

97-0 10310 Conn. Ave  
31/6 Lot 19/Blk 4 (10300 block of  
Connecticut Ave. (Kensington His.Dst))

es

146

6-18  
GAT-SE

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot 19, Block 4, Connecticut Avenue      Meeting Date: 3/26/97  
Resource: Kensington Historic District      Review: HAWP  
Case Number: 31/6-97C      Tax Credit: No  
Public Notice: 3/12 /97      Report Date: 3/19/97  
Applicant: Mark Raymond (Anthony Segreti, Agent)      Staff: Robin D. Ziek  
PROPOSAL: Construct new house w/ garage      RECOMMENDATIONS:  
Approval w/ Conditions

---

### RESOURCE SUMMARY

RESOURCE: Kensington Historic District - Secondary Resource

### PROJECT DESCRIPTION

#### The Property and its Setting

The subject property is a trapezoidal-shaped parcel with access off of Connecticut Avenue. The HPC is familiar with this site, having considered a different proposal for new construction at the 10/11/95 meeting. At that time, the HPC **agreed in concept** that this parcel was a suitable building site for an individual residence. The applicant in 1995 did not elect to go forward, and the property had continued on the market.

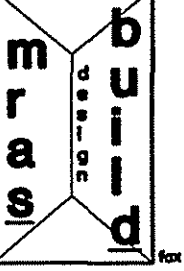
The property fronts on Connecticut, and has one neighbor on the south side which is a 20th century single-story residential building which is being used as a day care center. To the north, the subject property is adjacent to the neighbor's rear yard while the neighboring house, a late 19th c. structure, fronts on Warner Street.

Topographically, the subject property and the day care center are at the lowest elevation in the neighborhood. All of the neighboring properties drain to these lots; there is a major storm water intake in the front yard of the day care center. Connecticut Avenue has been built up along here (possibly when the road was widened) and is significantly higher than the proposed building site.

There are two mature trees on the property: a deciduous tree and a southern magnolia. Along the rear property line, there are several small scrub trees and vines. In addition, there is a large tree stump which is covered with vines at the rear of the property.

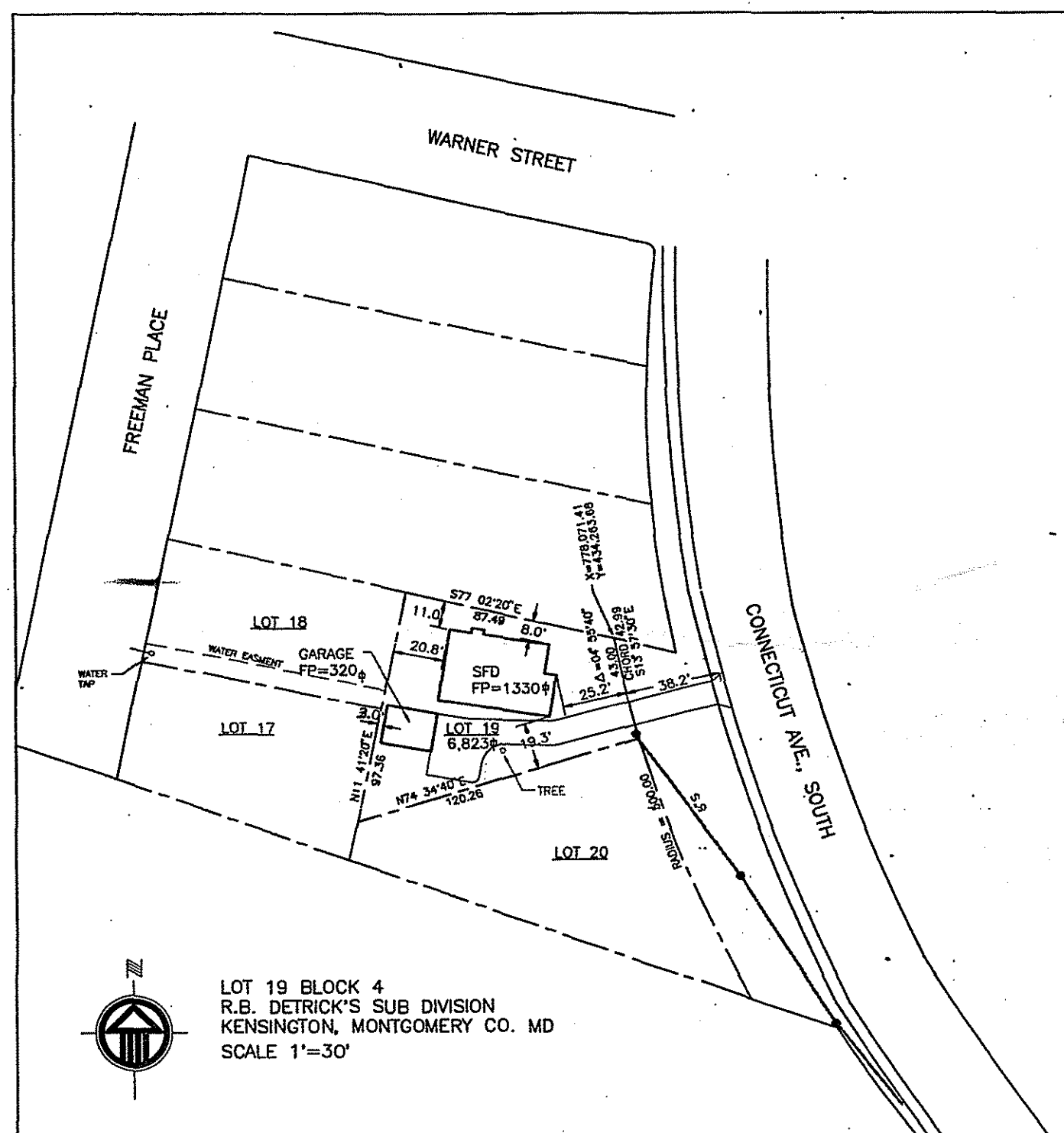
#### The Proposal


The proposal before the Commission is to build a single-family residence and a detached single-car garage. The deciduous tree on the site would be removed, and the mature magnolia would be retained. The tree stump would be removed as well as much of the scrub growth along the rear property line. Some new grading at Connecticut Avenue would be necessary to allow


 p.o. box 106  
 Cabin John,  
 Maryland  
 20816-0106  
 (301) 596 4800  
 fax (301) 365 0960

THESE DRAWINGS AND SPECIFICATIONS  
 REPRESENT THE SEPARATE AND  
 INDIVIDUAL RESPONSIBILITY OF THE  
 ARCHITECT AND ENGINEER. THE  
 ARCHITECT AND ENGINEER SHALL NOT  
 BE RESPONSIBLE FOR THE ACCURACY  
 OF ANY INFORMATION OBTAINED FROM  
 ANY SOURCE OTHER THAN THAT  
 PROVIDED BY THE CLIENT. THE  
 ARCHITECT AND ENGINEER SHALL  
 NOT BE RESPONSIBLE FOR THE  
 ACCURACY OF ANY INFORMATION  
 OBTAINED FROM ANY SOURCE  
 OTHER THAN THAT PROVIDED BY  
 THE CLIENT. THE ARCHITECT AND  
 ENGINEER SHALL NOT BE  
 RESPONSIBLE FOR THE ACCURACY  
 OF ANY INFORMATION OBTAINED  
 FROM ANY SOURCE OTHER THAN  
 THAT PROVIDED BY THE CLIENT.

**a victorian style house in historic kensington**  
 Lot 19, block 4, R.B. Detrick's Subdivision  
 Kensington MD.




 LOT 19 BLOCK 4  
 R.B. DETRICK'S SUB DIVISION  
 KENSINGTON, MONTGOMERY CO. MD  
 SCALE 1"=30'

**SITE LOCATION PLAN**  
 SCALE 1" = 30'

DRAWING INDEX	
C-1	COVER SHEET/SITE LOCATION PL./INDEX
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
SP-3	SPECIFICATIONS
A-1	FOUNDATION AND BASEMENT PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	EXTERIOR ELEVATIONS
A-5	BUILDING SECTION
D-1	DETAILS
S-1	FIRST FLOOR FRAMING PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN

APPROVED  
 Montgomery County  
 Historic Preservation Commission  


NO.	REVISIONS/SUBMISSIONS	DATE
1	PERMITS SET	05-26-97
2	NO. REVISIONS/SUBMISSIONS	

COVER SHEET	
designed by	project no. Kensington 97.01
drawn by	CAD file no. C-1.DWG
checked by	drawing no.
date	05/26/97
scale	AS NOTED
<b>C-1</b>	

- 1.0 GENERAL - The work shall comply with the following specifications, the BOCA National Building and Mechanical Codes, 1993 editions, and the CABO One and Two Family Dwelling Code, 1992 Edition, with the Montgomery County amendments and all other applicable local and state codes, ordinances, regulations and amendments. The work shall comply with the interpretation of the local building official when variations in these codes exist. If the interpretation of the local building official is at variance with these documents, inform the Owner/Architect prior to proceeding.
- 1.01 CONSTRUCTION METHODS AND TECHNIQUES - The Architect is not responsible for construction means, methods, techniques, procedures, or for safety measures in connection with the work, and shall not be held responsible for the failure of the Owner (Client) or his contractors, subcontractors or anyone performing the work, to carry out the work in accordance with the contract documents.
- 1.02 FIELD CONDITIONS AND DIMENSIONS - On-site verification of all dimensions and conditions shall be the responsibility of the general contractor and his subcontractors. Noted dimensions take precedence over coded dimensions. Architect shall be notified promptly of any discrepancies in information and of any discrepancies between field conditions and information on the drawings prior to construction.
- 1.03 TYPICAL CONDITIONS - The general notes and typical details apply throughout the job unless indicated otherwise. Where conditions are not specifically shown or detailed, the character and quality of the work shall be the same as that indicated for similar conditions.
- 1.04 COORDINATION OF WORK - The contractor shall coordinate and compare all drawings between the different consultants and trades and shall promptly notify the architect of any discrepancies which may be found.
- 1.05 STRUCTURAL NOTES - In case of any discrepancies between these notes and notes on the structural drawings the structural notes shall take precedence.
- 1.06 TEMPORARY BRACING - Use temporary bracing as required to stabilize foundation and basement walls and superstructure until permanent construction is in place. The structural integrity of the building is dependent upon completion according to plans and specifications. The Architect and Structural Engineers assume no liability for the structure during construction. The method of construction and sequence of operations is the sole responsibility of the contractor. The contractor shall supply any necessary shoring, bracing, struts, guys, etc. to properly brace the structure against wind, dead and live loads until the building is completed according to the plans and specifications. Contractor shall not place back fill against basement walls until the floor system is completely installed or contractor has provided adequate shoring and bracing. Any questions regarding temporary bracing requirements should be forwarded to a structural engineer for review.
- 1.07 DESIGN LOADS
- |                 | LIVE LOADS  | DEAD LOADS        | TOTAL LOADS |
|-----------------|---|-------------------|-------------|
| ROOF TRUSSES    | 30 PSF  | 7 TOP & 10 BOTTOM | 47PSF       |
| RAFTERS         | 30 PSF  | 12 PSF            | 42 PSF      |
| SLEEPING ROOMS  | 30 PSF  | 10 PSF            | 40 PSF      |
| OTHER FLOORS    | 40 PSF  | 10 PSF            | 50 PSF      |
| GARAGE FLOORS   | 50 PSF  | 50 PSF            | 100 PSF     |
| DECKS/BALCONIES | 40 PSF  | 10 PSF            | 50 PSF      |
| BREEZEWAYS      | 80 PSF  | 10 PSF            | 90 PSF      |
| STAIRS          | 40 PSF  | 10 PSF            | 50 PSF      |
| WIND LOAD       | 18 PSF MINIMUM  |                   |             |
| BACKFILL        | 30 PSF EQUIVALENT FLUID WEIGHT UNLESS NOTED OTHERWISE |                   |             |
- 1.08 Mechanical units and any other equipment supported by the structure with weights in excess of 200 lbs shall be brought to the attention of the structural engineer prior to installation.
- 1.09 PRODUCT LITERATURE AND MANUFACTURER'S RECOMMENDATIONS - Comply with the manufacturer's or fabricator's instructions or recommendations for the preparation of substrates and installation and use of material.
- 1.10 SOIL TREATMENT FOR TERMITE CONTROL (IF APPLICABLE) - Apply toxicant to soil in entire area to be occupied by structure and to 2' beyond perimeter line of structure. Use approved toxicant with a five year guarantee. Note: This item may be waived if site conditions do not warrant it and with the owners approval.
- 1.11 FIRE RATED ASSEMBLIES - It is the responsibility of the general contractor and his subcontractors to verify and construct all rated assemblies to comply exactly with the requirements of the test reports listed. The Architect shall be notified promptly of any change in materials prior to construction, and any change in materials must have the prior approval of the Architect. All fire rated assemblies are continuous unless otherwise noted. Assembly materials shall take precedence over materials specified in these drawings.
- 1.12 RADON TESTING - Contractor to investigate site and conduct necessary tests to insure that radon gas does not exceed safe limits as mandated by state or local laws. Notify Architect and local jurisdictional authorities before beginning construction for specific details which may be required.
- 1.13 Mechanical/Plumbing/Electrical contractors shall be required to seal all horizontal and vertical penetrations in the exterior wall caused by their trade.
- 1.14 All sheathing penetrations caused by erection shall be patched and repaired according to manufacturer's specifications.
- 1.15 Details of construction of any retaining wall built must be submitted to the Architect for approval prior to construction, if applicable.
- 1.16 Craw space shall be provided under floor joist not less than 18" in depth and such space shall be vented with screened openings having a clear area of not less than one third (1/3) of one (1) percent of the enclosed building area if applicable.
- 1.17 General contractor is responsible to locate and provide necessary structural, mechanical, electrical and plumbing sleeves, anchors, vent opening, etc. that might be required.
- 2.0 SITE WORK
- 2.01 These drawings do not cover site work, excavation, grading and landscaping. Refer to the site drawings prepared by the civil engineer for these items.
- 2.02 EXCAVATION - Shall be sufficient to provide full design dimensions or to allow for forming as required. No footings shall be placed on frozen earth. No footing shall be placed on soft material.
- 2.03 BACKFILL AND COMPACTION - Use only clean, well graded earth containing no organic material, trash, muck, roots, logs, stumps, concrete, asphalt or other deleterious substances. Backfill shall be compacted to 95% of maximum density as determined by the ASTM D698 standard proctor test. Do not backfill against basement walls until super structure is in place. Prior to placing fill, the existing surface shall be cleared of all refuse or organic materials. Backfill in layers of 12" depth.
- 3.0 CONCRETE FOUNDATIONS - All reinforced concrete to be in accordance with the American Concrete Institute ACI 318, ACI 318.1, NCMA TR-88A or ACI 530/ASCE 5/TMS 402 or other approved structural systems. All plain concrete to conform to ACI 318.1 and ACI 332R-84 guide to residential cast-in-place concrete construction.

A. Minimum specified compressive strength:  $F_c @ 28$  days:

LOCATION OF CONCRETE	MIN. COMP. STRENGTH	SUMP (N)
Basement walls & not exposed to weather	2500 PSI (1)	6 +/-
Basement slabs & interior slabs on grade	2500 PSI (1)	5 +/-
Basement walls, foundations exterior walls and other concrete work exposed to weather	3000 PSI (2)	6 +/-
Driveways, curbs, walks, patios, porches, steps, stairs, unheated garage floors exposed to weather.	3500 PSI (2)	5 +/-

NOTES

1. Concrete in these locations which may be subject to freezing and thawing during construction shall be air-entrained.
2. Concrete shall be air-entrained.
- B. Air entrainment. All concrete subjected to severe weathering potential shall be air-entrained as follows:
- | Aggregate Size | Air Entrainment % |
|----------------|-------------------|
| 1/2" - 1 1/2"  | 5.0               |
| 1 1/2" - 2"    | 6.0               |
| 2" - 3"        | 6.0               |

C. Aggregate shall conform to ASTM C33 and may range from 3/8" to 1" in size.

D. Use of additives shall not be permitted unless specifically approved by the structural engineer. Use of additives containing calcium chloride shall not be permitted.

E. Footing design is based on the following conditions:

Soil Bearing Capacity: Minimum assumed 2000 PSF, field verify under all footings and slabs on grade.

Water Table: 2' - 0" (min.) below bottom of all concrete slabs and footings.

Soils: Shall not be placed on or in marine clay, peat or other organic materials.

All foundations are to be placed on undisturbed or compacted soil not less than 1'-0" below existing grade or 2'-6" below adjacent finish exterior grade or to frost line per local jurisdiction unless otherwise noted on the drawing. Maintain 1:2 slope (Vertical to Horizontal) from bottom edge of footing to bottom of any adjacent foundation. Architect/Engineer to be notified immediately should insufficient bearing capacity or high water table be encountered.

3.01 INSPECTIONS - Footing excavations shall be inspected by the building official prior to the placing of any concrete. The building official shall be given notice for this inspection.

3.02 SOIL INVESTIGATION AND REPORT - All earthwork compaction and foundation work shall be done in accordance with the soils investigation report which shall be provided by the Owner. Notify Architect if on-site testing bearings indicate lesser values before proceeding with the work. Soil values to be determined by a registered engineer experienced in soils engineering.

3.03 DRAINAGE OF FOOTINGS - Unless otherwise noted provide perimeter basement walls with 4" diameter drain tile laid on 2" gravel base with 5-8" gravel cover, with joints covered with filter cloth for perforated tile. Slope drain tile as required to drain to sump pump collection. Put 18" of gravel all around foundation. Provide free draining, granular backfill with a maximum equivalent fluid pressure = 30 PSF per foot of depth against basement and retaining walls. If back-fill pressure exceeds 30 PSF, soil wall must be designed for actual pressures by structural engineer.

3.04 DAMPPROOFING FOR CONCRETE AND MASONRY FOUNDATIONS - Exterior foundation walls of masonry construction enclosing basements shall be damp-proofed by applying not less than 1/8" of portland cement parge to the wall from footing to finish grade. The parge shall be covered with a coat of approved bituminous material applied at the recommended rate. Exterior foundation walls of concrete construction enclosing basements shall be damp proofed by applying a coat of approved bituminous material to the wall from the footing to the finish grade of the recommended rate. Foundation walls of habitable rooms located below grade shall be waterproofed with membranes extending from the edge of the footing to the finish grade line. The membrane shall consist of either 2-ply hot-mopped felt, 6-mil polyvinyl chloride, 55-pound roll roofing or equivalent material. The joints in the membrane shall be lapped and sealed and firmly affixed to the wall. Foundation wall may be damp proofed or waterproofed using materials or methods of construction other than covered in this section where approved by the building official.

3.05 REINFORCING - Reinforcing steel shall be high strength new billet steel conforming to ASTM A-615 grade 60 (60,000 PSI). Welded wire fabric (WFF) shall conform to ASTM A-185. All reinforcing shall be detailed, fabricated and placed in accordance with the ACI's "Manual of Standard Practice for Detailing Concrete Structures" (ACI 815). Details of reinforcement shall conform to ACI 318-83, ACI 315-74 AND CRSI Standards.

B. All reinforcing steel marked "continuous" shall be lapped 36 bar diameters of splices and ground corner of intersection with a standard 90 degree bend on corner bars. Lap welded wire mesh one full mesh of side and end laps.

3.06 SLABS ON GRADE

A. Slabs on grade shall be 4" thick concrete and reinforced with 6x6 W1.4W1.4 WFF lap mesh 8" in each direction. Place concrete over 4 mil polyethylene vapor barrier and 4 inches minimum of coarse aggregate or as recommended by soils engineer. The aggregate layer shall be placed over firm natural subgrade or on compacted and controlled fill. Fill under slabs shall be compacted in 8 inch layers to 95% max. density. Use air entrained at all exterior slabs. Pour slabs in alternate panels with a maximum of 600 SF and provide control and construction joints at 30'-0" maximum or as required to prevent uncontrolled cracking.

B. Provide 3 x 3 corner bars to match all horizontal reinforcing in walls and footings. All laps shall be a minimum of 36 bar diameters. Provide dowels between all footings, walls and piers to match size and spacing of vertical reinforcing.

3.07 CONCRETE BASEMENT WALLS - Walls designated as plain concrete shall be reinforced with #4 rebar @ 24 O.C. horizontally per local codes. Equivalent fluid pressure equals 45 PCF (max. height or wall unbalanced fill weight + 7'-0" from top of slab for 10'-0" wall). All window and door openings shall be reinforced with a minimum of 2 #5 bars and shall extend at least 24 inches beyond the corners of the openings.

Concrete footings for the following wall are the minimum required:

A. 8" masonry or concrete wall - 16" x 8" deep

B. 10" masonry or concrete wall - 18" x 8" deep

C. 12" masonry or concrete wall - 24" x 12" deep

D. Masonry piers and chimneys - footings shall have 6" projections x 12" depth. Where the drawings indicate a greater footing size, the greater size shall be used.

Footings shall have a minimum of 2 #4 bars continuous when footings are placed over fill or soil of different compaction levels.

3.08 FORMWORK - To be well braced, true dimension level and plumb.

3.09 CONCRETE PROTECTION - See Structural also for placement locations. Concrete protection for reinforcement, provide the minimum clearances (cover) for reinforcement as follows:

Footings and other concrete poured against earth: 3"  
 Formed concrete exposed to earth: 2"  
 Formed concrete not exposed to weather or earth: 1-1/2"  
 Slabs on ground, unless otherwise noted: Mid-Depth  
 Piers: 1 - 1/2" to ties  
 Walls: 2" to outside face, 1 1/2" to inside face.

3.10 GYPCRETE - Install as per manufacturers instructions where applicable.

4.0 MASONRY -

A. Materials (where applicable)-  
 Hollow CMU : Normal weight, ASTM C-90-85, Grade N  
 Face Brick : ASTM C-216-81, Severe Weather Brick  
 Stone Veneer : Owner approved highest grade local stone

Concrete Brick : ASTM C-55-75 Type 1, Grade S  
 Solid CMU : Normal weight, ASTM C145-85, Grade N  
 Mortar : ASTM C270-82, Proportion specification mortar shall consist of Type 1 Portland Cement, Type S hydrated lime and approved aggregate or Type M.

B. All masonry work shall conform to the applicable requirements of BIA and NCMS. Specification for concrete masonry construction (ACI 531.1-76).

Solid masonry wall to have "Dur-O-Wall" (or approved equal) truss ties at 16" O.C. vertically above grade and 8" O.C. vertically below grade.

Brick veneer walls to have non-corrosive metal ties at 16" O.C. vertically and horizontally, and weep holes at 24" O.C. at base flashing.

Unless otherwise noted, 12' masonry foundation walls shall be reinforced vertically as follows:

Height of wall (H) 6'-0" from slab to top of wall (H):

Exterior grade = H to .75H #4 @ 24"

Exterior grade = Less than .75H None

For 9'-0" from slab to underside of joists (H):

Exterior grade = H to .75H #6 @ 32"

Exterior grade = .75H to .5H #5 @ 48"

Exterior grade = Less than .5H None

Place reinforcement 1" clear from inside face of tension side of all (i.e. interior side of wall).

Provide dowels from all footings to masonry walls to match size and spacing of all vertical reinforcing. Grout all reinforced cores solid.

4.01 PARING - One 1/2" coat portland cement above grade. See 3.4 for below grade.

4.02 SOLID MASONRY - Provide minimum 8" deep below all concentrated loading conditions.

Top courses of block foundation walls shall be filled or solid including the courses under any steel beam.

4.03 LINTELS - Lintels for masonry walls shall be as follows: Provide 1 angle for each 4" of wall thickness as follows: provide 1" of bearing @ ea. end for each foot of opening width (3" min.).

Openings to 3'-0": 3 1/2" x 3 1/2" x 1/4"

3'-1" to 5'-0": 4" x 3 1/2" x 5/16", with 3 1/2" Horizontal

5'-1" to 6'-6": 5" x 3 1/2" x 5/16", with 3 1/2" Horizontal

6'-6" to 8'-1": 6" x 4" x 3/8", with 4" Horizontal.

5.0 METALS

5.01 FOUNDATION METAL TIES - Shall be Simpson Strong Tie or Equal and be provided at maximum 6'-0" O.C. intervals and placed 12" from the end of each section with a minimum two metal ties per section of wall. Metal ties shall be bent around wall all plate and nailed to it.

5.02 STEEL -

A. All metal anchors, fasteners, joist hangers, etc. to be galvanized. All structural steel to conform to ASTM-A-36. Pipe to be A53. Tube to be A500 or A501. Detailing to be in accordance with AISC structural steel detailing manual. Connections shall be capable of supporting allowable uniform load stress of 24 KSI. Bolted field connection shall be diameter high strength bolts meeting ASTM specification A-325. Bolted joints to be bearing type using the turn-of-the-nut method of tightening. Except odd hardened washer under turned element.

Structural steel shall have minimum strength,  $F_y = 36$  KSI  
 Welds shall comply with AWS D1.1-80. Use E70XX electrodes only.  
 Connections shall be AISC standard.  
 Provide base plate for all structural steel beams bearing on concrete or masonry.

Adjustable steel columns shall meet or exceed allowable loads given for cardinal manufacturers "tel-o-past". Columns shall be minimum 11 gauge, ASTM A513 or better. Columns shall be certified by BOCA and shall have a mark indicating the BOCA Research Report Number. The manufacturer's name and date of manufacture on each column. Columns shall have a minimum 8"x4"x1/2" bearing plate and screw jack shall be encased in concrete or tack welded after installation. Capacity rating should be designated on column.

B. Submit complete shop and erection drawings for approval prior to fabrication and erection.

C. All welders shall be certified in accordance with the American Welding Society. All welding electrodes, machines, etc. shall be compatible with the type of steel being welded.

D. Provide galvanized metal-let in bracing at all exterior corners of frame wall (Note: may delete with structural grade sheathing).

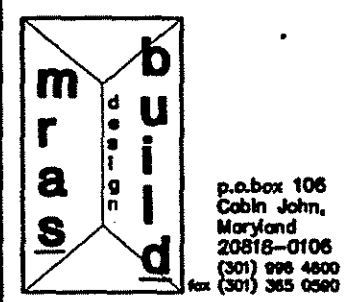
5.03 NAILING SCHEDULE - As per BOCA and other applicable building codes, or manufacturers recommended standards, but not less than that required by code.

5.04 Holes shall not be cut through steel beams unless indicated or approved by engineers.

5.05 Provide standard angle wall anchors for a beam resting on masonry.

6.0 WOOD

6.01 SILL PLATE - Plate treated to meet American Wood Preserves Institute standard LP-2 or LP-4 where indicated on plans. Shall be Simpson Strong Tie or Equal and be provided at maximum 6'-0" O.C. intervals and placed 12" from the end of each section with a minimum two metal ties per section of wall.



THIS DESIGN SHALL BE PROTECTED BY PATENT AND COPYRIGHT. ANY REPRODUCTION OR TRANSMISSION OF THIS DESIGN WITHOUT THE WRITTEN PERMISSION OF R. B. DETRICK, INC. IS PROHIBITED. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS OPERATIONS CAUSED BY THE USE OF THIS DESIGN.

a victorian style house in historic kensington

Lot 19, block 4, R. B. Detrick's Subdivision  
 Kensington MD.

DATE	REVISIONS/DESCRIPTIONS
05-26-97	DATE
	NO. REVISIONS/DESCRIPTIONS

Designed by: mtr/ga project no: kensington 07.01  
 Drawn by: mtr CAD file no: SP-1.DWG  
 Checked by: ga drawing no:  
 Date: May 26 '97  
 Top:  
 as noted

**SPECIFICATIONS PAGE 1**

**SP-1**



6.02 ALL EXPOSED EXTERIOR LUMBER - Or lumber in contact with masonry or concrete shall be pressure preservative treated in accordance with industry standards with a minimum of 0.40 lb. Retention.

6.03 MAXIMUM MOISTURE CONTENT - Of all lumber shall be 19%. Lumber may be kiln dried but drying process must be regulated to cause minimum amount of checking and kiln dried lumber shall be comparable to air dried stock.

6.04 WOOD STRUCTURAL MEMBER -  
A. Joists, headers and trimmers shall have the following minimum properties unless noted otherwise:

FB = 1050 PSI  
FC PER = 1350 PSI  
FV = 70 PSI  
E = 1,300,000 PSI

B. Exterior bearing wall studs shall be minimum #2 grade SPF 2X4's having the following properties unless noted otherwise:

FB = 875 PSI  
FC PER = 425 PSI  
FC PAR = 1100 PSI  
E = 1,200,000 PSI

See plans for spacing and special requirements.

C. Interior bearing wall studs shall be minimum stud grade SPF 2X4's having the following properties unless noted otherwise:

FB = 875 PSI  
FC PER = 425 PSI  
FC PAR = 675 PSI  
E = 1,200,000 PSI

See plans for spacing and special requirements.

D. All 4X4 posts designated #2 Southern Yellow Pine shall have the following minimum properties:

FB = 1500 PSI  
FC PER = 565 PSI  
FC PAR = 1650 PSI  
E = 1,600,000 PSI

E. Lumber for decks shall be minimum #2 Southern Yellow Pine, pressure-treated to 0.40 lb. Retention, having the following properties:

FB = 1050 PSI  
FC PER = 565 PSI  
FC PAR = 90 PSI  
E = 1,600,000 PSI

F. LVL (Laminated Veneer Lumber) shall be 1-3/4" wide, of the depth specified on the plans and shall be secured together as directed on the plans and shall be secured together as directed by the manufacturer. The shall have the following properties:

FB = 2800 PSI  
FC PER = 500 PSI  
FC PAR = 500 PSI  
E = 2,000,000 PSI

G. Glu-lams (Laminated Timber Members) shall be of width and depth specified on the plans. They shall have the following properties:

FB = 2400 PSI  
FC PER = 165 PSI  
FC PAR = 565 PSI  
E = 1,700,000 PSI

H. Fitch beam shall be sized as indicated on drawings, using Select Structural SYP minimum and A-36 steel girders. Use two rows of 1/2" diameter. Through bolts 2" from top and bottom; space 16" O.C. at top and 32" O.C. at bottom. Begin bolt rows at 6" from ends.

I. All studs shall be installed in accordance with NFOPA. Members are not to be drilled in excess of NDS or local code requirements, whichever is more stringent. All posts and multiple studs shall be run continuously on foundation walls or beams; provide solid blocking of floors. Studs and joists or floor trusses shall align at centerlines above and below the joist or truss. Where roof trusses are spaced at 24" O.C. and studs are 16" O.C. provide #2 SYP double top plates (where truss length is less than 31') or place stud under each truss with a tolerance of not more than 1".

J. Open-web trusses if applicable: Trusses shall be designed and fabricated in accordance with TPI recommendations to carry all dead and live loads. Live load deflection shall not exceed L/480 for floor trusses and L/240 for roof trusses. The manufacturer shall supply all required hangers, hold-down clips, shear panels, and other special hardware. The manufacturer shall submit erection drawings and shop drawings to engineer or architect prior to fabrication; all shop drawings shall be signed and sealed by a professional engineer registered in the state where the job is to be built. The manufacturer shall provide load test results for single-member top-chord-bearing floor trusses if required by the building official. All trusses shall be installed and braced in accordance and braced in accordance with the manufacturer's instructions. When a 2 C ribbon rather than a full-height solid band is used to bearing walls, studs shall align vertically and solid blocking or a ladder truss must be used to transfer loads from floor to floor.

K. Prefabricated floor joists: Prefabricated floor joists shall be approved by a recognized testing agency. They shall be designed to carry all live and dead loads with the live load deflection not to exceed L/480. The manufacturer shall supply all required hangers, shear panels, blocking erection drawings to the engineer prior to fabrication. All prefabricated floor joists shall be installed and braced in accordance with the manufacturer's instructions.

L. Frame chimneys: Frame chimneys shall be constructed of minimum #2 SPF studs. Maximum 16" O.C. Use 2X4's if chimney extends less than 6' above roof, otherwise use 2X6's. Sheath with 1/2" APA rated sheathing continuous across plates and joists, glue, and nail with 8D nails @ 6" O.C. secure to roof. Studs must be continuous across roof intersection.

M. Add extra joist under full height walls where wall extends more than half the span of the joist.

N. Blocking: Provide solid blocking @ 4'-0" O.C. at basement walls when joists are parallel to wall. Extend blocking 3 joists minimum.

O. Space joists closer under Jacuzzi tubs, ceramic or marble tile and potential water beds.

P. Cutting and notching of floor joists shall conform to the following or per manufacturer's specifications.

Q. Notch depth in the top or bottom of the joists and beams shall not exceed one sixth the depth of the members and shall not be located in middle one-third of the span (including birds mouth cuts).

R. Notch depth at the ends of the member shall not exceed one-fourth the depth of the member.

S. The tension side of beams, joists and rafters of four inches or greater nominal thickness shall not be notched, except at ends of members.

T. Holes bored or cut into joists shall not be closer than two inches to the top or bottom of the joist. The diameter of the hole shall not be exceed one-third the depth of the joists.

U. Stress grade lumber shall clearly stamped with the lumber inspection association seal showing the stress grade. All the fabrication, erection and other procedures shall conform to the current "national design specification for stress grade lumber and its fastenings"

V. Prefabricated timber shall be installed and braced per manufacturer's recommendation. Timber member shall not be cut or drilled unless so authorized by the manufacturer.

W. Where double members are indicated on the drawings, mechanically fasten both members in a manner such that both members share the superimposed loads, including loads from headers.

X. The design and detail of all trusses shall meet the requirements of F.H.A. G4541.1 design criteria for trussed rafters, the "National specification for stress grade lumber and its fastenings" and all applicable building codes.

6.05 WOOD JOISTS - Shall have a minimum bearing of 1 1/2". Wood floor trusses to have minimum bearing as per manufacturer's recommendations. All rafters and trusses shall be connected at bearing points with one prefabricated galvanized metal connector, minimum 18 gauge. With capacity to resist 450# loading unless shown otherwise on drawings.

A. Prefab joist and beam hangers shall be sized and attached for manufacturer's recommendations. Holes through wood 1" shall not exceed manufacturer's recommendations. No cuts or holes are allowed through top or bottom chord.

B. Wood floor joist shall be per depth and spacing shown on drawings. Supplier shall confirm that members provided can carry the loading designated in Section 1.07.

C. Provided 2-3/4" exterior plywood bands at all perimeter bearing wood. Provided squash blocks and stiffeners as required to distribute loading and shear reinforcing as required at concentrated loads.

D. Trusses, truss joist and floor joists shall align directly over studs with an offset of no more than one inch. Install additional studs required.

E. Provide solid blocking at 4'-0" O.C. between band and joist and first interior parallel joist.

6.06 LINTELS - All lintels over all framed opening to be as shown below unless noted otherwise.

2-2X8 - Openings up to 4'-6"  
2-2X10 - Openings up to 5'-6"  
2-2X12 - Openings up to 7'-6"

6.07 PLYWOOD - All plywood used structurally shall meet the performance standards and all other requirements of applicable U.S. commercial standards for the type, grade and species of plywood and shall be so identified by an approved testing agency.

Subfloor to be 3/4" T and G plywood standard stud - 1-floor D.F.T.S. unless otherwise noted. Roof deck - 1/2" CDX D.F.P.S. with exterior glue unless otherwise noted. Direct bearing at all edges, glued and nailed. All and joints shall be staggered. The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs, use plywood clips with 5/8" roof plywood (if applicable).

6.08 FIRE RETARDANT TREATED PLYWOOD AND DIMENSIONAL LUMBER (where applicable).

If fire retardant treated plywood is applied to a structure, (Fire retardant plywood must be applied 4" to either side of fire walls or party walls unless noted otherwise) it is to be accompanied by certification that acid hydrolysis will not occur in the product at temperatures below 400 Fahrenheit, this certification must come from the manufacturer and be approved by a certified testing agency and local building officials.

6.09 WOOD BLOCKING - All wood blocking, nailers, etc shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts unless noted otherwise. Fasteners shall be spaced at 24" maximum O.C. and shall be staggered. Fasteners shall have minimum capacity of 100 pounds in shear and pullout unless noted otherwise.

6.10 INTERIOR TRIM - Windows, door and bases may be finger jointed. 2 1/2" Traditional profile or as indicated on drawings.

6.11 INTERIOR STAIRS - Pre-fab wood unless otherwise noted

6.12 SHELVING - 3/4" filled flakeboard with taped front edge, shop and metal brackets. 42" O.C. maximum, unless indicated otherwise on drawings.

6.13 RAILINGS - Railings or handrails shall be installed on any exterior porch or stoar exceeding 3 risers in height or 24" above grade.

6.14 HANDRAILS - At stair (if applicable) 34" height measured vertically from the nosing of the tread.

GUARDRAILS - Not less than 42" height measured vertically except for buildings of use group R-3 shall be not less than 36". Construct such that a sphere with a diameter of 4" cannot pass through any opening.

7.0 THERMAL AND MOISTURE PROTECTION

7.01 SILL SEAL - 1/2" x 3 1/2" compressible fiberglass beneath all exterior sill plates.

7.02 INSULATION

A. WALLS - R-13 minimum 3 5/8" batt insulation with kraft paper face vapor barrier unless otherwise noted. Provide 3 1/2" R-11 blanket insulation in all exterior frame walls that are four in thick. Provide 6" R-19 blanket insulation in all 6" exterior frame walls and any floor area exposed to the elements below storage room. Provide R-3 rigid insulation in all furrow out masonry walls.

B. CEILINGS AT ROOF - R-30 fiber glass batt with kraft paper face vapor barrier or blown insulation, R-30 minimum

C. CRANK SPACES - and other floors exposed to unheated spaces below, R-19 fiberglass batt with kraft paper vapor barrier

D. PERIMETER SLAB INSULATION to rigid exterior grade, minimum R-7 extending 2 ft vertically and 2 ft horizontally. Minimum perimeter insulation to be extruded polystyrene closed cell.

E. VAPOR BARRIERS to face warm side of space (interior) unless noted otherwise on drawings.

7.03 ROOFING

A. SHINGLES - 235# asphalt or 215# fiber glass shingles class c or better on 15# roofing felt on slopes of 4 - 12 or greater. On slopes less than 4 - 12 but greater than 2 - 12 provide double coverage asphalt/fiberglass shingles on 2 layers 15# roofing felt. Shingles shall be installed per manufacturer's specifications and applicable building codes.

B. VALLEY FLASHING - open valleys shall be flashed with minimum #28 gauge galvanized corrosion-resistant sheet metal and shall extend minimum 6" from the center line each way. Closed valleys flashing shall be 2 layers 90# mineral surfaced cap sheet with bottom layer minimum 12" wide and top layer 24" wide, cemented together. Closed valleys may also be of 36" wide foil roofing material not less than no. 30 in valley over the underlayment.

C. RIDGE - FLASHING - Install per manufacturer's specifications.

O. ROOF EDGE - Provide non-corrosive aluminum drip edge flashing at roof edge.

E. BUILT UP ROOFING - To be as detailed on drawings and installed per manufacturer's specifications.

F. ROOFING AND SHEET METAL - Installation shall be in accordance with standards and details established by the Sheet Metal and Air Conditioning Contractors National Association, Inc. - "SMACNA" - refer to the fourth edition, 1987 for specific detail installation.

7.04 EXTERIOR WALLS

A. FLASHING - to be non-corrosive aluminum or copper provided at tops and sills of all exterior window and door openings in such a manner to be leak proof.

B. FLASH AND COUNTER FLASH - All roof to wall conditions, minimum no. 28 U.S. gauge corrosion resistant aluminum step flashing as required to maintain minimum height.

C. FLASH ALL EXTERIOR OPENINGS and all bids. Corners with approved waterproof. Blg paper to extend at least 4" behind wall covering.

D. FLASH AND CAULK - Wood beams and other projections through exterior wall or roof surfaces.

E. EXTERIOR SHEATHING - 1/2" structural OSB unless noted otherwise on drawings.

F. CAULK/SEALANT as selected by builder (owner) - submit product literature to architect for approval.

G. FLASHING - When veneer of brick, clay tile, concrete or natural or artificial stone are used 20 mil. Plastic flashing shall be attached to the sheathing wherever necessary to prevent moisture penetration behind the veneer.

H. Rough carpentry contractors shall seal with construction adhesive, plates at floor and ceiling, and caulk all windows and door flanges/jams and all panel butt joints prior to and during erection.

7.05 FIRESTOPPING - Shall be provided to cut off all concealed draft openings (both vertical and horizontal) in the following locations.

A. All pipes, ducts, vents, wiring and chases which penetrate ceilings directly below a truss or roof assembly shall be fire stopped.

1. In exterior or interior stud walls at ceiling and floor levels and so placed that the maximum dimension of any concealed space is not more than 10"

2. Between stair stringers at top and bottom and between studs in line with stair run.

3. Spaces between chimneys and wood framing shall be filled with loose non-combustible material (2" min. thickness), placed in noncombustible supports tightly fitted to the chimney.

4. Other locations not mentioned above such as holes for pipes, sleeves, behind framing strips and other similar places which could afford a passage for flames.

B. FIRESTOPS - When made of wood shall be min. 2" nominal thickness and may also be made of gypsum board, mineral wool or other noncombustible material.

C. INTERIOR DOORS - To be hollow core wood with wood veneer or plastic laminate facing.

D. DOOR SIZES - Refer to door schedules.

7.06 SIDING - To be as called for on drawings and installed as per manufacturer specifications.

7.07 VENTILATION - Provide adequate cross ventilation (minimum as required by code) for all concealed attic and rofter spaces. Provide cross ventilation as required by code for crawl spaces.

7.08 GUTTERS AND LEADERS - If applicable, pre-finished aluminum lead to splash block.

7.09 All wood shall be a minimum 8' above finished grade or pressure treated less than 8' above finished grade. All siding shall be minimum 6" above finished grade.

8.0 DDORS AND WINDOWS

A. EXTERIOR ENTRANCE DOORS - 1 3/4" solid wood core, hollow metal min. .20 gauge filled with solid slab polystyrene insulation permanently bonded to panels. Provide 1 1/2" pair hinges for doors up to 7'-2" in height and 2 pair for doors to 8'0" in height. Frames to be minimum 16 gauge galvanized steel. Provide complete weather stripping and metal threshold

B. INTERIOR DOORS - To be hollow core wood with wood veneer or plastic laminate facing.

C. DOOR AND WINDOW SIZES - Refer to floor plans

8.01 WINDOWS

GENERAL - Glazing in locations subject to human impact such as entry doors and sidelights, sliding glass doors, shower doors, tub enclosures and storm doors shall be fully tempered in accordance with BOCA code. Fixed panels with area in excess of 9 Sq. Ft. with the lowest edge less than 18" above the finished floor or walking surface within 36" of such glazing between 24" and 36" above the walking surface shall be fully tempered. See BOCA for exceptions to hazardous locations if applicable.

B. WEATHER PROOFING - All sliding, swinging doors, and windows opening to the exterior shall be fully weather-stripped, caulked, gasketed or otherwise treated to limit air infiltration. Provide maximum air infiltration as follows:

1. Windows shall have an air infiltration rate of less than 0.5 CFM per foot of such crack.

2. Sliding glass doors shall have an air infiltration rate of less than 0.5 CFM per square foot of door area.

3. Swinging doors shall have an air infiltration rate of less than 1.25 CFM per square foot of door area.

C. EMERGENCY EGRESS - Every sleeping room below the fourth story shall have at least one operable window or door for emergency egress or rescue. Egress windows shall have a maximum sill height of 44" above finished floor and shall have a minimum net clear opening of 5.7 sq. ft. with a minimum clear opening height of 24" and minimum opening width of 20". Grade floors windows may have a minimum net clear opening of 5 sq. ft.

D. ALL OPERABLE WINDOWS - Shall have non-corrosive screens and sash locks.

9.0 FINISHES

GYPSUM WALLBOARD - Shall be installed in accordance with U.S. gypsum recommendations and shall meet the requirements of BOCA and other applicable codes. Typical interior partition to have 1/2" tapered edge taped and finished. Provide 5/8" type "X" Fire-rated gypsum board at wall & ceiling where called for on the drawings.

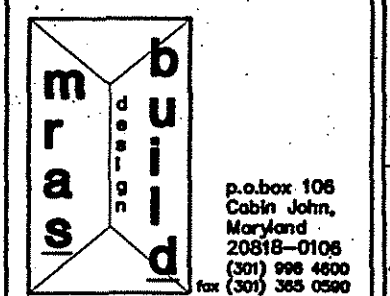
B. GYPSUM WALLBOARD - Shall not be installed until weather protection for the installation is provided.

C. SUPPORT - All edges and ends of gypsum board shall occur on framing members except those edges perpendicular to framing members.

D. MOISTURE RESISTANT GYPSUM BOARD - Provide moisture resistant gypsum board at all bathrooms and wherever moisture conditions can exist.

E. "J" BEAD - Should be used with M.R. GYP. BD. and wherever moisture conditions can exist.

F. CERAMIC TILE - Ceramic wall tile shall be 4 1/4" X 4 1/4" glazed tile, thin set application on moisture resistant drywall. Provide base and miscellaneous trim. The color as selected by owner. Provide marble threshold for transition between ceramic floor tile and other floor finishes. Floor tile shall be non-slip. Use commercial waterproof grout cement.



THIS PERMIT SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. IT SHALL BE SUBJECT TO ANY INSPECTIONS AND CORRECTIONS BY THE ENGINEER. THE ENGINEER'S PERMISSION AND SEALS OF THIS STATE SHALL BE REQUIRED FOR ANY CHANGES TO THIS PERMIT.

a victorian style house in historic kensington

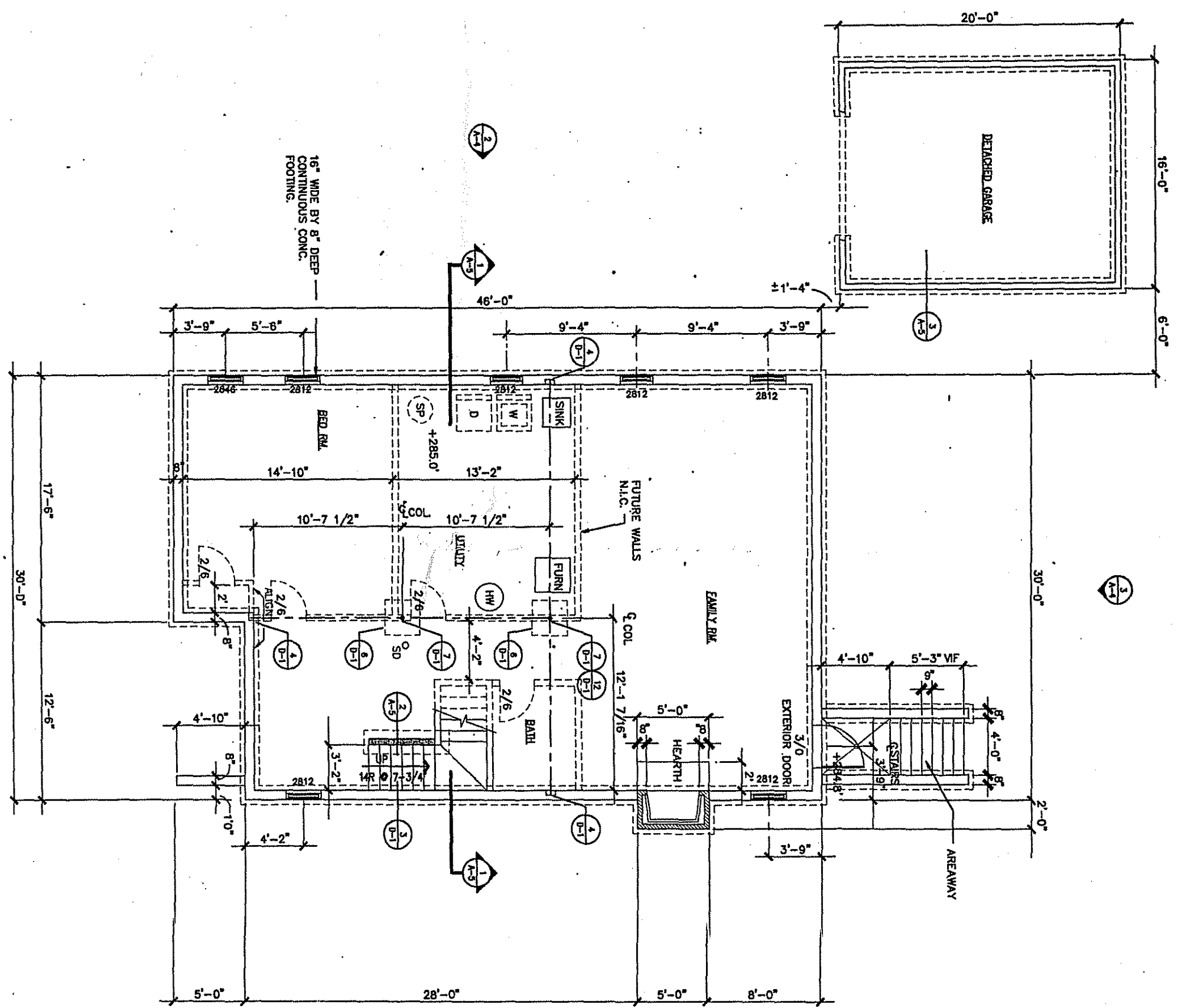
Lot 19, block 4, R.B. Detrick's Subdivision  
Kensington MD.

DATE	05-28-97
PERMIT NO.	
TITLE	PERMISSION SUBDIVISION

Designed by	mr/ga	Project no.	kensington 97.01
Drawn by	mr	CU file no.	SP-2DW
Checked by	as	Drawing no.	
Date	may 28 '97		
as noted			

SP-2

C:\DRAWINGS\1-1.dwg  
 28 MAY 1997 11:00 pm  
 User: RAYMOND



1 BASEMENT FLOOR PLAN  
 SCALE 1/4" = 1'-0"



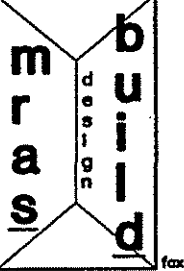
PROJECT NO. DRAWING NO. SHEET NO. DATE 05 26 97 1-1-1018 A-1	1 PERMIT SET no. revisions/submissions	date 05 26 97
--	---	------------------

**a victorian style house in historic kensington**

Lot 19, block 4, R.B. Detrick's Subdivision  
 Kensington MD.

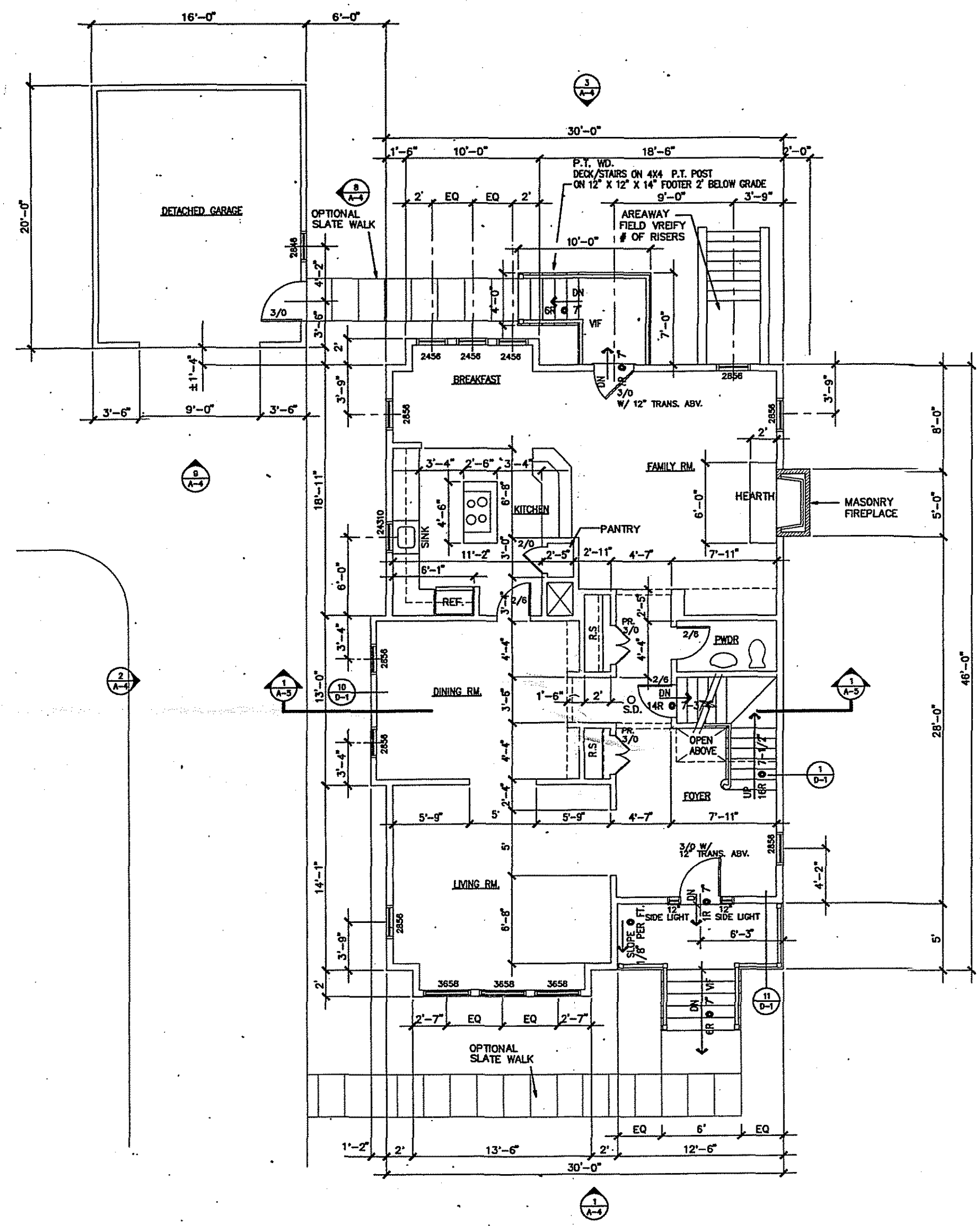
**ms b u i l d i n g s**

1000  
 20015-0108  
 (301) 588-8888  
 1000  
 20015-0108  
 (301) 588-8888

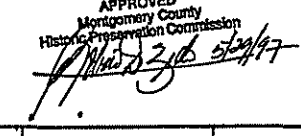

 p.o. box 106  
 Cabin John,  
 Maryland  
 20818-0106  
 (301) 996 4600  
 fax (301) 365 0560

THIS DESIGN SHALL EXPRESSLY  
 RESERVE THE OWNER'S RIGHT  
 OF FIRST REFUSAL TO PURCHASE  
 ANY OTHER PROPERTY AND OTHER PROPERTY  
 RIGHTS IN THESE PLANS. THESE  
 PLANS ARE NOT TO BE REPRODUCED  
 OR COPIED IN ANY MANNER  
 WITHOUT THE WRITTEN CONSENT OF  
 THE DESIGNER. ANY SUCH  
 REPRODUCTION OR COPIING  
 WITHOUT THE WRITTEN CONSENT OF  
 THE DESIGNER SHALL BE  
 CONSIDERED A VIOLATION OF  
 THE DESIGNER'S RIGHTS AND  
 SUBJECT TO LEGAL ACTION.

**a victorian style house in historic kensington**  
 Lot 19, block 4, R.B. Detrick's Subdivision  
 Kensington MD.



**1 FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  




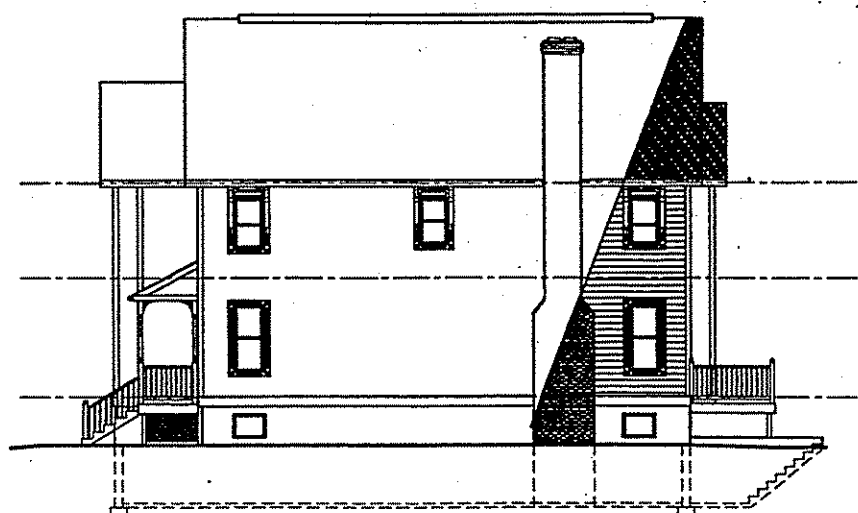
drawing title		<b>FIRST FLOOR PLAN</b>	
designed by	project no.	kenington 97.01	
drawn by	CA# file no.	A-2.DWG	
checked by	drawing no.		
date			
1/8" = 1'-0"			

PERMIT SET	05-28-97
NO. PERMITS/SUBMISSIONS	06

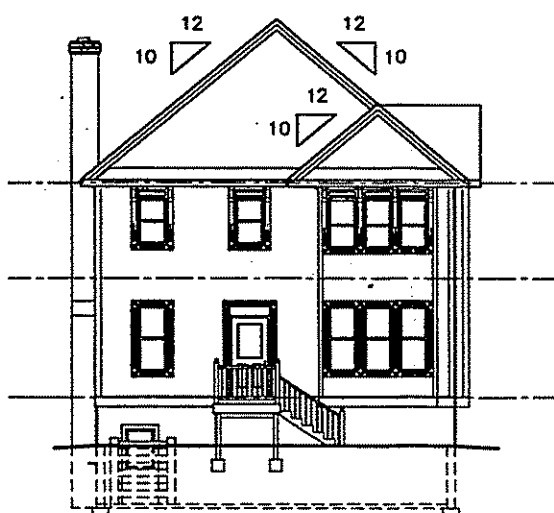
© 1997 E.S. Block  
 25 MAY 1997 10:11 AM  
 1/8" = 1'-0"



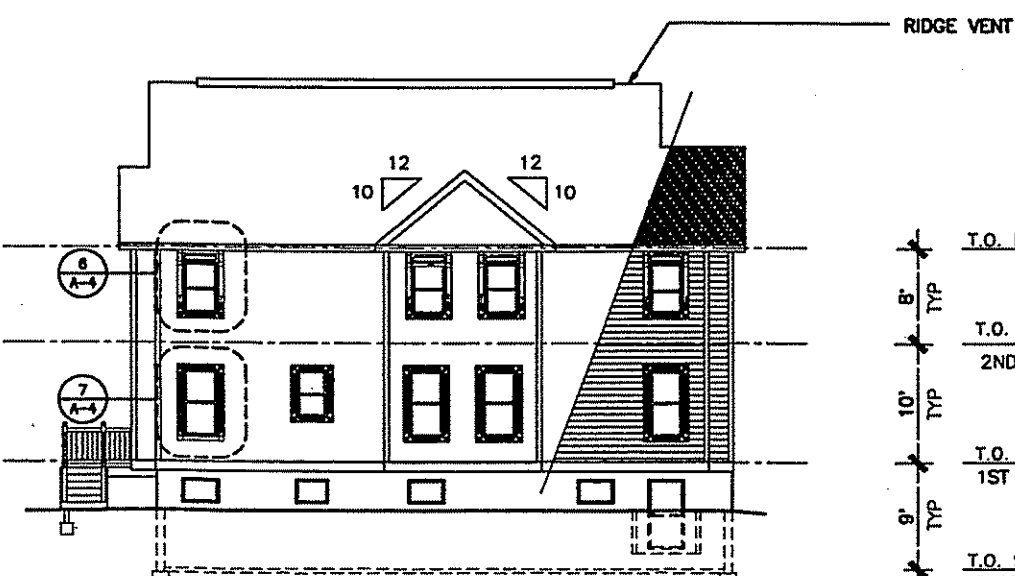




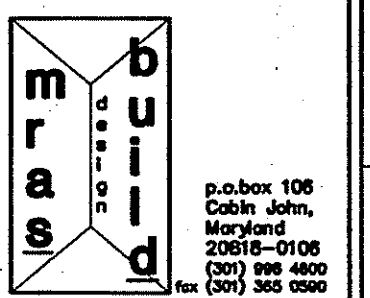
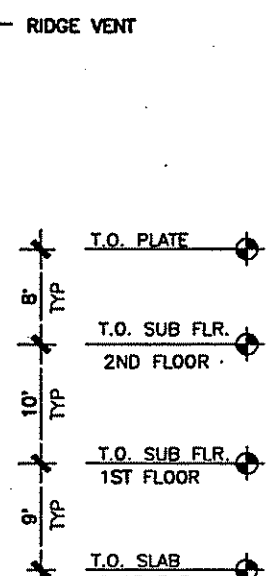
4 NORTH ELEVATION  
SCALE 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE 1/8" = 1'-0"

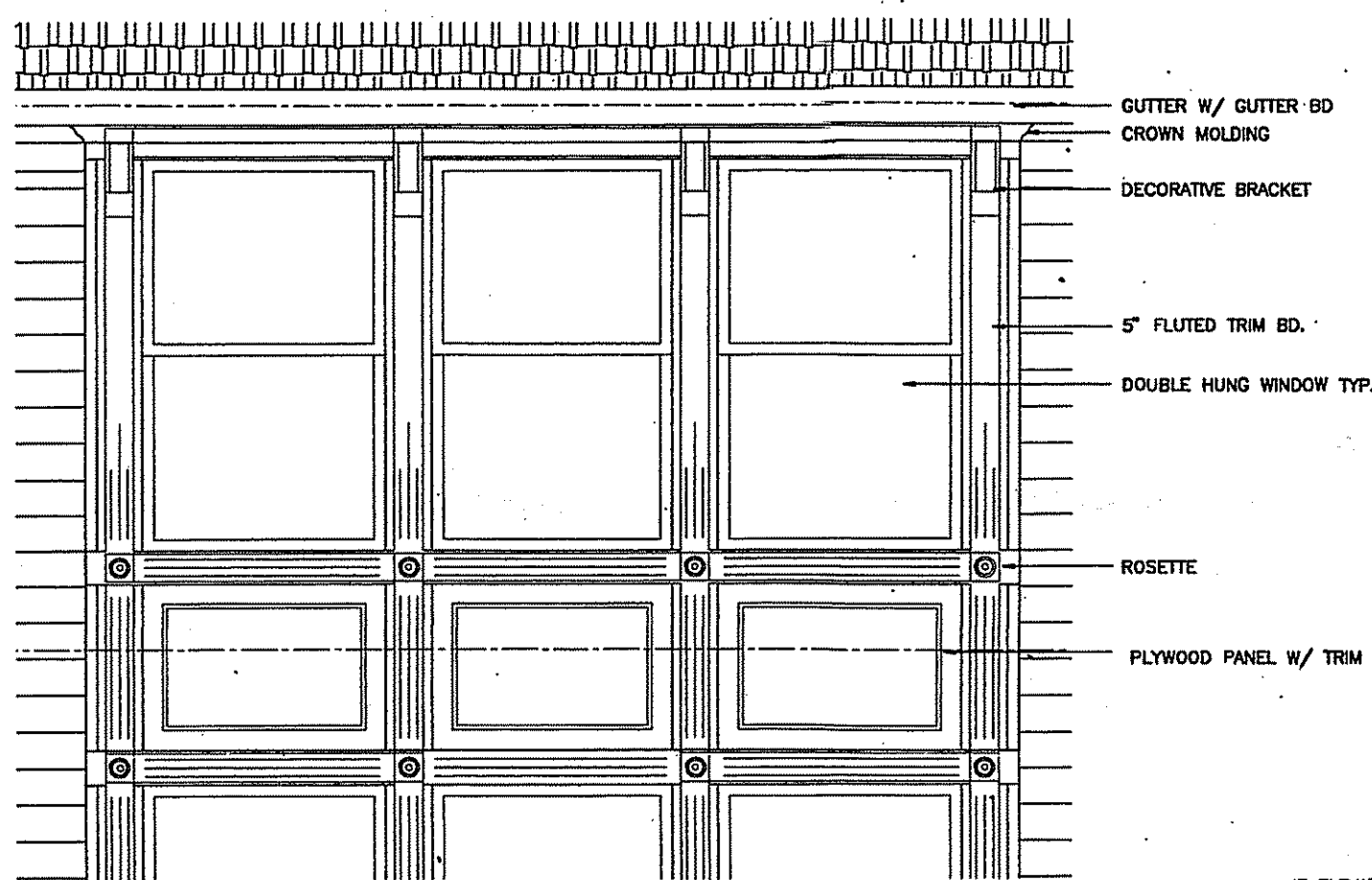


2 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



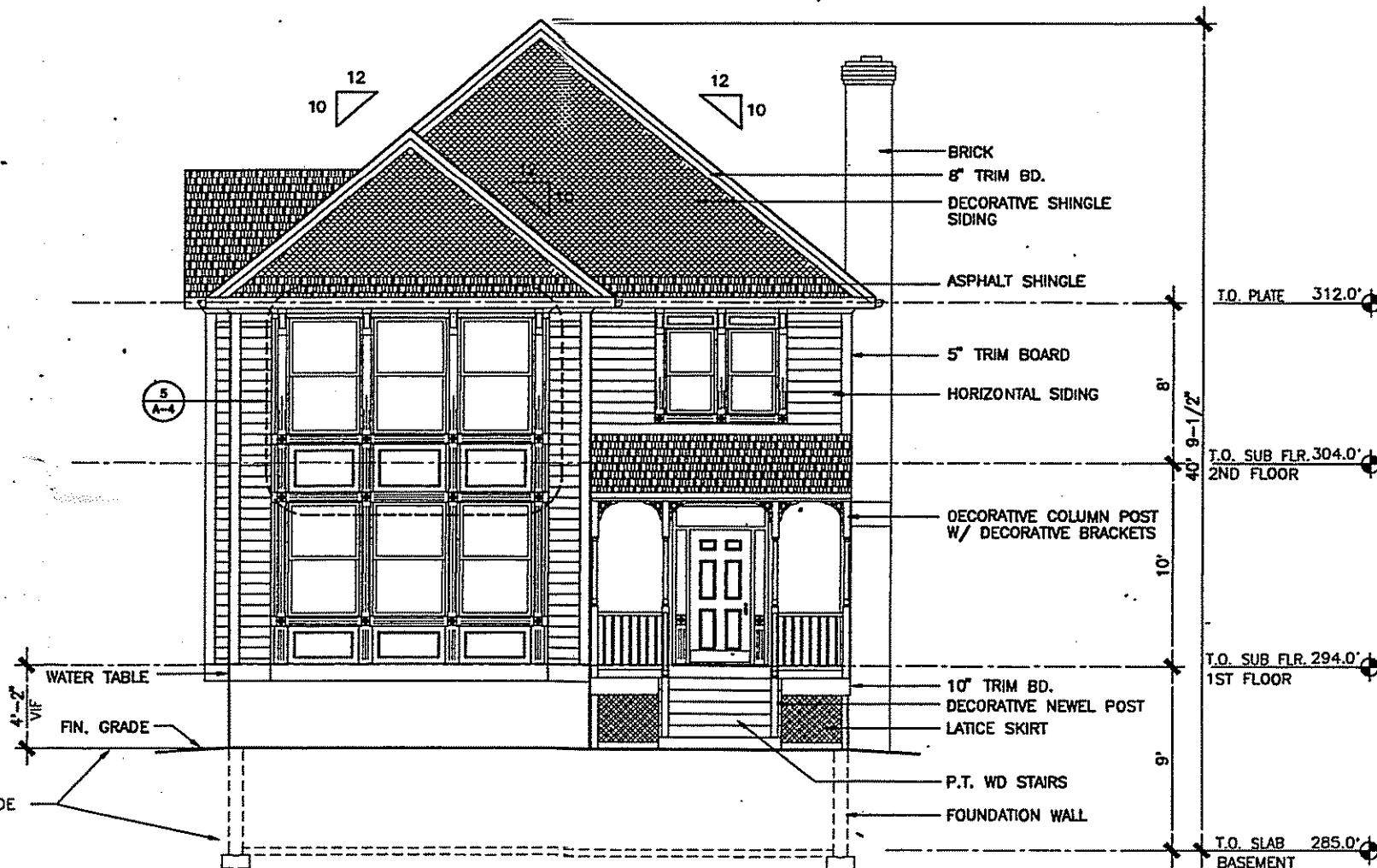
THIS DESIGN IS THE PROPERTY OF ABC DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DESIGN WITHOUT THE WRITTEN PERMISSION OF ABC DESIGN IS STRICTLY PROHIBITED.

**a victorian style house in historic kensington**  
Lot 19, block 4, R.B. Deirick's Subdivision  
Kensington MD.

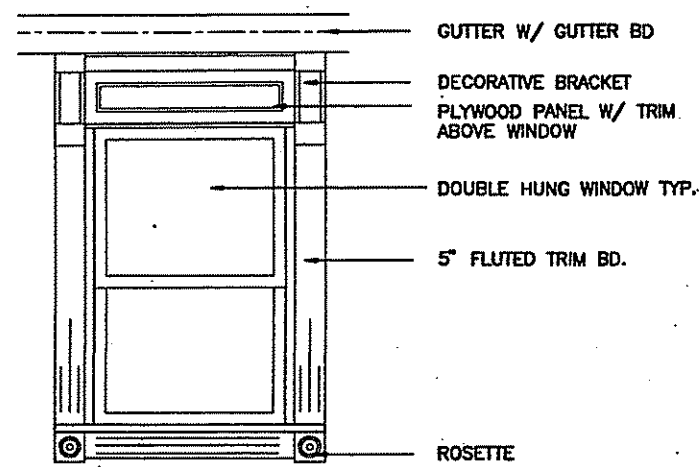


5 EAST WINDOW DETAIL  
SCALE 3/4" = 1'-0"

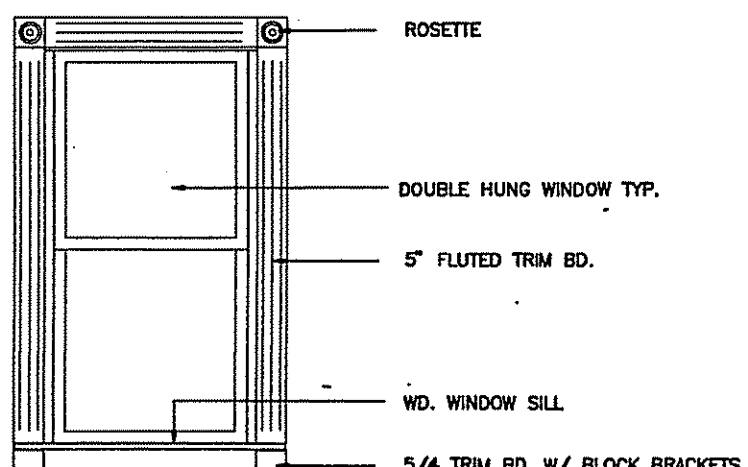
IF ELEVATION OF FIN. GRADE IS NOT CONSISTANT W/ INDICATED T.O. SLAB ELEV. AND GIVEN DIMENSIONS NOTIFY ARCHITECT/OWNER



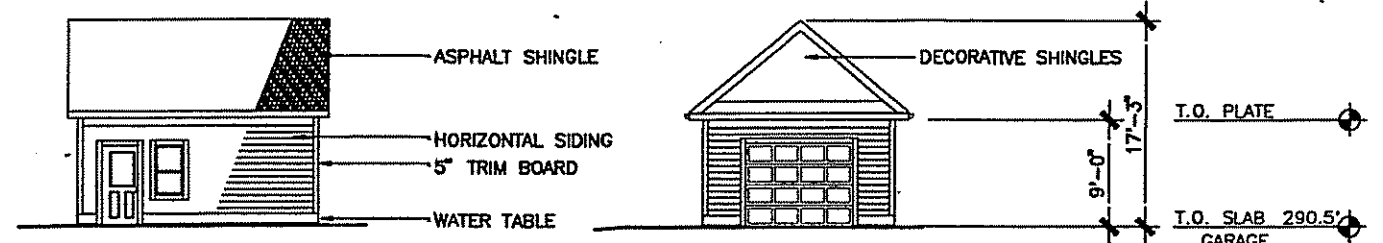
1 EAST ELEVATION  
SCALE 1/4" = 1'-0"



6 SECOND FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



7 FIRST FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



8 NORTH GARAGE ELEVATION  
SCALE 1/8" = 1'-0"

9 EAST GARAGE ELEVATION  
SCALE 1/8" = 1'-0"

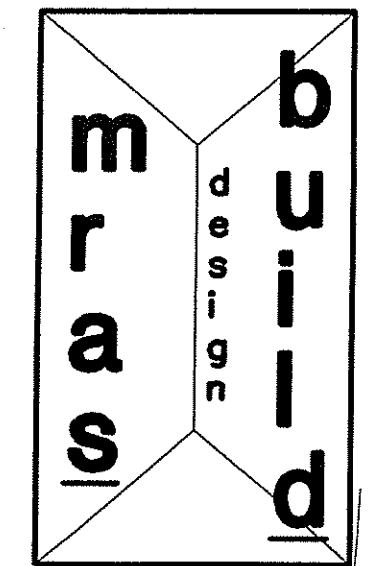
NO.	DATE	DESCRIPTION
1	05-26-97	PERMIT SET
2		REVISIONS/SUBMISSIONS

Drawing title	
EXTERIOR ELEVATIONS	project no. kensington 97.01
designed by mtr/cas	CAU file no. A-4.0WG
drawn by mtr	drawing no.
checked by cas	
date may 26 '97	
scale 1/8"=1'-0"	

A-4

30 WILSON AVENUE  
ANNAPOLIS, MD 21403  
TEL: 410-291-1111  
FAX: 410-291-1112



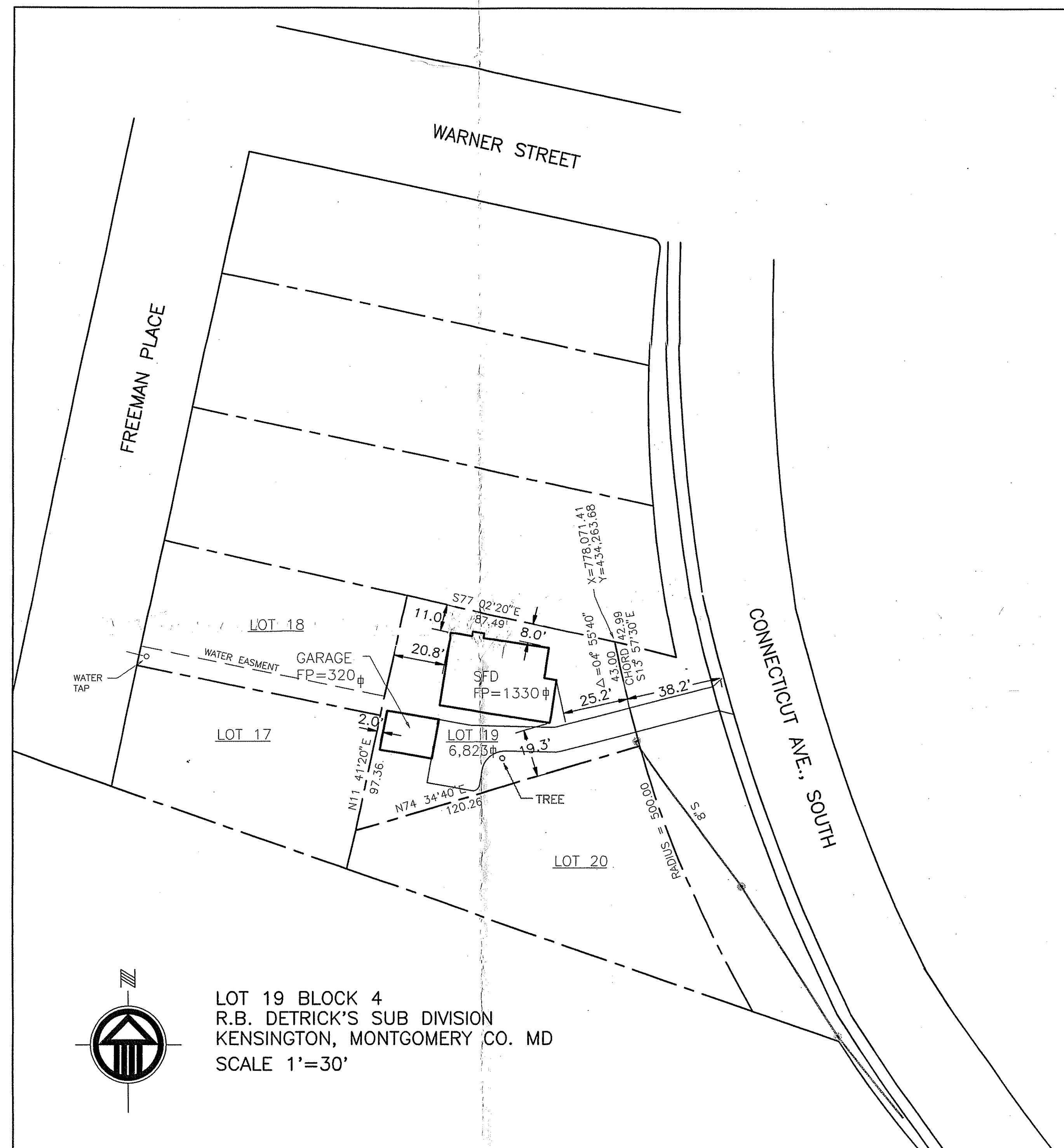


p.o. box 106  
Cabin John,  
Maryland  
20818-0106

MRAS DESIGN BUILD EXPRESSLY  
RESERVES ITS COMMON LAW  
COPYRIGHT AND OTHER PROPERTY  
RIGHTS IN THESE PLANS. THESE  
PLANS ARE NOT TO BE REPRODUCED  
OR CHANGED OR COPIED IN ANY FORM  
OR MANNER WHATSOEVER, NOR ARE  
THEY TO BE ASSIGNED TO ANY THIRD  
PARTY WITHOUT FIRST OBTAINING  
THE EXPRESS WRITTEN PERMISSION  
AND CONSENT OF MRAS DESIGN BUILD.

# a victorian style house in historic kensington

Lot 19, block 4, R.B. Detrick's Subdivision  
Kensington MD.



LOT 19 BLOCK 4  
R.B. DETRICK'S SUB DIVISION  
KENSINGTON, MONTGOMERY CO. MD  
SCALE 1"=30'

SITE LOCATION PLAN  
SCALE 1" = 30'

## DRAWING INDEX

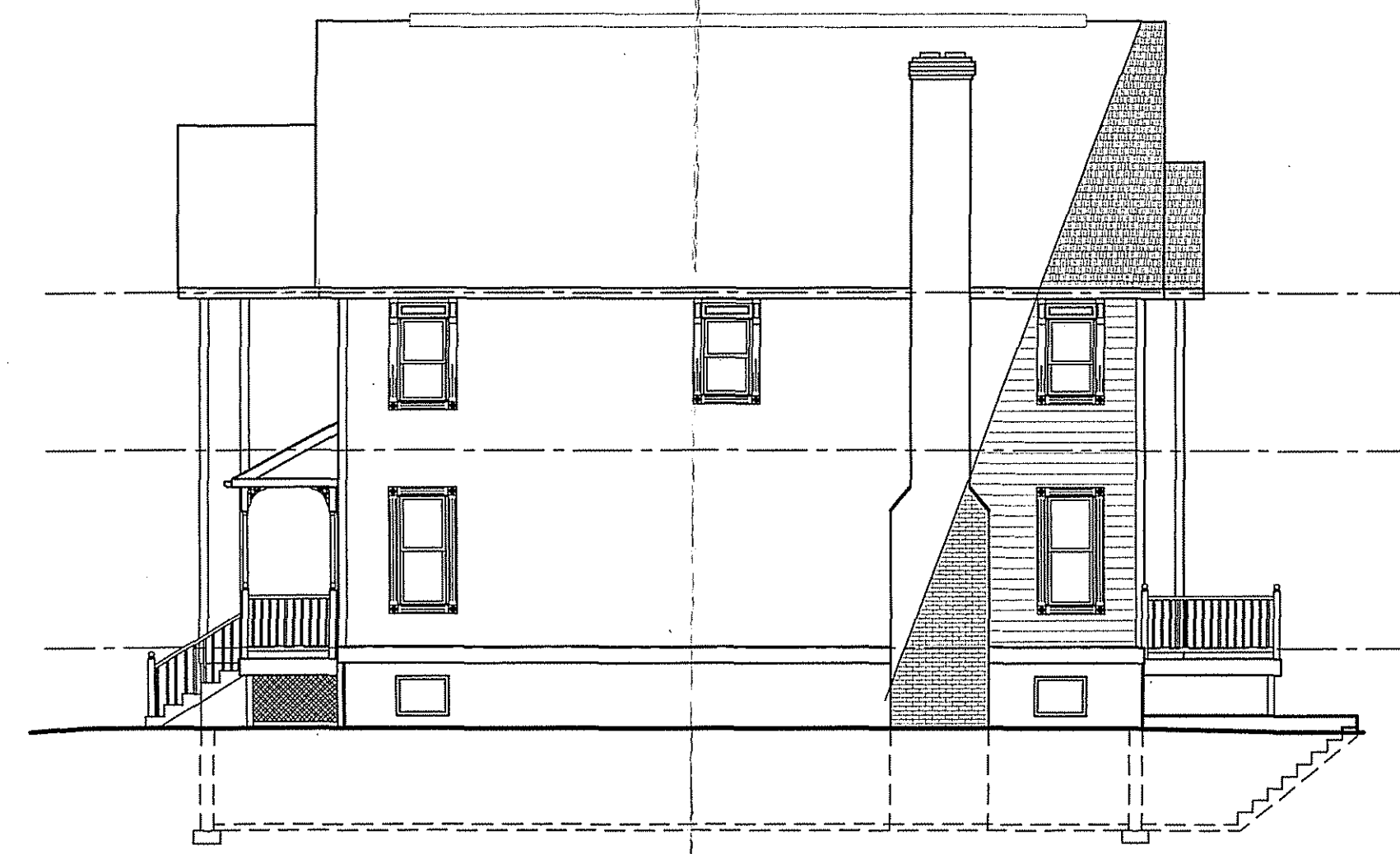
- C-1 COVER SHEET/SITE LOCATION PL./INDEX
- SP-1 SPECIFICATIONS
- SP-2 SPECIFICATIONS
- SP-3 SPECIFICATIONS
- A-1 FOUNDATION AND BASEMENT PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 BUILDING SECTION
- D-1 DETAILS
- S-1 FIRST FLOOR FRAMING PLAN
- S-2 SECOND FLOOR FRAMING PLAN
- S-3 ROOF FRAMING PLAN

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* PDE  
7/2/99

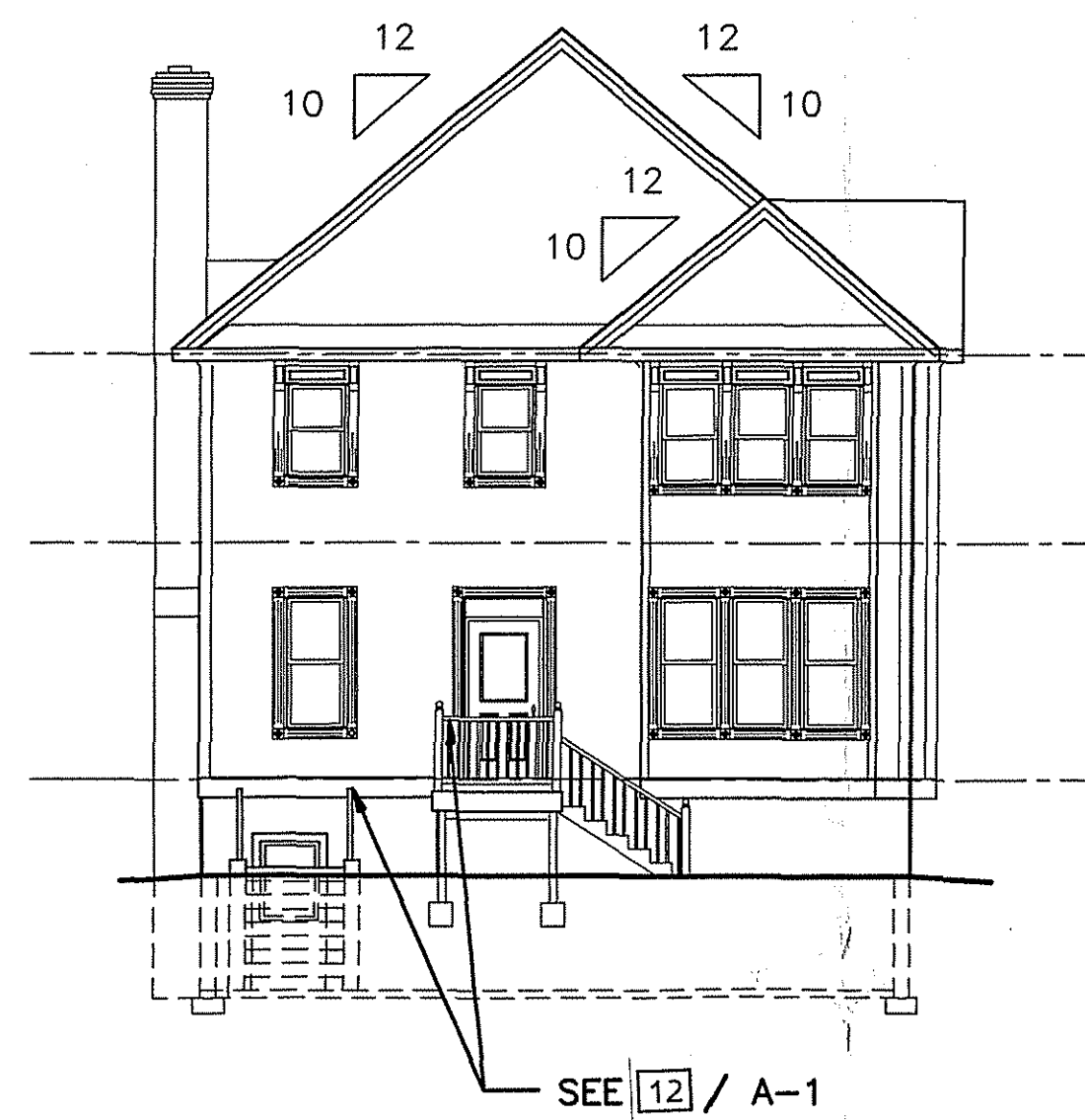
NO.	REVISIONS/SUBMISSIONS	DATE
2	FOR CONSTRUCTION	08.26.97
1	PERMIT SET	05.28.97

drawing title		<b>COVER SHEET</b>	
designed by	project no.	designed by	project no.
mr/as	kensington 97.01	mr/as	kensington 97.01
drawn by	CAD file no.	checked by	drawing no.
mr	C-1.DWG	mr	C-1
date	drawing no.	date	drawing no.
aug, 26 '97		aug, 26 '97	
AS NOTED		AS NOTED	

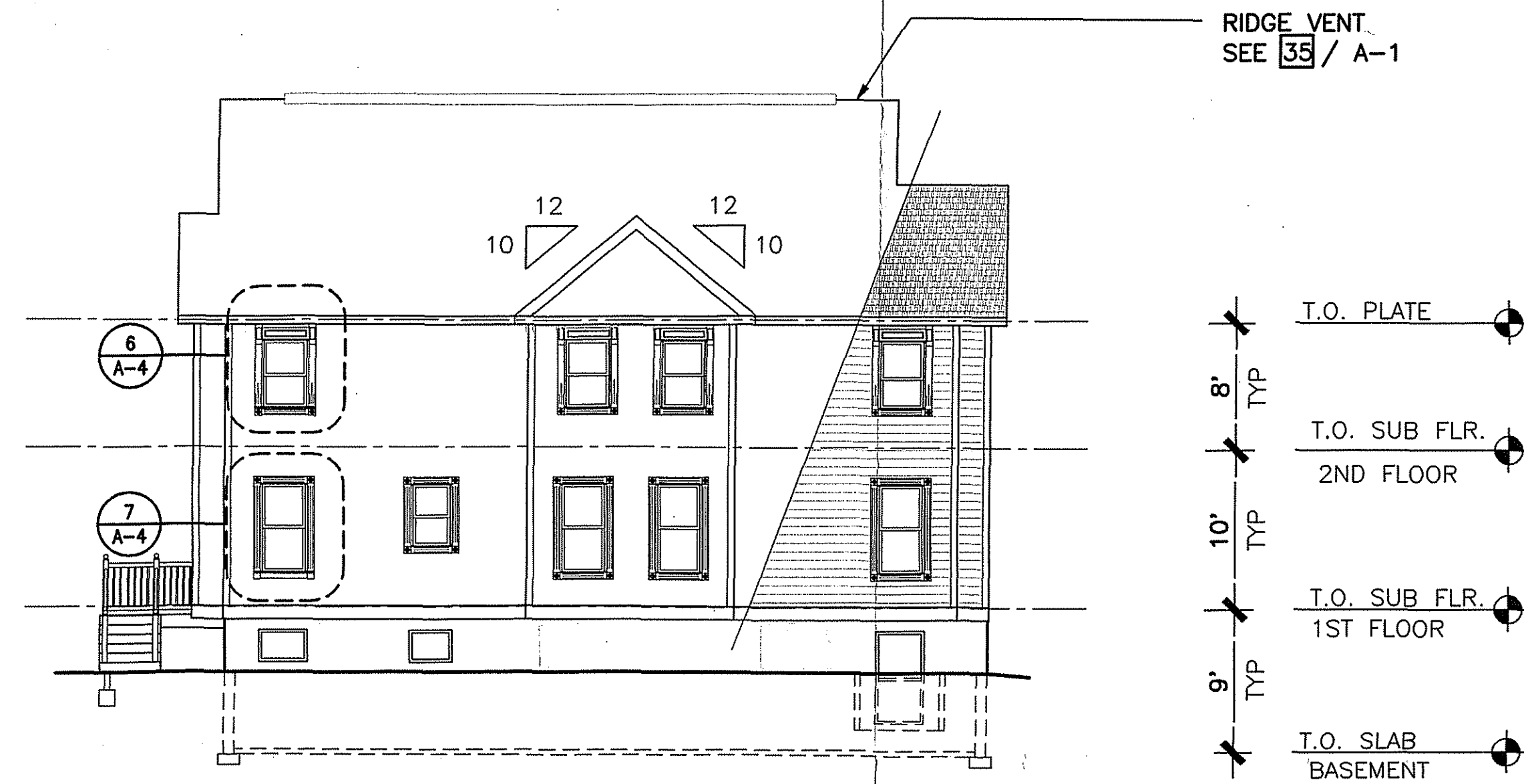




4 NORTH ELEVATION  
SCALE 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

RIDGE VENT.  
SEE 13 / A-1

T.O. PLATE

8' TYP

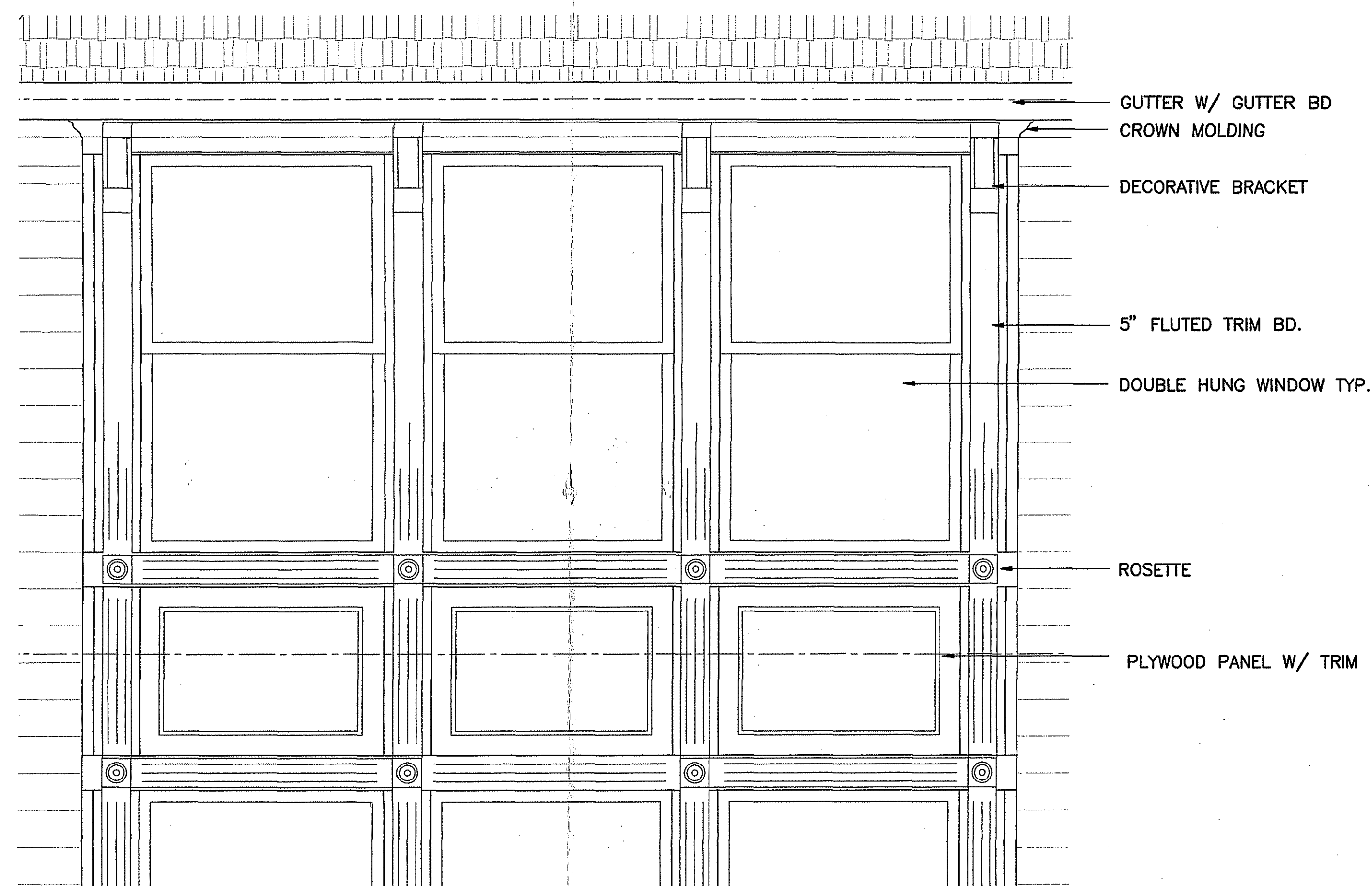
T.O. SUB FLR.  
2ND FLOOR

10' TYP

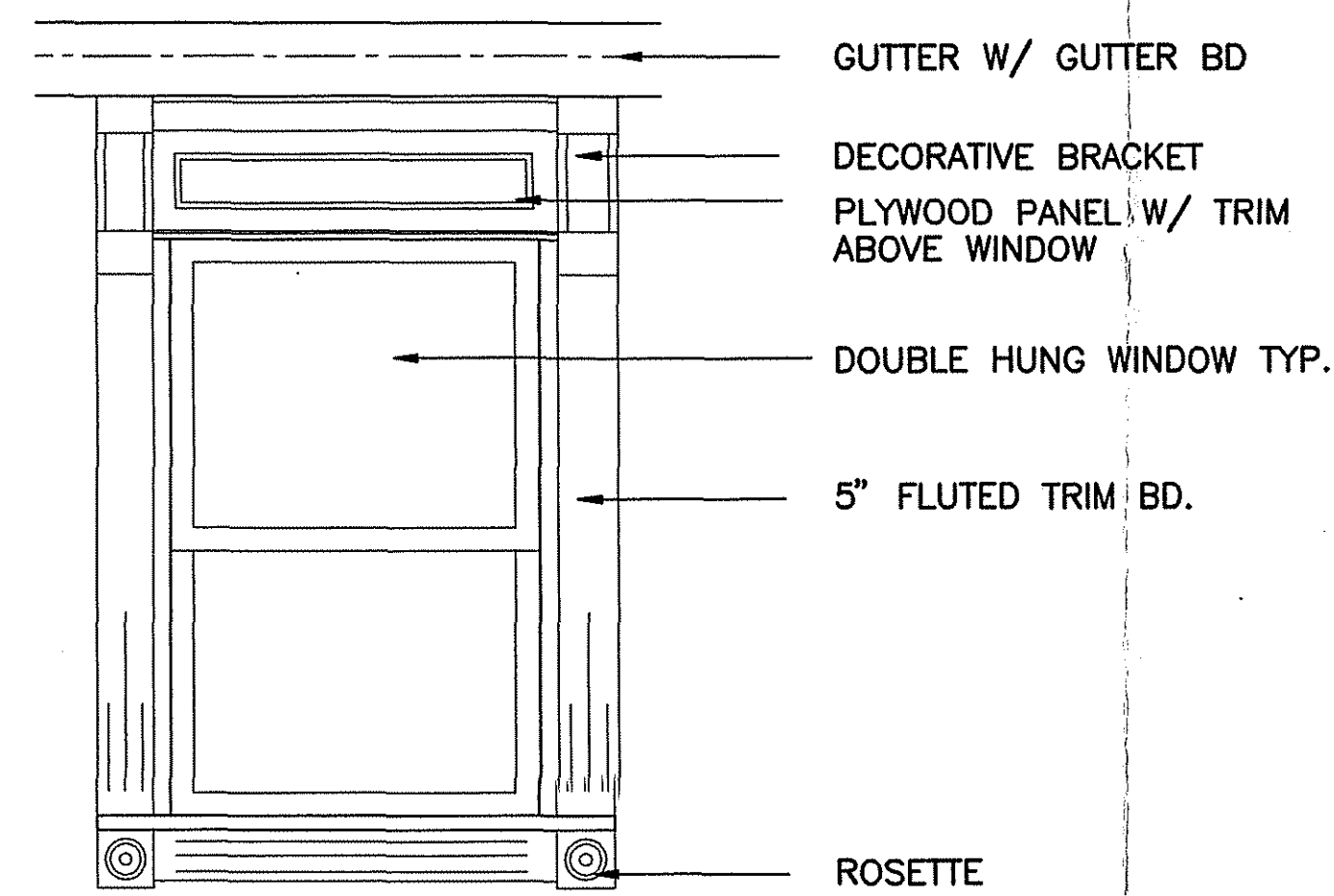
T.O. SUB FLR.  
1ST FLOOR

9' TYP

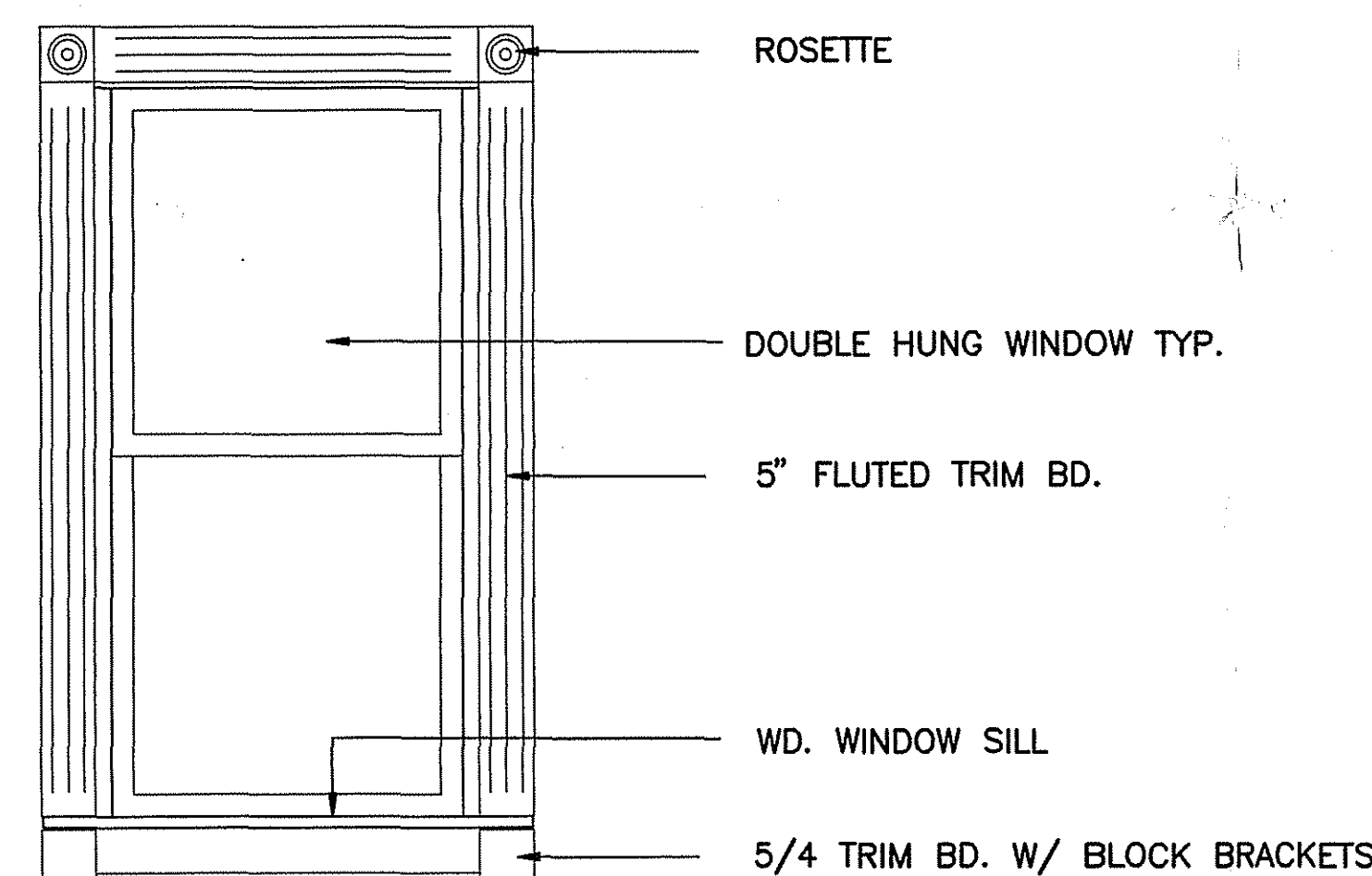
T.O. SLAB  
BASEMENT



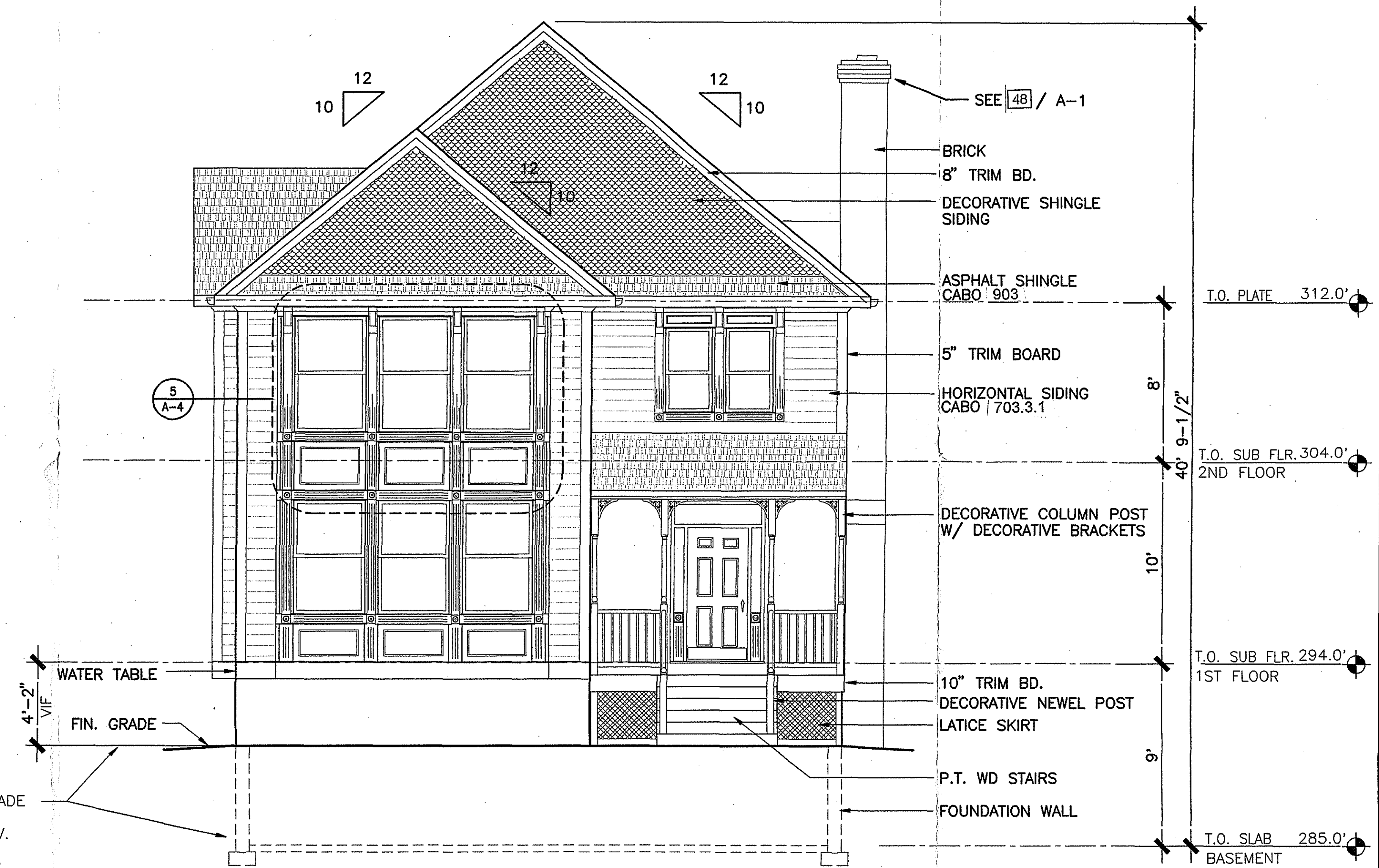
5 EAST WINDOW DETAIL  
SCALE 3/4" = 1'-0"



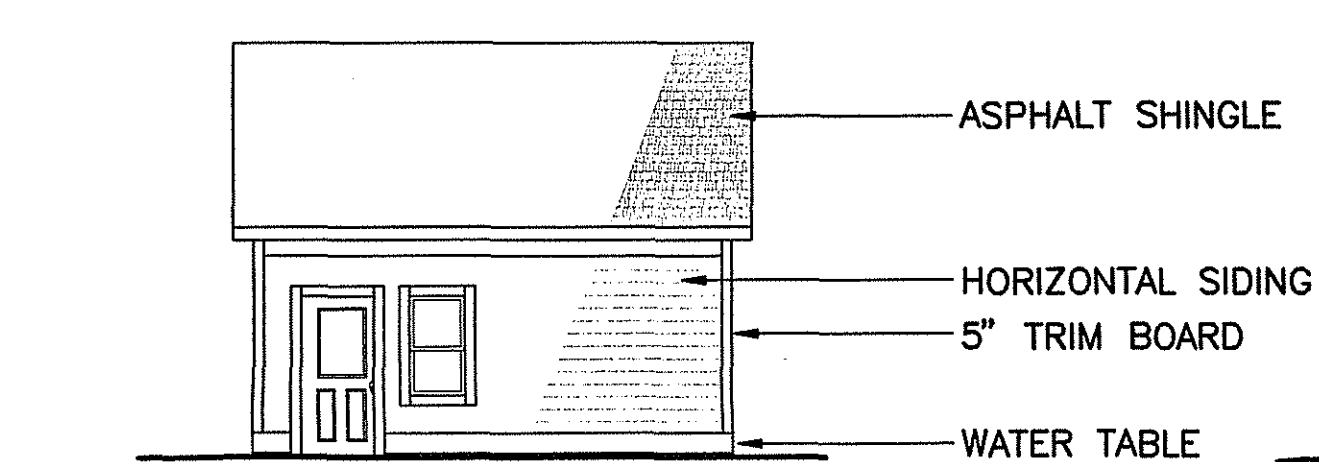
6 SECOND FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



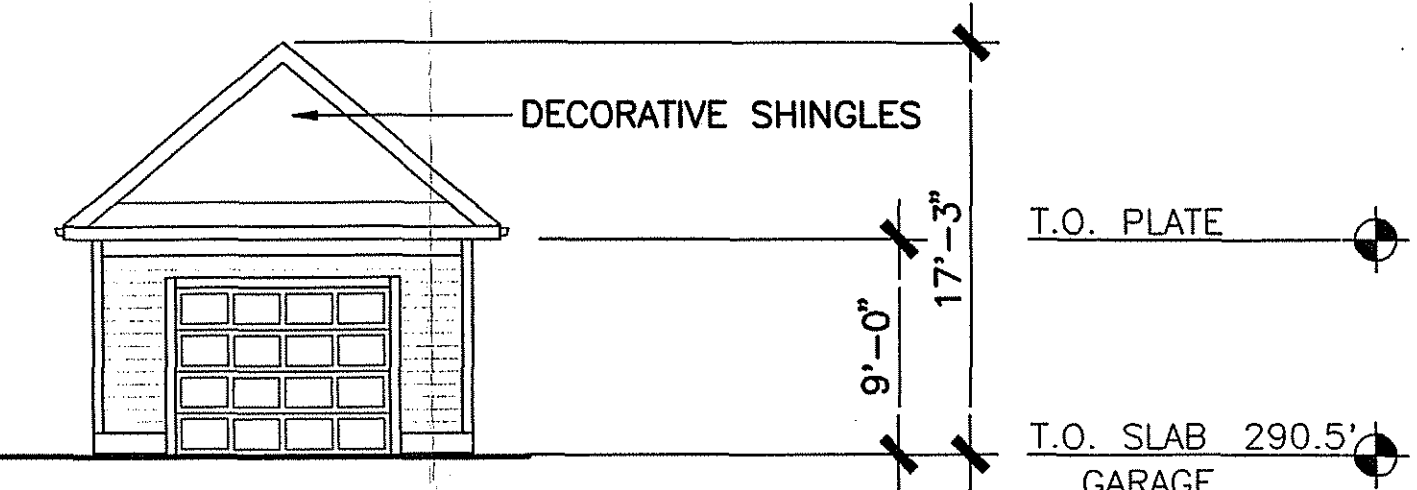
7 FIRST FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"



8 NORTH GARAGE ELEVATION  
SCALE 1/8" = 1'-0"



9 EAST GARAGE ELEVATION  
SCALE 1/8" = 1'-0"

IF ELEVATION OF FIN. GRADE IS NOT CONSISTANT W/ INDICATED T.O. SLAB ELEV. AND GIVEN DIMENSIONS NOTIFY ARCHITECT/OWNER

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 7/12/99

**MRAS DESIGN BUILD**

p.o. box 106  
Cabin John,  
Maryland  
20818-0106

MRAS DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED OR CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF MRAS DESIGN BUILD.

**a victorian style house in historic kensington**

Lot 19, block 4, R.B. Detrick's Subdivision  
Kensington MD.

no.	revisions/submissions	date
2	FOR CONSTRUCTION	08 26 97
1	PERMIT SET	05 26 97

drawing title		<b>EXTERIOR ELEVATIONS</b>	
designed by	project no.	designed by	project no.
mr/as	kensington 97.01	mr/as	kensington 97.01
drawn by	CAD file no.	checked by	drawing no.
mr	A-4.DWG	as	
date	scale	date	scale
aug 26 '97	1/8"=1'-0"	aug 26 '97	1/8"=1'-0"

**A-4**



access to the site on what is now a steep slope. The driveway would be paved in asphalt, and would go along the south side of the property, **curving around the magnolia to avoid damaging the tree**. Tree protection measures would be taken to assure the continued health of the magnolia. The garage would be placed at the rear of the yard in the southwest corner.

The proposed new house would be wood frame (30' x 46') with wood siding. The design calls for shingles in the gable ends and wood clapboard on the rest of the house. The proposed foundation would be concrete. The basement would extend approximately 3' above grade to permit installation of basement windows without using window wells. The **chimney would be metal pipe boxed out in wood siding**. Wood windows, with wood trim and wood corner blocks, are proposed. The front door would be a six-panel solid wood door, with sidelights. The front porch would not extend across the entire front of the house (as may be more typical in Kensington), but will provide a porch entry at the front door. The porch will have a wood railing with straight pickets. All of the wood would be painted. The roof would be composition shingle, and the roof pitch would be approximately 38 , or a 10-12 pitch.

The single-car garage would measure 16' x' 20'. It would be one-story frame building with wood clapboard and shingles for siding to match the house. The drawing doesn't specify, but staff feels that a single-car garage door is appropriate, and would measure no more than 9' in width. The garage would be painted to match the house.

#### GENERAL STAFF COMMENTS

The Vision of Kensington, a planning document commissioned by the HPC, applies lot coverage as a way to measure building density in this garden suburb. The average lot coverage in the Kensington Historic District is 15%. The houses have an average front yard set-back of 33'. This particular lot on Connecticut Avenue is considered a "Peripheral Residential Area", and the recommended lot coverage is 15%. The minimum front yard setback recommendation is 35'.

The proposed new house meets a 25' set back from the Connecticut Avenue right-of-way, which is 38' from the existing roadway. The new house will therefore be set 58' from the existing sidewalk. This is in line with the existing day care building, and will therefore maintain a consistent street edge along this block, even though this is much deeper than recommended by the Vision of Kensington. The footprint of the proposed house (30' x 46', or 1380 sf.) would provide a 20% lot coverage. With the garage (320 sf), the applicant proposes a total lot coverage of 25%.

Staff appreciates the applicant's cooperation in developing this project. The site is a difficult and atypical site in Kensington. The lot is small (6,280 sf) in comparison to the typical building lot in Kensington (50' x 175', or 8750 sf), and it is an odd shape. In addition, it fronts Connecticut Avenue and therefore has a substantial dedicated right-of-way which takes a portion of the front yard. The topography is problematic for construction, but ultimately may help with the placement of the house in the historic district.

Staff feels that the actual footprints proposed for the two structures are within keeping with the historic district. The structure and its neighboring day care center sit in virtual isolation on this part of Connecticut Avenue, and will have minimal impact on any other neighbors (except to the extent that the loss of an open lot and the construction of a new house always has an impact on a neighborhood.) Because of the lower elevation of the construction site from the public right-of-way, the effective height of the house will be reduced.

The building pattern in Kensington will be met by the proposed development. The single-family house to the foreground, and the ancillary building behind is consistent with the historic development in Kensington. Staff recognizes, however, that the proposed lot coverage is significantly higher than that recommended by the Vision of Kensington.

The particulars of the site are such, however, that the proposed building mass will not encroach on the quality or character of the Kensington Historic District. This is, to some extent, a gateway site for Kensington. Traffic pours down Connecticut Avenue heading south at this point, having just passed a modern commercial district, and a concrete parking garage. Warner Street is the edge of the historic district, but the historic corner house presents a side to Connecticut Avenue since it faces Warner Street. The new house, then, will be the first house on this side of the street in the historic district facing Connecticut.

The proposed new house is an abstracted Victorian style, using natural materials that are characteristic of the historic district. The house is long, of average width, and of average height. The simplified massing, the extensive windows, and the reduced porch all indicate a modern house, which is consistent with the Secretary of the Interior's Guidelines for new construction. Staff feels that the proposal is compatible with the historic district except for the proposed boxed-in chimney. The chimney should be built in a more historic material, such as brick or stone. In addition, the concrete foundation should either be poured concrete, or concrete block with parging.

Finally, the health of the mature magnolia is very important, and the tree should be protected. Tree-saving measures should be taken before, during and after construction.

#### STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission approve the proposal, finding that the proposal is consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#### CONDITIONS:

- 1) The chimney should be built of brick.
- 2) The foundation should be parged concrete block or poured concrete with a smooth face.
- 3) Adequate and effective tree protection should be undertaken for the magnolia, including the use of a root protection mat over the area where the driveway will impact the roots; feeding the tree before and after construction according to the direction of a certified arborist with written confirmation to staff; and the use of adequate and effective tree protection including barrier fencing at tree driplines developed and enforced throughout construction period.
- 4) Use of single-car garage door no wider than 9'.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



2279 Lewis Avenue □ Rockville, Maryland 20851  
(301) 881-8130

#### GUIDELINES FOR TREE PRESERVATION IN CONSTRUCTION AREAS

The objective of this guideline is to suggest procedures that will aid in preserving the health and habit of all trees within the contract limits not to be removed for construction purposes. This is only a general guideline and specific situations will require further detail.

1. Engage a Maryland licensed arborist who is familiar with construction activity to work with you throughout the entire process. The arborist should be consulted on all aspects regarding trees whether it be tree removal, pruning, repairing damage caused by equipment, root loss, soil compaction, etc.
2. Work shall conform to the requirements of the Maryland State Highway Administration, the Department of Natural Resources and local county and municipal requirements.
3. The limits of clearing shall be located outside the drip line of any tree to be retained and in no case closer than 5' of the trunk of any tree.
4. Provide temporary fencing, barricades or guards to protect remaining trees from damage. Erect these devices prior to the commencement of work and remove only after all work potentially injurious to trees and other plants is complete.
5. Protect the root systems. Do not store construction materials, debris or excavated material within the drip line (outer perimeter of branches).
6. Do not permit vehicles within the drip lines and restrict foot traffic to prevent excessive compaction of the soil over the root system.
7. Trees being removed should not be felled, pushed or pulled into trees being retained. In no case should bulldozers or other mechanical equipment be used to clear trees in areas where other trees will be retained.
8. Cut branches and roots, if required, with a saw or shears. Do not break, chop or cut with mechanical excavation equipment.
9. Do not tolerate construction equipment to cut, break or skin the bark from any remaining tree.
10. Maintain existing grades within the drip line of trees.



Member  
National  
Arborist  
Association

11. Should grades have to be lowered slightly, hand excavation is necessary.
12. Should grades need to be raised, appropriate soil material, tree wells and procedures must be followed to minimize the impact.
13. Make certain that drainage is maintained throughout the process.
14. All trenching should be done as far away from the trunks of the trees as possible.
15. Work with the utilities to minimize the area where trenches are placed. Try to concentrate trenching.
16. Roots should not be left exposed to air. They should be covered with soil as soon as possible or protected and kept moist with wet burlap or peat moss.
17. Prior to construction, those trees that are to remain should be fertilized using a slow release fertilizer.
18. All construction materials should be removed promptly from the site and not allowed to accumulate or be buried.
19. Should soil become compacted, use a Grow Gun or Terralift Pneumatic Soil Aerator.
20. Educate construction personnel regarding the assets of trees to the enhancement of the site and not regard the trees as an inconvenience.
21. Whenever anything is done that affects a tree, consult the arborist immediately.

Lynn Rampaste :

3/26/97

They like the molding, e  
Kensington Historical Society (Club for Army  
Peeps)

They think the house is

too big -

would prefer less

lot coverage.

Chimney

Magnolia a major concern  
Gravel driveway?

porous  
material

→ Town setback is 10' for  
Sideyards so 8' won't  
fly

Basement's floor here...

Wine / Front door - would prefer no side lights  
Richardson but glass on top 1/2 of door





May 27, 1997 2279 Lewis Avenue □ Rockville, Maryland 20851  
 (301) 881-8130

Mr. Mark Raymond  
 c/o Anthony Segreti  
 8210 Stone Trail Dr.  
 Bethesda, MD 20817

Dear Mr. Raymond,

The following is a price estimate for a procedure to assist in the preservation of the large Southern magnolia tree located on the south side of your property, Lot 19, Block 4, R. B. Detrick's Subdivision, Kensington, MD. This procedure is based on my inspection of the tree and my discussions with Anthony Segreti.

1. Fertilize the tree prior to construction with an added ingredient, mycorrhizae, to enhance root formation.  
 Cost \$125.00
2. Provide 4" of woodchips around the base of the tree for root protection during construction.  
 Cost \$175.00
3. Remove low limbs to a height of 10' on the side facing the house to allow small equipment movement during construction and provide a pathway for the brick driveway around the tree.  
 Cost \$ 65.00
4. Prune branches at the dripline to provide clearance for the house.  
 Cost \$ 65.00
5. Inspect the tree twice during construction to determine if additional treatments are required.  
 Cost \$160.00

These prices include all labor, materials, insurance, proper supervision and the hauling of all resulting debris.

Also enclosed are important guidelines for tree preservation in construction areas which should be taken into consideration during the construction of your new home.

If you should have any questions or desire additional information, please call. We look forward to working with you in providing for your tree.

Sincerely,

*Paul L. Wolfe, II*  
 Paul L. Wolfe, II  
 President  
 Integrated Plant Care, Inc.



Member  
 National  
 Arborist  
 Association

----- ✂ -----

May 29, 1997

Ms. Robin Ziek  
Design, Zoning and Preservation Division  
HPC-MNCPPC  
1109 Spring Street, 8<sup>th</sup> Floor  
Silver Spring, Maryland 20910

Re: plan submittal for Lot 19, Block 4,  
RB Detrick's Subdivision

Dear Ms. Ziek:

Please find enclosed final plans for the new residential construction on Lot 19, Block 4 in the subdivision known as "R.B. Detrick's Subdivision of Kensington" in Montgomery County, Maryland.

Also attached is the recommendation from a licensed arborist regarding a procedure to protect the Southern Magnolia tree during construction.

You may contact me at (301)-~~996-4600~~ if you have any questions.

Sincerley,

365-9500



Anthony J. Segreti

Holt Jordan abstaining

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot 19, Block 4, Connecticut Avenue

Meeting Date: 3/26/97

Resource: Kensington Historic District

Review: **HAWP**

Case Number: 31/6-97C

Tax Credit: No

Public Notice: 3/12/97

Report Date: 3/19/97

Applicant: Mark Raymond (Anthony Segreti, Agent)

Staff: Robin D. Ziek

PROPOSAL: Construct new house w/ garage

RECOMMENDATIONS:

Approval w/ Conditions

RESOURCE SUMMARY

RESOURCE: Kensington Historic District - Secondary Resource

Photos shown taken from preliminary consultation file for 10/11/95.

PROJECT DESCRIPTION

The Property and its Setting

The subject property is a trapezoidal-shaped parcel with access off of Connecticut Avenue. The HPC is familiar with this site, having considered a different proposal for new construction at the 10/11/95 meeting. At that time, the HPC **agreed in concept** that this parcel was a suitable building site for an individual residence. The applicant in 1995 did not elect to go forward, and the property had continued on the market.

The property fronts on Connecticut, and has one neighbor on the south side which is a 20th century single-story residential building which is being used as a day care center. To the north, the subject property is adjacent to the neighbor's rear yard while the neighboring house, a late 19th c. structure, fronts on Warner Street.

Topographically, the subject property and the day care center are at the lowest elevation in the neighborhood. All of the neighboring properties drain to these lots; there is a major storm water intake in the front yard of the day care center. Connecticut Avenue has been built up along here (possibly when the road was widened) and is significantly higher than the proposed building site.

There are two mature trees on the property: a deciduous tree and a southern magnolia. Along the rear property line, there are several small scrub trees and vines. In addition, there is a large tree stump which is covered with vines at the rear of the property.

The Proposal

The proposal before the Commission is to build a single-family residence and a detached single-car garage. The deciduous tree on the site would be removed, and the mature magnolia would be retained. The tree stump would be removed as well as much of the scrub growth along the rear property line. Some new grading at Connecticut Avenue would be necessary to allow

LAP - Construction desirable  
no design comments

①

access to the site on what is now a steep slope. The driveway would be paved in asphalt, and would go along the south side of the property, **curving around the magnolia to avoid damaging the tree**. Tree protection measures would be taken to assure the continued health of the magnolia. The garage would be placed at the rear of the yard in the southwest corner.

The proposed new house would be wood frame (30' x 46') with wood siding. The design calls for shingles in the gable ends and wood clapboard on the rest of the house. The proposed foundation would be concrete. The basement would extend approximately 3' above grade to permit installation of basement windows without using window wells. **The chimney would be metal pipe boxed out in wood siding**. Wood windows, with wood trim and wood corner blocks, are proposed. The front door would be a six-panel solid wood door, with sidelights. The front porch would not extend across the entire front of the house (as may be more typical in Kensington), but will provide a porch entry at the front door. The porch will have a wood railing with straight pickets. All of the wood would be painted. The roof would be composition shingle, and the roof pitch would be approximately 38 , or a 10-12 pitch.

The single-car garage would measure 16' x' 20'. It would be one-story frame building with wood clapboard and shingles for siding to match the house. The drawing doesn't specify, but staff feels that a single-car garage door is appropriate, and would measure no more than 9' in width. The garage would be painted to match the house.

#### GENERAL STAFF COMMENTS

The Vision of Kensington, a planning document commissioned by the HPC, applies lot coverage as a way to measure building density in this garden suburb. The average lot coverage in the Kensington Historic District is 15%. The houses have an average front yard set-back of 33'. This particular lot on Connecticut Avenue is considered a "Peripheral Residential Area", and the recommended lot coverage is 15%. The minimum front yard setback recommendation is 35'.

The proposed new house meets a 25' set back from the Connecticut Avenue right-of-way, which is 38' from the existing roadway. The new house will therefore be set 58' from the existing sidewalk. This is in line with the existing day care building, and will therefore maintain a consistent street edge along this block, even though this is much deeper than recommended by the Vision of Kensington. The footprint of the proposed house (30' x 46', or 1380 sf.) would provide a 20% lot coverage. With the garage (320 sf), the applicant proposes a total lot coverage of 25%.

Staff appreciates the applicant's cooperation in developing this project. The site is a difficult and atypical site in Kensington. The lot is small (6,280 sf) in comparison to the typical building lot in Kensington (50' x 175', or 8750 sf), and it is an odd shape. In addition, it fronts Connecticut Avenue and therefore has a substantial dedicated right-of-way which takes a portion of the front yard. The topography is problematic for construction, but ultimately may help with the placement of the house in the historic district.

Staff feels that the actual footprints proposed for the two structures are within keeping with the historic district. The structure and its neighboring day care center sit in virtual isolation on this part of Connecticut Avenue, and will have minimal impact on any other neighbors (except to the extent that the loss of an open lot and the construction of a new house always has an impact on a neighborhood.) Because of the lower elevation of the construction site from the public right-of-way, the effective height of the house will be reduced.

The building pattern in Kensington will be met by the proposed development. The single-family house to the foreground, and the ancillary building behind is consistent with the historic development in Kensington. Staff recognizes, however, that the proposed lot coverage is significantly higher than that recommended by the Vision of Kensington.

*From People speaking as Historical Society:*

The particulars of the site are such, however, that the proposed building mass will not encroach on the quality or character of the Kensington Historic District. This is, to some extent, a gateway site for Kensington. Traffic pours down Connecticut Avenue heading south at this point, having just passed a modern commercial district, and a concrete parking garage. Warner Street is the edge of the historic district, but the historic corner house presents a side to Connecticut Avenue since it faces Warner Street. The new house, then, will be the first house on this side of the street in the historic district facing Connecticut.

The proposed new house is an abstracted Victorian style, using natural materials that are characteristic of the historic district. The house is long, of average width, and of average height. The simplified massing, the extensive windows, and the reduced porch all indicate a modern house, which is consistent with the Secretary of the Interior's Guidelines for new construction. Staff feels that the proposal is compatible with the historic district except for the proposed boxed-in chimney. The chimney should be built in a more historic material, such as brick or stone. In addition, the concrete foundation should either be poured concrete, or concrete block with parging.

Finally, the health of the mature magnolia is very important, and the tree should be protected. Tree-saving measures should be taken before, during and after construction.

### STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission approve the proposal, finding that the proposal is consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### CONDITIONS:

- 1) The chimney should be built of brick, *+ extend down to the ground. yes.*
- 2) The foundation should be parged concrete block or poured concrete with a smooth face.
- 3) Adequate and effective tree protection should be undertaken for the magnolia, including the use of a root protection mat over the area where the driveway will impact the roots; feeding the tree before and after construction according to the direction of a certified arborist with written confirmation to staff; and the use of adequate and effective tree protection including barrier fencing at tree driplines developed and enforced throughout construction period. *driveway is 2' from the tree + a porous material near the tree*
- 4) Use of single-car garage door no wider than 9'. *appt.*

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

~~1) Front Door: extend solid to panel door + 1/2 high side lights.~~

- 6) Planting of new tree *for driveway material*
- 5) Applicant to come back to Staff before it's put in.

3



# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Anthony Segreti  
 DAYTIME TELEPHONE NO. (301) 996-4600  
 TAX ACCOUNT # 13-15-91020936012  
 CONTRACT PURCHASER NAME OF PROPERTY OWNER Mark W. Raymond  
 DAYTIME TELEPHONE NO. (202) 471-5068  
 ADDRESS 2221 E. Lombard St. Baltimore MD 21231  
 CITY STATE ZIP CODE  
 CONTRACTOR To be determined TELEPHONE NO. ( ) TBD  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 PURCHASER AGENT FOR OWNER Anthony Segreti DAYTIME TELEPHONE NO. (301) 996-4600

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 10300 block STREET Connecticut Ave. Kensington  
 TOWN/CITY Kensington NEAREST CROSS STREET Warner Street  
 LOT 19 BLOCK 4 SUBDIVISION R. B. Detrick's Subdivision  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct  Extend  Alter/Renovate  Repair  Move  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove  
 Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 250,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

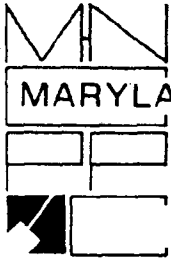
## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.  
Anthony Segreti Signature of owner or authorized agent Date 3/7/97

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

**4**



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 3/27/97

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, <sup>DDZ</sup> Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

           Approved

           Denied

  X   Approved with Conditions: ① Chimney to be faced with brick, and extend to foundation @ grade ; ② Foundation to be poured concrete block or smooth-faced poured concrete ; ③ Adequate tree protection to be undertaken for mesquite including root protection mat under driveway area, fencing before & after construction, fencing at diploma during construction, and driveway to be at least 2' away from tree, and a porous driveway material used in <sup>road</sup> proximity to tree ; ④ a single-car garage door no wider than 9' ; ⑤ a new tree shall be planted in front yard ; ⑥

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

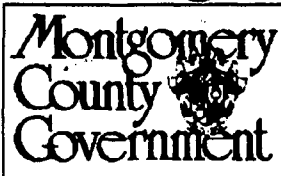
Applicant: Mark Raymond (Anthony Isgritti, agent)

*applicant to construct or porous driveway materials before installation*

Address: 2221 E. Lombard St, Baltimore, MD 21231

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Re : Lot 19 Block 4 Connecticut Avenue Kensington Historic District



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

TAX ACCOUNT # 13-15-1020936  
 CONTACT PERSON Anthony Segreti 365-9500  
 DAYTIME TELEPHONE NO. (301) 996-4600  
 CONTRACT PURCHASER NAME OF PROPERTY OWNER Mark W. Raymond DAYTIME TELEPHONE NO. (202) 471-5068  
 ADDRESS 2221 E. Lombard St. Baltimore MD 21231  
 CITY STATE ZIP CODE  
 CONTRACTOR To be determined TELEPHONE NO. ( ) TBD  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 Purchaser AGENT FOR OWNER Anthony Segreti DAYTIME TELEPHONE NO. (301) 996-4600

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 10300 block STREET Connecticut Ave. Kensington  
 TOWN/CITY Kensington NEAREST CROSS STREET Warner Street  
 LOT 19 BLOCK 4 SUBDIVISION R.B. Detrick's Subdivision  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: Construct  Extend  Alter/Renovate  Repair  Move  Wreck/Raze  Install  Revocable  Revision  CIRCLE ALL APPLICABLE: A/C  Slab  Room Addition  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 250,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Anthony Segreti Signature of owner or authorized agent 3/7/97 Date

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature [Signature] Date 3/27/97

APPLICATION/PERMIT NO: 970317008 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

No Existing Structures, Buildable residential lot with water and sewer taps installed by WSSC.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construction of a Single Family Residence that conforms in architectural style with the Victorian elements in the subdivision.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

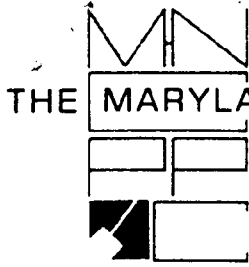
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 3/27/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *WM*  
Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

*✶* When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

*✶* Please bring your construction documents to this office prior to going to DPS for your building permit. We will need to stamp 2 sets. We will keep one set here for our files, & you can take the other set with you to file for the building permit.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot 19, Block 4, Connecticut Avenue	Meeting Date: 3/26/97
Resource: Kensington Historic District	Review: <b>HAWP</b>
Case Number: 31/6-97C	Tax Credit: No
Public Notice: 3/12 /97	Report Date: 3/19/97
Applicant: Mark Raymond (Anthony Segreti, Agent)	Staff: Robin D. Ziek
PROPOSAL: Construct new house w/ garage	RECOMMENDATIONS: Approval w/ Conditions

---

RESOURCE SUMMARY

RESOURCE: Kensington Historic District - Secondary Resource

PROJECT DESCRIPTION

The Property and its Setting

The subject property is a trapezoidal-shaped parcel with access off of Connecticut Avenue. The HPC is familiar with this site, having considered a different proposal for new construction at the 10/11/95 meeting. At that time, the HPC **agreed in concept** that this parcel was a suitable building site for an individual residence. The applicant in 1995 did not elect to go forward, and the property had continued on the market.

The property fronts on Connecticut, and has one neighbor on the south side which is a 20th century single-story residential building which is being used as a day care center. To the north, the subject property is adjacent to the neighbor's rear yard while the neighboring house, a late 19th c. structure, fronts on Warner Street.

Topographically, the subject property and the day care center are at the lowest elevation in the neighborhood. All of the neighboring properties drain to these lots; there is a major storm water intake in the front yard of the day care center. Connecticut Avenue has been built up along here (possibly when the road was widened) and is significantly higher than the proposed building site.

There are two mature trees on the property: a deciduous tree and a southern magnolia. Along the rear property line, there are several small scrub trees and vines. In addition, there is a large tree stump which is covered with vines at the rear of the property.

The Proposal

The proposal before the Commission is to build a single-family residence and a detached single-car garage. The deciduous tree on the site would be removed, and the mature magnolia would be retained. The tree stump would be removed as well as much of the scrub growth along the rear property line. Some new grading at Connecticut Avenue would be necessary to allow

access to the site on what is now a steep slope. The driveway would be paved in asphalt, and would go along the south side of the property, **curving around the magnolia to avoid damaging the tree**. Tree protection measures would be taken to assure the continued health of the magnolia. The garage would be placed at the rear of the yard in the southwest corner.

The proposed new house would be wood frame (30' x 46') with wood siding. The design calls for shingles in the gable ends and wood clapboard on the rest of the house. The proposed foundation would be concrete. The basement would extend approximately 3' above grade to permit installation of basement windows without using window wells. **The chimney would be metal pipe boxed out in wood siding**. Wood windows, with wood trim and wood corner blocks, are proposed. The front door would be a six-panel solid wood door, with sidelights. The front porch would not extend across the entire front of the house (as may be more typical in Kensington), but will provide a porch entry at the front door. The porch will have a wood railing with straight pickets. All of the wood would be painted. The roof would be composition shingle, and the roof pitch would be approximately 38 , or a 10-12 pitch.

The single-car garage would measure 16' x' 20'. It would be one-story frame building with wood clapboard and shingles for siding to match the house. The drawing doesn't specify, but staff feels that a single-car garage door is appropriate, and would measure no more than 9' in width. The garage would be painted to match the house.

#### GENERAL STAFF COMMENTS

The Vision of Kensington, a planning document commissioned by the HPC, applies lot coverage as a way to measure building density in this garden suburb. The average lot coverage in the Kensington Historic District is 15%. The houses have an average front yard set-back of 33'. This particular lot on Connecticut Avenue is considered a "Peripheral Residential Area", and the recommended lot coverage is 15%. The minimum front yard setback recommendation is 35'.

The proposed new house meets a 25' set back from the Connecticut Avenue right-of-way, which is 38' from the existing roadway. The new house will therefore be set 58' from the existing sidewalk. This is in line with the existing day care building, and will therefore maintain a consistent street edge along this block, even though this is much deeper than recommended by the Vision of Kensington. The footprint of the proposed house (30' x 46', or 1380 sf.) would provide a 20% lot coverage. With the garage (320 sf), the applicant proposes a total lot coverage of 25%.

Staff appreciates the applicant's cooperation in developing this project. The site is a difficult and atypical site in Kensington. The lot is small (6,280 sf) in comparison to the typical building lot in Kensington (50' x 175', or 8750 sf), and it is an odd shape. In addition, it fronts Connecticut Avenue and therefore has a substantial dedicated right-of-way which takes a portion of the front yard. The topography is problematic for construction, but ultimately may help with the placement of the house in the historic district.

Staff feels that the actual footprints proposed for the two structures are within keeping with the historic district. The structure and its neighboring day care center sit in virtual isolation on this part of Connecticut Avenue, and will have minimal impact on any other neighbors (except to the extent that the loss of an open lot and the construction of a new house always has an impact on a neighborhood.) Because of the lower elevation of the construction site from the public right-of-way, the effective height of the house will be reduced.

The building pattern in Kensington will be met by the proposed development. The single-family house to the foreground, and the ancillary building behind is consistent with the historic development in Kensington. Staff recognizes, however, that the proposed lot coverage is significantly higher than that recommended by the Vision of Kensington.

The particulars of the site are such, however, that the proposed building mass will not encroach on the quality or character of the Kensington Historic District. This is, to some extent, a gateway site for Kensington. Traffic pours down Connecticut Avenue heading south at this point, having just passed a modern commercial district, and a concrete parking garage. Warner Street is the edge of the historic district, but the historic corner house presents a side to Connecticut Avenue since it faces Warner Street. The new house, then, will be the first house on this side of the street in the historic district facing Connecticut.

The proposed new house is an abstracted Victorian style, using natural materials that are characteristic of the historic district. The house is long, of average width, and of average height. The simplified massing, the extensive windows, and the reduced porch all indicate a modern house, which is consistent with the Secretary of the Interior's Guidelines for new construction. Staff feels that the proposal is compatible with the historic district except for the proposed boxed-in chimney. The chimney should be built in a more historic material, such as brick or stone. In addition, the concrete foundation should either be poured concrete, or concrete block with parging.

Finally, the health of the mature magnolia is very important, and the tree should be protected. Tree-saving measures should be taken before, during and after construction.

#### STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission approve the proposal, finding that the proposal is consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#### CONDITIONS:

- 1) The chimney should be built of brick.
- 2) The foundation should be parged concrete block or poured concrete with a smooth face.
- 3) Adequate and effective tree protection should be undertaken for the magnolia, including the use of a root protection mat over the area where the driveway will impact the roots; feeding the tree before and after construction according to the direction of a certified arborist with written confirmation to staff; and the use of adequate and effective tree protection including barrier fencing at tree driplines developed and enforced throughout construction period.
- 4) Use of single-car garage door no wider than 9'.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Anthony Segreti

DAYTIME TELEPHONE NO. (301) 996-4600

TAX ACCOUNT # 43-15-1020936

CONTRACT PURCHASER NAME OF PROPERTY OWNER Mark W. Raymond DAYTIME TELEPHONE NO. 202,471-5068

ADDRESS 2221 E. Lombard St. Baltimore MD 21231

CONTRACTOR To be determined CITY STATE ZIP CODE TELEPHONE NO. ( ) TBD

CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

Purchaser AGENT FOR OWNER Anthony Segreti DAYTIME TELEPHONE NO. (301) 996-4600

## LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 10300 block STREET Connecticut Ave. Kensington

TOWN/CITY Kensington NEAREST CROSS STREET Warner Street

LOT 19 BLOCK 4 SUBDIVISION R.B. Detrick's Subdivision

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE:  Construct  Extend  Alter/Renovate  Repair  Move  Wreck/Raze  Install  Revocable  Revision  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_

1B. CONSTRUCTION COST ESTIMATE \$ 250,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_

2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Anthony Segreti Signature of owner or authorized agent Date 3/7/97

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

No Existing Structures. Buildable residential  
lot with water and sewer taps installed  
by WSSC.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construction of a Single Family Residence  
that conforms in architectural style  
with the Victorian elements in the subdivision.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at

5

March 5, 1997

Robin Ziek  
M-NCP&PC, Design Zoning and Preservation  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

Dear Robin:

Enclosed are house elevations and a rendering of the front gable facade including the window treatment as decided by the contract purchasers on Lot19, Block 4 in RB Detrick's Subdivision, Kensington Maryland.

This Victorian theme implements double-hung windows of proportions typical for the period framed by a combination of fluted and flat board molding with rosettes. Second story windows will have decorative brackets or blocks at the top corners abutting the roof over-hang. Square raised or recessed panels will be set between the first and second story windows on front and side gables.

Front gables will implement a decorative triangular louver (attic vent) at each peak. The front gables will have a decorative shingled facade. The theme for the window molding will be carried out on the side exterior windows as well (see rendering). The horizontal siding on the house will be masonite (composite wood) with a decorative bead. A band board and water table will run the perimeter of house. Victorian type brackets will accent the front porch. Attached are picture examples of the above concepts.

Included is a revised site plan with a detached 1½ car garage behind the house. Note that the garage will not be fully visible from the road as it is located at the southwest corner of the lot behind the large tree. Please feel free to call me if you have any questions at (301) 996-4600.

Sincerely,



Anthony Segreti

6

March 17, 1997

Robin Ziek  
M-NCP&PC, Design Zoning and Preservation  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

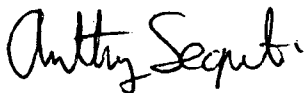
Dear Robin:

Enclosed is a copy of the likely floor plan to be used and a photograph of a front door scheme that the contract purchasers will implement for the new construction on Lot19, Block 4 in RB Detrick's Subdivision, Kensington Maryland. The transept may or may not be utilized but the half height side lights will be.

After discussing the concept of a brick chimney with the contract purchasers, initially they thought it to be cost prohibitive under their current budget. However, I am presently obtaining cost estimates and hope to convince them of the overall benefit despite the additional cost. I will keep you informed.

Please feel free to call me if you have any questions at (301) 996-4600.

Sincerely,



Anthony Segreti

7

Date: January 29, 1997

Subject: New residential construction Town of Kensington.

Address: Lot 19, Block 4 "R.B. Detrick's Subdivision of Kensington"  
Located in the 10300 block of Connecticut Avenue.

Applicants: Marita K. Liebegut and Mark W. Raymond  
2221 E. Lombard, Baltimore, Maryland 21231

**Setting**

Lot size: 6828 sq. feet per recorded subdivision plat.  
Lot Shape: Quadrilateral with 43 ft. frontal width, sides of 120 and 87 ft. and rear footage of 97 feet.  
Location: 10300 block of Connecticut Avenue.  
Utilities: Water and sewer taps installed in 1996 by WSSC.

**Proposal**

Style: Two story house with front-gabled roof exhibiting 19<sup>th</sup> and 20<sup>th</sup> century Victorian styles.

Footprint: 30'W x <sup>46</sup>42'D 1380 # House ; 320 # garage = 1700 # lot coverage

Lot coverage: 25% lot coverage

Set backs: Minimum of 50 feet from the Conn. Ave. Other minimum setbacks will be met without difficulty.

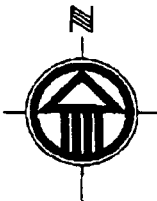
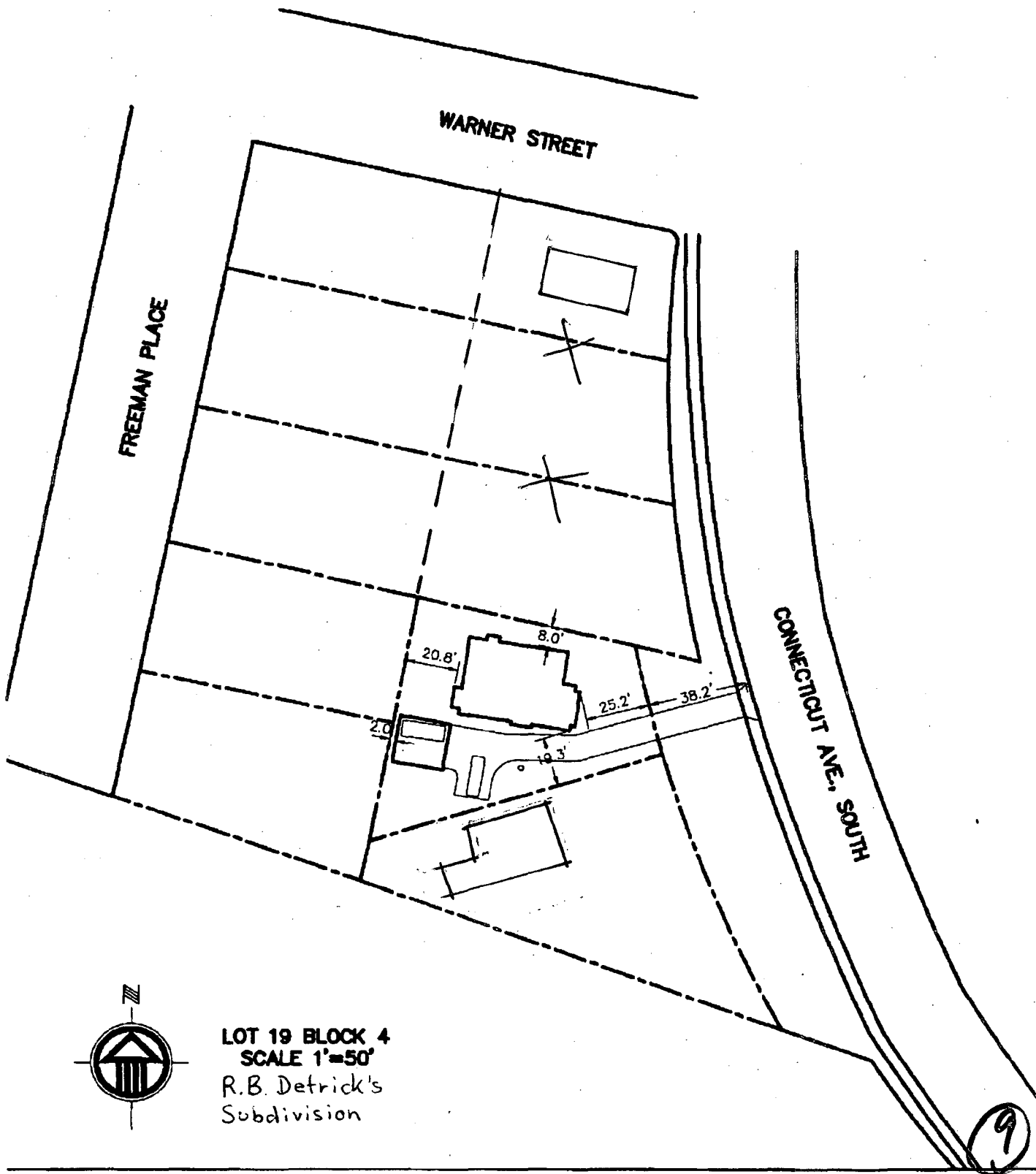
Materials: Concrete basement wall construction. Painted exterior hardboard siding or high quality vinyl on all sides. Some areas of the house front may be shingled. Front porch entrance. Possible brick skirt on house. Asphalt roof.

Colors: Typical for the period and style. Possibly black on gray or blue on light blue.

8



House, garage and driveway locations,  
Lot 19, Block 4, R.B. Detrick's Subdivision



LOT 19 BLOCK 4  
 SCALE 1"=50'  
 R.B. Detrick's  
 Subdivision

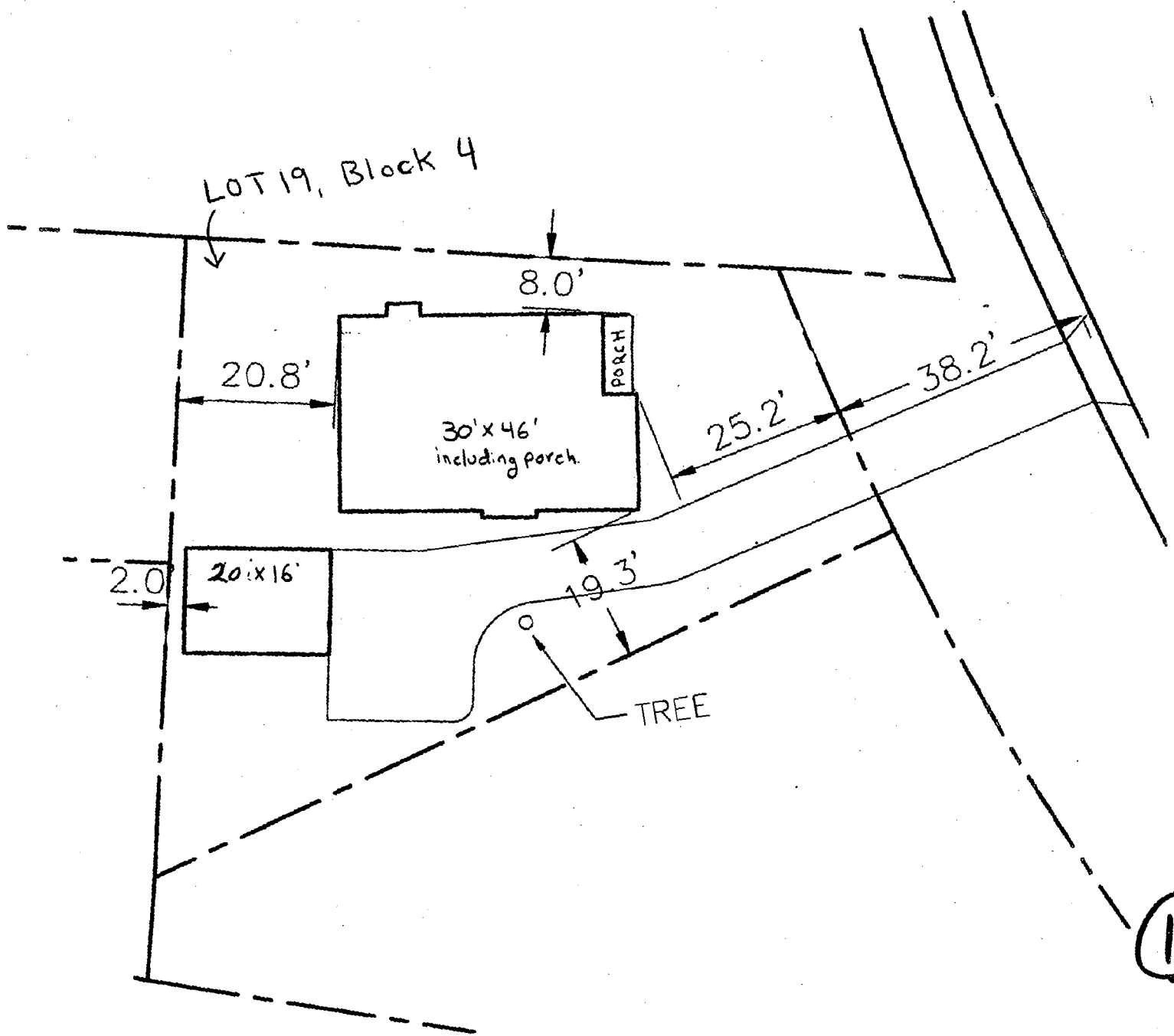
9

03/05/97 11:13

EYP, A&E



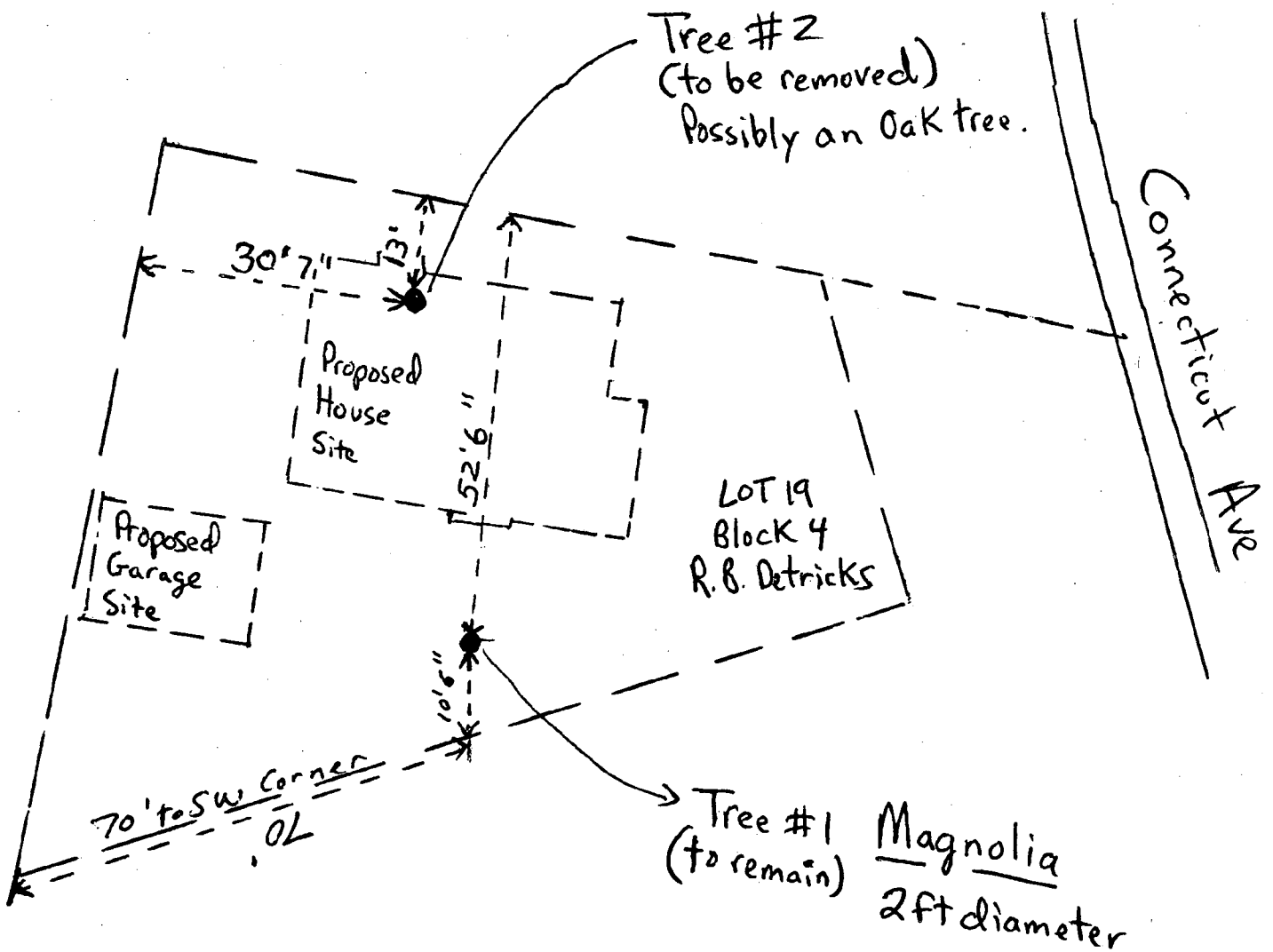
LOT 19, Block 4



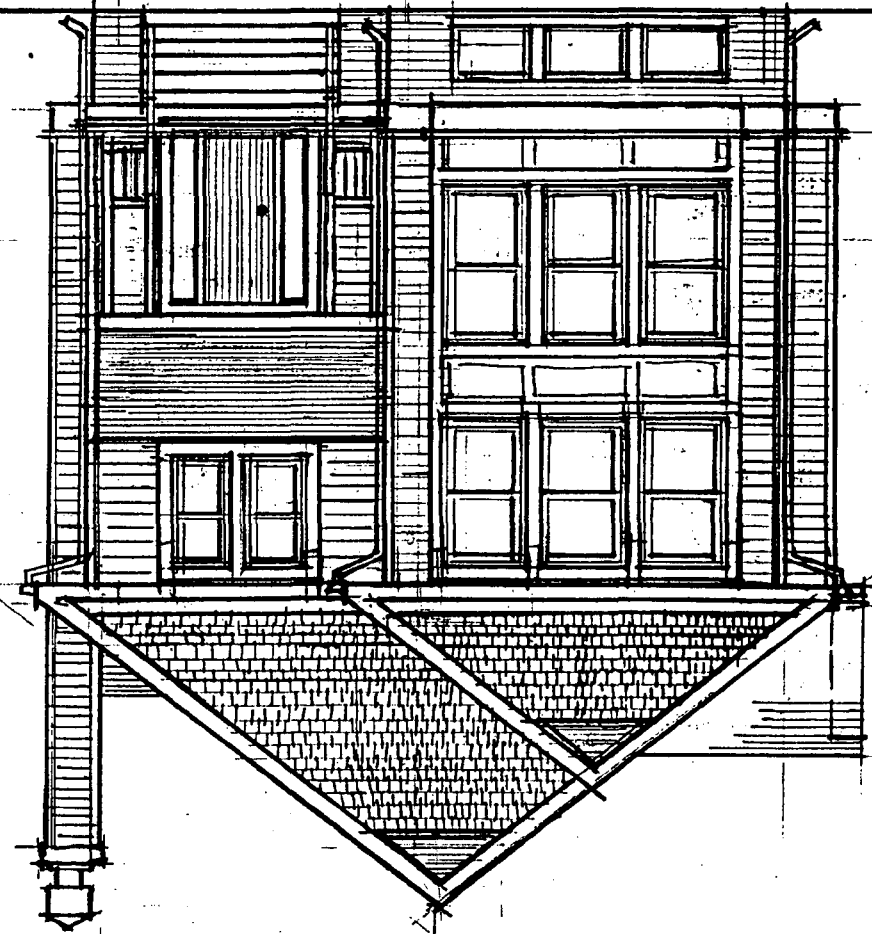
10

# Tree Locations

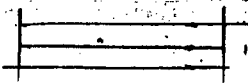
LOT 19, Block 4, R.B. Detrick's Subdivision



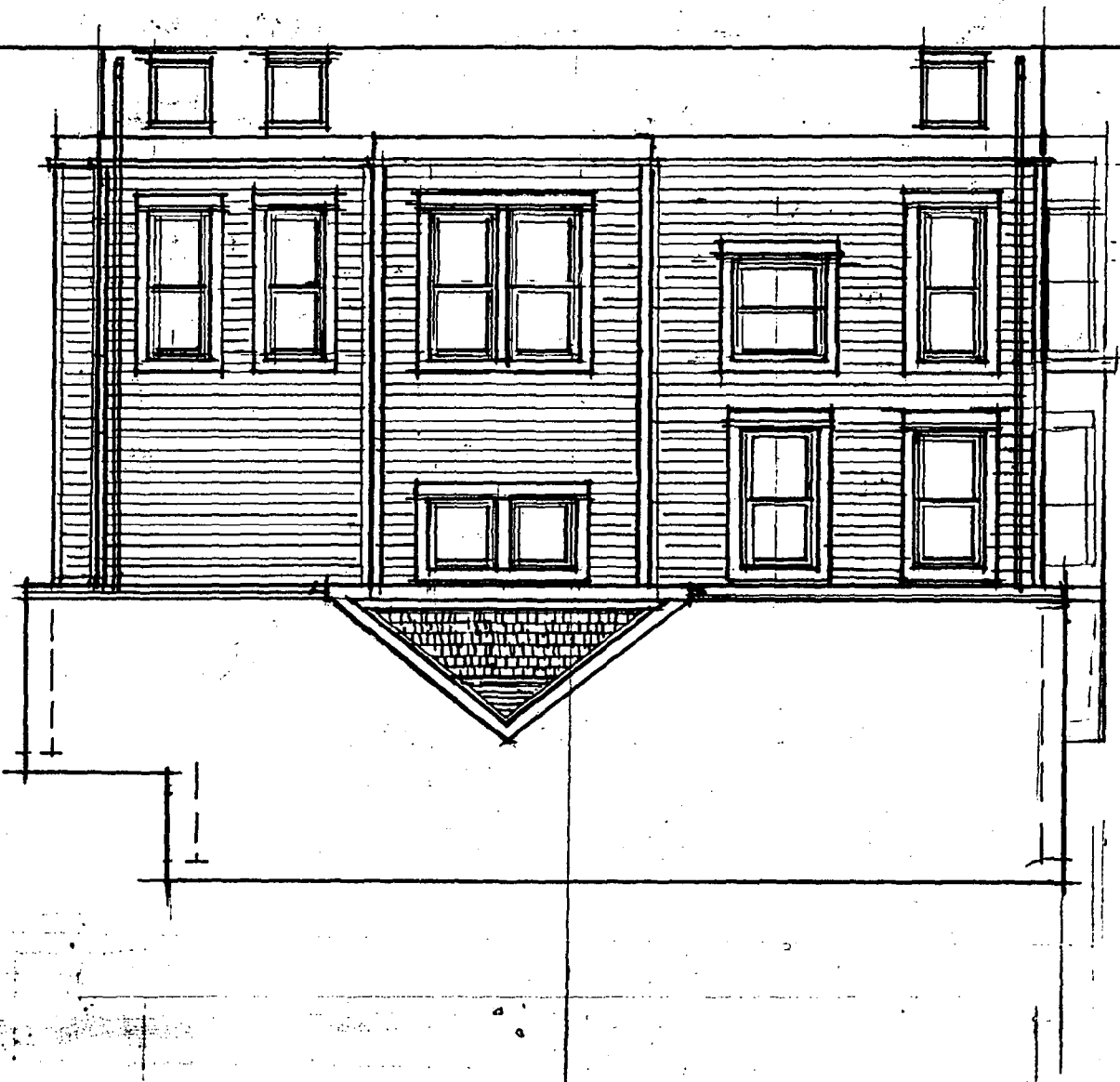
12



40

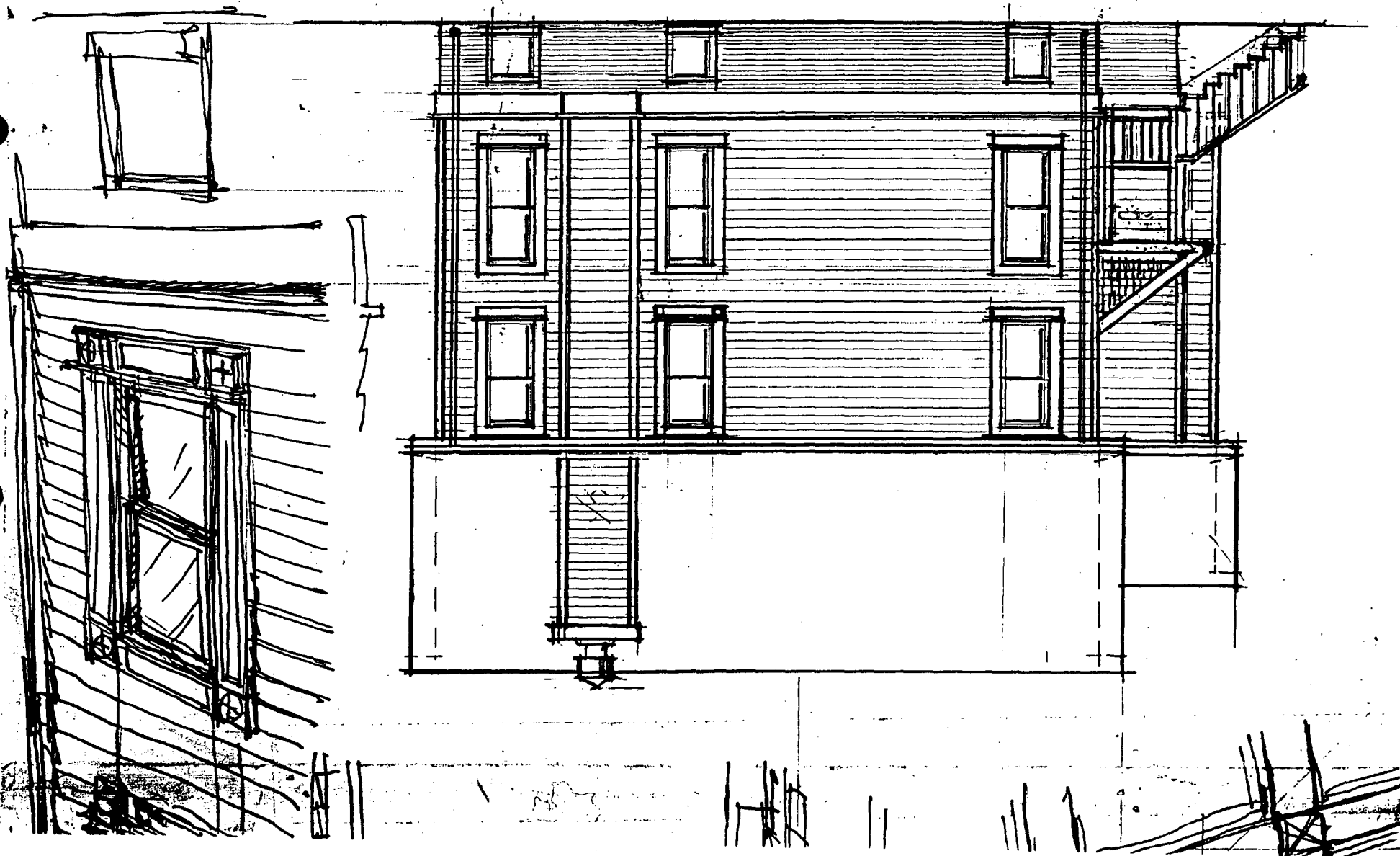


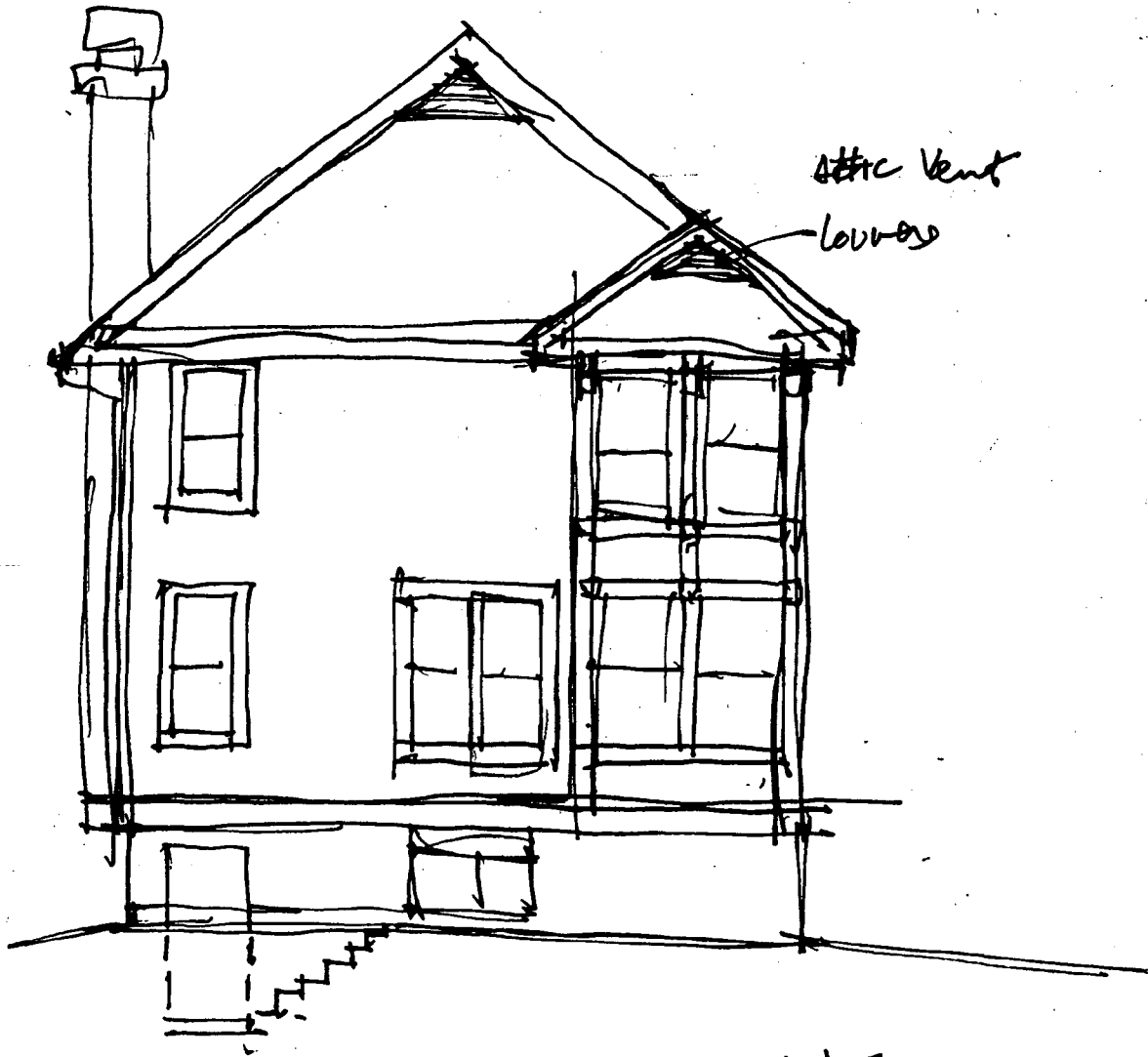
13



THAT  
WIDEN  
TREATMENT  
AT WINDOWS

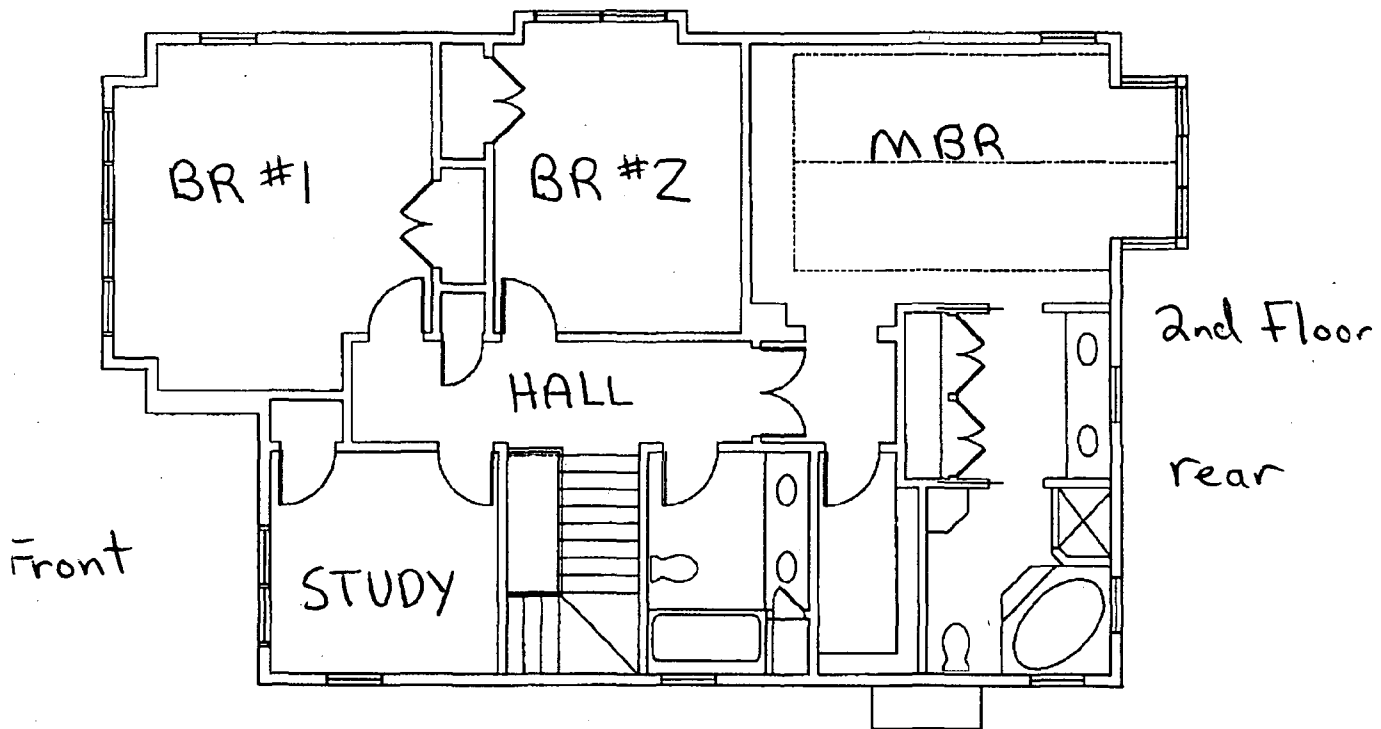
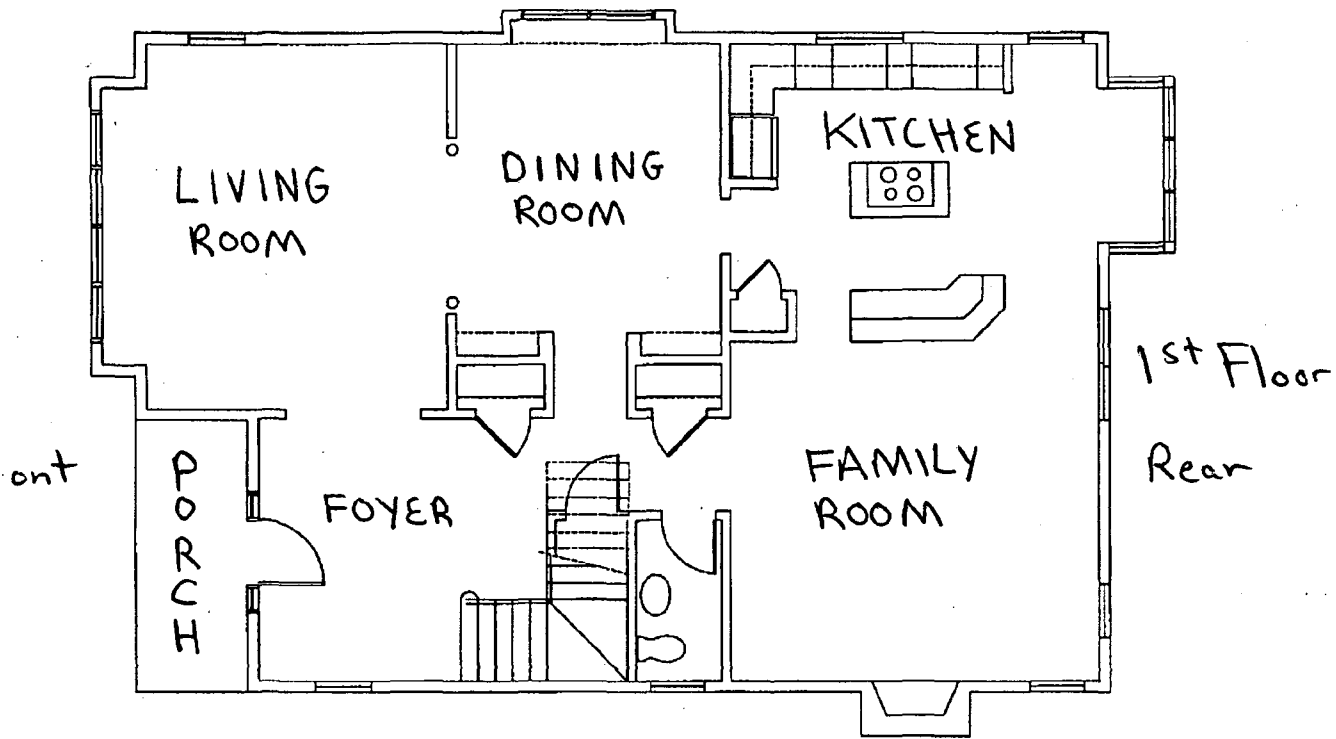
14





Attic Vent  
Louvers

REAR



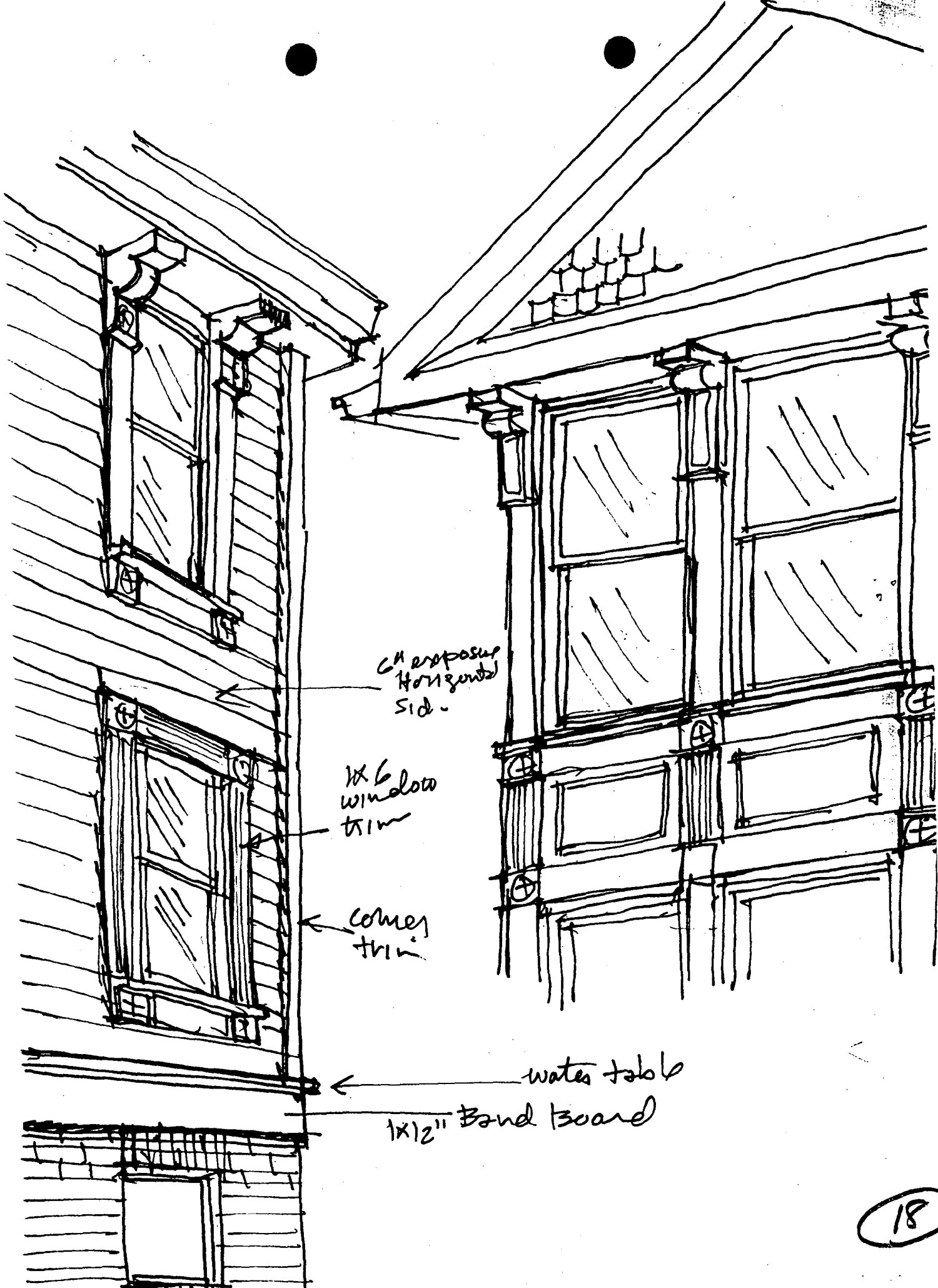
LIKELY Floor Plan for New Construction on  
 Lot 19, block 4, R.B. Detrick's Subdivision



March 17, 1997



Front Door Scheme for Lot 19, block 4  
R.B. Detrick's Subdivision.



CA exposure  
Horizontal  
Side

1x6  
window  
trim

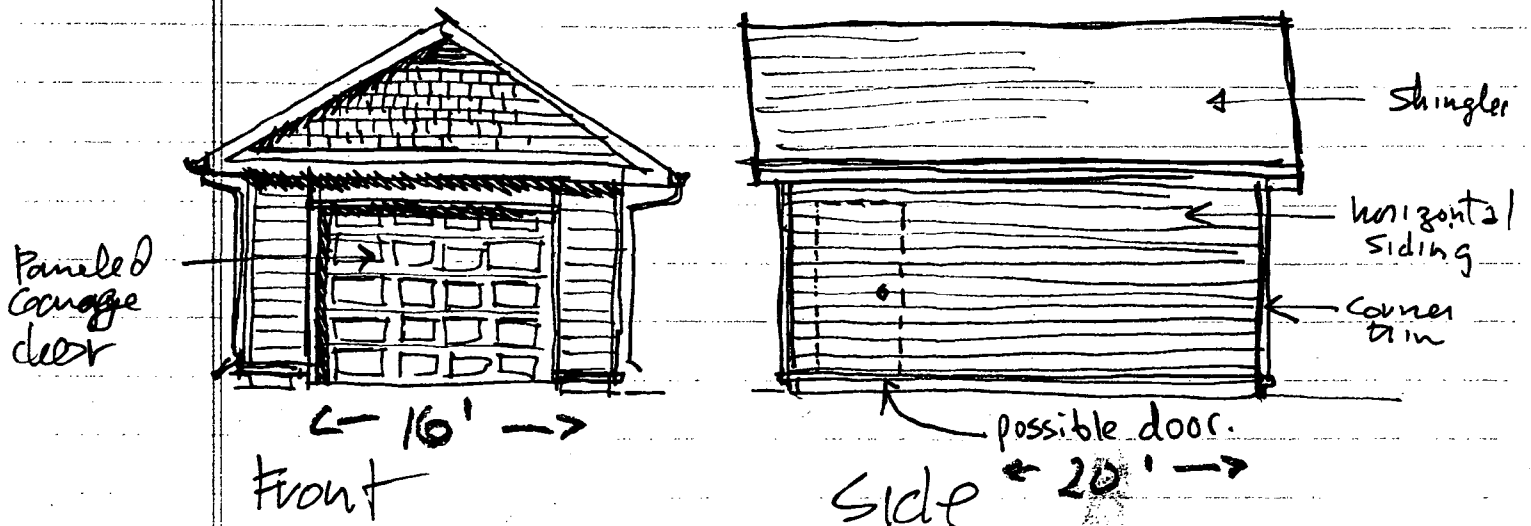
corner  
trim

water table

1x12" Band Board

LOT 99, Block 4, R.E. Detrick's Sub.

1/2 car - Detached garage. (at rear of lot)

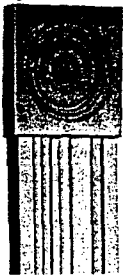


- Materials - Masonite wood siding w/ bead.  
- concrete slab.  
- Shingled front gable.  
- asphalt roof.

Contract Purchasers - Mark W. Raymond 202-471-5068  
Marita K. Liebegut

Agent - Anthony Segreti - 301-996-4600

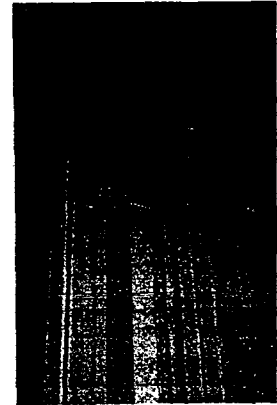
# WINDOW DOOR TRIM | BARREL VAULT



**No. 760R**  
Window/Door Trim  
Height: 92" with rosette attached.  
Width: 5"  
Matches Molding No. 760



**No. 753R**  
Window/Door Trim  
Height: 92" with rosette attached.  
Width: 6 1/4"  
Matches Molding No. 753



**No. 754R**



**No. 750R**  
Window/Door Trim  
Height: 92" with rosette attached.  
Width: 5 1/8"  
Matches Molding No. 750



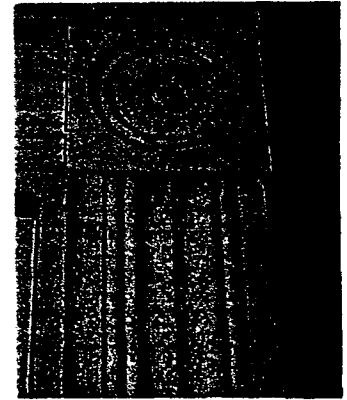
**No. 754R**  
Window/Door Trim  
Height: 85" with rosette attached.  
Width: 3 1/8"  
Matches Molding No. 754



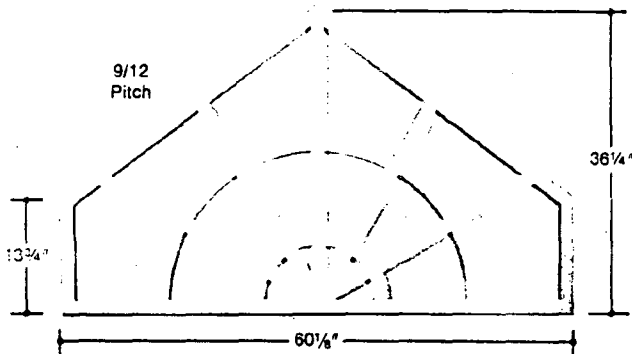
**No. 755R**  
Window/Door Trim  
Height: 85" with rosette attached.  
Width: 3 1/4"  
Matches Molding No. 755



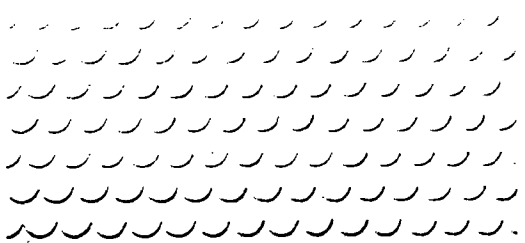
**No. 761R**  
Window/Door Trim  
Height: 113" with rosette attached  
Width: 6 1/2"  
Matches Molding No. 761



**No. 760R**

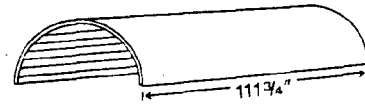


**No. 722** Window/Door Decoration

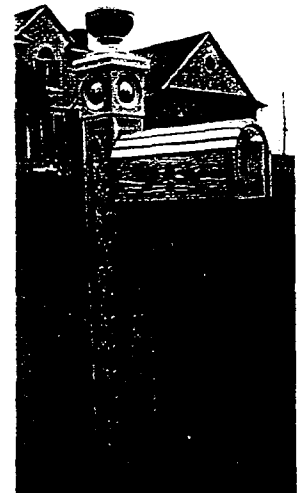


**No. 3032** Scallop Siding  
Length: 93" Height: 48" Projection: 1 1/4"  
Scallop Size: 5 1/2" x 2 1/4"

**No. 16**  
Barrel Vault  
I.D. 36"  
Shipped as two 90° Arcs

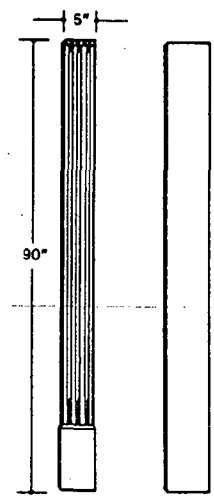


**No. 734** Plaque.  
**No. 16** Barrel Vault.  
**No. 862** Half Circle.

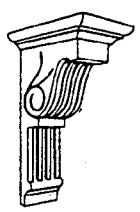


**No. 761R**

**SPECIALTY ENTRANCE FEATURES**



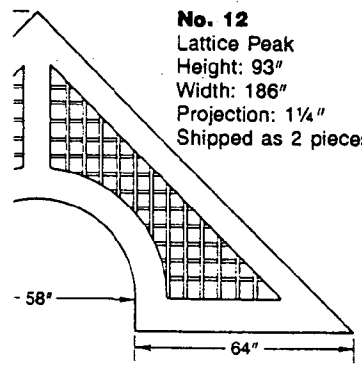
**Victorian Pilaster**



**No. 675**  
Fancy Bracket  
Height: 20"  
Width: 7 3/4"  
Projection: 11"

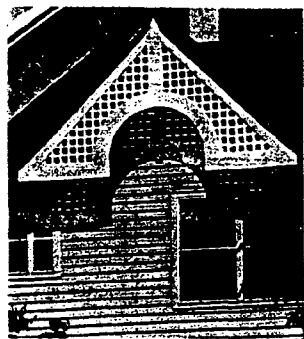
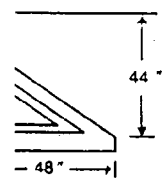
4 1/2" —  
4 1/2" —  
To  
Br  
The  
The V  
ing Br  
the Br  
Note:

**No. 1010**  
3/4" x 11"

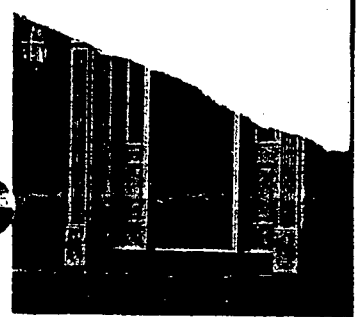


**No. 12**  
Lattice Peak  
Height: 93"  
Width: 186"  
Projection: 1 1/4"  
Shipped as 2 pieces.

No  
Do  
Pr



**No. 12 Lattice Peak.**



**No. 11 Custom Door Treatment.**

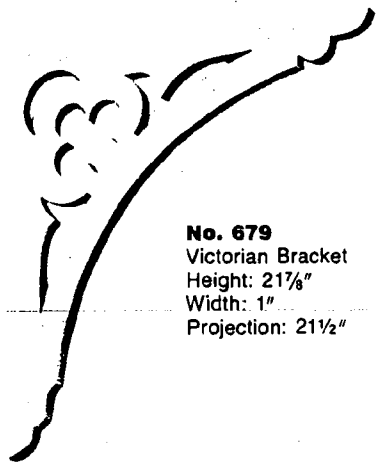


**No. 15 Peak with Half Circle cut out.**

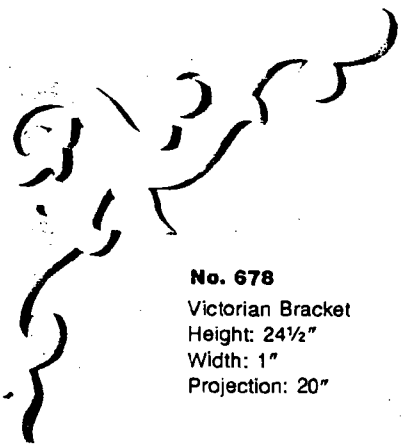


No.  
Cus  
Proj  
Use  
Ten

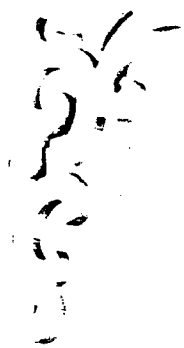
**BRACKETS**



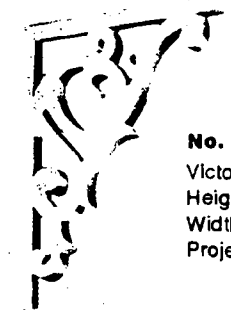
**No. 679**  
Victorian Bracket  
Height: 21 $\frac{7}{8}$ "  
Width: 1"  
Projection: 21 $\frac{1}{2}$ "



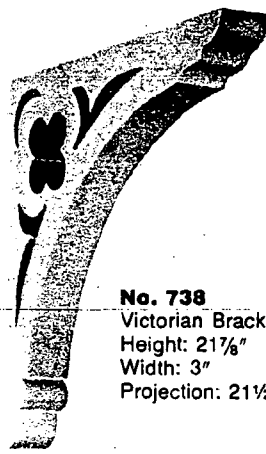
**No. 678**  
Victorian Bracket  
Height: 24 $\frac{1}{2}$ "  
Width: 1"  
Projection: 20"



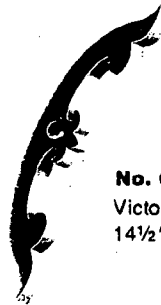
**No. 680**  
Victorian Bracket  
Height: 17 $\frac{1}{2}$ "  
Width: 1 $\frac{1}{4}$ "  
Projection: 18"



**No. 681**  
Victorian Bracket  
Height: 12 $\frac{1}{2}$ "  
Width: 1"  
Projection: 10 $\frac{1}{2}$ "



**No. 738**  
Victorian Bracket  
Height: 21 $\frac{7}{8}$ "  
Width: 3"  
Projection: 21 $\frac{1}{2}$ "



**No. 683**  
Victorian Bracket  
14 $\frac{1}{2}$ " x 14 $\frac{1}{2}$ " x 1"



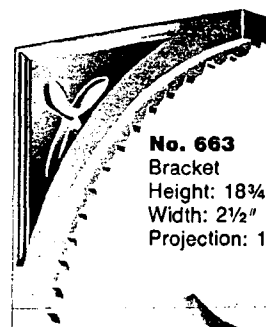
**No. 638**  
Bracket  
Height: 15 $\frac{1}{2}$ "  
Width: 2 $\frac{1}{2}$ "  
Projection: 11"



**No. 637**  
Bracket  
Height: 10 $\frac{1}{4}$ "  
Width: 2 $\frac{1}{8}$ "  
Projection: 7 $\frac{1}{8}$ "

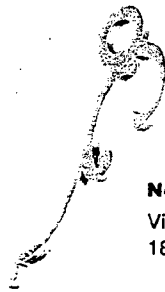


**No. 697**  
Curly Bracket  
12" x 7 $\frac{3}{4}$ " x 1"



**No. 663**  
Bracket  
Height: 18 $\frac{3}{4}$ "  
Width: 2 $\frac{1}{2}$ "  
Projection: 18 $\frac{1}{4}$ "

**No. 665**  
Bracket  
Height: 21"  
Width: 1"  
Projection: 17"



**No. 682**  
Victorian Scroll  
18 $\frac{3}{4}$ " x 9 $\frac{1}{4}$ " x  $\frac{3}{4}$ "

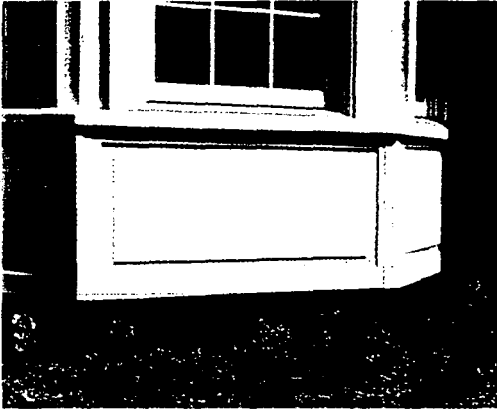


**No. 680 Bracket. No. 682 Scroll.**

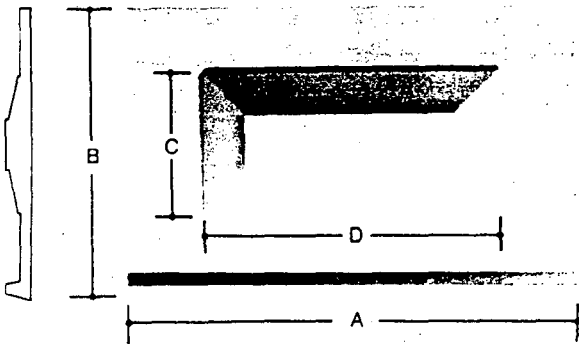


**No. 640 Bracket.**

# WINDOW PANELS

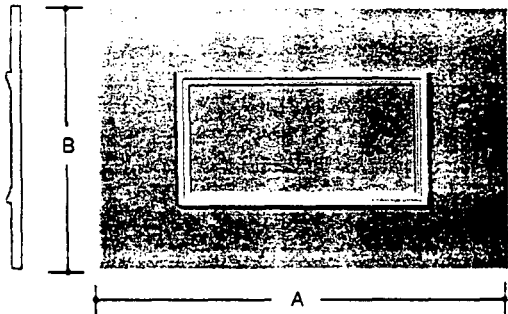


**No. 950 Window Panel. No. 981L-30**  
Brick Mold Corner.



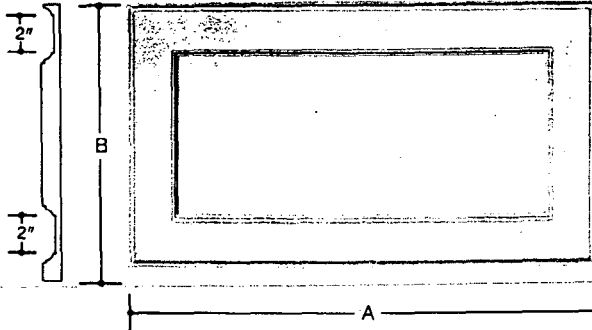
**No. 951**  
Flat Panel with Center Panel and Sill

A	B	Center Panel	
		C	D
22"	23 1/2"	11"	11"
36"	35"	22"	24"
36"	45 1/2"	32 1/2"	24"
37 5/8"	24"	11 3/4"	24 5/8"
44"	41"	33"	37 1/2"
44"	44"	36"	37"
44 1/2"	48"	40"	37 1/2"
45 1/4"	24"	11 3/4"	24 5/8"
40"	43"	34"	32"
44"	43"	34"	36"
72"	43"	34"	64"
48"	43"	34"	40"



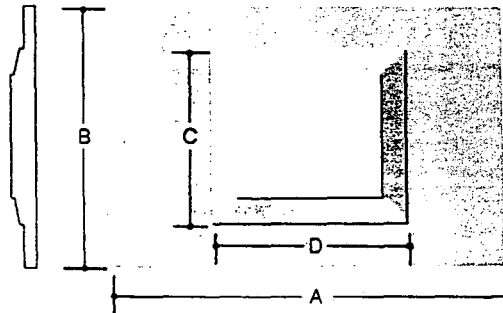
**No. 954**  
Flat Panel with Picture Molding, No Sill

A	B	Picture Molding
66"	39"	19" x 36"



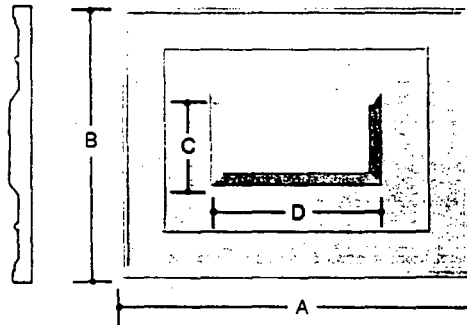
**No. 952**  
Raised Panel with Cove Molding and Bottom Sill

A	14 1/2"	28 1/2"	28 1/2"	36"	38 1/2"	39 1/4"	40"	41"	72"	76"	80"
B	29"	14 1/2"	38 1/2"	21 3/8"	29"	21"	40"	21 3/8"	21 3/8"	40"	21 3/8"



**No. 955**  
Flat Panel with Center Panel, No Sill

A	B	Center Panel	
		C	D
23 1/4"	12 5/8"	8 1/4"	18 7/8"
34"	25"	13"	22"
37 1/2"	37 1/2"	15 3/4"	23 1/2"
39 1/4"	12 5/8"	8 1/4"	34 7/8"
34"	42"	22"	30"
43 1/2"	12 5/8"	8 1/4"	39 1/8"
45 7/8"	23 1/4"	18 7/8"	41 1/2"
45 7/8"	39 1/4"	34 7/8"	41 1/2"
51"	34"	22"	39"
55"	36"	24"	27"
58"	34"	22"	46"
72 1/4"	54 3/8"	38 7/8"	56 3/4"
81"	12 5/8"	8 1/4"	76 5/8"
81"	45 7/8"	41 1/2"	76 5/8"



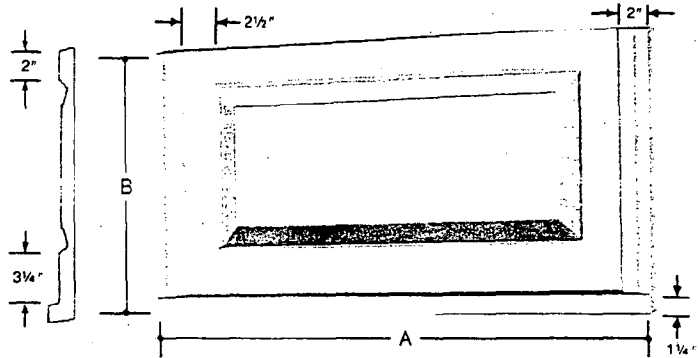
**No. 956**  
Flat Panel with Center Panel, 2" Side Trim

A	B	Center Panel	
		C	D
39 1/2"	22 1/4"	9 1/4"	26 1/2"
50 7/8"	39 1/2"	13"	12 1/2"

# WINDOW PANELS



No. 950 Panel



**No. 950** Raised panel with 2" Brick Mold and Bottom Sill.

**Note:** For clad window units without wood brick mold specify panel width. Brick Molding on panel will be trimmed to fit size.  
 Example — 40" x 18" trimmed to 37<sup>5</sup>/<sub>8</sub>" x 18"

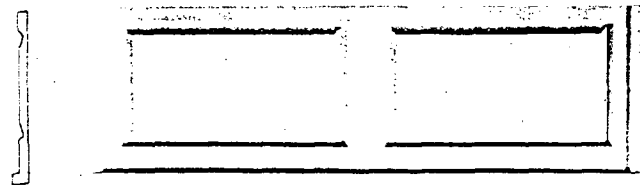


No. 952 Panel, No. 855K Window Head.  
 No. 840 Molding.

A	B	A	B	A	B	A	B
24"	13"	24"	18"	24"	26"	24"	34"
28"	13"	28"	18"	28"	26"	28"	34"
30"	13"	30"	18"	30"	26"	30"	34"
32"	13"	32"	18"	32"	26"	32"	34"
36"	13"	36"	18"	36"	26"	36"	34"
40"	13"	40"	18"	40"	26"	40"	34"
42"	13"	42"	18"	42"	26"	42"	34"
44"	13"	44"	18"	44"	26"	44"	34"
48"	13"	48"	18"	48"	26"	48"	34"
52"	13"	52"	18"	52"	26"	52"	34"
56"	13"	56"	18"	56"	26"	56"	34"
60"	13"	60"	18"	60"	26"		
64"	13"	64"	18"	64"	26"	48"	48"
68"	13"	68"	18"	68"	26"	59"	30 <sup>1</sup> / <sub>2</sub> "
72"	13"	72"	18"	72"	26"	59"	45 <sup>5</sup> / <sub>8</sub> "
76"	13"	76"	18"	76"	26"	64"	20"
80"	13"	80"	18"	80"	26"	67 <sup>1</sup> / <sub>4</sub> "	53 <sup>7</sup> / <sub>8</sub> "
84"	13"	84"	18"	84"	26"	70"	59"
88"	13"	88"	18"	88"	26"	71 <sup>1</sup> / <sub>4</sub> "	50 <sup>3</sup> / <sub>2</sub> "
92"	13"	92"	18"	92"	26"	72"	20"
96"	13"	96"	18"	96"	26"		
100"	13"	100"	18"	100"	26"		
104"	13"	104"	18"	104"	26"		



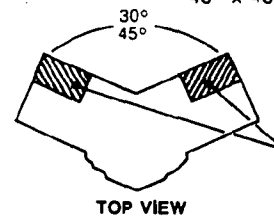
No. 950 Panel, No. 907 Molding.



**No. 950DP**  
 Double Raised Panel 24" x 76"

**No. 950B** (Not Shown)  
 Raised Panel with 2" Brick Mold, all sides. 40" x 43<sup>3</sup>/<sub>4</sub>" 46" x 35"  
 40" x 53<sup>3</sup>/<sub>4</sub>" 46" x 38"  
 48" x 48"

**No. 981L-30**  
**No. 981L-45**  
 Brick Mold Corner  
 for angle bay window.  
 Length: 72"



Can be rabbeted for panel. Specif;

24



Date: February 13, 1997

To: Robin Ziek, M-NCPPC

From: Anthony Segreti

Subject: Neighbors adjacent to Lot 19, Block 4 in "R.B. Detrick's  
Subdivision of Kensington" for contract purchasers -  
Marita K. Liebegut and Mark W. Raymond

**Adjacent Properties:**

- 1) Surfs, Inc.  
10308 Connecticut Avenue  
Kensington, MD 20895
- 2) Gilbert E. and M. L. Prine  
3820 Warner Street  
Kensington, MD 20895
- 3) Bernard and J. T. Didinsky  
10309 Freeman Place  
Kensington, MD 20895
- 4) Clarence I. Gessford  
10313 Freeman Place  
Kensington, MD 20895
- 5) Charles R. Hollowell  
10311 Freeman Place  
Kensington, MD 20895

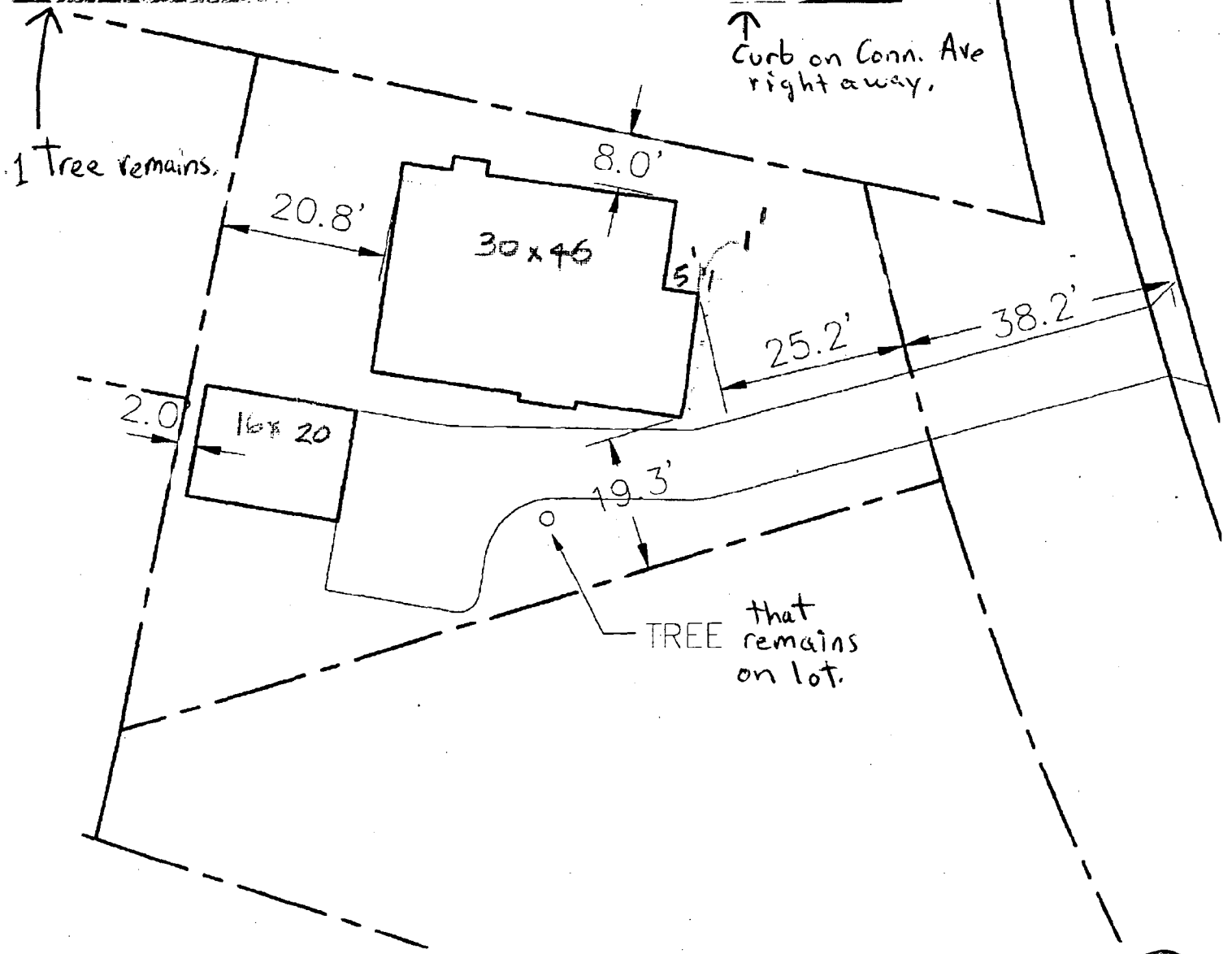
Please call me if you have any questions. I look forward to meeting you on  
Tuesday, February 18, 1997 at 10:00 a.m. at the property.

25

Trees on Lot



← Necessary removal of tree #2



Lot 19 Block 4  
R. B. Detrick's Subdivision

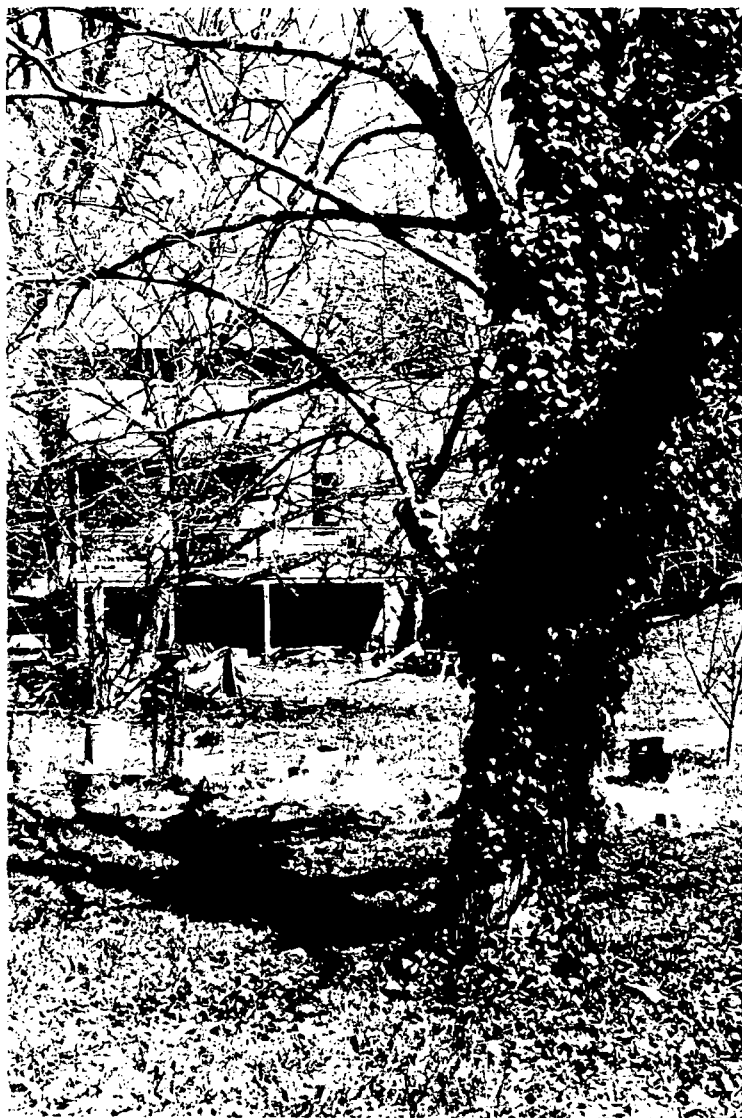
26



Adjacent  
neighbours on  
west side  
of Lot 19



REAR YARD  
NEIGHBORES

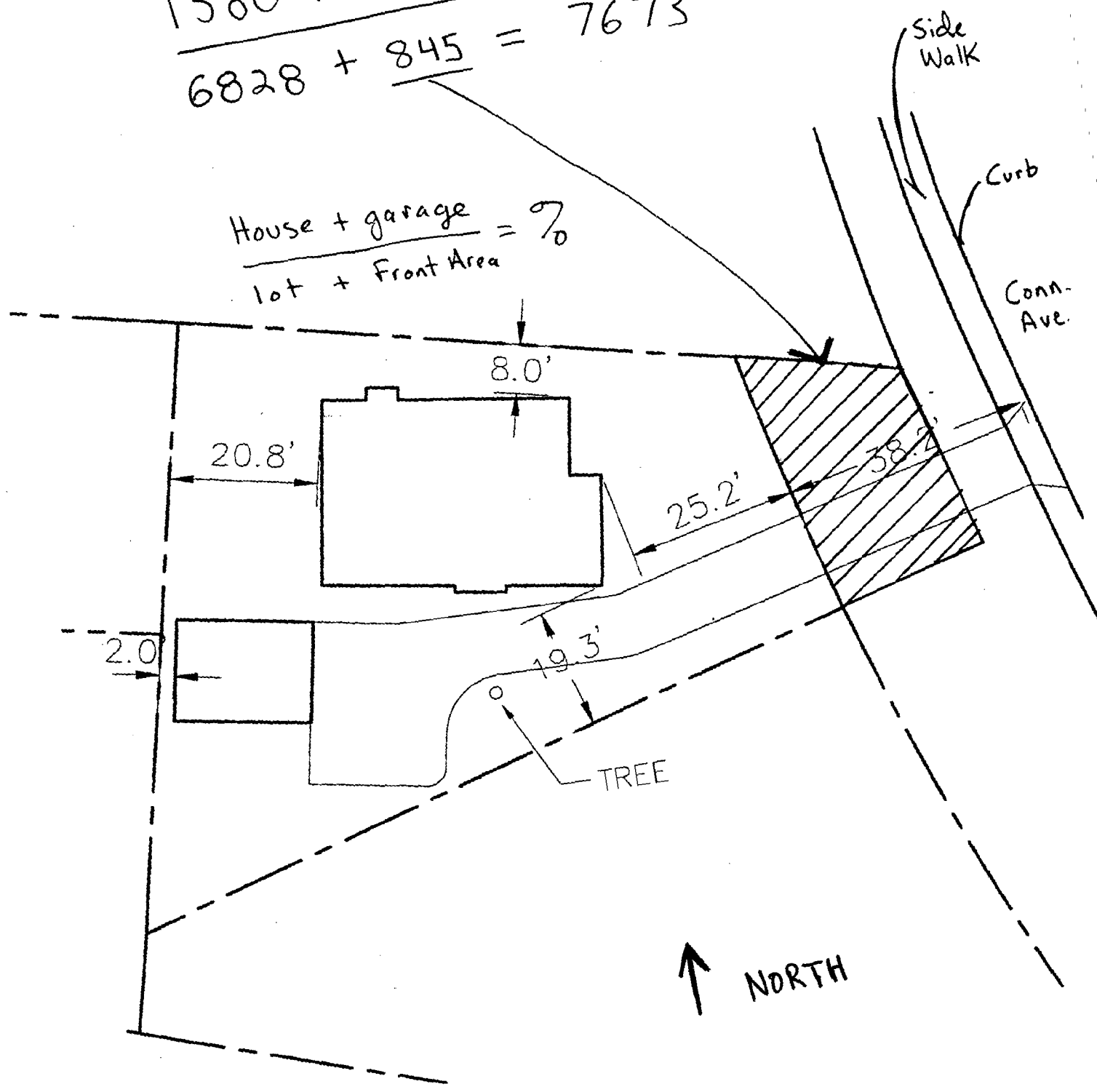


← Adjacent  
neighbour on  
north side of  
Lot 19 Block 4  
R. B. Detrick Subdivision

LOT 19, block 4, RB Detrick's Subdivision

$$\frac{1380 + 320}{6828 + 845} = \frac{1700}{7673} = \underline{\underline{22\%}}$$

$$\frac{\text{House + garage}}{\text{lot + Front Area}} = \%$$



\*\* PUBLIC RECORD \*\*

Tax ID#: 2772917 County: MC
PROPERTY ADDRESS: 10309 FREEMAN PL, KENSINGTON, MD 20895-3915
Legal/Recorded Subdivision: KENSINGTON
Incorporated City: KENSINGTON
OWNER: Phone #: (301) 946-4988 Abs Owner: N
Company: BERNARD DIDINSKY ET AL TR

MAIL ADDRESS: 10309 FREEMAN PL, KENSINGTON, MD 20895-3915

LEGAL DESCRIPTION: IMPS R B DETRICK SUB

Mag/Dist #: 13 Lot: 21 Block/Square: 4 Tax Map:
Elec Dist: 13 Legal Unit #: Grid: 0000 Map: HP43
TOTAL TAX BILL: \$5,082 County Tax: \$3,257 City Tax: \$740 Levy Yr: 1996
Front Foot Fee: \$115 Spec Tax Assmt: \$884 Refuse: \$86 Rate: 2.70
Tax Class: Homestd/Exempt Status:

ASSESSMENT

Table with 6 columns: Year Assessed, Total Tax Value, Land, Improvement, Land Use, Taxable Assessment. Rows include 1994, Previous, and Early data.

DEED Deed Liber: 11752 Deed Folio: 582 Deed Type:
Transfer Date Price Grantor Grantee
09-SEP-1993 \$0 BERNARD & J T DIDINSKY BERNARD DIDINSKY ET AL TR

PROPERTY DESCRIPTION

Year Built: 1989 Zoning: R60 Census Trct/Blck: 704200/2 Irregular Lot:
Square Feet: 6,323 Acreage: 0.15 Land Use: Residential
Prop Class: R
Prop Use Code: RESIDENTIAL
Building Use: RESIDENTIAL

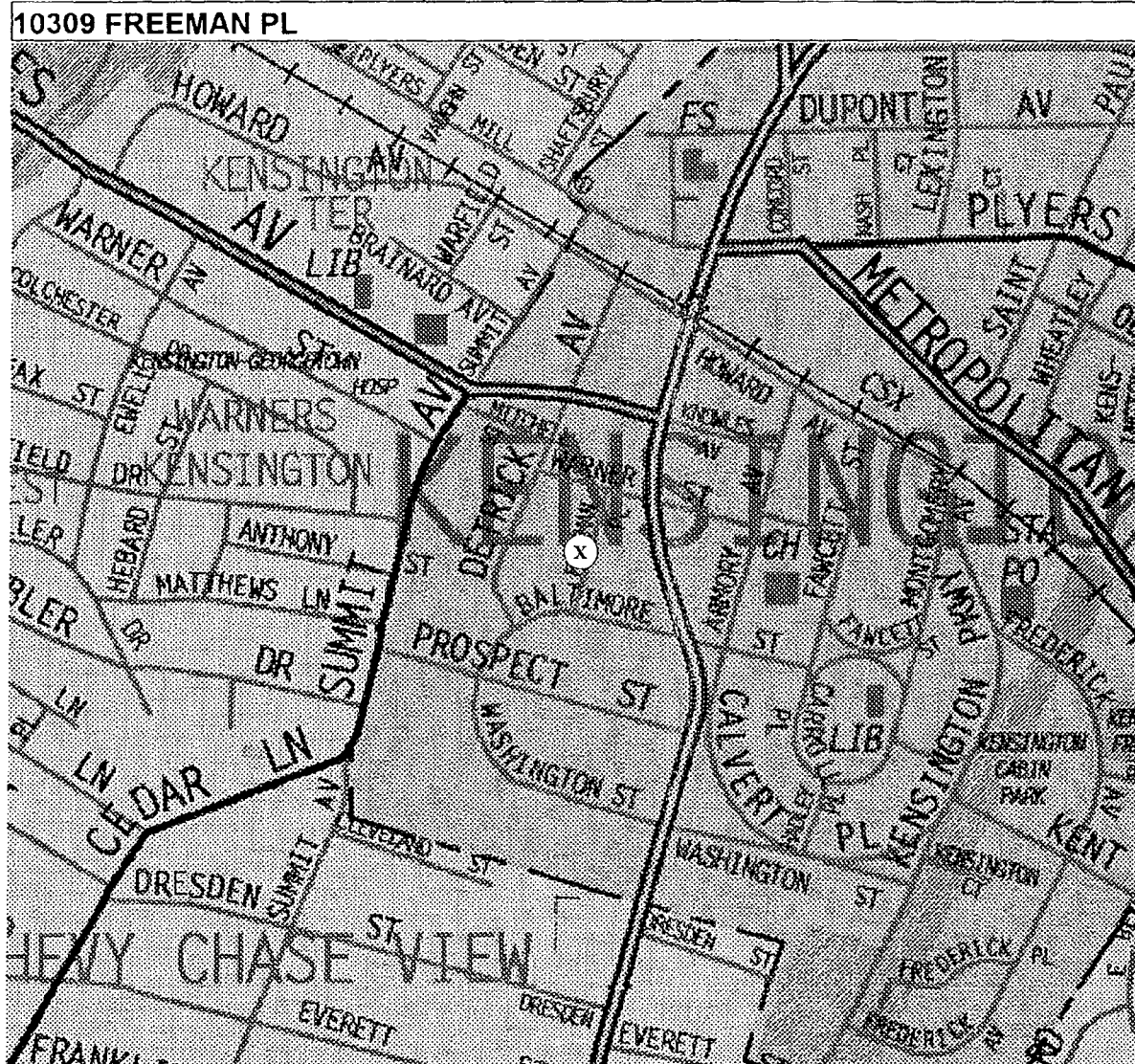
STRUCTURE DESCRIPTION

Construction Section 1 Section 2 Section 3 Section 4 Section 5
Story Frame
Area 2,720
Ext Wall: Wood Roofing: Shingle - Composite Foundation:
Stories: 2B Units: 1 Style: Year Remodeled:
Total Building Area: Living Area: 2,720 Base Sq Ft: 1,360 Model/Unit
Type: SINGLE FAMILY
Patio/Deck Type: DECK Sq Ft: 220 Porch Type: 1 STORY OPEN Sq Ft: 105
Rooms: Bsmt Type: Not Specified Fireplaces: 2 Garage Type: Built In
Bedrooms: Bsmt Tot Sq Ft: Fireplace Type: Garage Sq Ft: 440
Full Baths: 3 Bsmt Fin Sq Ft: Attic Type: Garage Const.:
Half Baths: 1 Bsmt Unfin Sq Ft: Attic Sq Ft: Garage Spaces:
Baths: 3.5
Gas: Heat: Hot Sewer:
Electric: Water: Underground:

Handwritten calculation: 1360 ÷ 6323 = 21.51%

Property Type: Residential

Search Map



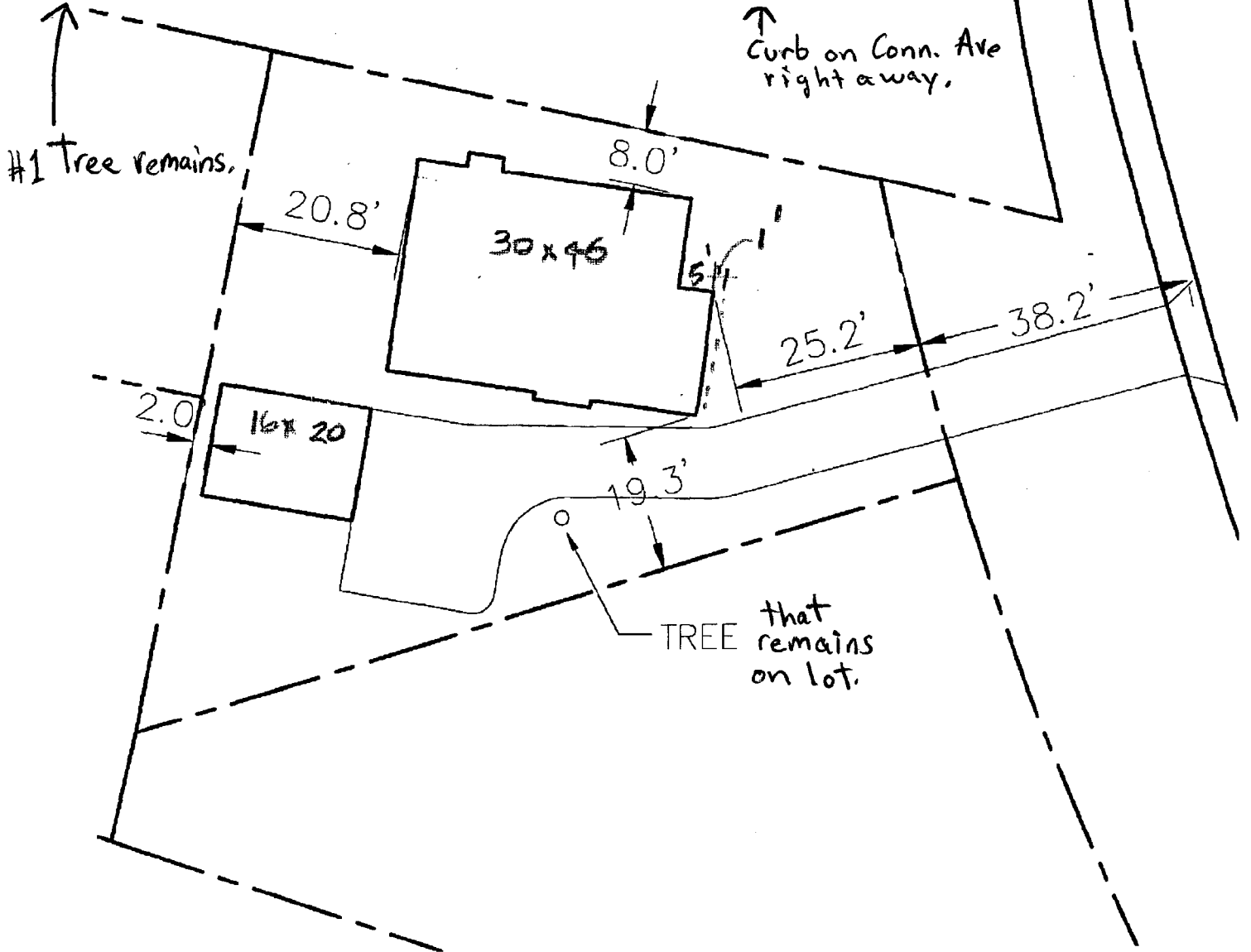
mid1 - ©1996 Thomas Bros. Maps

Metropolitan Regional Information Systems, Inc.:  
Information is believed to be accurate but  
should not be relied upon without verification.

Trees on Lot



← Necessary removal of tree #2





Adjacent  
neighbours on  
west side  
of Lot 19



← Adjacent  
neighbour on  
north side of  
Lot 19 Block 4  
R. B. Detrick Subdivision



March 17, 1997

Robin Ziek  
M-NCP&PC, Design Zoning and Preservation  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

Dear Robin:

Enclosed is a copy of the likely floor plan to be used and a photograph of a front door scheme that the contract purchasers will implement for the new construction on Lot 19, Block 4 in RB Detrick's Subdivision, Kensington Maryland. The transept may or may not be utilized but the half height side lights will be.

After discussing the concept of a brick chimney with the contract purchasers, initially they thought it to be cost prohibitive under their current budget. However, I am presently obtaining cost estimates and hope to convince them of the overall benefit despite the additional cost. I will keep you informed.

Please feel free to call me if you have any questions at (301) 996-4600.

Sincerely,



Anthony Segreti

March 17, 1997



Front Door Scheme For Lot 19, block 4  
R.B. Detrick's Subdivision.

Date: February 19, 1997

To: Robin Ziek, M-NCPPC

From: Anthony Segreti *AS*

Subject: Withdrawal of scheduled preliminary hearing with the HPC on February 26, 1997 for new construction on Lot 19, Block 4 in "R.B. Detrick's Subdivision of Kensington" for contract purchasers - Marita K. Liebegut and Mark W. Raymond

I have spoken with the contract purchasers and they are in favor of withdrawing from the preliminary meeting scheduled for February 26, 1997 and rescheduling on March 26, 1997 for a full hearing for a work permit in a historic district.

As we discussed, I will contact you soon to review house renderings, site plans, and material lists as proposed by the contract purchasers and their architect.

January 29, 1997

Ms. Gwen Marcus-Wright  
Design, Zoning and Preservation Division  
Historic Preservation Commission  
The Maryland-National Capital Park and  
Planning Commission  
1109 Spring Street, 8<sup>th</sup> Floor  
Silver Spring, Maryland 20910

Dear Ms. Marcus-Wright:

Please find enclosed a preliminary proposal for new residential construction on Lot 19, Block 4 in the subdivision known as "R.B. Detrick's Subdivision of Kensington" in Montgomery County, Maryland. The property is located in the 10300 block of Connecticut Avenue.

I am a consultant for the prospective owners of the property and house to be built. At the current time, they are interviewing area builders and anticipate making a selection by the early March, 1997.

We look forward to your recommendations on our proposal. You may contact me at (301) 996-4600 if you have any questions.

Sincerley,



Anthony J. Segreti

Date: January 29, 1997

Subject: New residential construction Town of Kensington.

Address: Lot 19, Block 4 "R.B. Detrick's Subdivision of Kensington"  
Located in the 10300 block of Connecticut Avenue.

Applicants: Marita K. Liebegut and Mark W. Raymond  
2221 E. Lombard, Baltimore, Maryland 21231

### **Setting**

Lot size: 6828 sq. feet per recorded subdivision plat.

Lot Shape: Quadrilateral with 43 ft. frontal width, sides of 120 and 87 ft. and rear footage of 97 feet.

Location 10300 block of Connecticut Avenue.

Utilities: Water and sewer taps installed in 1996 by WSSC.

### **Proposal**

Style: Two story house with front-gabled roof exhibiting 19<sup>th</sup> and 20<sup>th</sup> century Victorian styles.

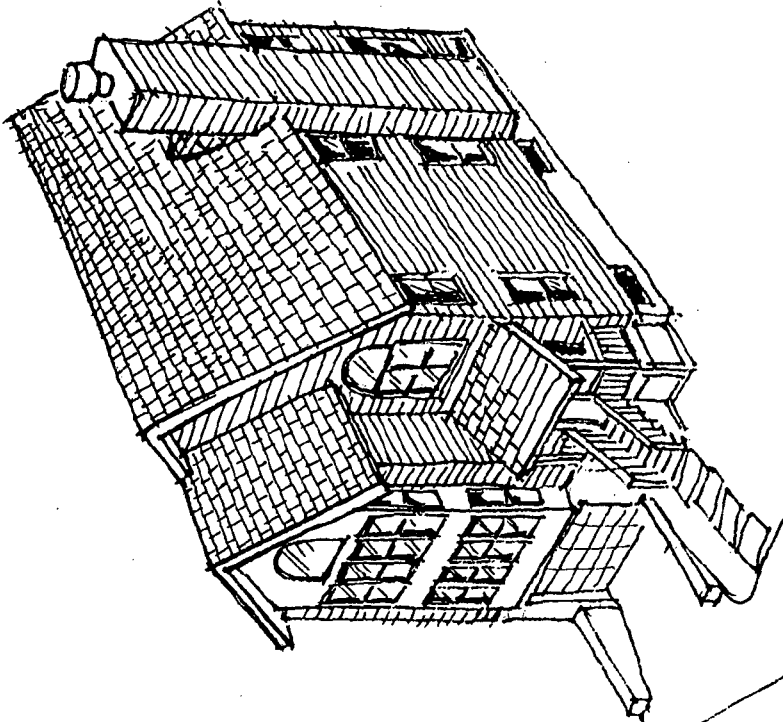
Footprint: 30'W x 42'D

Lot coverage: 18.45%

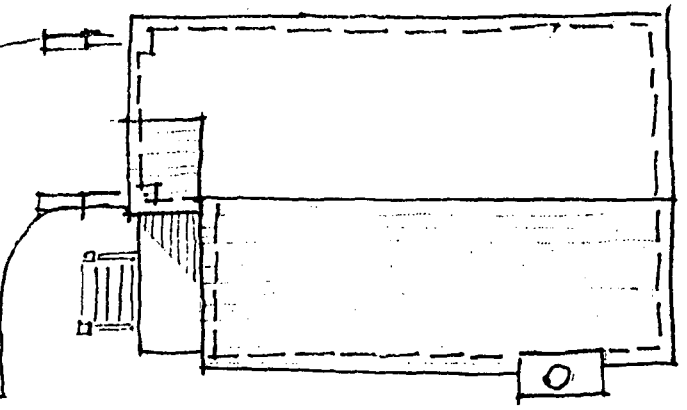
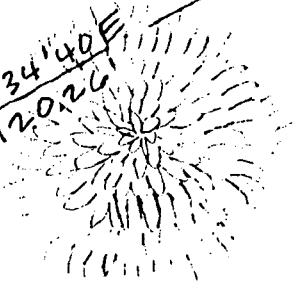
Set backs: Minimum of 50 feet from the Conn. Ave. Other minimum setbacks will be met without difficulty.

Materials: Concrete basement wall construction. Painted exterior hardboard siding or high quality vinyl on all sides. Some areas of the house front may be shingled. Front porch entrance. Possible brick skirt on house. Asphalt roof.

Colors: Typical for the period and style. Possibly black on gray or blue on light blue.



N 73°34'40" E  
120.26



97.36  
N 11°41'20" E

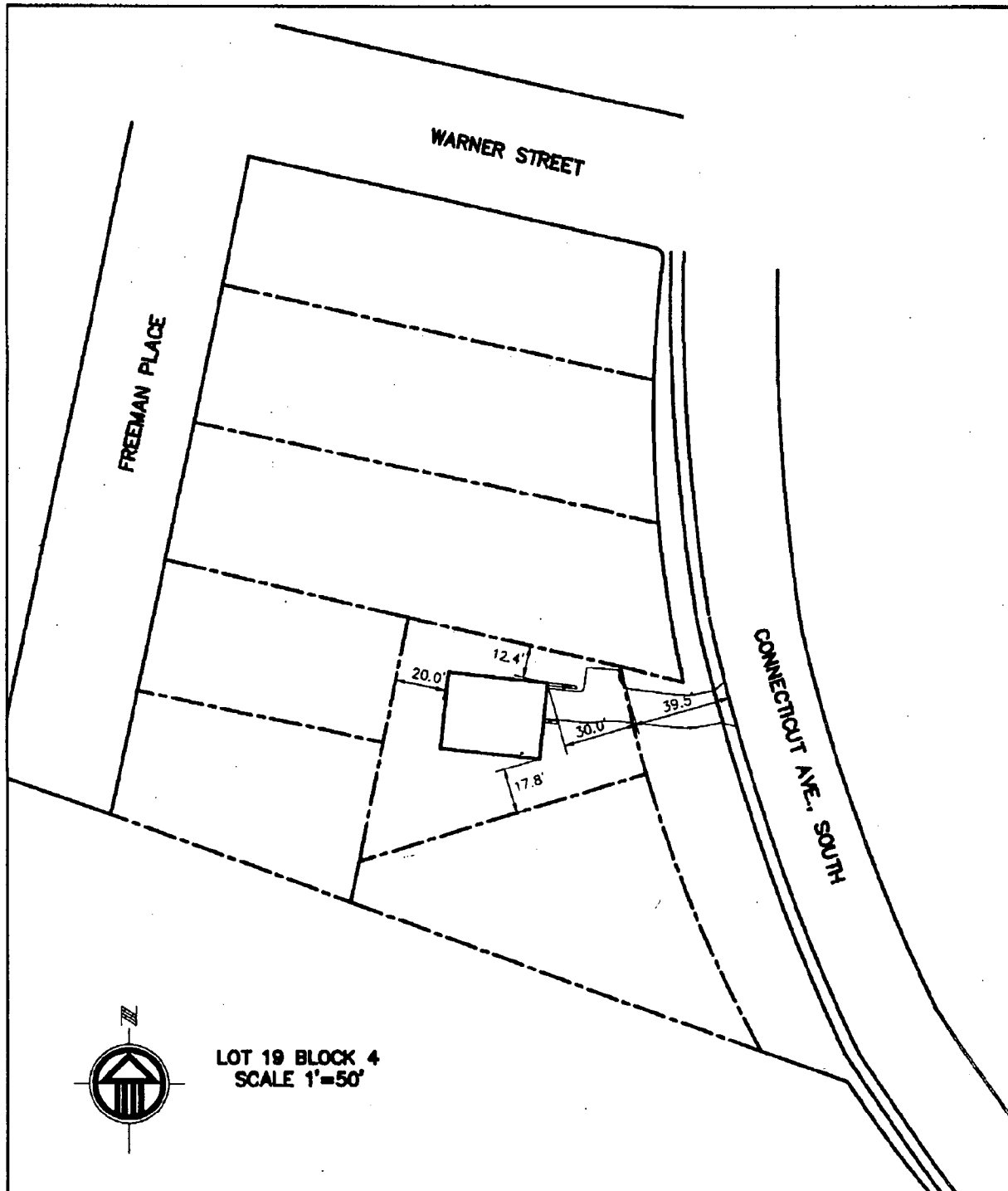
87.49  
S 77°02'20" E

0.31

Date: January 29, 1997

Site: Lot 19, Block 4 in RB Detrick's Subdivision of Kensington.

Subject: Possible house location.



January 29, 1997

Ms. Gwen Marcus-Wright  
Design, Zoning and Preservation Division  
Historic Preservation Commission  
The Maryland-National Capital Park and  
Planning Commission  
1109 Spring Street, 8<sup>th</sup> Floor  
Silver Spring, Maryland 20910

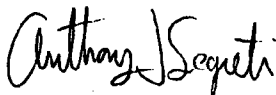
Dear Ms. Marcus-Wright:

Please find enclosed a preliminary proposal for new residential construction on Lot 19, Block 4 in the subdivision known as "R.B. Detrick's Subdivision of Kensington" in Montgomery County, Maryland. The property is located in the 10300 block of Connecticut Avenue.

I am a consultant for the prospective owners of the property and house to be built. At the current time, they are interviewing area builders and anticipate making a selection by the early March, 1997.

We look forward to your recommendations on our proposal. You may contact me at (301) 996-4600 if you have any questions.

Sincerley,



Anthony J. Segreti



Date: January 29, 1997

Subject: New residential construction Town of Kensington.

Address: Lot 19, Block 4 "R.B. Detrick's Subdivision of Kensington"  
Located in the 10300 block of Connecticut Avenue.

Applicants: Marita K. Liebegut and Mark W. Raymond  
2221 E. Lombard, Baltimore, Maryland 21231

### **Setting**

Lot size: 6828 sq. feet per recorded subdivision plat.

Lot Shape: Quadrilateral with 43 ft. frontal width, sides of 120 and 87 ft. and rear footage of 97 feet.

Location: 10300 block of Connecticut Avenue.

Utilities: Water and sewer taps installed in 1996 by WSSC.

### **Proposal**

Style: Two story house with front-gabled roof exhibiting 19<sup>th</sup> and 20<sup>th</sup> century Victorian styles.

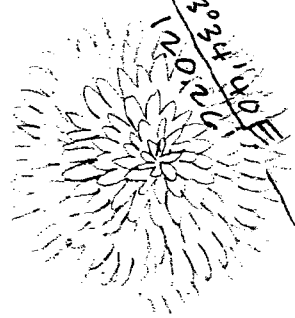
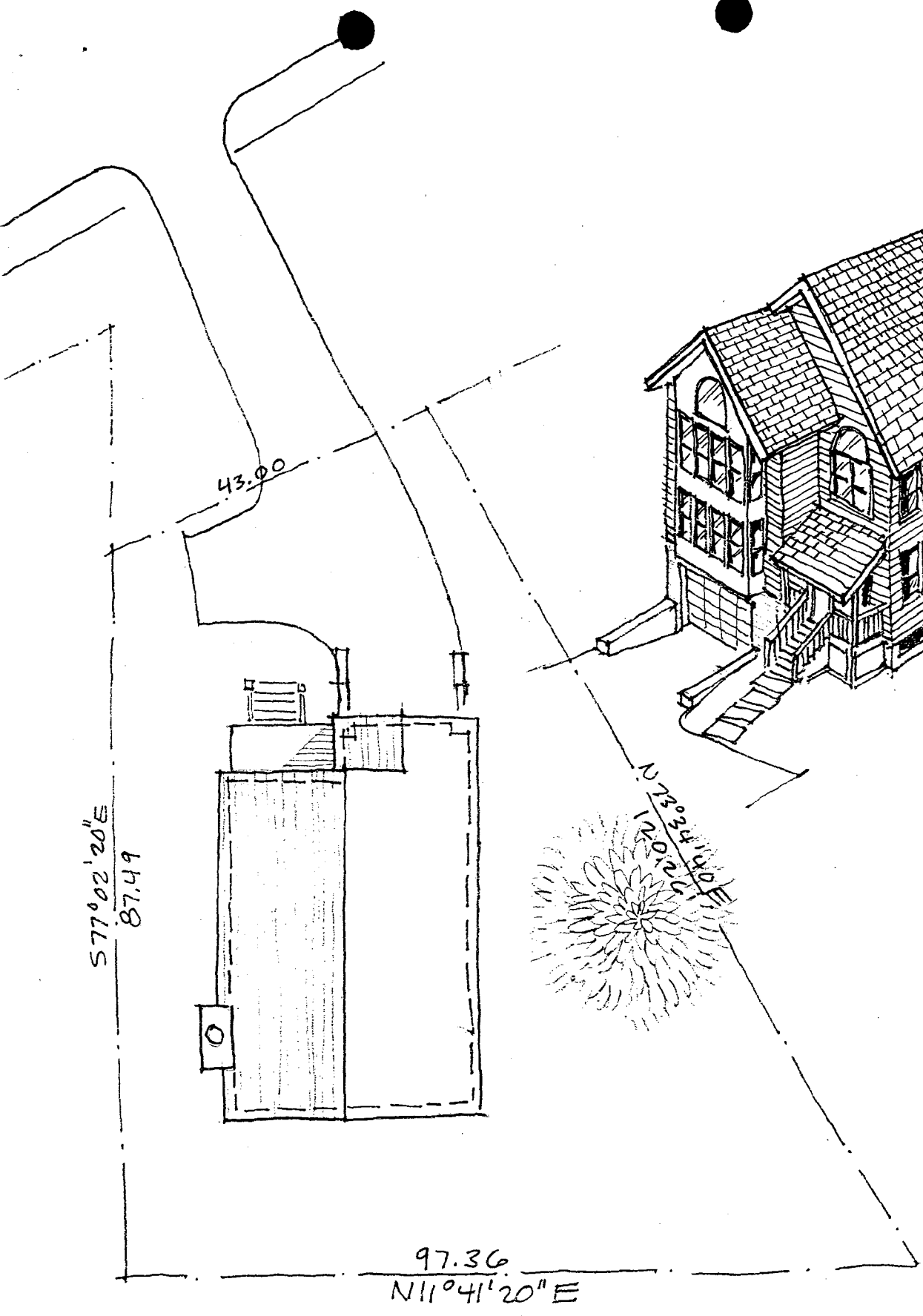
Footprint: 30'W x 42'D

Lot coverage: 18.45%

Set backs: Minimum of 50 feet from the Conn. Ave. Other minimum setbacks will be met without difficulty.

Materials: Concrete basement wall construction. Painted exterior hardboard siding or high quality vinyl on all sides. Some areas of the house front may be shingled. Front porch entrance. Possible brick skirt on house. Asphalt roof.

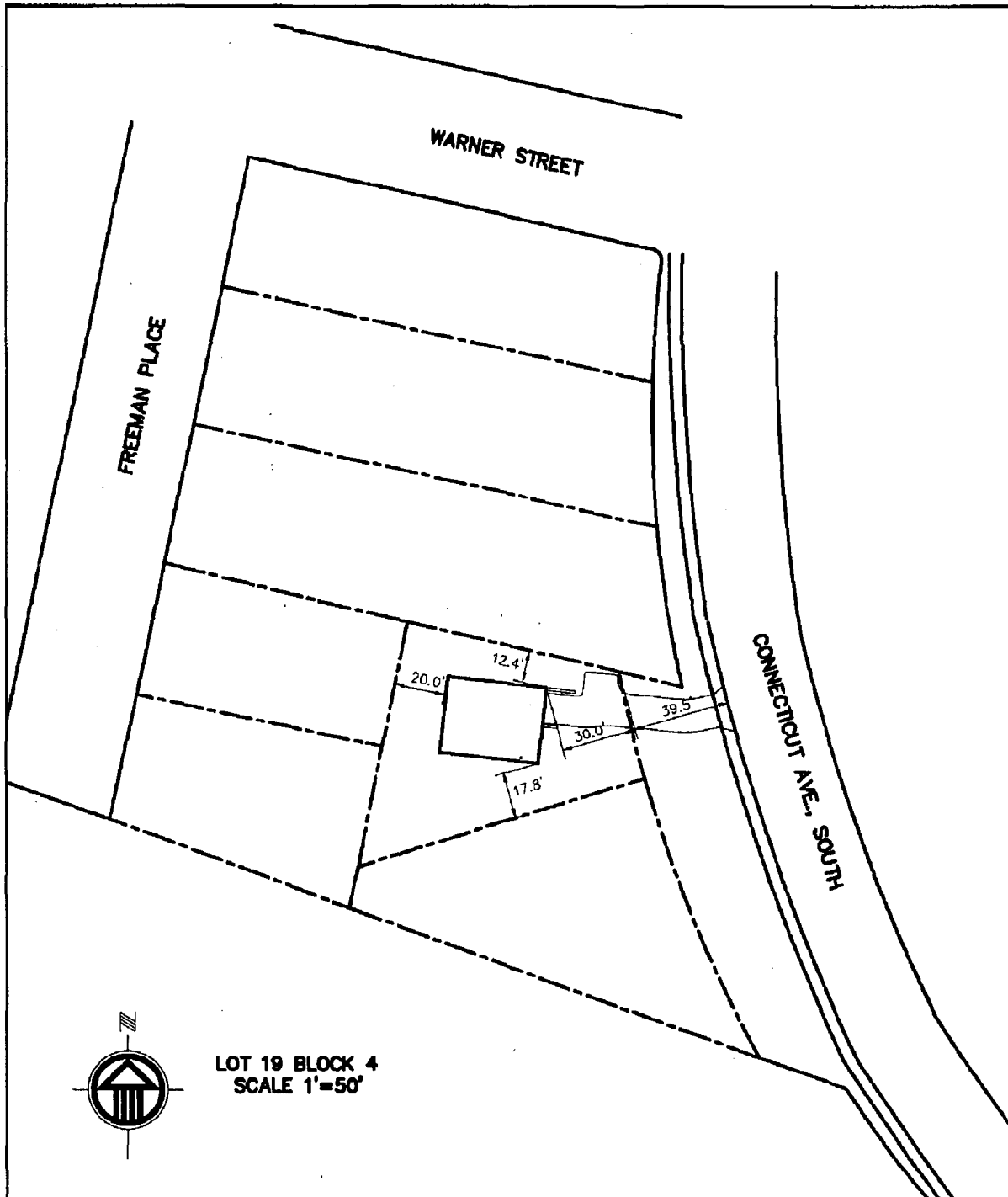
Colors: Typical for the period and style. Possibly black on gray or blue on light blue.



Date: January 29, 1997

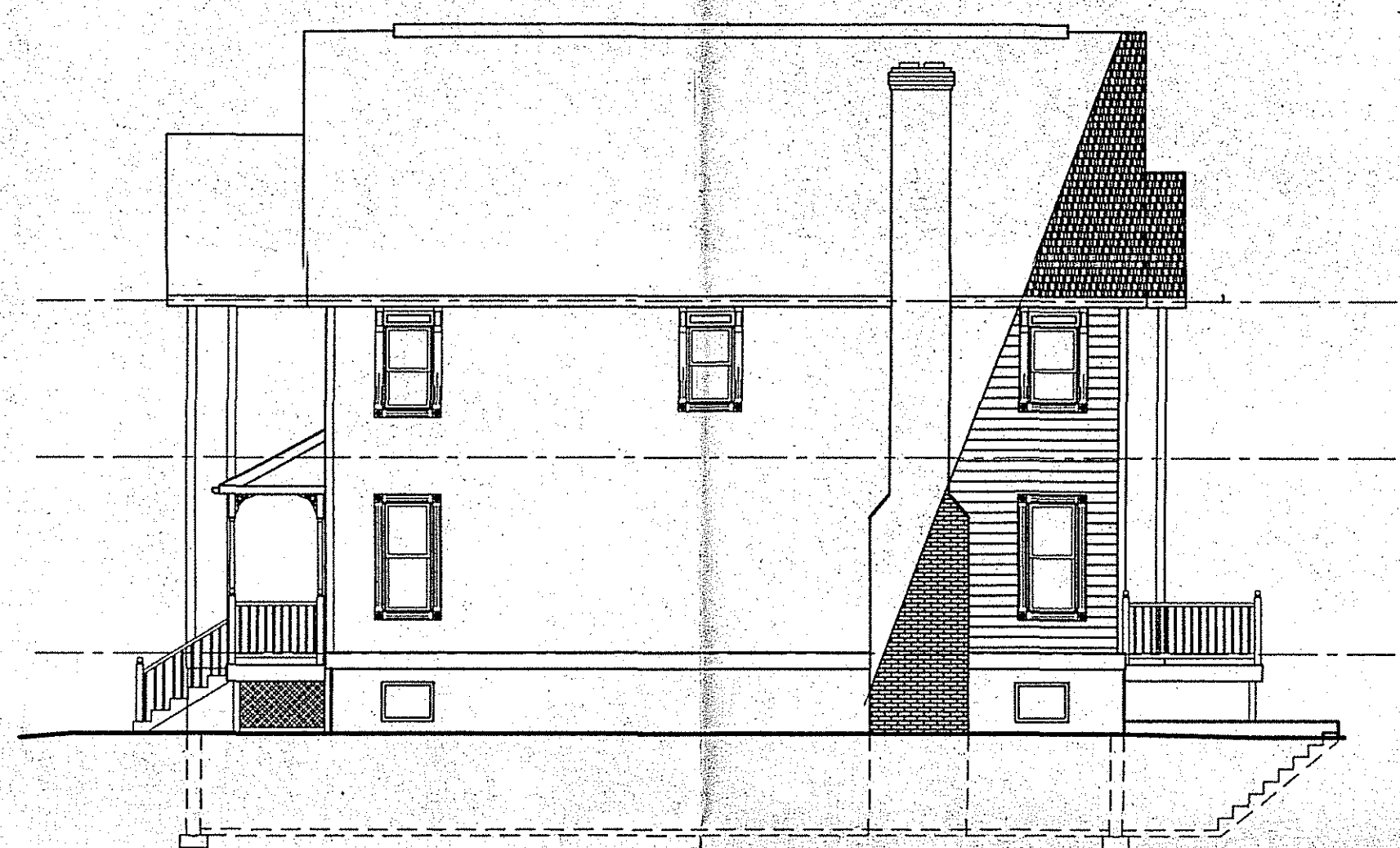
Site: Lot 19, Block 4 in RB Detrick's Subdivision of Kensington.

Subject: Possible house location.

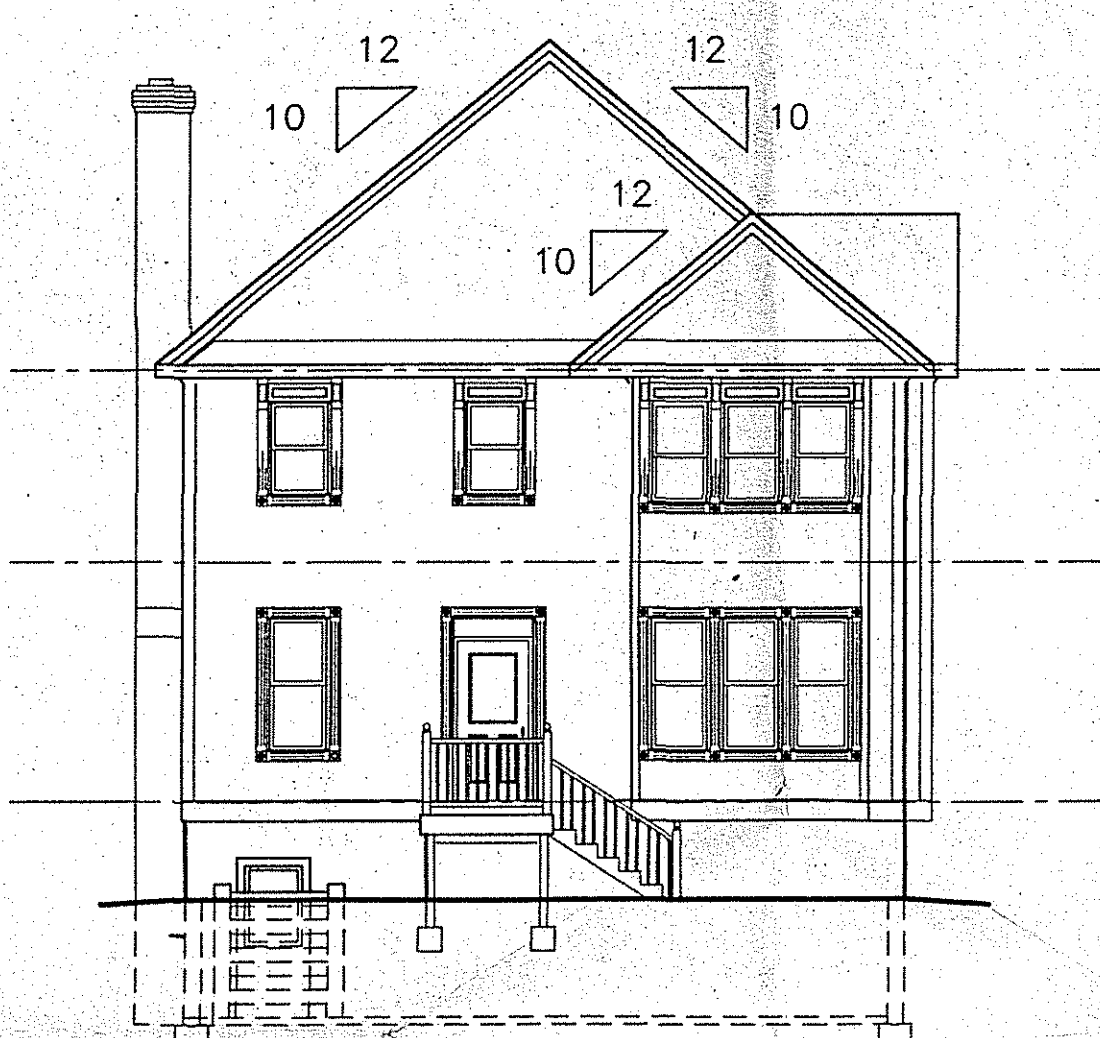


LOT 19 BLOCK 4  
SCALE 1"=50'

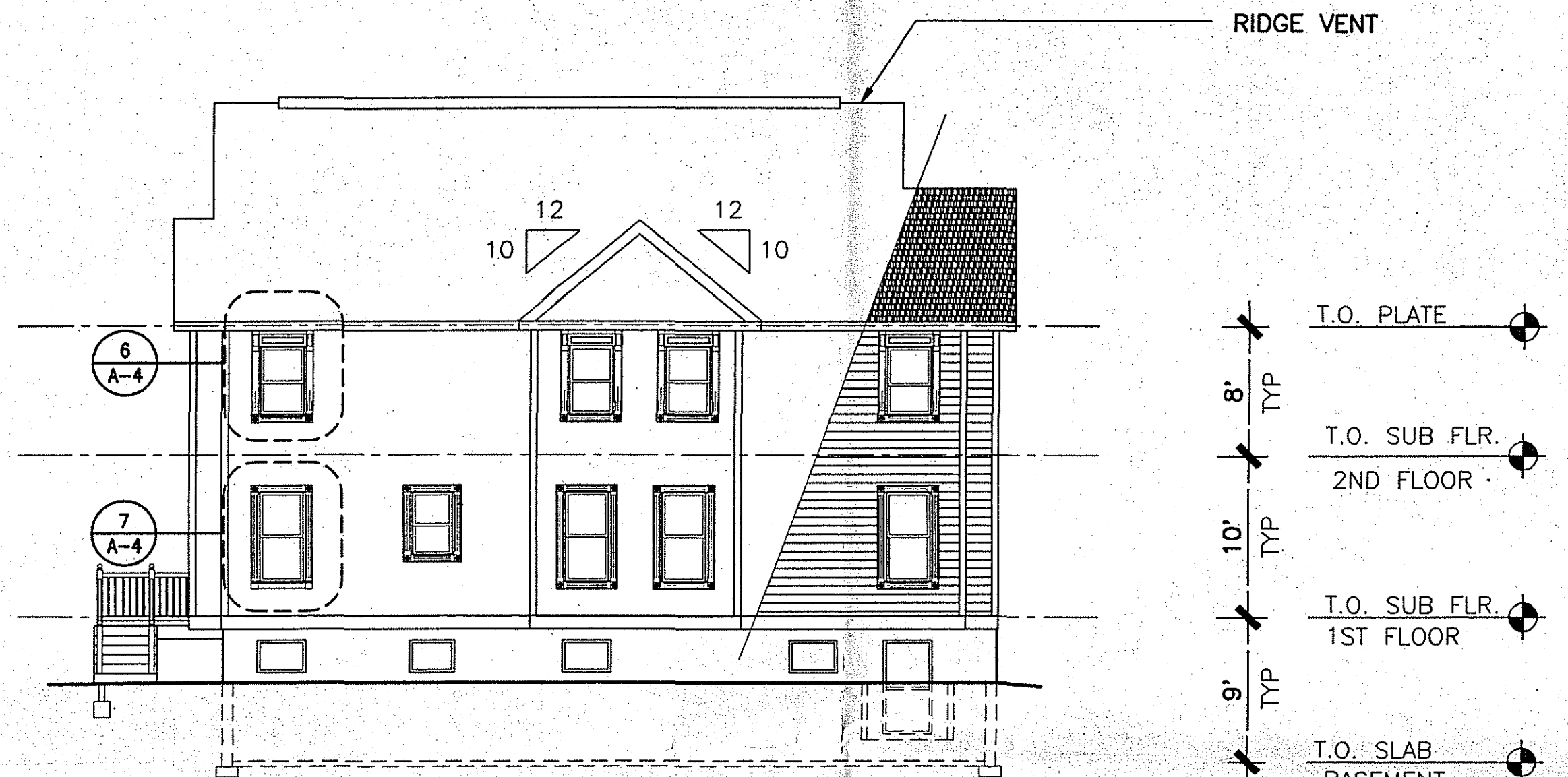




4 NORTH ELEVATION  
SCALE 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

RIDGE VENT  
T.O. PLATE  
8' TYP  
T.O. SUB FLR. 2ND FLOOR  
10' TYP  
T.O. SUB FLR. 1ST FLOOR  
9' TYP  
T.O. SLAB BASEMENT

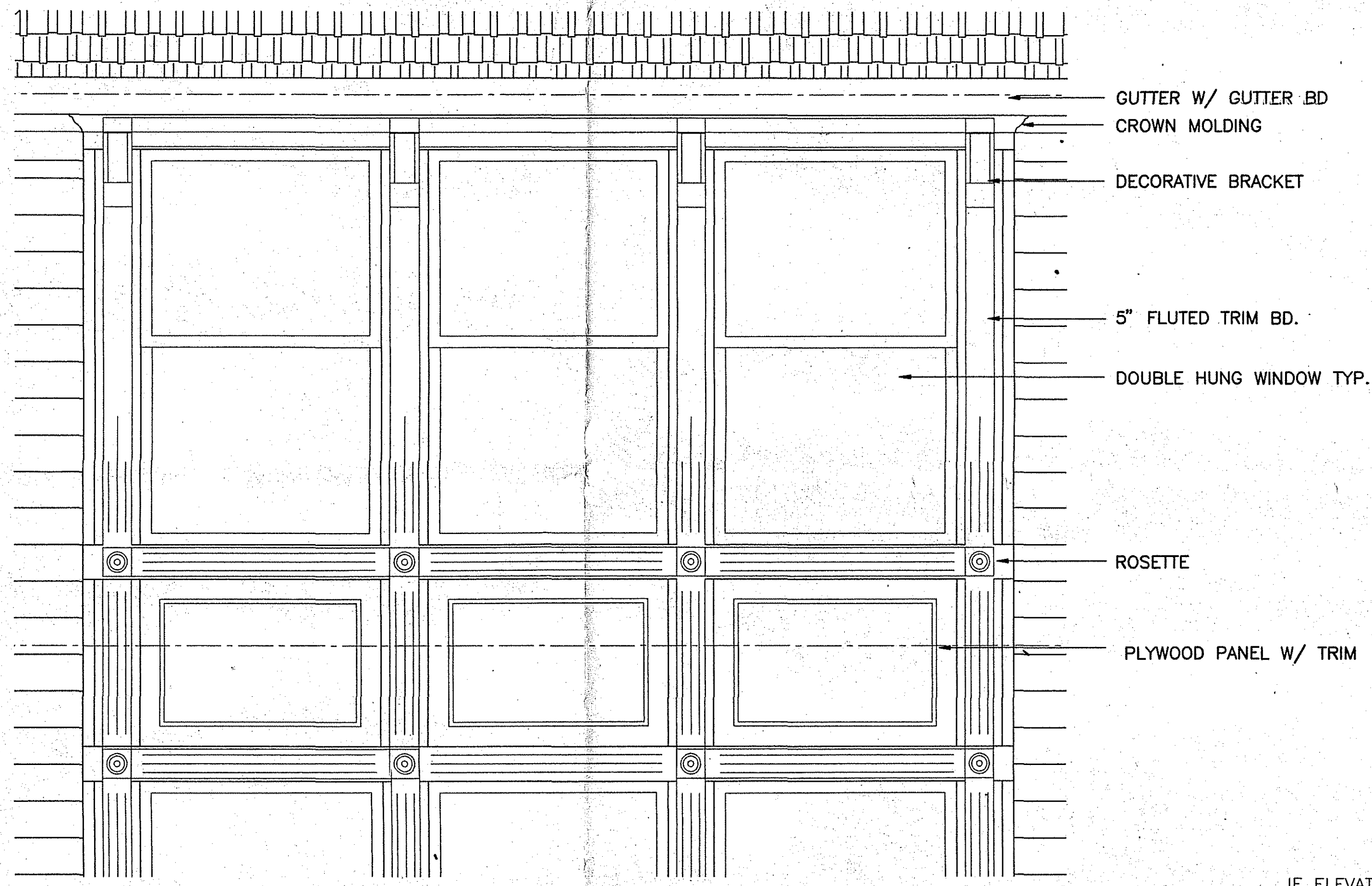
**SEB**  
S E B  
design  
ARCHITECTS

p.o. box 106  
Cabin John,  
Maryland  
20818-0106  
(301) 996 4600  
fax (301) 365 0590

MRAS DESIGN BUILD EXPRESSLY  
RESERVES ITS COMMON LAW  
COPYRIGHT AND OTHER PROPERTY  
RIGHTS IN THESE PLANS. THESE  
PLANS ARE NOT TO BE REPRODUCED  
CHANGED OR COPIED IN ANY FORM  
OR MANNER WHATSOEVER, NOR ARE  
THEY TO BE ASSIGNED TO ANY THIRD  
PARTY WITHOUT FIRST OBTAINING  
THE EXPRESS WRITTEN PERMISSION  
AND CONSENT OF MRAS DESIGN BUILD.

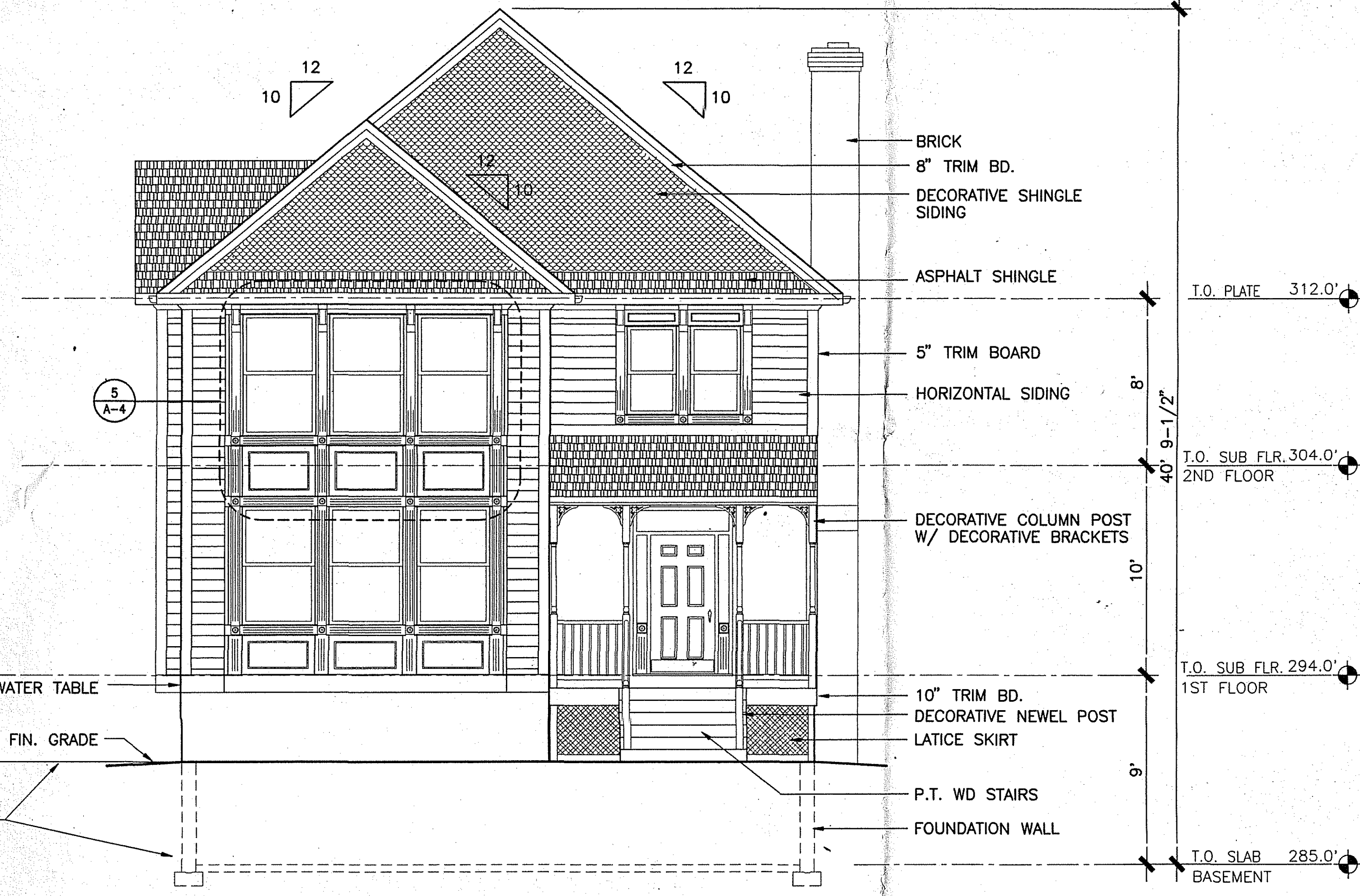
**a victorian style house in historic kensington**

Lot 19, block 4, R.B. Detrick's Subdivision  
Kensington MD.



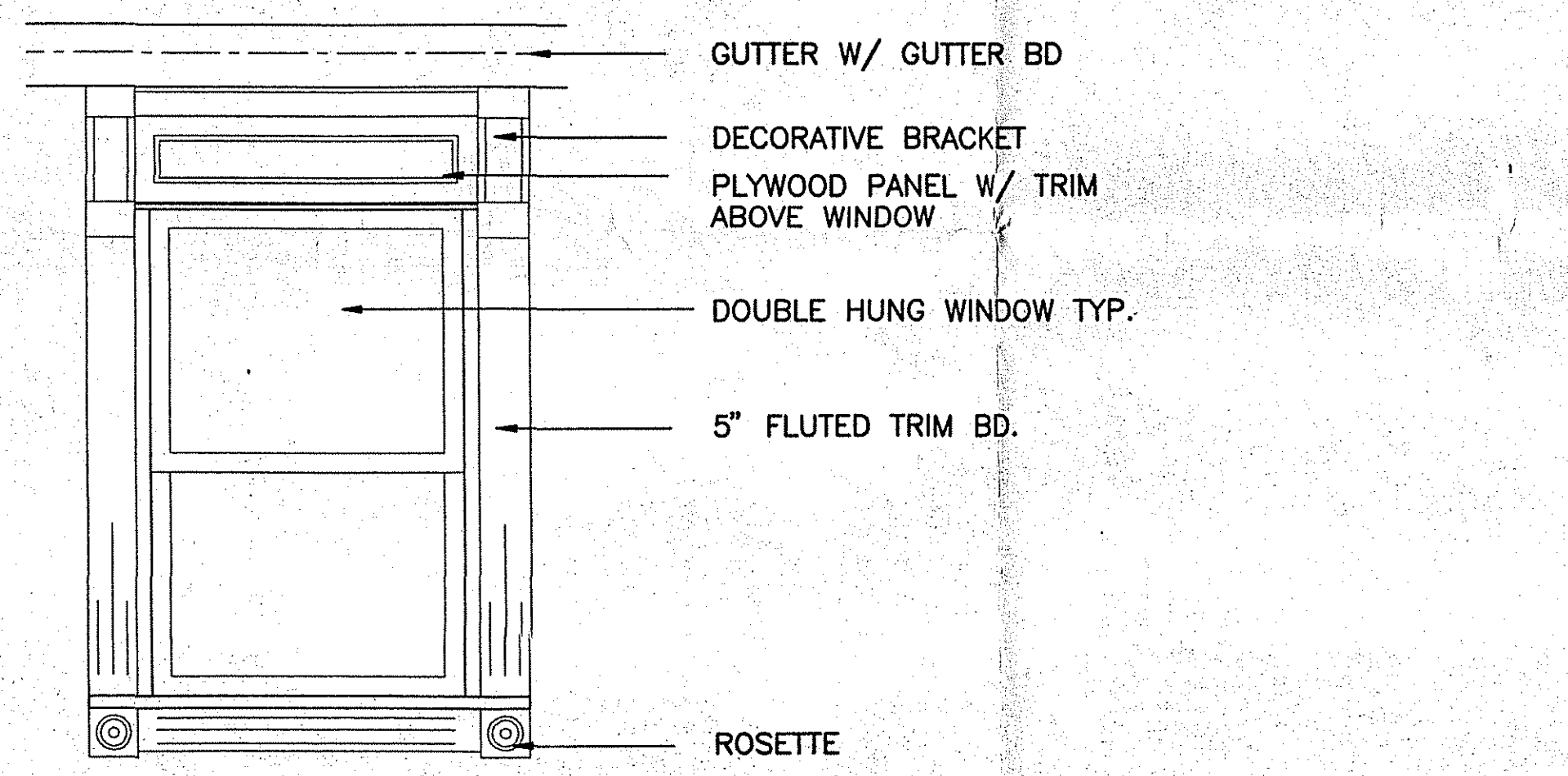
5 EAST WINDOW DETAIL  
SCALE 3/4" = 1'-0"

IF ELEVATION OF FIN. GRADE  
IS NOT CONSISTANT W/  
INDICATED T.O. SLAB ELEV.  
AND GIVEN DIMENSIONS  
NOTIFY ARCHITECT/OWNER

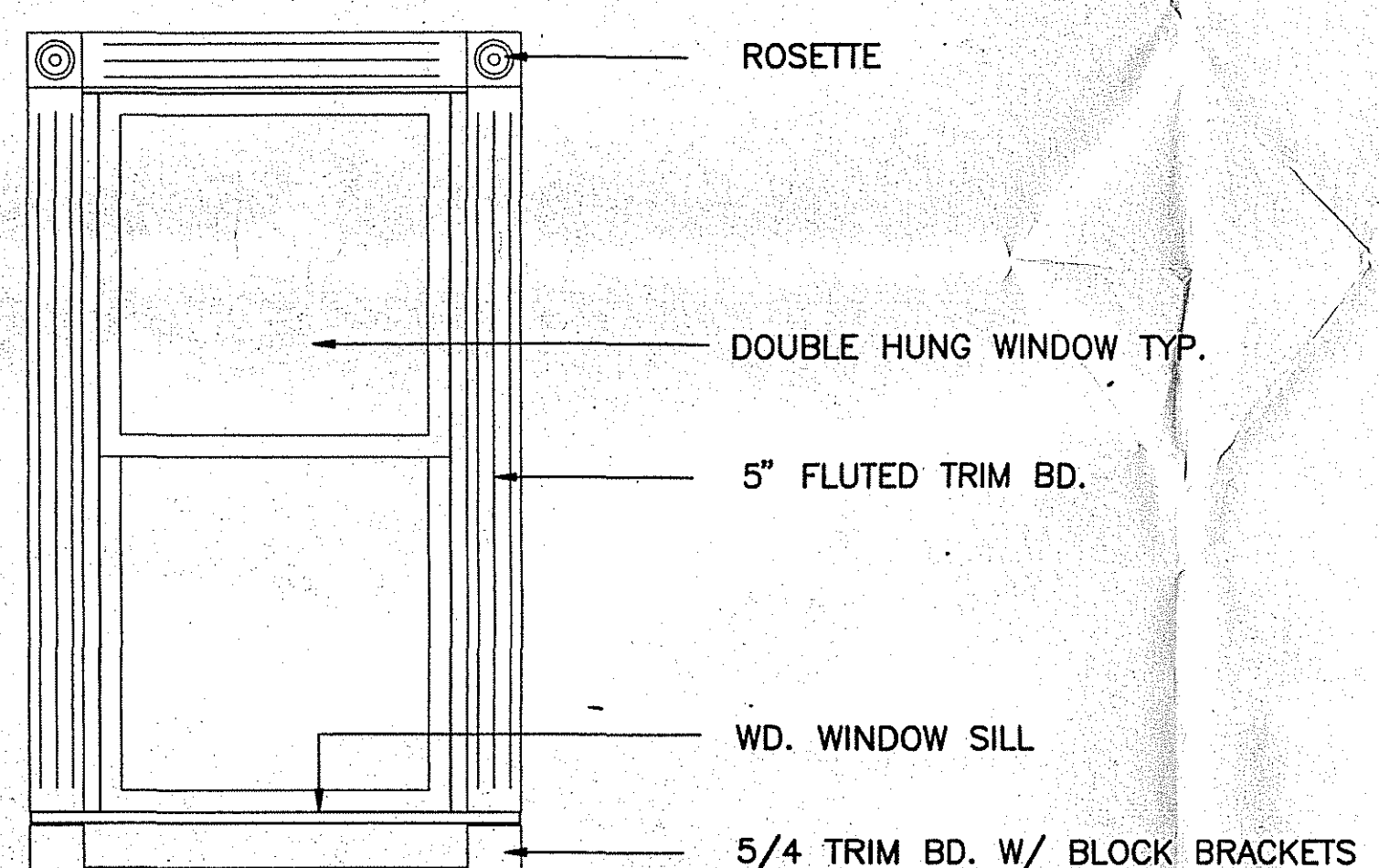


1 EAST ELEVATION  
SCALE 1/4" = 1'-0"

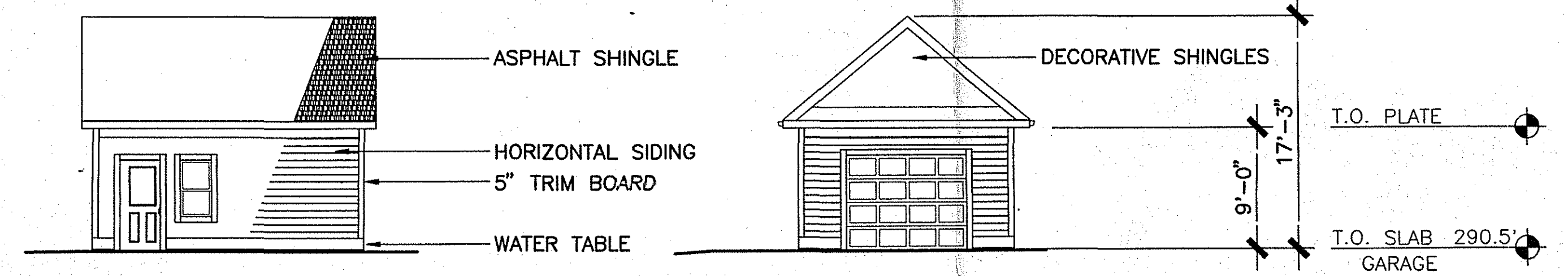
BRICK  
8" TRIM BD.  
DECORATIVE SHINGLE SIDING  
ASPHALT SHINGLE  
T.O. PLATE 312.0'  
8'  
40' 9-1/2"  
T.O. SUB FLR. 304.0'  
2ND FLOOR  
10'  
T.O. SUB FLR. 294.0'  
1ST FLOOR  
8'  
T.O. SUB FLR. 285.0'  
BASEMENT  
WATER TABLE  
FIN. GRADE  
10" TRIM BD.  
DECORATIVE NEWEL POST  
LATIC SKIRT  
P.T. WD STAIRS  
FOUNDATION WALL



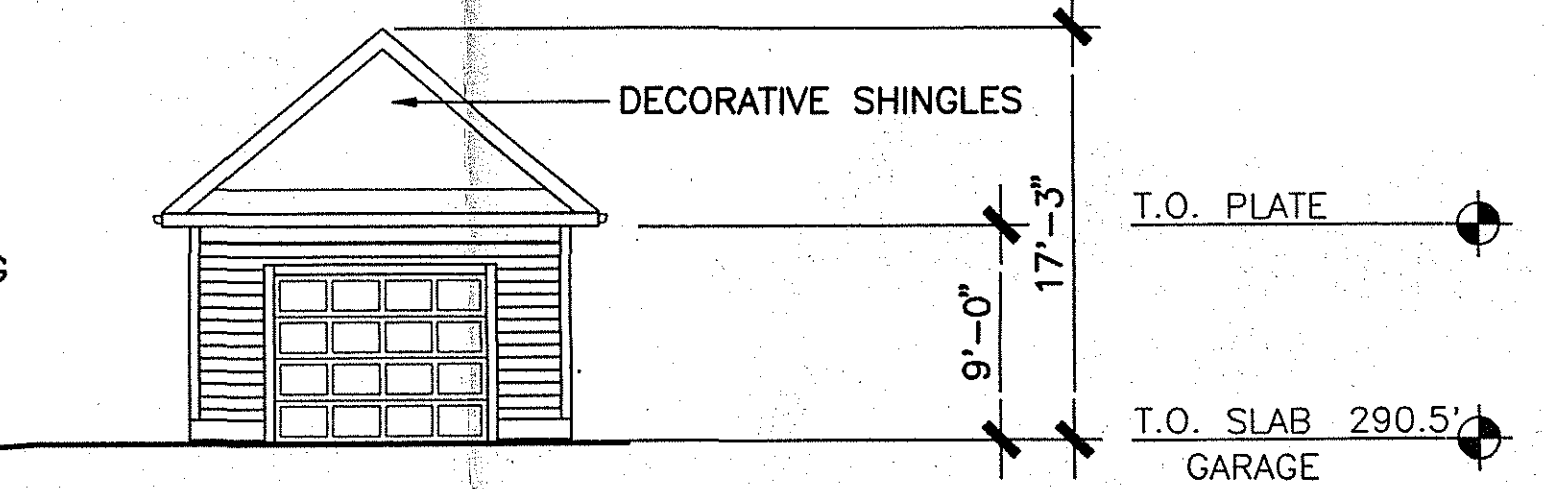
6 SECOND FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



7 FIRST FLR. WINDOW DETAIL (TYP.)  
SCALE 3/4" = 1'-0"



8 NORTH GARAGE ELEVATION  
SCALE 1/8" = 1'-0"



9 EAST GARAGE ELEVATION  
SCALE 1/8" = 1'-0"

no.	revisions/submissions	date
1	PERMIT SET	05 26 97

drawing title

**EXTERIOR ELEVATIONS**

designed by mr/ga project no. kensington 97.01  
drawn by mrr CAD file no. A-4.DWG  
checked by mrr drawing no.  
date may, 26 '97  
scale 1/8"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
5/27/97

**A-4**