PAINTED 5/4"x4" WINDOW/DOOR TRIM BOARDS  | E12 | LATTICE PANELS W/ 1x4 TRIM                |
| E4 | PAINTED RAILING SYSTEM:<br>TOP RAIL: SMOOT # SM-8840<br>BOT. RAIL: SMOOT # SM-8841<br>PICKETS: SMOOT # LHM-231 | E13 | NEW STAIR                                 |
| E5 | NEW PTD. 'HARDPLANK' SIDING; CONFIRM W/ OWNER, EXPOSURE TO MATCH EXISTING                                      | E14 | 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD) |
| E6 | CEDAR SHINGLES TO MATCH EXISTING   |     |   |
| E7 | PAINTED & PARGEED CMU (OR CONCRETE)  |     |   |
| E8 | PTD. 5/4x4 CORNER BOARDS W/ 2" Ø 1/2 ROUND, (MATCH EXISTING DETAIL)  |     |   |
| E9 | CROWN TO MATCH EXISTING  |     |   |

REVISIONS:  
PERMIT SET 12/1/01



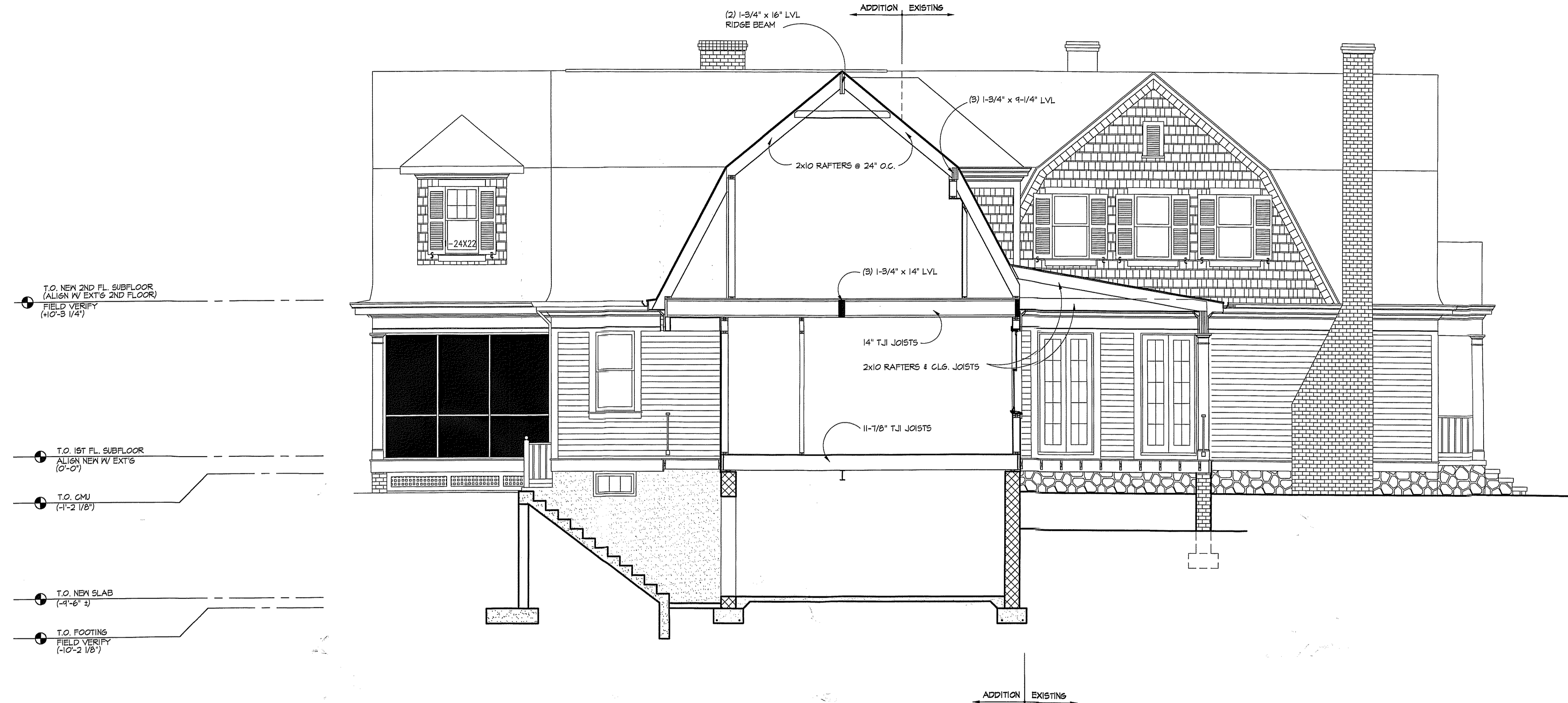
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CHECKED BY: GTM  
SCALE: AS NOTED  
DATE: 12/17/01  
PROJECT NO.: 2001567  
DRAWING NO.:

**NOTE:**  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.  
\* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.

**A2.3**

10314 FANCETT STREET  
 KENSINGTON, MD  
 SECTION

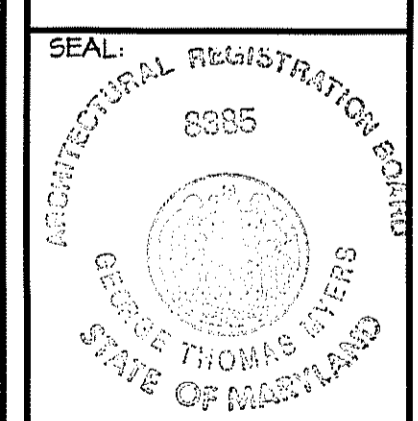
**MYERS  
 RESIDENCE**



- T.O. NEW 2ND FL. SUBFLOOR  
 (ALIGN W/ EXT'G 2ND FLOOR)  
 FIELD VERIFY  
 (+10'-3 1/4')
- T.O. 1ST FL. SUBFLOOR  
 (ALIGN NEW W/ EXT'G  
 (0'-0'))
- T.O. CMU  
 (-1'-2 1/8')
- T.O. NEW SLAB  
 (-4'-6" ±)
- T.O. FOOTING  
 FIELD VERIFY  
 (-10'-2 1/8')

**SECTION**  
 A3.0 SCALE: 1/4"=1'-0"

REVISIONS:
PERMIT SET 12/17/01



DRAWN BY:	SW
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	12/17/01
PROJECT NO.	2001567
DRAWING NO.	

**A3.0**

**GTM**  
ARCHITECTS

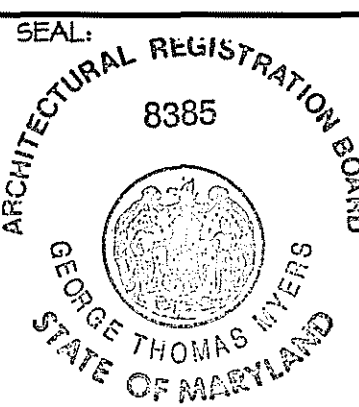
10415 ARMORY AVENUE,  
KENSINGTON, MD. 20845  
(301)442-4062  
(301)442-3424 FAX

10314 FANCETT STREET  
KENSINGTON, MD

SECTION

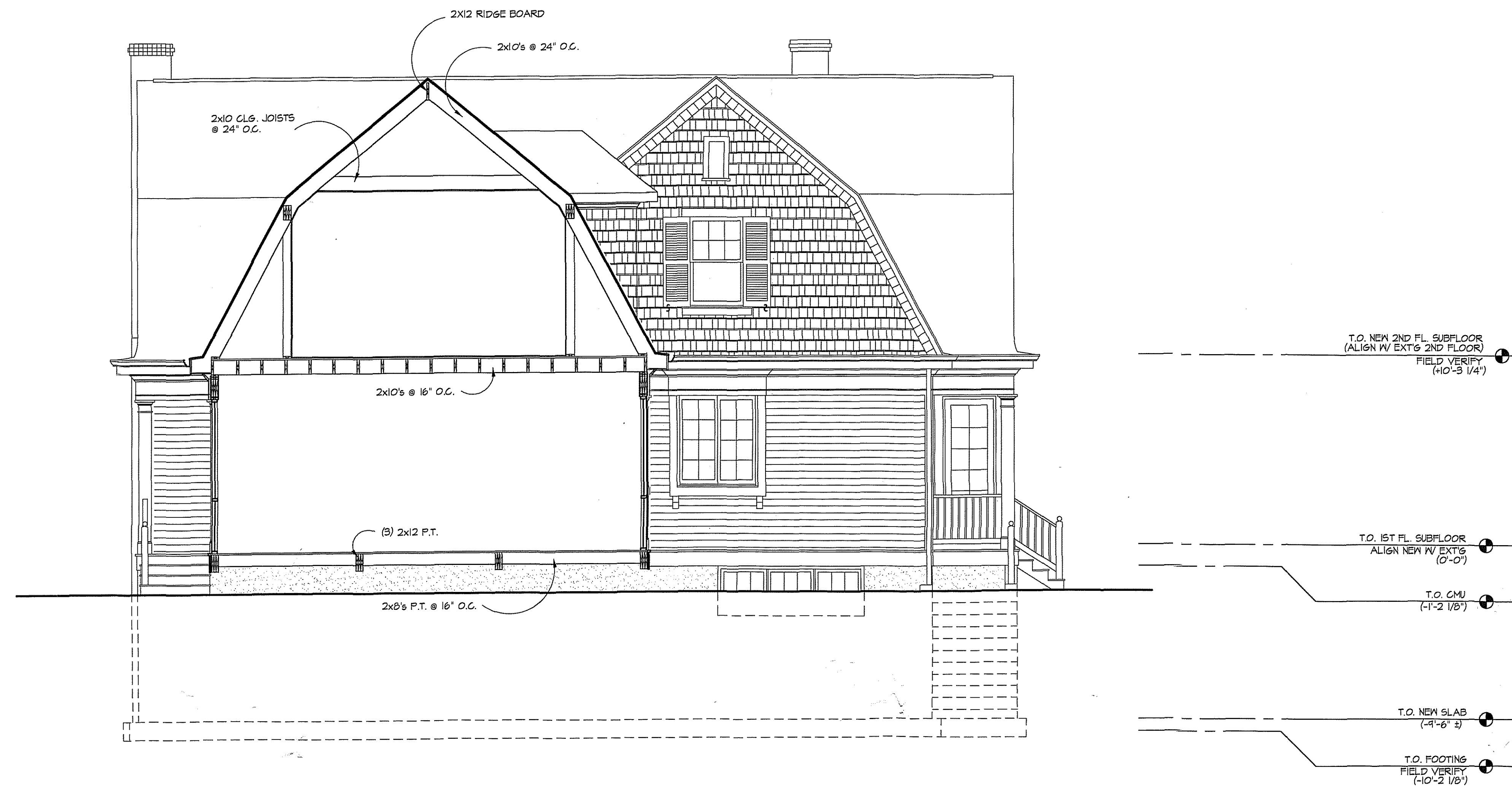
**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01



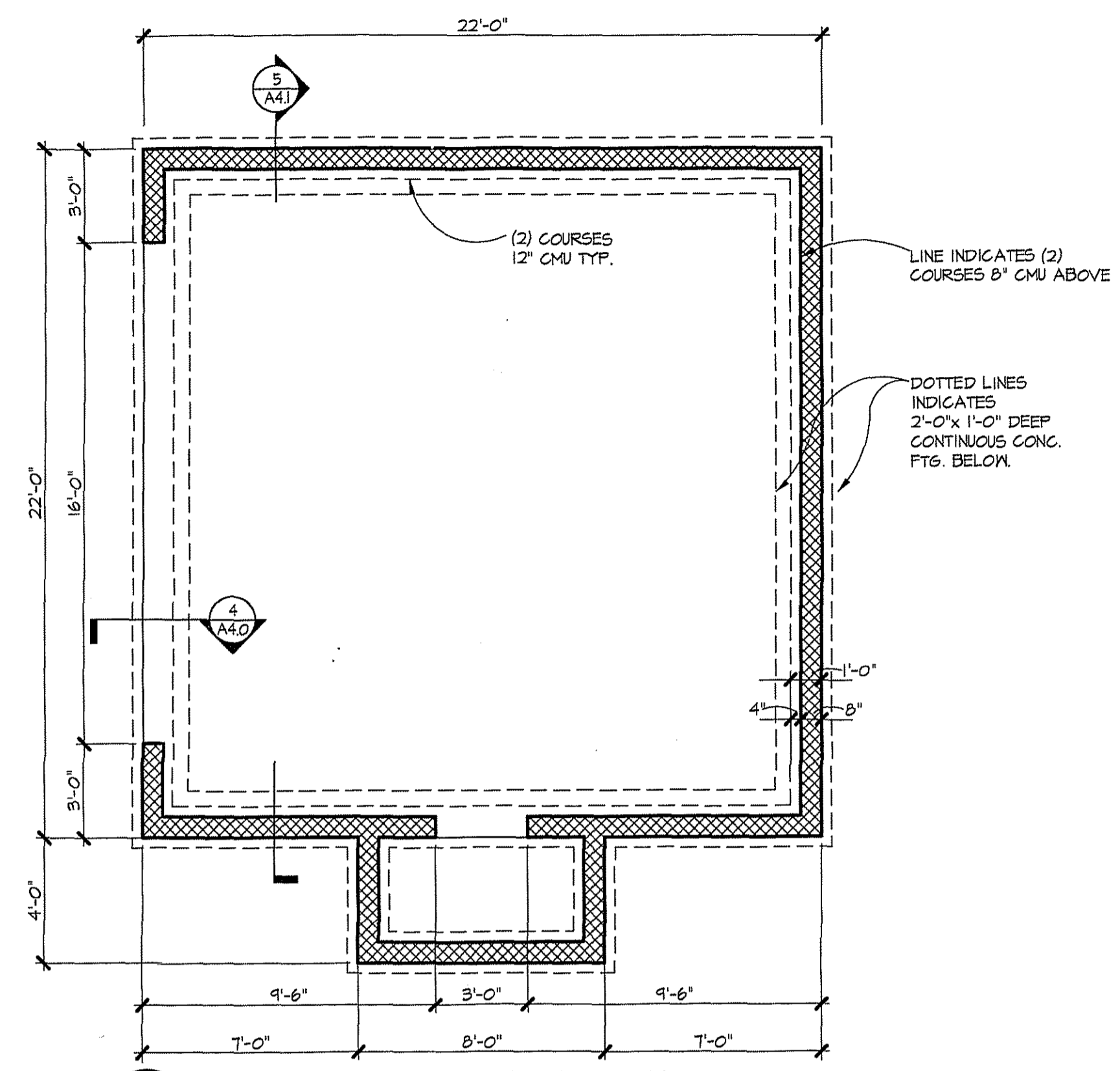
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DATE: 12/17/01  
PROJECT NO. 2001567  
DRAWING NO.

**A3.2**

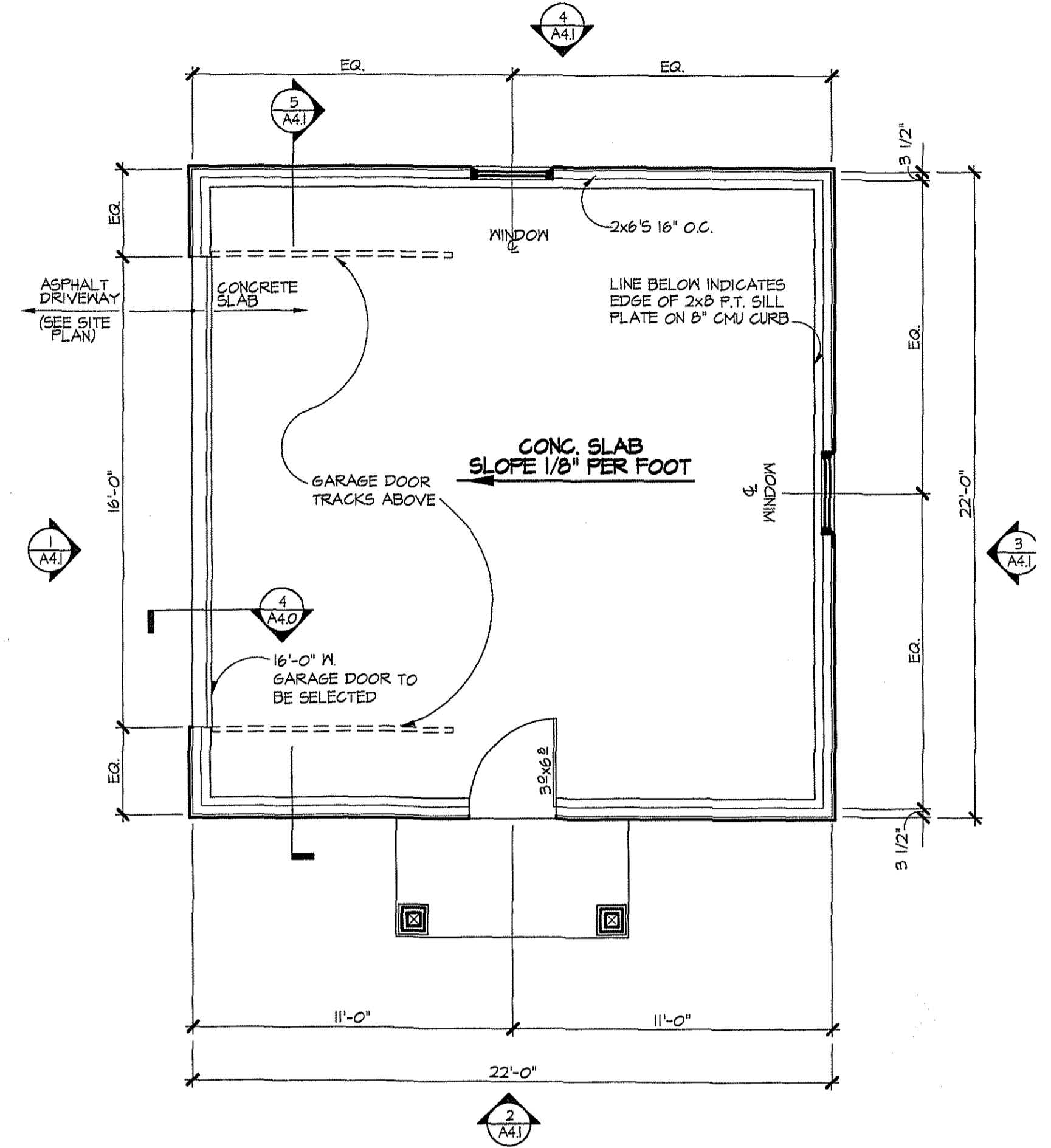


SECTION  
A3.2 SCALE: 1/4"=1'-0"

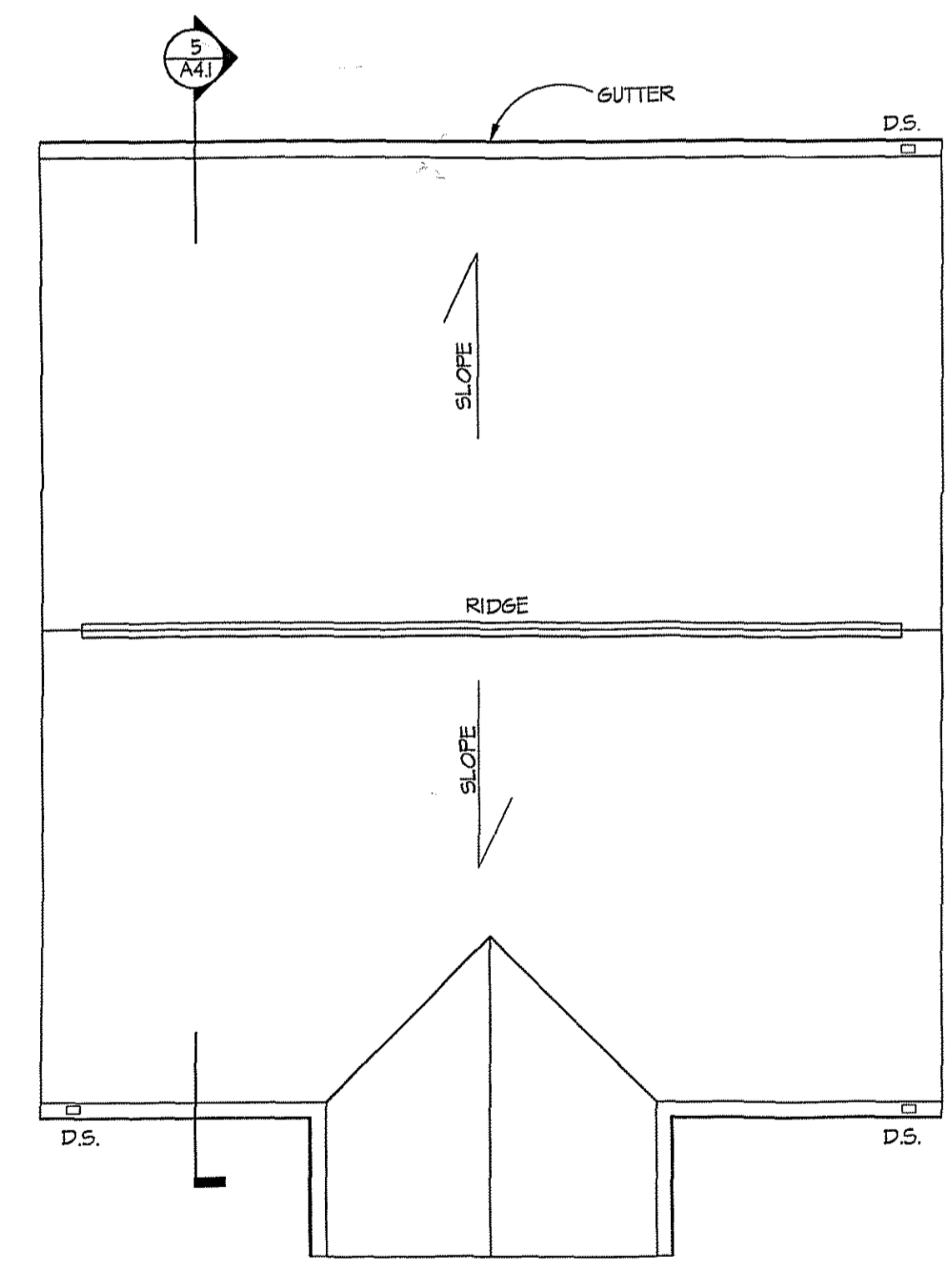
**MYERS RESIDENCE**



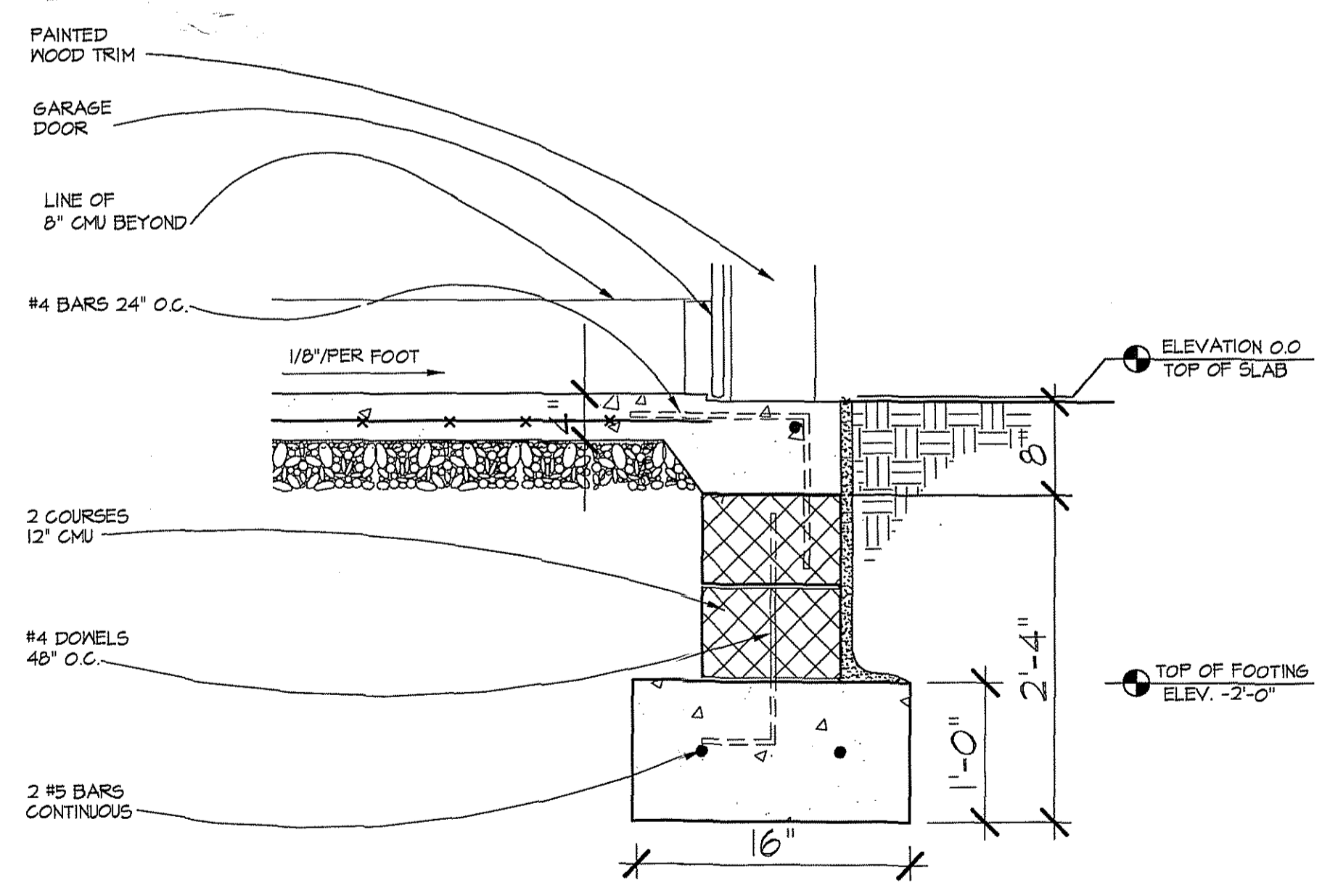
**1 GARAGE FOUNDATION PLAN**  
 A4.0 SCALE: 1/4"=1'-0"



**2 GARAGE FOUNDATION PLAN**  
 A4.0 SCALE: 1/4"=1'-0"



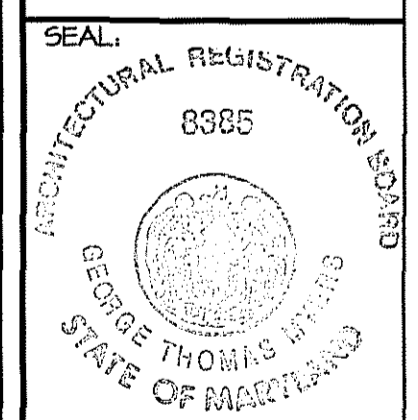
**3 GARAGE ROOF PLAN**  
 A4.0 SCALE: 1/4"=1'-0"



**4 FOUNDATION DETAIL**  
 A4.0 SCALE: 1"=1'-0"

REVISIONS:

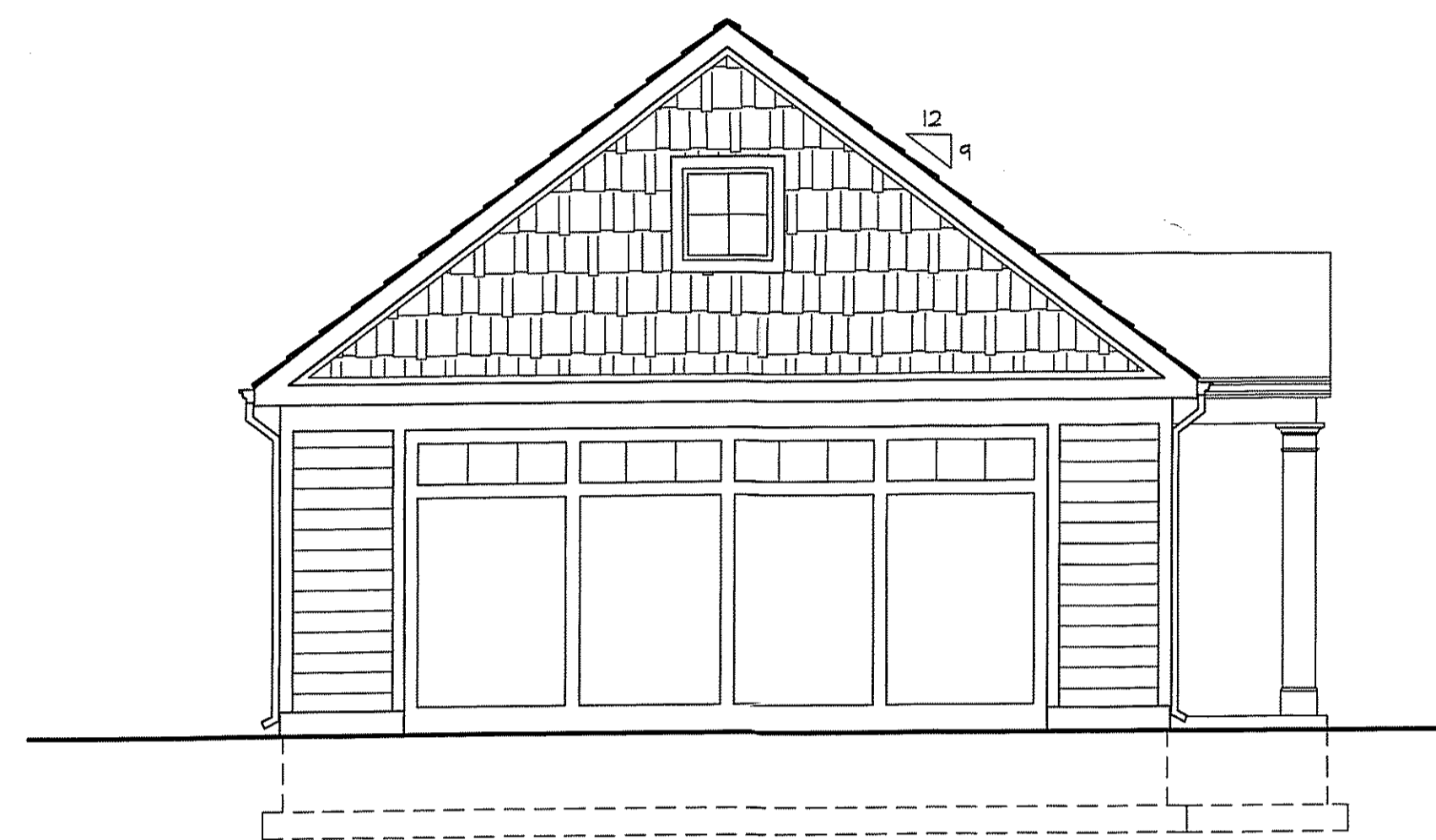
PERMIT SET 12/17/01



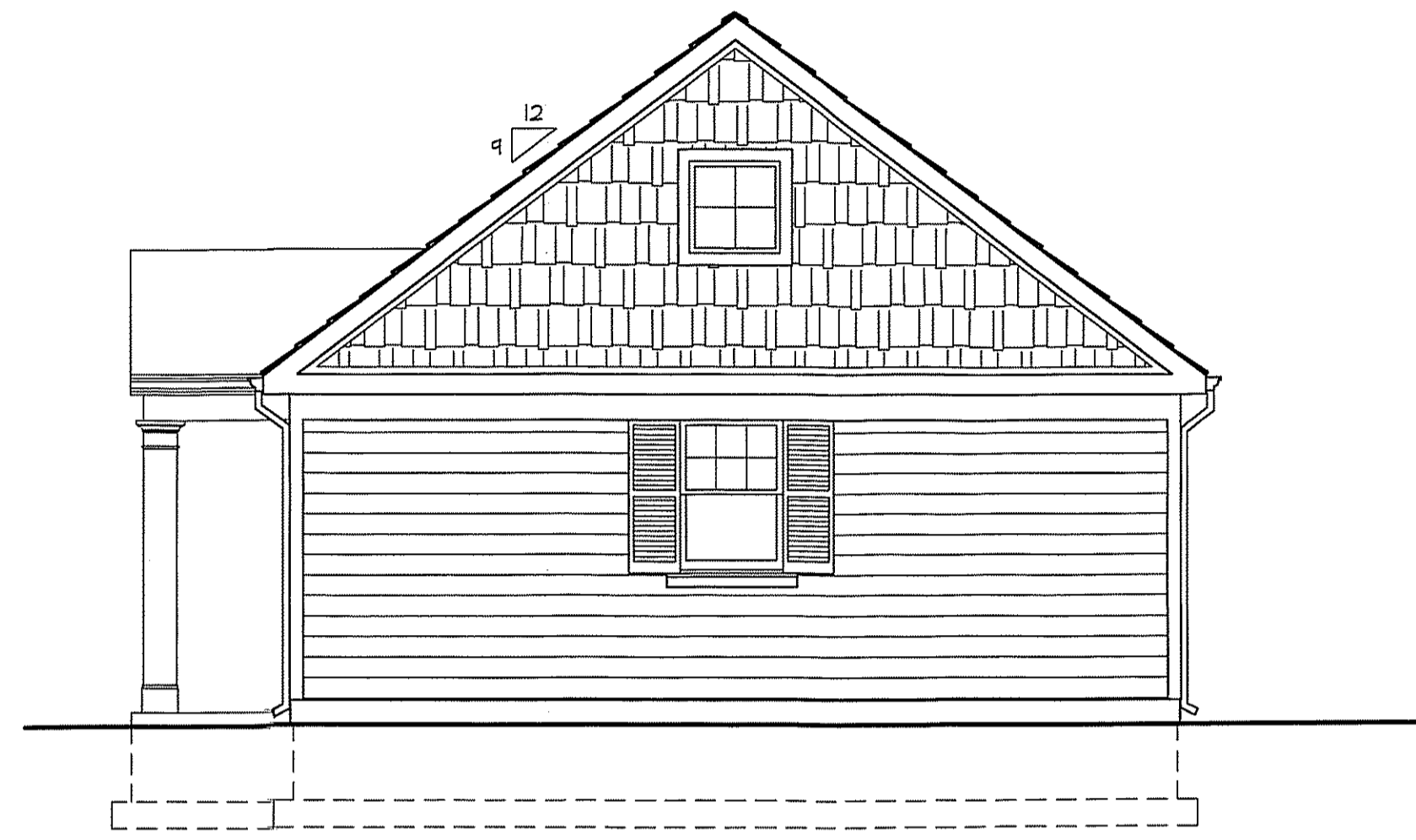
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 SCALE: AS NOTED  
 DATE: 12/17/01  
 PROJECT NO. 2001561  
 DRAWING NO.

**A4.0**

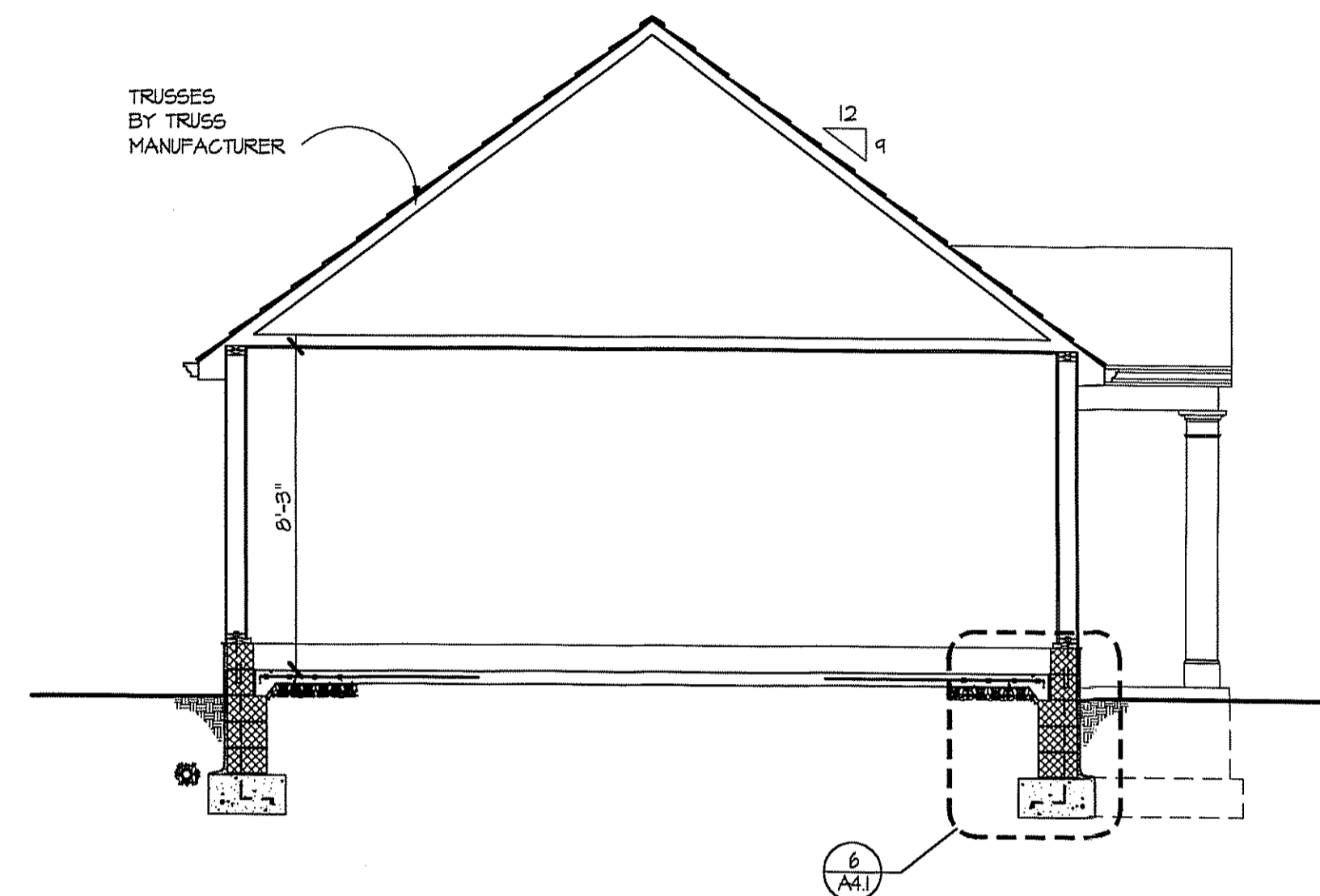




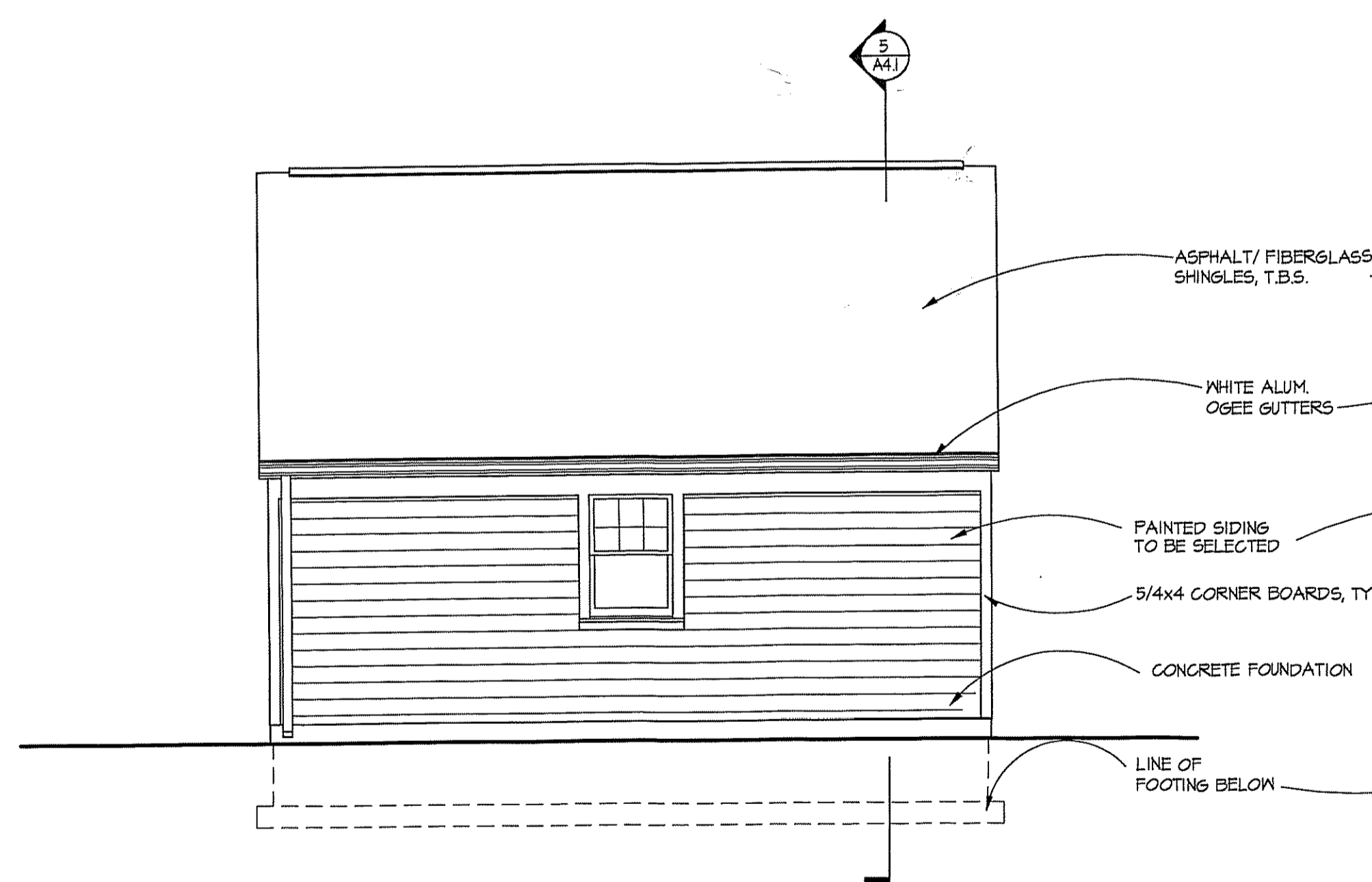
1 SOUTH ELEVATION  
A4.1 SCALE: 1/4"=1'-0"



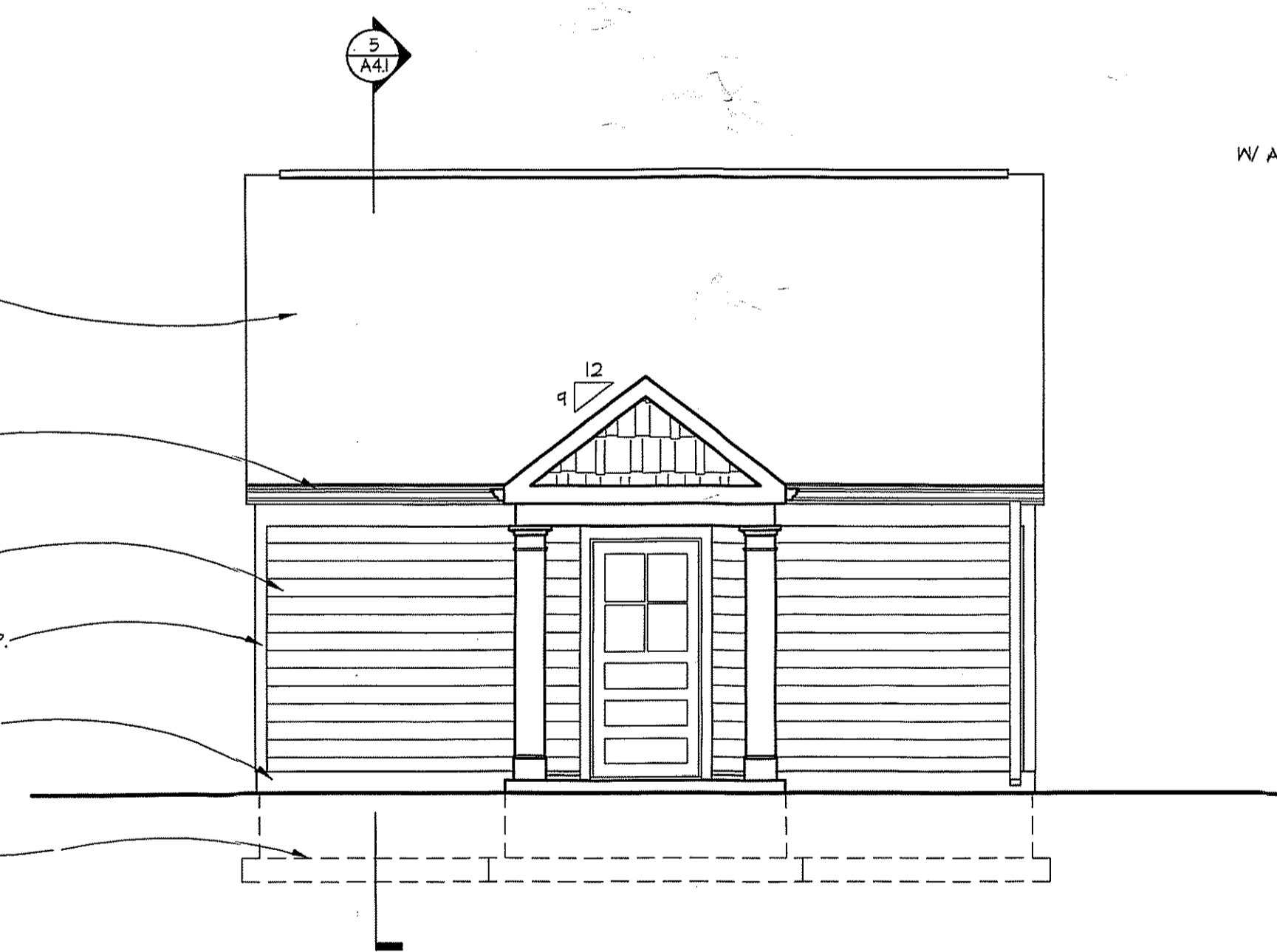
2 NORTH ELEVATION  
A4.1 SCALE: 1/4"=1'-0"



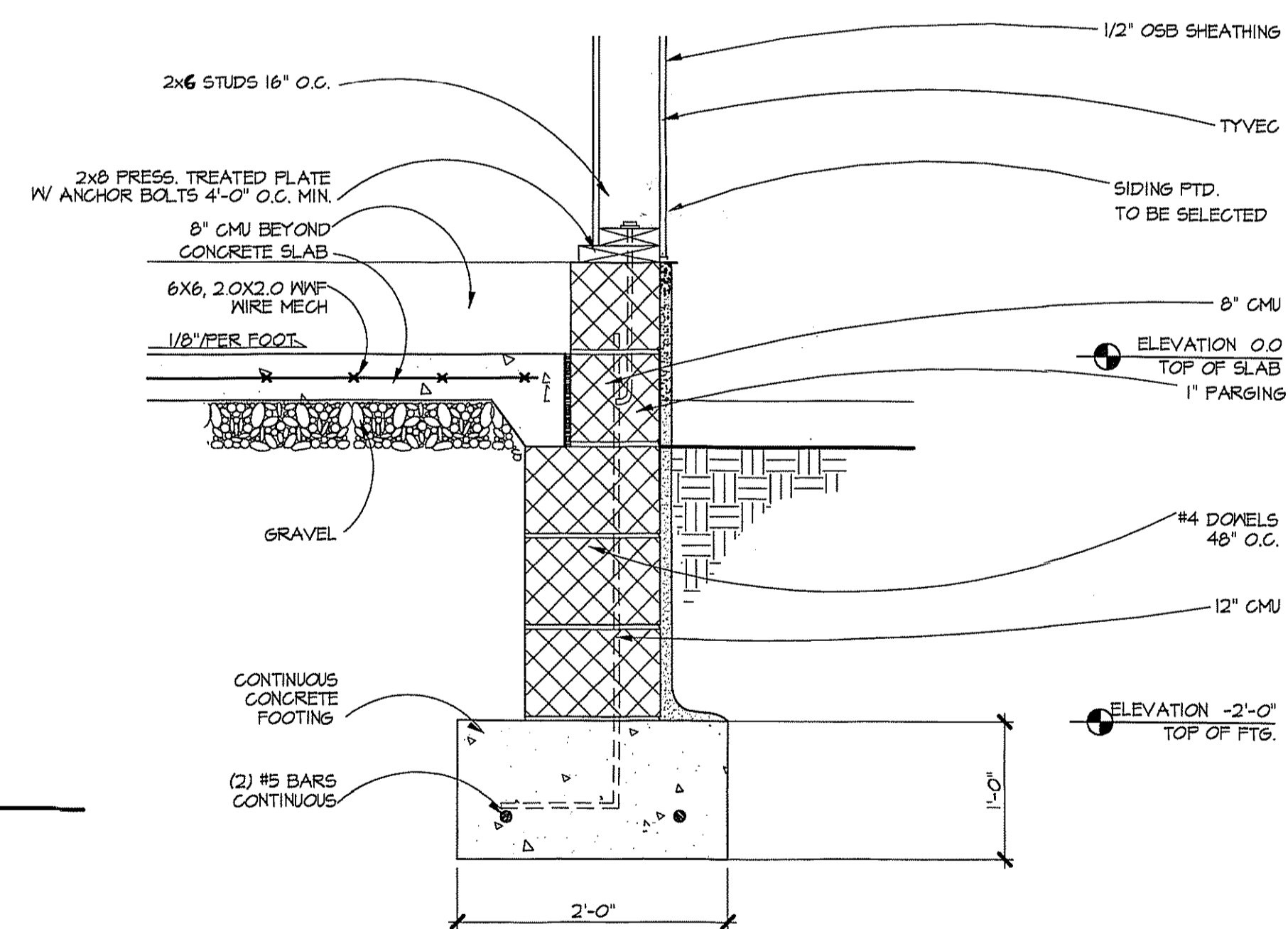
5 TYP. BUILDING SECTION  
A4.1 SCALE: 1/4"=1'-0"



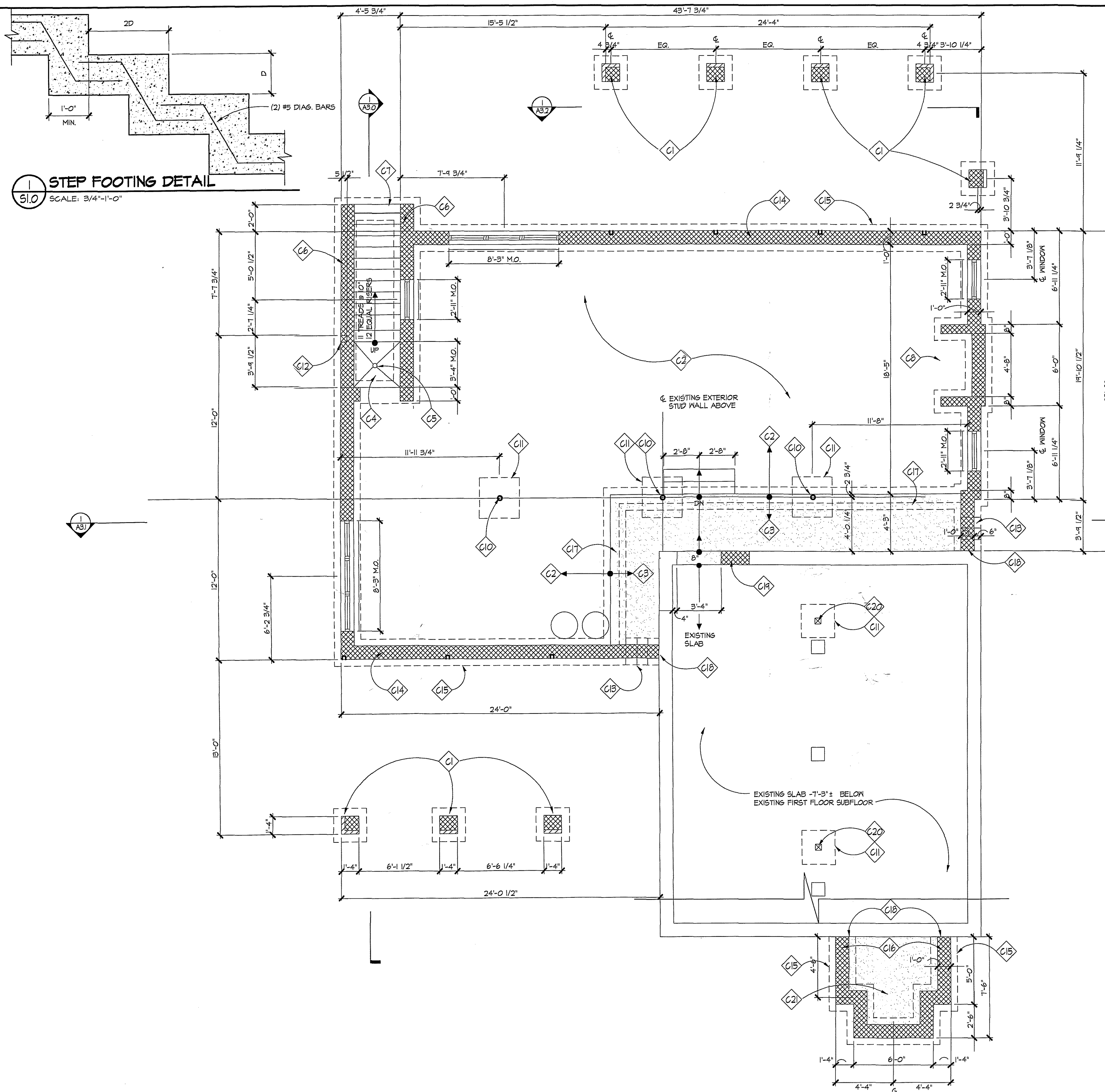
3 WEST ELEVATION  
A4.1 SCALE: 1/4"=1'-0"



4 EAST ELEVATION  
A4.1 SCALE: 1/4"=1'-0"



6 FOOTING AT MASONRY BLOCK WALL  
A4.1 SCALE: 1/4"=1'-0"



1 STEP FOOTING DETAIL  
SCALE: 3/4"=1'-0"

2 FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 16" BRICK PIERS ON 2'-6"x2'-6"x1'-0" DEEP CONCRETE FOOTINGS, W (3) #5 BARS EACH WAY
- C2 4" CONCRETE SLAB @ 9'-6" BELOW EXISTING FIRST FLOOR SUBFLOOR
- C3 CONCRETE SLAB @ 7'-11" BELOW EXISTING FIRST FLOOR SUBFLOOR
- C4 CONCRETE SLAB @ 10'-0" BELOW EXISTING FIRST FLOOR SUBFLOOR
- C5 DRAIN, RUN TO SUMP PUMP
- C6 TOP OF CONCRETE WALL @ 4" ABOVE EXISTING GRADE
- C7 TOP OF WALL @ 4' BELOW EXISTING GRADE
- C8 SUMP PUMP
- C9 CONCRETE SLAB @ 9'-10" BELOW EXISTING FIRST FLOOR SUBFLOOR
- C10 STEEL TUBE COLUMN 4x4x1/4
- C11 3'-0"x3'-0"x1'-0" DEEP CONCRETE FOOTING W (3) #5 BARS EACH WAY
- C12 6x6 POST ABOVE SUPPORTING PORCH
- C13 STEP FOOTING
- C14 12" CMU WALL W/ #5 BARS VERTICALLY @ 24" O.C. FILL ALL CELLS, SOLID W/ CONG.; PROVIDE HORIZ. TRUSS JOINT REINF. @ 8" O.C. VERT. SPACING; PROVIDE CONT. BOND BEAM @ TOP COURSE W/ (2) #4 BARS CONT.; REFER TO ELEVATION DRAWINGS FOR TOP OF WALL ELEVATION
- C15 DOTTED LINE INDICATES NEW 2'-0" WIDE x 1'-0" DEEP CONT. CONG. FOOTING PROVIDE (2) #5 BARS CONT.; STEP FOOTING AS INDICATED AND SHOWN ON ELEVATION DRAWINGS.
- C16 12" CMU BELOW GRADE; 8" CMU + 4" STONE TO MATCH EXISTING ABOVE GRADE
- C17 8" CMU KNEE WALL ON 8" DEEP x 16" WIDE CONG. FOOTING W/ (2) #5 BARS.
- C18 TIE NEW FOOTING TO EXSTG.; DRILL AND EPOXY W/ (2) #5 BARS EA. WAY.
- C19 INFILL FOUNDATION WALL WITH SOLIDLY GROUTED CMU.
- C20 NEW 6x6 P.T. POST ABOVE & BELOW
- C21 4" CONCRETE SLAB W/ #5BARS @ 12" O.C. EA. WAY MID HEIGHT OF SLAB

GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONG. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.)
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMN SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H25 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

**GTM**  
ARCHITECTS  
10415 ARMORY AVENUE,  
KENSINGTON, MD, 20845  
(301)442-4062  
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10314 FANCETT STREET  
KENSINGTON, MD  
FOUNDATION PLAN

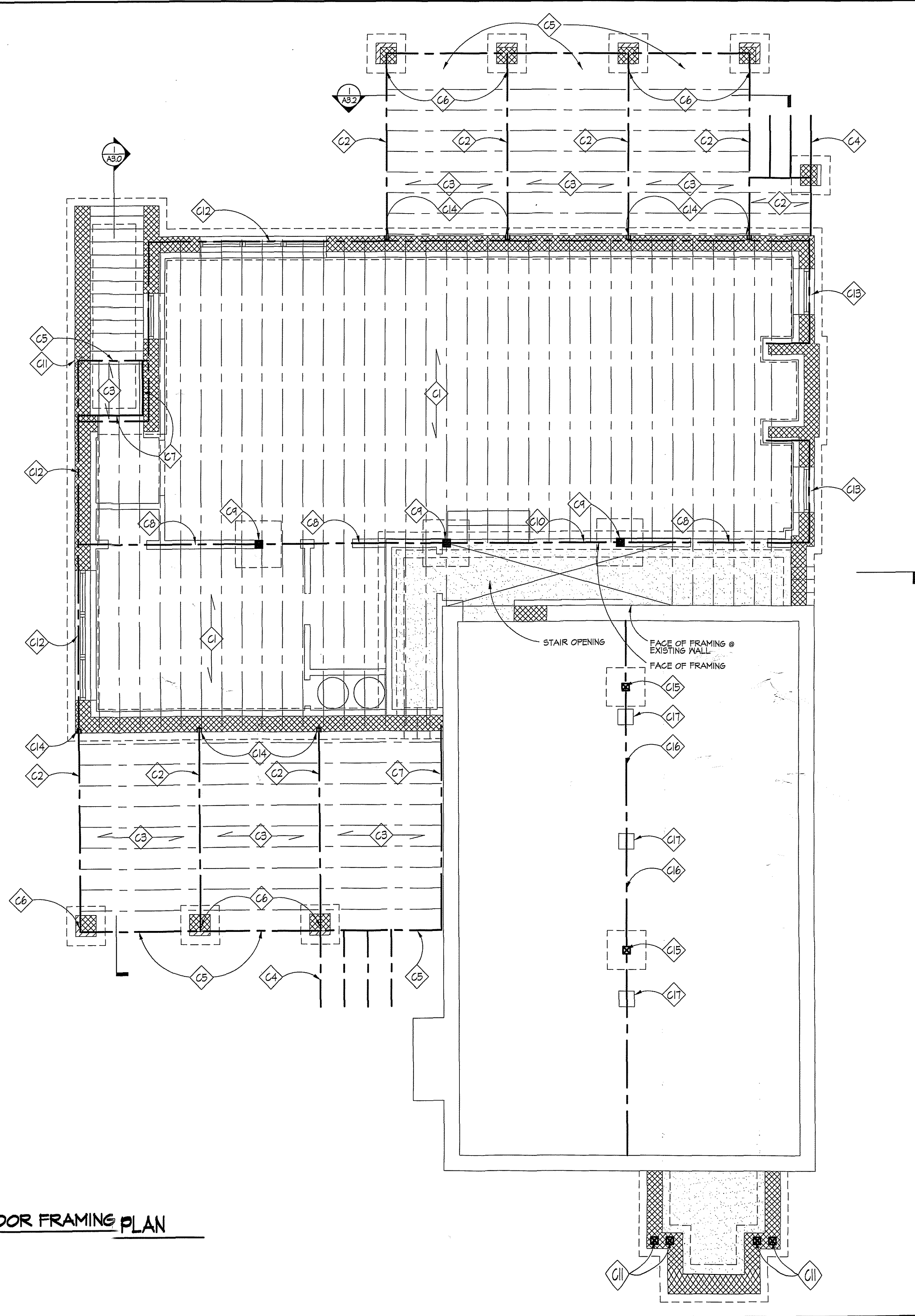
**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01

SEAL:  
ARCHITECTURAL REGISTRATION BOARD  
8335  
GEORGE THOMAS MYERS  
STATE OF MARYLAND

DRAWN BY: MB  
CHECKED BY: GTM  
SCALE: 1/4"=1'-0"  
DATE: 12/17/01  
PROJECT NO. 2001567

DRAWING NO.  
**S1.0**



51.1 FIRST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 11 7/8" TJI-350 JOISTS @ 16" O.C.
- C2 (3) 2x12 P.T. BEAM
- C3 2x8 P.T. JOISTS @ 16" O.C.
- C4 2x12 P.T. STAIR STRINGERS
- C5 2x12 P.T. RIM JOIST IN SAME PLANE
- C6 MASONRY PIERS BELOW
- C7 P.T. 2x8 LEDGER
- C8 W8x21 STEEL BEAM BELOW JOISTS
- C9 STEEL COLUMN, SEE S1.0
- C10 (3) 11 7/8" LVL IN SAME PLANE AS JOISTS
- C11 6x6 POST BELOW
- C12 (3) 1 3/4"x11 7/8" LVL IN SAME PLANE AS FLOOR JOISTS
- C13 (2) 1 3/4"x11 7/8" LVL IN SAME PLANE AS FLOOR JOISTS
- C14 PROVIDE 3" POCKET IN FOUNDATION WALL FOR (3) 2x12 BEAM
- C15 NEW 6x6 P.T. POST BELOW AND ABOVE
- C16 EXISTING TIMBER BEAM
- C17 EXISTING MASONRY PIER

GENERAL NOTES

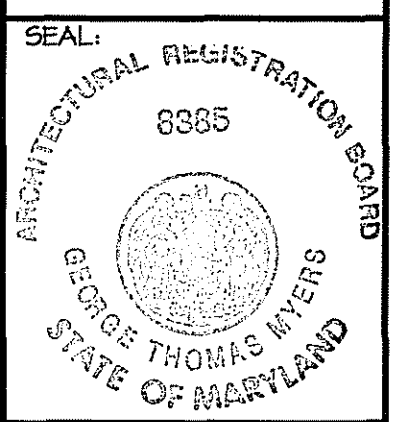
1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.)
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

**GTM**  
ARCHITECTS  
10415 ARMORY AVENUE,  
KENSINGTON, MD. 20845  
(301)442-4062  
(301)442-3424 FAX

10314 FANCETT STREET  
KENSINGTON, MD  
FIRST FLOOR FRAMING PLAN

**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01

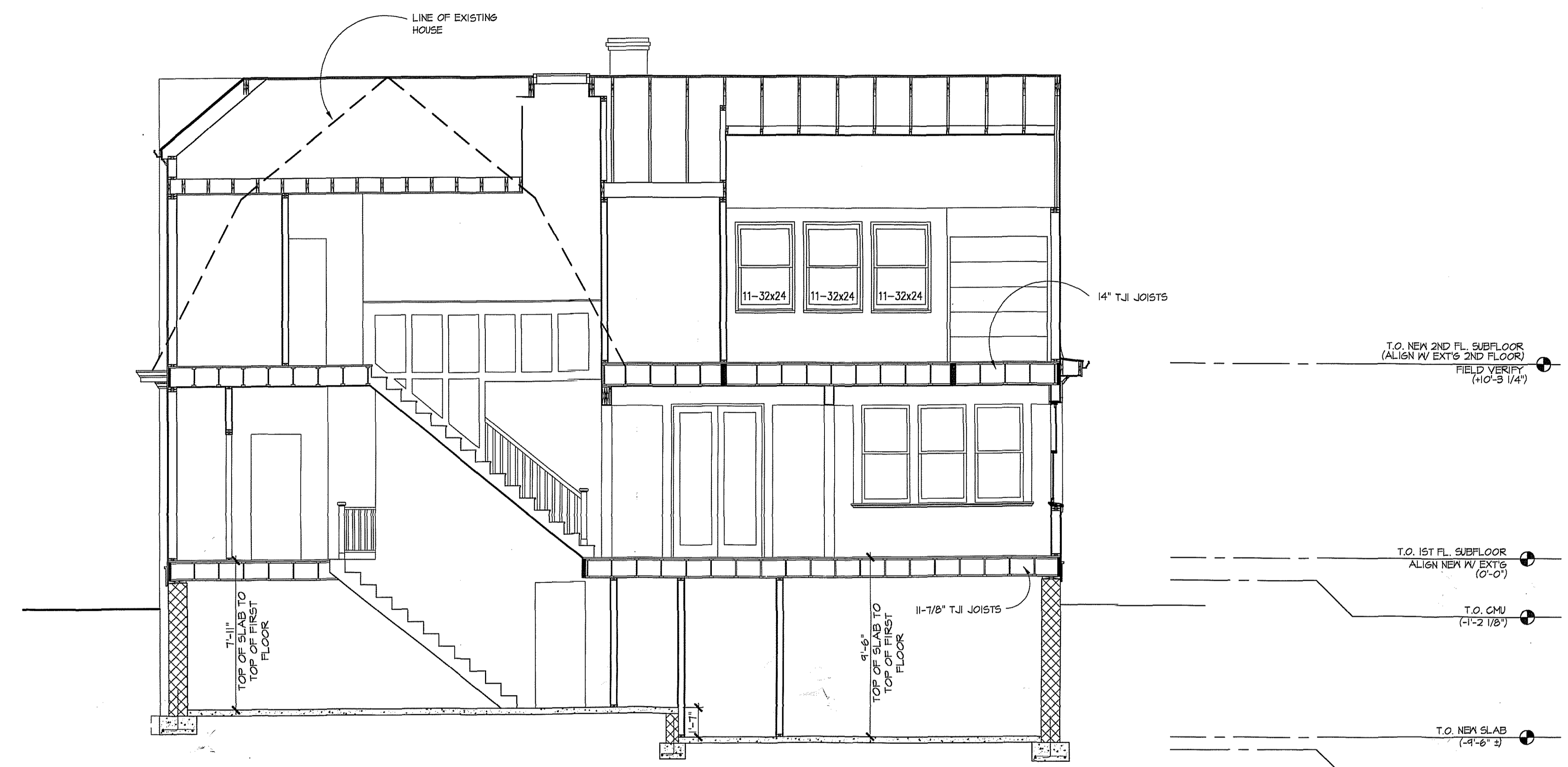


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CHECKED BY: GTM  
SCALE: 1/4"=1'-0"  
DATE: 12/17/01  
PROJECT NO. 2001567  
DRAWING NO.

**S1.1**

10314 FANCETT STREET  
 KENSINGTON, MD  
 SECTION

**MYERS  
 RESIDENCE**



SECTION  
 A3.1 SCALE: 1/4"=1'-0"

T.O. NEW 2ND FL. SUBFLOOR  
 (ALIGN W/ EXT'G 2ND FLOOR)  
 FIELD VERIFY  
 (10'-3 1/4")

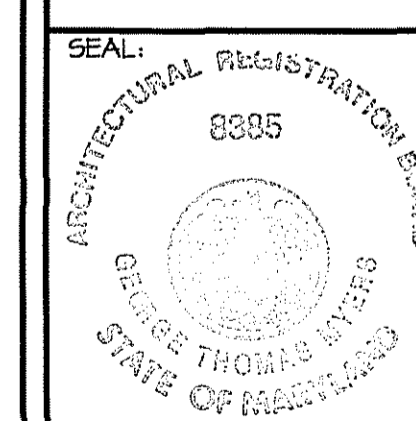
T.O. 1ST FL. SUBFLOOR  
 ALIGN NEW W/ EXT'G  
 (0'-0")

T.O. CMU  
 (-1'-2 1/8")

T.O. NEW SLAB  
 (-4'-6"±)

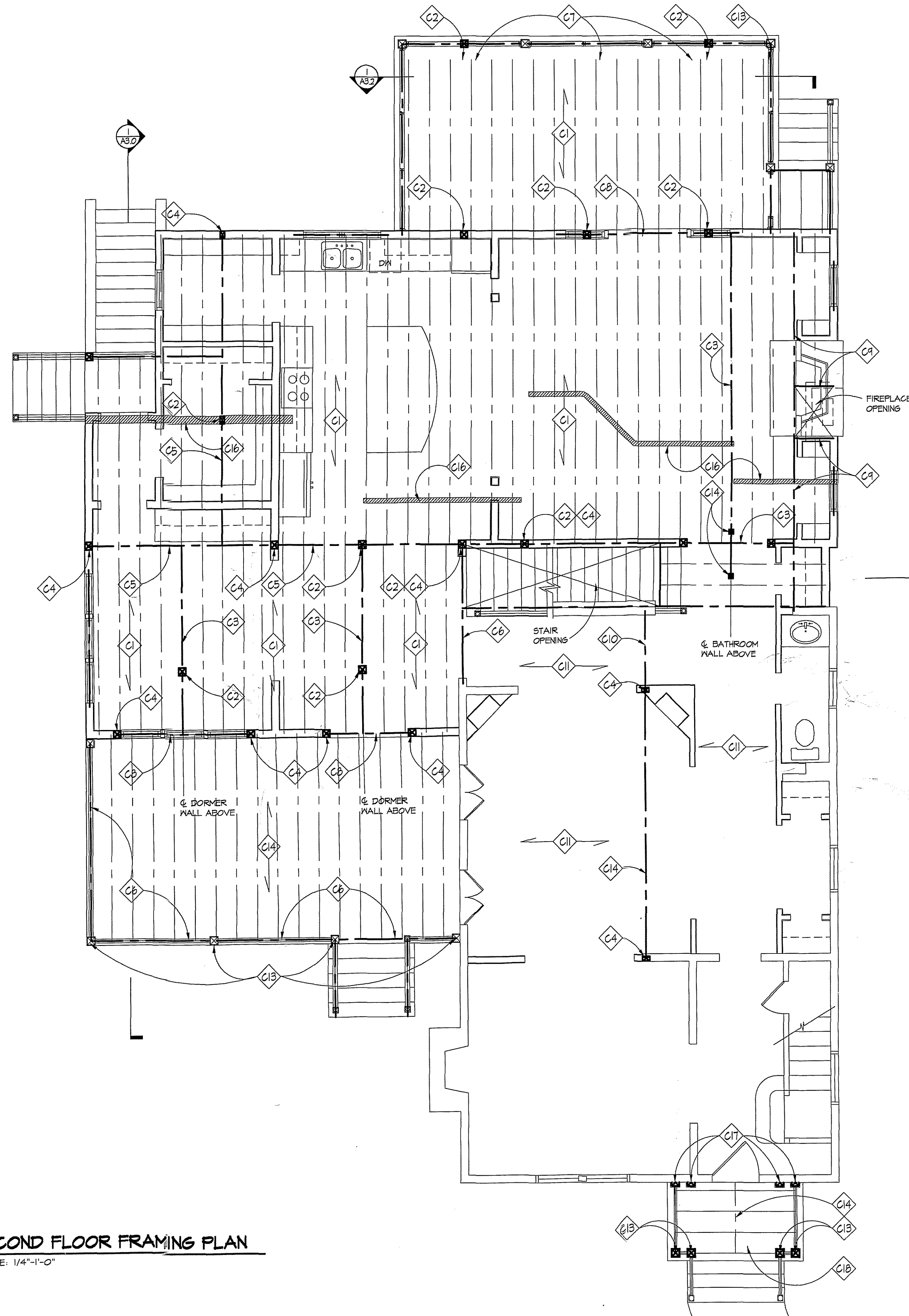
T.O. FOOTING  
 FIELD VERIFY  
 (-10'-2 1/8")

REVISIONS:  
 PERMIT SET 12/11/01



DRAWN BY: SW  
 CHECKED BY: GTM  
 SCALE: AS NOTED  
 DATE: 12/11/01  
 PROJECT NO. 2001567  
 DRAWING NO.

**A3.1**



### CONSTRUCTION NOTES

- C1 14" TJI.250 JOISTS @ 16" O.C.
- C2 POST FROM ABOVE, 5 1/4x5 1/4 PSL
- C3 (2) 1 3/4"x14" LVL BEAM IN SAME PLANE AS JOISTS
- C4 POST BELOW, 5 1/4x5 1/4 PSL
- C5 (3) 1 3/4"x14" LVL BEAM IN SAME PLANE AS JOISTS
- C6 (3)2x12 BEAM @ PORCH, TYP.
- C7 (3) 1 3/4"x11 1/4" LVL BEAM CONTINUOUS
- C8 (3) 1 3/4"x14" LVL HEADER IN SAME PLANE AS JOISTS
- C9 DOUBLE JOIST
- C10 (3) 2x8 HORIZONTAL IN SAME PLANE AS EXISTING JOISTS
- C11 EXISTING 2x8 JOISTS @ 16" O.C.
- C12 (3) 1 3/4"x14" LVL (OR STEEL), TOP OF BEAM TO ALIGN W/ TOP OF EXISTING JOISTS
- C13 6x6 POST BELOW @ PORCH, TYP.
- C14 2x10 RAFTERS & CEILING JOISTS
- C15 POST ABOVE, 4x4
- C16 HATCHED WALLS INDICATE LOAD-BEARING WALLS ABOVE
- C17 HALF 6x6 POST BELOW
- C18 2x8 RAFTERS @ 16" O.C.

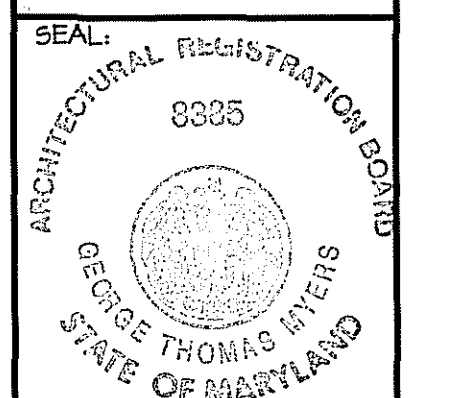
**GTM**  
ARCHITECTS

10415 ARMORY AVENUE,  
KENSINGTON, MD. 20845  
(301)442-4062  
(301)442-3424 FAX

10314 FANCETT STREET  
KENSINGTON, MD  
SECOND FLOOR FRAMING  
PLAN

**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01



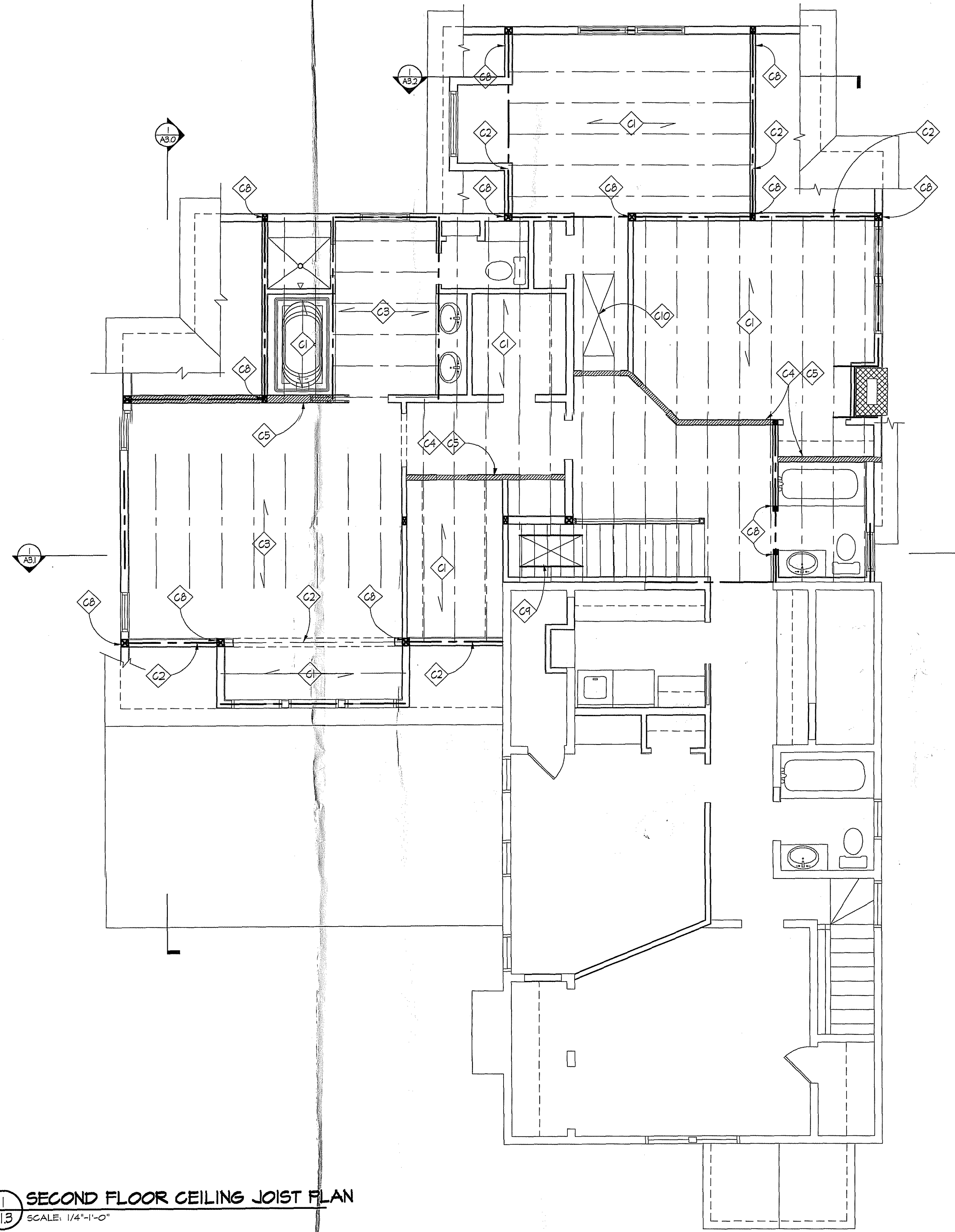
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MB  
CHECKED BY:  
GTM  
SCALE:  
1/4" = 1'-0"  
DATE:  
12/17/01  
PROJECT NO.  
2001567  
DRAWING NO.

**S12**

### GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP)
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS, PROVIDE ST 2x2 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

**SECOND FLOOR FRAMING PLAN**  
S12 SCALE: 1/4"=1'-0"



**SECOND FLOOR CEILING JOIST PLAN**  
 S1.3 SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 2X10 CEILING JOISTS @ 24" O.C. @ 9'-0" ABOVE SUBFLOOR
- C2 (B) 1 3/4"x9 1/4" LVL IN SAME PLANE AS JOISTS
- C3 CATHEDRAL CEILINGS, FUR DOWN AROUND RIDGE BEAM W/ 2x6'S @ 16" O.C., @ 12'-0" ABOVE SECOND FLOOR SUBFLOOR
- C4 BREAK CEILING JOISTS OVER SHADED WALL (LOAD BEARING)
- C5 HATCHED WALL INDICATES LOAD BEARING WALL FOR COLLAR TIES ONLY
- C6 POST IN WALL
- C7 MAXIMIZE CEILING HEIGHT IN THIS AREA
- C8 POST IN WALL
- C9 SKYLIGHT
- C10 OPENING FOR FULL-DOWN STAIR

**GENERAL NOTES**

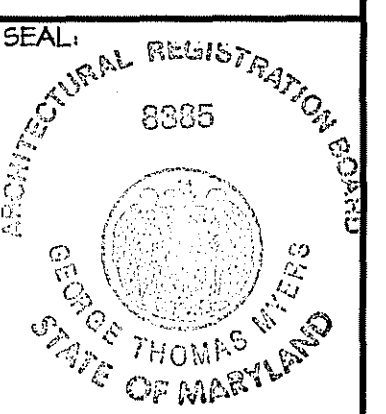
1. CENTER ALL PIERS AND COLS WITH CENTER OF CONG. FOOTINGS (TYP)
2. BOTTOM OF ALL FT65 SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP)
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1. NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T-J JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

**GTM ARCHITECTS**  
 10415 ARMORY AVENUE,  
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 (301)442-4062  
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10314 FANCETT STREET  
 KENNINGTON, MD  
 SECOND FLOOR CEILING  
 JOIST PLAN

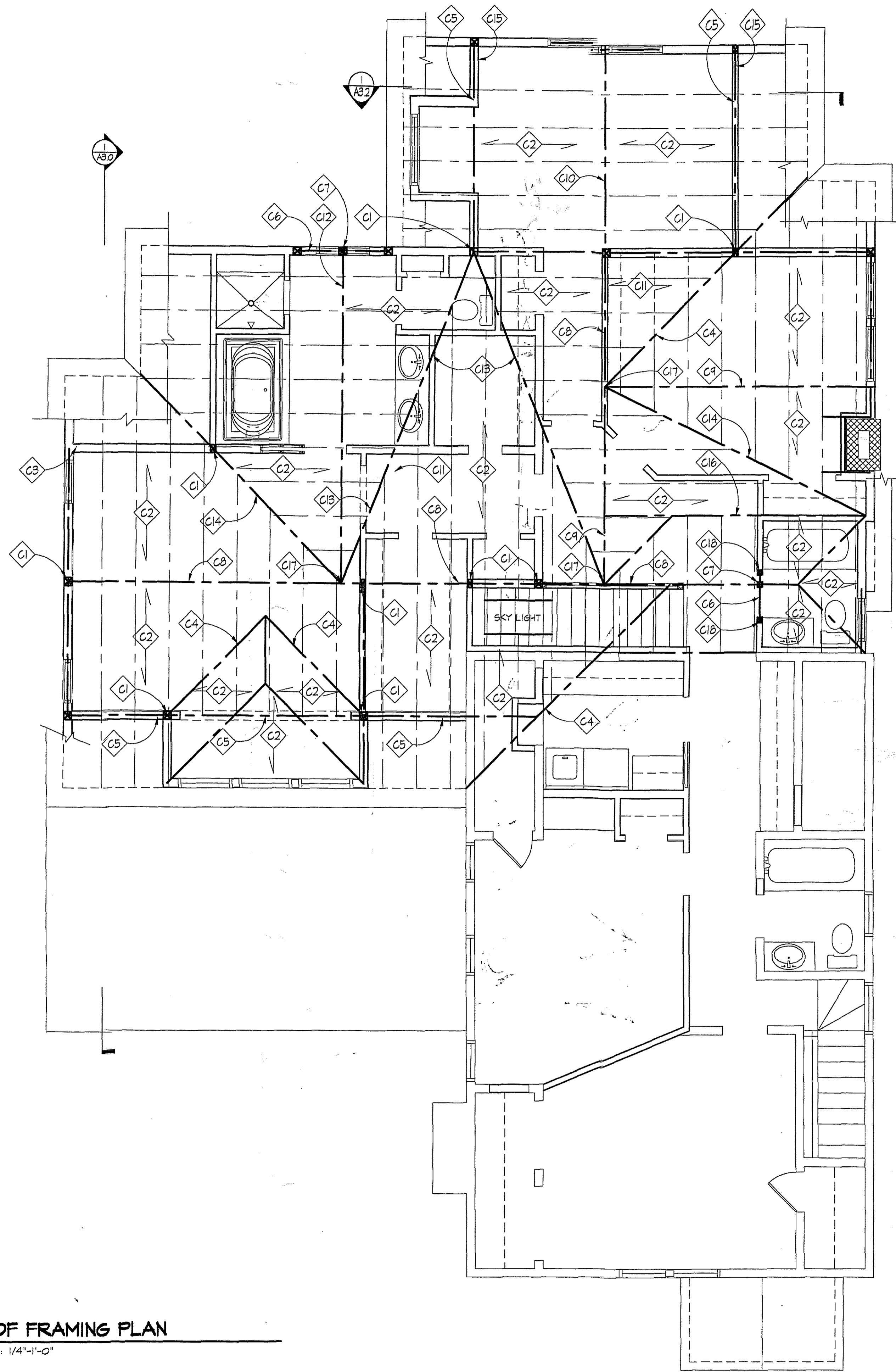
**MYERS  
 RESIDENCE**

REVISIONS:  
 PERMIT SET 12/17/01



DRAWN BY: MB  
 CHECKED BY: GTM  
 SCALE: 1/4"=1'-0"  
 DATE: 12/17/01  
 PROJECT NO. 2001567

DRAWING NO. **S1.3**



### CONSTRUCTION NOTES

- C1 5 1/4"x5 1/4" PSL POST
- C2 2x10 RAFTERS @ 24" O.C.
- C3 HATCHED WALL INDICATES LOAD-BEARING WALL BELOW
- C4 2x10 VALLEY FLATE
- C5 (3) 1 3/4"x9 1/4" LVL BEAM IN THE SAME PLANE AS RAFTERS (& CEILING JOISTS)
- C6 HEADER BELOW, (3) 1 3/4"x9 1/4" LVL
- C7 POST FROM RIDGE BEAM DOWN TO HEADER, 5 1/4"x5 1/4" PSL
- C8 RIDGE BEAM, (2) 1 3/4"x16" LVL
- C9 RIDGE BEAM, (2) 1 3/4"x11 7/8" LVL
- C10 2x12 RIDGE BOARD
- C11 2x10 OVERBUILD
- C12 (2) 1 3/4"x14" LVL RIDGE BEAM
- C13 VALLEY BEAM (2) 1 3/4"x14" LVL
- C14 VALLEY BEAM (2) 1 3/4"x11 1/4" LVL
- C15 (3) 2x6
- C16 DOUBLE 2x10 RAFTER (BUILD DORMER WALL ON TOP)
- C17 PROVIDE HEAVY DUTY SIMPSON HANGER SIMPSON GLTY 3.514 BEAM HANGER PERPENDICULAR TO RIDGE (TYP. OF 3)
- C18 4x4 POST IN WALL BELOW

### GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FT&S SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP)
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS, PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJL JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

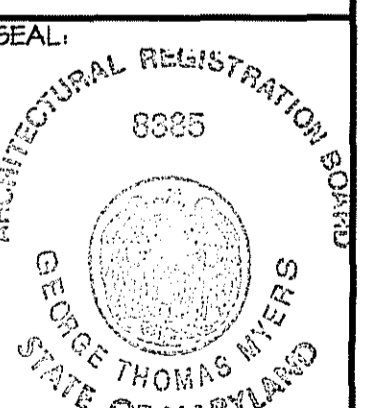
**GTM**  
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10314 FAWCETT STREET  
KENSINGTON, MD  
ROOF FRAMING PLAN

**MYERS  
RESIDENCE**

REVISIONS:  
PERMIT SET 12/17/01



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CHECKED BY: GTM  
SCALE: 1/4"=1'-0"  
DATE: 12/17/01  
PROJECT NO. 2001567  
DRAWING NO.

**S1.4**

**ROOF FRAMING PLAN**  
S1.4 SCALE: 1/4"=1'-0"

MYERS

10314 Fawcett - Kansas