\_31/6-01G 10300 Fawcett Street \_ (Kensington Historic District)

III - 1 - Mich

v





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

December 14, 2001

Mr. Glenn Cowen 10300 Fawcett Street Kensington, MD 20895

Mr. Cowen:

I am writing you this letter in response to the Historic Preservation Commission's (HPC) comments with regard to the proposed revisions to your HAWP # 31/06-01G. The proposed revision is the installation of a 36" painted, wood picket railing on the already approved rear deck. It is our understanding that Montgomery County Permitting Services is requiring this modification due to the existing height of the deck above grade. Your request for the installation of a 36" high, painted wood picket railing is approved. Additional alterations to this deck or any alterations to the exterior of the house must be reviewed by the HPC prior to the project's commencement.

This letter will serve as your official approval for this alteration. If you have any additional questions, please do not hesitate to contact me. Thank you for your cooperation in this matter.

Sincerely,

Michele Naru

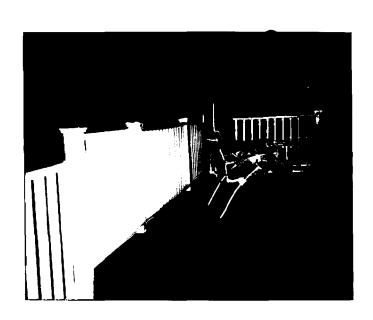
Historic Preservation Planner

Michelenan

Cc: Ms. Lynn Raufaste, Mayor, Town of Kensington

Mr. Barry Peoples, Kensington Historical Society





-

30 November 2001

Michele Naru Historic Preservation Commission 8787 Georgia Avenue Silver Spring, MD 20910

Dear Ms. Naru:

It had not been my intention to have a railing on the deck that was approved by the HPC.

I was informed that Montgomery County Building regulations required a railing and added a 36" picket railing per that regulation. It is a cedar railing painted white to match the attached porch.

I have enclosed two pictures for your review. Hopefully this will satisfy your requirements as well as those of the County.

Thanks

Glenn Cowan

10300 Fawcett Street Kensington, MD 20895

EMARYL	AND-NATIONAL CAPITAL PAR 8787 G	K AND PLANNING COMMISSI eorgia Avenue • Silver Spring, Maryland 20910-3:
		Date: 1/16/01
MEMORAN	<u>NDUM</u>	202-347-3
TO:	Robert Hubbard, Director Department of Permitting Services	
FROM:	Gwen Wright, Coordinator Historic Preservation	
SUBJECT:	Historic Area Work Permit	31/U-01E DPS#250629
application fo	mery County Historic Preservation Commisor an Historic Area Work Permit. This approproved oproved with Conditions:	
	NED OR PAINTED, WOOD. T	
MATER	IN WILL NOT BE USED	IN THIS APPLICATION.
	off will review and stamp the construction degreemit with DPS; and	drawings prior to the applicant's applying
	OING PERMIT FOR THIS PROJECT SHA	ALL BE ISSUED CONDITIONAL UPON EA WORK PERMIT (HAWP).
Applicant:	GLENN COWEN	

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits. emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

FAWCETT ST., KENSINGTON



DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 240/777-6370

DPS - #8

#### HISTORIC PRESERVATION COMMISSION 301/563-3400

# **APPLICATION FOR HISTORIC AREA WORK PERMIT**

•	Contact Person: CLENA CONAIN
	Daytime Phone No.: 202-354-8208
Tax Account No.:	
_	Daytime Phone No.: 202-354- 8208
Address: 10300 FANCETT ST Street Number City	
Street Number City	Staet Zip Code
Contractor:	Phone No.:
Contractor Registration No.:	
Agent for Dwner:	Daytime Phone No.:
LOCATION OF BUILDING/PREMISE	
House Number: 10300 FANCETT ST S	street:
Town/City: LENSINGTON Nearest Cross S	•
Lot: 47 5 Block: 9 Subdivision: Laws	
Liber: Folio: Parcel:	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CHECK ALL APPLICABLE: CHEC	K ALL APPLICABLE:
Construct   Extend   Alter/Renovate	C Slab Room Addition Porch Deck Shed
	olar 🗆 Fireplace 🗀 Woodburning Stove 🗀 Single Family
	ence/Wall (complete Section 4) Uther:
·	
If this is a revision of a previously approved active permit, see Permit #	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/A	DITIONS
2A. Type of sewage disposal: 01 🗆 WSSC 02 🗀 Septic	: 03 🗆 Other:
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well	03
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightinches	
38. Indicate whether the fence or retaining wall is to be constructed on one of	if the following locations:
☐ On party line/property line ☐ Entirely on land of owner	☐ On public right of way/easement
On party line/property, line Churchy on land or owner	on public right of way/easement
I hereby certify that I have the authority to make the foregoing application, that	
approved by all agencies listed and I hereby acknowledge and accept this to	be a condition for the issuance of this permit.
	a / - /
Signature of owner or authorized agent	6/12/0 ) Date
Approved: X WCONDITIONS For	Chairperson, Historic Preservation Commission
Oisapproved: Signature:	Date: 7/17/01
Application/Permit No.: 250029	te Filed: 6/12/0/ Date Issued:
rippinousions officeros.	A

#### 1. WRITTEN DESCRIPTION OF PROJECT

EXISTIN	L 2	1/2 STORY	WOOD	Frame	STUCICED
stars	& BUIL	- CIRLA	1890 ,	House	15 VICTORIAN
QUEEN	I ANN	£			
•		ect on the historic resource(			•
B	300 sa	FT 113156	e PLATE	inn our	cable, the historic district:
BrAPS	300 sa	FT ASISE	1 - 12" FA	inn out	regr
B- STAPS OK.	300 sa 6461 NEN	FT AGISE 18TED Y' CANUSORPI	0 Pegsol 1-12" FA NC- PL	inn oft un crave an, 425	rega.

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 1.1" x 17". Plans on 8 1/2" x 1.1" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context, All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. AOORESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY DNTO MAILING LABELS.

Date: 7/16/01

#### **MEMORANDUM**

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Wright, Coordinator

Historic Preservation Section

SUBJECT:

Historic Area Work Permit Application - Approval of Application/Release of

HP2# 31/10-01E DPS # 250629

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Prior to your permit submission, you must present Historic Preservation staff with 3 permit sets of drawings for review and stamping. In addition, please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to vou directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review. please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits. emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C: hawpapr.wpd

# APPLICATION FUK HISTORIC AREA WORK PERMIT

Contact Person: CLENN CONDIN Daytime Phone No.: 202-354- 2202 Tax Account No.: Name of Property Owner: CLENN COWAIN Daytime Phone No.: 202-354-8208 Zip Code Contractor: Phone No.: Contractor Registration No.: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_ Agent for Owner: LOCATION OF BUILDING/PREMISE House Number: 10300 FAWCETT ST Street \_\_\_\_ Town/City: KENSINGTON Nearest Cross Street: BALTIMONE Lot: 4+5 Block: 9 Subdivision: LENSINGTON PORK Folio: Parcel: PART ONE: TYPE OF PERMIT ACTION AND USE 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE: ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed \_ Slab ☑ Construct ☐ Alter/Renovate Extend ☐ Move ☐ Solar ☐ Fireplace ☐ Woodburning Stove Install ☐ Wreck/Raze ☐ Single Family Fence/Wall (complete Section 4) Revision Repair Revocable Other: 18. Construction cost estimate: \$ 2500 1C. If this is a revision of a previously approved active permit, see Permit # PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 03 🗔 Other: 01 WSSC 02 🗔 Septic 2A. Type of sewage disposal: 02 🗌 Well 28. Type of water supply: 01 WSSC PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL feet inches 38. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line Entirely on land of owner On public right of way/easement I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit. 6/2/01 For Chairperson, Historic Preservation Commission Approved:

Signature:

# THE FOLLOWING TEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

#### 1. WRITTEN DESCRIPTION OF PROJECT

<u> </u>	int	2/2	STORY	WOOD	Frame	STUCCOED
Hor	rs.F	BUILT	CIREA	1890.	HOUSE	15 VICTORIAN
QUE	EBN .	ANNE.				
-						
General descripti	ion of project a	nd its effect on	the historic resource(s)	the environmental s	etting and where anni	icable the historic district:
•			the historic resource(s)		*	icable, the historic district:
A	300	sa Fi		· PLATE	inn out	, LEAR
BTRP	300 5 B	SQ FT	- M31561	- 12" FI	inn out	, regr
A STEP-	300 5 s	59 FT FLEVAT	- AGISEI EO Y'I ANUS CAPIA	- 12" Fi -12" Fi -12 PL	inn oft ron crove AN, HAS	, regr

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.

  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY



SOUTH SIDE 10300 FAWCETT ST KENSINGTON



10300 FORBIT ST



NORTH SIDE 10300 PAREETT ST KENSINGTON



PRONT 10300 FAMCEUT ST KENSINGTON

#### HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

10300 Fawcett Street, Kensington

**Meeting Date:** 

07/11/01

Resource:

Primary Resource

Report Date:

07/04/01

**Kensington Historic District** 

Review:

**HAWP** 

**Public Notice:** 

06/27/01

Case Number: 31/06-01G

Tax Credit: None

Applicant:

Glenn Cowen

Staff: Michele Naru

PROPOSAL: Deck installation

**RECOMMEND:** Approval w/cond.

#### PROJECT DESCRIPTION:

SIGNIFICANCE:

Primary Resource in Kensington Historic District.

STYLE:

Folk Victorian

DATE:

c1880-1910

#### PROPOSAL:

The applicant is proposing to:

1. Construct new 24' x 14' deck at the rear of the house. The proposed material is the synthetic product called Trex.

#### **STAFF DISCUSSION:**

The applicants are proposing to construct this deck out of a synthetic building material. Staff is of the opinion that additions to an outstanding resource should be compatible with the historic fabric of the existing structure as specified in the *Secretary of Interior's Standards for Rehabilitation*. Staff does not feel that this product will be compatible with the historic fabric of the house and is recommending that the Commission approve the deck installation with the condition that the deck be constructed entirely of a stained or painted wood.

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission approve with condition the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#### and with the condition:

1. Deck will be constructed entirely of stained or painted, wood. The synthetic "Trex" material will not be used in this application.

With the general condition that the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits, and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at <a href="https://www.permits.emontgomery.org">www.permits.emontgomery.org</a> prior to commencement of work and not more than two weeks following completion of work.



# ADJacent · Confronting Owners Jon 10300 Fawsett

- · 10302 Faweett St. Kensington, mo 20895
  - · 10220 Carroll Pl Kensengton, mo 20895
  - . 10231 Canall Pl
  - · 3807 Baltimore St.
  - . 3806 Baltimore
- · 10305 armory ane.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: LENN CONDIN
	Daytime Phone No.: 202-354-8208
Fax Account No.:	
Name of Property Owner: CLENN COWAIN	Daytime Phone No.: 202-354-8208
Address: 10300 FANCETT ST	Daytime Phone No.: 202-354- 820 8
Street Number	City Staet Zip Code
Contractorr:	Phone No.:
Contractor Registration No.:	
Agent for Owner:	Daytime Phone No.:
LOCATION OF BUILDING/PREMISE	
House Number: 10300 FAWCETT	ST Street
	arest Cross Street: BALTIMONE
	KENSINGTON PARK
· ·	
	·
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CHECK ALL APPLICABLE:	CHECK ALL APPLICABLE:
Construct   Extend   Alter/Renovate	☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Move ☐ Instail ☐ Wreck/Raze	☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Revision ☐ Repair ☐ Revocable	☐ Fence/Wall (complete Section 4) ☐ Other:
1B. Construction cost estimate: \$ 2500	
1C. If this is a revision of a previously approved active permit, see	Permit #
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND	EXTEND/ADDITIONS
	02  Septic 03  Other:
2B. Type of water supply: 01 ☐ WSSC 0	02
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING V	/ALL
3A. Heightfeetinches	
3B. Indicate whether the fence or retaining wall is to be construct	cted on one of the following locations:
☐ On party line/property line ☐ Entirely on land	of owner On public right of way/easement
I hereby cortify that I have the authority to make the foregoing an	plication, that the application is correct, and that the construction will comply with plans
approved by all agencies listed and I hereby acknowledge and ac	ccept this to be a condition for the issuance of this permit.
St a. a.	6/12/01
Signature of owner or authorized agent	Date
Approved: 250629	For Chairperson, Historic Preservation Commission
Approved	or orangerson, resorted resortation commission

# THE FOLLOWING TIEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

#### 1. WRITTEN DESCRIPTION OF PROJECT

EXISTING	21/2	STONY	WOOD	Frank	زی	VICCOED
House	BUILT	CIREA	1890,	HOUSE	15	VICTALIAN
QUEEN	ANNE.					
			***************************************			
<u> </u>					·	
ral description of proje	ect and its effect on the	historic resource(s	), the environmental se	etting, and, where appli	icable, the	historic district:
				-		
~)e	in ca	VUS OBPI	ul- Pl	an, HAS	`	ITTHE
W- NO						
	POUSE  QUEN  eral description of proje  P 300  STRPS	POUSE BUILT  QUEW ANNE.  eral description of project and its effect on the   A 300 SQ FT  STAPS FLAURTE	POUSE BUILT CIRCLY  RUEW ANNE.  eral description of project and its effect on the historic resource(s  P 300 SQ FT Mg/SB.  STAPS ELEVATED Y'	HOUSE BUILT CIRCLE 1890.  RUEW MUNE.  Fraid description of project and its effect on the historic resource(s), the environmental set of 300 sa FT Maisel Plance.  STARS FLEVATED 4"1-12" For	HOUSE BUILT CIRCLY 1890, HOUSE  RUEW ANNE,  eral description of project and its effect on the historic resource(s), the environmental setting, and, where apply  A 300 SQ FT May SAL PLATEN ON  STARS FLAVATED 4"1-12" From Crowd	eral description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the setting of the

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.

  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

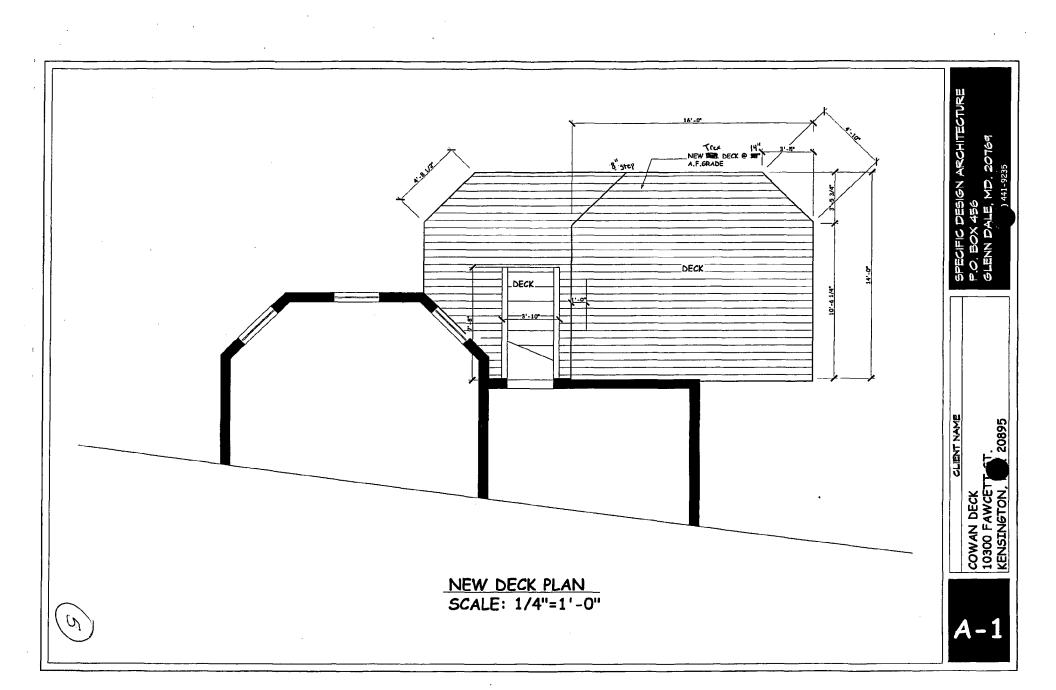
#### 4. MATERIALS SPECIFICATIONS

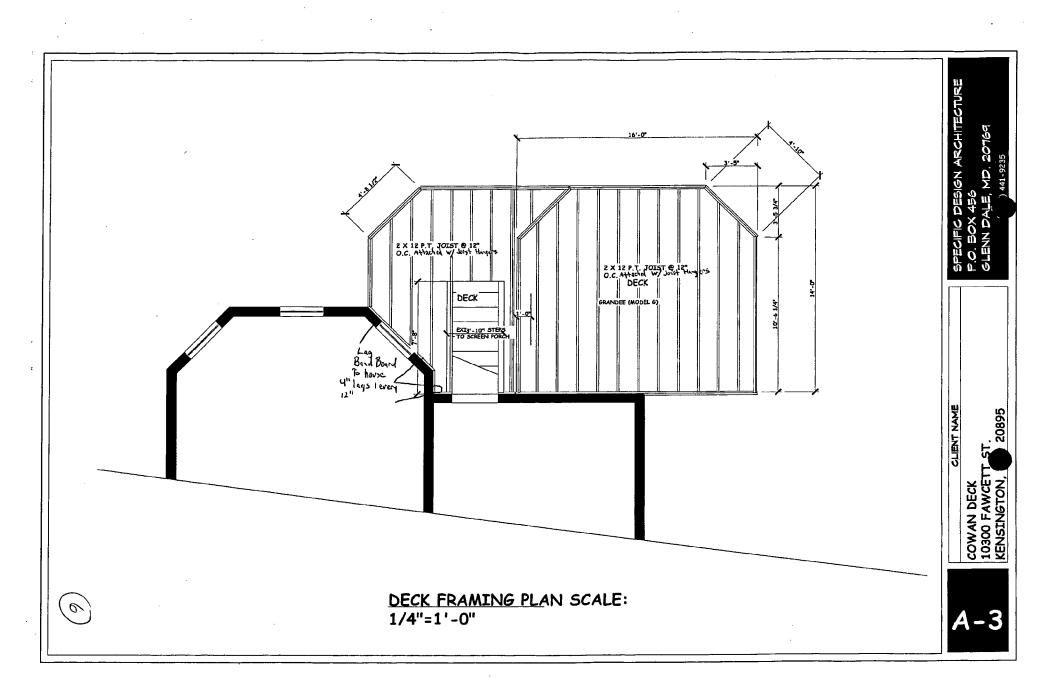
General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

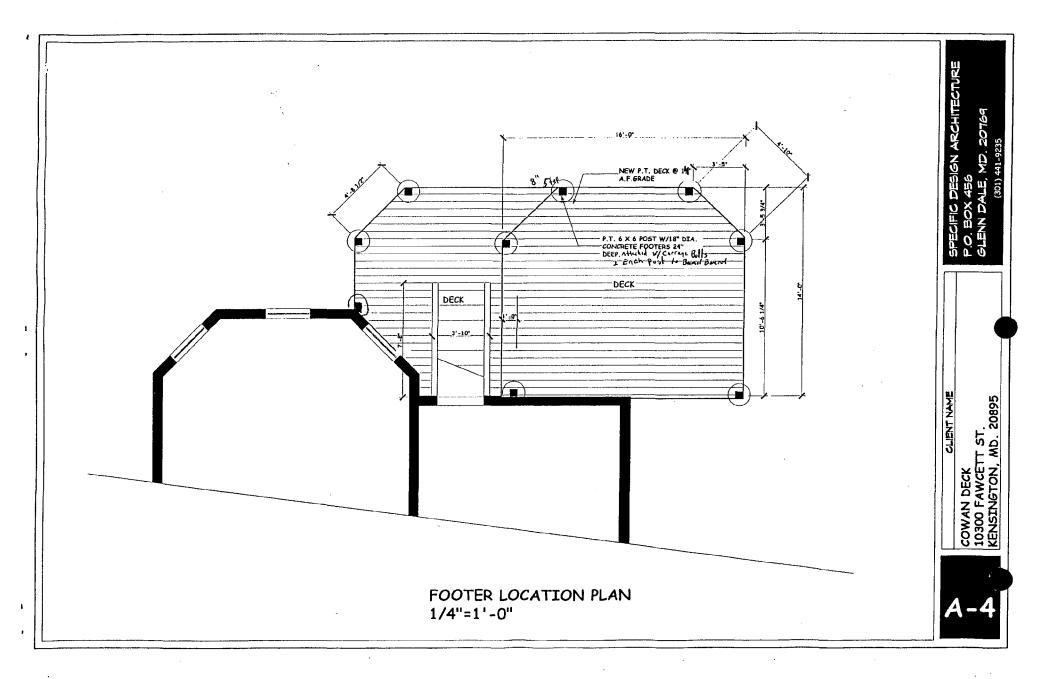
#### 5. PHOTOGRAPHS

THEE CURVEY

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.







 $(\iota)$ 

Date: 7/16/01

#### **MEMORANDUM**

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Wright, Coordinator

Historic Preservation Section

SUBJECT:

Historic Area Work Permit Application - Approval of Application/Release of

HP2# 31/U-0/E DPS # 250629

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Prior to your permit submission, you must present Historic Preservation staff with 3 permit sets of drawings for review and stamping. In addition, please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review. please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits. emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 240/777-6370

DPS - #8

#### HISTORIC PRESERVATION COMMISSION 301/563-3400

# **APPLICATION FOR HISTORIC AREA WORK PERMIT**

Name of Property Owner: CLEUN COWAN Daytime Phone No.: 202-354-8208  Address: 10300 FANCETT ST  Street Number City Staet Zip Coda  Contractor: Phone No.:  Contractor Registration No.:  Agent for Owner: Daytime Phone No.:  LOCATION OF BUILDING/PREMISE  House Number: 10300 FANCETT ST Street  Town/City: LENSINETON Nearest Cross Street: DANTIMONE  Lot: 445 Block: 9 Subdivision: LENSINETON PARK  Liber: Folio: Parcel:
Address: 10300 FALCETT ST  Street Number City Staet Zip Coda  Contractor: Phone No.:  Contractor Registration No.:  Agent for 0 wner: Daytime Phone No.:
Address: 10300 FANCETY ST  Street Number City Staet Zip Coda  Contractor: Phone No.:  Contractor Registration No.:  Agent for Owner: Daytime Phone No.:  LOCATION OF BUILDING/PREMISE  House Number: 10300 FANCETT ST Street  Town/City: Lausington Nearest Cross Street: Daytimone  Lot: 4+5 Block: 9 Subdivision: Lausington Pank  Liber: Folio: Parcel:
Address: 10300 FANCETY ST  Street Number City Staet Zip Coda  Contractor: Phone No.:  Contractor Registration No.:  Agent for Owner: Daytime Phone No.:  LOCATION OF BUILDING/PREMISE  House Number: 10300 FANCETT ST Street  Town/City: Lausington Nearest Cross Street: Daytimone  Lot: 4+5 Block: 9 Subdivision: Lausington Pank  Liber: Folio: Parcel:
Contractor:
Contractor Registration No.:  Agent for Owner:  Daytime Phone No.:  LOCATION OF BUILDING/PREMISE  House Number:  10300 FANCETT ST Street  Town/City:  LEUSINGTON  Nearest Cross Street:  DIATIFIONE  Lot: 475 Block:  Parcel:  Parcel:
Agent for Owner:
House Number: 10300 FANCETT ST Street  Town/City: LENSINGTON Nearest Cross Street: BANTIMONE  Lot: 475 Block: 9 Subdivision: LENSINGTON PARK  Liber: Folio: Parcel:
House Number:         10300         FANCETT         ST         Street            Town/City:         LENSINETON         Nearest Cross Street:         DBATIFFORE           Lot:         475         Block:         9         Subdivision:         LENSINETON         PANK           Liber:         Folio:         Parcel:
House Number:         10300         FANCETT         ST         Street            Town/City:         LENSINETON         Nearest Cross Street:         DBATIFFORE           Lot:         475         Block:         9         Subdivision:         LENSINETON         PANK           Liber:         Folio:         Parcel:
Town/City: <u>KENSINETON</u> Nearest Cross Street: <u>BANTIMONE</u> Lot: <u>YY 5</u> Block: <u>9</u> Subdivision: <u>KENSINE TON</u> Parcel:
Lot: 475 Block: 9 Subdivision: LENSINCTON PANK  Liber: Parcel:
Liber: Folio: Parcel:
PART ONE: TYPE OF PERMIT ACTION AND USE
1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
Construct
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Revision ☐ Repair ☐ Revocable ☐ Fence/Wall (complete Section 4) ☐ Other:
1B. Construction cost estimate: \$ 2500
1C. If this is a revision of a previously approved active permit, see Permit #
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:
28. Type of water supply:         01 ☐ WSSC         02 ☐ Well         03 ☐ Other;
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
3A. Height feet inches
38. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement
- Singuisty into property, and the second se
I hereby certify that I have the authority to make the loregoing application, that the application is correct, and that the construction will comply with plans
approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
Signature of owner or authorized agent Dete
Approved: X WCANDITIONS For Chairperson, Historic Preservation Commission
VIA 7/17/01
Disapproved: Date:

SEE REVERSE SIDE FOR INSTRUCTIONS 31/6.016

#### 1. WRITTEN DESCRIPTION OF PROJECT

EXISTING	2/2	STORY	WOOD	Franc	<u>ي</u>	TUCCOED
starst	BUILT	CIREA	1890 ,	House	15	VICTORIA
QUEEN	ANNE.					
1						
A 300	O SA FT	143156	PLATE,	inn out	, 4	gr
A 300		143156	PLATE,	inn out	, 4	gr
A- 300 STAPS	o sa ft ELEVATE	0 411	- 12" FA	inn out	, LE E .	PONT
STAPS	O SA FT FLOURTE	121561 D 411 UWS CAPIN	- 12" FA	inn out	, LE E .	PANT 1774E

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and lendscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when eppropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

	M	
THE	MARYLAND-NATIONAL	CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/16/01

MEM	OR4	IND	$\mathbf{UM}$

TO	:	

Robert Hubbard, Director

Department of Permitting Services

FROM:

Gwen Wright, Coordinator

Historic Preservation

SUBJECT:

Historic Area Work Permit HPC# 31/4-01E DPS# 250629

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

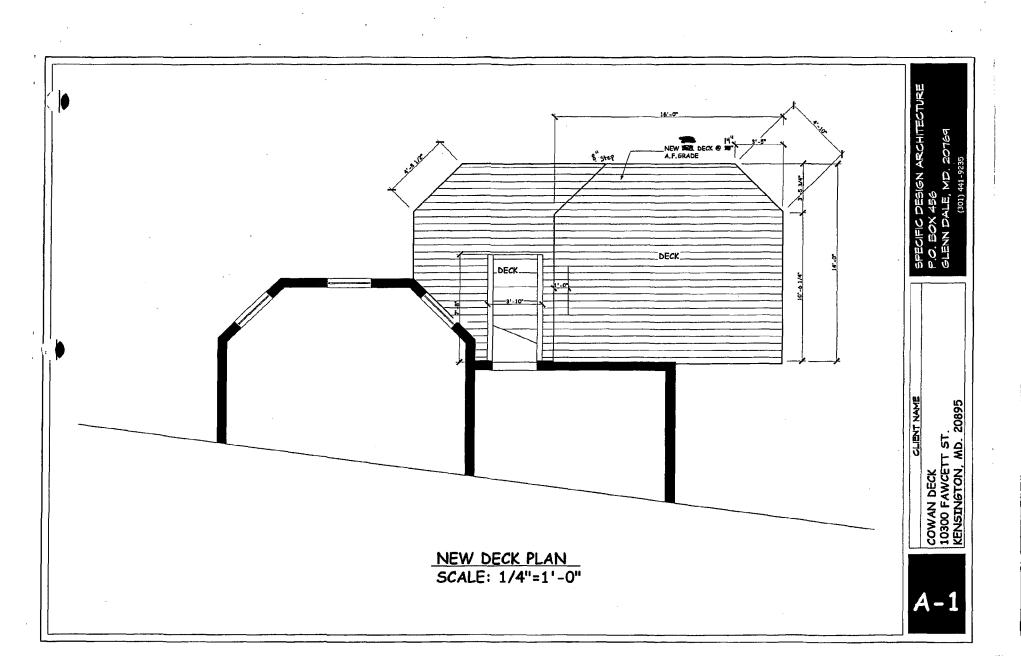
Approved
Approved with Conditions: O DECK WILL BE CONSTRUCTED ENTIRED
OF STAINED OF PAINTED, WOOD. THE SYNTHETIC "TREX"
MATERIAL WILL NOT BE USED IN THIS APPLICATION.
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS, and
THE DISTINCTORDATE OF THIS PROJECT SHALL DE ISSUED CONDITIONAL LIDON

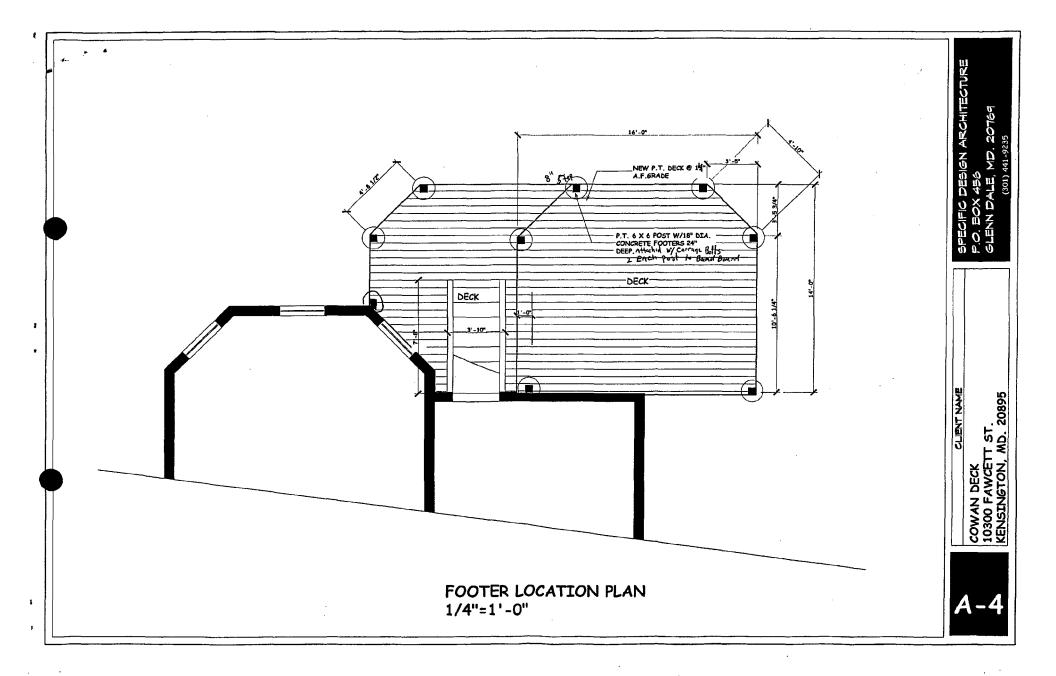
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

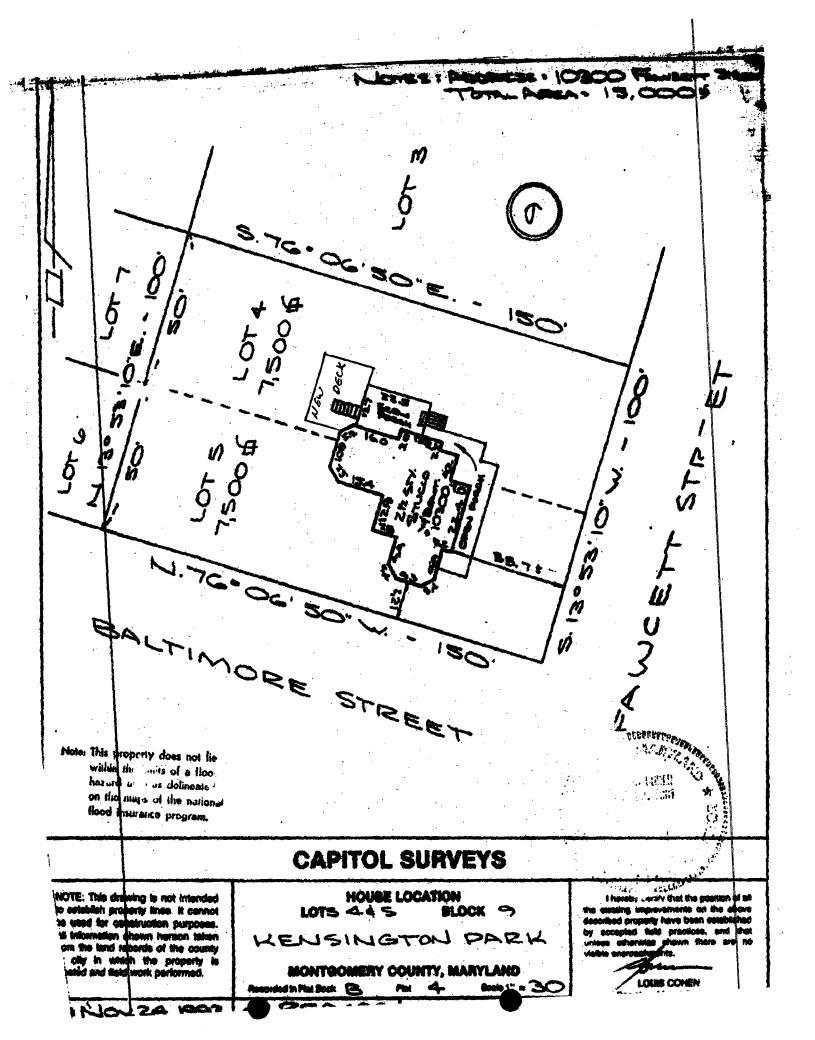
Applicant: GLENN COWEN

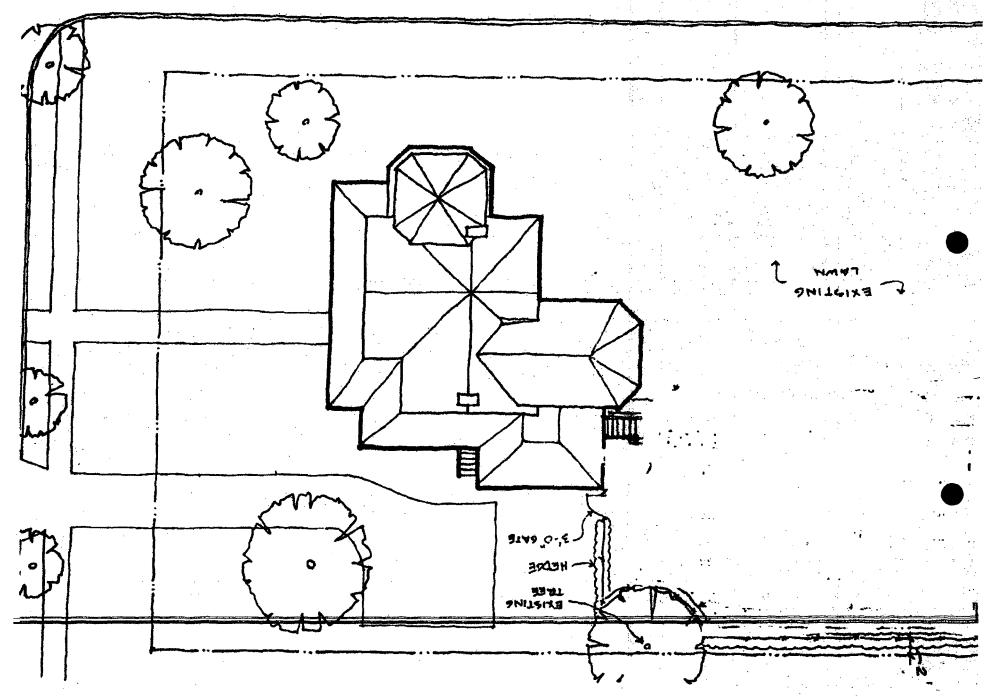
Address: 10300 FAWCETT ST., KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits. emontgomery.org prior to commencement of work and not more than two weeks following completion of work.









FOR LOCATION OF UTILITIE KENSINGTON MO. =10300 FAUCE; ST. **CALL 24 HOURS A DAY** 1-800-257-7777 Port. OH. Son. Beop, Just. Us. of HU. To 400 April 48 HOURS IN ADVANCE OF any work in this vicinit WORK BEING PERFORMED UNDER STANDARD SEDMENT CONTROL. PLAN AND PERMIT # 9401 FOR MINOR UTILITY CONSTRUCTION **UILDER MOTE** CAP NOTE! HE PAUL CO S SHOWN OF OF EXCEED 10 7<u>78433 - 7980</u> c/p#154 C/P To REPLACE PSON West 135/4 INITY POR Apr. 2157. TOSMY-33, A-W KEMTEOHSE-1, KG1.25×NSE-1. GROWMR-/ (NOTO: EX. POLS SET IN (CONCRETE AMON. KONSINGTON PARK CARROL 475.445, 9 GOON CONEN RESTORNES E-646-9020 # 10200 DAA ELEC. NOUT HOTOS 983-4619 71.0 × 3.0 TKEAVA; ACKUSS. (delwse Y05005 AT-2-KACCOCS BALTIMORE OH. W/MS 57. REM. AC90XZ4 1-5-(CMATRISV-123') errzsc. 47-5-(HR'S-/(NBIS) 47-4- 5RMO4 (mons-1 TRY CAP 3-4- #1.0×3.0 ZU57. IFY SURVEYORS. 102- CHATRIVMU-34

# Appacent + Confronting Owners for 10300 Fawcett

- · 10302 Fawcett St. Kensington, mo 20895
- · 10220 Carroll Pl Kensington, no 20895
- . 10231 Carrell Pl
- · 3807 Baltimore St.
- . 3806 Baltimore
- · 10305 armory ane.



10300 FRACK KENS-WARRA



NORTH SIDE 10300 PASEETT ST KENSINGTON



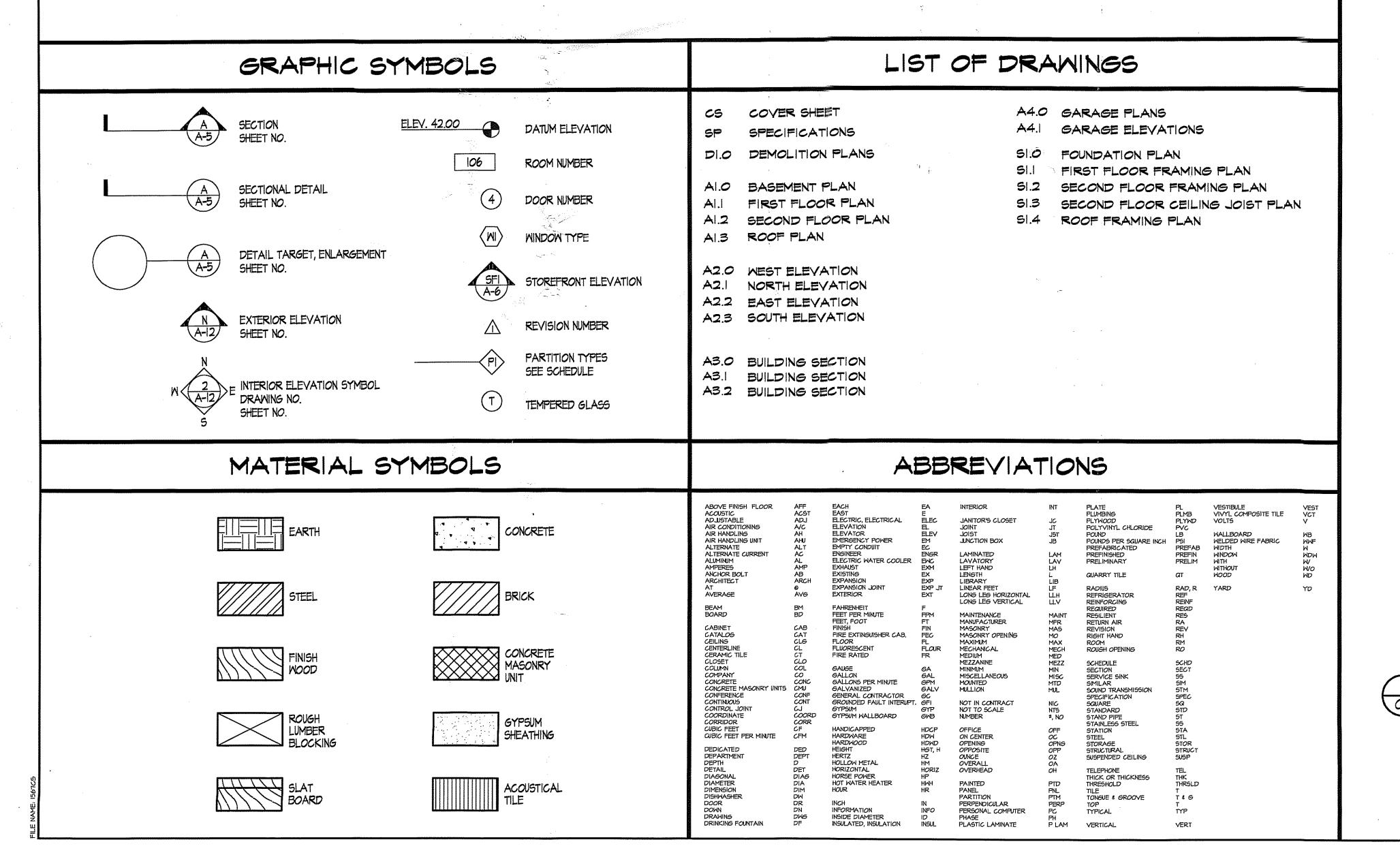
FRONT 10300 FOWCEST ST KONSINGTON



SOUTH SIDE VOJOO FOWCETT ST KENSINGTON

# MYERS RESIDENCE

# 10314 FANCETT STREET KENSINGTON, MD

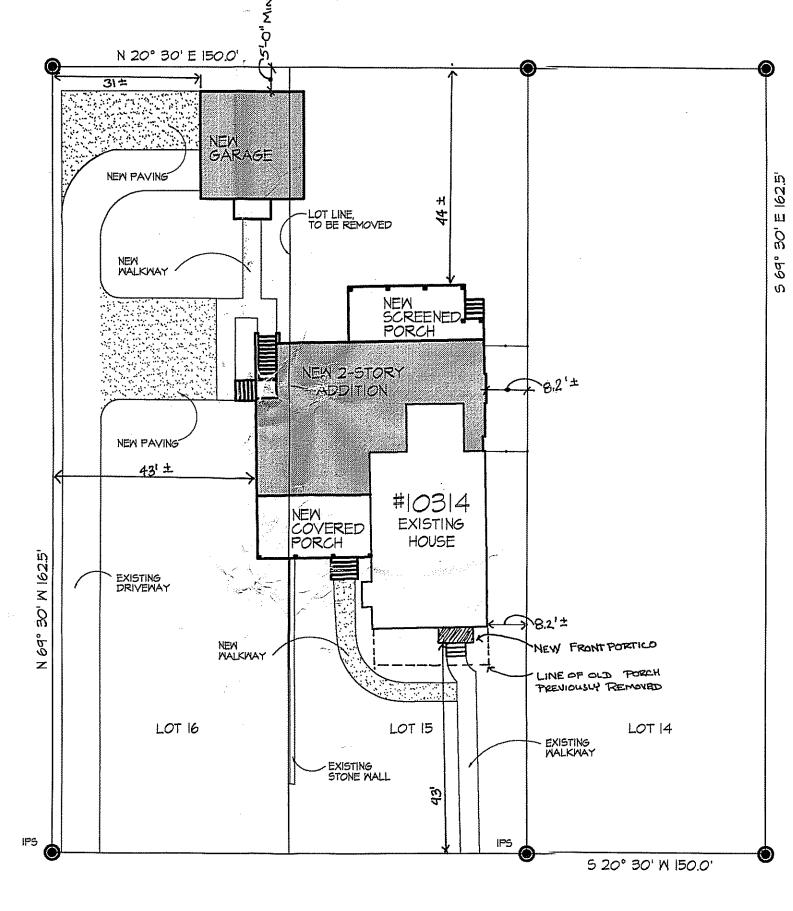


# PLAT DATA

LOT 10 & PART OF LOTS 9 & 11, BLOCK 35 ZONED: R-60

MONTGOMERY COUNTY, MARYLAND

# SITE PLAN



FAWCETT STREET

24,375 SQ. FT. LOT SIZE 2869 SQ. FT. 516 SQ. FT. PROPOSED MAIN STRUCTURE PROPOSED GARAGE 9484 SQ. FT. TOTAL LOT COVERAGE: 14.1% PROPOSED LOT COVERAGE:

SITE PLAN



MYER SIDE

PERMIT SET 12/17/01

RAL Fillson, OF THOMAS THE

CHECKED BY: GTM

AS NOTED DATE: 12/17/01 PROJECT NO. 2001567

DRAWING NO. CS

## SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline, specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the Items mentioned below may apply to this project.

### GENERAL REQUIREMENTS

1. All work shall conform to the applicable sections of the Montgomery County code for single family construction and all applicable building codes.

2. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction as

3. The General Contractor shall coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project. 4. Any permits required for the project shall be obtained by the General Contractor, unless

informed otherwise by the Architect that the permit has been obtained. 5. The General Contractor shall store materials and equipment in a safe and suitable place during

the construction process. The Owner is not responsible for any losses of material. 6. All debris shall be periodically removed from the site so as not to create a physical or visual

hazard to the Owner. 7. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project, labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.

8. The General Contractor shall provide competent daily supervision of the project. 9. The General Contractor shall notify the related authorities for inspection of the work as related

to the specific areas required by the county. 10. The General Contractor shall carry Workmen's Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the

Owner if specified on the contract. II. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.

12. The General Contractor shall carefully study the contract documents and report to the Architect any error, omission or inconsistency he may discover.

13. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the Work, and shall guarantee no mechanic liens against the project at completion. 14. The Contract Sum is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a written order by the General Contractor, signed by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change

in the original contract sum. 15. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an Itemized application designating which partion of the work has been completed.

## GENERAL STRUCTURAL NOTES

. Work shall be done in accordance with the CABO one and two family dwelling code, 1995 Edition.

2. The design gravity live loads are as follows: Roof Load (snow) 30 LL + 15 DL = 45 PSF Living Spaces (1st Floor) 40 LL + 15 DL = 55 PSF Sleeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF Exterior Decks 60 LL + 15 DL = 75 PSF Live Load Deflection Limitation for floors shall be L/360 Live Load Deflection Limitation for roofs shall be L/240

# FOUNDATIONS

. The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that there is no water condition present.

2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.

3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a

4. Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, roofrolled, free of standing water, mud, and frozen soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill. 5. Bottoms of all exterior footings shall be 2'-6" below finished grade. Footings shall project a

minimum of 12" into undisturbed existing natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

# MASONRY

Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications 55-C-181E-type 11. Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all work from cold and frost and insure that mortar will cure without freezing. Calcium Chloride and antifreeze admixture will not be acceptable.

2. Bearing steel and wood beams shall be supported on solid masonry piers as indicated. Other structural members (lintels etc.) shall be supported on 8" of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4".

3. Anchor bolts: Set anchor bolts or approved anchor straps as required. Bolts for wood sill plates shall be 1/2" diameter and project 16" into masonry. Set bolts or straps 12" max. from end of

4. Masonry walls shall have horizontal wire joints reinforcement at least 16" O.C. vertically.

5. Provide 4" solid masonry on all sides of joists or beams entering masonry party walls.

A. Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16" O.C. horizontally and

B. Provide and set flashing at lintels. Base courses, sills, spandrels, parapets and as noted on drawings. Provide weep holes at the bottom of veneer and flashings at 24" O.C. 7. C.M.U.'s to have water repellant block admixture; 'DRY-BLOCK' by W.R. Grace recommended. 8. Exterior mortar to have water repeilant admixture.

### ENERGY CONSERVATION

1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the BOCA Basic Energy Conservation Code.

2. Insulation: R-30 Ceiling (of uppermost story) R-30 Vaulted Ceiling Frame Walls (with storm window or double glazing) Rim Joists Rim Joists Floors over unheated spaces R-30 (including floor overhangs) Masonry Walls (enclosed heated living areas) Slab on grade (heated space)

24" perimeter insulation Double-Glazed (u-factor 0.31) Mindows Double-Glazed (v-factor 0.50)

3. Air Infiltration:

A. Windows: not exceeding five tenths (0.5) CFM of sash crack. B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area. C. Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area. Provide I" fiberglass sill sealer between foundation

d.Fill all construction (electrical and plumbling) holes, cracks, loose joints and spaces in rough framing and rough masonry with approved foam sealer or similar sealant.

#### CONCRETE

. All concrete construction shall conform to the latest A.C.I. code 318.

2. Concrete shall have natural sand fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type I Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength(F/C) as follows:

F/C = 2500 PSI for footings, interior slabs on grade and fill in concrete blocks.

F/C =3,000 PSI for foundation walls exposed to weather. F/C =3500 PSI for drives, porches, walks, steps.

F/C =4,000 PSI for precast concrete units. 3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained 6% of concrete volume. No calcium chloride or other admixtures shall be used except as

approved in writing by the owner. 4. Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6, 10/10 welded wire mesh; lap mesh 6" in each direction . Slabs shall be laid on a layer of 6 mil polyethylene over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation.

5. Concrete finish: All exposed steps, stoops and slabs shall first have a steel trowel finish and then a very light broom finish.

6. Expansion joints: Non-organic, owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials. 7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound

within one hour of the final troweling 8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate gradedeformed billet steel conforming to ASTM spec. A615-40. All other reinfarcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-185. Fabric shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and installed in accordance with the latest detailing manual A.C.I. 315.

9. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted

10. Horizontal footing reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections.

A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to freezing: footings shall extend at least 12" into undisturbed soil or set on controlled campacted fill, Depth of footing subject to change if soil conditions are other than assured. Bearing value of soil is assumed to be 2000 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified by a licensed geotechnical engineer.

12. Anchor bolts: set anchor bolts or approved straps as required. Bolts for wood sill plates shall be 1/2" in diameter and project 8" into concrete; set straps or bolts 12" max from end of any plate and 4'-0" max O.C. spacing.

# WOOD & CARPENTRY

1. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal, with the following combination of unit stresses:

Extreme fiber stress in bending 1,200 psi Compression parallel to the grain 1,000 psi Compression perpendicular to the grain 565 psi

Modulus of Elasticity Shear Stress 1,500,000 psi 2. Manufactured roof and floor joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval. Submit three (3) stamped/sealed shap drawings to the Architect for review.

3. Roof rafters and/or trusses shall be connected at each bearing point with one prefab-90 psi ricated galvanized rafter tie (hurricane clip) by Simpson or equal. Similarly, floor joists and trusses shall be connected with one prefabricated joist hanger. Each anchor shall be 18 GA minimum thick . 4. Provide double joists under all parallel partitions, at joists that support headers, and at headers

that support joists. Use joist hangers where applicable. All joists and rafters shall be rigidly braced at intervals not exceeding 8'0".

6. Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings):

Double 2 x 4 Up to 3'-0" Double 2 x 6 Up to 4'-0" Double 2 x 8 Up to 5'-0" Double 2 x 10 Up to 7'-0"

Double 2 x 12 Up to 8'-0" All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12"

7. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends. 8. Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum

bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls. **9.** Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 2' from the ends or within the middle 1/3 of

the span. Provide 4" clear between holes. II. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.

12. All plywood shall be APA span rated. Use exterior grade plywood wherever edge of face will be exposed to weather. Interior plywood exposed to weather during construction shall be Exposure 1

A. Exterior wall sheathing shall be 1/2" plywood unless noted otherwise.

B. Subflooring shall be 3/4" tongue & groove plywood, glued and screwed to the floor joists as per

APA recommendations. C. Roof sheathing shall be 1/2' plywood. Provide "H" clips at butt joints of roof sheathing.

13. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by the Trus Joist Corporation or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams together, provide a minimum of two rows of 16d nails 12" on center. 14. TJI Floor Joists are to be manufactured by the Trus Joist Corporation or approved equal.

5. Install as per manufacturer's recommendations.

The following wood elements are to be pressure treated with preservative: A. Sill plates resting on concrete or masonry walls.

B. Sill plates resting on concrete slobs on grade. C. Ends of joists which enter concrete or masonry walls and have less than 1/2" clearance on tops, sides, and ends.

D. Sleepers resting directly on concrete slabs. E. Exterior parch and deck framing, decking, and stairs.

6. Exterior Trim: A. All exterior trim shall be clear pine or redwood.

B. All trim shall be primed on both sides prior to installation. C. All outside corners shall be mitered. No butt joints will be accepted.

A. Refer to drawings for siding material. B. Prime siding front & back prior to installation.

6. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

# STEEL

1. Structural steel shall conform to ASTM A36.

2. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats of an ashaltic base paint and protected with a minimum of 2" solid masonry or concrete

3. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed, provide one steel angle for each 4' of wall thickness. Provide lintels according to the schedule below: <u>Min. Bearing</u>

L 3-1/2 x 3-1/2 x 1/4 Up to 3'-0" L 3-1/2 x 3-1/2 x 5/16 3'-1" to 4'-0" L 4 x 3-1/2 x 1/4 4'-1" to 5'-0" L 4 x 3-1/2 x 5/16 5'-1" to 6'-0" L 5 x 3-1/2 x 5/16 6'-1" to 7'-0" 7'-1" to 8'-0" L6 x 4 x 3/8

Note: For openings greater than 8'-0", consult with architect and engineer.

## RADON DETECTION AND TREATMENT

. The contractor shall provide a venting system consisting of a minimum of 3" Schedule 40, or equivalent, PVC pipe inserted 1" into the sub-slab gravel base (at all new concrete slabs) and terminated at least 6" above the high side of the roof penetration, to serve as a sub-slab ventilation rough-in. Contractor shall coordinate location of pipe with architect prior to installing the pipe. 2. The contractor shall provide any other measures as required by local codes.

# VENTILATION

. Attic spaces are to be vented in one of the following ways (refer to drawings for specifics): A. Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Coravent or approved equal. Continuous screened soffit vents shall be a minimum of 2" wide. Circular louver vents between each rafter may be used at the soffits if shown on the drawings. B. Screened louvers or vents with an open area equal to one square foot for every 300 square feet

2. Provide foundation vents for all crawl spaces. Refer to drawings for location. 3. Venting for appliances and exhaust fans:

A. Provide venting to the exterior as per manufacturer's recommendations for all appliances. Location of ductwork and vent on exterior shall be approved by

B. Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of ductworkand vent on exterior shall be approved by architect prior to installation.

## DRAINAGE, SEALANTS, & MOISTUREPROOFING

. Appropriate sealants shall be selected for each substrate depending upon location(interior or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required.

2. Color of caulking shall be coordinated with adjacent materials. 3. Joint fillers shall be used:

A. To control the depth of sealants in joints. B. To meet the requirements for resilient separations in horizontal laints in floor.

pavements, patios, sidewalks and other light traffic areas. 4. Bond breakers shall be used to prevent adhesion to more than two surfaces.

5. Masonry foundations shall be parged to a thickness of 3\4" minimum.

6. Apply a waterproof membrane to all foundation walls. 7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all

8. All flashings shall be installed according to the building code. An eave flashing strip of mineral surfaced roll roafing shall be applied to extend from the edge of the roof to a paint 12" min. inside the interior wall line of the structure.

**9.** All membrane roofing to be approved by architect prior to installation **O.** All roof shingles to be approved by architect prior to installation

GYPSUM WALLBOARD:

. Gypsum wallboard shall be ASTM C-36 as follows.

A. Regular (1/2"): except where noted.

B. Water resistant (1/2"): at bathroom ceilings and walls that are ngt tiled.

C. qualleave surfaces smooth and free of tool marks and ridges.

C. Durock Interior tile backer board (1/2"): at all surfaces that have tile.

2. Gupsum boards shall have tapered edges to accommodate joint reinforcement. 3. Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S. Gypsum or approved equal.

4. Required finish: A. At all joints and interior angles, apply tape embedded in joint compound, and apply three separate coats of joint compound over all joints, angles, fastener heads, and accessories. B. Apply a thin skim coat of joint compound over the entire surface,

# HARDWOOD FLOORING:

. Provide wood strip flooring where shown on the drawings and/or gs directed by owner. 2. Wood strip flooring to be oak and be "prime" graded in accordance with the National Oak Flooring Manufacturer's Association.

3. Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association.

# CERAMIC TILE:

. Provide ceramic tile and accessories in accordance with the Tile Council of America Specifications 137.1, in colors and patterns to be specified by the owner.

2. Setting materials: comply with pertinent recommendations contained in the Tile Council of America "Handbook for Ceramic Tile Installation". 3. Installation: comply with ANSI AIO8.1, ANSI AIO8.2, and the "Handbook for Ceramic Tile Installation" of

the Tile Council of America. A. Extend tile into recesses and under equipment and fixtures to form a complete

covering without interruptions. B. Terminate tile neatly at obstruction, edges, and corners, without disruction of pattern or joint allanment.

additional tile for future repairs and maintenance.

C. Align joints when adjoining tiles on floor, base, trim, and walls are the same size. D. Layout tile work and center the tile fields in both directions in each space or on each wall area. 4. Replacement Reserve: Contractor shall furnish owner with one unopened box of

MARBLE TILE:

. All marble shall be cut, polished, and set according to the Italian Marble Industry Standards. 2. Marble faces and all exposed edges shall be polished. All corners shall be fully mitered with eased edges to prevent edge failure. all mitered and butt joints shall fit tight and require no filling. Tiles shall

be set with minimal grout joints max. 3/32". 3. Refer to finish schedule for marble type and style.

4. Tile shall be set according to the drawings with approved thin set method.

5. Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.

## CARPET:

. Provide carpeting as shown on the drawings and/or as directed by owner.

2. Contractor to provide an allowance of \$30.00/SY for providing and installing all carpet and padding. Contractor's lump sum to be adjusted up or down to reflect actual installed cost of carpeting to contractor, supported by invoices from supplier. VINYL TILE:

1. Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms with the following standards:

B. ASTM E 84

A. ASTM E 648

2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tile for future repairs and maintenance.

1. All paint and primers to be Benjamin Moore or approved equal. Consult with owner for colors and

2. All surfaces to be painted shall receive one primer coat and two finish coats. 3. All paint shall be applied accordingly to manufacturer's recommendations.

# ARCHITECTURAL WOODWORK AND TRIM:

1. All millwork, trim, and molding shall be installed accordingly to the quality standards of the

Architectural Woodwork Institute. 2. All Interior trim and millwork shall conform to AWI "custom standards".

3. Flat trim shall be clear pine or approved equal.

4. All corners of trim and siding are to be mitered. Exposed end grains will not be accepted. 5. All millwork and trim shall be installed by craftsman with experience in work of this type. All work shall be 'first class' in every regard and consistent with the best practices of the trade.

# FIRE AND LIFE SAFETY

. Stairs: A. 8 1/4" max rise

B. 10" min tread

C. 6'-8" min head room D. Helght of handralls shall be continuous, 30" (min) to 34" (max) above finished stair treads. Handralls required at stairs with 3 or more risers.

E. Guardrails shall be 36" (min) to 42" above finished floor. 2. Provide a clear window opening of 5.7 square feet with no 1855 than 20" clear wide and 24"

clear high for sleeping area. The sill of this window shall be no more than 44" above the finished 3. Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors and tub enclosures where the glass is closer than 18" to the floor and exceeds 6 sq. ft. in area.

4. Ground metal siding. 5. Smoke detectors shall be provided on every floor and In every bedroom, and integrated with

6. Flues shall be class B except solid fuel flues which shall be class A.

7. Top of flue shall be 2'-0" minimum above any part of structure within 10'-0" of flue. 8. Interior finish of walls and ceiling shall have a flame spread rating not greater than classill. Carpeting shall meet federal regulation DOC FF-1.

9. Prefab fireplaces shall be (U.L.) rated and installed according to manufacturers specifications.

ELECTRICAL & LIGHTING NOTES (BY CONTRACTOR)

MECHANICAL NOTES (BY CONTRACTOR)

PLUMBING NOTES (BY CONTRACTOR)

O

 $\overline{O}$ 

ARCHITECT

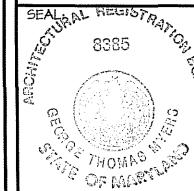
10415 ARMORY AVENUE,

KENSINGTON, MD. 20895

(301)942-9062

(301)942-3929 FAX

PERMIT SET 12/17/01

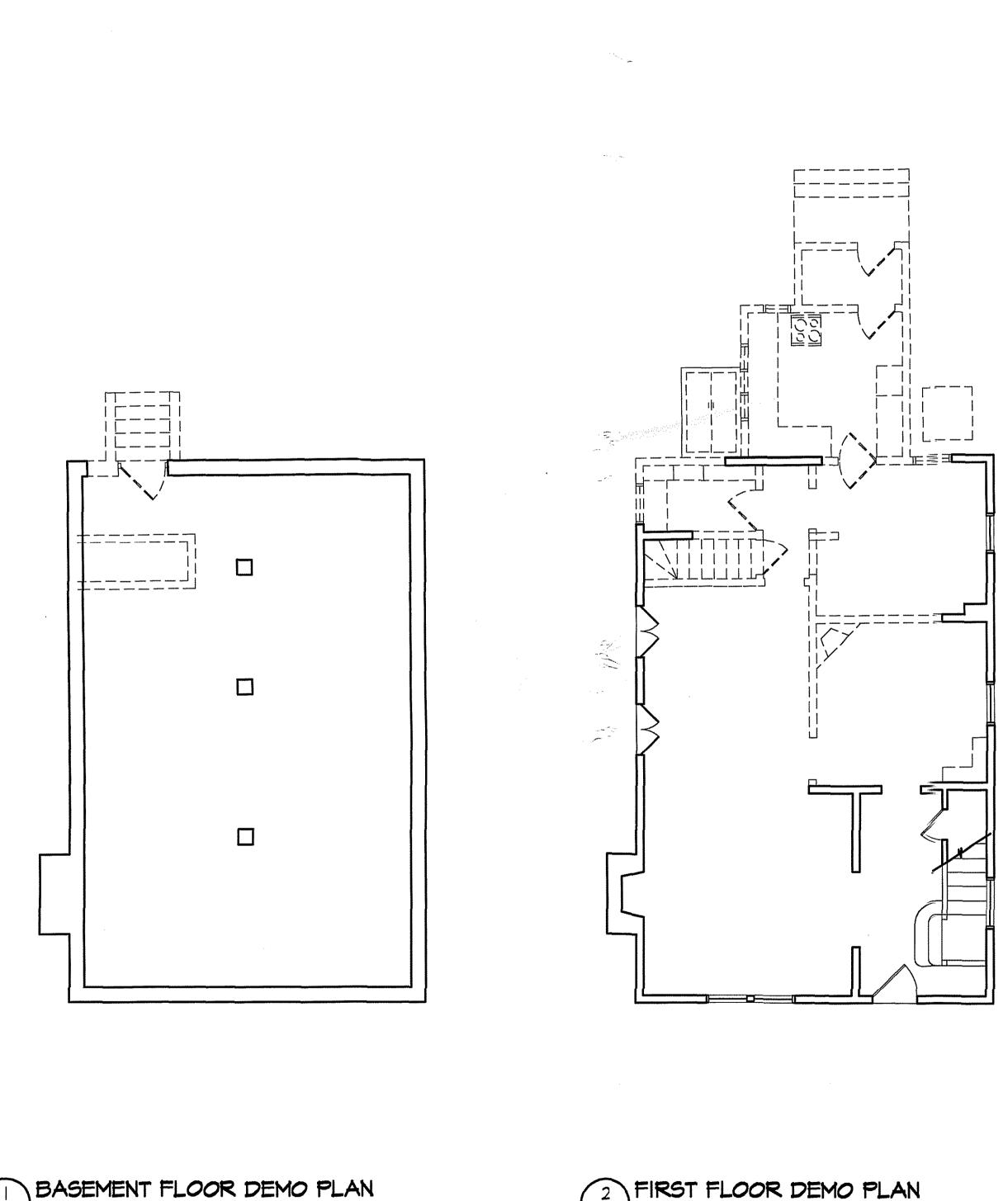


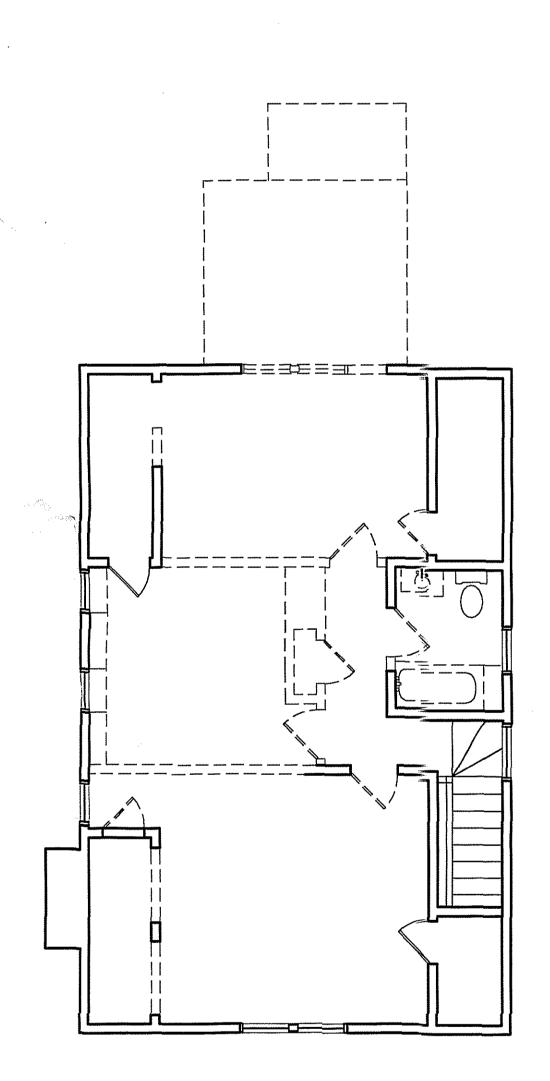
DRAWN BY: CHECKED BY:

GTM SCALE: NO SCALE DATE: 12/17/01

2001567 DRAWING NO.

PROJECT NO.







# DEMOLITION NOTES

REMOVE DOORS & WINDOWS, ETC. IN CONFLICT W/ NEW WORK.

REMOVE WALLS AS REQUIRED & SHOWN

REMOVE EXISTING CONCRETE PORCH AS SHOWN

REMOVE EXISTING ROOF AS SHOWN

REMOVE EXISTING SKYLIGHT

REMOVE EXISTING WOOD POST & BRICK BASE

REMOVE EXISTING WOOD DECK & STAIRS

REMOVE / RELOCATE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT W/ NEW WORK

# GENERAL DEMOLITION NOTES

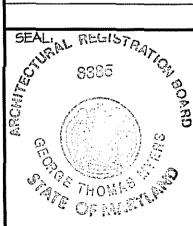
- Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
- 2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work.
- 3. All dashed walls, fixtures, windows, etc., are to be removed.
- 4. Conduct all demolition operations in compliance with applicable codes and ordinances.
- 5. Coordinate demolition with work of subcontractors.
- 6. Maintain the existing structure in a watertight condition at all times.
- 7. Relocate/remove any existing gas, electrical, plumbing lines, etc. in conflict with new work.
- 8. See structural sheets for additional information.

ARCHITECT

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

REVISIONS:

PERMIT SET 12/17/01



DRAWN BY: MB

CHECKED BY: GTM

SCALE: 3/16"=1'-0" DATE:

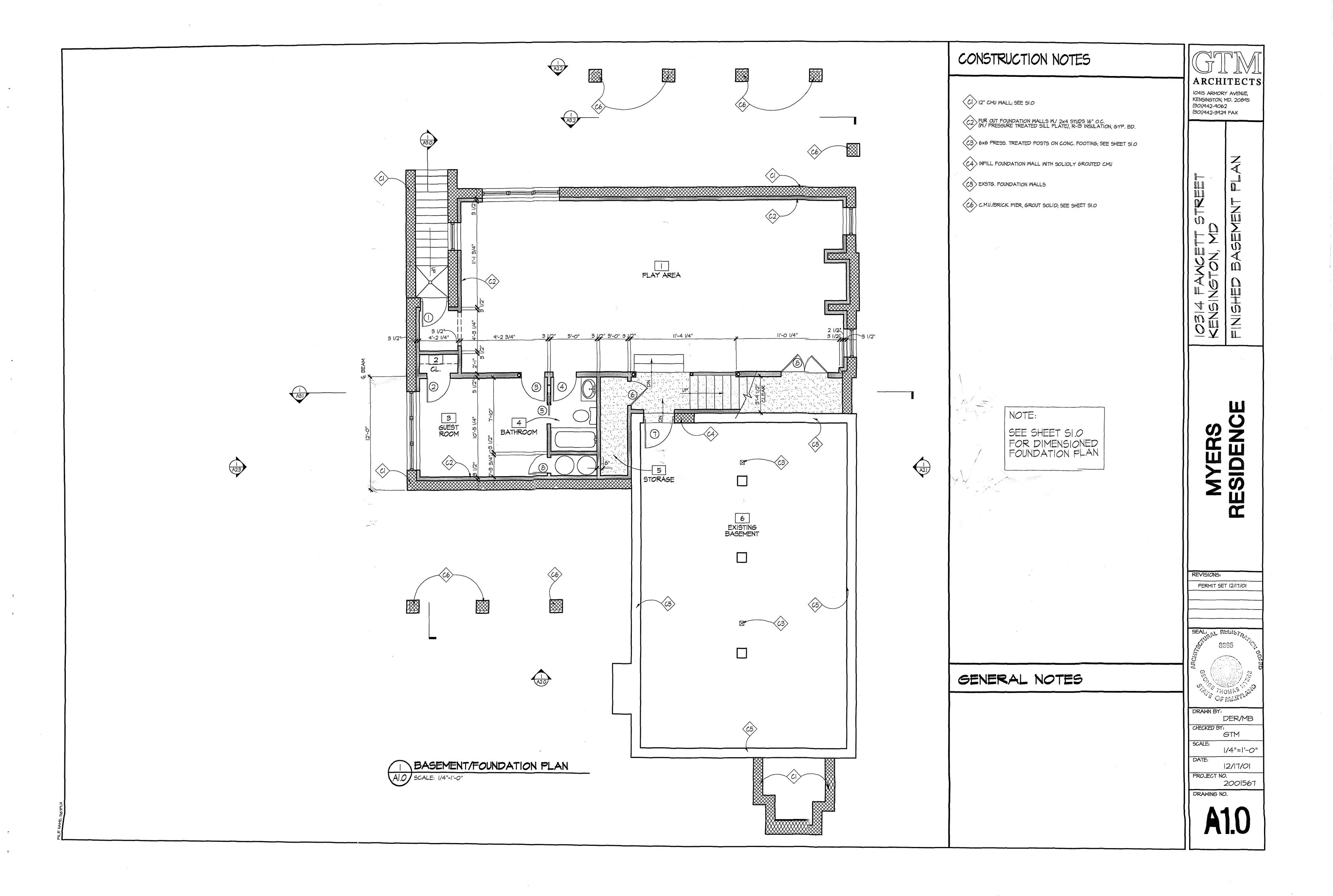
12/17/01 PROJECT NO.

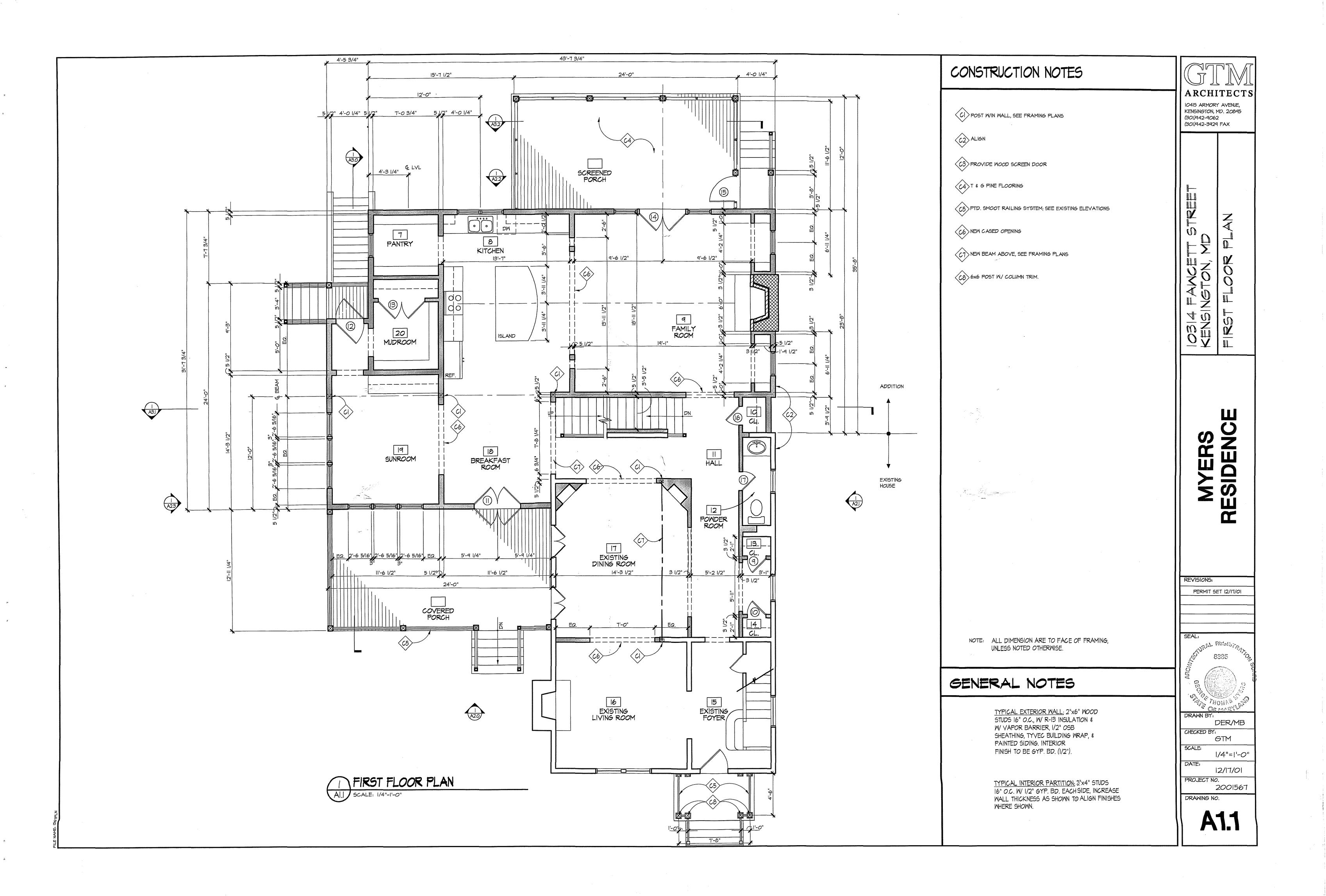
200|567

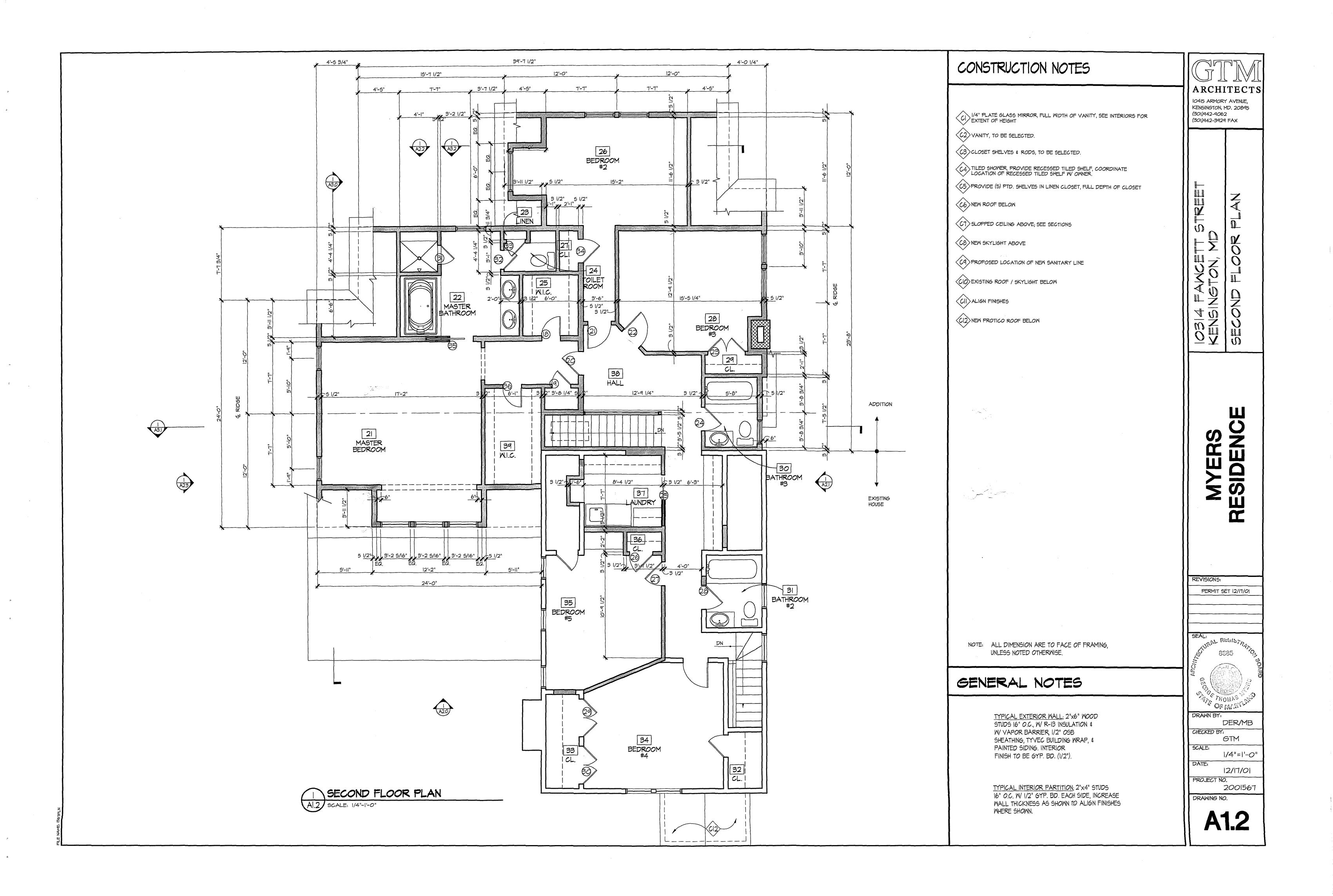
DRAWING NO.

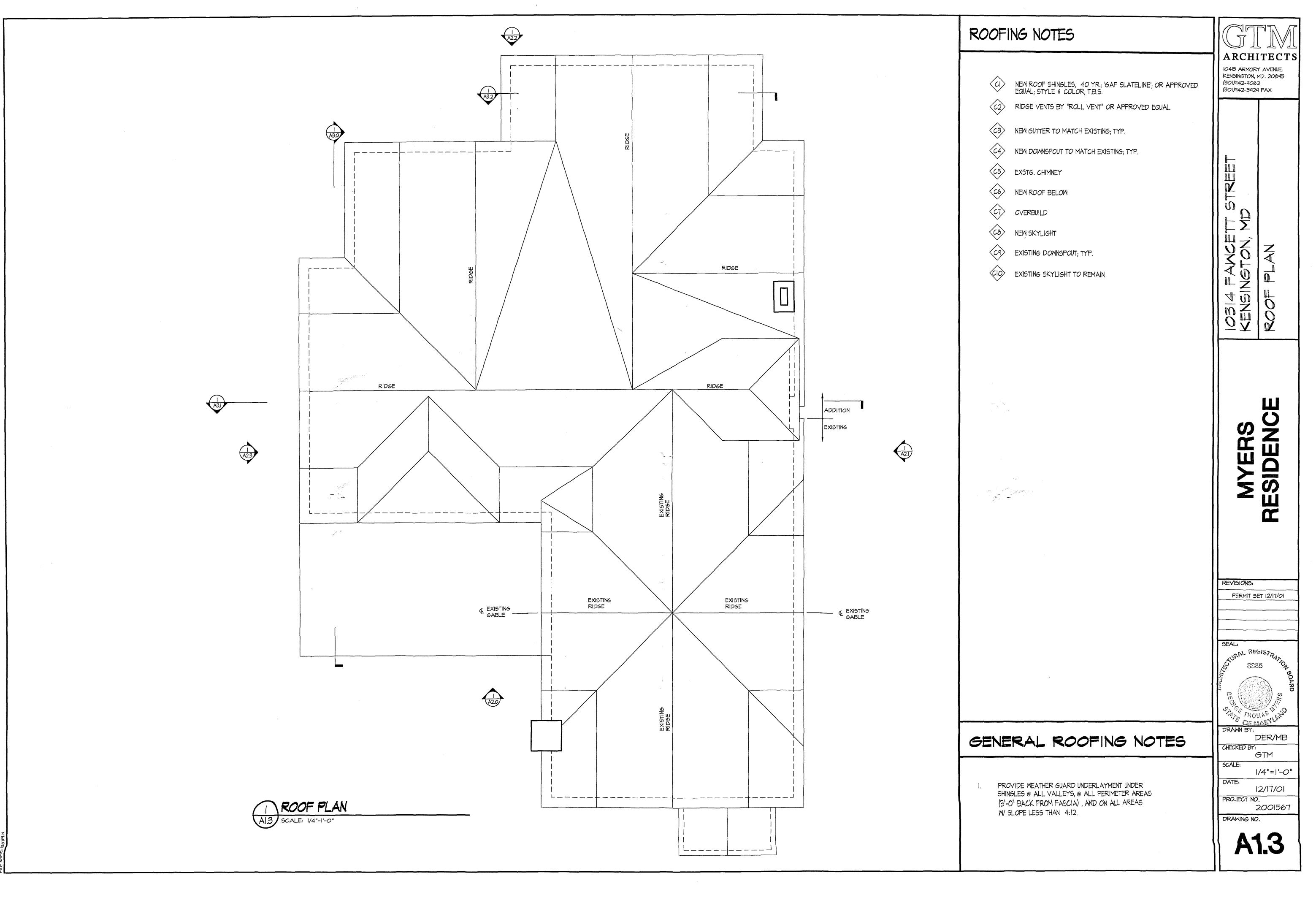
DI.0 SCALE: 3/16"-1'-0"

2 FIRST FLOOR DEMO PLAN DI.O SCALE: 3/16"-1'-0"

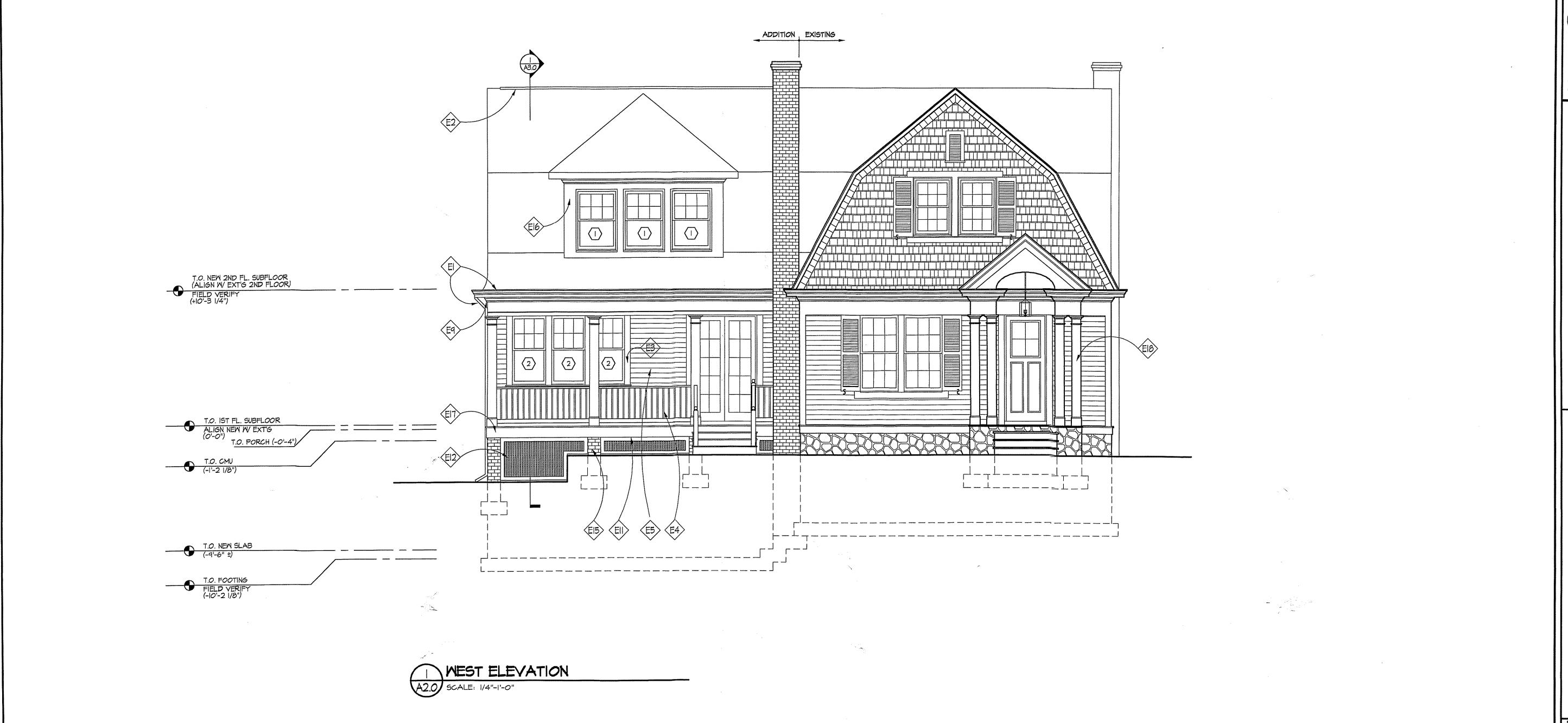








!



# ELEVATION NOTES

- NEW GUTTERS & DOWNSPOUTS
- RIDGE VENT BY ROLLVENT OR APPROVED EQUAL
- PAINTED 5/4"X4" WINDOW/DOOR TRIM BOARDS
- PAINTED RAILING SYSTEM:

  TOP RAIL: SMOOT # SM-8840

  BOT. RAIL: SMOOT # SM-8841

  PICKETS: SMOOT # LWM-237
- NEW PTD. 'HARDIPLANK' SIDING; CONFIRM W OWNER; EXPOSURE TO MATCH EXISTING
- CEDAR SHINGLES TO MATCH EXISTING
- PAINTED & PARGED CMU (OR CONCRETE)
- PTD. 5/4x4 CORNER BOARDS W/ 2"\$ 1/2 ROUND, (MATCH EXISTING DETAL)
- CROWN TO MATCH EXISTING

- PAINTED SHUTTERS TO MATCH EXISTING
- NEW WATERTABLE TRIM TO MATCH EXISTING
- LATTICE PANELS W/ Ix4 TRIM
- NEW STAIR, PTD. RISERS TYP.
- 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD)
- BRICK PIERS
- 5/4 TRIM, CUT TO FIT
- 5/4xl2 TRIM
- EIB NEW FRONT PORTICO

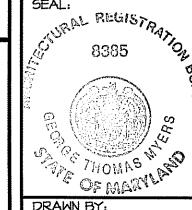
10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

10314 FAMCETT STREET KENSINGTON, MD

RESIDENCE TO THE STATE OF THE S

REVISIONS:

PERMIT SET 12/17/01



DRAWN BY:

CHECKED BY: GTM SCALE:

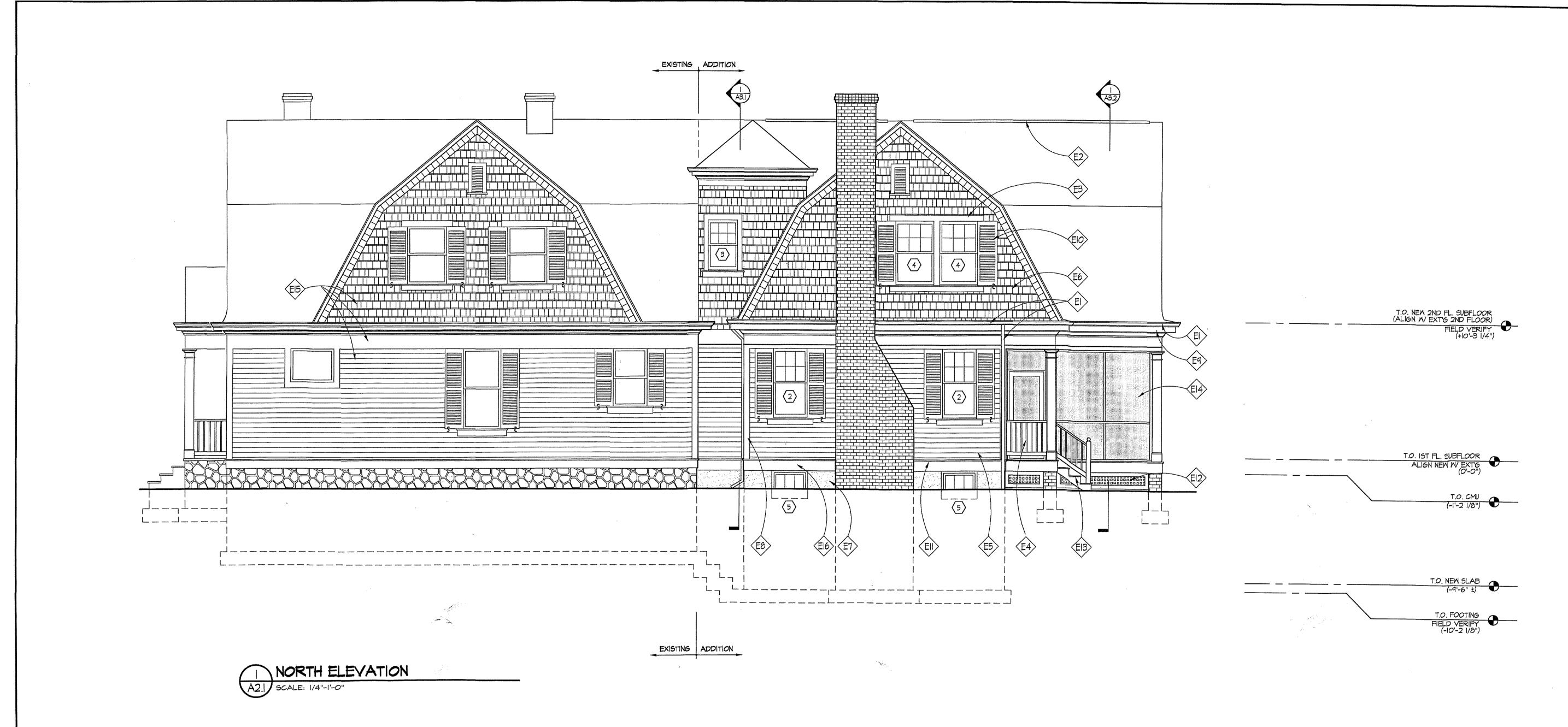
AS NOTED DATE:

12/17/01 PROJECT NO.

2001567 DRAWING NO.

VERIFY ALL EXTERIOR RISER AND TREAD DIMBISIONS IN FIELD.

\* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.



## ELEVATION NOTES

- EI NEW GUTTERS & DOWNSPOUTS
- E2 RIDGE VENT BY ROLLVENT OR APPROVED EQUAL
- E3 PAINTED 5/4"X4" WINDOW/DOOR TRIM BOARDS
- PAINTED RAILING SYSTEM:
  TOP RAIL: SMOOT # SM-8840
  BOT. RAIL: SMOOT # SM-8841
  PICKETS: SMOOT # LWM-237
- NEW PTD. 'HARDIPLANK' SIDING; CONFIRM W OWNER; EXPOSURE TO MATCH EXISTING
- EXISTING

  E6 CEDAR SHINGLES TO MATCH EXISTING, PTD.
- ET PAINTED & PARGED CMU (OR CONCRETE)
- E8 PTD. 5/4x4 CORNER BOARDS W/ 2"\$ 1/2 ROUND, (MATCH EXISTING DETXIL)
- E9 CROWN TO MATCH EXISTING

- EID PAINTED SHUTTERS TO MATCH EXISTING
- EII NEW WATERTABLE TRIM TO MATCH EXISTING
- EI2 LATTICE PANELS W 1x4 TRIM
- EI3 NEW STAIR
- EI4 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD)
- EI5 PREP & REPAINT CEDAR SHINGLES, SIDING, & TRIM
- EI6 5/4x12 TRI

NO

VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

\* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.

ARCHITECTS

10415 ARMORY AVENUE,

KENSINGTON, MD. 20845

(301)442-9062

(301)442-3929 FAX

3314 FAMCETT STREE ENSINGTON, MD

# MYERS RESIDENCE

REVISIO

PERMIT SET 12/17/01

SEAL:

REGISTRATION

8385

DRAWN BY:

MB

CHECKED BY:

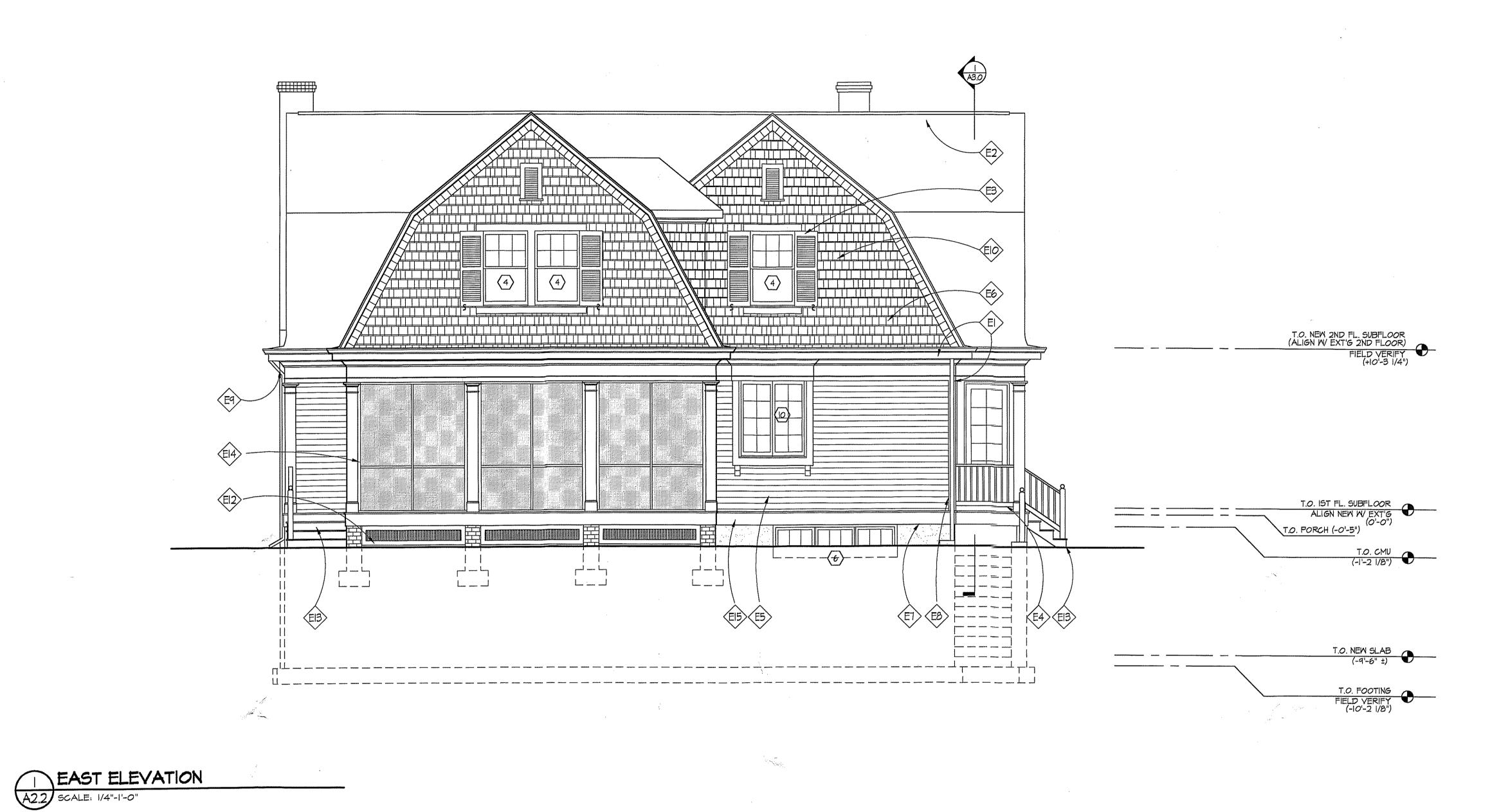
GTM

SCALE: AS NOTEI

DATE: |2/17/0|
PROJECT NO.

2001567 DRAWING NO.

**A2.**<sup>1</sup>



VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

\* MATCH NEW ROOF PITCH W/ EXISTING, V.I.F.

PERMIT SET 12/17/01

**ARCHITECTS** 

10415 ARMORY AVENUE, KENSINGTON, MD. 20895

(301)942-9062 (301)942-3929 FAX

CHECKED BY:

GTM AS NOTED

12/17/01 PROJECT NO. 2001567

DRAWING NO.

## ELEVATION NOTES

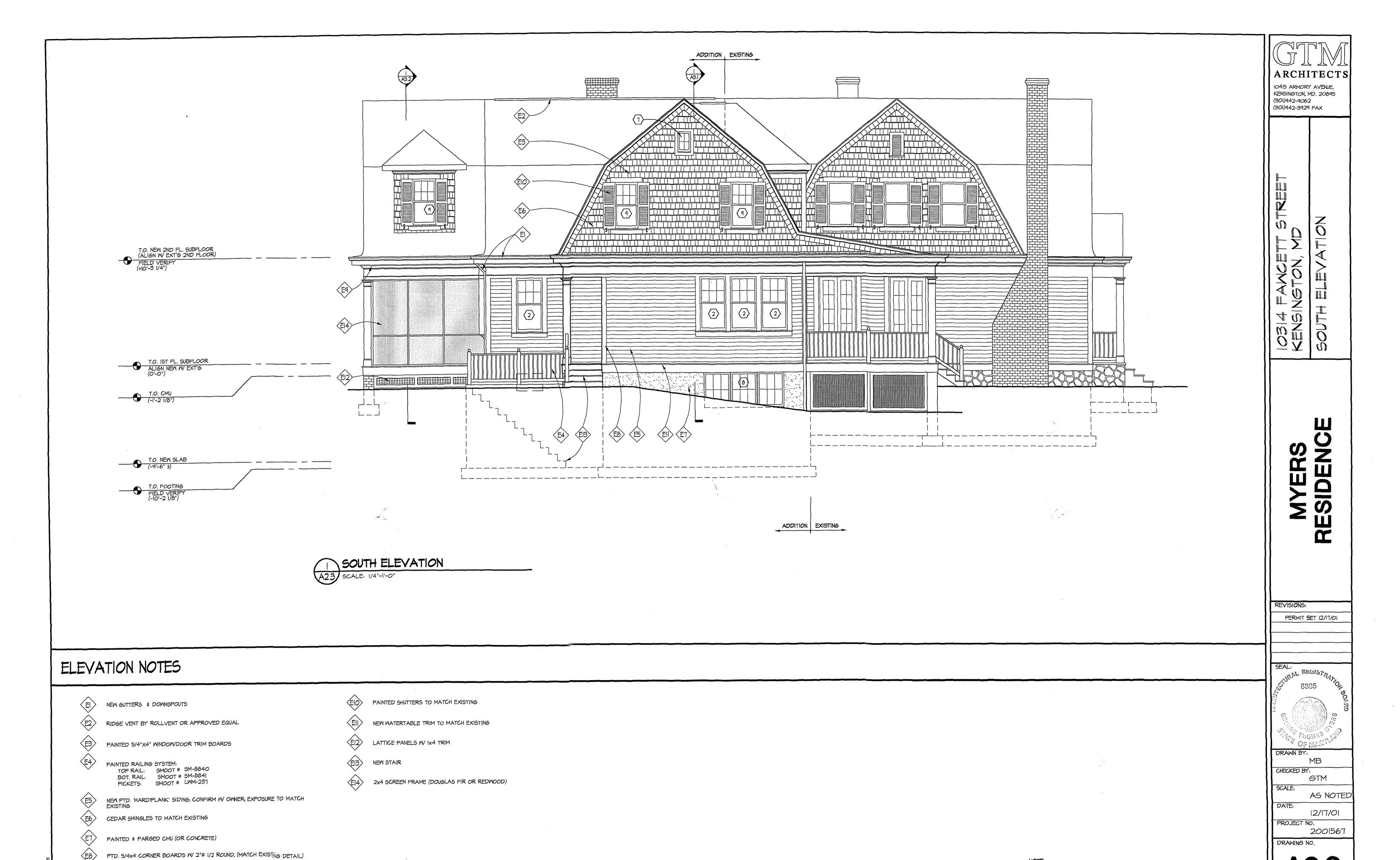
- NEW GUTTERS & DOWNSPOUTS
- RIDGE VENT BY ROLLVENT OR APPROVED EQUAL
- PAINTED 5/4"X4" WINDOW/DOOR TRIM BOARDS
- PAINTED RAILING SYSTEM:

  TOP RAIL: SMOOT # SM-8840

  BOT. RAIL: SMOOT # SM-8841

  PICKETS: SMOOT # LWM-237
- NEW PTD. 'HARDIPLANK' SIDING; CONFIRM W OWNER; EXPOSURE TO MATCH EXISTING
- CEDAR SHINGLES TO MATCH EXISTING, PTD.
- PAINTED & PARGED CMU (OR CONCRETE)
- PTD. 5/4x4 CORNER BOARDS W/ 2" P 1/2 ROUND, (MATCH EXISTING DETAIL)
- E9 CROWN TO MATCH EXISTING

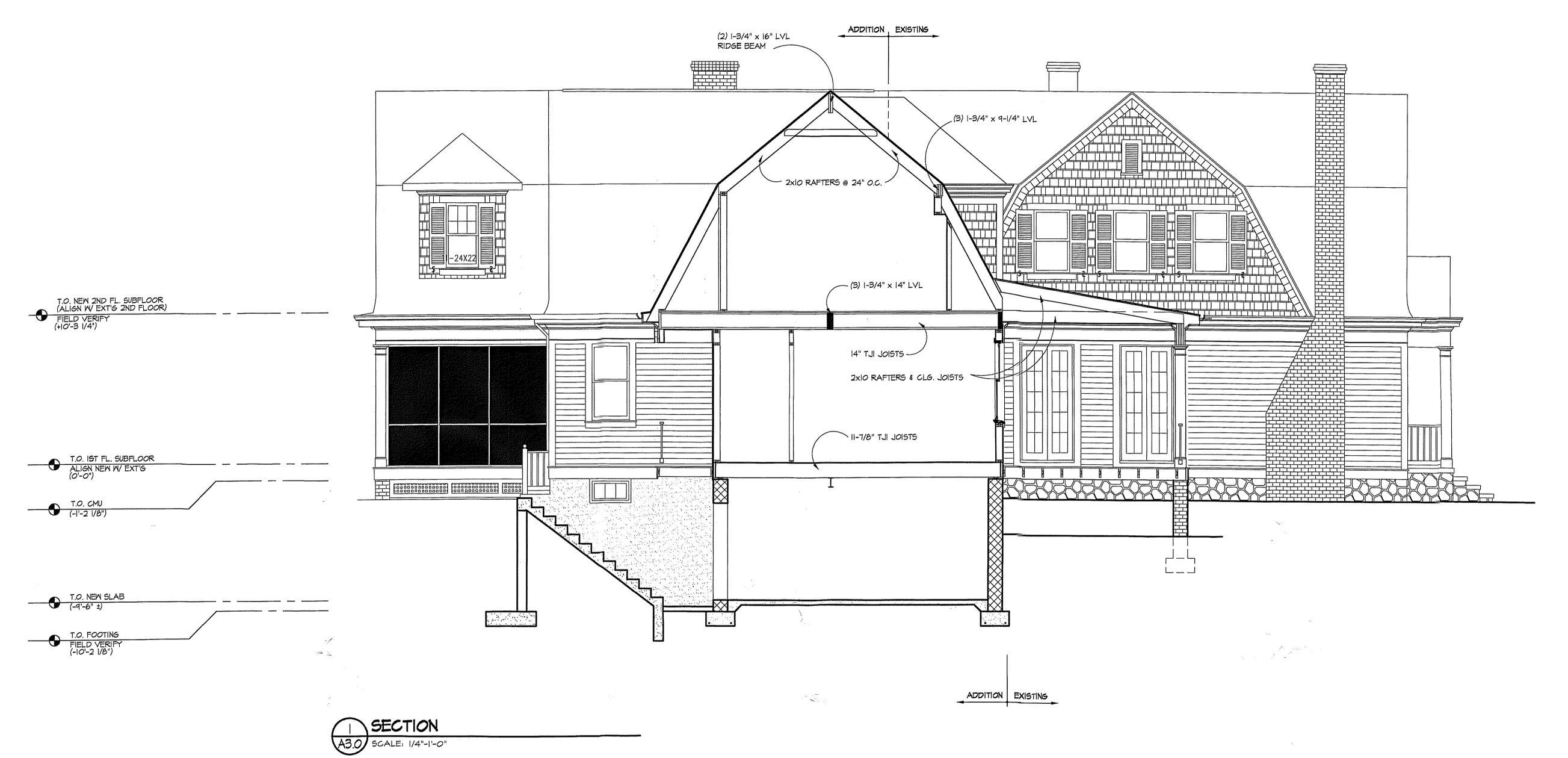
- PAINTED SHUTTERS TO MATCH EXISTING
- NEW WATERTABLE TRIM TO MATCH EXISTING
- LATTICE PANELS W/ Ix4 TRIM
- NEW STAIR, PTD. RISERS
- 2x4 SCREEN FRAME (DOUGLAS FIR OR REDWOOD)
- EI5 5/4xI2 TRIM



CROWN TO MATCH EXISTING

NOTE:
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

\* MATCH NEW ROOF PITCH W EXISTING, V.I.F.



ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

KENSINGTON, MD SECTION

MYERS RESIDENCE

REVISIONS:

PERMIT SET 12/17/01

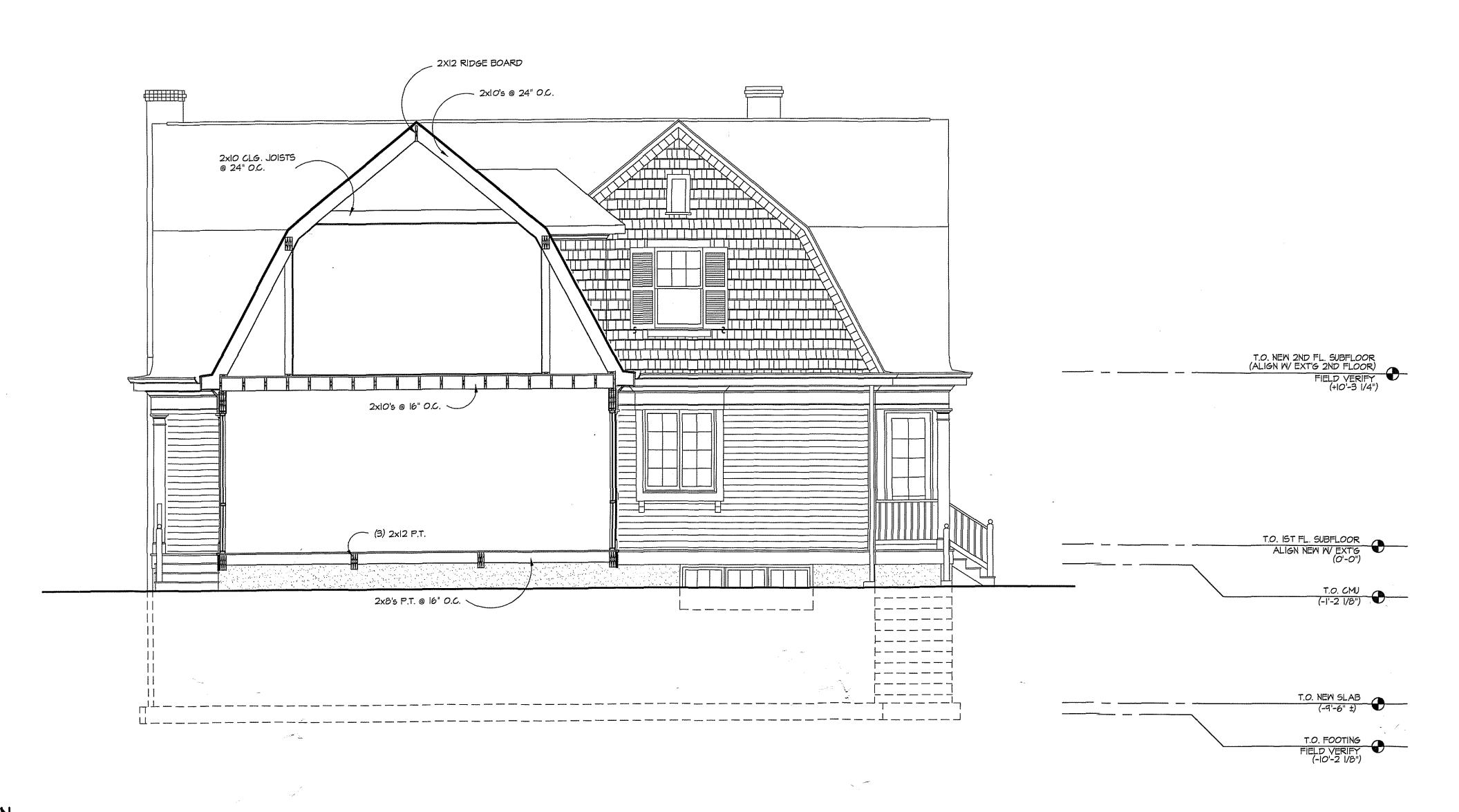
DRAWN BY:

CHECKED BY: GTM

AS NOTED

12/17/01 PROJECT NO. 2001567

DRAWING NO.



GIM

ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

FAMCETT STREET NGTON, MD

MYERS

REVISIONS:
PERMIT SET 12/17/01

SEAL: REGISTRATION 8385

WE SEAL: REGISTRATION 8385

OF MARKING

DRAWN BY:
SM
CHECKED BY:

CHECKED BY:
GTM

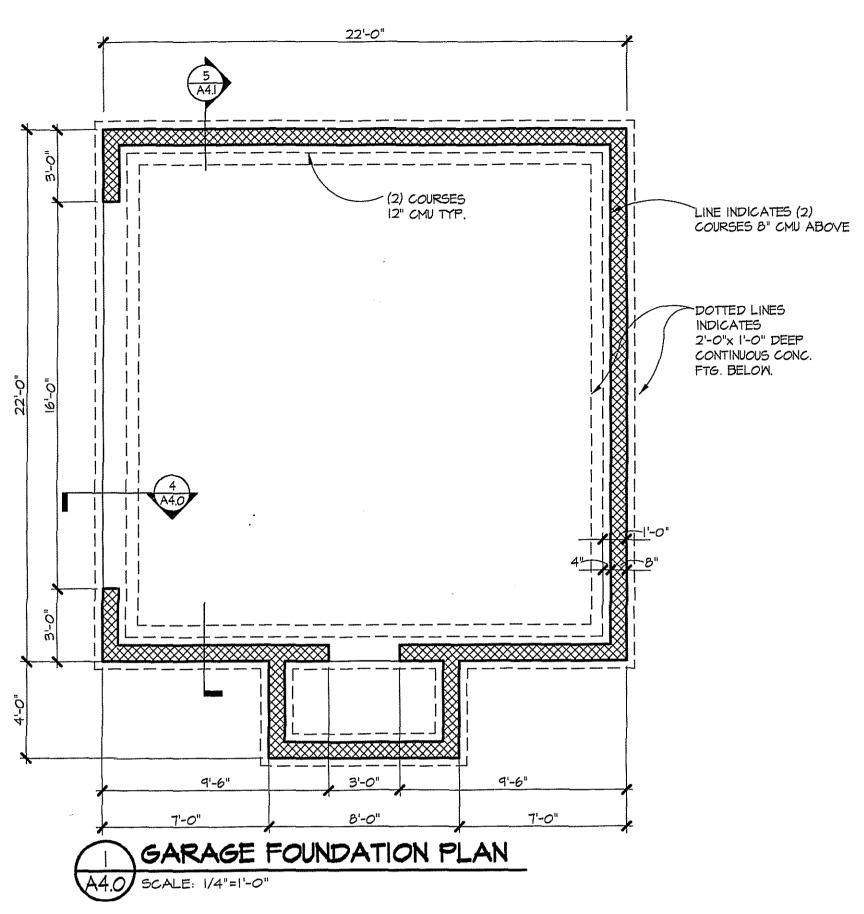
SCALE:
AS NOTED

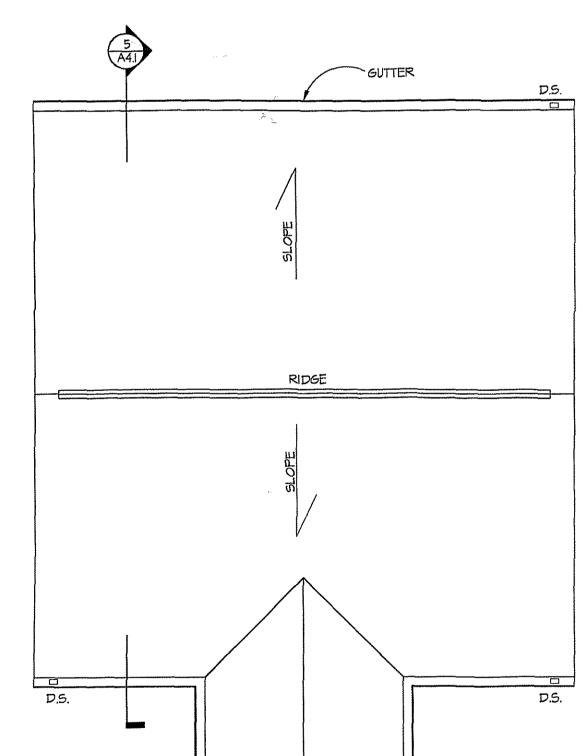
DATE:
|2/17/0|

PROJECT NO.
2001567
DRAWING NO.

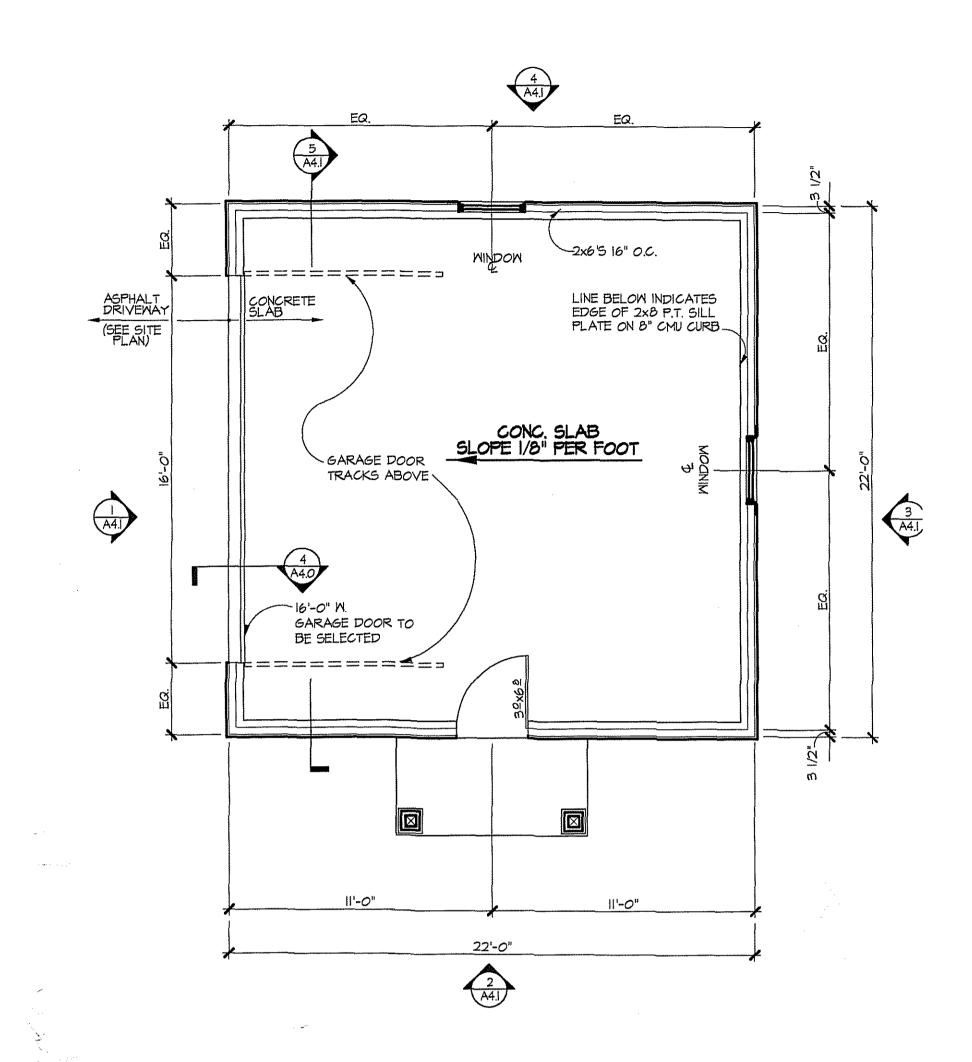
A3.2

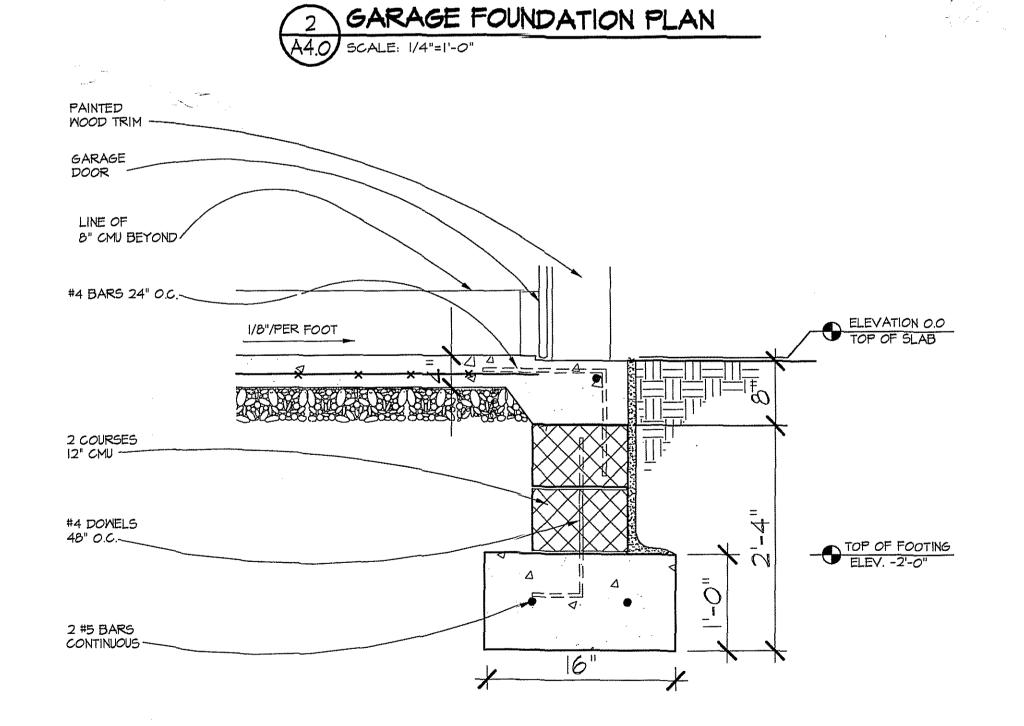
| SECTION | A3.2 | SCALE: 1/4"-1'-0













GT MARCHITECTS

ARCHITECT

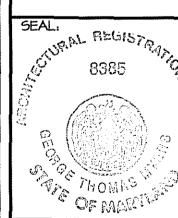
10415 ARMORY AVENUE,
KENSINGTON, MD. 20895

10415 ARMORY AVEN KENSINGTON, MD. 201 (301)942-9062 (301)942-3929 FAX

> NOSI4 FAMCETT STREET KENSINGTON, MD 20845 GARAGE PLANS

> > MYERS RESIDENCE

REVISIONS:
PERMIT SET 12/17/01



DRAWN BY:

DER

CHECKED BY:

GTM

SCALE:
AS NOTED

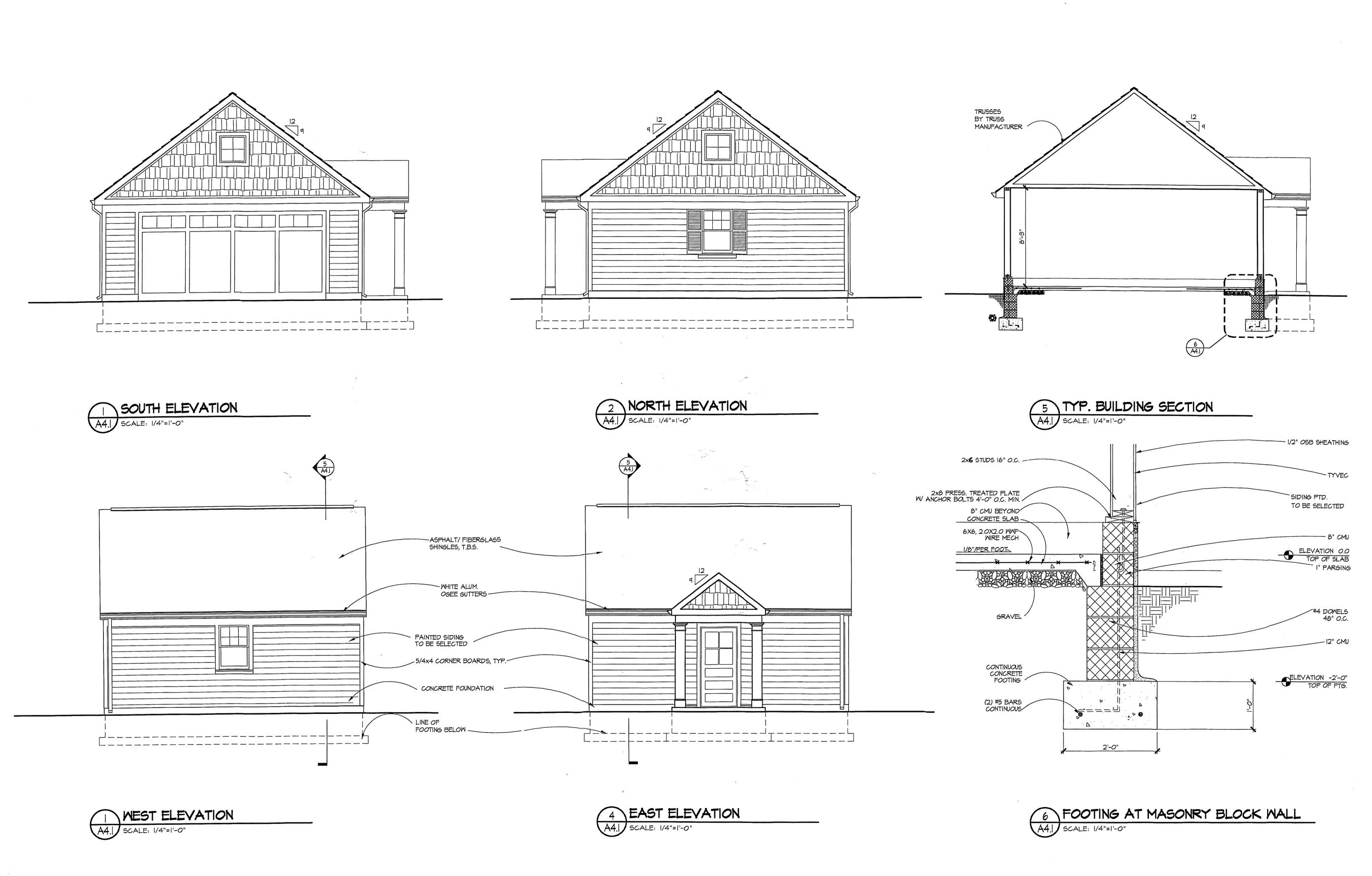
DATE:
12/17/01

PROJECT NO.

DRAWING NO.

**A4.0** 

2001567



GT M ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062

(301)942-3929 FAX

O314 FAMCETT STREET KENSINGTON, MD 20895 SARAGE ELEVATIONS

MYERS RESIDENCE

REVISIONS:
PERMIT SET 12/17/01

SEAL: REGISTARY OF THOMAS OF THOMAS

DRAWN BY:
DER
CHECKED BY:
GTM

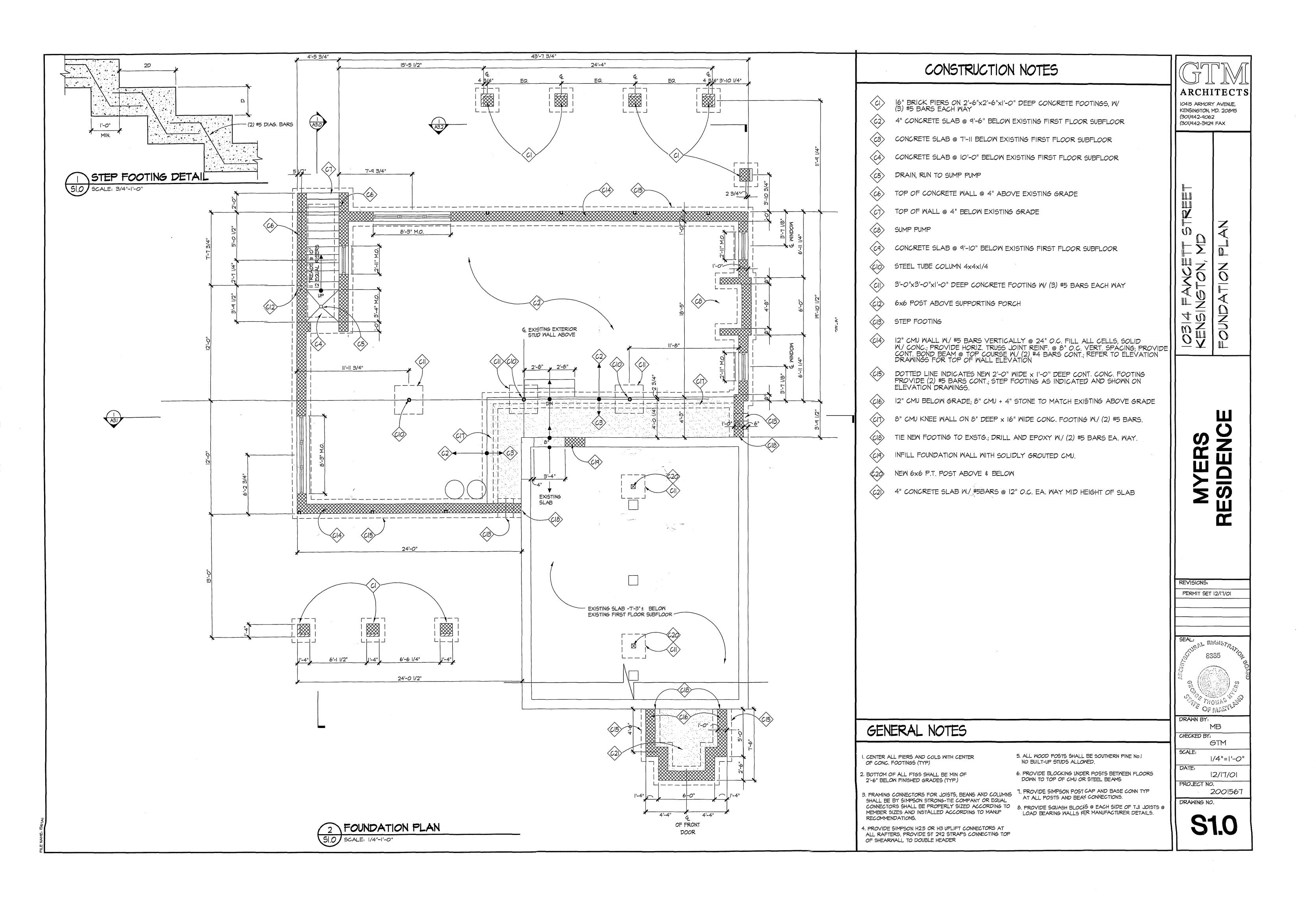
SCALE:
AS NOTED

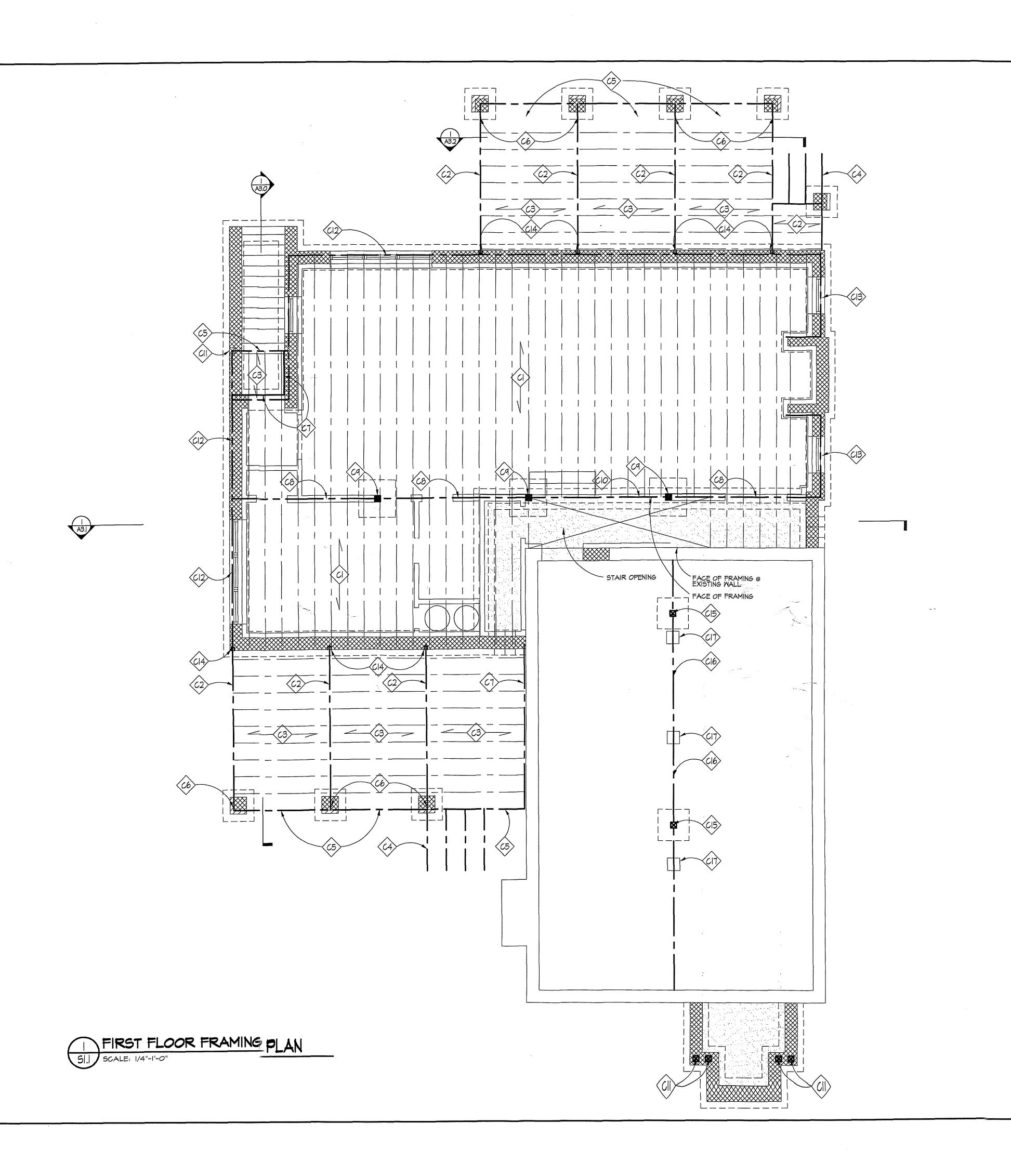
DATE:
|2/17/01

12/17/01 PROJECT NO. 2001567

DRAWING NO.

**A4.1** 





## CONSTRUCTION NOTES

- || 7/8" TJI-350 JOISTS @ 16" O.C.
- 2x8 P.T. JOISTS @ 16" O.C.
- 2x12 P.T. STAIR STRINGERS
- (5) 2x12 P.T. RIM JOIST IN SAME PLANE
- MASONRY PIERS BELOW
- P.T. 2x8 LEDGER
- (8) W8x2I STEEL BEAM BELOW JOISTS
- (9) STEEL COLUMN, SEE SI.0
- (3) II 7/8" LVL IN SAME PLANE AS JOISTS
- (3) | 3/4"x|| 7/8" LVL IN SAME PLANE AS FLOOR JOISTS
- (2) | 3/4"x|| 7/8" LVL IN SAME PLANE AS FLOOR JOISTS
- PROVIDE 3" POCKET IN FOUNDATION WALL FOR (3) 2x12 BEAM
- NEW 6x6 P.T. POST BELOW AND ABOVE
- EXISTING TIMBER BEAM
- EXISTING MASONRY PIER

ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

PERMIT SET 12/17/01

MB

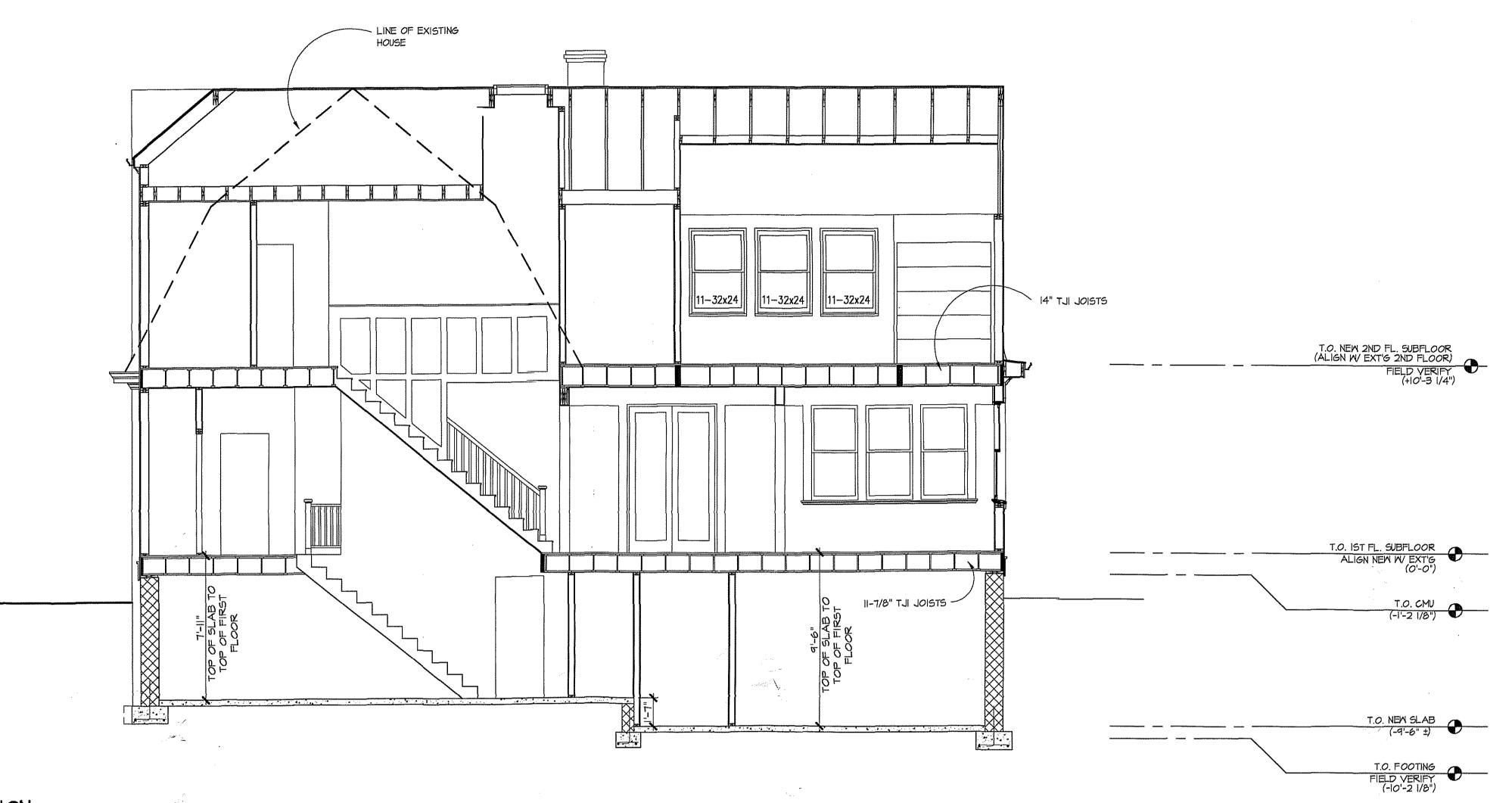
CHECKED BY:

1/4"=1'-0" 12/17/01

PROJECT NO. 2001567 DRAWING NO.

GENERAL NOTES

- I. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.)
- SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL
  CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO
  MEMBER SIZES AND INSTALLED ACCORDING TO MANUF
  LOAD BEARING WALLS PER MANUFACTURER DETAILS. 3. FRAMING CONNECTORS FOR JOISTS, BEANS AND COLUMNS RECOMMENDATIONS.
- 4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
- ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.



10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

REVISIONS:

PERMIT SET 12/17/01

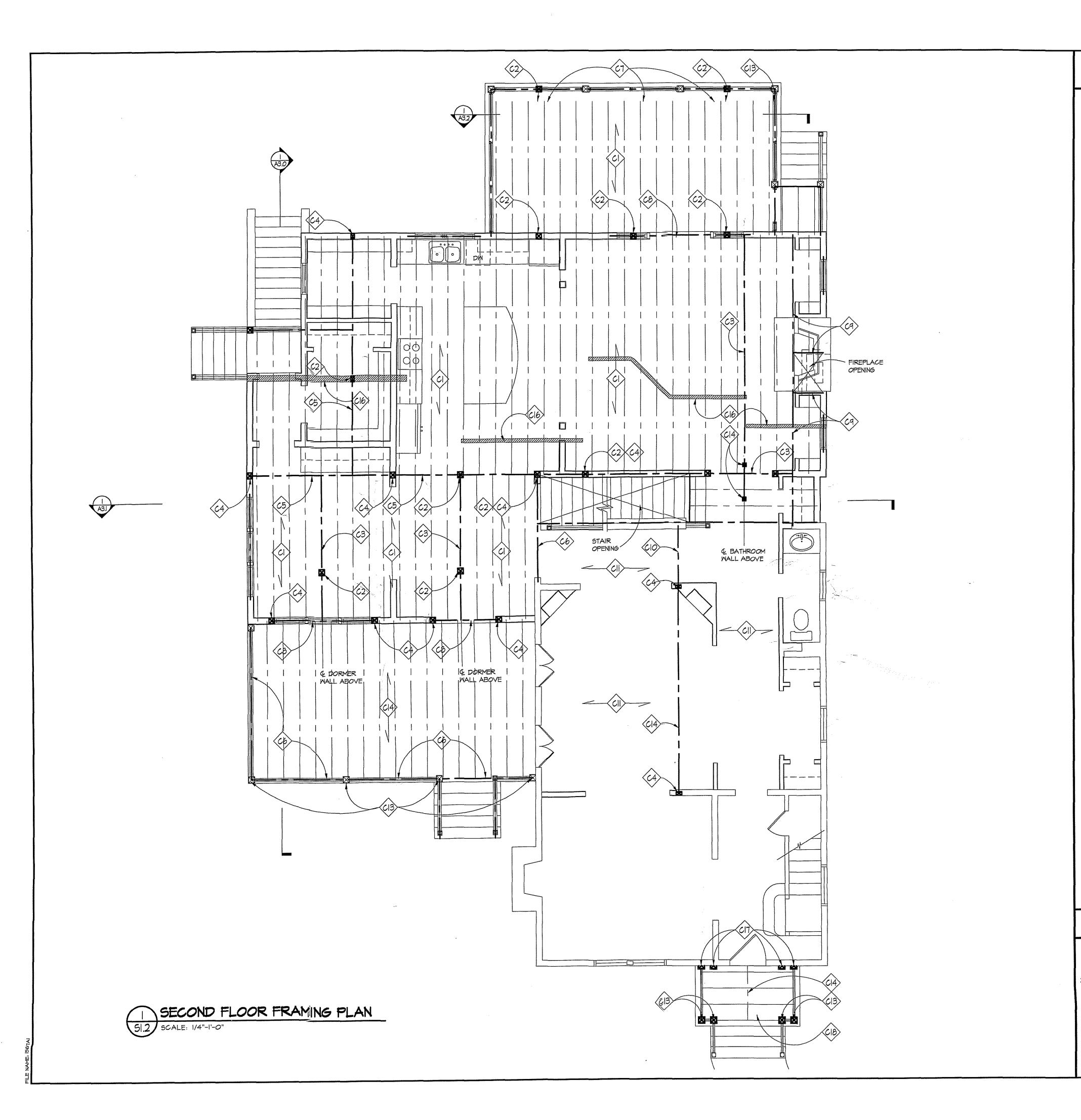
CHECKED BY: GTM

AS NOTED

12/17/01 PROJECT NO. 2001567

DRAWING NO.

SECTION
A3.1 SCALE: 1/4"-1'-0"



# CONSTRUCTION NOTES

- 14" TJI.250 JOISTS @ 16" O.C.
- C2 POST FROM ABOVE, 5 1/4x5 1/4 PSL
- (2) I 3/4"xI4" LVL BEAM IN SAME PLANE AS JOISTS
- POST BELOW, 5 1/4x5 1/4 PSL
- (3) I 3/4"x14" LVL BEAM IN SAME PLANE AS JOISTS
- (3)2x12 BEAM @ PORCH, TYP.
- (3) I 3/4"xII I/4" LVL BEAM CONTINUOUS
- (3) I 3/4"xI4" LVL HEADER IN SAME PLANE AS JOISTS
- DOUBLE JOIST
- (3) 2×8 HORIZONTAL IN SAME PLANE AS EXISTING JOISTS
- EXISTING 2x8 JOISTS @ 16" O.C.
- (3) | 3/4"x|4" LVL (OR STEEL), TOP OF BEAM TO ALIGN W/ TOP OF EXISTING JOISTS
- 6x6 POST BELOW @ PORCH, TYP.
- 2x10 RAFTERS & CEILING JOISTS
- POST ABOVE, 4x4
- HATCHED WALLS INDICATE LOAD-BEARING WALLS ABOVE
- HALF 6×6 POST BELOW
- (18) 2x8 RAFTERS @ 16" O.C.

ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

PERMIT SET 12/17/01

DRAWN BY:

SCALE:

5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1

6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS

T. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEXM CONNECTIONS.

NO BUILT-UP STUDS ALLOWED.

CHECKED BY: GTM

1/4"=1"-0" 12/17/01

PROJECT NO. 2001567

DRAWING NO.

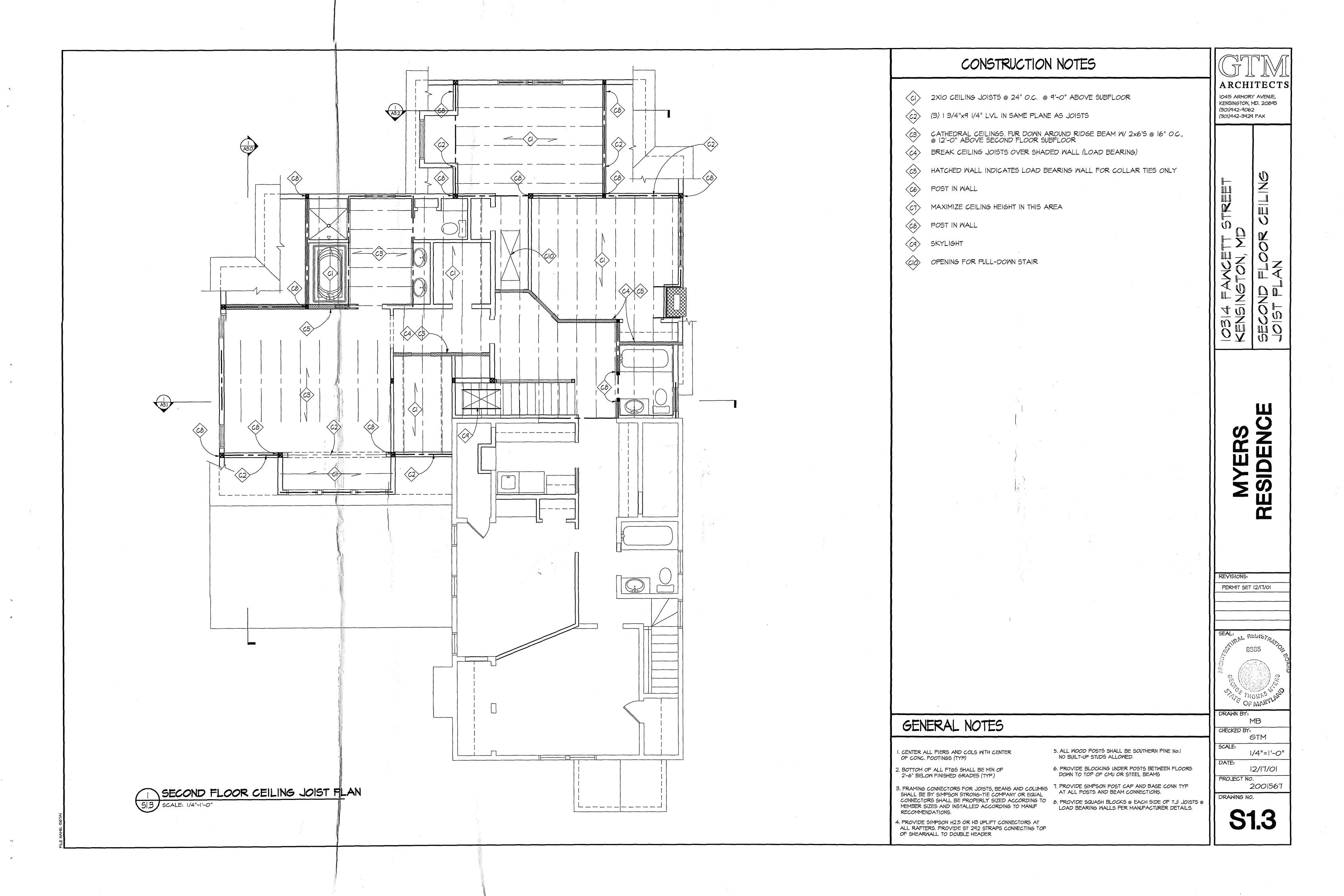
GENERAL NOTES

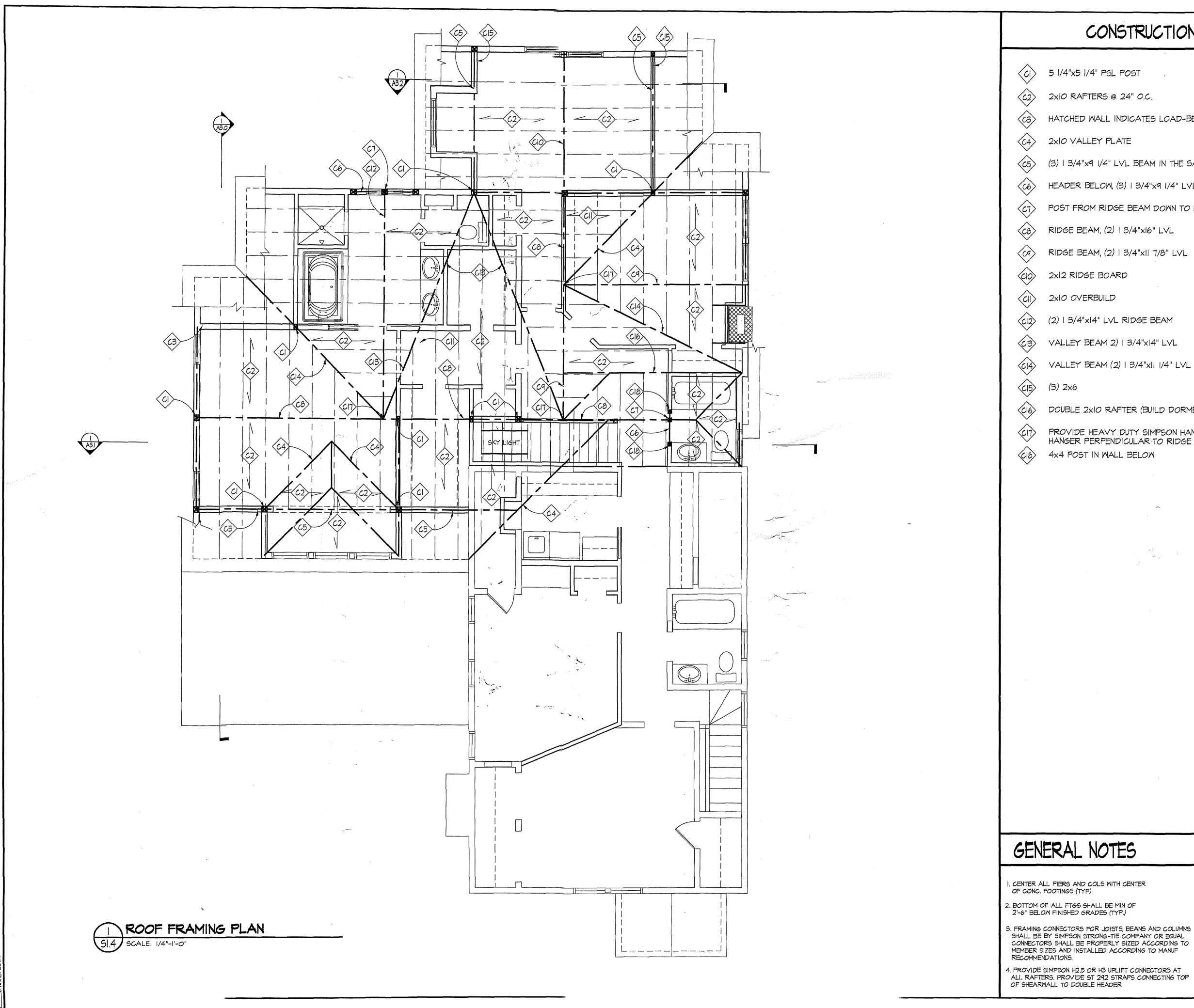
I. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.)

3. FRAMING CONNECTORS FOR JOISTS, BEANS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ MEMBER SIZES AND INSTALLED ACCORDING TO MANUF LOAD BEARING WALLSTER MANUFACTURER DETAILS. RECOMMENDATIONS.

4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS, PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER





### CONSTRUCTION NOTES

- 5 1/4"x5 1/4" PSL POST
- 2x10 RAFTERS @ 24" O.C.
- HATCHED WALL INDICATES LOAD-BEARING WALL BELOW
- 2x10 VALLEY PLATE
- (3) | 3/4"x9 |/4" LVL BEAM IN THE SAME PLANE AS RAFTERS (\$ CEILING JOISTS)
- HEADER BELOW, (3) | 3/4"x9 1/4" LVL
- POST FROM RIDGE BEAM DOWN TO HEADER, 5 1/4"x5 1/4" PSL
- RIDGE BEAM, (2) | 3/4"x16" LVL
- RIDGE BEAM, (2) | 3/4"x|| 7/8" LVL
- 2x12 RIDGE BOARD
- 2x10 OVERBUILD
- (2) | 3/4"x|4" LVL RIDGE BEAM
- VALLEY BEAM 2) | 3/4"xI4" LVL
- VALLEY BEAM (2) | 3/4"xII |/4" LVL
- (3) 2x6
- DOUBLE 2x10 RAFTER (BUILD DORMER WALL ON TOP)
- PROVIDE HEAVY DUTY SIMPSON HANGER SIMPSON GLTV 3.514 BEAM HANGER PERPENDICULAR TO RIDGE (TYP. OF 3)
  - 4×4 POST IN WALL BELOW

10415 ARMORY AVENUE, KENSINGTON, MD. 20895 (301)942-9062 (301)942-3929 FAX

PERMIT SET 12/17/01

MB CHECKED BY: GTM

DRAWING NO.

1/4"=1'-0"

12/17/01 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS PROJECT NO. 2001567 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP

AT ALL POSTS AND BEAM CONNECTIONS.

5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1

NO BUILT-UP STUDS ALLOWED.

CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

F. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER

MEMBER SIZES AND INSTALLED ACCORDING TO MANUF

RECOMMENDATIONS.

MM 2 125 10314 Fawcott Langue