

35/13-98J 27 West Irving Street
(Chevy Chase Village Historic District)



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ruth C. Kamen
Daytime Phone No.: 301 654 3702

Tax Account No.: 00456172
Name of Property Owner: RUTH C. KAMEN Daytime Phone No.: _____
Address: 27 W IRVING STREET, CHEVY CHASE, MD 20815
Street Number City State Zip Code
Contractor: NOT YET SELECTED Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 27 Street: WEST IRVING STREET
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY
PART OF Lot: 2 & 3 Block: 32 Subdivision: SECTION #2 CHEVY CHASE
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: ELEVATOR
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____ Date _____
Approved: Ruth C. Kamen for Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 7/8/98
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE RESIDENCE WAS BUILT IN 1917 AS A TWO
STORY WITH ATTIC RESIDENCE WITH BASEMENT.
THE HOUSE WAS ADDED ONTO IN 1922 WITH
A GARAGE, AND 2 STORY PORCH WHICH WAS
LATER ENCLOSED THE HOUSE HAS A STUCCO
EXTERIOR WITH ASPHALT SHINGLE ROOF - THE
REAR WALLS HAVE PAINTED WOOD SIDING -

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED ADDITION IS LOCATED IN THE
REAR OF THE EXISTING RESIDENCE AND IS
DESIGNED TO IMPROVE THE APPEARANCE OF
A PREVIOUS ADDITION. NEW ADDITION WILL BE
COMPLEMENTARY TO THE ORIGINAL RESIDENCE.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION


8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: _____

7-8-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

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- A.1 VICINITY MAP
- A.2 PLOT PLAN (SITE PLAN)
- A.3 BASEMENT FLOOR PLAN (PROPOSED)
- A.4 FIRST FLOOR PLAN (PROPOSED)
- A.5 SECOND FLOOR PLAN (PROPOSED)
- A.6 ROOF PLAN (PROPOSED)
- A.7 PROPOSED NORTH ELEVATION
- A.8 EXISTING NORTH ELEVATION
- A.9 FRONT & REAR PHOTO'S
- A.10 EXISTING AREA TO BE REMODELED
(PHOTO OF EXISTING CONDITIONS)

ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN
27 W. IRVING STREET, CHEVY CHASE, MD 20815

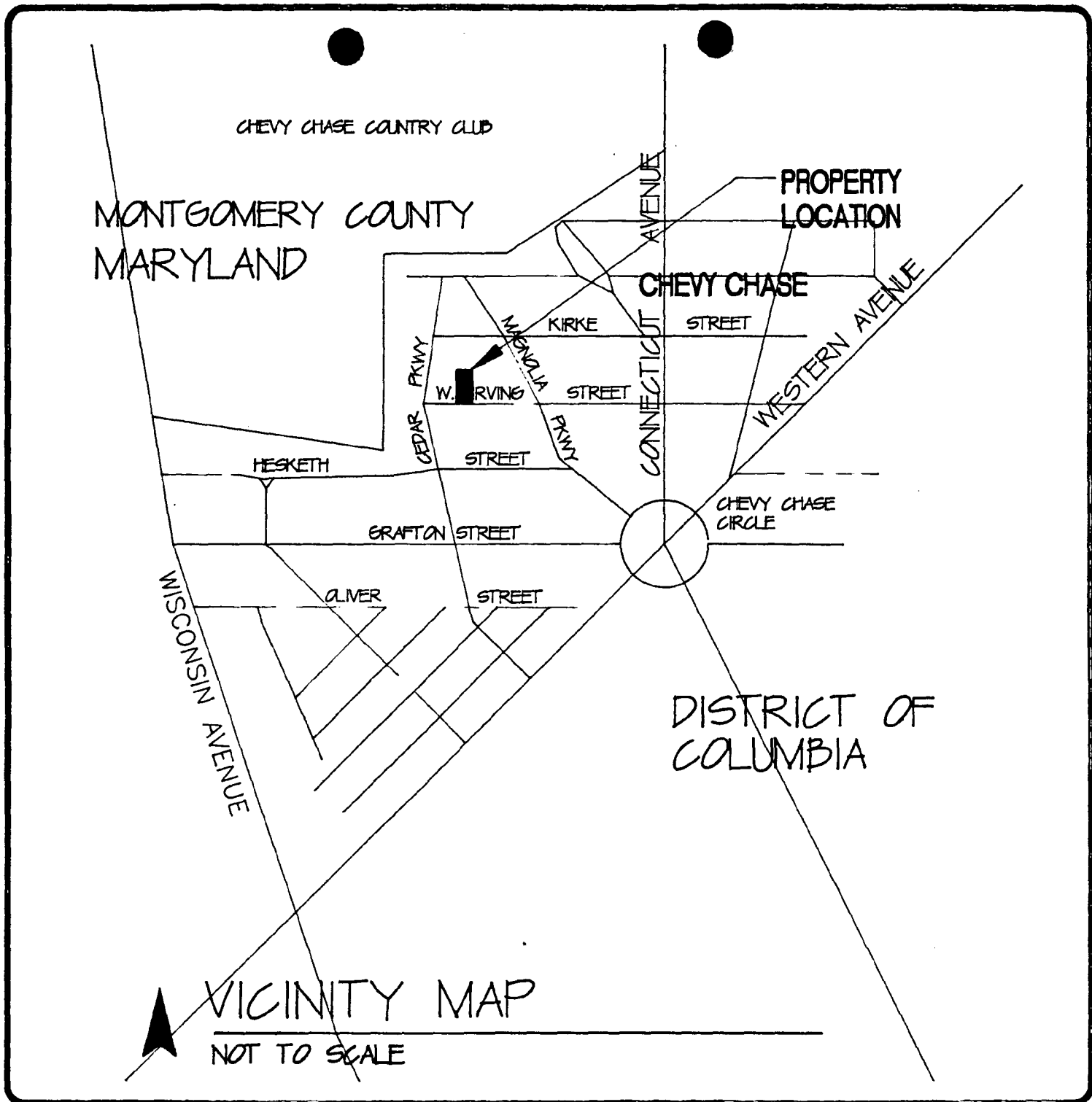
JOB NUMBER
9804

HR HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2548
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: 6/9/98

DRAWING NUMBER INDEX
SHEET 07



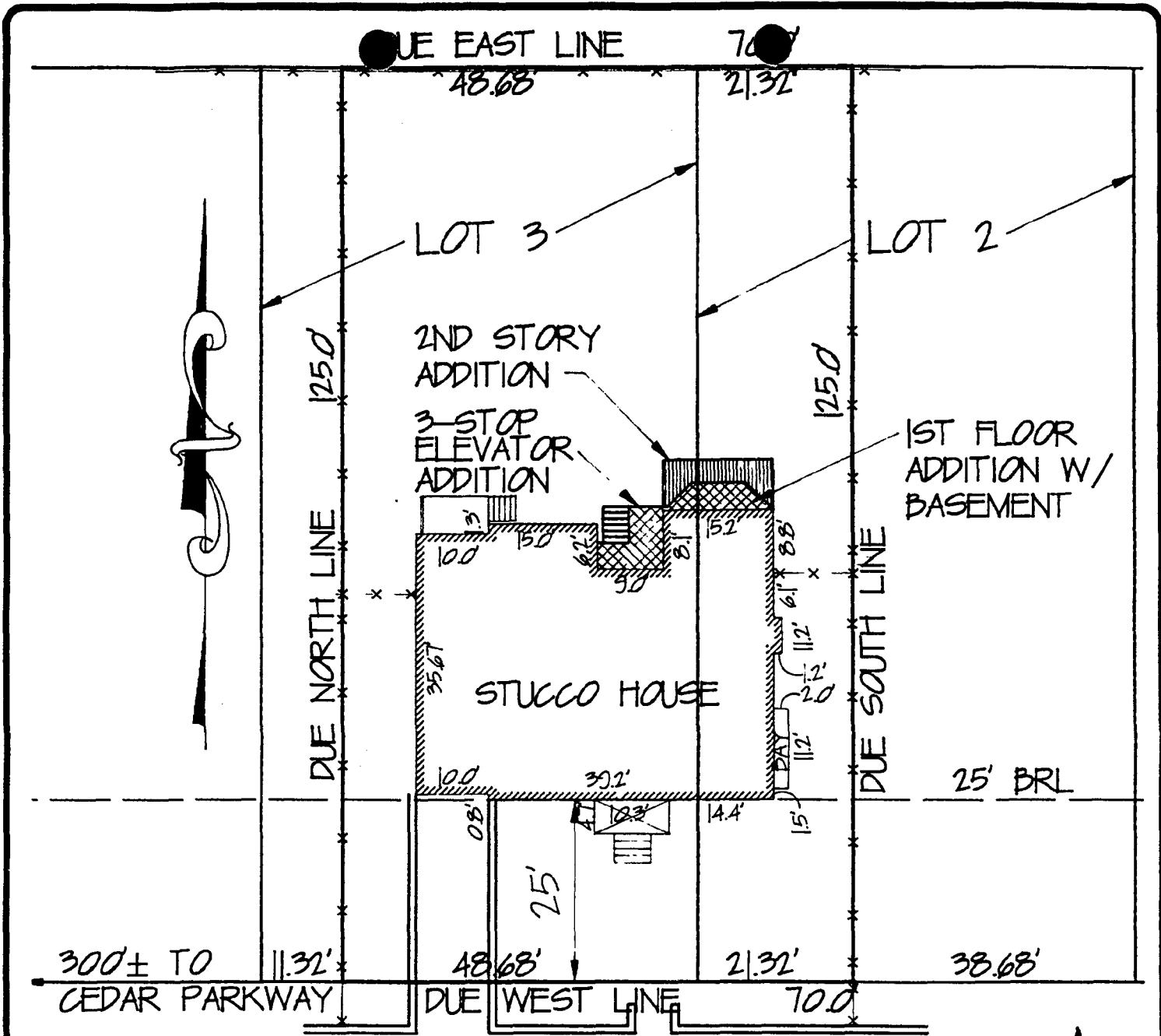
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HENDRIKUS L. RAS AIA
3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: **6/9/98**
DRAWING NUMBER: **A-1**
SHEET: **1 of 9**



PLOT PLAN WEST IRVING STREET

SCALE: 1"=20'-0"

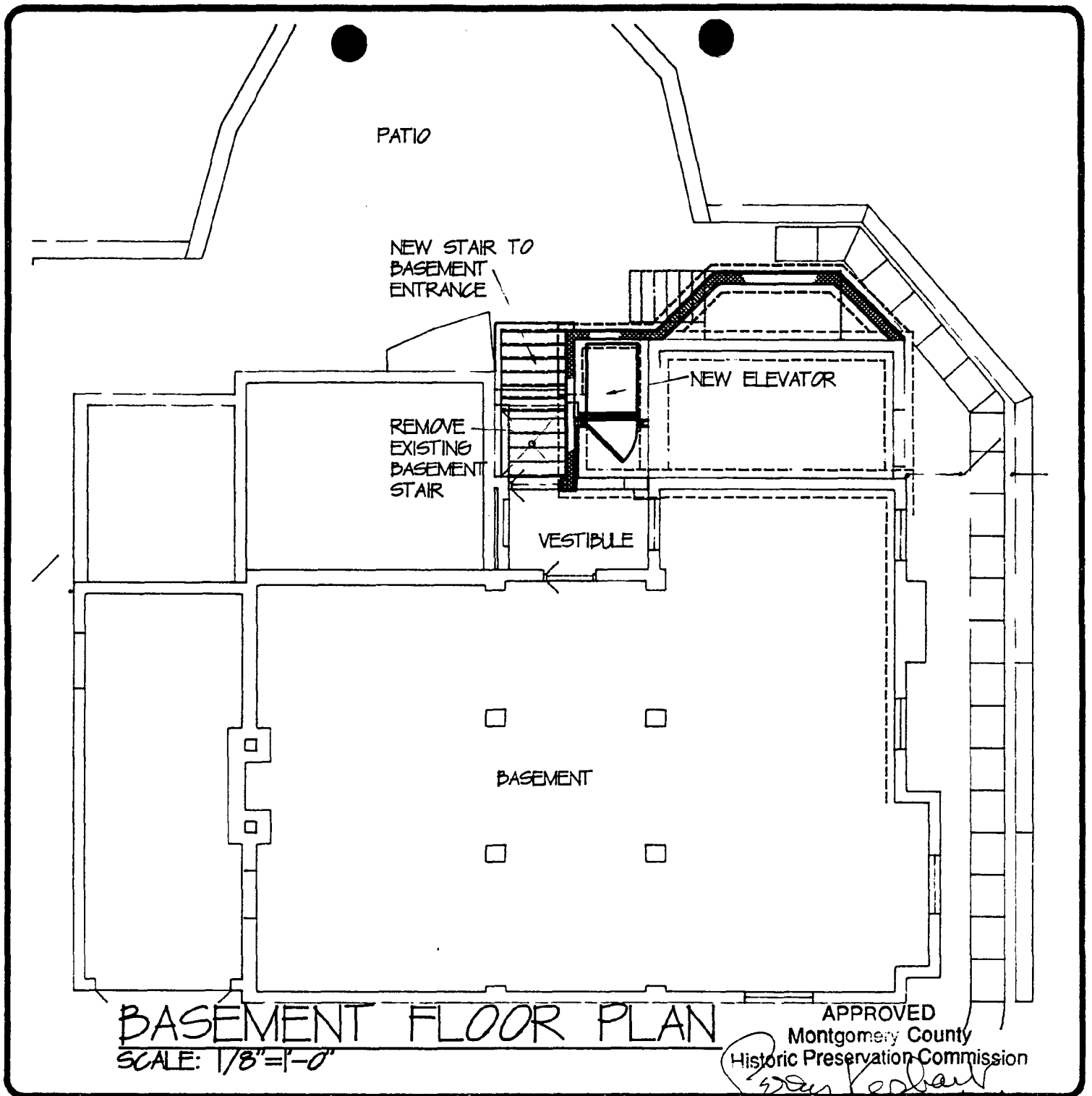
APPROVED
 Montgomery County
 Historic Preservation Commission
Scotty Korman 7/8/98

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DATE: 6/9/98
 DRAWING NUMBER: **A-2**
 SHEET: 2 of 3

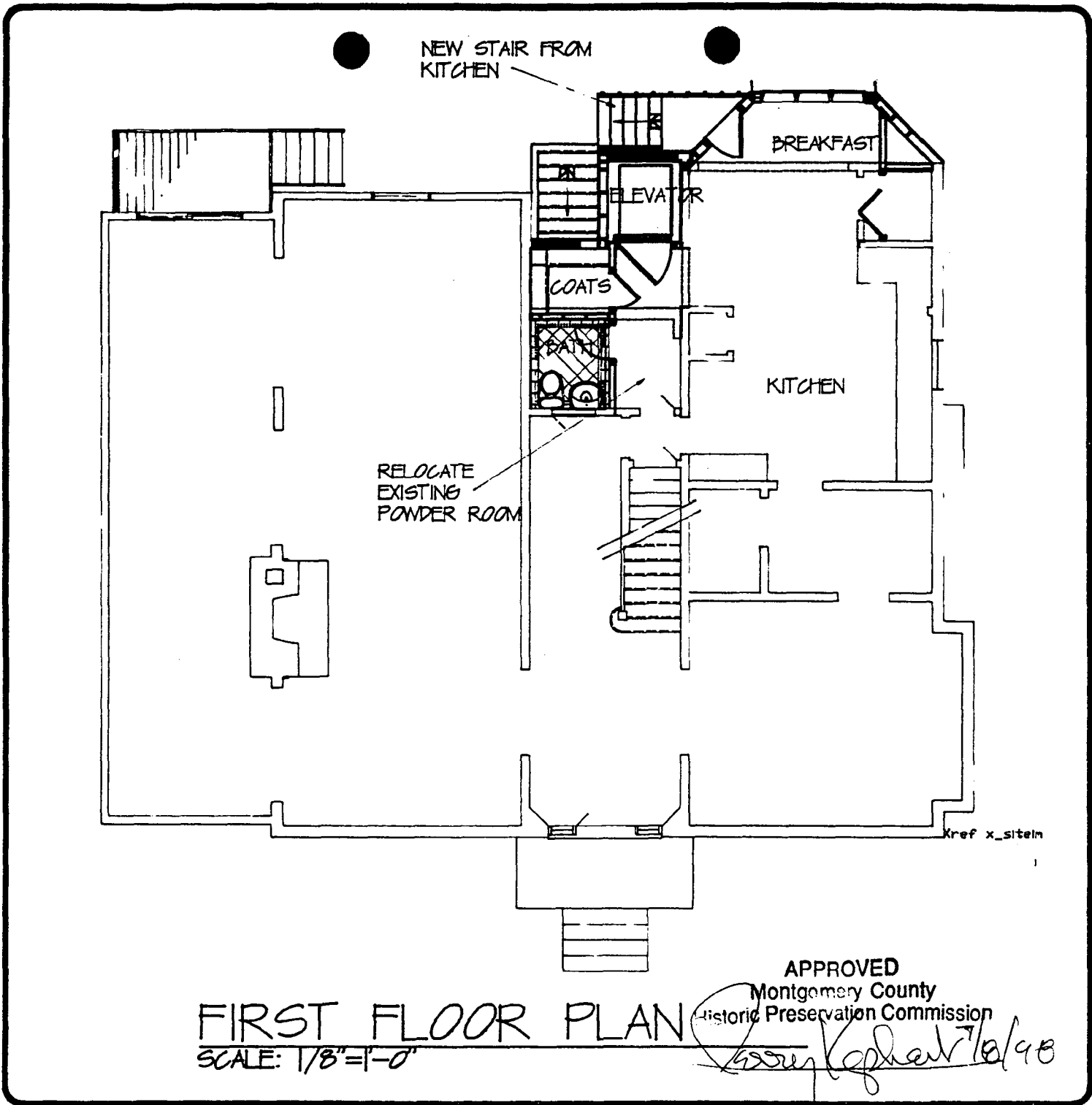


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JSP NUMBER
9804

HR **HENDRIKUS L. RAS AIA**
3505 WOODRIDGE AVENUE SILVER SPRING MD 20901 2348
PHONE 1 (301) 946 6911 FAX 1 (301) 946 1544

DATE: **10/30/97**
DRAWING NUMBER **A-3**
SHEET **3 of 3**

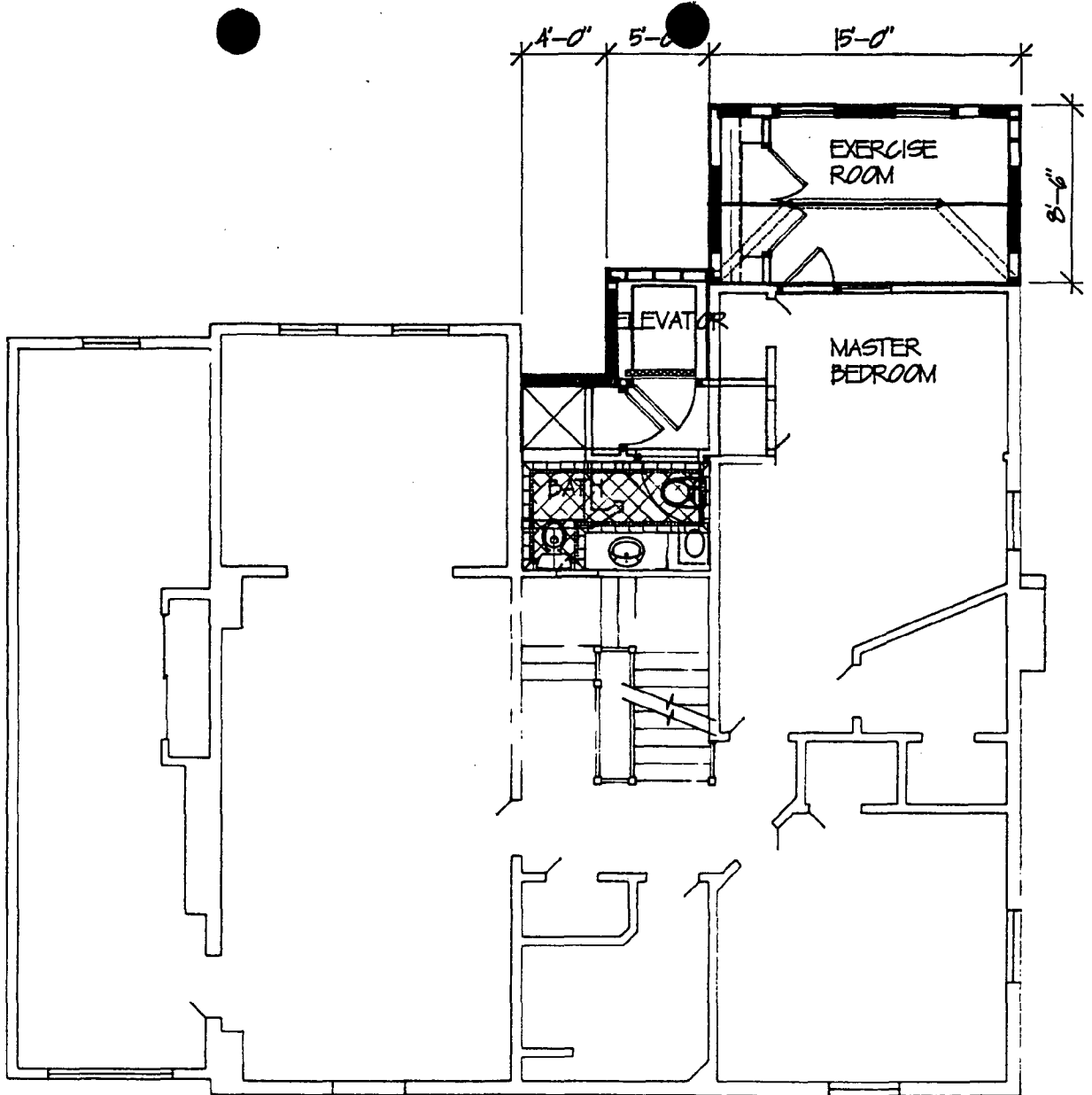


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27 W. IRVING STREET, CHEVY CHASE, MD 20815

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HLR **HENDRIKUS L. RAS AIA**
3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: **6/9/98**
DRAWING NUMBER: **A-4**
SHEET: **2 of 3**



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Rowley Keplar 7/8/98

**ALTERATIONS TO THE RESIDENCE OF
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27 W. IRVING STREET, CHEVY CHASE, MD 20815

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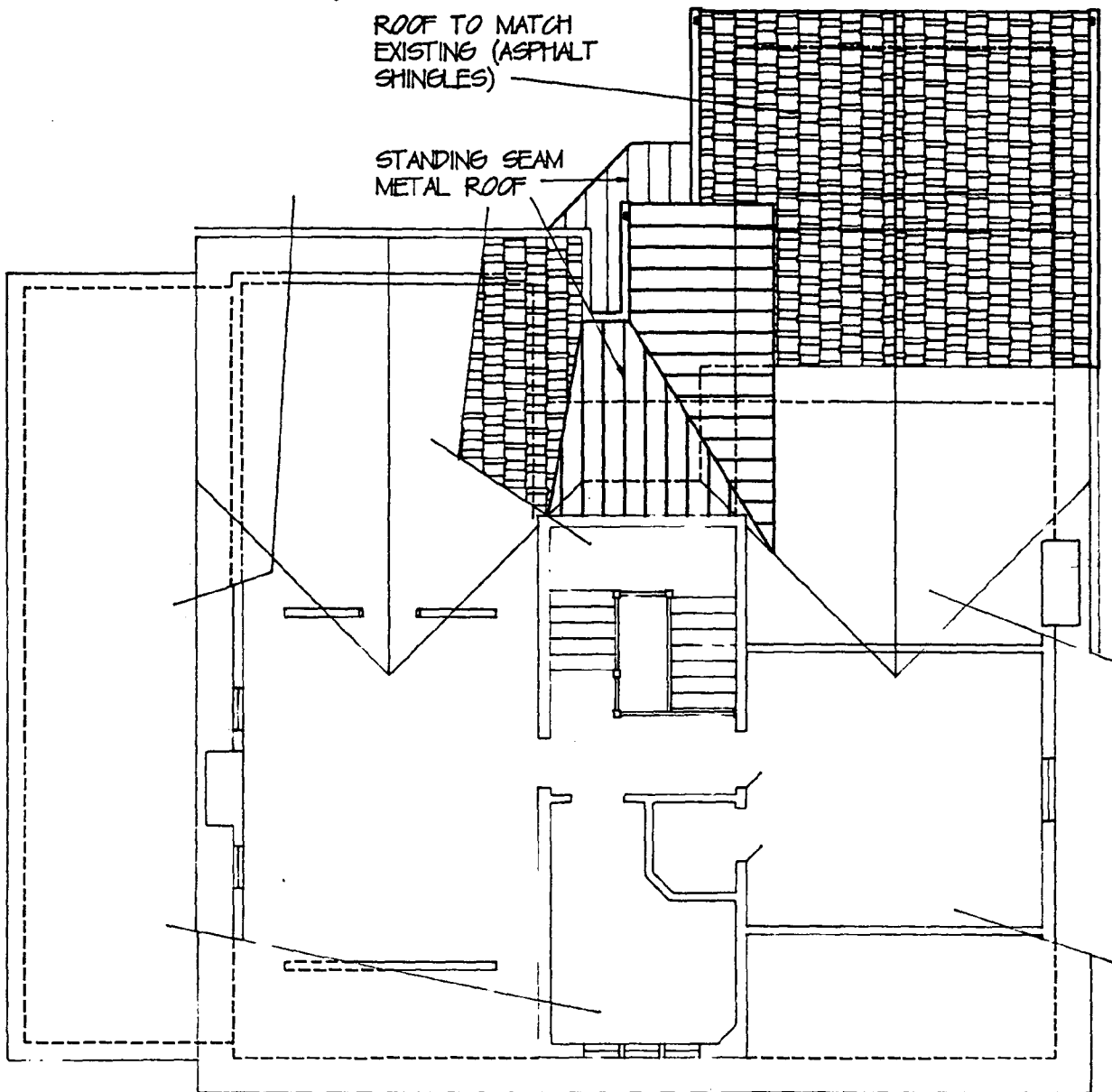
DATE: **6/9/98**

DRAWING
NUMBER

A-5

SHEET

5 of 9



THIRD FLOOR AND ROOF PLAN

SCALE: 1/8" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

Don't know 7/8/98

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DATE: **6/9/98**
 DRAWING NUMBER **A-6**
 SHEET **2 of 3**

ASPHALT SHINGLES
TO MATCH EXISTING



PAINTED SIDING TO
MATCH EXISTING

NORTH ELEVATION PROPOSED

SCALE: 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

to be 6/1 or 9/11

7/8/98

ALTERATIONS TO THE RESIDENCE OF
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HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: 10/30/97
DRAWING NUMBER: **A-7**
SHEET: 3 of 3

MAILING LIST FOR HISTORIC PRESERVATION COMMISSION APPEAL

**Mr. and Mrs. Jacob Kainen
27 West Irving Street
Chevy Chase, Maryland 20815**

Adjoining and confronting property owners	
Mr. and Mrs. David F. Williams 24 West Irving Street Chevy Chase, Maryland 20815	Mr. and Mrs. Gregory K. Ingram 28 West Irving Street Chevy Chase, Maryland 20815
Mr. and Mrs. James M. Wimsatt 25 West Irving Street Chevy Chase, Maryland 20815	Ms. Joy L. Pritts and Mr. Mark F. Sundback 29 West Irving Street Chevy Chase, Maryland 20815
Mr. and Mrs. Albert Warren 26 West Kirke Street Chevy Chase, Maryland 20815	

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the condition:

1. The windows on the new construction will be double-hung with a one light lower sash and either a 1 or 6 light upper sash.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall present the permit set of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Bourke, Tom

From: Bourke, Tom
To: Adams, Andi; 'Elliott, Bob'; Elliott, Nancy; Harwood, Corbin; 'Stephens, Betsy'; Wellington, Peter
Cc: Schiro, Jerry (CCV)
Subject: FW: 7/8/98 HPC Agenda Items
Date: Wednesday, July 08, 1998 3:05PM
Priority: High

VIA FAX to Robin Ziek, MNCPPC

The Chevy Chase Village Local Advisory Panel met on June 30th and discussed the five applications pending before the Historic Preservation Commission. Subsequent to that time we all received the staff recommendations on the projects, and we have polled the members of the LAP. The comments are as follows:

33 Oxford St. (rear deck) and 11 East Irving St. (fence): Expedited
These submissions received an "Expedited" processing by HPC staff. We concur with the staff recommendations. We would also like to note that in cases where the alteration is at the rear of the property and not visible from public space, the "expedited" approach appears to be especially useful. As we understand it (from a telephone conversation with Robin Ziek of MNCPPC), the County Council is currently considering an amendment to the regulations to permit staff to give approvals to such projects on an "expedited" basis. If the project is not approvable, then it would be processed using the normal HPC hearing procedure. The LAP supports these attempts to accelerate and streamline the process for residents.

27 West Irving St. (rear addition)

The LAP concurs with the staff recommendation for approval, but the addition is entirely at the rear of the property and the LAP strongly feels that it should be approved without condition in accordance with the local Guidelines. The LAP would also have concurred if the report on this proposal had been "expedited".

5804 Cedar Pkwy. at Hesketh St.: (rear and side additions)

The LAP concurs with staff recommendations to approve. The requirement to avoid "snap-in" mullions appears justified and reasonable on the areas visible from public streets. However, the LAP does feel that maximum flexibility should be allowed on the rear of the house where it is not visible from Cedar Pkwy. or Hesketh St.

2 West Melrose St. (new house)

The LAP has not received any design drawings, only the site plans were provided; therefore we cannot comment in detail. One member of the LAP has seen the plans and as an individual generally concurs with staff comments.

One resident of the Village has contacted us to point out that on the west side of Connecticut, no house faces the side streets, ie all face Conn. Ave. The LAP discussed this and concluded that on the west side of Connecticut most houses have fenced off, or planted extensive landscaping to buffer Connecticut traffic, thereby giving the appearance of facing the side street. On the east side of Connecticut, approximately one half of the houses face side streets. The LAP considers the orientation of the proposed house to be sympathetic to the traditional street and building patterns as they have evolved in the district. Some LAP members even went so far as to state that given the noise and fumes of Connecticut Avenue, it is essential that the builder of the new home be permitted to direct it toward a side street.

The LAP notes that many of the conditions recommended by the HPC staff are necessarily general in nature and not precise. Therefore the LAP recommends that any conditions included in the HPC approval which

cannot be worked out between the property owner and the HPC staff be resubmitted to the HPC and notice given to the LAP so that we can truly study the issue and give the HPC our best advice.

In general the LAP felt that the 2 West Melrose St. case raises the issue of how the LAP can adequately review a proposal when the design drawings cannot be reproduced for our review. The time constraints of the process prevent our panel from visiting the drawings at MNCPPC or the Village Hall and then convening a meeting and then preparing a report. We will attempt to address this with HPC staff in the future.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ruth C. Kamen

Daytime Phone No.: 301 654 3702

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Name of Property Owner: RUTH C. KAMEN Daytime Phone No.: _____

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PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|---|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>ELEVATOR</u> | | | |

1B. Construction cost estimate: \$ _____

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: 9800160062 For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

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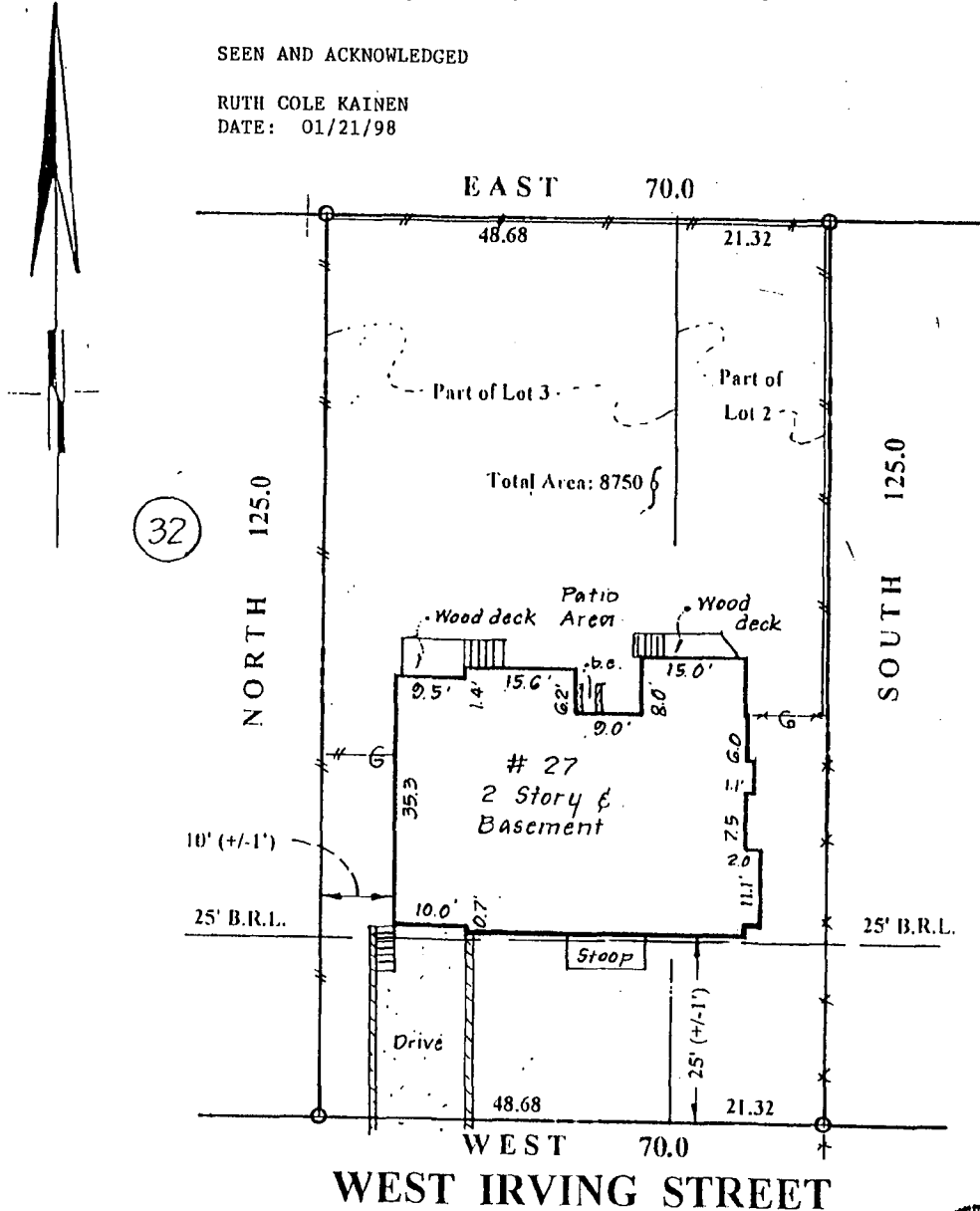
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Mr. and Mrs. Albert Warren 26 West Kirke Street Chevy Chase, Maryland 20815	
B. McGean 24 West Kirke Street Chevy Chase, Maryland 20815	Mr. and Mrs. Albert Warren 26 West Kirke Street Chevy Chase, Maryland 20815
Mr. and Mrs. Robert C. Doyle 28 West Kirke Street Chevy Chase, Maryland 20815	

LANDTECH ASSOCIATES, INC.
 70 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740

SEEN AND ACKNOWLEDGED

RUTH COLE KAINEN
 DATE: 01/21/98



32

WEST IRVING STREET

NOTES:

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.



NO TITLE REPORT FURNISHED

LOCATION PLAT OF:

#27 West Irving Street
 Montgomery County, Maryland
 SUBDIVISION Section Number 2

CHEVY CHASE

LOT: Part of Lot 2, Part Lot 3

PLAT BOOK: 2

DATE: 1-7-98

CASE NO: 97-4577

BLOCK: 32

PLAT NO: 106

SCALE: 1"=20'

FILE NO: VSG-98001

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Braden A. Rogers

BRADEN A. ROGERS - PROP. L.S. MD. LIC. NO. 119

6

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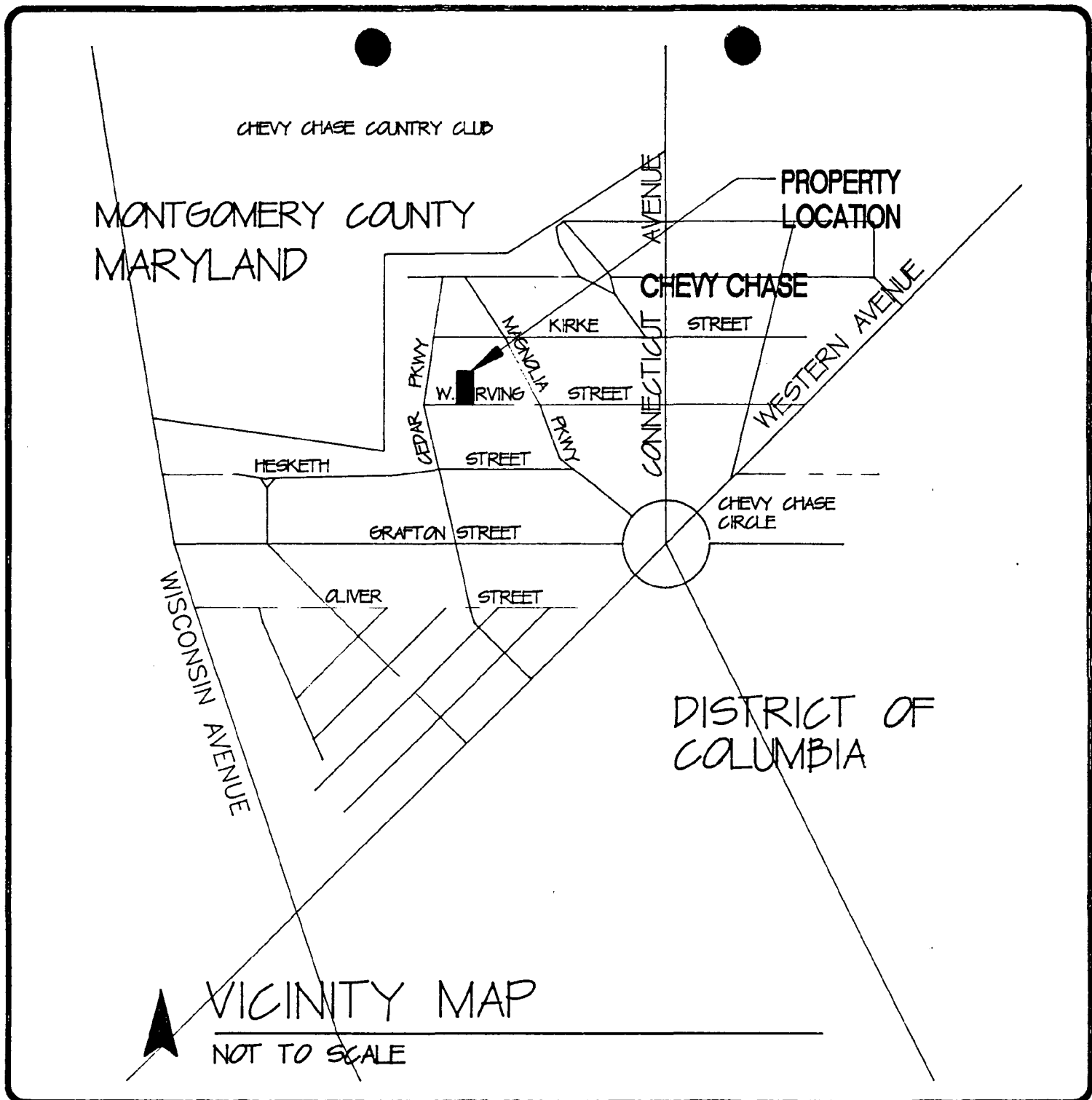
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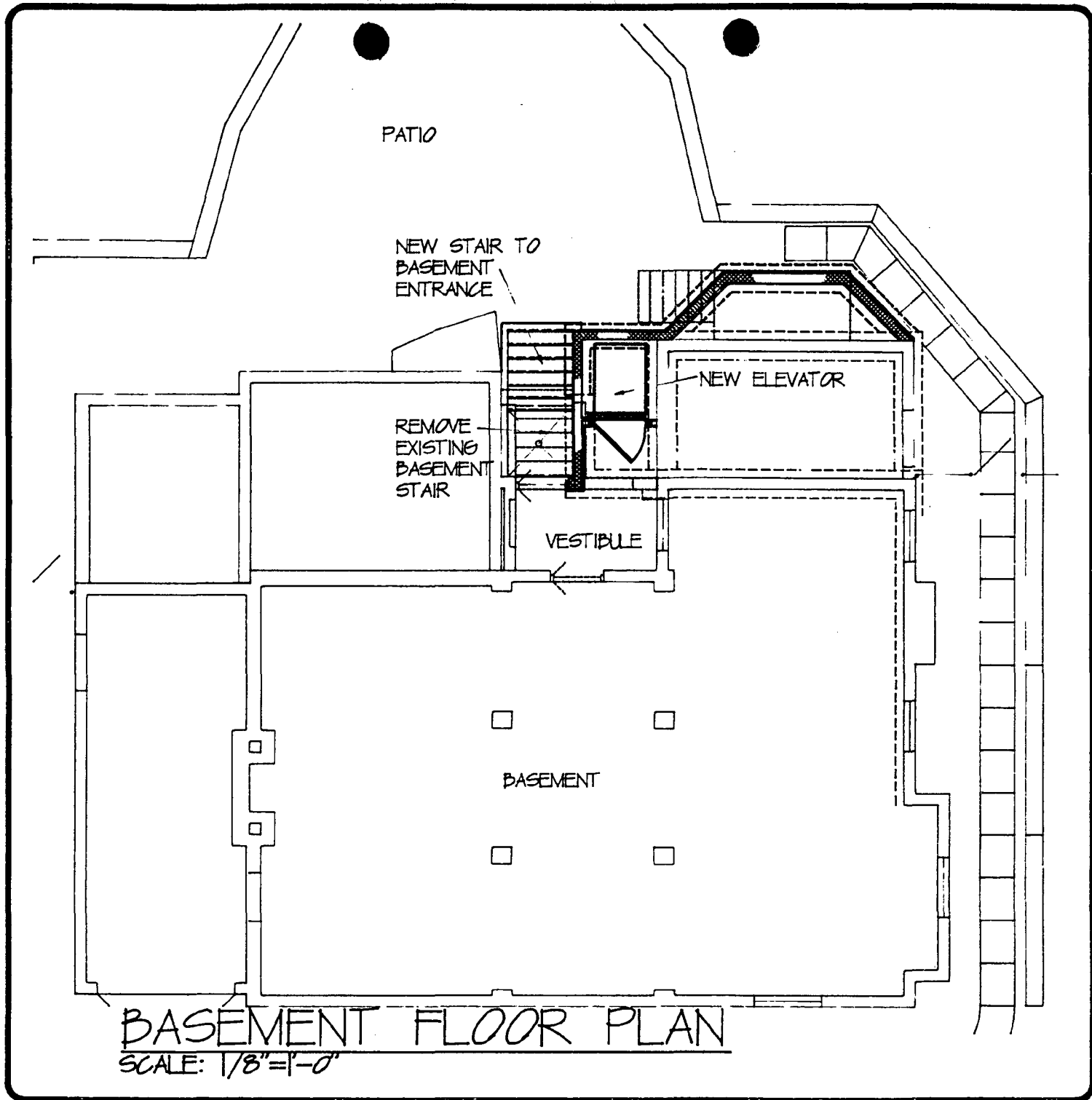
**ALTERATIONS TO THE RESIDENCE OF
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27 W. IRVING STREET, CHEVY CHASE, MD 20815

JOB NUMBER
9804



HENDRIKUS L. RAS AIA
3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE 1 (301) 946 6911 FAX 1 (301) 946 1544

DATE: 6/9/98
DRAWING NUMBER: **A-1**
SHEET: 1 of 9



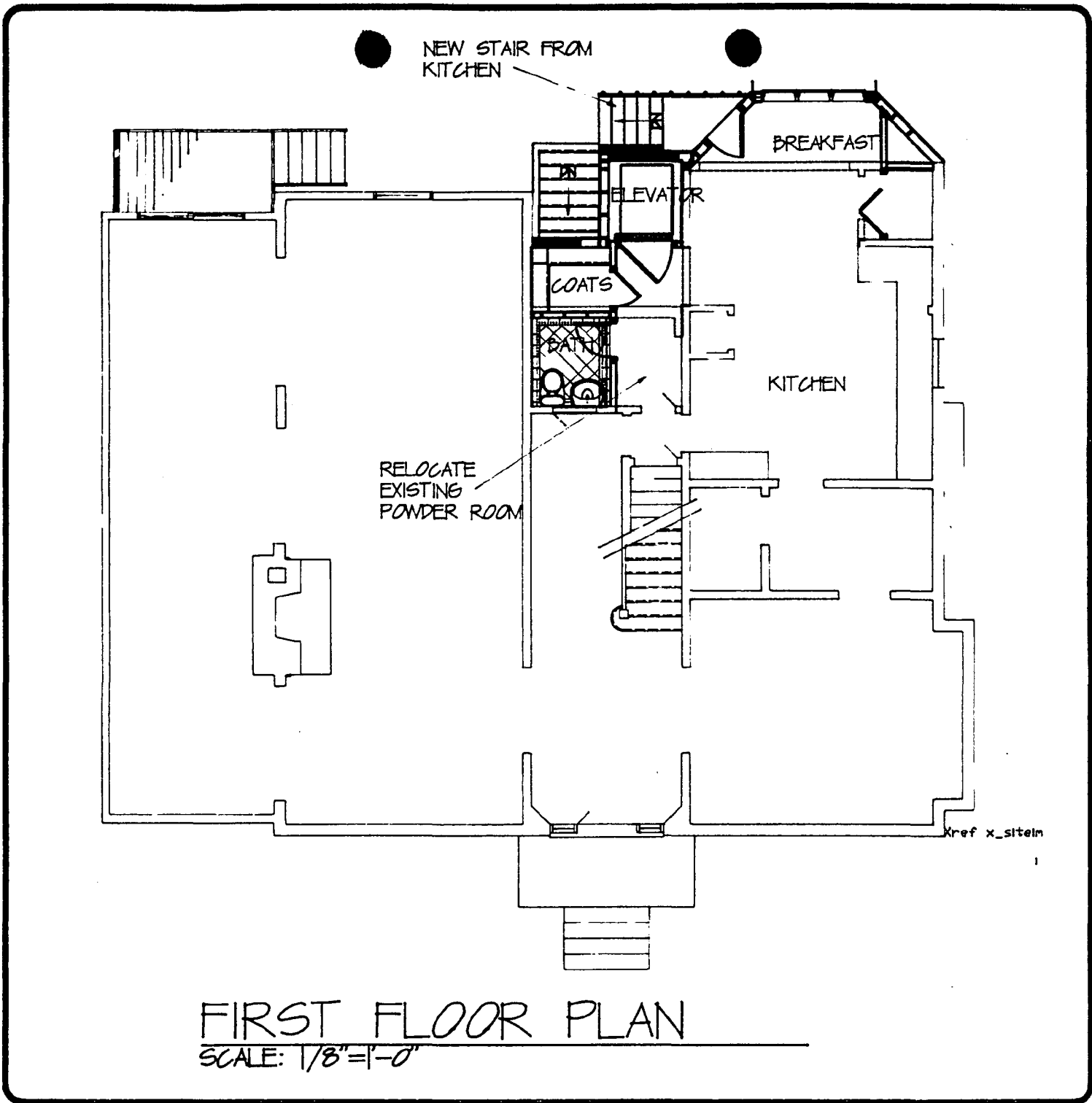
**ALTERATIONS TO THE RESIDENCE OF
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27 W. IRVING STREET, CHEVY CHASE, MD 20815

JSP NUMBER
9804



HENDRIKUS L. RAS AIA
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PHONE | (301) 946 6911 FAX | (301) 946 1544

10
DATE: 10/30/97
DRAWING NUMBER **A-3**
SHEET 3 of 3



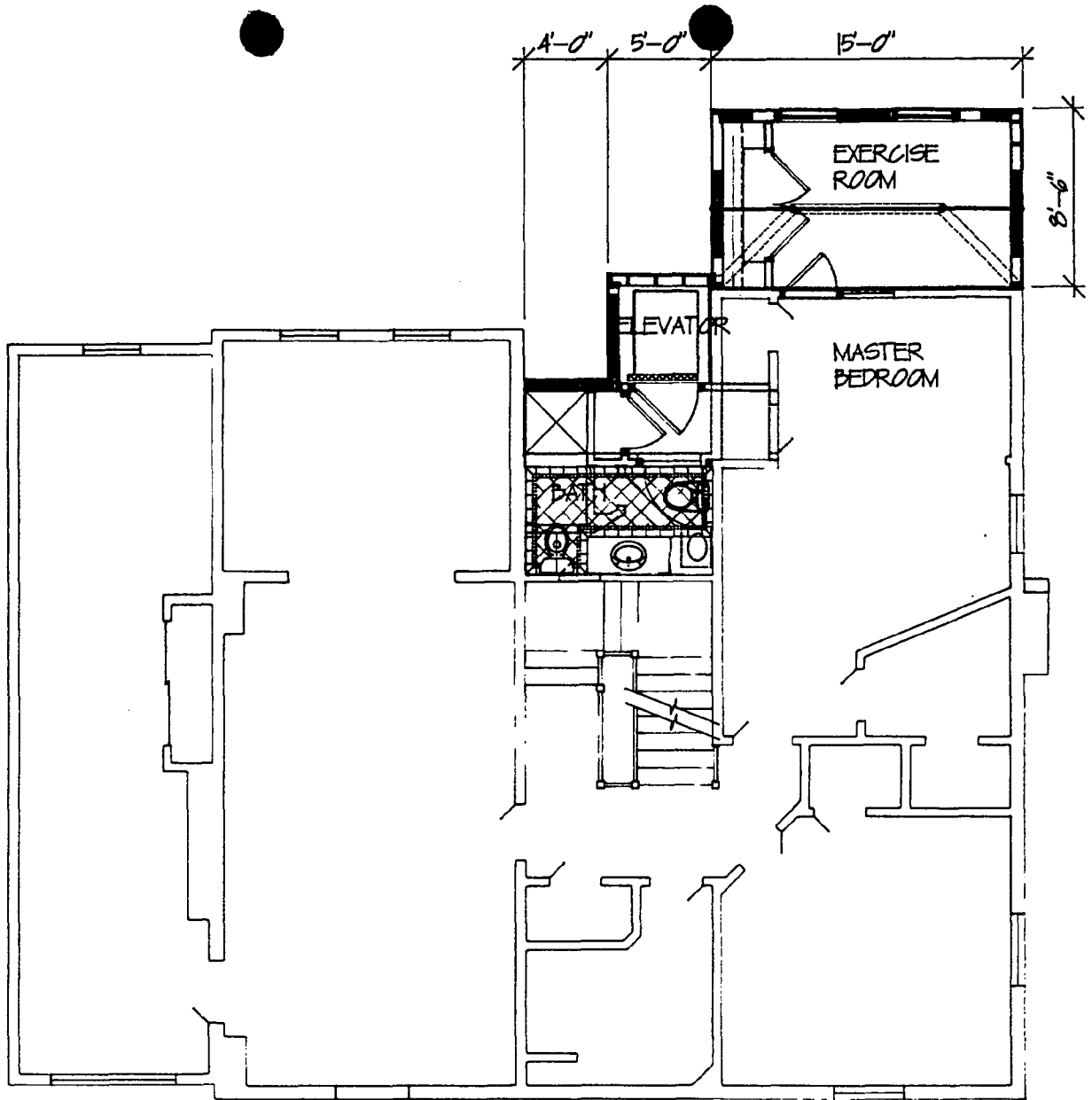
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DATE: 6/9/98
DRAWING NUMBER **A-4**
SHEET 2 OF 3



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

**ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN**

27 W. IRVING STREET, CHEVY CHASE, MD 20815

JOB NUMBER
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HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20901 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

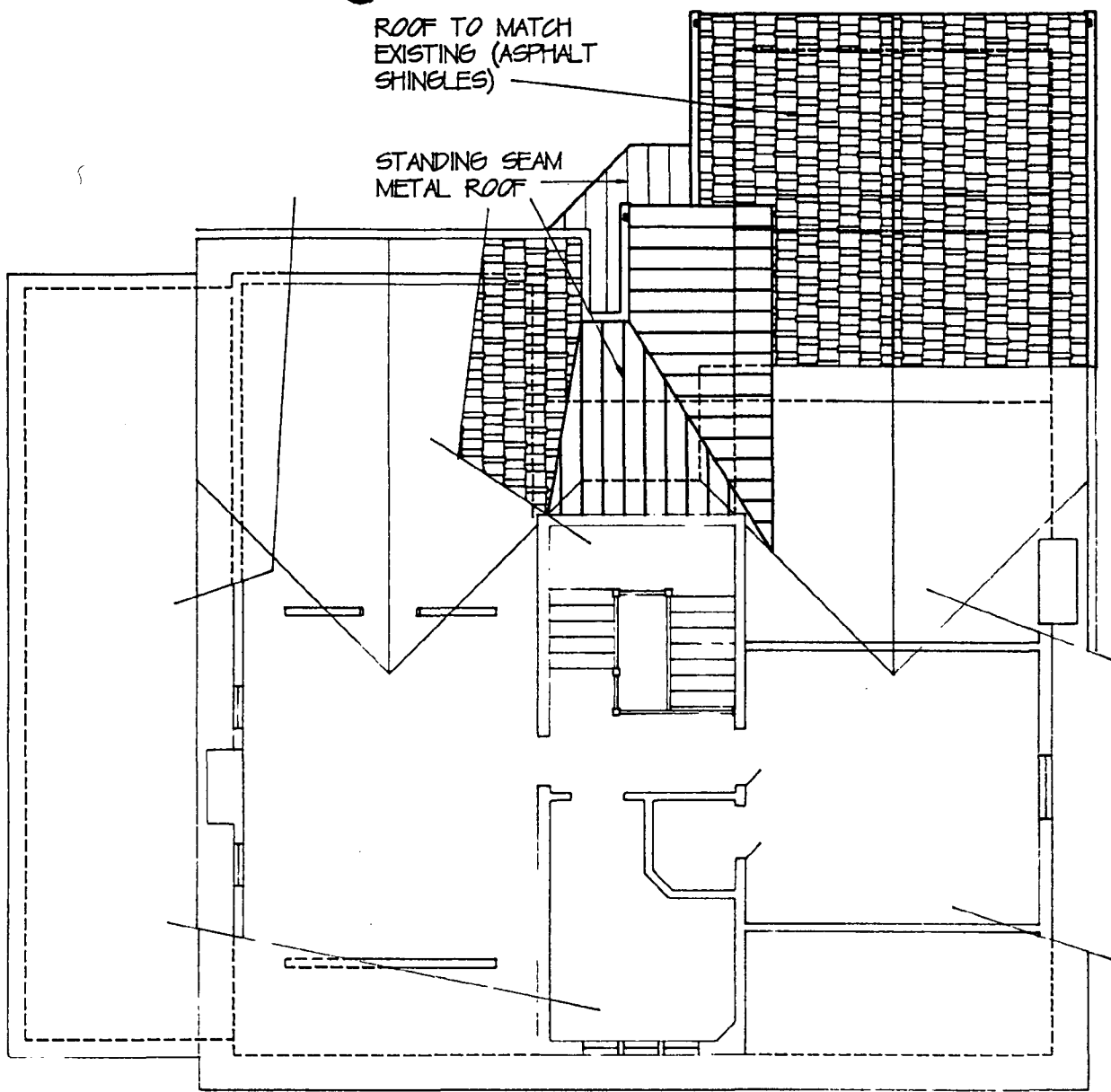
DATE: **6/9/98**

DRAWING NUMBER

A-5

SHEET

5 OF 9



THIRD FLOOR AND ROOF PLAN
 SCALE: 1/8" = 1'-0"

ALTERATIONS TO THE RESIDENCE OF
 MR. AND MRS. JACOB KAINEN
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HENDRIKUS L. RAS AIA
 3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
 PHONE | (301) 946 6911 FAX | (301) 946 1544

13
 DATE: 6/9/98
 DRAWING NUMBER: A-6
 SHEET: 2 of 3

ASPHALT SHINGLES
TO MATCH EXISTING



PAINTED SIDING TO
MATCH EXISTING

NORTH ELEVATION PROPOSED
SCALE: 1/8"=1'-0"

ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN
27 W. IRVING STREET, CHEVY CHASE, MD 20815

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JOB NUMBER
9804



HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: 10/30/97

DRAWING
NUMBER

A-7

SHEET

3 of 3



NORTH ELEVATION EXISTING
SCALE: 1/8" = 1'-0"

ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN
27 W. IRVING STREET, CHEVY CHASE, MD 20815

15

JOB NUMBER
9804



HENDRIKUS L. RAS AIA

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DATE: 6/9/98

DRAWING
NUMBER

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SHEET

2 of 3



NORTH ELEVATION

**ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN**

27 W. IRVING STREET, CHEVY CHASE, MD 20815

(16)

JOB NUMBER
9804



HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20901 2348
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DATE: **6/9/98**

DRAWING
NUMBER

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NORTH ELEVATION



SOUTH ELEVATION

ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN

27 W. IRVING STREET, CHEVY CHASE, MD 20815

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JOB NUMBER
9804



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NUMBER

A-9

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9 of 9



NORTH ELEVATION EXISTING

APPROVED
 1/8" = 1'-0"
 Montgomery County
 Historic Preservation Commission

ALTERATIONS TO THE RESIDENCE OF
 MR. AND MRS. JACOB KAINEN
 27 W. IRVING STREET, CHEVY CHASE, MD 20815

ISP NUMBER
 9804



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NORTH ELEVATION

ALTERATIONS TO THE RESIDENCE OF
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NORTH ELEVATION



SOUTH ELEVATION

ALTERATIONS TO THE RESIDENCE OF
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27 W. IRVING STREET, CHEVY CHASE, MD 20815

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PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: 6/9/98

DRAWING NUMBER

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SHEET

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MAILING LIST FOR HISTORIC PRESERVATION COMMISSION APPEAL

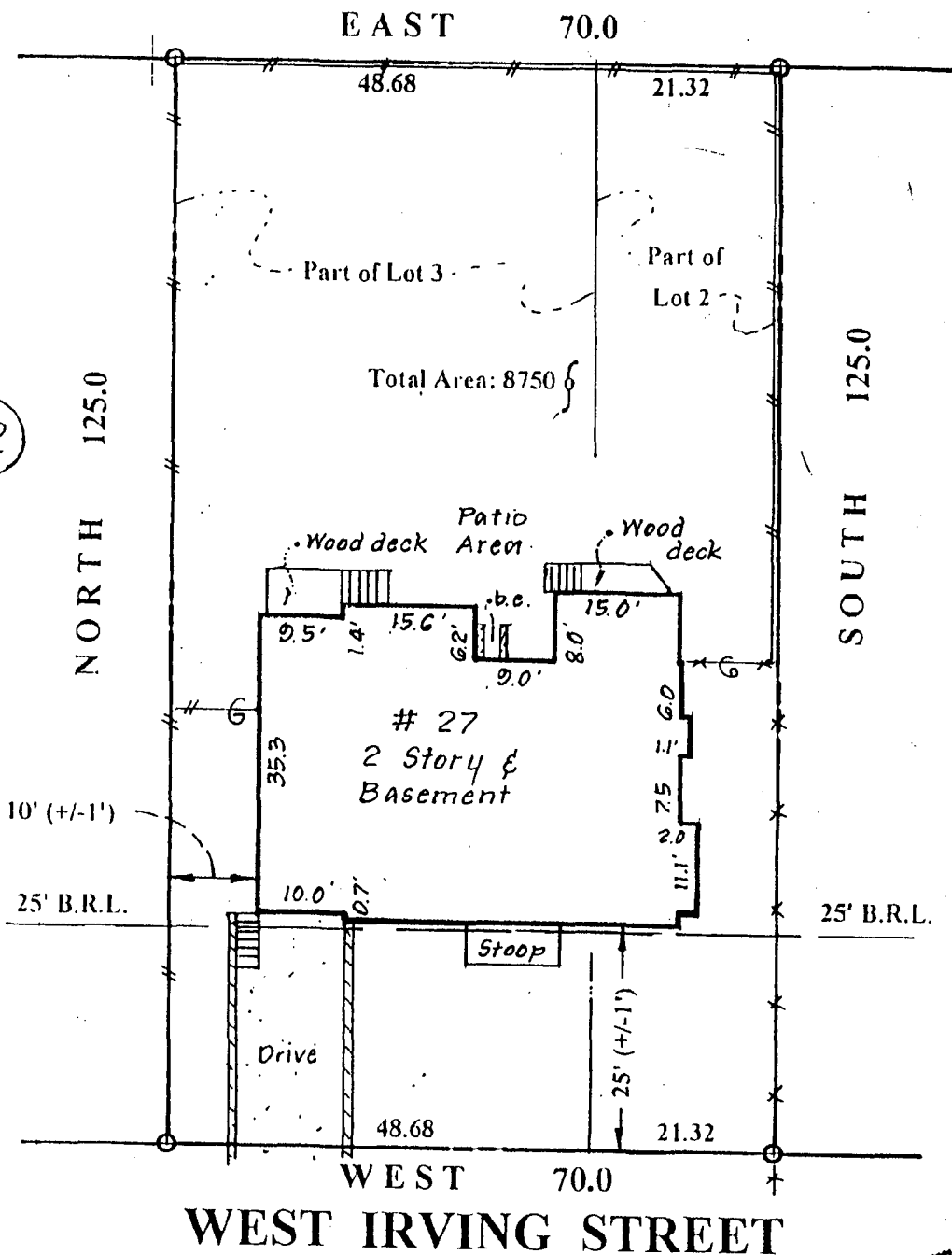
**Mr. and Mrs. Jacob Kainen
27 West Irving Street
Chevy Chase, Maryland 20815**

Adjoining and confronting property owners	
B. McGean 24 West Kirke Street Chevy Chase, Maryland 20815	Mr. and Mrs. Albert Warren 26 West Kirke Street Chevy Chase, Maryland 20815
Mr. and Mrs. Robert C. Doyle 28 West Kirke Street Chevy Chase, Maryland 20815	

LADTECH ASSOCIATES, INC.
 7907 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740

SEEN AND ACKNOWLEDGED

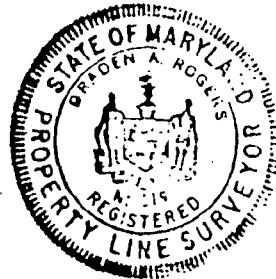
RUTH COLE KAINEN
 DATE: 01/21/98



32

NOTES:

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.



NO TITLE REPORT FURNISHED

<p>LOCATION PLAT OF: #27 West Irving Street Montgomery County, Maryland SUBDIVISION Section Number 2 CHEVY CHASE</p>	<p>LOT: Part of Lot 2, Part Lot 3 PLAT BOOK: 2 DATE: 1-7-98 CASE NO: 97-4577</p>	<p>BLOCK: 32 PLAT NO: 106 SCALE: 1"=20' FILE NO: V56-98001</p>
--	---	---

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Braden A. Rogers
 GRADEN A. ROGERS — PROP. L.S. MD. LIC. NO. 119

DRAWING INDEX

- A.1 VICINITY MAP
- A.2 PLOT PLAN (SITE PLAN)
- A.3 BASEMENT FLOOR PLAN (PROPOSED)
- A.4 FIRST FLOOR PLAN (PROPOSED)
- A.5 SECOND FLOOR PLAN (PROPOSED)
- A.6 ROOF PLAN (PROPOSED)
- A.7 PROPOSED NORTH ELEVATION
- A.8 EXISTING NORTH ELEVATION
- A.9 FRONT & REAR PHOTO'S
- A.10 EXISTING AREA TO BE REMODELED
(PHOTO OF EXISTING CONDITIONS)

ALTERATIONS TO THE RESIDENCE OF
MR. AND MRS. JACOB KAINEN
27 W. IRVING STREET, CHEVY CHASE, MD 20815

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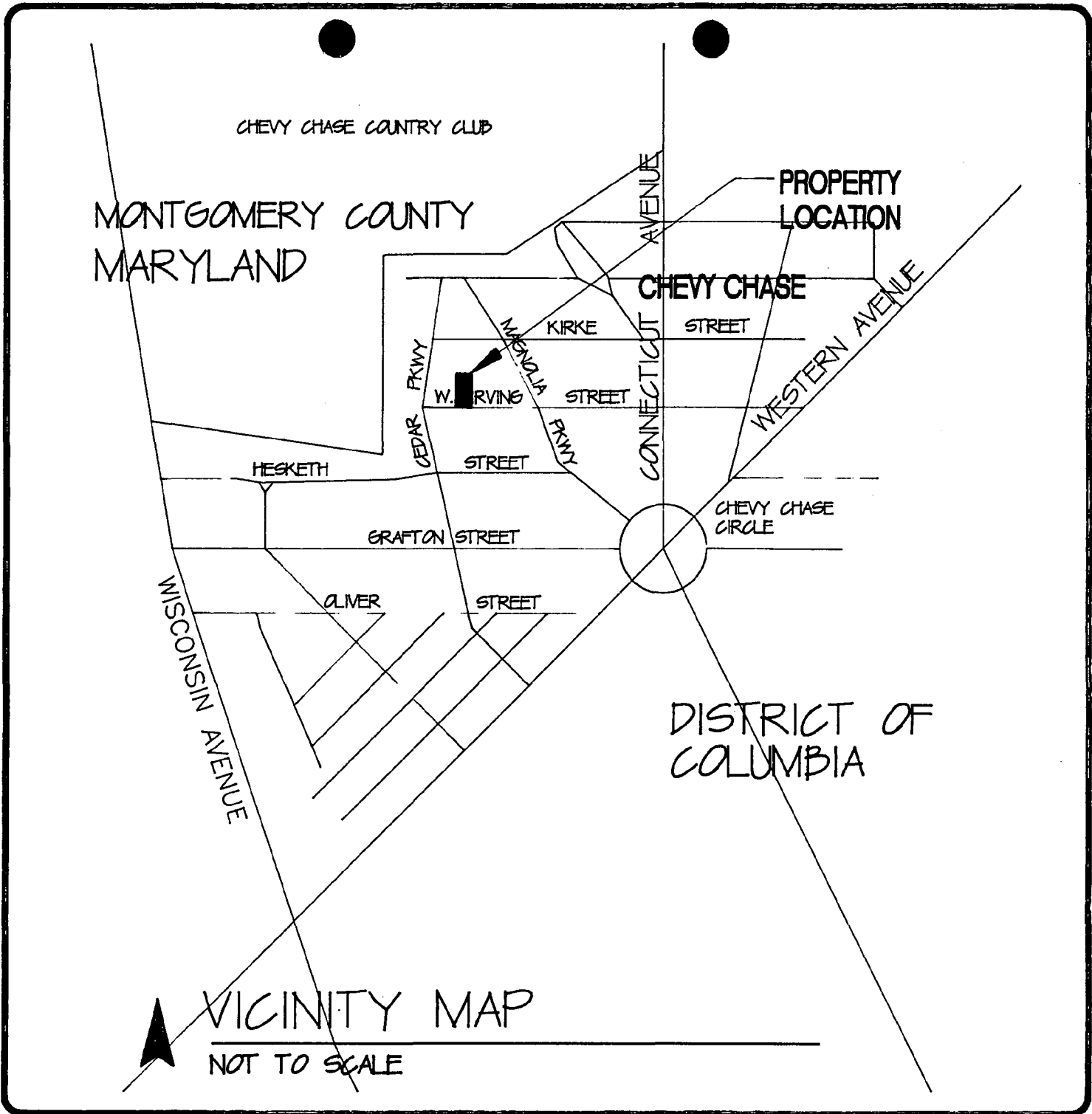


HENDRIKUS L. RAS AIA

3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 946 6911 FAX | (301) 946 1544

DATE: 8/9/98

DRAWING NUMBER INDEX
SHEET OF

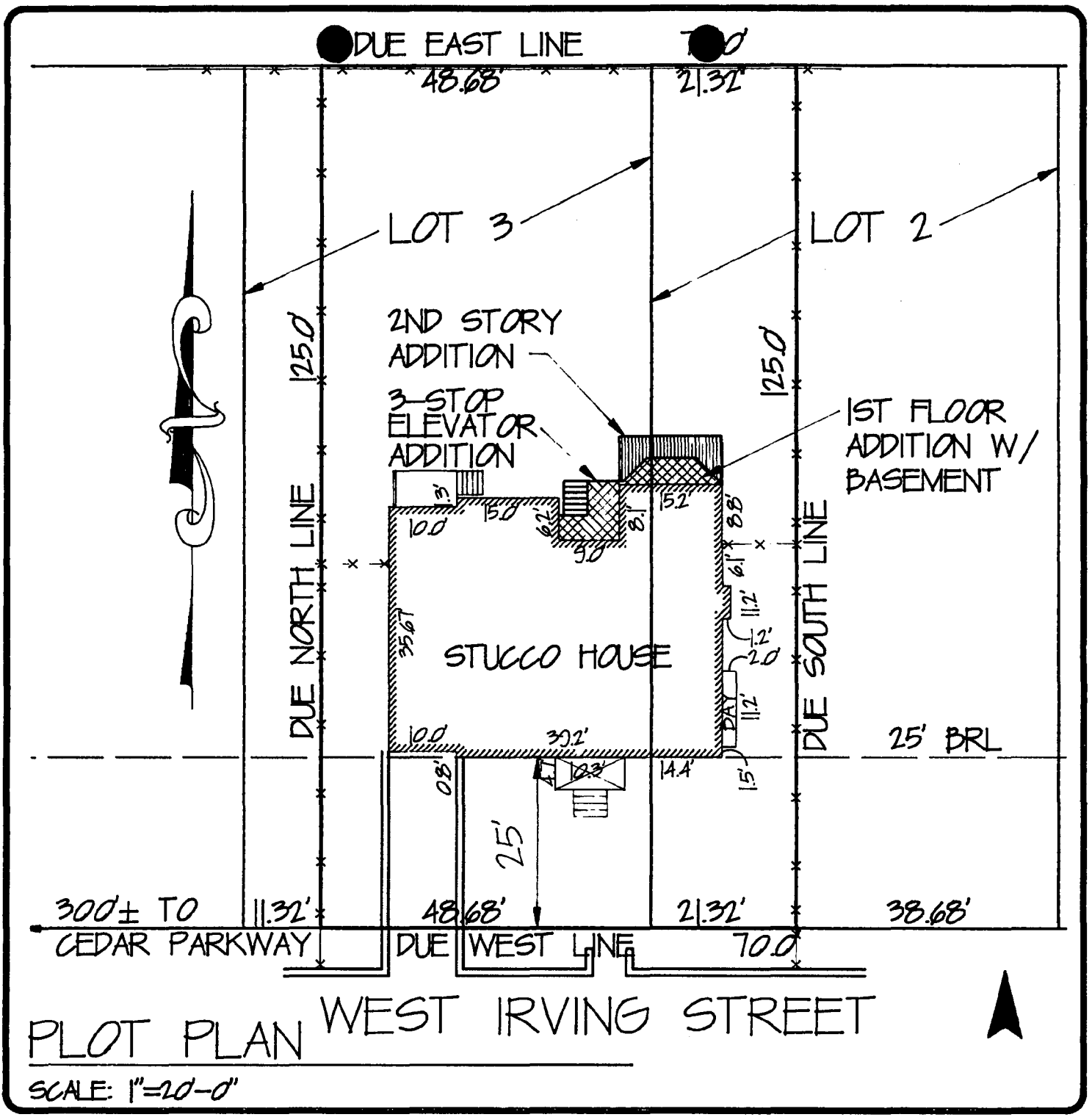


**ALTERATIONS TO THE RESIDENCE OF
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27 W. IRVING STREET, CHEVY CHASE, MD 20815

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HLR HENDRIKUS L. RAS AIA
3505 WOODRIDGE AVENUE SILVER SPRING MD 20901 2348
PHONE | (301) 346 6911 FAX | (301) 346 1544

DATE: **6/9/98**
DRAWING NUMBER: **A-1**
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PLOT PLAN WEST IRVING STREET

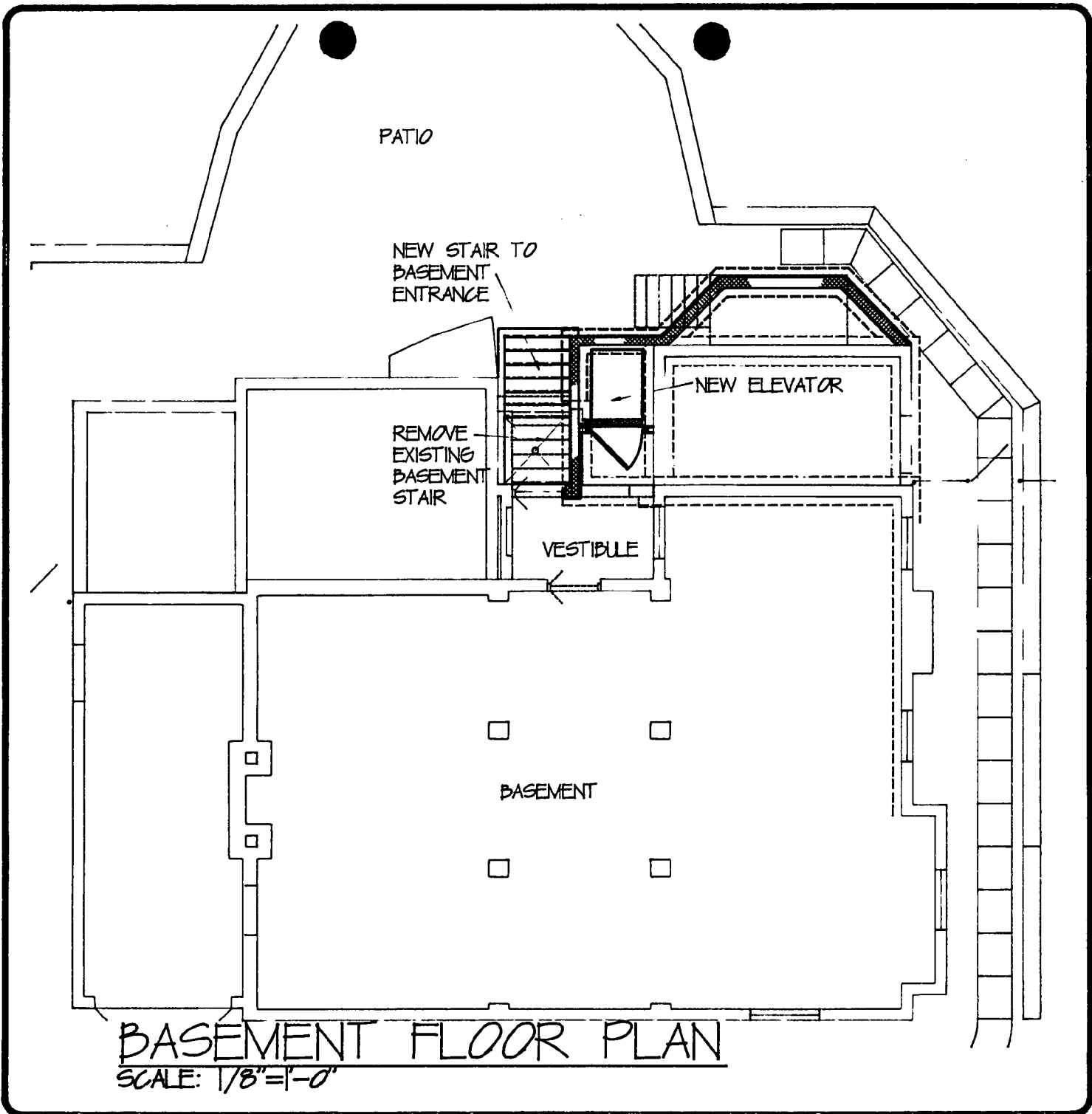
SCALE: 1"=20'-0"

**ALTERATIONS TO THE RESIDENCE OF
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JSP NUMBER
9804

HR HENDRIKUS L. RAS AIA
3505 WOODRIDGE AVENUE SILVER SPRING MD 20902 2348
PHONE | (301) 346 6911 FAX | (301) 346 1544

DATE: 6/9/98
DRAWING NUMBER: **A-2**
SHEET: 2 of 3

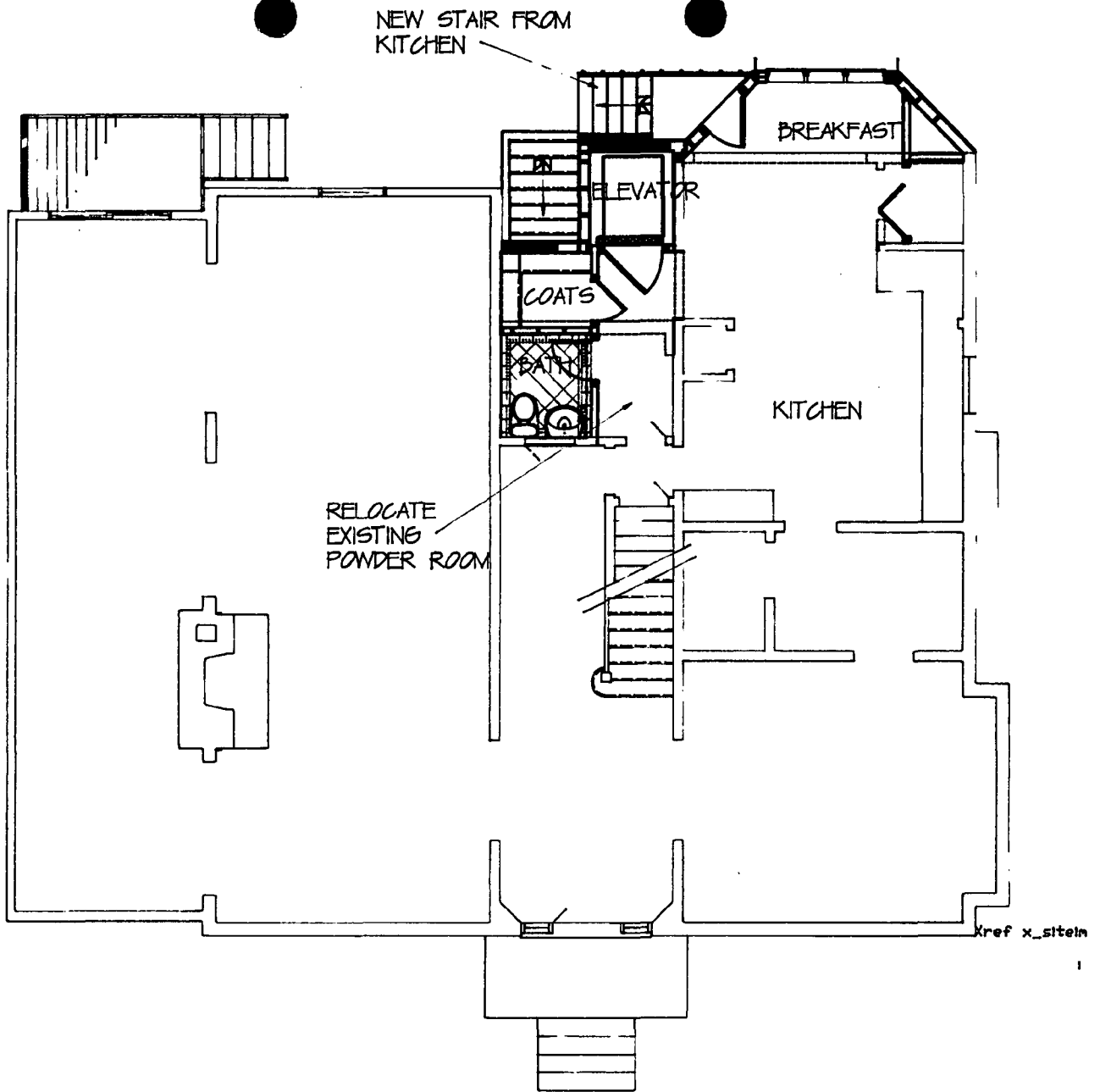


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DATE: 10/30/97
DRAWING NUMBER **A-3**
SHEET 3 of 3



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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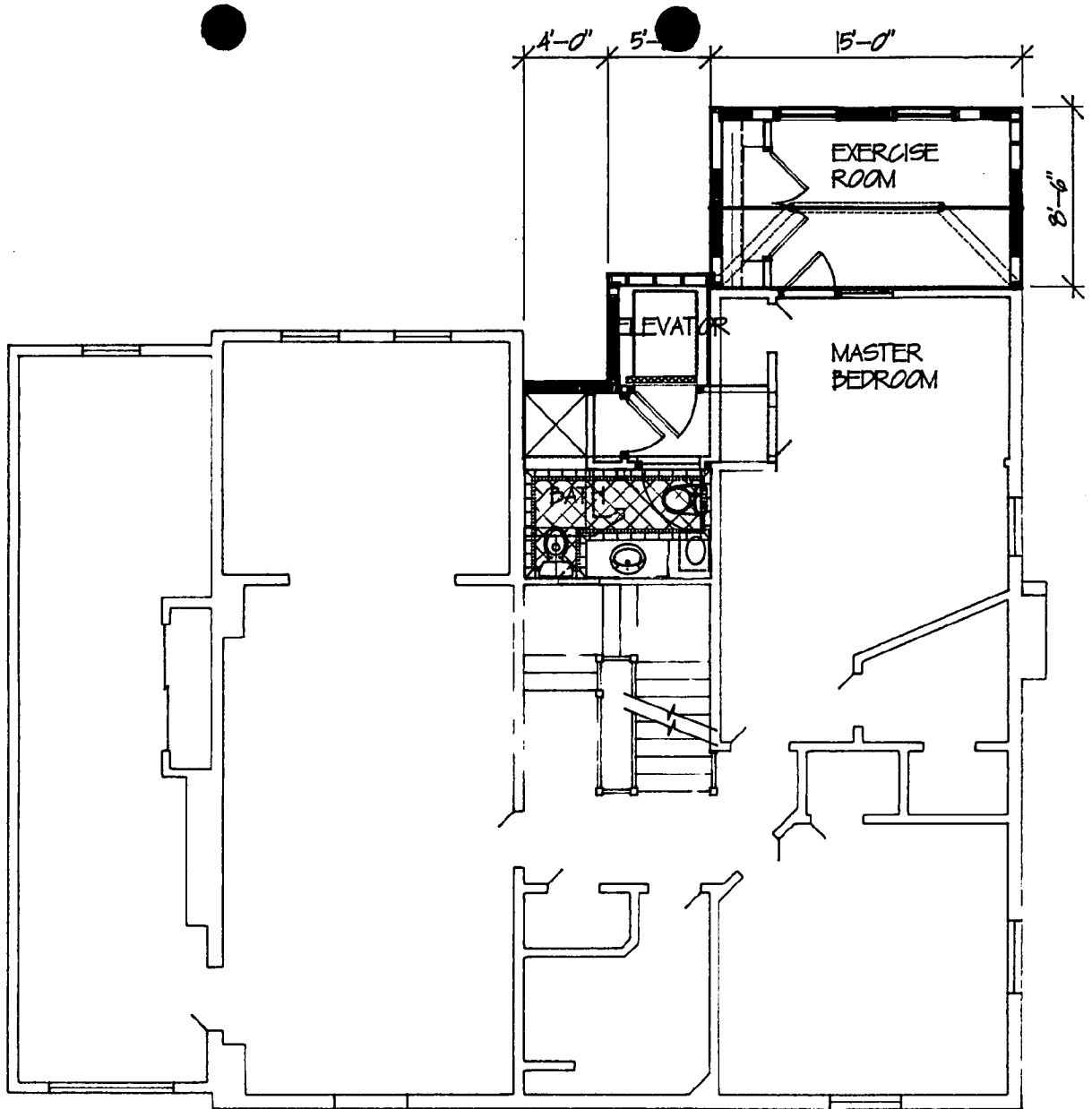
DATE: **6/9/98**

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A-4

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SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

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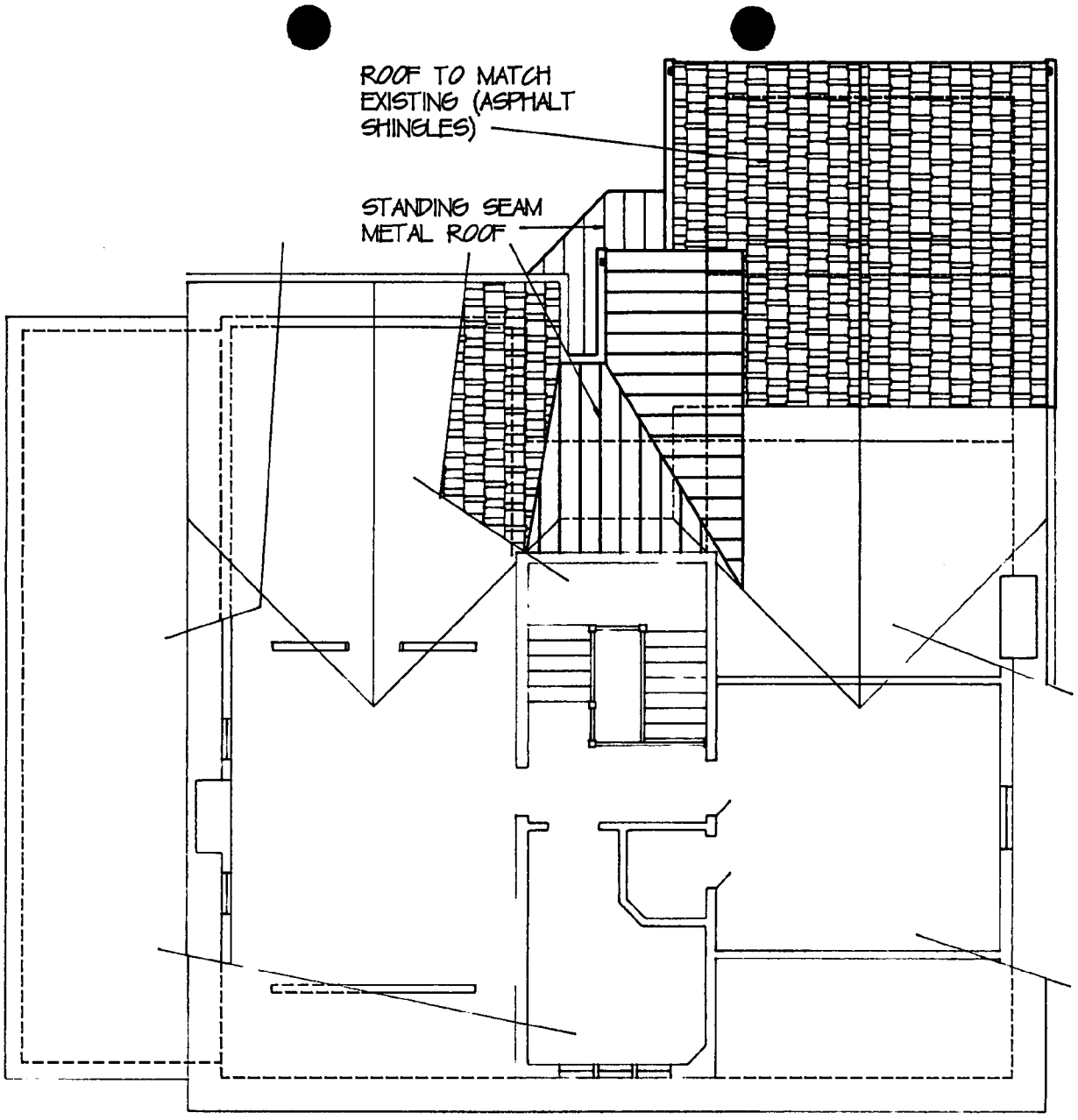
DATE: **6/9/98**

DRAWING
NUMBER

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THIRD FLOOR AND ROOF PLAN
 SCALE: 1/8" = 1'-0"

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 DRAWING NUMBER **A-6**
 SHEET **2 of 3**

ASPHALT SHINGLES
TO MATCH EXISTING



PAINTED SIDING TO
MATCH EXISTING

NORTH ELEVATION PROPOSED
SCALE: 1/8"=1'-0"

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NORTH ELEVATION EXISTING
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NORTH ELEVATION

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HENDRIKUS L. RASALA

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PHONE | (301) 946 6911 FAX | (301) 946 1544

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NORTH ELEVATION



SOUTH ELEVATION

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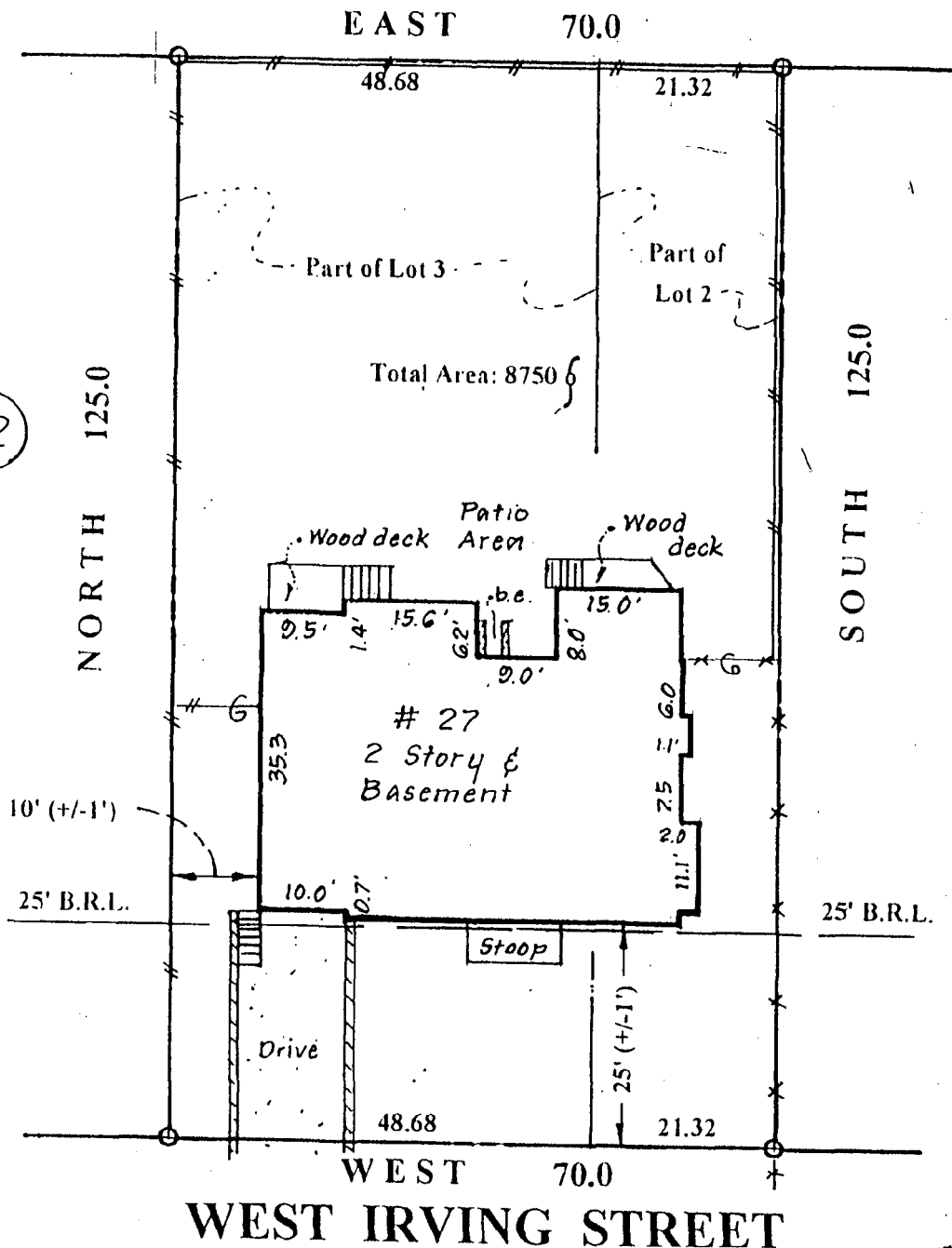
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LANDTECH ASSOCIATES, INC.
 7307 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740

SEEN AND ACKNOWLEDGED

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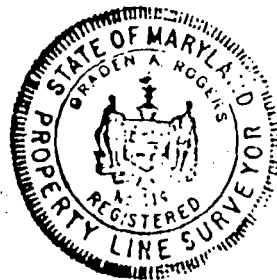
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WEST IRVING STREET

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NO TITLE REPORT FURNISHED

LOCATION PLAT OF: #27 West Irving Street Montgomery County, Maryland SUBDIVISION Section Number 2 CHEVY CHASE	LOT: Part of Lot 2, Part Lot 3	BLOCK: 32
	PLAT BOOK: 2	PLAT NO: 106
	DATE: 1-7-98	SCALE: 1"=20'
	CASE NO: 97-4577	FILE NO: VSG-98001

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Braden A. Rogers
 GRADEN A. ROGERS - PROP. L.S. MD. LIC. NO. 119