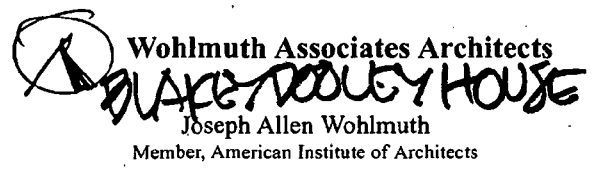


35/13-99L 31^W Kirke Street
(Chevy Chase Village Historic District)

35/13-99L REV. 31 West Kirk St.
(Chevy Chase Village HD)



4000 Cathedral Avenue, NW, 105 B
Washington, DC 20016
202.337.3157 & wohlmut@aol.com

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 6-6-00 -

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner *edk*
Michele Naru, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

3S/13-00I ~~3S/13-99L~~ (Revision)

The Historic Preservation Commission reviewed this project on 5-24-00-
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 5/12/00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

Revision to Existing HAWP

FROM: *pdz* Gwen Wright, Coordinator
Historic Preservation

9905270103

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

Approved with Conditions: *(1) Window # 2 or similar rectangular form to be used. Preferable to reuse existing (original) window in new location.*

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Mr + Mrs. Dooley

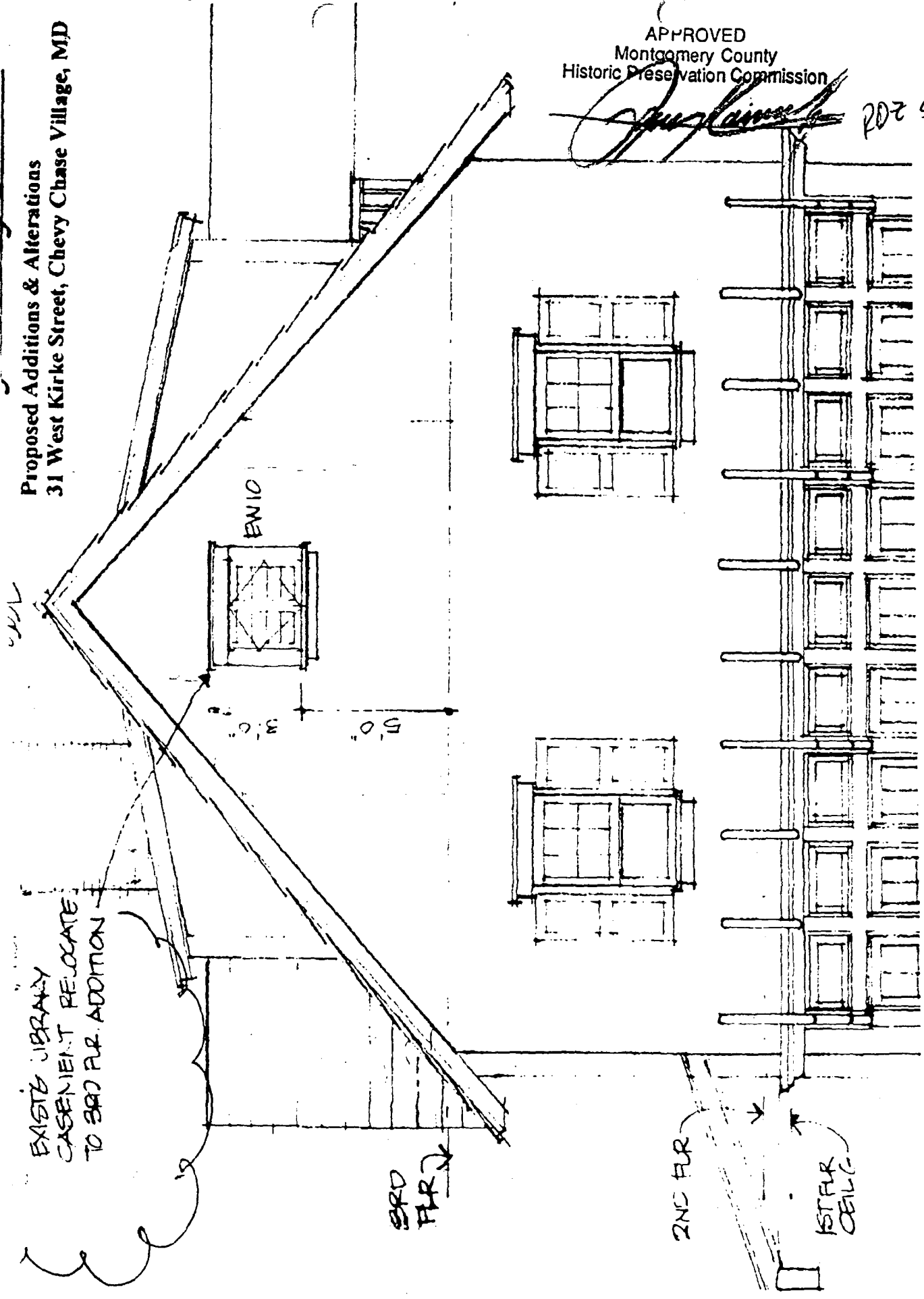
Address: 31 W. Kirke Street, Chevy Chase MD 20815

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

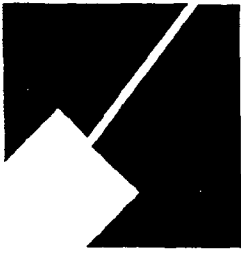
Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
2007 5/10/00



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6/8/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *gdw*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

35/13-99L (Revision)

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

c:\hawpapr.wpd

WUNCY-LUVEY HOUSE

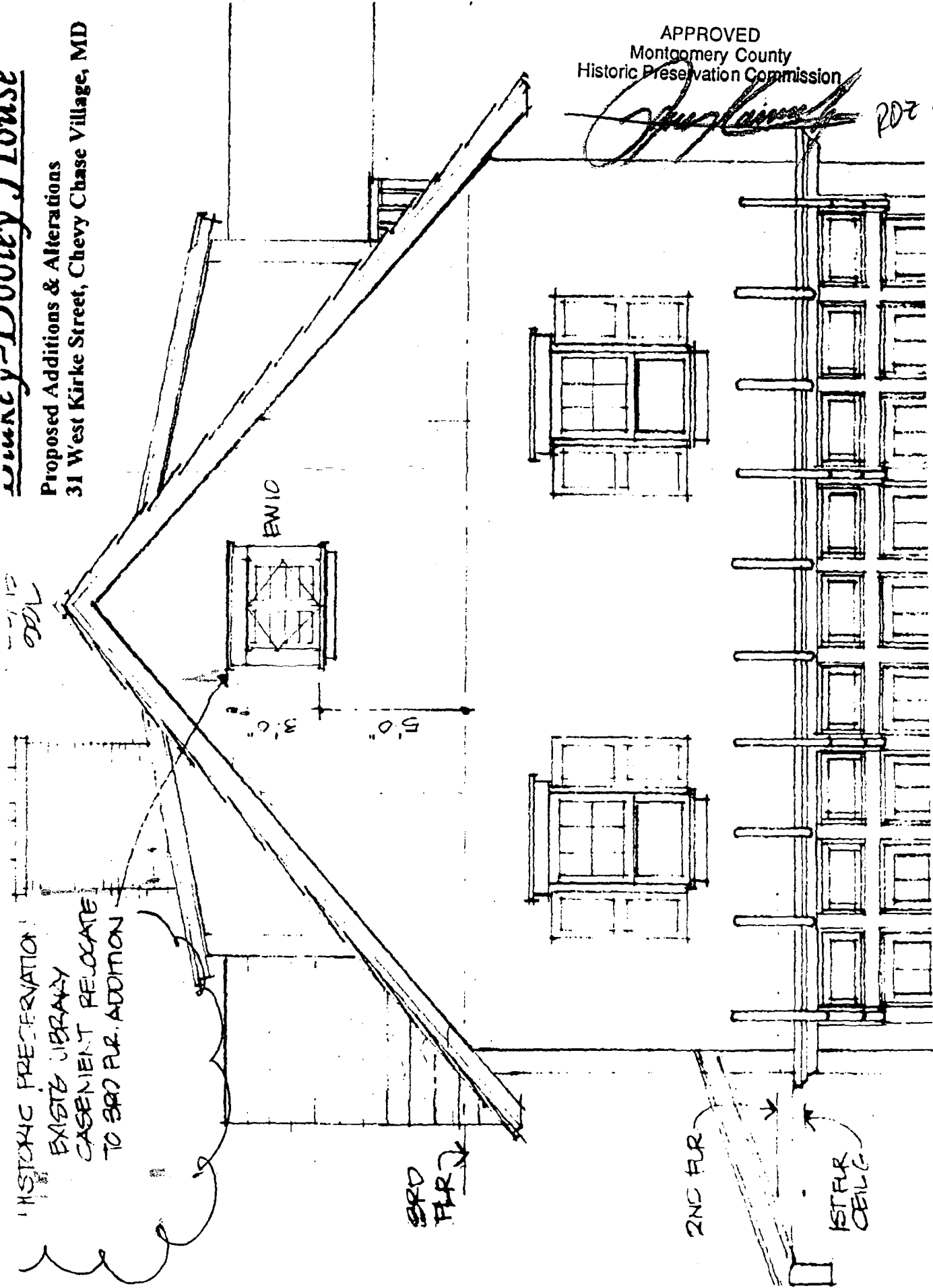
Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 207 5/10/00

207

HISTORIC PRESERVATION
EXISTING LIBRARY
CASEMENT RELOCATE
TO 3RD FLR. ADDITION



3RD FLR

2ND FLR

1ST FLR
CEILING

DUNN-LUVEY HOUSE

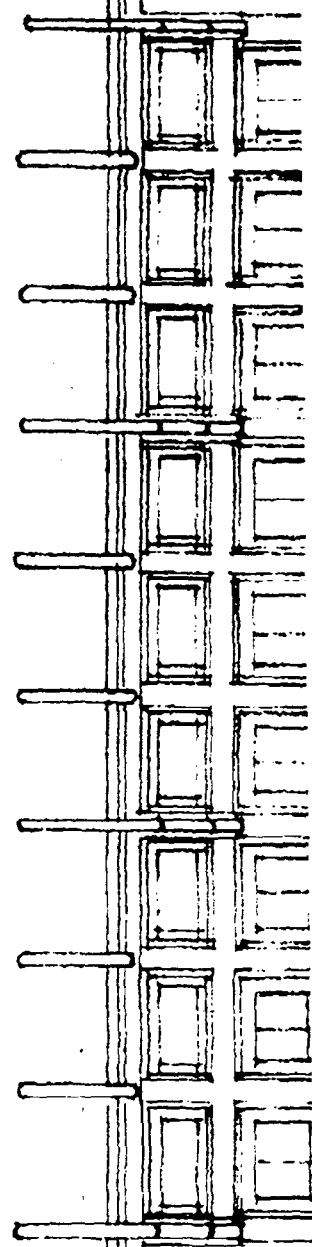
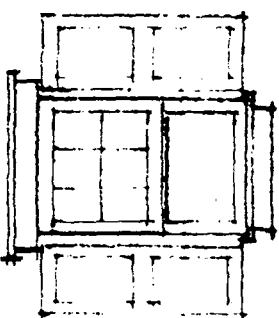
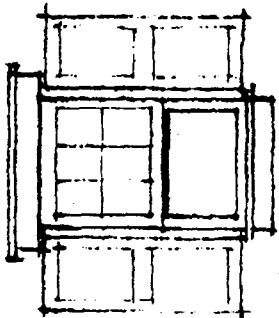
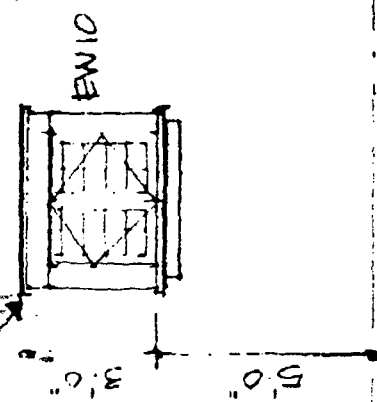
Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 207 5/10/00

207 5/10/00

HISTORIC PRESERVATION
EXIST'G LIBRARY
CASEMENT RELOCATE
TO 3RD FLR. ADDITION



3RD FLR

2ND FLR

1ST FLR
CEILING

Louise Louise House

Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 207 5/10/00

7'0" 0'0"

HISTORIC PRESERVATION:
EXIST'G LIBRARY
CASEMENT RELOCATE
TO 3RD FLR. ADDITION

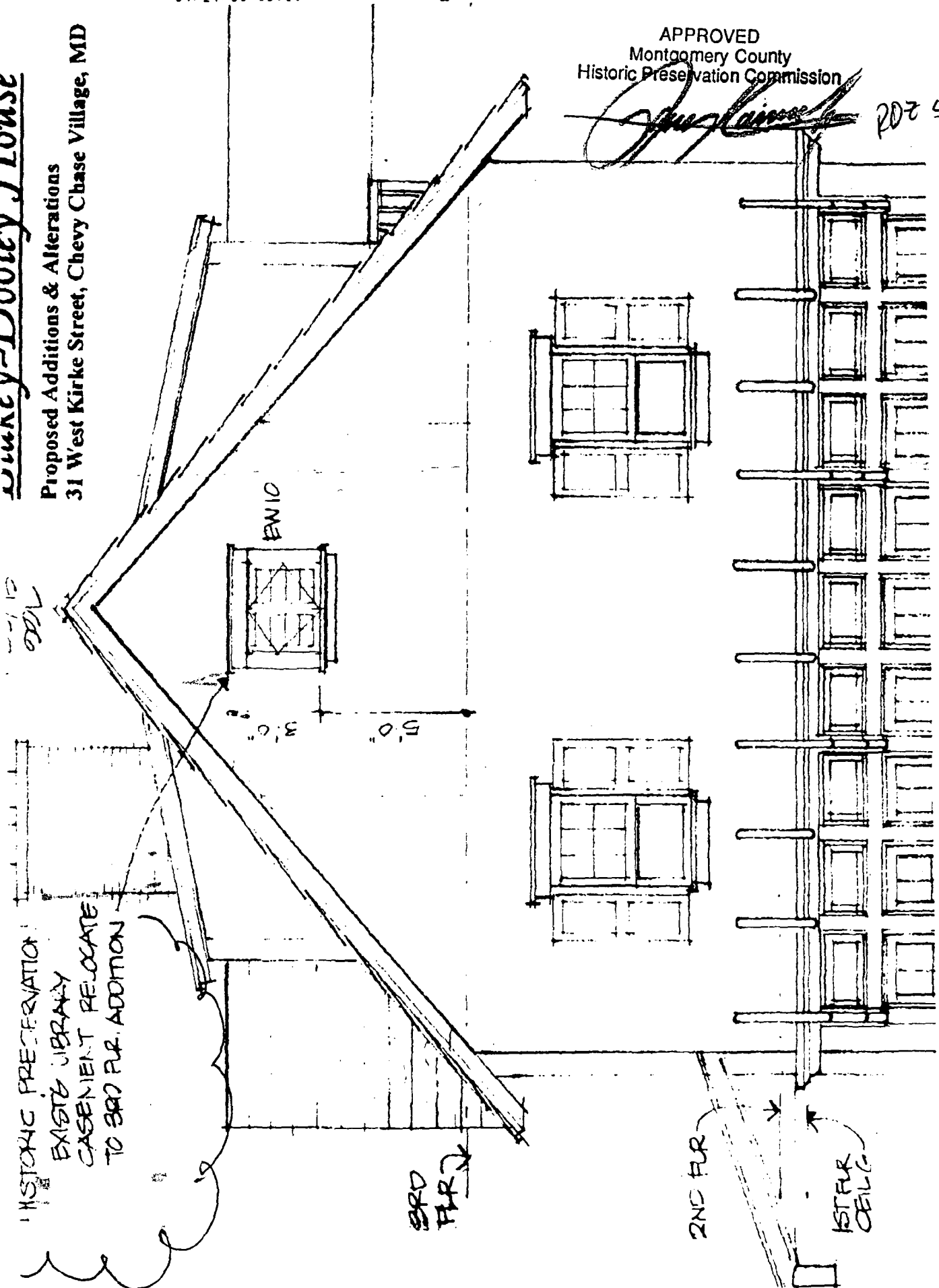
EWIC

5'0" 3'0" 5'0"

3RD FLR

2ND FLR

1ST FLR
CEILING



24 MAY 99

BLAKEY DOOLEY HOUSE HAMP

ADJ. OWNERS CHEVYCHASE VILLAGE

20815

29 W. KIRKE · MARY A TUOEY.

32. W. KIRKE · ROGER DOWER (HOUSE SOLD RECENTLY)

* 33 W. KIRKE CHARLES HOBBS

(PEF - HPC CASE 3713 99J)

NEW OWNER REMODELING.

BY, JOE WOHLMUTH

202 337 3157

4000 Cathedral Ave. Suite 105B

Wash DC 20016

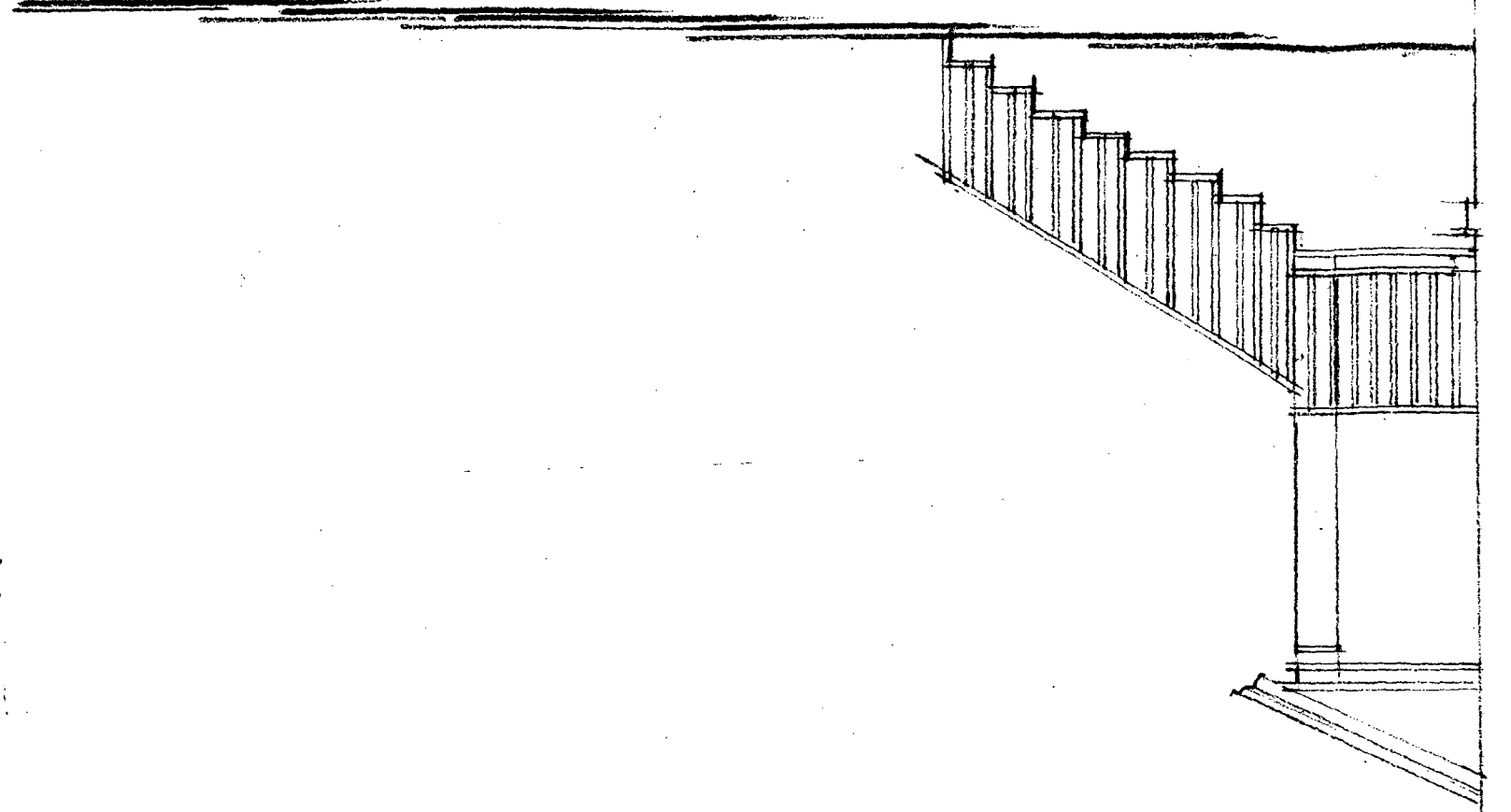
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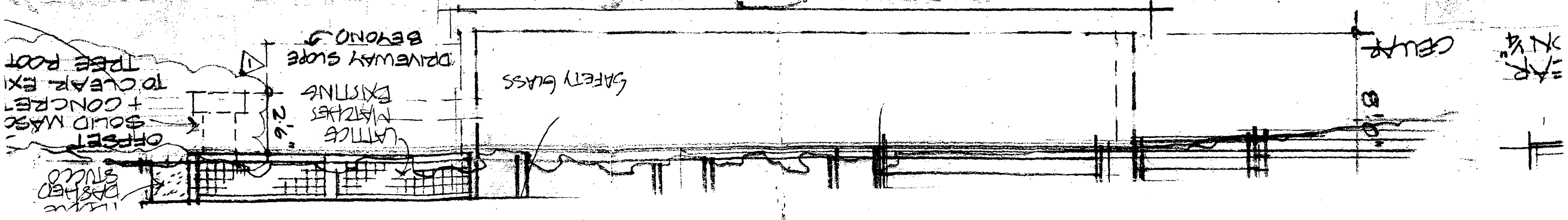
3 APR 00 POP
14 MAR 00 PE
14 MAR 00 PE
14 MAR 00 PE
15 MAR 00 DU
21 MAR 00 PE
1 MAY TRBU
14 MAR 00 PE



APP
Montgomery
Historic Preservation



1 SOUTH FRONT ELEVATION
1/4" = 1'-0"



EXISTING
NEW
ADDITION

34'-0"
ABOVE
GRADE



PAINTED METAL DORMER

RED SLATE

GUTTER +
DOWNSPOUT

SHUTTER

PEBBLE DASHED
STUCCO WALL

PAINTED METAL ROOF

PAINTED
WOOD
WISTERIA
TRELLIS

PAINTED WOOD
RAIL + PICKETS

NOTE:
4" MAX CLEAR
BETWEEN
PICKETS +
BOTTOM RAIL

PEBBLE
DASHED
STUCCO

NEW
RAIL

3'-6"
x 3'-0"

4 15 16 17

28 14 12 20

5
AO

MECHANICAL EQUIPMENT

Key	Type	Description
M1	HVAC#1	Existing basement 4 ton fan/gas furnace. Reduce supply 375cfm to 2 nd floor dressing and Bedroom 2. Extend supply to new living/dining room w/ 3 - 125cfm floor registers via insulated ductwork.
M2	HVAC#2	New 2 ton fan and 10KWelec furn. with pan and 1" condensate drain @ garret closet: mfr Carrier FKCNF-002 (13 SEER). Provide pad-mounted condensing unit: 38BYC-024 (13 SEER) @ side yard. Fan unit supplies 400cfm @ garret + 400cfm @ 2 nd floor. Locate return & t-stat @ garret hall.
M3	EF#1, 2 & 3	New exhaust fan, 80 cfm, 1.6 sones acoustic rating M.Bath, Bath 2 and Bath 3 - duct out to screened vents.

MECHANICAL NOTE: Insulate duct work in attic and below first floor with 1inch foil-faced glass fiber.

4
AO

ELECTRICAL SCHEDULE

Key	Type	Description
L1	Cove Light	Continuous warm-white fluorescent- mounted @ 7'6"h. at alcove in new living/dining room- 50 linear feet - allow 500 watts
L2	Pendants	2 junction boxes new living/dining room - w/ ceiling supports for pendant incandescents. (2 x 300 = 600 watts)
L3	Ext. Pendant	1 junction box- exterior front porch - 4x100= 400 watts
L4	Wall Incandescent	Master Bath counter above mirrors 10 bulbs - 4 @ shower lav. + 6 @ tub lav. (10 x 75 = 750 watts)
L5	Ceiling Incandescent	7 junction boxes- 2 @ m.bath, 3 @ master hall, 1 @ dressing, library, 1 @ new office (7 x 100 = 700 watts)
L6	Ceiling Fluorescent	8 junction boxes- 6 @ dressing closets, 1 @ garret HVAC closet, + 1 @ attic addition (8 x 75 = 600 watts)
L7	Water Proof Incandescent	Shower light - 75 watts

ELECTRICAL SERVICE NOTES - (See Sheet A-1 for Power Riser Diagram and Panel Schedules)

Provide 12 circuit 100-amp single-phase 120/208V subpanel fed from existing 200 amp main service panel. Subpanel circuits for new HVAC fan unit, condensing unit, lighting and convenience power receptacles.

Provide convenience power receptacles spaced as required by building code. Fixture wiring and panel circuiting shall comply with the National Electric Code.

MONTGOMERY COUNTY
PERMITTING SERVICES
APPROVED AS NOTED

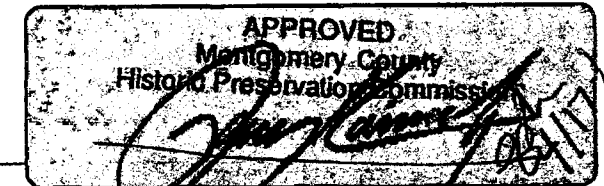
2
AO

STRUCTURAL FOOTING & FRAMING

- Footings: spread for 2000 pounds per square foot soil bearing pressure.
- Concrete: type II cement, ASTM C33 normal weight aggregate, slump 3" max at minimum, with 3000 PSI strength after 28 days.
- Steel: reinforcing bars- ASTM type S Grade 40, 40K psi yield & 70K ultimate
- Wood - A. Structural lumber visually graded - Douglas Fir - dense #2 surface dry to 19%, E=1.3, Fb = 1600 repetitive Southern Pine - dense #2 kiln dry to 15%, E=1.6, Fb=1600 repetitive Joist and beam - capacity shall exceed CABO dwelling code standard
B. LVL engineered girders and joists: Grade 20.E minimum bearing 1-3/4-1/2" maximum live load 133 pounds per lineal foot at L/360 deflect
C. Joist and beam framing: galvanized structural hangers, top mount or front mount, approved as manufactured by TECO or approved equal.
- Design Loads:
Floor loads- 10psf dead + 40psf live load = 50 psf total floor load
Roof loads- 10 psf dead + 30x(.7) live load = 31 psf total roof load
- Framing First Floor: joists and subfloor shall be pressure treated for exterior exposure
- Sub-flooring: All sub-floors shall be nailed and glued with construction adhesive edge of joists and beams.

ALL LEVELS & BEDROOMS
Smoke detectors shall be installed in accordance with Section 316 of the PPS One and Two Family Dwelling Code as amended.

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.



1
AO

Project Data

House Areas:	Existing	New	Total
First Floor ...	1,300 sf	410 sf	1,710 sf
Second Floor	1,300	410	1,710
Garret/Attic	540	265	805
Useable Total	3,140 sf	1,085	4,225 sf
(Cellar	1,340	na	1,340)
(Porch Deck	660	130	790)
Lot Area:	8,125 sf		

Actual House Coverage: Exist. (1,300 sf) + New (410 sf) = 1,710 sf

Allowable Coverage: 8,125 x 35% = 2,844 sf

Disturbed Soil is less than 2 cubic yards; house addition rests on four piers.



14 MAR 00 GC PE
21 JAN 00 NE
15 AUG 00 C

PROJECT DATA and SPECIFICATIONS

CASEWORK INSTALLATIONS

Key	size: LxWxH	Description
CW1	L"x12"x66"	Wall shelving: five tiered @ 1'-3" oc, w/ 5/4" edge trim. Vertical support panels 42" apart max. Top shelf receives 3-1/2" crown moulding.
CW2	L"x10"x96"	Cased wall openings: living/dining rooms to addition Match existing door head and jamb detail.
CW3	L"x8"x80"	Cased wall openings: m.dressing closets to match existing door head and jamb detail.
CW4	L"x18"x66"	M.dressing closet shelves: edged with 5/4" trim and supported vertically by panels 42" apart max.
CW5	L"x1"x66"	Single hanging rod: supports 42" apart max., w/ 5/4" trimmed shelf
CW6	L"x1"x42"+84"	Double hanging rod: supports 42" apart max.
CW7	24"x4"x66"	Belts, ties & scarves rack: 4" pegs set 3" apart horizontally and 3 tiers vertically at 22" oc.
CW8	48"x24"x30"	Dressing vanity: supported by wall cleats three sides and edge trimmed with 2-1/2" ogee moulding & 3/4" quarter round @ wall.
CW9	24"x18"x54"	M. bath wall cabinet: on vanity base cabinet and stone counter top; mirrored double door w/ touch latches above; 3 shelves + 1 duplex receptacle w/ ground fault interruptor.
CW10	36"x8"x5/4"	M.bath tub shelving: 3 tier behind tub, lav wall w/ 5/4" edge trim.
CW11	L"x24"x36"	M.bath vanity base cabinets: counter tops stone with bullnose edge and 8" backsplash. 6" base, doors & drawers per details. Duplex receptacle on ground fault interruptor.
CW12	42"x18"x66"	M.hall linen closet: 5/4" edges & wall cleats 3 sides

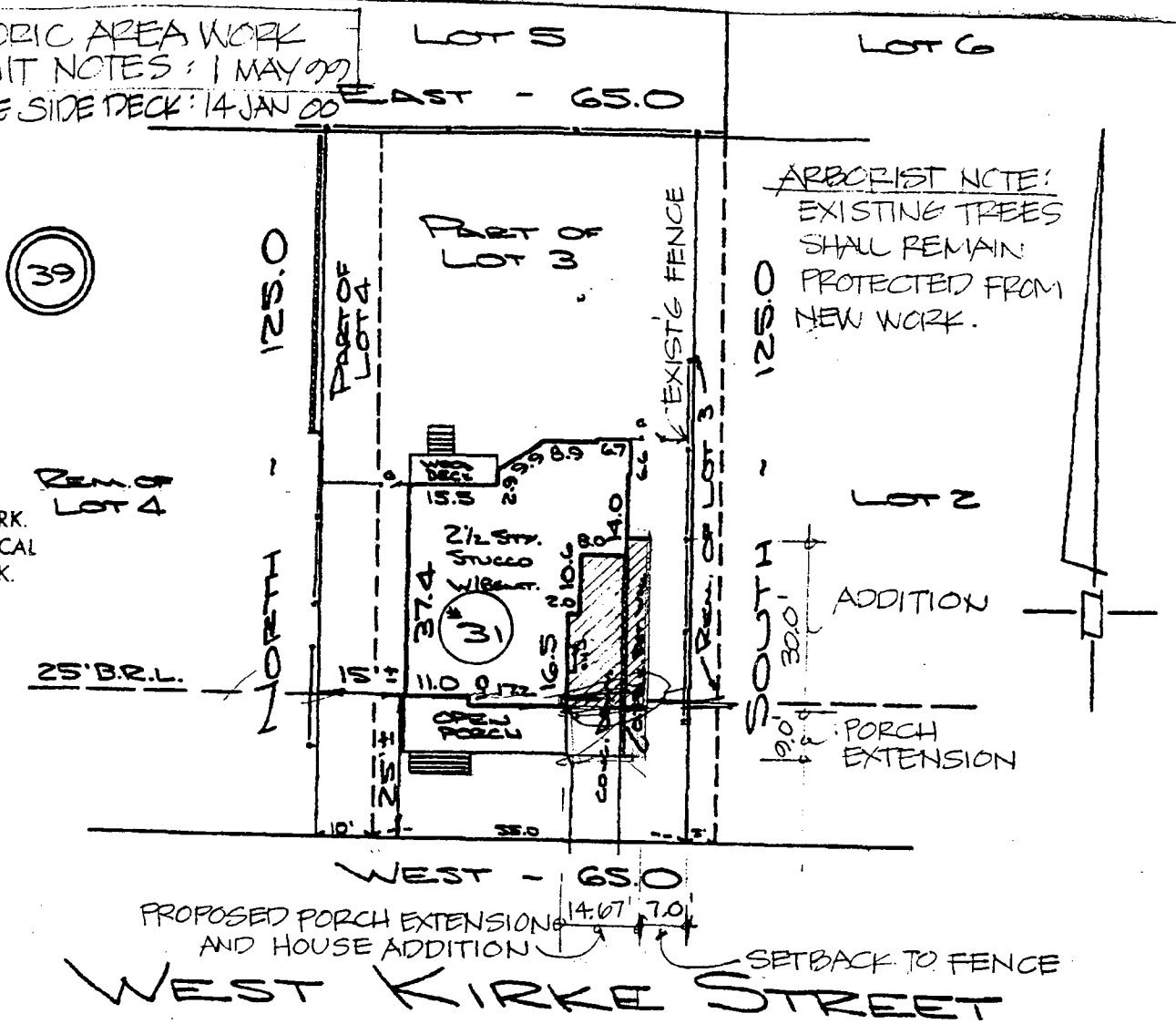
Casework Finish: sand smooth and clean all surfaces, prime one coat and paint 2 coats oil-based enamel, satin finish.

3 SITE PLAN

HISTORIC AREA WORK
PERMIT NOTES: 1 MAY 00
DELETE SIDE DECK: 14 JAN 00

Electrical wiring must conform to the NFPA National Electric Code and County Requirements.

NOTE
THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.



LOT COVERAGE: 1,305.7 SF EXISTING
415.5 ADDITION.
1,721.2 SF. TOTAL

PORCH DECK AREA:
EXISTING: 658 SF
EXTEND/ADD: 132
PROPOSED TOTAL: 790 SF.

ALLOWABLE LOT COVERAGE: 8,125 SF x 35% = 2,843.75 SF

TOTAL AREA: 8125 SF

HOUSE 1,721.2 SF
PORCH DECK 790

TOTAL: 2511.2 SF
IN COMPLIANCE

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.
NOTE: This survey prepared for title purposes only.

PLUMBING FIXTURES

Replace existing fixtures with American Standard, Kohler or approved equal.

Key	Fixture Type	Description
P1	WC	Tank-type water closet - Master Bath Accessories: toilet paper holder.
P2	LAV	Rim-less porcelain lavatory set in stone counter at Master Bath tub. Polished stainless steel goose-neck faucet and controls. Accessories: two 18" towel bars, toothbrush and cup holder, and soap dish.
P3	LAV	Rim-less Lavatory set in stone counter at Master Bath shower With polished stainless steel goose-neck faucet and controls Accessories: one 18" towel bar, toothbrush and cup holder, and soap dish.
P4	TUB	Mount in stone tile enclosure. 36"x 60" x 22" high, porcelain Finish with stainless controls, faucet and hand-held spray attach. Accessories: one 18" towel bar, soap dish
P5	SHOWER	Stainless controls with hand-held spray attachment. Accessories: one 18" towel bar, soap dish

CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

HOUSE LOCATION
PART OF LOTS 3 & 4 BLOCK 39
SECTION No. 2
CHEVY CHASE
MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book 2 Plat 106 Scale 1" = 30'

I hereby certify that the position of all the existing improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

LOUIS COHEN
Registered Land Surveyor

DATE: Nov. 20 1999

AND HOUSE ADDITION SETBACK TO FENCE
WEST KIRKE STREET

LOT COVERAGE: 1,305.7 SF EXISTING
415.5 ADDITION
1,721.2 SF TOTAL

PORCH DECK AREA:
EXISTING: 658 SF
EXTEND/ADD: 132
PROPOSED TOTAL: 790 SF

ALLOWABLE
LOT COVERAGE: $8,125 \text{ SF} \times 35\% = 2,843.75 \text{ SF}$

TOTAL AREA: 8125 SF HOUSE 1,721.2 SF
PORCH DECK 790

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.
NOTE: This survey prepared for title purposes only.

TOTAL: 2511.2 SF
IN COMPLIANCE ✓

CAPITOL SURVEYS

<p>NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.</p>	<p>HOUSE LOCATION PART OF LOTS 3 & 4 BLOCK 39 SECTION No. 2 CHEW CHASE MONTGOMERY COUNTY, MARYLAND</p> <p>Recorded in Plat Book 2 Plat 106 Scale 1" = 30'</p>	<p>I hereby certify that the position of all the existing improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.</p> <p style="text-align: right;"><i>Louis Cohen</i> LOUIS COHEN Registered Land Surveyor Maryland No. 1961</p>
DATE: Nov. 20, 1992	CASE: 2616-92	FILE: 45218

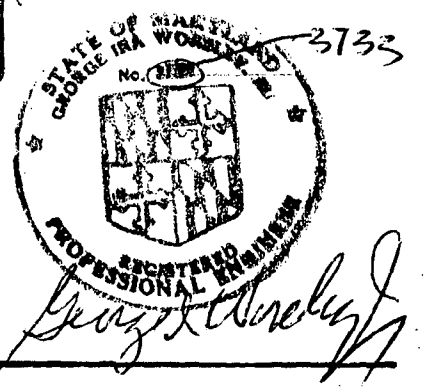
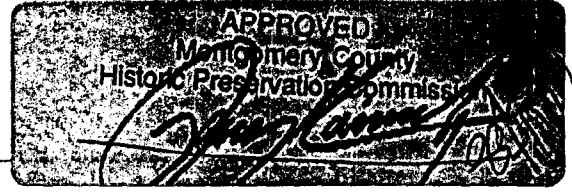
2
AO

STRUCTURAL FOOTING & FRAMING

1. Footings: spread for 2000 pounds per square foot soil bearing pressure.
2. Concrete: type II cement, ASTM C33 normal weight aggregate, slump 3" max and 1" minimum, with 3000 PSI strength after 28 days.
3. Steel: reinforcing bars- ASTM type S Grade 40, 40K psi yield & 70K ultimate.
4. Wood -
 - A. Structural lumber visually graded -
Douglas Fir - dense #2 surface dry to 19%, E=1.3, Fb = 1600 repetitive
Southern Pine - dense #2 kiln dry to 15%, E=1.6, Fb=1600 repetitive
Joist and beam - capacity shall exceed CABO dwelling code standards.
 - B. LVL engineered girders and joists: Grade 20.E minimum bearing 1-3/4" x 9-1/2" maximum live load 133 pounds per lineal foot at L/360 deflection.
 - C. Joist and beam framing: galvanized structural hangers, top mount or face mount, approved as manufactured by TECO or approved equal.
5. Design Loads:
Floor loads- 10psf dead + 40psf live load = 50 psf total floor load
Roof loads- 10 psf dead + 30x(.7) live load = 31 psf total roof load
6. Framing First Floor: joists and subfloor shall be pressure treated for exterior exposure.
7. Sub-flooring: All sub-floors shall be nailed and glued with construction adhesive to top edge of joists and beams.

ALL LEVELS & BEDROOMS
Smoke detectors shall be installed in accordance with Section 316 of the PPS One and Two Family Dwelling Code as amended.

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.



1
AO

Project Data

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Second Floor	1,300	410	1,710
Garret/Attic	540	265	805
Useable Total	3,140 sf	1,085	4,225 sf
(Cellar	1,340	na	1,340)
(Porch Deck	660	130	790)
Lot Area:	8,125 sf		

Actual House Coverage: Exist. (1,300 sf) + New (410 sf) = 1,710 sf

Allowable Coverage: $8,125 \times 35\% = 2,844 \text{ sf}$

Disturbed Soil is less than 2 cubic yards; house addition rests on four piers.

14-MAR-00 CONSTRUCTION PERMITS
21 JAN 00 NEW BID REVISION
15 AUG 99 OWNER REVIEW

PROJECT DATA and SPECIFICATIONS

AO
1 of 9

~~No shutters~~

Shutters on 1st & 2nd

on west } Fl.

elevation -

no shutters @ joint level

Existing frame
Dormer windows
don't have window -
Existing window has
a sill height of 5' +
No shutters -
New sill height will be 5'

Closement
opens outward
anyway -
allow for
closement.

Plane Construction,
same date, as
Casements on
front dormer.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 31 West Kirke Street, Chevy Chase **Meeting Date:** 05/10/00
Resource: Chevy Chase Village Historic District **Report Date:** 05/03/00
Case Number: 35/13-99L (REVISED) **Public Notice:** 04/26/00
Review: HAWP **Tax Credit:** None
Applicant: Dr. & Mrs. William Dooley (Joe Wohlmuth, Architect)
Staff: Perry Kephart *pk*

PROPOSAL: Modify Side Gable Window **RECOMMEND:** Approve with condition

Condition:

- YES* 1. Window #2 or a similar rectangular form is to be used.
NO 2. The window is to have operable shutters to fit the window.

*APPROVED with condition
 1 only*

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in Chevy Chase Village Historic District.

DATE OF CONSTRUCTION: 1911

ARCHITECTURAL DESCRIPTION: The two-bay Colonial Revival residence is a stucco-clad, two-story, cross-gable structure with Craftsman influences including shed roof dormers with paired windows, overhanging eaves and 9/1 windows with full size louvered shutters. There is a full-width front porch with square wood columns resting on brick piers. Between the piers is wood lattice. Two rear additions were added to the house in 1984 and 1994.

BACKGROUND

A HAWP was approved for a 2½ story addition on the east side of the house. The addition is to match the existing resource in terms of materials (New York red slate roof, stucco, wood trim, metal porch roof), and scale.

A condition for approval was that two gable windows would be included in the design for the new side gable. It has been determined that the two windows are too low to allow for a bed wall if they are installed as approved.

REVISION PROPOSAL

The applicant has submitted two alternative window designs both with a single window

①

centered higher up in the eaves than was originally approved. The windows proposed are either:

1. A semicircular one-light window that was installed as part of the out-of-period addition added in the last twenty years, **or**
2. The original, approximately square, casement window from the library that is to be removed as part of the current project.

STAFF DISCUSSION

The applicant has indicated a preference that the semicircular window be re-used. Staff is concerned that it is too much of a departure from the rectilinear Arts and Crafts design of the historic resource.

The re-use of an original material in Window #2 is commendable. Although it is not in keeping with the flattened forms seen elsewhere in the house at the third level, it is a square form which is within the overall theme of the house design. It would be a preferable alternative to Window #1.

Staff would suggest that including operable, full size shutters as a condition will widen the aspect of the window.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

And with the condition:

1. Window #2 or a similar rectangular form is to be used.
2. The window is to have operable shutters to fit the window.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: JOE WOHLMUTH

Daytime Phone No.: 202 337 3157

Tax Account No.: _____

Name of Property Owner: DR + MRS WILLIAM DOOLEY Daytime Phone No.: 202 879 4142

Address: 31 WEST KIRKE ST CHEVY CHASE VILLAGE 2
Street Number City Street Zip Code

Contractor: CONTRACT TO BE PAID TO LICENSED BUILDER License No. _____

Contractor Registration No.: _____

Agent for Owner: JOE WOHLMUTH Daytime Phone No.: 202 337 3157

LOCATION OF BUILDING/PREMISE

House Number: 31 Street: WEST KIRKE

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: _____

Lot: 31 PART 4 Block: 330 Subdivision: SECTION #2

Liber: _____ Folio: _____ Parcel: 106

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: NO NEW FIXTURES.

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

24 MAY 1999
Date

Approved: w/condition For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6/23/99

Application/Permit No.: 9905270103 Date Filed: 5/20/99 Date Issued: _____

(3)

35/13-99 L



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-23-99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation *gfw*

SUBJECT: Historic Area Work Permit *35/13-99L*

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

*1) Version A (skate roof, level ridge line,
2 gable windows) to be used*

NOTE

X and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: *Dr. Mrs William Dookey*

Address: *31 Kirke Street, Chevy Chase*

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

4

Blakey-Dooly House

Proposed Addition & Alterations
31 West Kirk Street, Cherry Chase Village, MD



2 EAST SIDE ELEVATION
4'-10"



1 SOUTH FRONT ELEVATION

APPROVED
Montgomery County
Historic Presentation Commission

1/10/01 REVISED
1/11/01 REVISED
2/14/01 REVISED

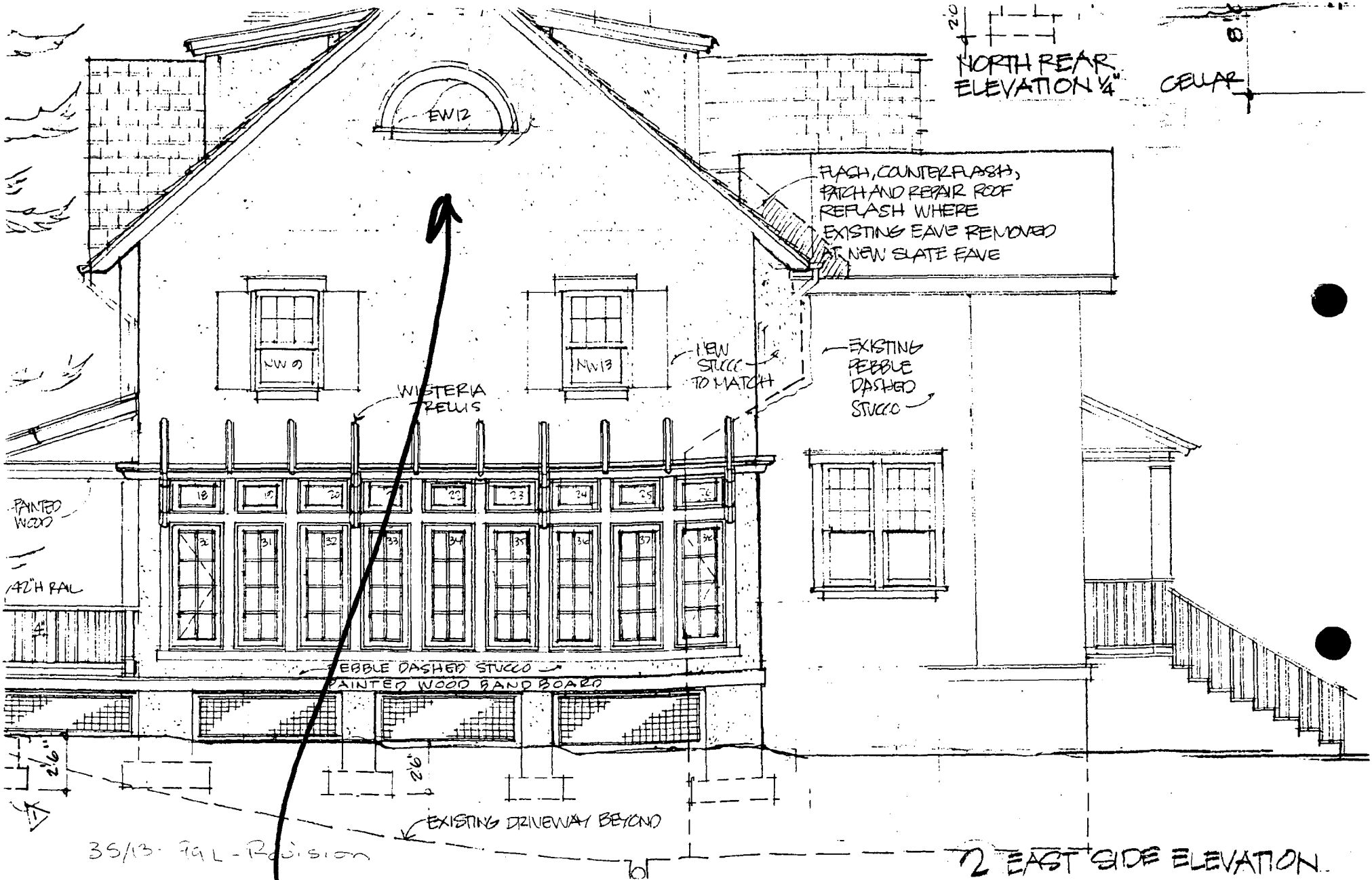
ELEVATIONS

13'-10"
17

A5

99

Approved Design 6-23-99



Proposed window #1

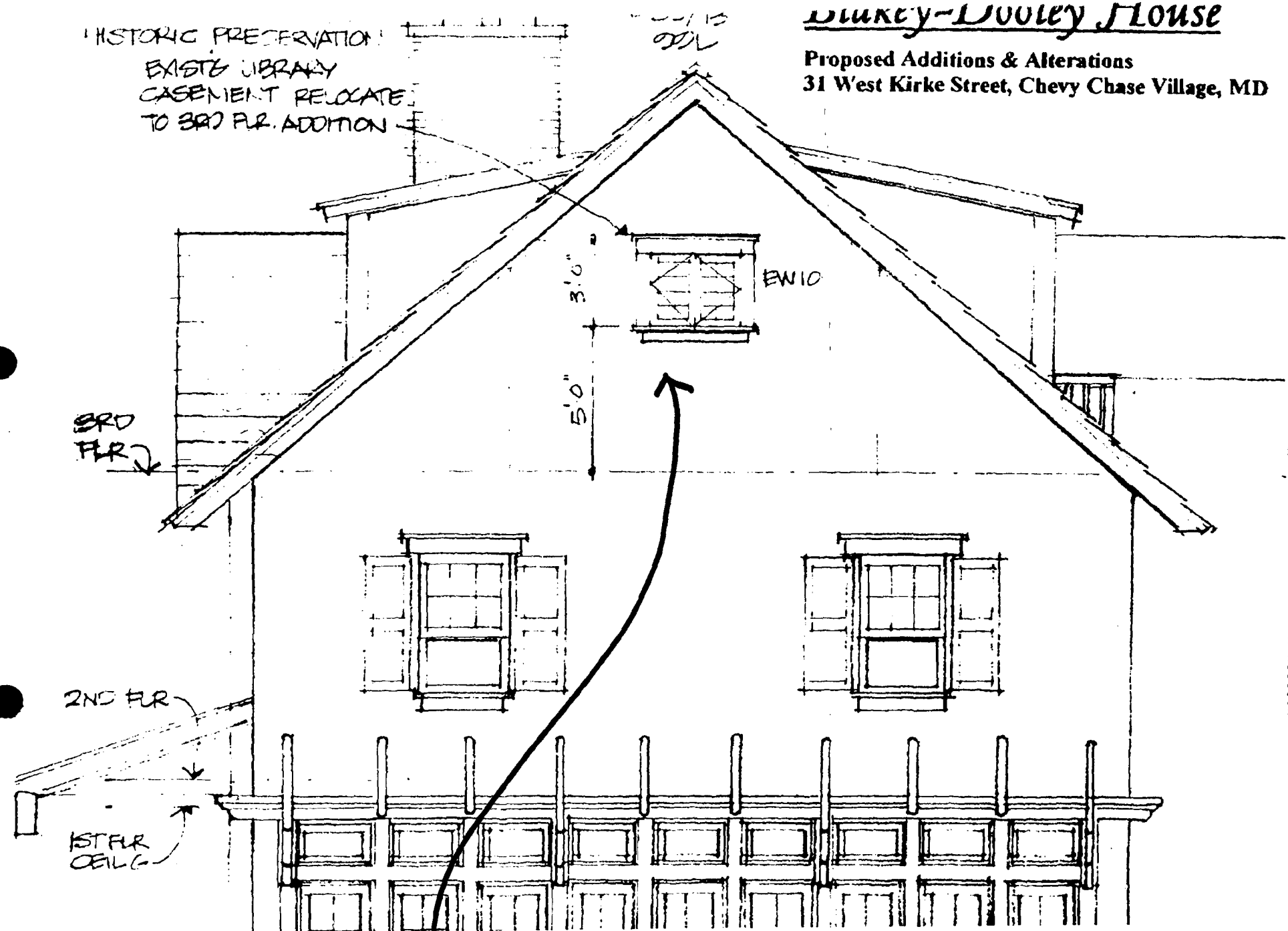
2 EAST SIDE ELEVATION.

7

HISTORIC PRESERVATION
EXISTING LIBRARY
CASEMENT RELOCATE
TO 3RD FLR. ADDITION

Dukey-Duoley House

Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD



(1)

Proposed Window #2

04/24/08 15:39
7834352735 WOHLMUTH ASSOCI
01

24 MAY 99

BLAKEY DOOLEY HOUSE HAMP

ADJ. OWNERS CHEVYCHASE VILLAGE
20815

20 W. KIRKE - MARY A TUOEY.

32 W. KIRKE - ROGER DOWER (HOUSE SOLD RECENTLY)

* 33 W. KIRKE CHARLES HOBBS

(PEF - HPC CASE 3713 99J)
NEW OWNER REMODELING.

BY, DE WOHLMUTH
202 337 3157

5 of 5

BAKEY DOONEY HOUSE
31 KIRKE ST. FRONT ELEVATION

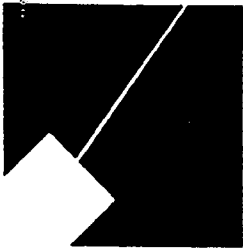
9





10

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-23-99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation *gwr*

SUBJECT: Historic Area Work Permit 35/13-99 L

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

- 1) Version A (slateroof, level ridge line,
- 2 gable windows) to be used

note

* and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Dr. Mrs William Dadey

Address: 31 Kirke Street, Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

24 MAY 99

BLAKEY DOOLEY HOUSE HAMP
ADJ. OWNERS CHEYCHASE VILLAGE
20815

29 W. KIRKE - MARY A. TUDEY.

32 W. KIRKE - ROGER DOWER (HOUSE SOLD RECENTLY)

33 W. KIRKE CHARLES HOBBS

(PEF - HPC CASE 3713 99J)
NEW OWNER REMODELING.

BY, JOE WOHLMUTH
202 337 3157



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: JOE WOHLMUTH
Daytime Phone No.: 202 337 3157

Tax Account No.: _____
Name of Property Owner: DR. + MRS WILLIAM DOOLEY Daytime Phone No.: 202 879 4142
Address: 31 WEST KIRKE ST CHEVY CHASE VILLAGE 2
Street Number City Street Zip Code
Contractor: CONTRACT TO BE PAID TO LICENSED BLINDER
Contractor Registration No.: _____
Agent for Owner: JOE WOHLMUTH Daytime Phone No.: 202 337 3157

LOCATION OF BUILDING/PREMISE

House Number: 31 Street: WEST KIRKE
Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: _____
Lot: 3 + PART 4 Block: 30 Subdivision: SECTION #2
Liber: _____ Folio: _____ Parcel: 106

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE: AC Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: NO NEW FIXTURES.
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

JOE WOHLMUTH Signature of owner or authorized agent
24 MAY 1999 Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 6/23/99
Application/Permit No.: 9905270103 Date Filed: 5/27/99 Date Issued: _____

35/13-99 L
3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 1/2 STORY WOOD FRAME STUCCO WITH SLATE ROOF ON
LESS THAN 1/5 ACRE.

ARCHITECTURAL STYLE IS "ARTS & CRAFTS" PERIOD.

HOUSE BUILT PRIOR TO MID 1920'S. (CA 1911)

ADDITIONS WERE BUILT ON TO REAR IN 1924, AND TO
EAST SIDE CA. 1987.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADDITION OF 400 SF DINING ROOM RESULTS IN ADDITIONAL
AREA ABOVE FOR DRESSING AND STUDY EXISTING, AND
AN ADDITIONAL BEDROOM IN GARRET. NEW WORK MATCHES
ALL EXISTING FINISH MATERIALS - STUCCO, WOOD TRIM,
METAL PORCH ROOF, SLATE MAIN ROOF, AND WINDOW PANES.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-23-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *gwr*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

35/13-99L

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

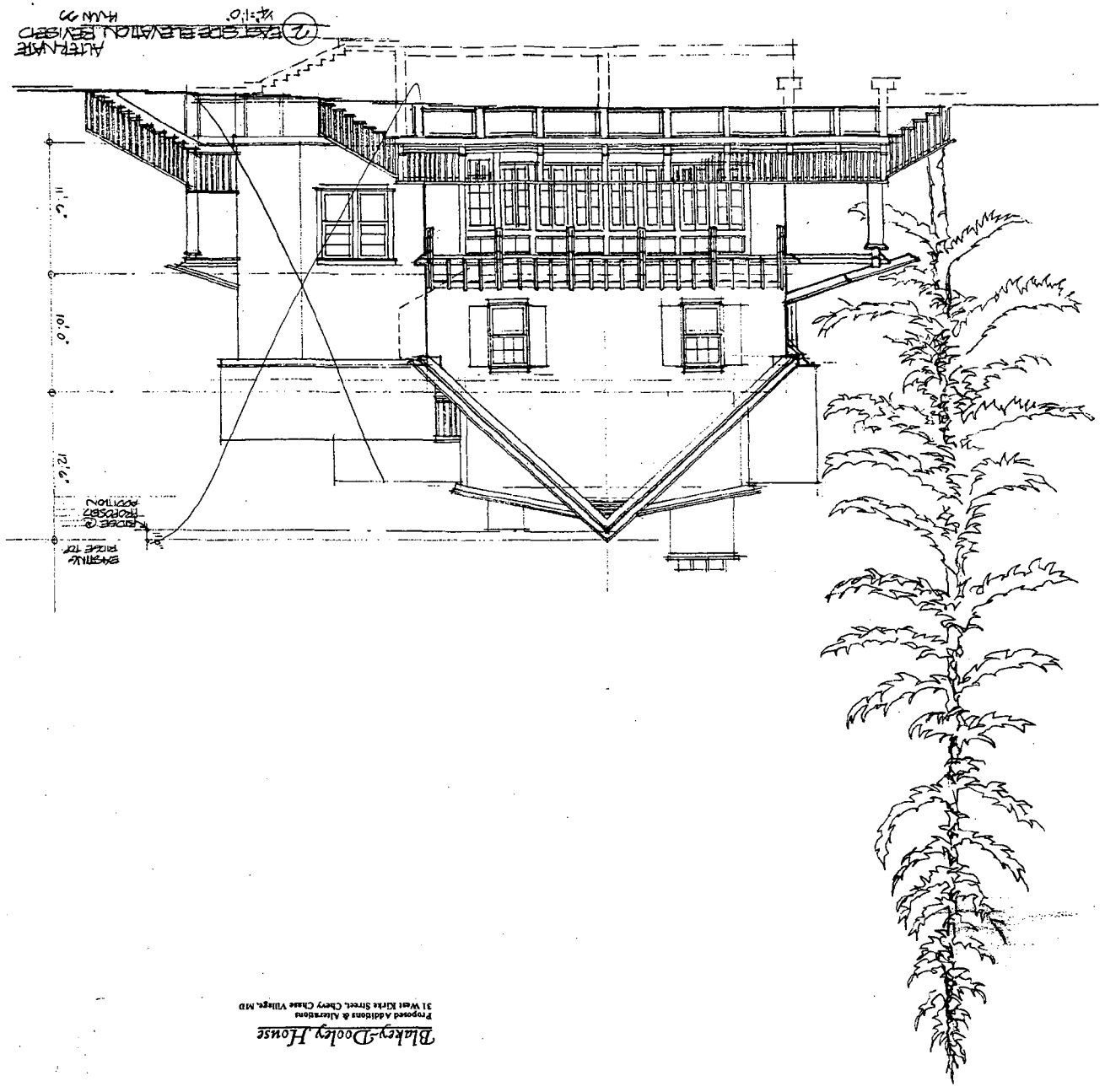
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

19



Blakey-Dooly House
Proposed Additions & Alterations
31 West Niles Street, Chevy Chase Village, MD

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc.). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: _____

6/23

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: _____

NAME: _____

F
MARION BLAKEY DOOLEY

COMPLETE MAILING ADDRESS: _____

31 W. KIRKE ST
CHEVY CHASE MD 20815

REPRESENTING (INDIVIDUAL/ORGANIZATION): _____

self

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

HAWP applicant's presentation.....	7 minutes
Comment by affected property owners on Master Plan designation.....	3 minutes
Comment by adjacent owners/interested parties.....	3 minutes
Comment by citizens association/interested groups.....	5 minutes
Comment by elected officials/government representatives.....	7 minutes

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

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Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc.). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 23 JUN 00

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: BLASKEY DOOLEY HOUSE

NAME: JOE WOHLMUTH

COMPLETE MAILING ADDRESS: 4000 CATHEDRAL AVE
LOS B NIN DE 20016

REPRESENTING (INDIVIDUAL/ORGANIZATION): MARION BLASKEY
PR PARTS & WILLIAM DOOLEY

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation..... 7 minutes
- Comment by affected property owners on Master Plan designation..... 3 minutes
- Comment by adjacent owners/interested parties..... 3 minutes
- Comment by citizens association/interested groups..... 5 minutes
- Comment by elected officials/government representatives..... 7 minutes

EE
LW
4-0

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 31 West Kirke Street, Chevy Chase **Meeting Date:** 06/23/99
Resource: Chevy Chase Village Historic District **Report Date:** 06/16/99
Case Number: 35/13-99L **Public Notice:** 06/09/99
Review: HAWP **Tax Credit:** None
Applicant: Dr. & Mrs. William Dooley (Joe Wohlmuth, Architect)
Staff: Perry Kephart
PROPOSAL: Side/Front Addition **RECOMMEND:** Approve

DATE OF CONSTRUCTION: 1911

SIGNIFICANCE: Contributing Resource in Chevy Chase Village Historic District.

ARCHITECTURAL DESCRIPTION

The two-bay Colonial Revival residence is a stucco-clad, two-story, cross-gable structure with Craftsman influences including shed roof dormers with paired windows, overhanging eaves and 9/1 windows with full size louvered shutters. There is a full-width front porch with square wood columns resting on brick piers. Between the piers is wood lattice. Two rear additions were added to the house in 1984 and 1994.

PROPOSAL

The applicant proposes to construct a 2½ story addition on the east side of the house. The addition is to match the existing resource in terms of materials (New York red slate roof, stucco, wood trim, metal porch roof), and scale. The addition will have a front porch/wood deck adjoining the existing front porch with a trellis covered deck that is proposed to wrap around the full length of the east (side) facade. The porch roof is to be standing seam metal to match the original. The front windows on the first level are proposed to be full-length windows to match existing on either side of 8-light french doors with 6 light windows along the side. On the second and third level are 6/1 with full width shutters to match existing.

①

At the third level are:

1. A front shed roof dormer either:
 - A. To match the existing as shown in the attached drawings, with a french door at the rear leading to an enlarged inset deck or,
 - B. A front shed roof dormer of the same height as the existing, but elongated to allow more head room and light in the garret room (also to have a french door at the rear; leading to an enlarged deck).

2. A roof ridge line either:
 - A. With the ridge of the new roof to be a continuation of the existing (as shown in the attached drawings) or,
 - B. With the ridge dropped approximately 1 foot from that of the existing.

Options A are included in the original application. Options B evolved from discussions between staff and architect and may be presented by the architect at the meeting with the understanding that the HPC can ask that the case be continued if they wish to study the alternatives further.

STAFF DISCUSSION

The modified Arts and Crafts design of the proposed addition is a reasonable solution to the need for more living space. The design demonstrates "the evolving eclecticism" that is an important component of the historic district guidelines.

The house is a contributing resource, which means that "alterations should be designed so that the altered structure still contributes to the district." The absolute size of the house relative to the other houses on the street is changed by the proposed addition, but the scale is still intact. The applicant, with this design, is able to fit more living space on a small lot without raising the height of the building or affecting the integrity of the original structure. It should also be noted that the new addition does not extend into the back yard.

The use of many of the same materials as were used in the historic building is commendable, particularly the use of New York slate, of stucco, and of operable shutters.

Although with Options A, the roof ridge line as proposed is seamless, there is differentiation between the old and new sections by means of 1) the change in porch design with the use of a combination overhang/trellis, 2) the change in window design on the first level with the use of windows for walls along the front and side facades.

Either Options A or B for the roof line and the shed dormer could be approved in staff's opinion. One consideration is that the broken line of the trellis on the first level is effectively balanced, in staff's opinion, by the long unbroken roof plane in Option A. A counter argument is that a break in the roof ridge line between old and new sections creates a clear differentiation, thus Option B is an appropriate design in terms of the SOI guidelines for rehabilitation. The HPC

may also want to consider "Option C", which would be to combine the unbroken ridge line from 2A with the larger dormer from 1B.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JOE WOHLMUTH
Daytime Phone No.: 202 337 3157

Tax Account No.: _____

Name of Property Owner: DR + MRS WILLIAM DOOLEY Daytime Phone No.: 202 879 4142

Address: 31 WEST KIRKE ST CHEVY CHASE VILLAGE 2
Street Number City State Zip Code

Contractor: CONTRACT TO BE PAID TO LICENSED BUILDER Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: JOE WOHLMUTH Daytime Phone No.: 202 337 3157

LOCATION OF BUILDING/PREMISE

House Number: 31 Street: WEST KIRKE

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: _____

Lot: B + PART 4 Block: 30 Subdivision: SECTION #2

Liber: _____ Folio: _____ Parcel: 106

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: NO NEW FIXTURES.

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

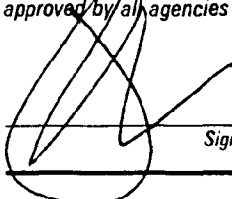
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3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.


JOE WOHLMUTH
Signature of owner or authorized agent

24 MAY 1999
Date

Approved: _____ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THE APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 1/2 STORY WOOD FRAME STUCCO WITH SLATE ROOF ON
LESS THAN 1/5 ACRE.

ARCHITECTURAL STYLE IS "ARTS & CRAFTS" PERIOD.

HOUSE BUILT PRIOR TO MID 1920'S. (CA 1921)

ADDITIONS WERE BUILT ON TO REAR IN 1994, AND TO
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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADDITION OF 400 SF DINING ROOM RESULTS IN ADDITIONAL
AREA ABOVE FOR DRESSING AND STUDY EXISTING, AND
AN ADDITIONAL BEDROOM IN GARRET. NEW WORK MATCHES
ALL EXISTING FINISH MATERIALS - STUCCO, WOOD TRIM,
METAL PORCH ROOF, SLATE MAIN ROOF, AND WINDOW PANES.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

5

24 MAY 99

BLAKEY DOOLEY HOUSE HAMP

ADJ. OWNERS CHEMCHASE VILLAGE
20815

29 W. KIRKE · MARY A TUOEY.

32. W. KIRKE · ROGER DOWER (HOUSE SOLD RECENTLY)

33 W. KIRKE CHARLES HOBBS

(REF - HPC CASE 3713 99J)
NEW OWNER REMODELING.

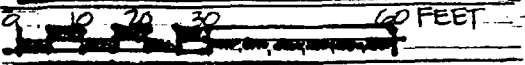
BY, DE WOHLMUTH
202 337 3157

6

SITE PLAN

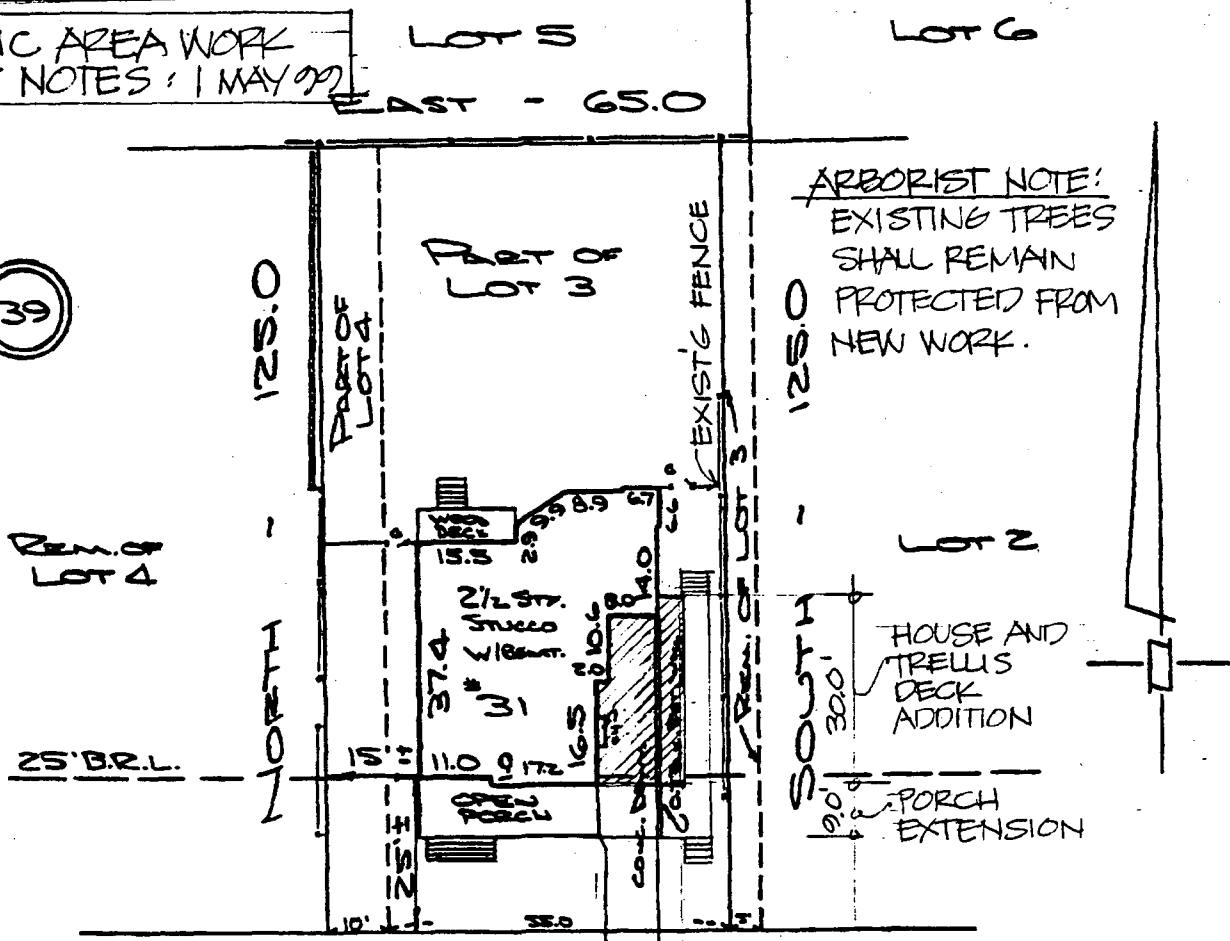
Blakey Dooley House

Proposed Additions & Alterations



HISTORIC AREA WORK
PERMIT NOTES: 1 MAY 92

39



ARBORIST NOTE:
EXISTING TREES
SHALL REMAIN
PROTECTED FROM
NEW WORK.

HOUSE AND
TRELLIS
DECK
ADDITION

PORCH
EXTENSION

PROPOSED PORCH EXTENSION AND HOUSE ADDITION 14.67' ±7.0'
PROPOSED TRELLIS DECK SETBACK TO FENCE

WEST KIRKE STREET

PROPOSED LOT COVERAGE: 1,305.7 SF EXISTING
415.5 ADDITION
1,721.2 SF TOTAL

PORCH DECK AREA:
EXISTING: 658 SF
EXTEND/ADD: 283
PROPOSED TOTAL: 941 SF

ALLOWABLE LOT COVERAGE: 8,125 SF X 35% = 2,843.75 SF

TOTAL AREA = 8125 SF HOUSE ADD'N 1,721.2 SF
PORCH DECK 241

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.
NOTE: This survey prepared for title purposes only.

TOTAL 2,662.2 SF
IN COMPLIANCE ✓

CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

HOUSE LOCATION
PART OF LOTS 3 & 4 BLOCK 39
SECTION No. 2
CHEW CHASE
MONTGOMERY COUNTY, MARYLAND
Recorded in Plat Book 2 Plat 106 Scale 1" = 30'

I hereby certify that the position of the existing improvements on the abovescribed property have been established by accepted field practices, and unless otherwise shown there are no visible encroachments.

LOUIS COHEN
Registered Land Surveyor
Maryland No. 1981

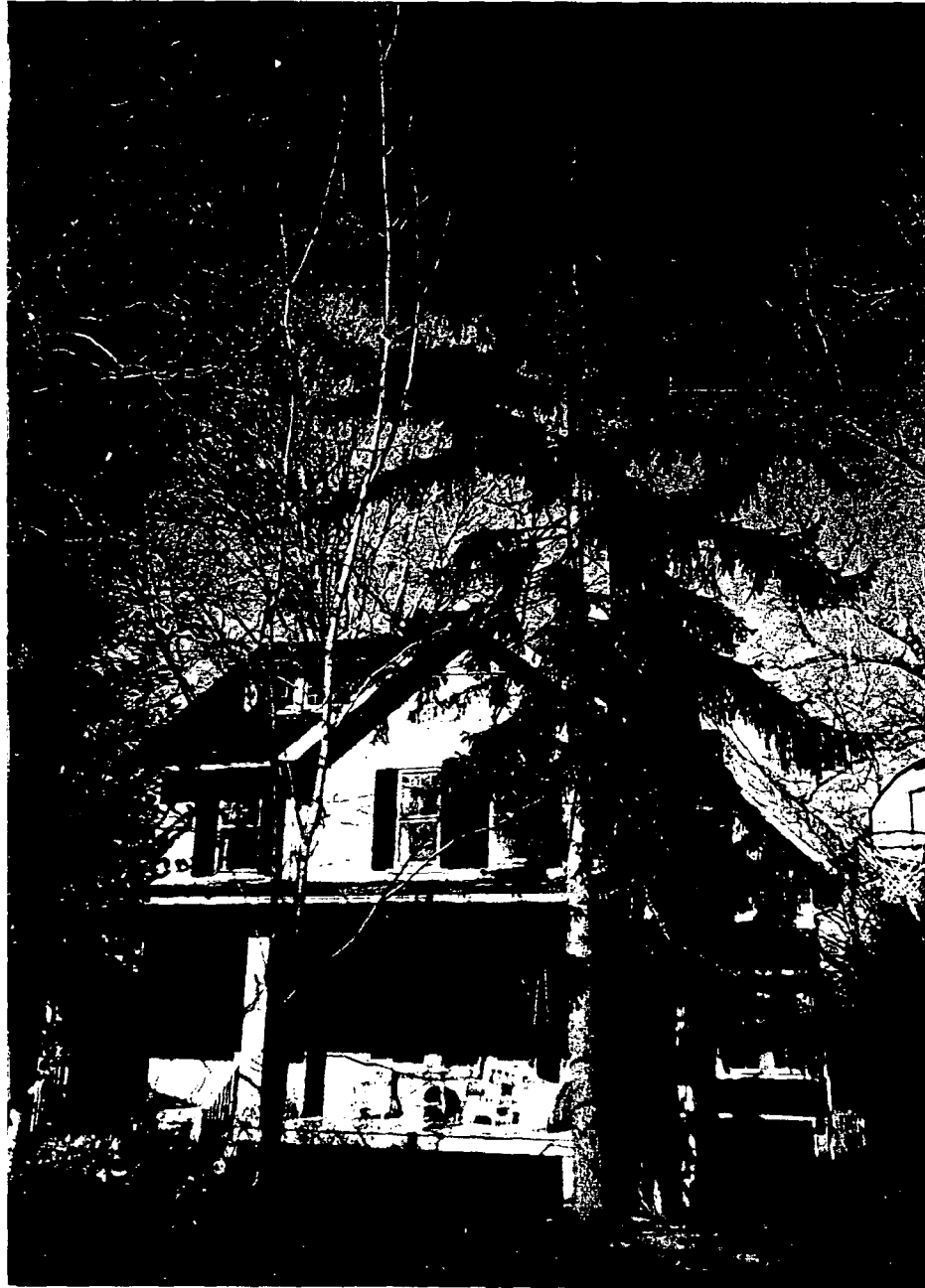
DATE: Nov. 20, 1992 CASE: 2616-92 FILE: 49218

7



8

BLAKEY DOOLEY HOUSE 31 KIRKE ST. MAIN ELEVATION



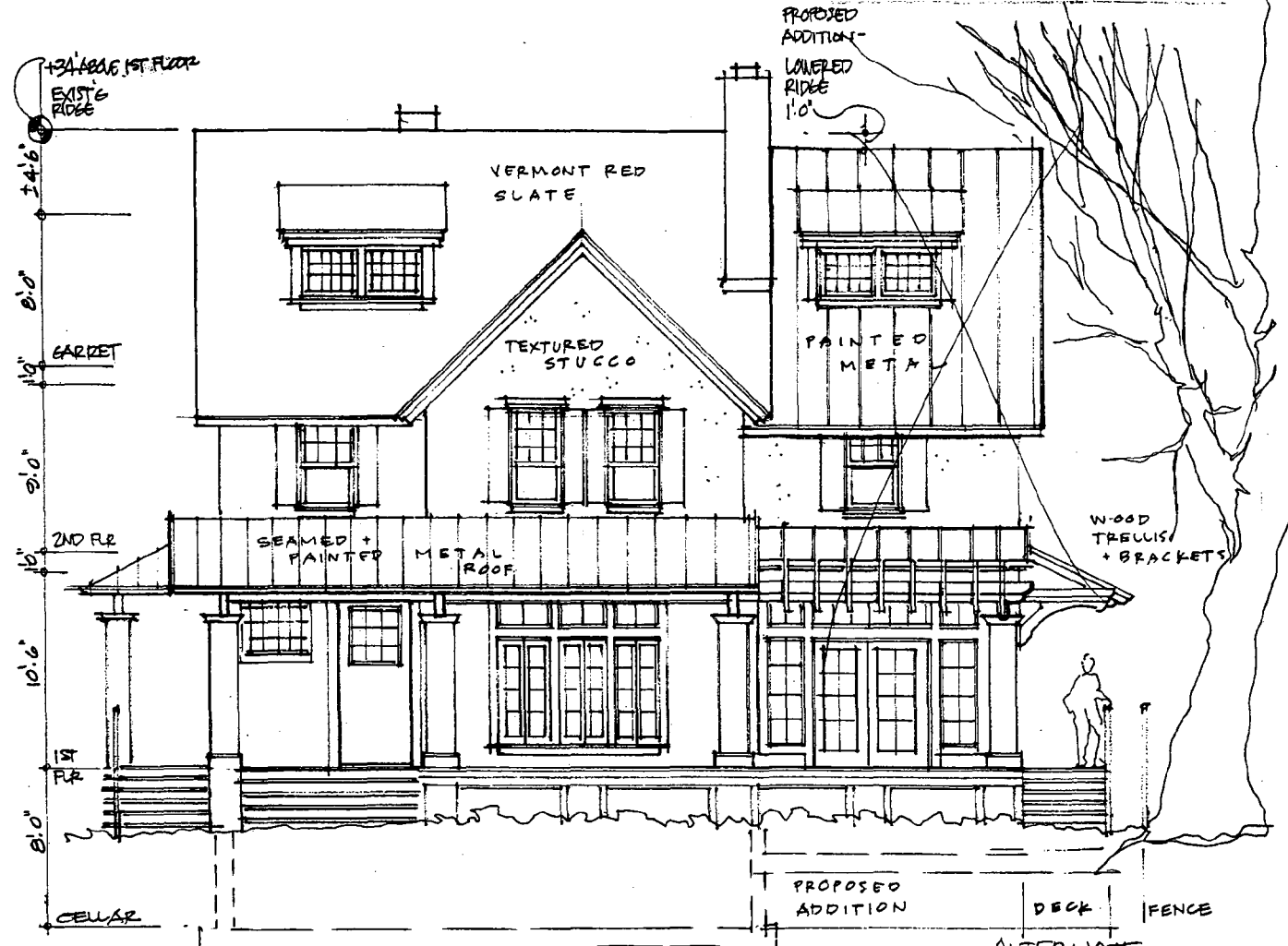
BLAKEY DOOLEY HOUSE
31 KIRKE ST. FRONT ELEVATION

9

OF 5
2

Blakey-Dooley House

Proposed Additions & Alterations
31 West Kirke Street, Chevy Chase Village, MD



ALTERNATE SOUTH FRONT REVISED JAN 77
1/4" = 1'0"

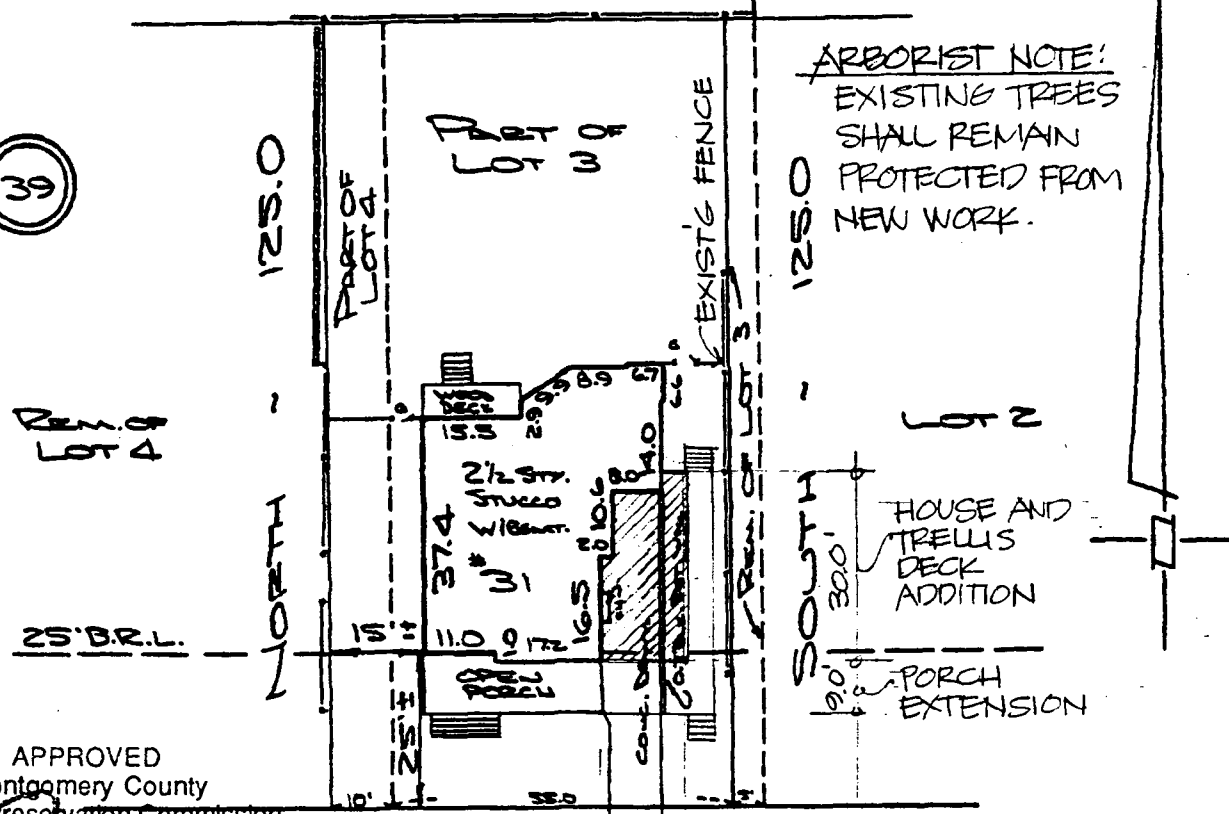
SITE PLAN

Blakey-Dooley House

Proposed Additions & Alterations

HISTORIC AREA WORK
PERMIT NOTES: 1 MAY 92

39



APPROVED
Montgomery County
Historic Preservation Commission

WEST - 65.0
PROPOSED PORCH EXTENSION AND HOUSE ADDITION
PROPOSED TRELLIS DECK
SETBACK TO FENCE
WEST KIRK STREET

PROPOSED LOT COVERAGE: 1,305.7 SF EXISTING
415.5 ADDITION,
1,721.2 SF. TOTAL

PORCH DECK AREA:
EXISTING: 658 SF
EXTEND/ADD: 283
PROPOSED TOTAL: 941 SF

ALLOWABLE -
LOT COVERAGE: 8,125 SF x 35% = 2,843.75 SF

TOTAL AREA: 8125 SF HOUSE ADD'N 1,721.2 SF
PORCH DECK 241

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TOTAL 2,662.2 SF
IN COMPLIANCE

CAPITOL SURVEYS

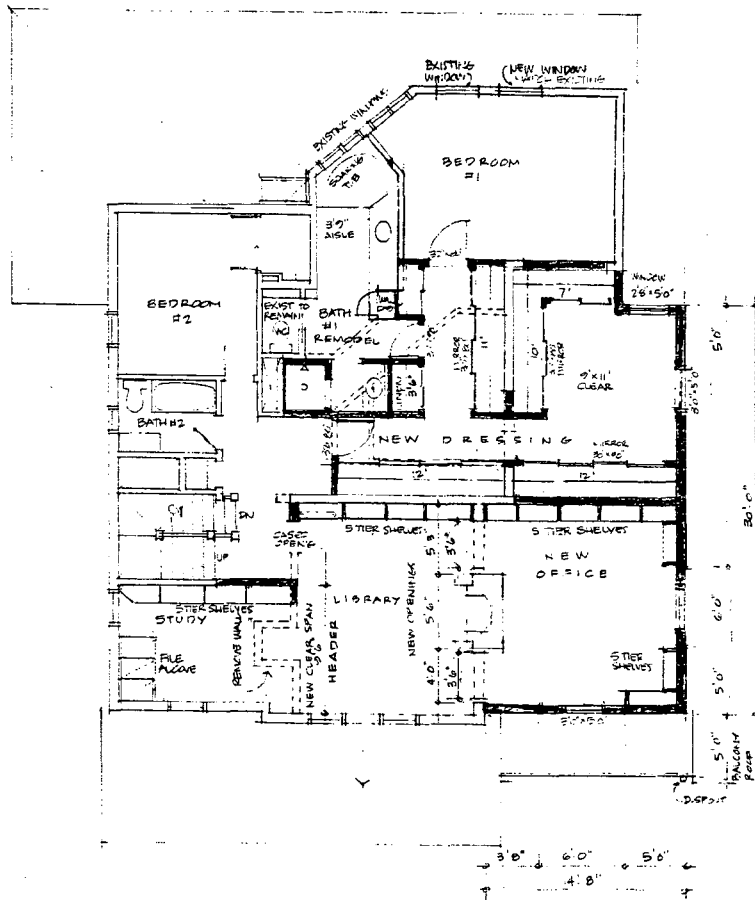
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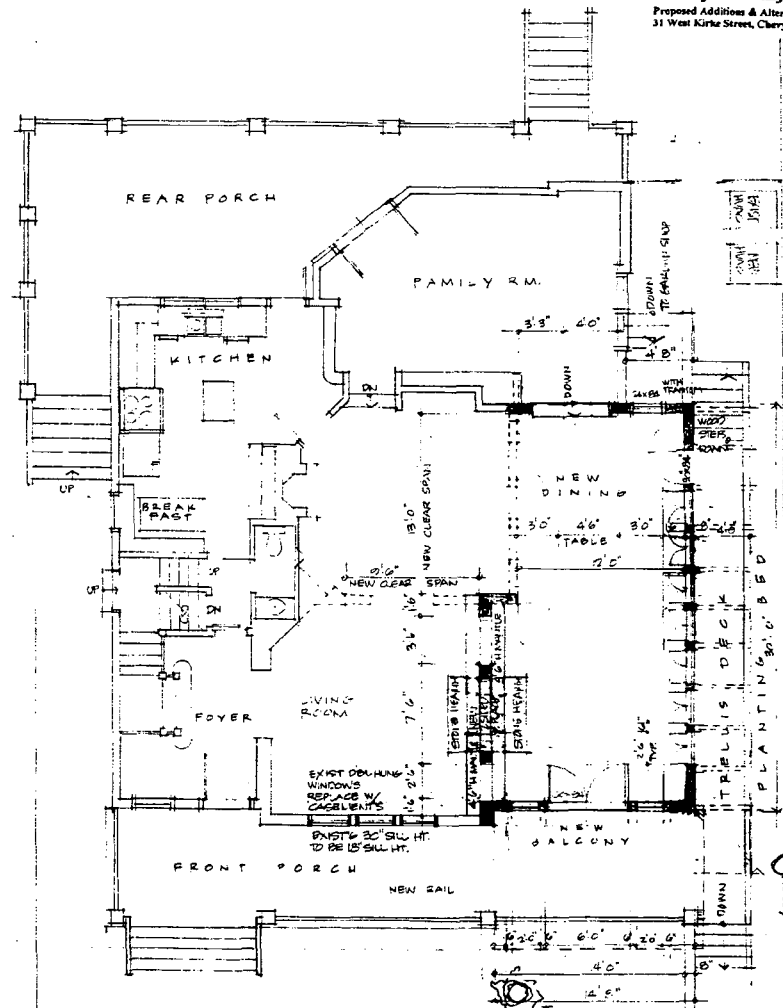
I hereby certify that the position of all the existing improvements on the above described property, have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

LOUIS COHEN
Registered Land Surveyor
Maryland No. 1961

DATE: Nov. 20, 1992 CASE: 2616-92 FILE: 45218



② SECOND FLOOR 1/8"=1'0"

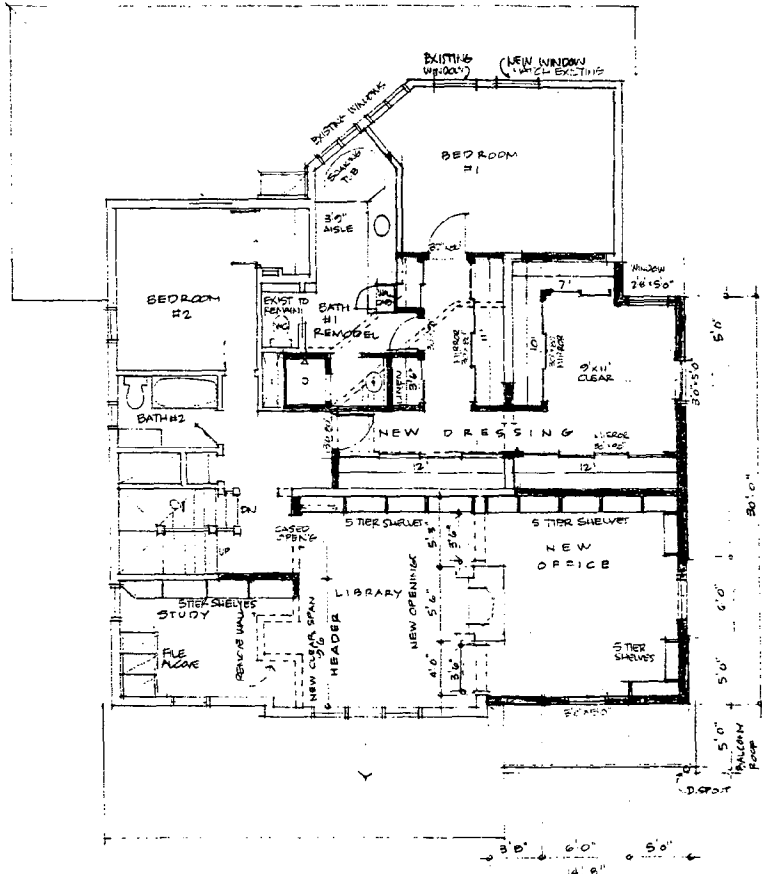


① FIRST FLOOR 1/4"=1'0"

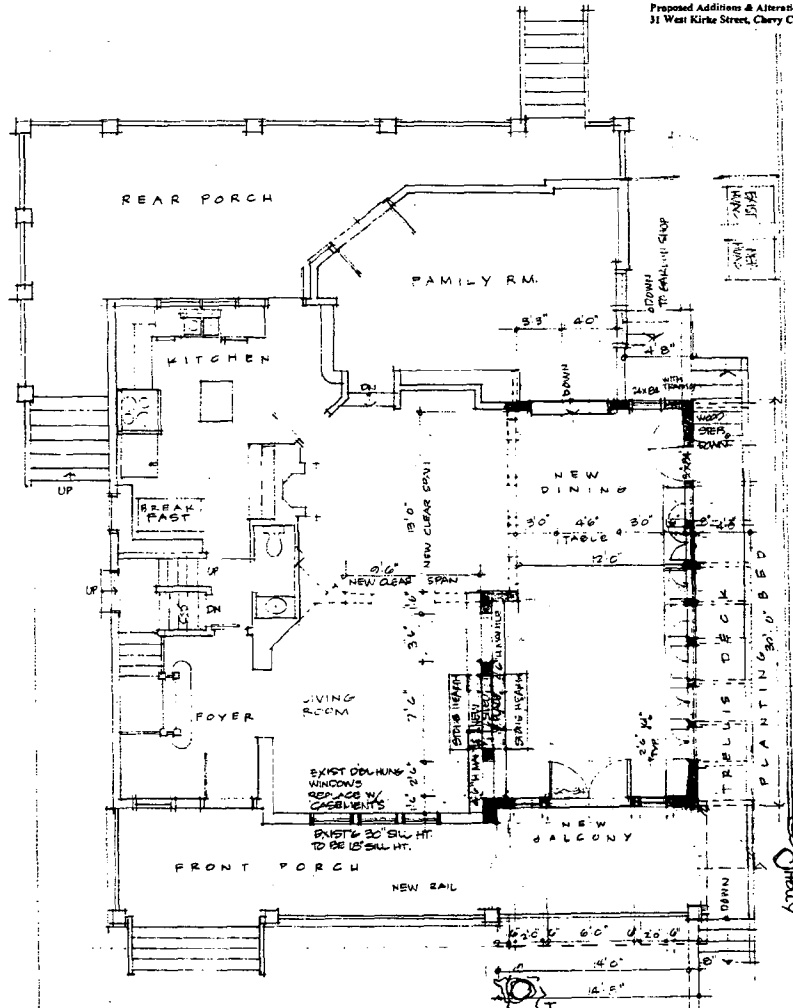
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

FIRST and
 SECOND FLOOR PLANS (A2)

21 MAY 07 DRAWS REVISION
 14 MAR 07 REVISION
 17 FEB 07 DES. DESIGN



② SECOND FLOOR 14'x11'0"

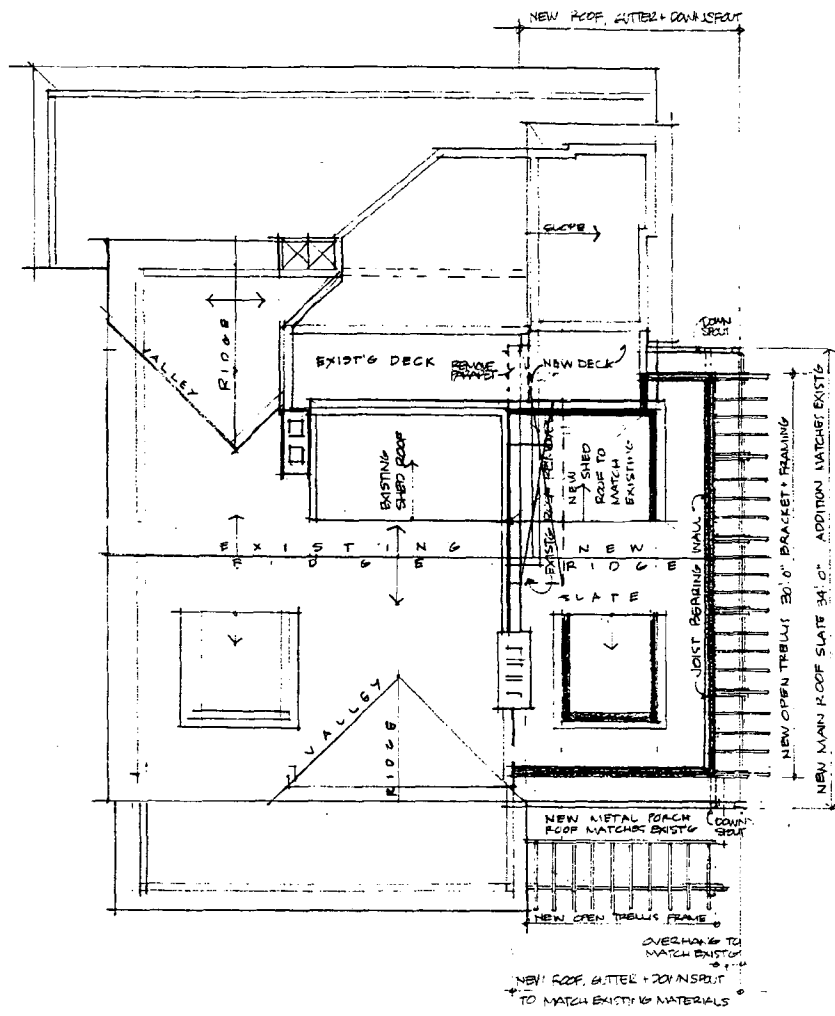


① FIRST FLOOR 14'x11'0"

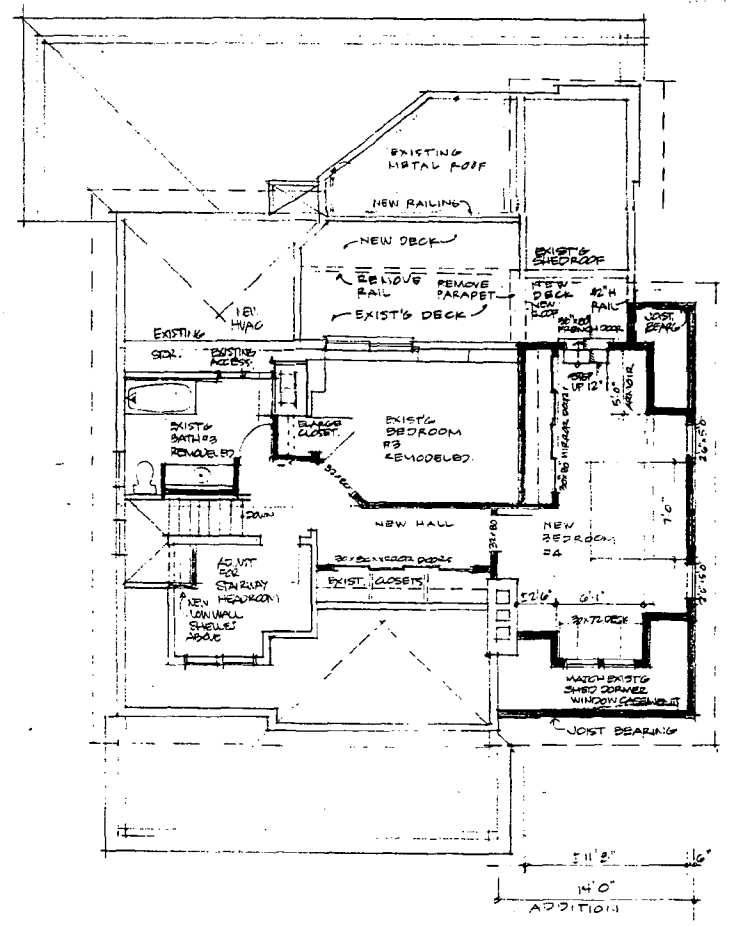
APPROVED
 Montgomery County
 Historic Preservation Commission

FIRST and
 SECOND FLOOR PLANS A2

21 MAR 07 HANOVER APPLICATION
 14 MAR 09 REVISION
 17 FEB 22 DRS. DR/BL



2 ROOF PLAN 14'-0"

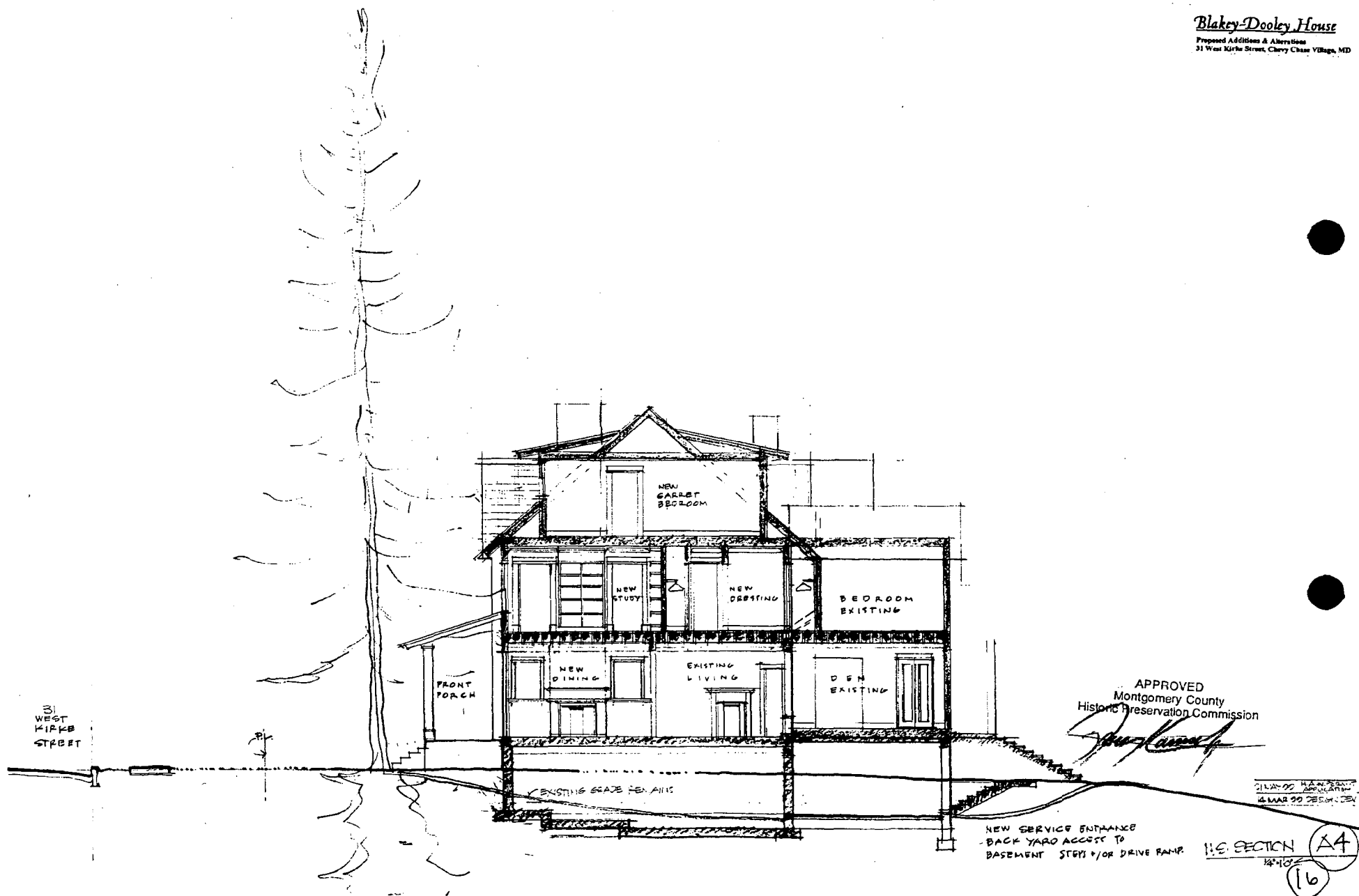


1 GARRET PLAN 14'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

21 MAY 00 MAIN PERMIT APPLICATION
 14 MAR 00 REVISIONS
 17 FEB 00 RES. DEVE...

ROOF AND
 GARRET FLOOR PLANS
A3
 (15)



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

21 JUN 00 H.A. REBECCA
14 MAR 00 JESSE J. DEW

NEW SERVICE ENTRANCE
- BACK YARD ACCESS TO
BASEMENT STAIRS w/ OR DRIVE RAMP

1/4" = 1'-0" SECTION A4

16



BLAKEY DOOLEY HOUSE
VIEW FROM THE EAST ALONG KIRKEST.

(11)

OF 5
(4)



ELAKEY DOOLEY HOUSE EAST ELEVATION DETAIL

(12)
OF 15
E

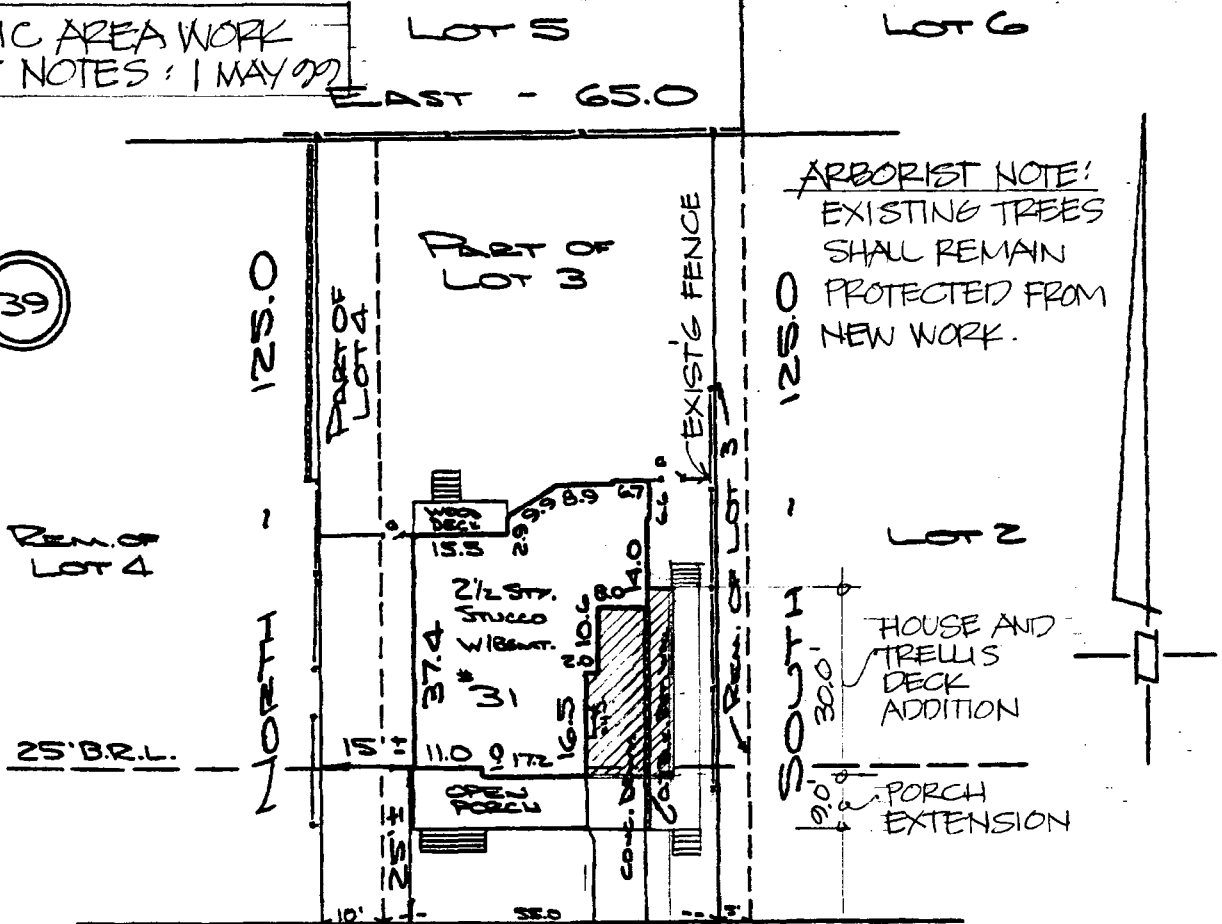
SITE PLAN

Blakey Dooley House

Proposed Additions & Alterations

HISTORIC AREA WORK
PERMIT NOTES: 1 MAY 92

39



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PROPOSED TOTAL: 941 SF

ALLOWABLE LOT COVERAGE: 8,125 SF X 35% = 2,843.75 SF

TOTAL AREA: 8125 SF HOUSE ADD'N 1721.2 SF
PORCH DECK 941

TOTAL 2,662.2 SF
IN COMPLIANCE ✓

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Louis Cohen
LOUIS COHEN
Registered Land Surveyor
Maryland No. 1961

DATE: Nov. 20, 1992 CASE: 2616-92 FILE: 48218

Mary Ann Toohay
Lili & -