

35/13-99P

17 West Kirke Street
(Chevy Chase Village Historic District)

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	17 West Kirke Street	Meeting Date:	08/18/99
Applicant:	Charles Muckenfuss & Angela Lancaster	Report Date:	08/11/99
Resource:	Chevy Chase Village Historic District	Public Notice:	08/04/99
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-99P	Staff:	Perry Kephart
PROPOSAL:	Rehabilitate outbuilding.	RECOMMENDATION:	Approve

DATE OF CONSTRUCTION: Circa 1915

SIGNIFICANCE:

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: *Craftsman*

PROPOSAL: The applicant proposes to rehabilitate an existing garage. The proposal includes relocation of an existing window and installation of two new wood framed doors and two new windows to adapt the building to the current owner's needs.

RECOMMENDATION:

- Approval
- Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic

resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

____ 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

____ 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

____ 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

____ 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
 1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
 2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
 - A. Repair or replacement of masonry foundations with new materials that match the original closely.
 - B. Installation of vents, venting pipes, and exterior grills.
 - C. New installation of gutters.
 4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
 5. Removal of accessory building that are not original to the site or otherwise historically significant.
 6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
 7. Signs that are in conformance with all other County sign regulations.

8. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
9. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
10. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
11. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20853
301/217-6370

DPS - #8

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HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Susan Leary

Daytime Phone No.: 202-966-0558

Tax Account No.: 00457600

Name of Property Owner: CHARLES MUCKENFUES, ANGELA LANCASTER Daytime Phone No.: 301-657-0243

Address: 17 WEST KIRKE ST CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: CLIFF JOHNSON Phone No.: 301 236 6876

Contractor Registration No.: _____

Agent for Owner: Susan Leary Daytime Phone No.: 202-966-0558

LOCATION OF BUILDING/PREMISE

House Number: 17 Street: WEST KIRKE ST.

Town/City: CHEVY CHASE Nearest Cross Street: CONN. AVE NW

Lot: 6, 7, 5 Block: 38 Subdivision: SECTION 2 OF SECTION II

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 8000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITDINS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan A Leary
Signature of owner or authorized agent

7-22-99
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 9907220085 Date Filed: 7/22/99 Date Issued: _____



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING STRUCTURE IS ORIGINAL GARAGE FOR DWELLING AT
17 W. KIRKE ST. IT IS LOCATED IN REAR CORNER OF
REAR YARD AND CURRENTLY IS USED AS POTTING SHED
NO SIGNIFICANT HISTORICAL FEATURES OR SIGNIFICANCE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROJECT CONSISTS OF REPAIRS TO EXISTING STRUCTURE, NEW ROOFING,
THE ADDITION OF FRENCH DOORS, RELOCATING ONE WINDOW,
REPLACING ONE DOOR WITH WINDOW, AND NEW CONCRETE
FLOOR.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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17 West Kirke Street Chevy Chase, Maryland
Adjacent Neighbors/Property Owners

Adjacent Side

Miss Helen Wolcott
19 West Kirke Street
Chevy Chase, Maryland 20815

Mr. B.W. Silverman
15 West Kirke Street
Chevy Chase, Maryland 20815

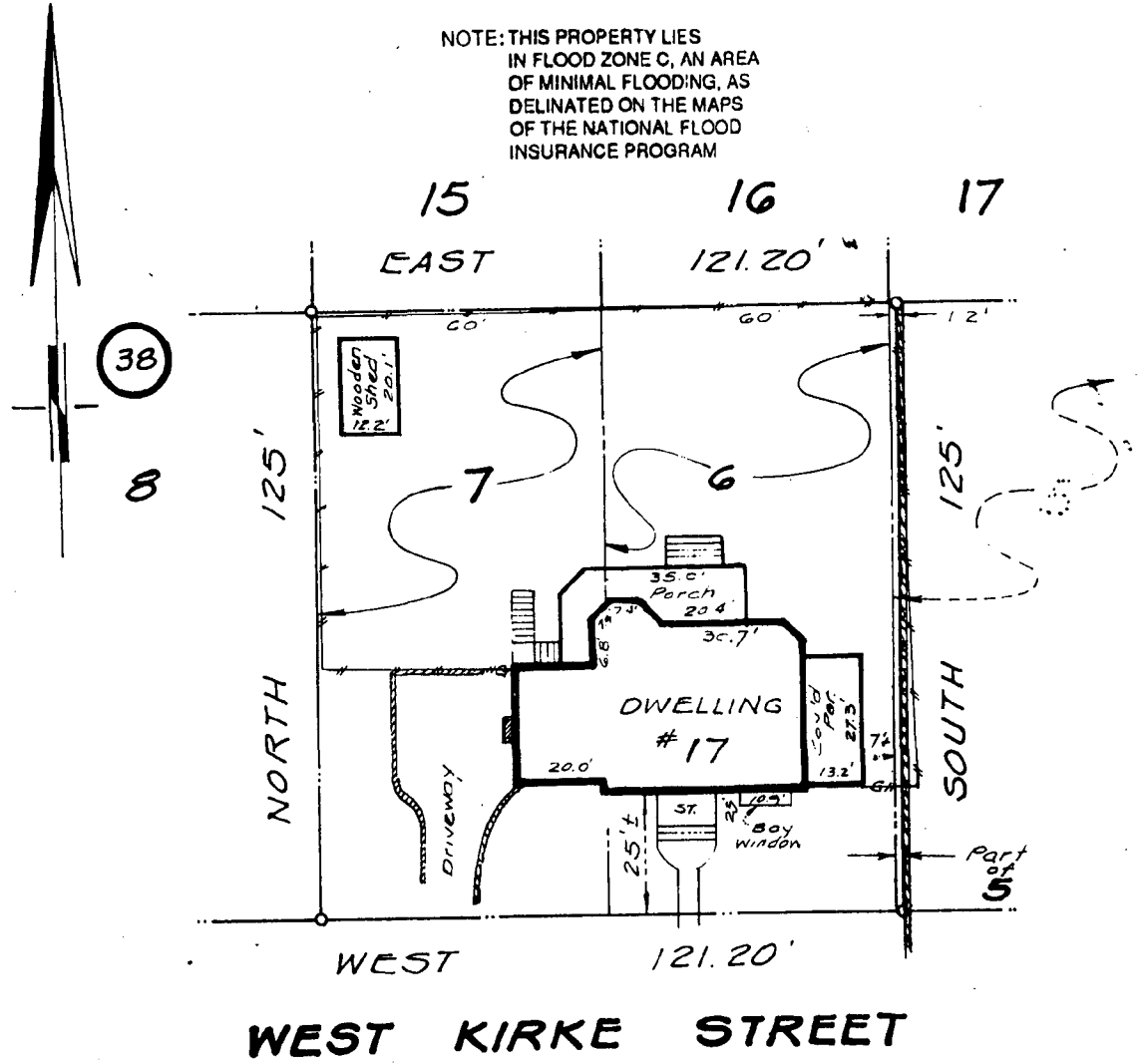
Adjacent Rear

Mr. Kim Schaner
Ms. Julia Wright
14 West Lenox Street
Chevy Chase, Maryland 20815

Mr. & Mrs. Alan Fox
8 West Lenox Street
Chevy Chase, Maryland 20815

ANDTECH ASSOCIATES, INC.
 7307 BALTIMORE AVENUE SUITE 4
 COLLEGE PARK, MARYLAND 20740
 301-277-8878

NOTE: THIS PROPERTY LIES
 IN FLOOD ZONE C, AN AREA
 OF MINIMAL FLOODING, AS
 DELINATED ON THE MAPS
 OF THE NATIONAL FLOOD
 INSURANCE PROGRAM



WEST KIRKE STREET

Note:
 Total Area Lots 6, 7, Part of 5
 = 15,150 sq ft

Original Lots 5, 6, 7 recorded
 in Plat Book 2, Plat 106



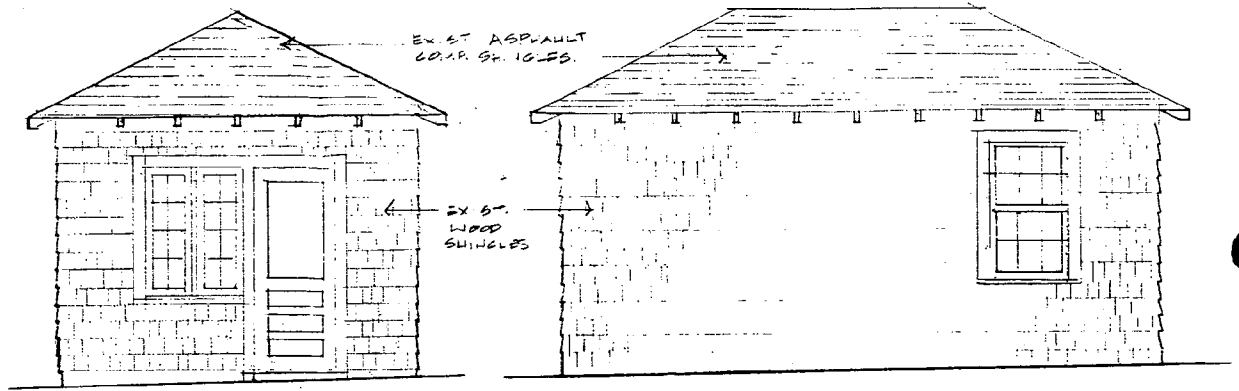
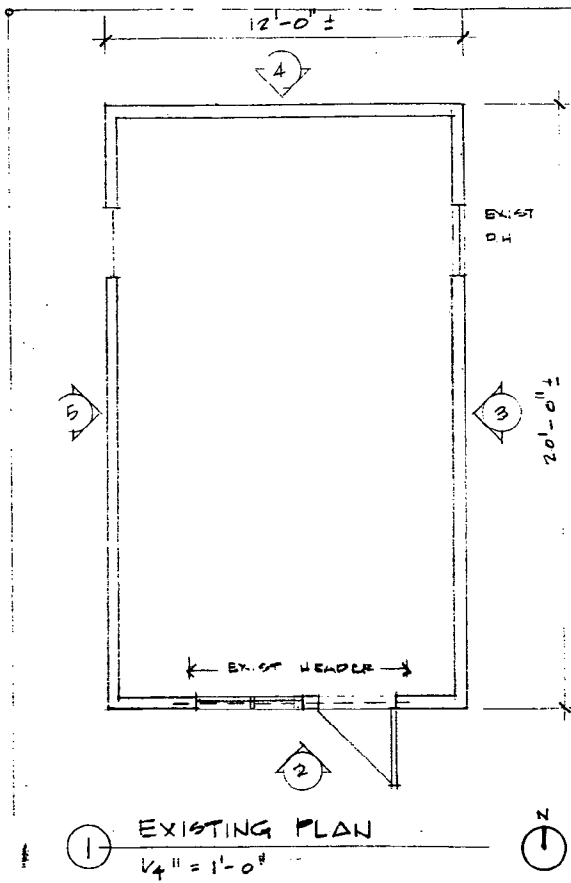
NO TITLE REPORT FURNISHED

LOCATION SURVEY OF #17 WEST KIRKE STREET MONTGOMERY COUNTY, MARYLAND SUBDIVISION Section 2 of Section II CHEVY CHASE, MD.	LOT: 6, 7, Part of 5 <i>Per</i>	BLOCK: 38
	PLAT BOOK Description	PLAT NO: <i>Furnished</i>
	DATE: 11-5-93	SCALE: 1" = 30'
	CASE NO: 15206	FILE NO: RC-93465

CERTIFICATION: I hereby certify that the position of all the existing visible improvements on the above described property has been carefully established in relation to the apparent title lines and that, unless otherwise shown, there are no visible encroachments. This is not a property line survey and should not be used for the erection of fences or any other improvements.

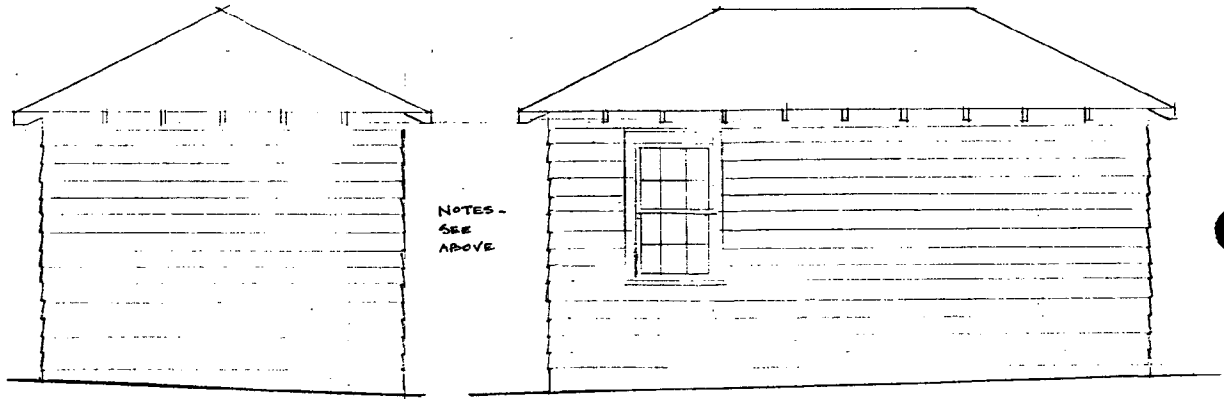
Braden A. Rogers
 BRADEN A. ROGERS - PROFESSIONAL SURVEYOR

8



2 EXIST. ELEVATION

3 EXIST. ELEVATION

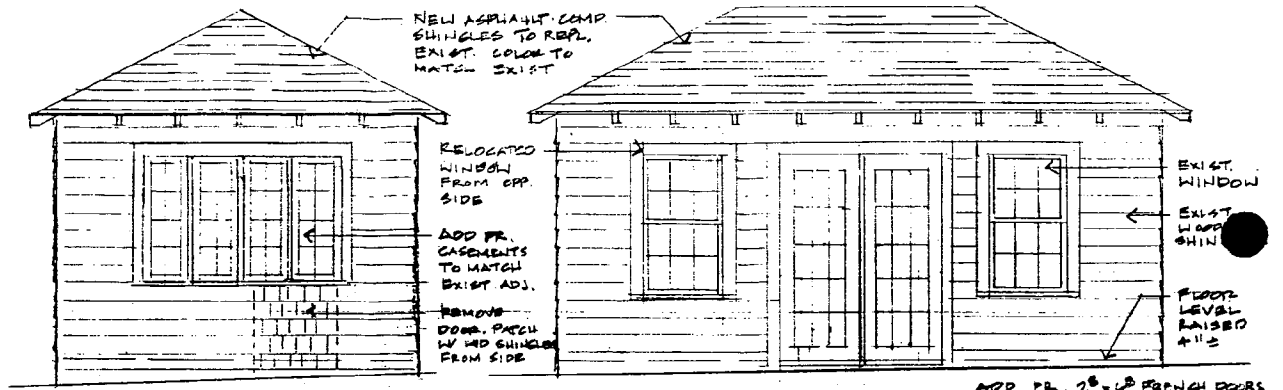
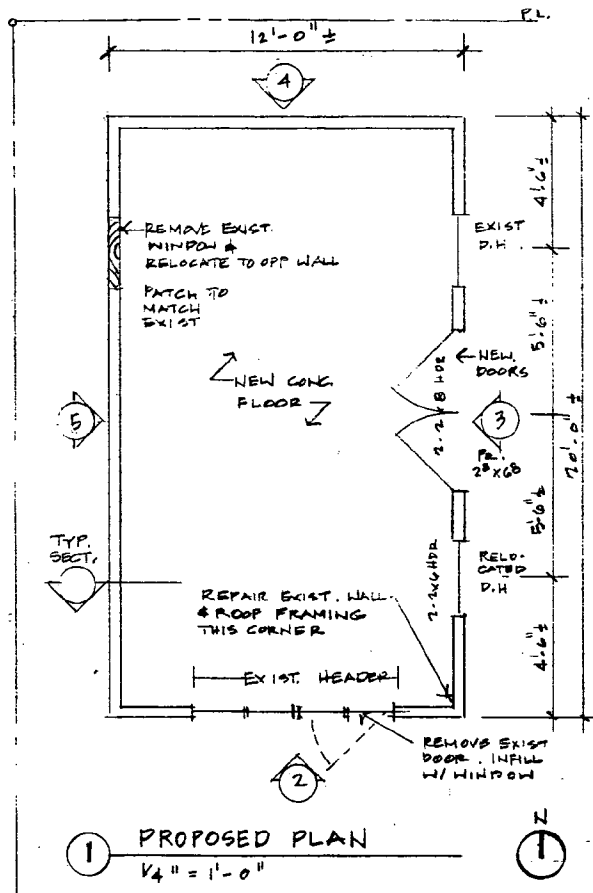


4 EXIST. ELEVATION

5 EXIST. ELEVATION

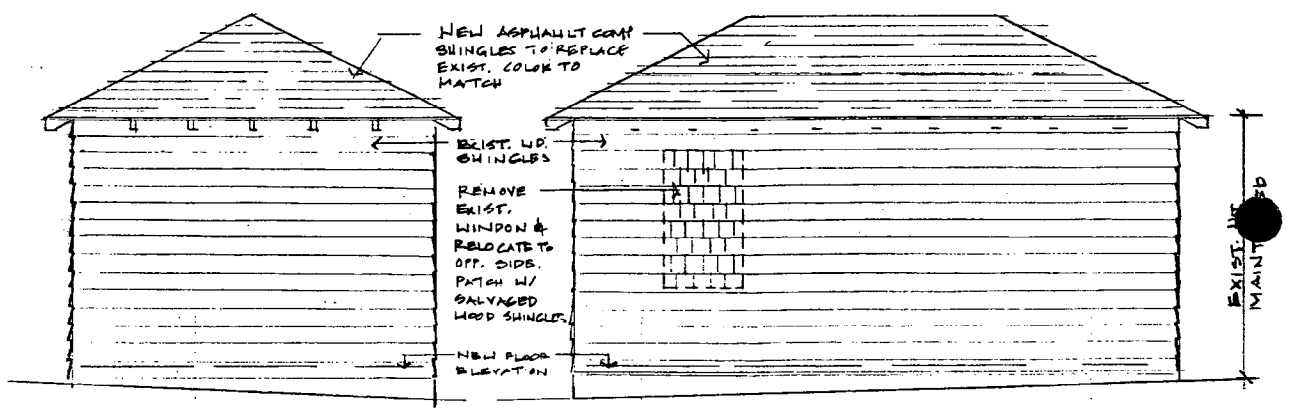
<p>EXISTING PLAN, ELEVATIONS</p> <p>SCALE 1/4" = 1'0"</p>	<p>17 WEST KIRKE STREET</p> <p>Chevy Chase, MD 20815</p>	<p>Issued for Permit 07/12/99</p>	<p>1</p>
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2 PROPOSED ELEVATION

3 PROPOSED ELEVATION

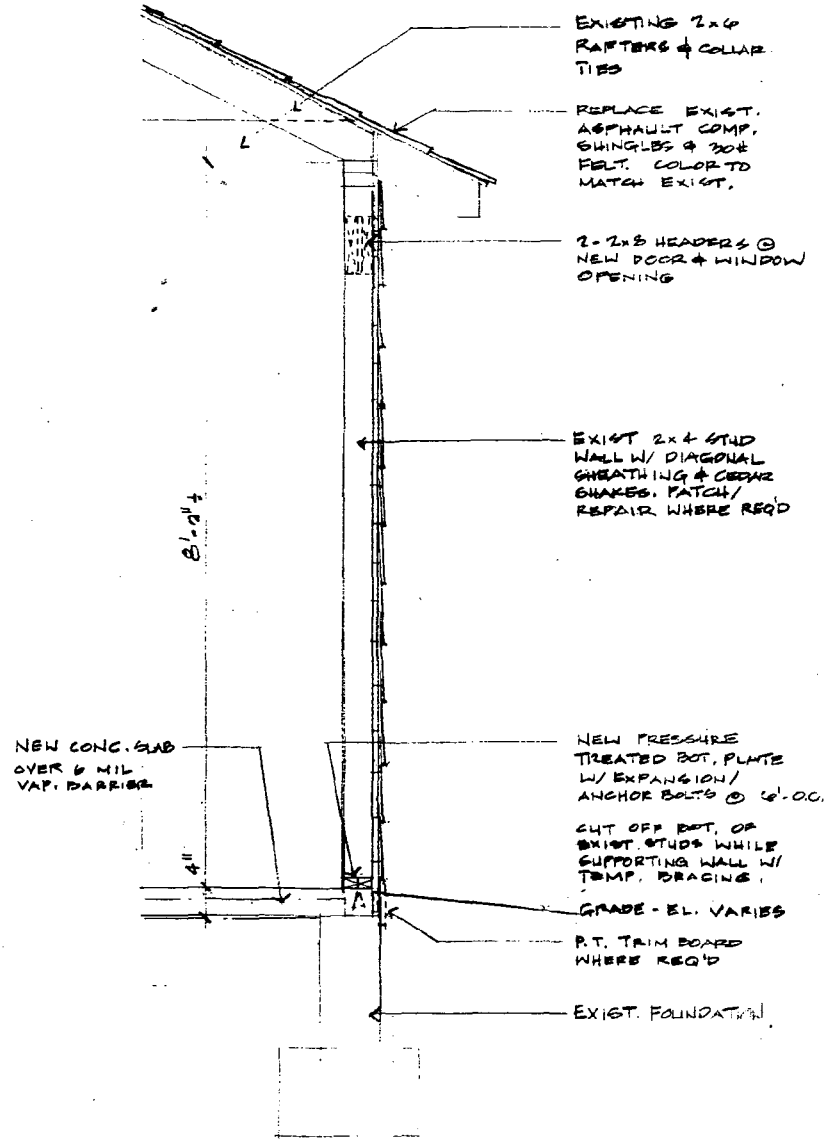


4 PROPOSED ELEVATION

5 PROPOSED ELEVATION

<p>PROPOSED PLAN, ELEVATIONS SCALE 1/4" = 1'0"</p>	<p>17 WEST KIRKE STREET Chevy Chase, MD 20815</p>	<p>Issued for Permit 07/12/99</p>	<p>2</p>
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10



SECTION

SCALE

3/4" = 1'0"

17 WEST KIRKE STREET
Chevy Chase, MD 20815

Issued for Permit 07/12/99

3

11



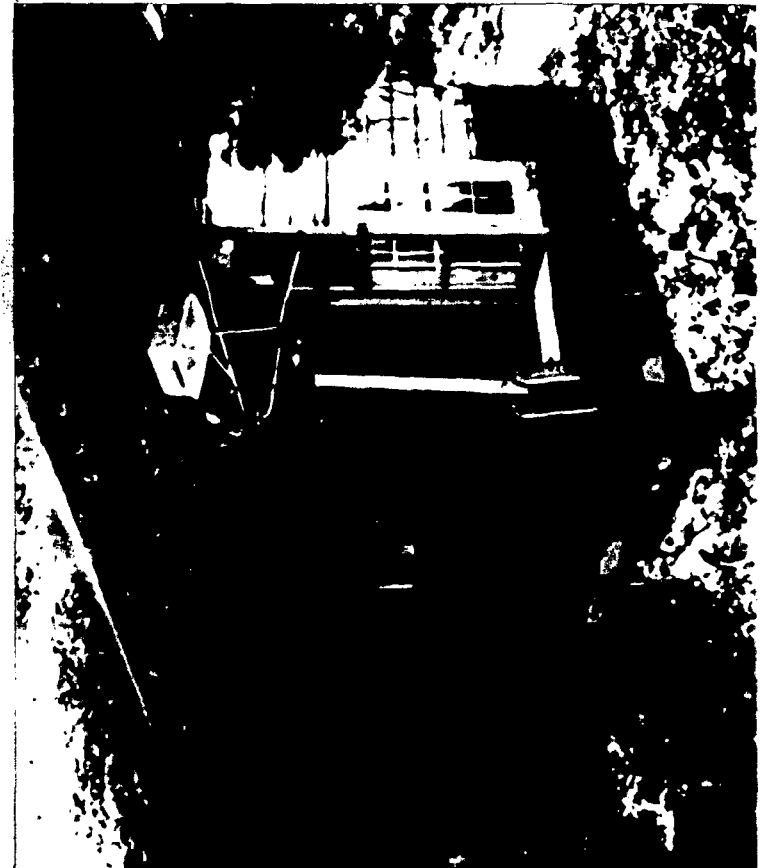
WEST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



SOUTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



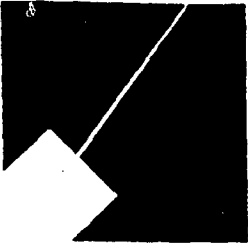
NORTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



EAST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815

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M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date:

8-20-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

**FROM: Gwen Wright, Coordinator
Historic Preservation Section**

**SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits**

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

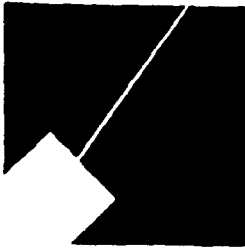
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 8-20-99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: CHARLES MUCKENFUSS & ANGELA LANCASTER

Address: 17 W. KIRKE ST. CHEVY CHASE

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 8-20-99

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 8-18-99.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G:\wp\laphawp.ltr



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

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HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Susan Leuy

Daytime Phone No.: 202-966-0558

Tax Account No.: 00457600

Name of Property Owner: CHARLES MUCKENFUES, ANGELA LANCASTER Daytime Phone No.: 301-657-0243

Address: 17 WEST KIRKE ST CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: CLIFF JOHNSON Phone No.: 301 236 6876

Contractor Registration No.: _____

Agent for Owner: Susan Leuy Daytime Phone No.: 202-966-0558

LOCATION OF BUILDING/PREMISE

House Number: 17 Street: WEST KIRKE ST.

Town/City: CHEVY CHASE Nearest Cross Street: CONN. AVE NW

Lot: 6, 7, 5 Block: 38 Subdivision: SECTION 2 OF SECTION II

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- | | |
|--|--|
| 1A. CHECK ALL APPLICABLE: | CHECK ALL APPLICABLE: |
| <input type="checkbox"/> Construct | <input type="checkbox"/> A/C |
| <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Slab |
| <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Room Addition |
| <input type="checkbox"/> Move | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Install | <input type="checkbox"/> Deck |
| <input type="checkbox"/> Wreck/Raze | <input checked="" type="checkbox"/> Shed |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Fireplace |
| <input type="checkbox"/> Revocable | <input type="checkbox"/> Woodburning Stove |
| <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Single Family |
| <input type="checkbox"/> Other: _____ | |

1B. Construction cost estimate: \$ 8000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan A Leuy 7-22-99
Signature of owner or authorized agent Date

Approved: [Signature] Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 8-18-99

Application/Permit No.: 9907220085 Date Filed: 7/22/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

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REAR YARD AND CURRENTLY IS USED AS POTTING SHED
NO SIGNIFICANT HISTORICAL FEATURES OF SIGNIFICANCE

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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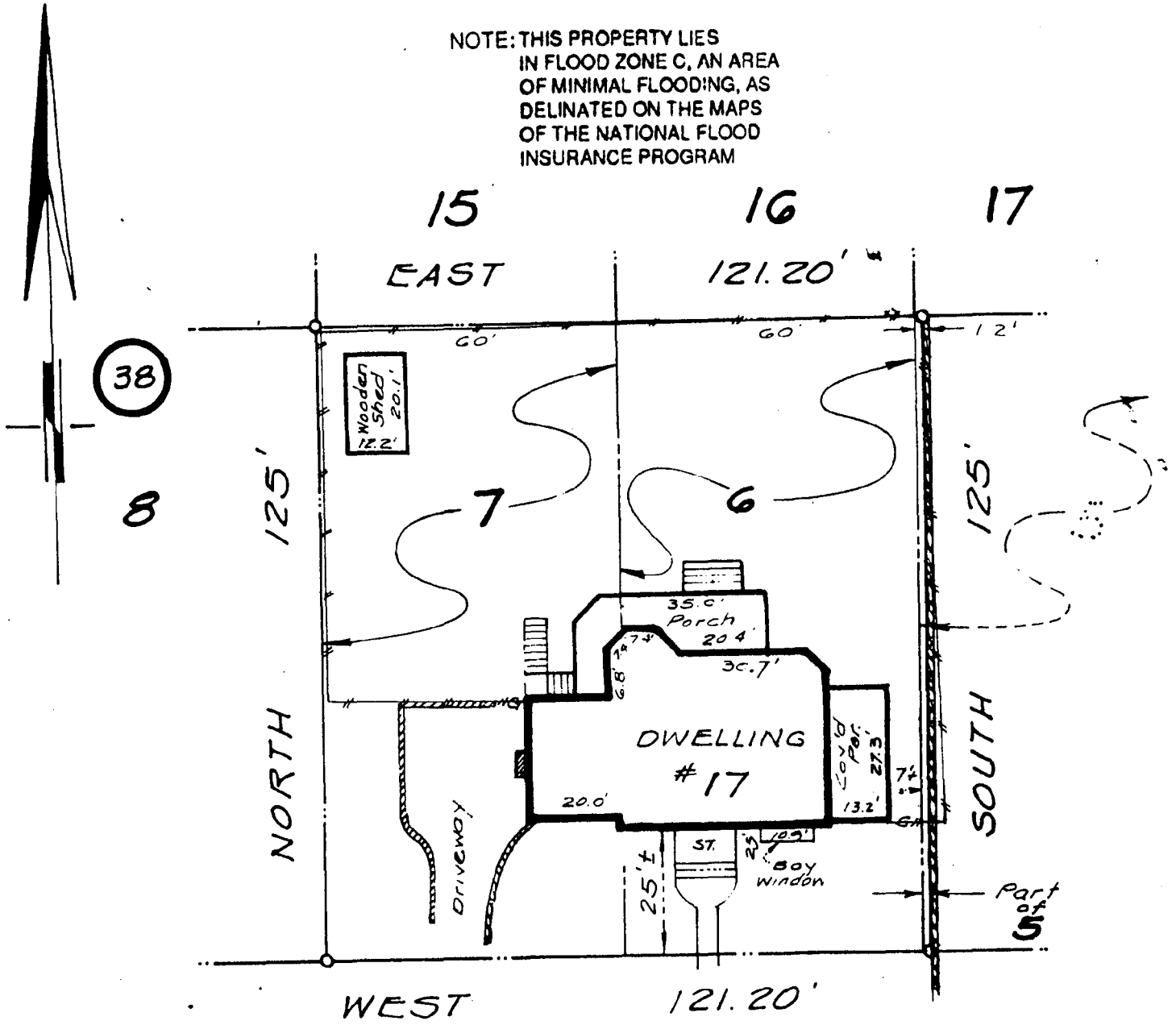
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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

7307 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740
 301-277-8878

NOTE: THIS PROPERTY LIES
 IN FLOOD ZONE C, AN AREA
 OF MINIMAL FLOODING, AS
 DELINEATED ON THE MAPS
 OF THE NATIONAL FLOOD
 INSURANCE PROGRAM



WEST KIRKE STREET

Note:
 Total Area Lots 6, 7, Part of 5
 = 15,150 #
 Original Lots 5, 6, 7 recorded
 in Plat Book 2, Plat 106

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert Ziek
 8-18-99

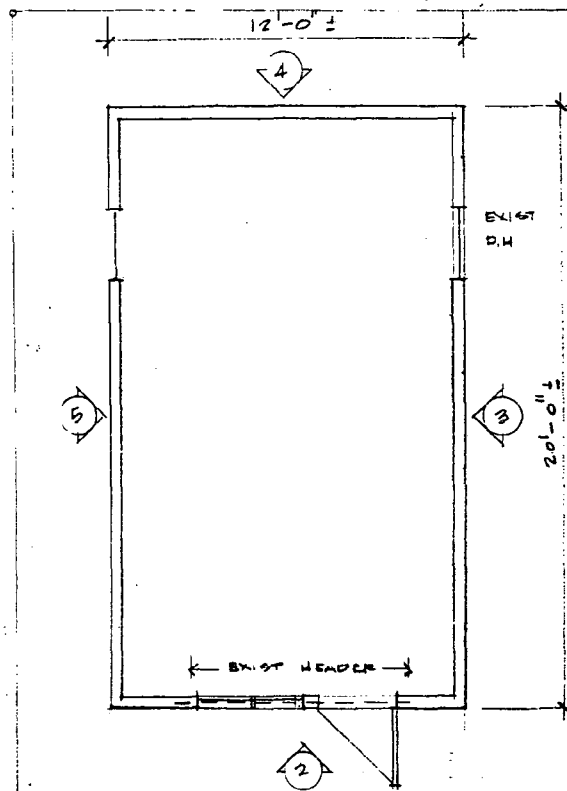


NO TITLE REPORT FURNISHED

<p>LOCATION SURVEY OF #17 WEST KIRKE STREET MONTGOMERY COUNTY, MARYLAND SUBDIVISION Section 2 of Section II CHEVY CHASE, MD.</p>	<p>LOT: <u>6, 7, Part of 5</u> Per PLAT BOOK <u>Description</u> DATE: <u>11-5-93</u> CASE NO: <u>15906</u></p>	<p>BLOCK: <u>38</u> PLAT NO: <u>Furnished</u> SCALE: <u>1" = 30'</u> FILE NO: <u>RC-93465</u></p>
--	--	--

CERTIFICATION: I hereby certify that the position of all the existing visible improvements on the above described property has been carefully established in relation to the apparent title lines and that, unless otherwise shown, there are no visible encroachments. This is not a property line survey and should not be used for the erection of fences or any other improvements

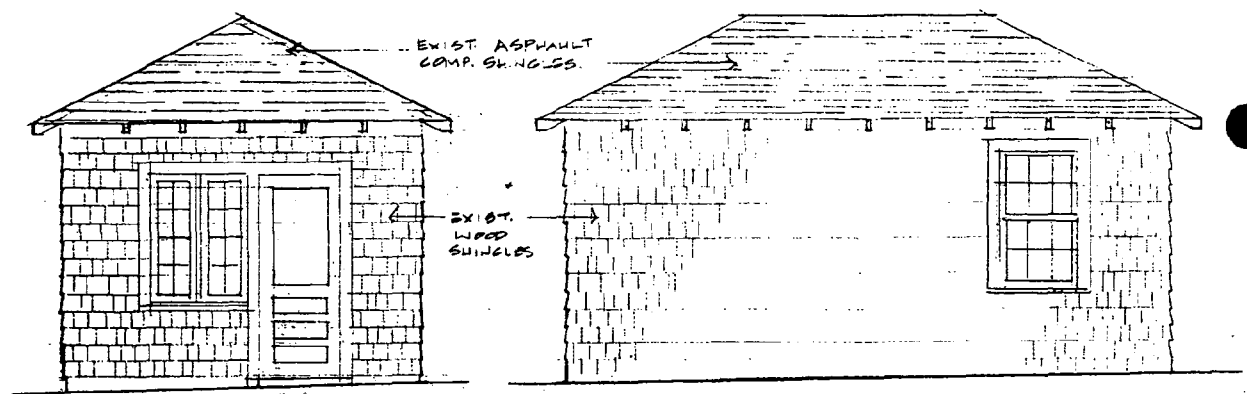
Graden A. Rogers
 GRADEN A. ROGERS - PROP. L. S. MD. LIC. NO. 119



① EXISTING PLAN
 1/8" = 1'-0"

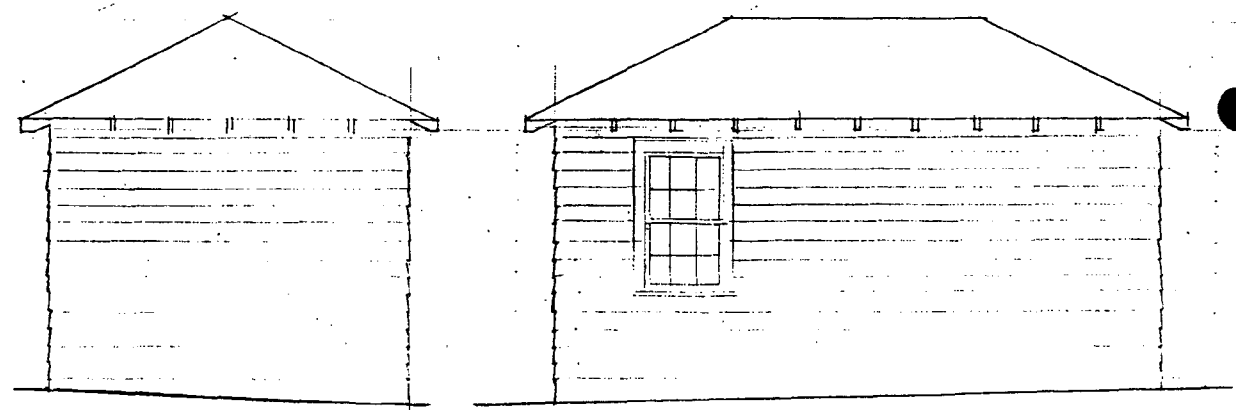
APPROVED
 Montgomery County
 Historic Preservation Commission

Rokun Ziek 8-18-99



② EXIST. ELEVATION

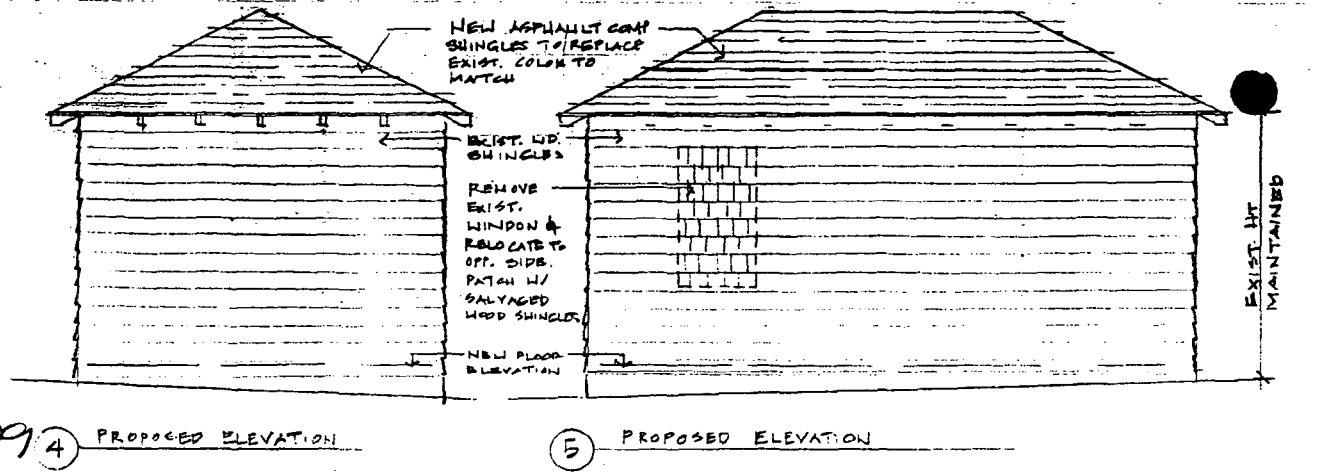
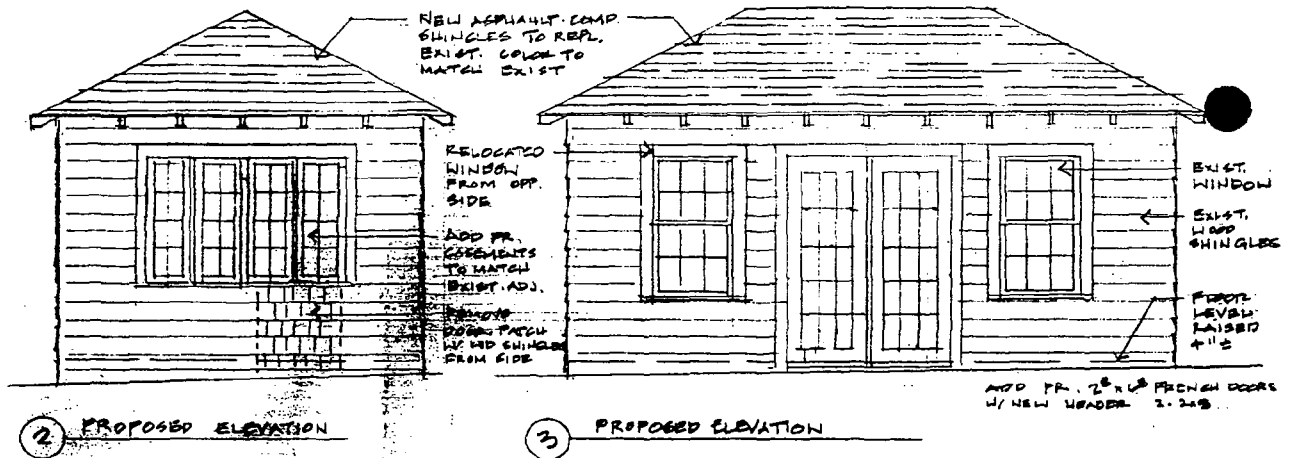
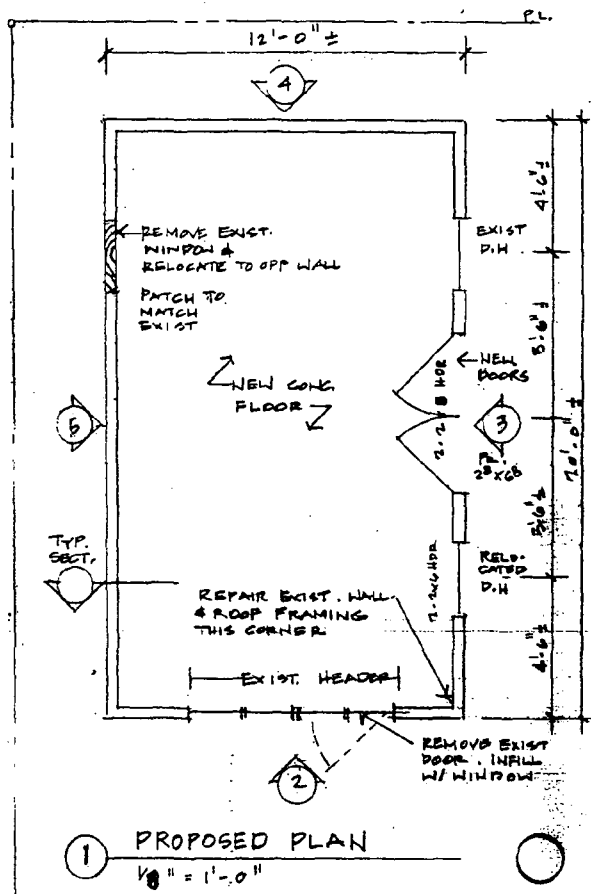
③ EXIST. ELEVATION



④ EXIST. ELEVATION

⑤ EXIST. ELEVATION

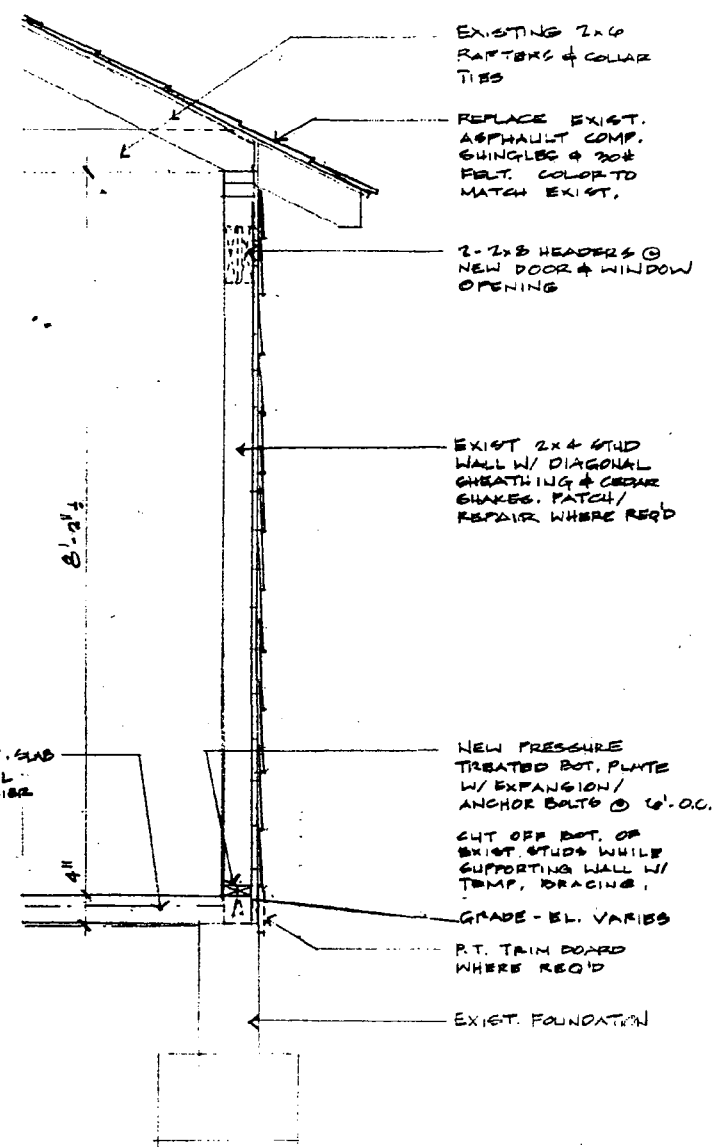
EXISTING PLAN, ELEVATIONS SCALE 1/8" = 1'0"	17 WEST KIRKE STREET Chevy Chase, MD 20815	Issued for Permit 07/12/99	1
--	---	----------------------------	---



APPROVED
Montgomery County
Historic Preservation Commission

Robert Zick 8-18-99

<p>PROPOSED PLAN, ELEVATIONS SCALE 1/8" = 1'0"</p>	<p>17 WEST KIRKE STREET Chevy Chase, MD 20815</p>	<p>Issued for Permit 07/12/99</p>	<p>2</p>
--	---	-----------------------------------	----------



APPROVED
Montgomery County
Historic Preservation Commission
Rollin Zick 8-18-99

<p>SECTION SCALE 3/8" = 1'0"</p>	<p>17 WEST KIRKE STREET Chevy Chase, MD 20815</p>	<p>Issued for Permit 07/12/99</p>	<p>3</p>
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WEST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



SOUTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



NORTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



EAST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815

Painted Hills
ARCHIVAL PRESERVERS

P.O. BOX 607438 • ORLANDO, FL 32860 • (407) 886-5500

STYLE NO. 45-8P



WEST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



SOUTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



NORTH ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815



EAST ELEVATION 17 WEST KIRKE STREET
Chevy Chase, MD 20815

35/13-00Y 19 West Kirke Street
(Chevy Chase Village HD)

JEF - Michael







HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	19 West Kirke, Chevy Chase	Meeting Date:	10/25/00
Resource:	Chevy Chase Village Historic District	Report Date:	10/18/00
Review:	HAWP	Public Notice:	10/11/00
Case Number:	35/13-00Y	Tax Credit:	None
Applicant:	Thomas Toch	Staff:	Michele Naru
PROPOSAL:	Garage Door and AC installation	RECOMMEND:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1913

This two-story, three-bay, frame dwelling is located in the Chevy Chase Village Historic District. This Colonial Revival house is clad in clapboard siding. The pyramidal roof is sheathed in asphalt shingles. A one-story porch supported by Tuscan columns extends the width of the principal façade and wraps around the east elevation.

A non-contributing, two-car garage sits at the rear of the lot. The building does not presently have a garage door.

PROPOSAL:

The applicant proposes:

1. To install a two-bay garage door. The door will measure 16' x 6'6" and constructed of 25-gauge steel bonded to a 7/8" layer of polystyrene insulation backed with stucco vinyl.
2. To install two air conditioning condensers at the rear/back of the house. The AC condensers will measure 30" x 32" x 48".

STAFF DISCUSSION

The applicant is proposing to install a garage doors on this *non-contributing* garage. Staff feels that the applicant's proposal is compatible to the existing design of the garage and house and would not negatively impact the streetscape. Staff recommends approval.

The applicant will be installing central air conditioning into his home and the new system will require two condensers to be installed on the site. The applicant is requesting that the location of these condensers be at the rear/back. Staff has no objection to the location and notes that they will not be visible from the streetscape. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Thomas Toth

Daytime Phone No.: 202/797-6037

Tax Account No.: _____

Name of Property Owner: THOMAS TOOTH (contract purchaser) Daytime Phone No.: 202/797-6037

Address: 19 W. KIRK ST. CHEVY CHASE MD 20815

Contractor: 4413 WINDOM PL, NE WASHINGTON DC 20016

Contractor Registration No.: 459602 Phone No.: 301/990-6200

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 19 ~~6000~~ Street: W. KIRK

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: 8 Block: 38 Subdivision: CHEVY CHASE VILLAGE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|---|--|--|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: <u>GARAGE DOOR</u> | | | | |

1B. Construction cost estimate: \$ \$1,250.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas Toth (contract purchaser) 10/1/00
Signature of owner or authorized agent Date

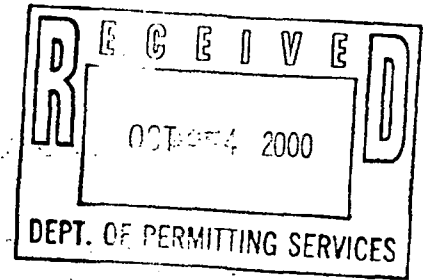
Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

(3)

October 1, 2000

HPC/DPS
255 Rockville Pike 2nd Fl.
Rockville, MD 20850



Dear HPC/DPS,

Please find enclosed applications for permits to hang a rolling door on the garage at 19 West Kirke St. in Chevy Chase Village. I am a contract purchaser of the property, and will own the property as of October 30, 2000. I would like to have a door on the garage to protect my cars and other property that I intend to store in the garage, and to protect the already-deteriorating garage structure from deteriorating further.

I've enclosed a copy of the property plat, a description and picture of the door I'd like to use, and photographs of the house and garage. Please let me know if you need additional information.

It's my hope that we can have the door installed the week of October 30.

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script that reads "Thomas Toch".

Thomas Toch



[home](#) | [residential](#) | [catalogs](#) | [safety](#) | [where to buy clopay](#) | [contact clopay](#) | [installation](#) | [choose a door](#)
| [warranty](#)

186

7/8" Thick Insulated Steel Garage Doors

PREMIUM SERIES

MODEL NUMBER

VALUE PLUS SERIES

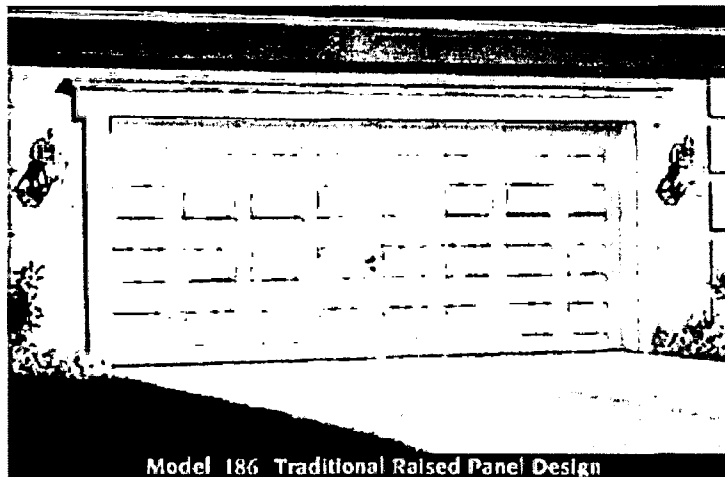
MODEL NUMBER

VALUE SERIES

MODEL NUMBER

Features

Windows



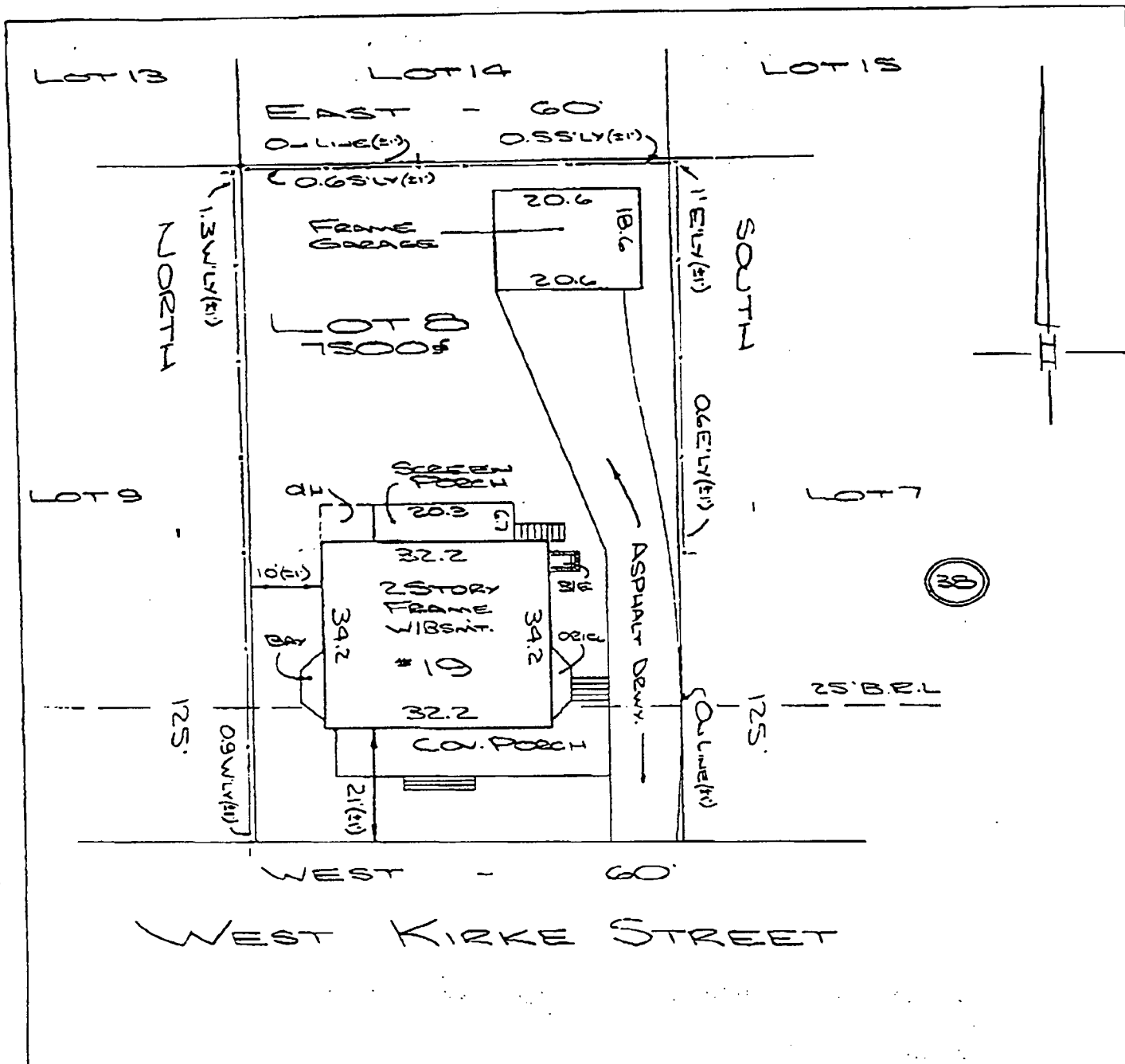
Model 186 Traditional Raised Panel Design

16' X 6'6"

The 186 is a Value Plus Series doors with two layer construction: steel + insulation. The two layer structure of this Clopay Value Series Doors offers two important qualities: durability and insulation value. This door is constructed of durable 25-gauge steel bonded to a 7/8" layer of energy efficient polystyrene insulation backed with washable, stucco vinyl. The woodgrain textured steel exterior guarantees years of beauty that's practically maintenance free, while bonded insulation provides quiet operation and durability. This Value Plus Series door has an extended elegant raised panel design.

Comments or suggestions? [Contact Clopay](#). Or call 1-800 2CLOPAY.
©1999 The Clopay Building Products Company, A Griffon Company. All rights reserved.

6



Capitol Surveys, Inc.

10762 Rhode Island Avenue
 Beltsville, Maryland 20705
 Phone 301-931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 This property lies within Zone C, (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

LOCATION DRAWING
 LOT 8 BLOCK 38
 SECTION No. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

Edward L. Lopez, Jr.
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor, No. 622

Recorded in Plat Book	2	Plat	106	Scale	1" = 20'
CASE:	1653-00	FILE:	65809		
DATE:	SEPTEMBER 20, 2000				

7

October 10, 2000

Ms. Michelle Naru
Historic Preservation Commission
255 Rockville Pike, 2nd Fl.
Rockville, MD 20850

Dear Michelle,

Here's the additional information you need:

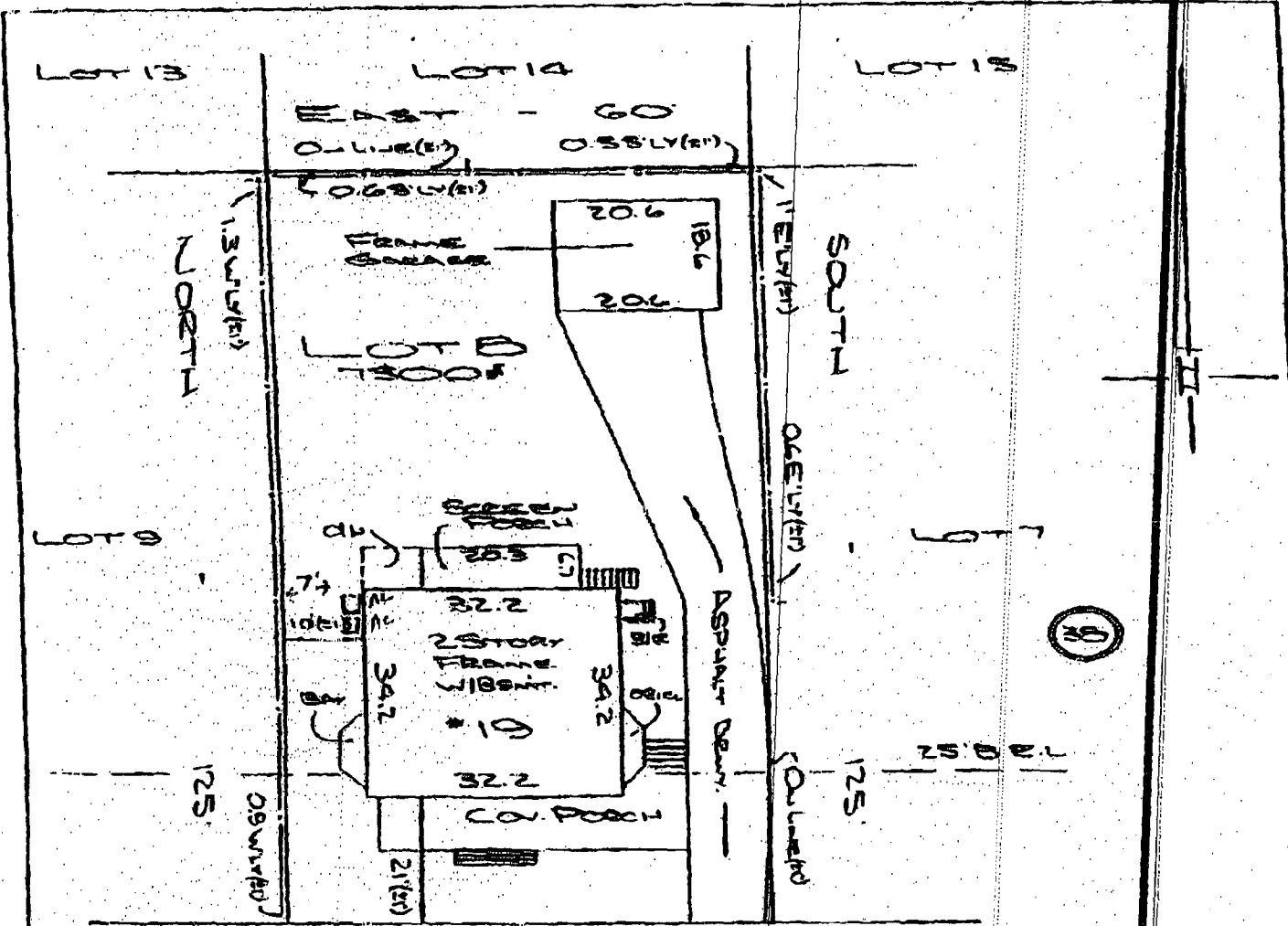
- 1) Plat showing location of two air-conditioning condensers
- 2) Dimensions of the two condensers: a) ^{wide} 90 inches x ^{deep} 32 inches
x ^{high} 49 inches; b) 30 inches by 32 inches by ^{high} 48 inches
- 3) Picture of garage door. It will be 16' long by 6' 6" high.
- 4) Names of adjoining homeowners:
 - 14 W. Lenox St: Kenneth Schaner (w: 202/424-7518) and Julia Wright (w: 202/942-6303)
 - 21 W. Kirke St: Alaster (w: 301/530-4900) and Sue MacDonald
 - 17 W. Kirke St: Cantwell Muckenfuss (w: 202/955-8514) and Angela Lancaster.

Let me know if you need any additional information. Again, I hoping to start the work on October 30.

Sincerely,



Thomas Toch



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES

WEST KIRKE STREET
APPROVED *[Signature]* DATE 10/6/00

ZONING CLASS R-60 PAGE 20BNW4

A/C Unit
BOARD OF APPEALS

Capitol Surveys, Inc.

10762 Rhode Island Avenue
Beltville, Maryland 20705
Phone 301 931-1350
Fax 301-931-1352

NOTES: Plot is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with certain plated transfer, financing or re-financing; this plot is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plot does not provide for the separate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
This property lies within Zone C, (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

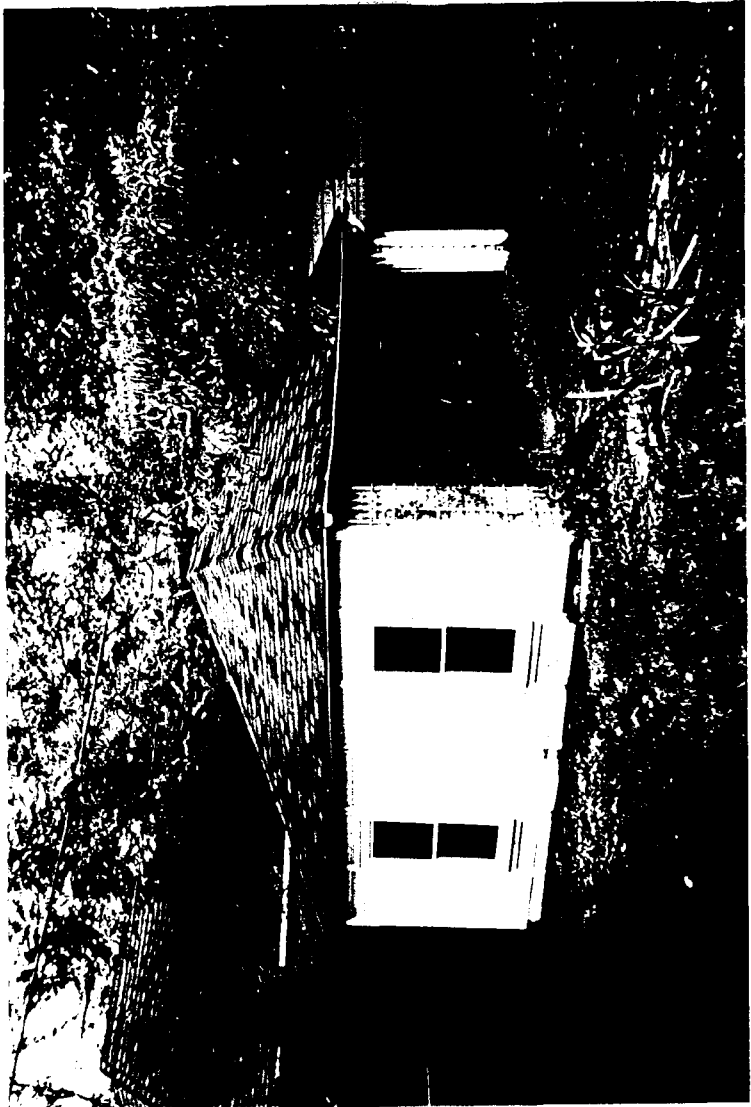
LOCATION DRAWING
LOT B BLOCK 38
SECTION No. 2

CHEVY CHASE
MONTGOMERY COUNTY, MARYLAND

Registered in First Book 2 #197 106 / 1800 - 20
CASE: 1653-00 FILE: 65809
DATE: SEPTEMBER 20, 2000

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and necessarily observed.

[Signature]
Edward L. Lopez, Jr.
Maryland Property Line Surveyor No. 422



Adjacent + Confronting Owners @

19 West Kirke St.

^{w.}
21[^] Kirke St
Cherry Chase, MD 20815

8 Lenox St
Cherry Chase, MD 20815

17 W. Kirke St
Cherry Chase, MD 20815

14 Lenox St
Cherry Chase, MD 20815

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 10/26/00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation (M)

SUBJECT: Historic Area Work Permit

HPC CASE# 35/13-00T DPS# 231581

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: THOMAS TOUCH

Address: 4413 WINDOM PL, NW WASHINGTON DC 20016

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 10/26/00

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner (M)

SUBJECT: Historic Area Work Permit Application - HPC Decision

HPC # 35/13-007 DPS# 231581

The Historic Preservation Commission reviewed this project on 10/25/00.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 10/26/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

HPC # 25/13-004 DPS # 231581

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Thomas Tach

Daytime Phone No.: 202/797-6037

Tax Account No.: _____

Name of Property Owner: THOMAS TACH (contract purchaser) Daytime Phone No.: 202/797-6037

Address: 19 W. CIRCLE ST. CHEVY CHASE MD 20815

Contractor: 4413 WINDOM PL. NW WASHINGTON DC 20016 Phone No.: 301/990-6200

Contractor Registration No.: 459602

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 19 ~~W. CIRCLE ST~~ Street: W. Circle

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: 8 Block: 38 Subdivision: CHEVY CHASE VILLAGE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: GARAGE DOOR

1B. Construction cost estimate: \$ 1,250.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas Tach (contract purchaser) 10/1/00
Signature of owner or authorized agent Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 10/26/00

Application/Permit No.: 23/581 Date Filed: 10/5/00 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

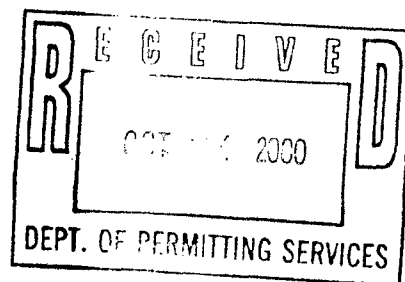
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

October 1, 2000

HPC/DPS
255 Rockville Pike 2nd Fl.
Rockville, MD 20850



Dear HPC/DPS,

Please find enclosed applications for permits to hang a rolling door on the garage at 19 West Kirke St. in Chevy Chase Village. I am a contract purchaser of the property, and will own the property as of October 30, 2000. I would like to have a door on the garage to protect my cars and other property that I intend to store in the garage, and to protect the already-deteriorating garage structure from deteriorating further.

I've enclosed a copy of the property plat, a description and picture of the door I'd like to use, and photographs of the house and garage. Please let me know if you need additional information.

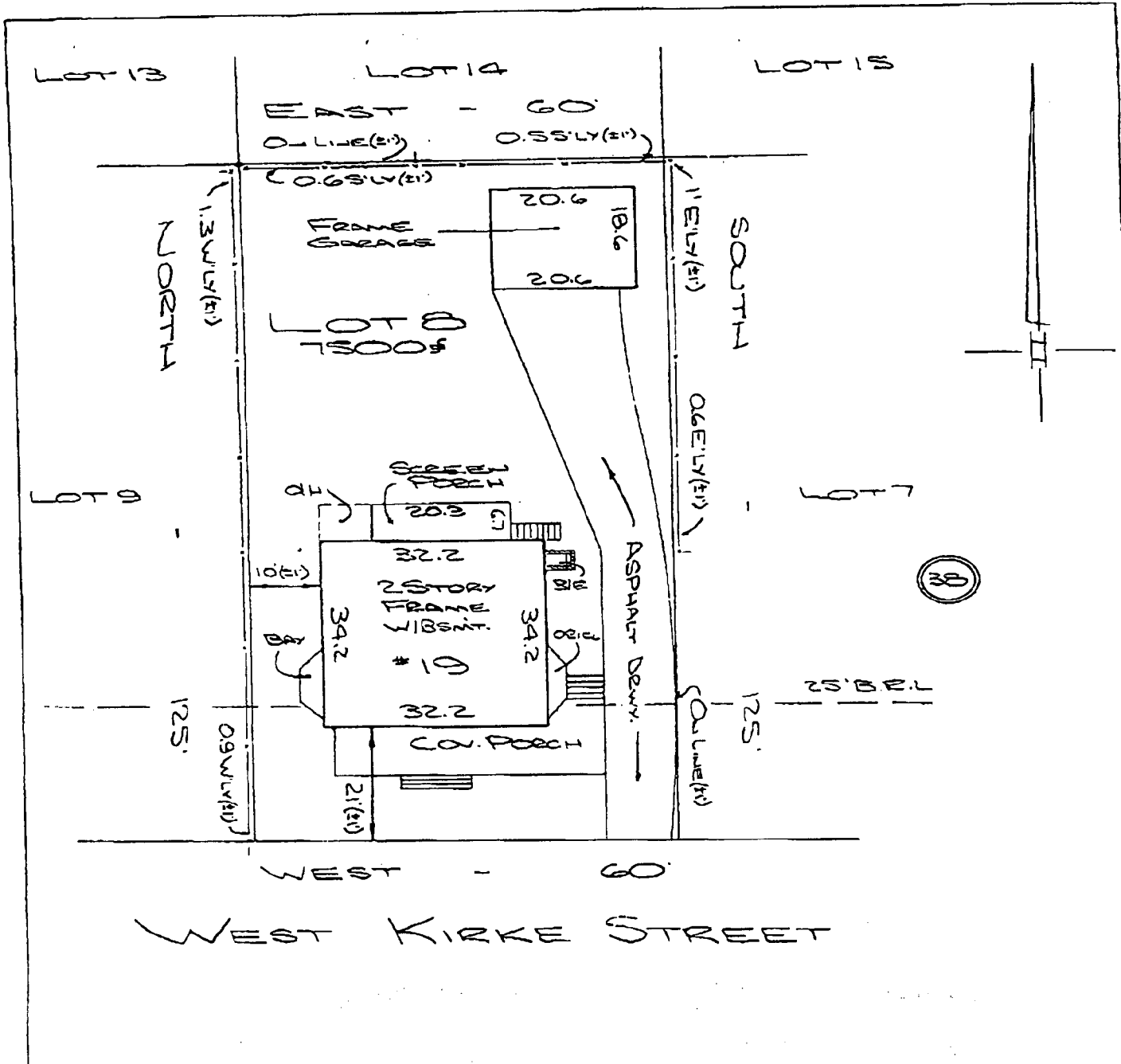
It's my hope that we can have the door installed the week of October 30.

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script that reads "Thomas Toch".

Thomas Toch



Capitol Surveys, Inc.
 10762 Rhode Island Avenue
 Beltsville, Maryland 20705
 Phone 301-931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 This property lies within Zone C, (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

LOCATION DRAWING
 LOT 8 BLOCK 38
 SECTION No. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

Edward L. Lopez, Jr.
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor No. 622

Recorded in Plat Book 2 Plat 106 Scale 1" = 20'
 CASE: 1653-00 FILE: 65809
 DATE: SEPTEMBER 20, 2000

GENERAL NOTES

- Items and conditions noted or detailed are applicable and binding to similar conditions on all drawings. For conditions not noted or detailed, Contractor shall provide materials of equal quality and performance to other similar conditions on the job.
- Items shown on the drawings, but not specified are to be furnished and installed by the general contractor unless noted otherwise. All such items shall be of a quality level consistent with the general quality level of the contract requirements.
- Dimensions are to column center lines, vertical face to tapered columns, face of girts, and to finish face of drywall.
- Sections shown are intended to show the specific construction where indexed as well as establish the general construction details for sections throughout the project which do not have specific sections drawn. The most similar section shall be adapted to any section not detailed. Any specific questions concerning construction not adequately covered by the above should be directed to the architect during the bid period.
- All walls are to extend to the roof or floor deck (unless noted otherwise) and be sealed. Provide fire rating insulation where required.
- Refer to mechanical, plumbing and electrical drawings for notes pertaining to their particular trades and field check against any conflicts between drawings.
- Any areas or spaces not clearly defined or indicated by notes shall be of same material and finish as areas of similar use elsewhere in the building.
- All appurtenances built into or through walls, including doors, ducts, windows, louvers, grilles, mechanical work, etc., shall fit snugly and be thoroughly sealed around perimeters. Work at exterior walls shall be flashed or otherwise waterproof sealed.
- Field check rough and/or finished dimensions for accurate fitting of cabinets, counters, doors, windows, fixtures, shelving, gates, and all other installations prior to shop or factory fabrications. Provide and install necessary filler strips, scribe strips, base closures finishes and trim to complete such installations.
- Electric switches, outlets, thermostats, controls, clocks, speakers, or other wall mounted accessories shall be installed in locations which are unobstructed by cabinets, counters, fixtures, shelving or other furnishing or equipment designated for spaces.

ABBREVIATIONS

A/C	AIR CONDITIONING	JAN	JANITOR
ABV	ABOVE	JT	JOINT
ACC	ACCESSORIES	LAB	LABORATORY
ACOUS	ACOUSTICAL	LAM	LAMINATE
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
AD	AREA DRAIN	LF	LINEAR FOOT
ADI	ADJACENT	LT	LIGHT
ADJUST.	ADJUSTABLE	MAS	MASONRY
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALT	ALTERNATE	MTD	MOUNTED
ALUM	ALUMINUM	MECH	MECHANICAL
AP	ACCESS PANEL	MIN	MINIMUM
APPROX.	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MLD	MANUFACTURER
BD	BOARD	MRB	MARBLE
BLDG	BUILDING	MTL	METAL
BLK	BLOCK	NIC	NOT IN CONTRACT
BLKG	BLOCKING	NO	NUMBER
BM	BEAM	NOM	NOMINAL
B/O	BOTTOM OF	NTS	NOT TO SCALE
BOT	BOTTOM	OA	OVERALL
BRG	BEARING	OC	ON CENTER(S)
BRK	BRICK	OD	OUTSIDE DIAMETER
BMT	BASEMENT	OFF	OFFICE
B.U.R.	BUILT-UP ROOF	OPNG	OPENING
CAB	CABINET	OPP	OPPOSITE
CEM	CEMENT	PL	PLATE
CER	CERAMIC	P.LAM.	PLASTIC LAMINATE
CI	CAST IRON	PLAS	PLASTER
CL	CONTROL JOINT	PNL	PANEL
CK	CAULKING	PR	PAIR
CL	CENTER LINE	PTD	PAINTED
CLG	CEILING	PTN	PARTITION
CLR	CLEAR	PLYWD	PLYWOOD
CMU	CONCRETE MASONRY UNIT	P.T.D.	PAPER TOWER DISPENSER
COL	COLUMN	P.T.D./R.	PAPER TOWER DISPENSER/RECEPTACLE
CONC	CONCRETE	P.T.R.	PAPER RECEPTACLE
CONST	CONSTRUCTION	RAD	RADIUS
CONT	CONTINUOUS OR CONTINUE	RB	RESILIENT BASE
CONTR	CONTRACT	REF	REFERENCE
CPT	CARPET(ED)	REFR	REFRIGERATOR
C.O.	CLEAN OUT	REINF	REINFORCING
CRS	COURSE	RESIST.	RESISTANT
D.F.	DRINKING FOUNTAIN	REQD	REQUIRED
D.P.	DAMP PROOFING	SC	SOLID CORE
D.S.P.	DRY STAND PIPE	S.C.D.	SEAT COVER DISPENSER
DBL	DOUBLE	S.D.	SOAP DISPENSER
DEM	DEMOLISH, DEMOLITION	SCHED	SCHEDULE
DEPT	DEPARTMENT	SECT	SECTION
DIA	DIAMETER	SHT	SHEET
DIM	DIMENSION	SIM	SIMILAR
DN	DOWN	S.N.D.	SANITARY NAPKIN DISPENSER
DR	DROR	S.N.R.	SANITARY NAPKIN RECEPTACLE
DS	DOWNPOUT	S.O.G.	SLAB ON GRADE
DTL	DETAIL	SPEC	SPECIFICATION(S)
EA	EACH	SQ	SQUARE
EJ	EXPANSION JOINT	SS/ST	STAINLESS STEEL
ELEC	ELECTRIC(AL)	STL	STEEL
ELV OR EL	ELEVATION	STRUCT	STRUCTURAL
ENCL	ENCLOSURE	SUSP	SUSPENDED
ENT	ENTRANCE	SYM	SYMMETRICAL
EQ	EQUAL	T.B.	TOWEL BAR
EQUIP	EQUIPMENT	TEL	TELEPHONE
E.W.C.	ELECTRICAL WATER COOLER	TEMP	TEMPERED
EXIST	EXISTING	T&G	TONGUE AND GROOVE
EXP	EXPOSED	TH	THRESHOLD
EXPAN	EXPANSION	THK	THICK
EXT	EXTERIOR	TO	TOP OF
FA	FIRE ALARM	T.O.C.	TOP OF CURB
FD	FLOOR DRAIN	T.O.F.	TOP OF FOOTING
FDN	FOUNDATION	T.O.P.	TOP OF PAVEMENT
F.E.	FIRE EXTINGUISHER	T.O.S.	TOP OF SLAB
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.STL.	TOP OF STEEL
FIN	FINISHED	T.O.W.	TOP OF WALL
FLR	FLOORING	TYP	TYPICAL
FLUOR	FLUORESCENT	UNFIN	UNFINISHED
FRF	FIREPROOF	UR	UNLESS OTHERWISE NOTED
FS	FIREPROOFING	UR	URINAL
FT	FOOT OR FEET	V.A.T.	VINYL ASBESTOS TILE
FTG	FOOTING	V.B.	VAPOR BARRIER
FURR	FURRING	VCT	VINYL COMPOSITION TILE
FUT	FUTURE	VERT	VERTICAL
GA	Gauge	VEST	VESTIBULE
GALV	GALVANIZED	V.W.C.	VINYL WALL COVERING
G.B.	GRAB BAR	W	WITH
GL	GLASS	WC	WATER CLOSET
GR	GRADE	WD	WOOD
GWB	GYP SUM WALL BOARD	WO	WITHOUT
GYP	GYP SUM	WP	WATERPROOF
H.B.	HOSE BIB	WS	WEIGHT
HC	HOLLOW CORE	WT	WEIGHT
HDCP	HANDICAPPED		
HDWD	HARDWOOD		
HDWR	HARDWARE		
HGT	HEIGHT		
HM	HOLLOW METAL		
HOR	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING/VENTILATING		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		

MATERIAL SYMBOLOGY

	EARTH		SOLID, FINISHED WOOD
	GRAVEL, CRUSHED STONE		CONT. WOOD MEMBER
	CONCRETE, PRECAST AS NOTED		WOOD BLOCKING OR SHIM
	GALI. FINISH AS NOTED		PLYWOOD
	BRICK		WOOD IN ELEVATION
	NATURAL STONE, TYPE AS NOTED		GYPSUM WALLBOARD
	STEEL		ACOUSTICAL PANELS OR TILES
	ALUMINUM		RIGID INSULATION
	SHEET METAL, METAL AT SMALL SCALE		BATT INSULATION
	METAL IN ELEVATION		WATERPROOF MEMBRANE/FLASHING AS NOTED
	SPRAY-ON FIREPROOFING		
	GLASS		
	GLASS IN ELEVATION		
	CERAMIC TILE		
	PLASTER, MORTAR		
	METAL LATH		
	SEALANT, BACKER ROD		

INDEX OF DRAWINGS

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A3.01 Site Plan and Roof Plan	MECHANICAL
A3.02 Basement & First Floor Plans	M-1 Not Issued
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A7.02 Interior Elevations	
A7.03 Interior Elevations	
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ADDITIONS AND RENOVATIONS TO:

THE TOCH RESIDENCE

**19 WEST KIRKE ST.
CHEVY CHASE MD**

PROJECT TEAM

OWNER:	Tom and Ann Toch 19 West Kirke St. Chevy Chase, MD (301) 718-2908
ARCHITECT:	Bowie Gridley Architects William Gridley, FAIA 1010 Wisconsin Avenue Washington, DC 20007 (202) 337-0888
GENERAL CONTRACTOR:	Mauck, Zantinger & Associates Richard Zantinger 5141 MacArthur Blvd. NW Washington, DC 20016 (202) 363-8501
LANDSCAPE:	Land Stevscape Group Ltd. 6856 Mackler Washington, DC 20012 (202) 291-1650

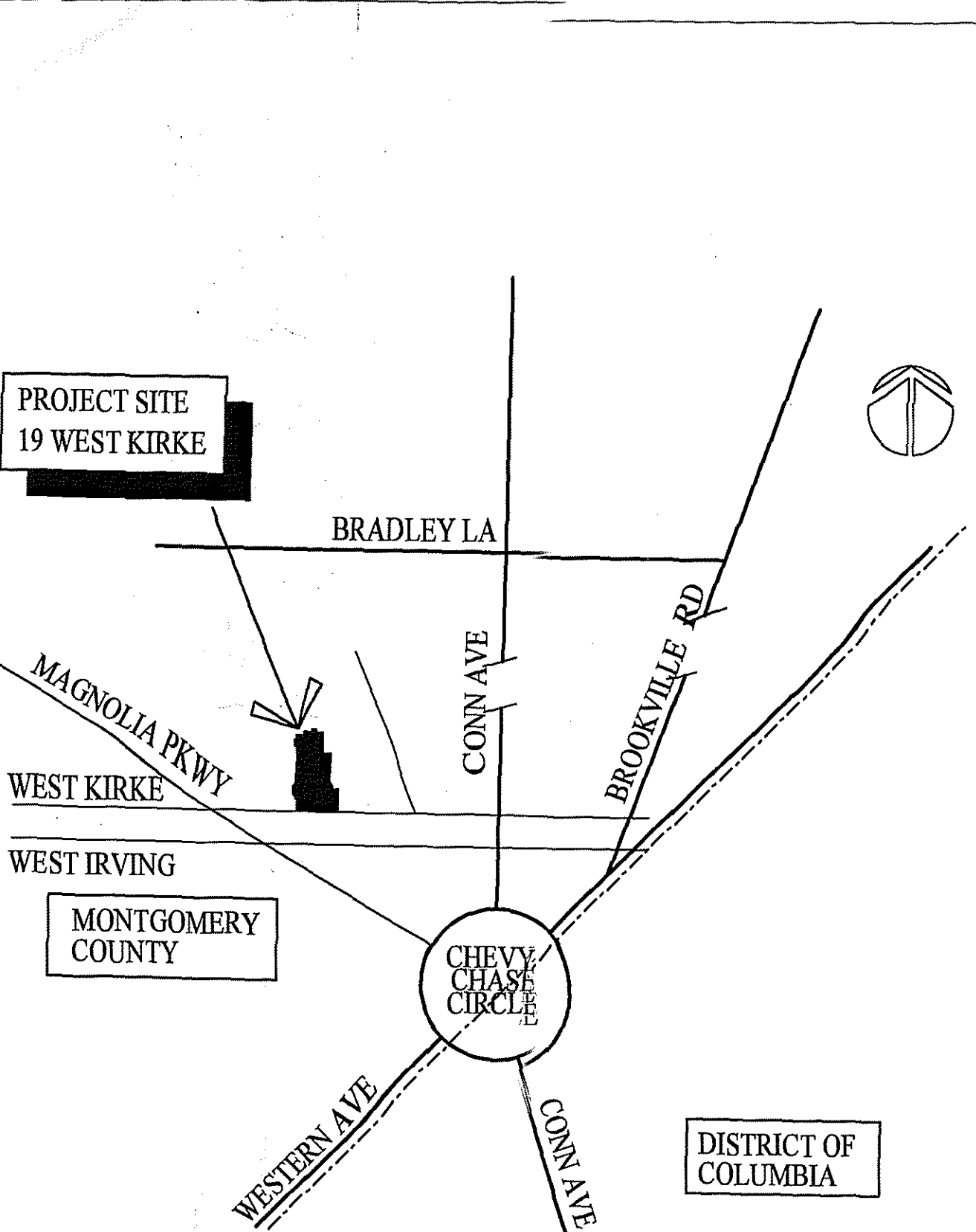
SYMBOLS

	Elevation or Section No.		Revision Number
	Sheet Number		Window & Storefront Number
	Detail Number		Lower
	Interior Elevation Number		Column Grid Number
	Wall Type (Height A.F.F.)		
	Align Finished Surfaces		
	Door Number		

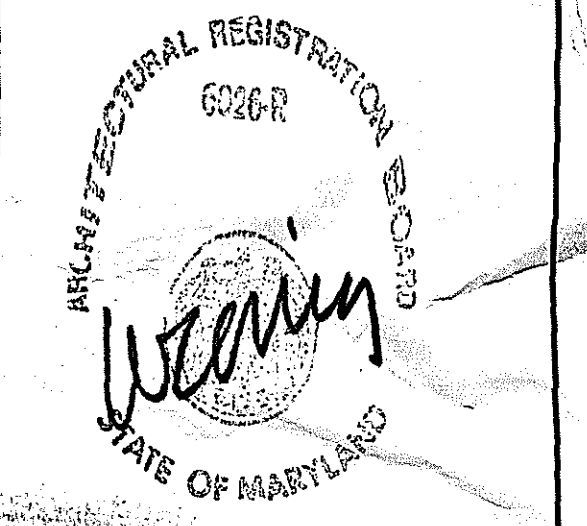
LEGEND

	CENTERLINE		CLG FAN
	OVERHEAD CONSTRUCTION		JUNCTION BOX
	EXISTING WALL		DUPLEX OUTLET
	NEW CONSTRUCTION		QUAD OUTLET
	NEW CONSTRUCTION W/ SOUND ATTENUATION INSUL.		APPLIANCE OUTLET
	NEW DOOR AND FRAME REFER TO SCHEDULE		GROUND FAULT INTERRUPT DUPLEX
	EXISTING DOOR TO REMAIN		SWITCH
	EXTENT OF DEMOLITION		3-WAY SWITCH
			SWITCH W/ DIMMER
			TV CABLE JACK
			PHONE JACK

VICINITY MAP



BOWIE GRIDLEY ARCHITECTS, PLLC
1010 WISCONSIN AVE, N.W. SUITE 400
WASHINGTON, D.C. 20007
TEL (202) 337-0888
FAX (202) 337-2828

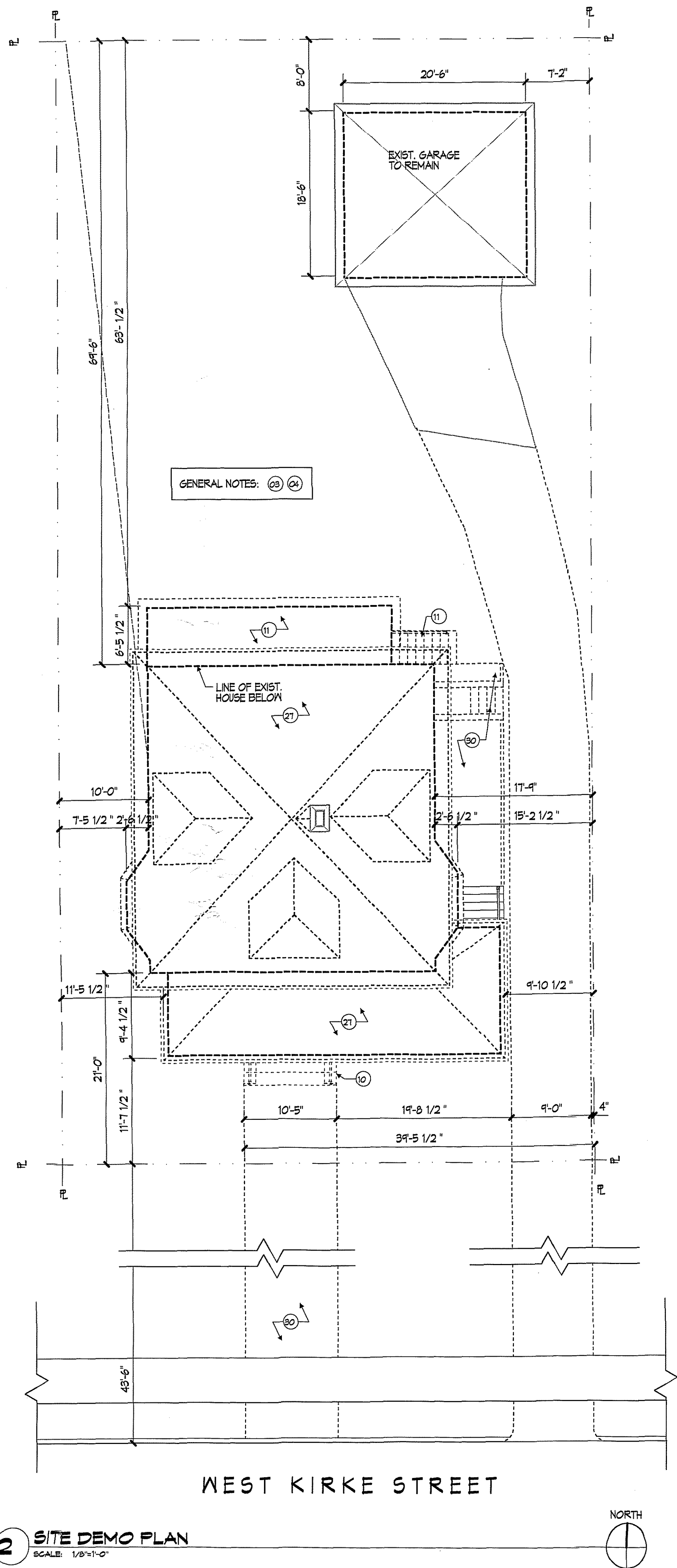


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19 West Kirke
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COVER SHEET

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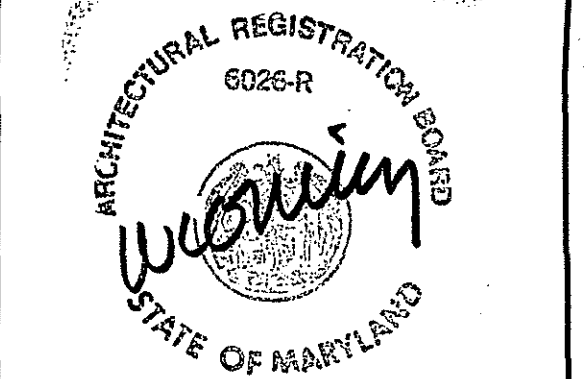
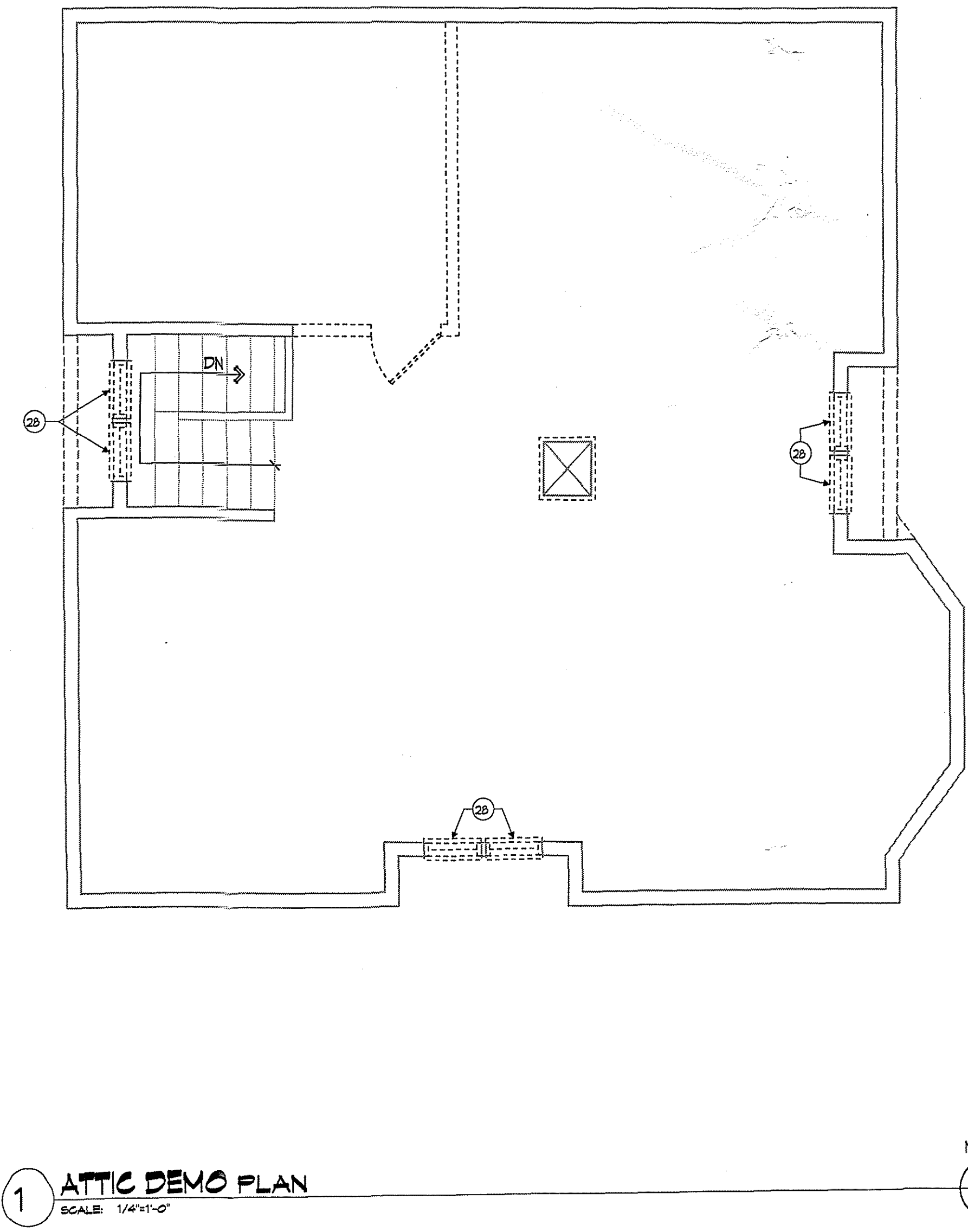


GENERAL NOTES: (23) (24)

2 SITE DEMO PLAN
SCALE: 1/8"=1'-0"

1 ATTIC DEMO PLAN
SCALE: 1/4"=1'-0"

- DEMO NOTES**
01. REMOVE EXIST. ALUM. STORM WIN. & PREP FOR NEW V.D. STORM WIN.
 02. REMOVE EXIST. WIN. FROM OPENING & PREP OPENING TO RECEIVE INFILL WALL.
 03. AS PART OF EXCAVATION WORK, LOCATE EXIST. DRAIN TILE & CLEAN IT OUT TO STREET MAN AS REQ. TO TENEMENT FOUNDATION DRAIN LINE & RAIN LEADERS INTO IT.
 04. EXCAVATE FOR FOOTINGS & FOUNDATIONS AT +/- 2'-6" BELOW GRADE - REF. FOUNDATION PLAN.
 05. EXCAVATE GRADE DOWN TO LEVEL OF EXIST. FOOTINGS TO PREP FOR NEW FOUNDATION CONNECTION - REF. STRUCT.
 06. REMOVE EXIST. DOOR & PREP FOR NEW DOOR.
 07. REMOVE DOOR & TRIM FROM THIS LOCATION & PREP FOR NEW WALL INFILL.
 08. REMOVE ALL FINISHES & RESTORE FIREPLACE BACK TO WORKING ORDER.
 09. REMOVE EXIST. FINISHES BACK TO SHEATHING & PREP FOR NEW V.D. PANELS - REF. E.L.V.
 10. REMOVE EXIST. FRONT STEPS & FOOTINGS.
 11. REMOVE EXIST. PORCH ROOF, COL., STAIRS, RAILS, FLR. FRAMING, WIN., DOORS, FOUNDATIONS, & FOOTINGS.
 12. VERIFY JOIST FRAMING & LOAD BEARING CONDITIONS, TEMPORARILY SUPPORT FLR. FRAMING, REMOVE EXIST. EXT. WALL, PREP TO RECEIVE NEW DOOR.
 13. SALVAGE ALL RADIATOR FLR. UNITS & STORE IN ORDERLY & COMPACT FASHION IN UNFINISHED BASEMENT.
 14. REMOVE ALL EXPOSED ABANDONED PIPES, FIXTURES, & HANGERS ASSOCIATED W/ RADIANT HEATING SYS.
 15. RE-ROUTE ALL EXPOSED PIPES & CONDUIT IN AREA OF FINISHED BASEMENT ABOVE SCHEDULED FINISHED CEILING HEIGHT.
 16. SALVAGE EXIST. PLUMB. FIXT., CAP ALL PLUMB. LINES NOT BEING USED FOR OTHER FIXT., & RE-ROUTE THOSE THAT ARE.
 17. REMOVE EXIST. PLUMB. FIXT., GAS LINES, & APPLIANCES, CAP ALL PLUMB. & GAS LINES NOT BEING USED FOR OTHER FIXT. OR APPLIANCES, & RE-ROUTE THOSE THAT ARE.
 18. REMOVE V.D. FLR. BACK TO SUBFLOOR, & PREP FOR NEW V.D. FLR., TYP. ENTIRE FIRST & SECOND FLOORS, U.O.N.
 19. NOT USED.
 20. REMOVE EXIST. LANDING, STAIR, & RAILS BACK TO FRAMING.
 21. REMOVE EXIST. DRYER EXHAUST, INFILL IV MASONRY.
 22. REMOVE ALL WALL FINISHES BACK TO STUDS, PREP FOR NEW WALL FINISHES.
 23. NOT USED.
 24. REMOVE EXIST. COL. BASES & COL., SALVAGE & RE-FINISH COL., PROVIDE TEMPORARY SUPPORT FOR PORCH ROOF.
 25. REMOVE PORCH DECKING BACK TO FRAMING.
 26. REMOVE ALL WALL FINISHES BACK TO MASONRY, CLEAN & PREP. MASONRY TO MATCH EXIST. EXT. MASONRY.
 27. REMOVE ALL D.S., GUTTERS, & ROOFING BACK TO SHEATHING AT FRONT PORCH & EXIST. HOUSE, PREP FOR NEW ROOF.
 28. REMOVE EXIST. WIN. & PREP OPENING FOR NEW WIN.
 29. REMOVE EXIST. FLR. BACK TO FRAMING, PREP. FOR NEW SUBFLOOR.
 30. REMOVE EXIST. DRIVEWAY, WALK, STAIRS & FOOTINGS.
 31. REMOVE EXIST. GARAGE, GRADE SLAB, & FOUNDATION.
 32. SALVAGE ALL BATHROOM ACCESSORIES.
 33. SALVAGE LIGHT FIXTURES.



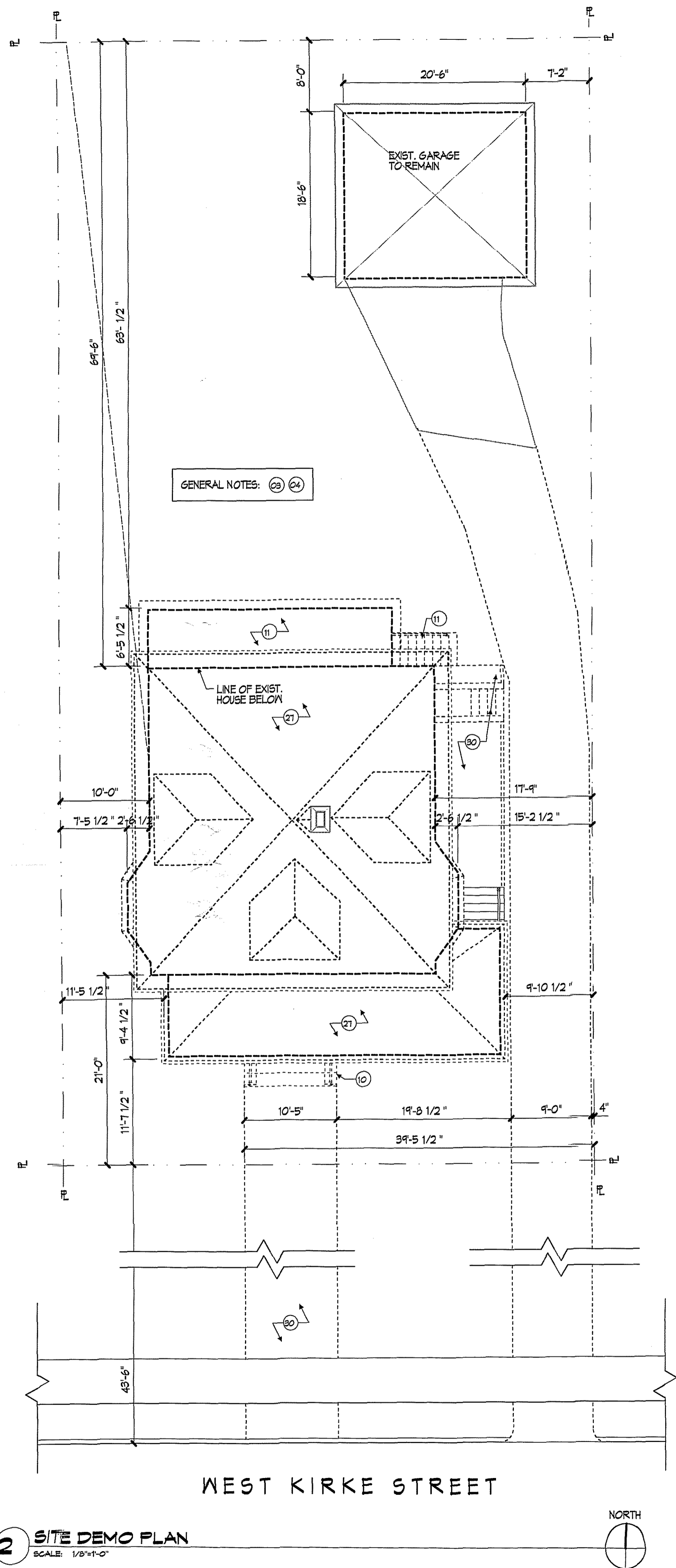
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THE TOCH RESIDENCE
19 West Kirke
Chevy Chase, MD

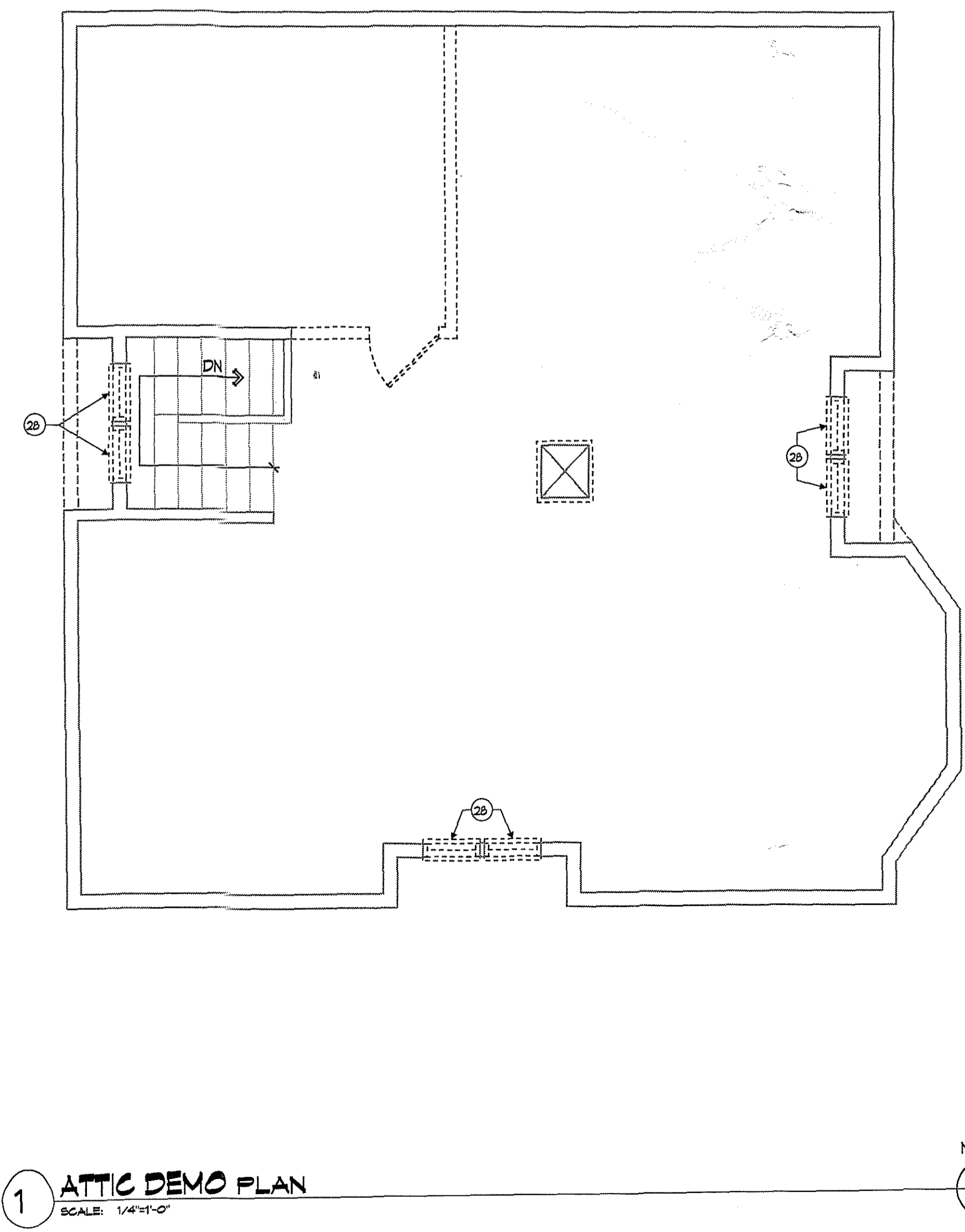
ATTIC & SITE DEMO PLANS

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2 SITE DEMO PLAN
SCALE: 1/8"=1'-0"

- DEMO NOTES**
01. REMOVE EXIST. ALUM. STORM WIN. & PREP FOR NEW WD. STORM WIN.
 02. REMOVE EXIST. WIN. FROM OPENING & PREP OPENING TO RECEIVE INFL. WALL.
 03. AS PART OF EXCAVATION WORK, LOCATE EXIST. DRAIN TILE & CLEAN IT OUT TO STREET MAN AS REQ. TO THE NEW FOUNDATION DRAIN LINE & RAIN LEADERS INTO IT.
 04. EXCAVATE FOR FOOTINGS & FOUNDATIONS AT +/- 2'-6" BELOW GRADE - REF. FOUNDATION PLAN.
 05. EXCAVATE GRADE DOWN TO LEVEL OF EXIST. FOOTINGS TO PREP FOR NEW FOUNDATION CONNECTION - REF. STRUCT.
 06. REMOVE EXIST. DOOR & PREP FOR NEW DOOR.
 07. REMOVE DOOR & TRIM FROM THIS LOCATION & PREP FOR NEW WALL INFILL.
 08. REMOVE ALL FINISHES & RESTORE FIREPLACE BACK TO WORKING ORDER.
 09. REMOVE EXIST. FINISHES BACK TO SHEATHING & PREP FOR NEW WD. PANELS - REF. ELY.
 10. REMOVE EXIST. FRONT STEPS & FOOTINGS.
 11. REMOVE EXIST. PORCH ROOF, COL., STAIRS, RAILS, FLR., FRAMING, WIN., DOORS, FOUNDATIONS, & FOOTINGS.
 12. VERIFY JOIST FRAMING & LOAD BEARING CONDITIONS. TEMPORARILY SUPPORT FLR. FRAMING, REMOVE EXIST. EXT. WALL, PREP TO RECEIVE NEW DOOR.
 13. SALVAGE ALL RADIATOR FLR. UNITS & STORE IN ORDERLY & COMPACT FASHION IN UNFINISHED BASEMENT.
 14. REMOVE ALL EXPOSED ABANDONED PIPES, FIXTURES, & HANGERS ASSOCIATED W/ RADIANT HEATING SYS.
 15. RE-ROUTE ALL EXPOSED PIPES & CONDUIT IN AREA OF FINISHED BASEMENT ABOVE SCHEDULED FINISHED CEILING HEIGHT.
 16. SALVAGE EXIST. PLUMB. FIXT., CAP ALL PLUMB. LINES NOT BEING USED FOR OTHER FIXT., & RE-ROUTE THOSE THAT ARE.
 17. REMOVE EXIST. PLUMB. FIXT., GAS LINES, & APPLIANCES, CAP ALL PLUMB. & GAS LINES NOT BEING USED FOR OTHER FIXT. OR APPLIANCES, & RE-ROUTE THOSE THAT ARE.
 18. REMOVE WD. FLR. BACK TO SUBFLOOR, & PREP FOR NEW WD. FLR. TYP. ENTIRE FIRST & SECOND FLOORS, U.O.N.
 19. NOT USED.
 20. REMOVE EXIST. LANDING, STAIR, & RAILS BACK TO FRAMING.
 21. REMOVE EXIST. DRYER EXHAUST, INFILL W/ MASONRY.
 22. REMOVE ALL WALL FINISHES BACK TO STUDS, PREP FOR NEW WALL FINISHES.
 23. NOT USED.
 24. REMOVE EXIST. COL. BASES & COL., SALVAGE & RE-FINISH COL., PROVIDE TEMPORARY SUPPORT FOR PORCH ROOF.
 25. REMOVE PORCH DECKING BACK TO FRAMING.
 26. REMOVE ALL WALL FINISHES BACK TO MASONRY, CLEAN & PREP. MASONRY TO MATCH EXIST. EXT. MASONRY.
 27. REMOVE ALL D.S. SUITERS, & ROOFING BACK TO SHEATHING AT FRONT PORCH & EXIST. HOUSE, PREP FOR NEW ROOF.
 28. REMOVE EXIST. WIN. & PREP OPENING FOR NEW WIN.
 29. REMOVE EXIST. FLR. BACK TO FRAMING, PREP. FOR NEW SUBFLOOR.
 30. REMOVE EXIST. DRIVEWAY, WALK, STAIRS & FOOTINGS.
 31. REMOVE EXIST. GARAGE, GRADE SLAB, & FOUNDATION.
 32. SALVAGE ALL BATHROOM ACCESSORIES.
 33. SALVAGE LIGHT FIXTURES.



1 ATTIC DEMO PLAN
SCALE: 1/4"=1'-0"

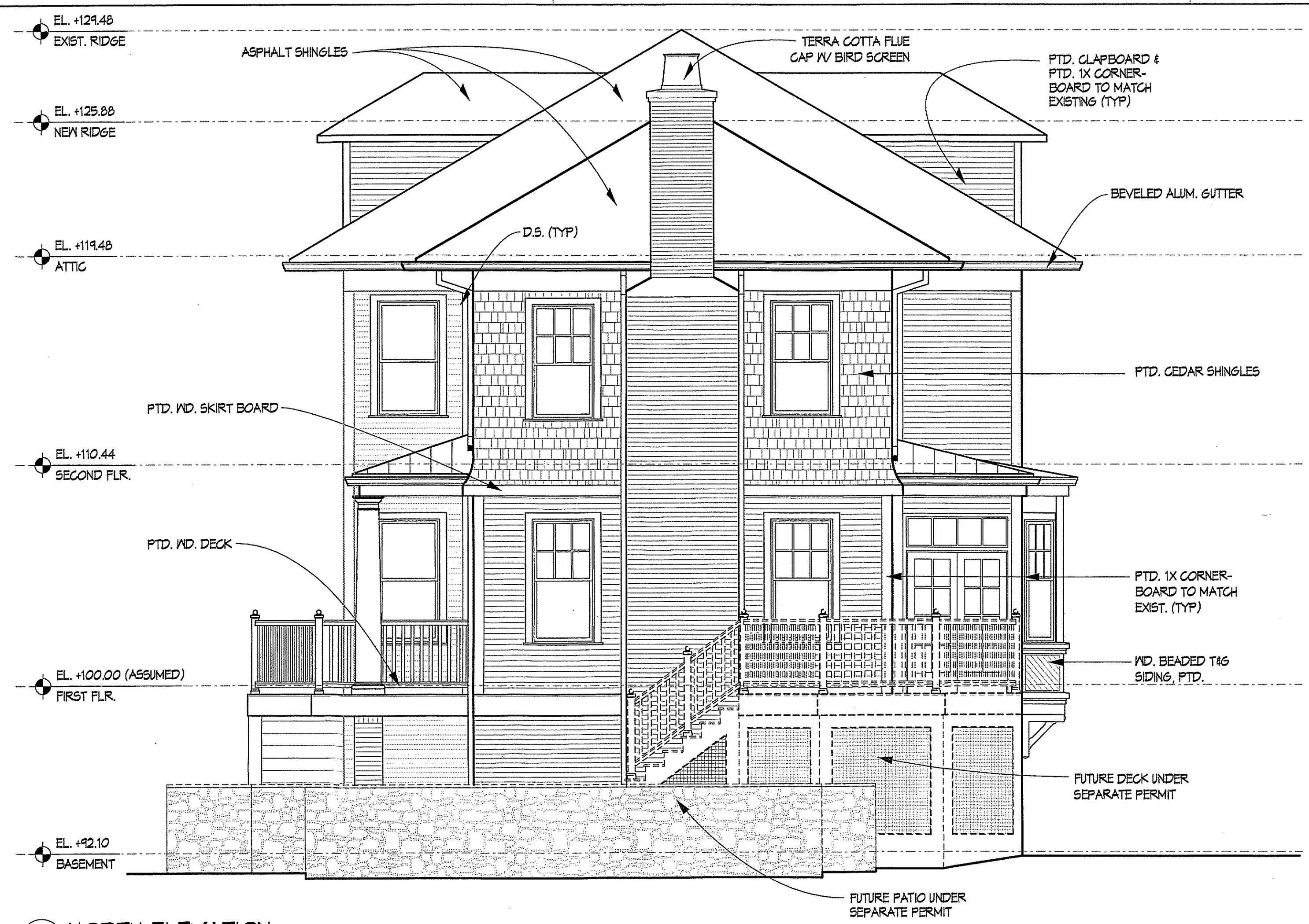


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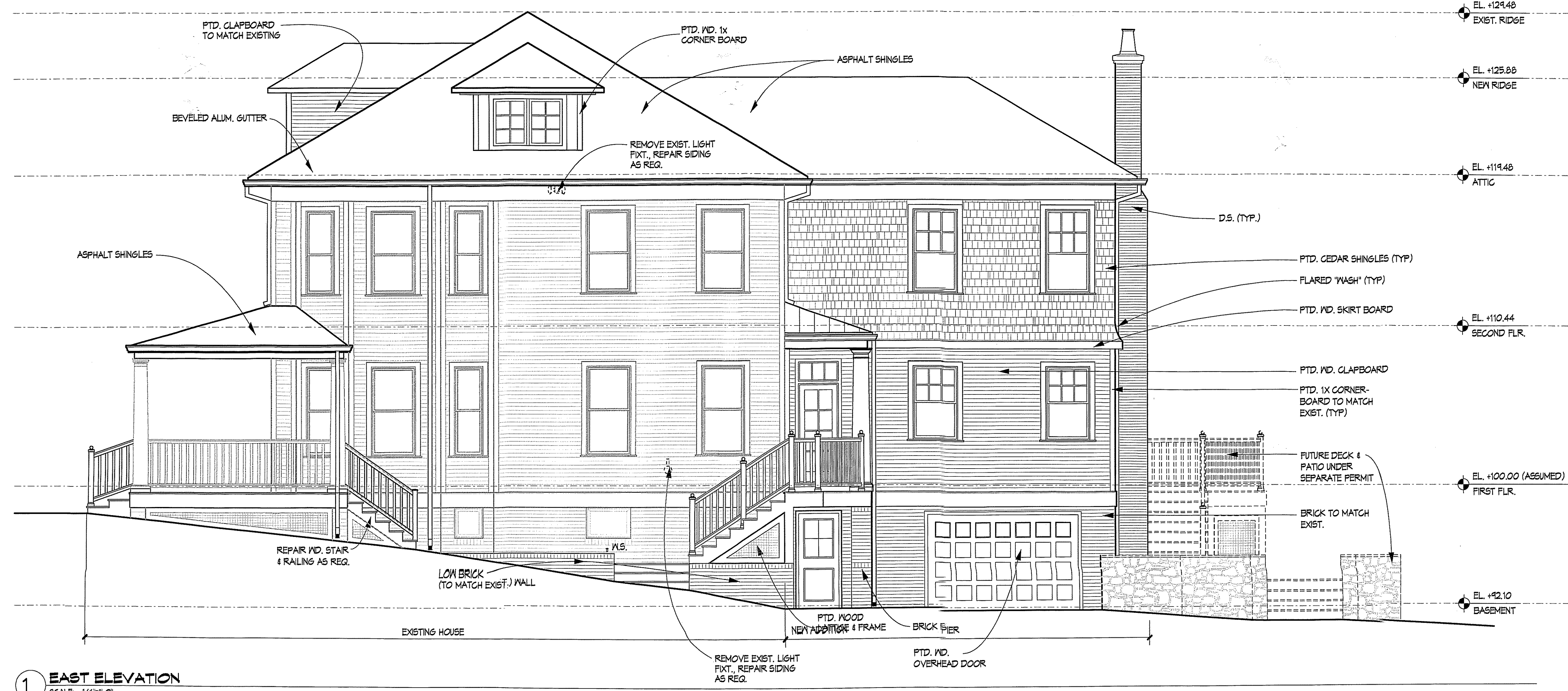
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ATTIC & SITE DEMO PLANS

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2 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



1 EAST ELEVATION
 SCALE: 1/4"=1'-0"



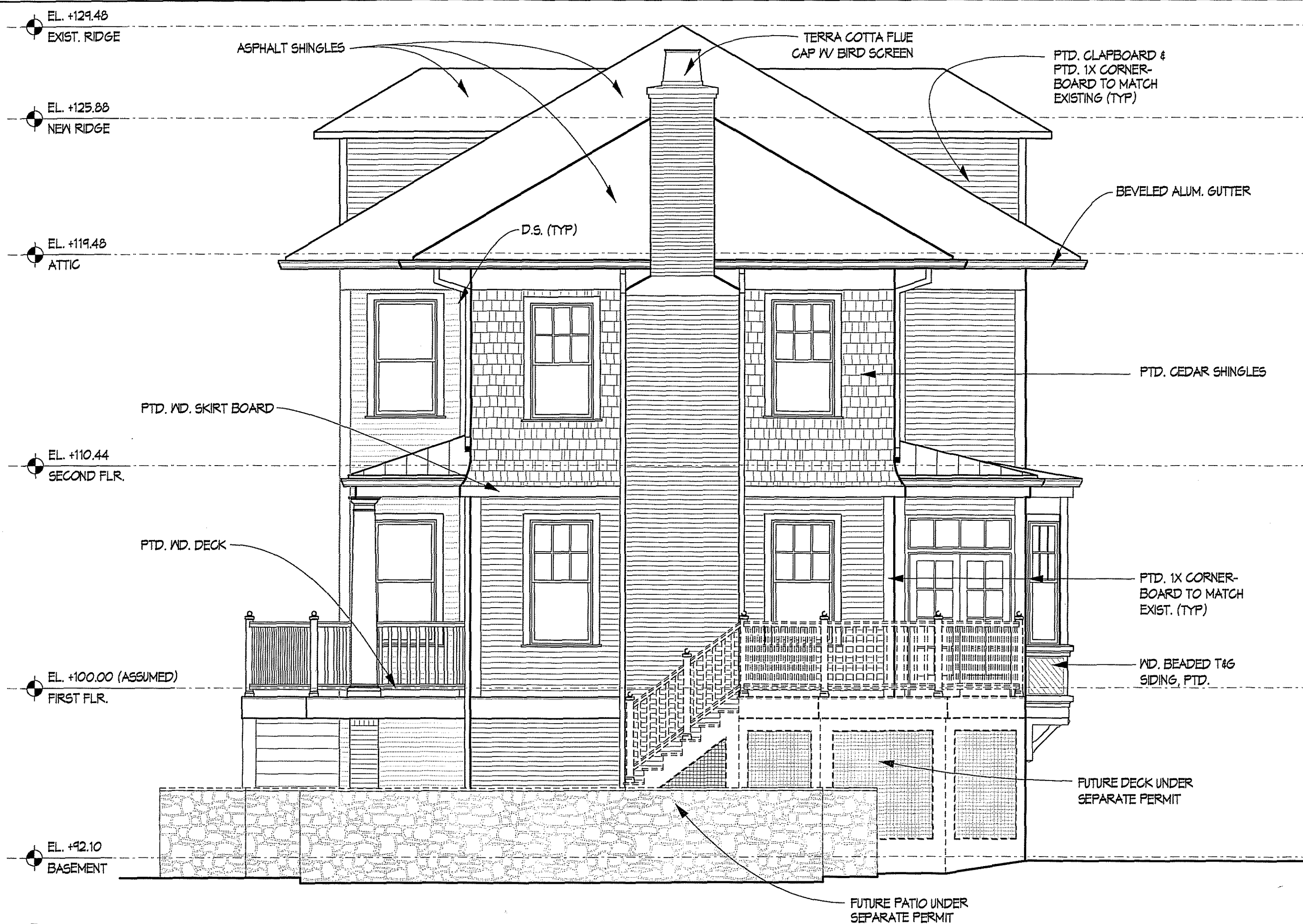
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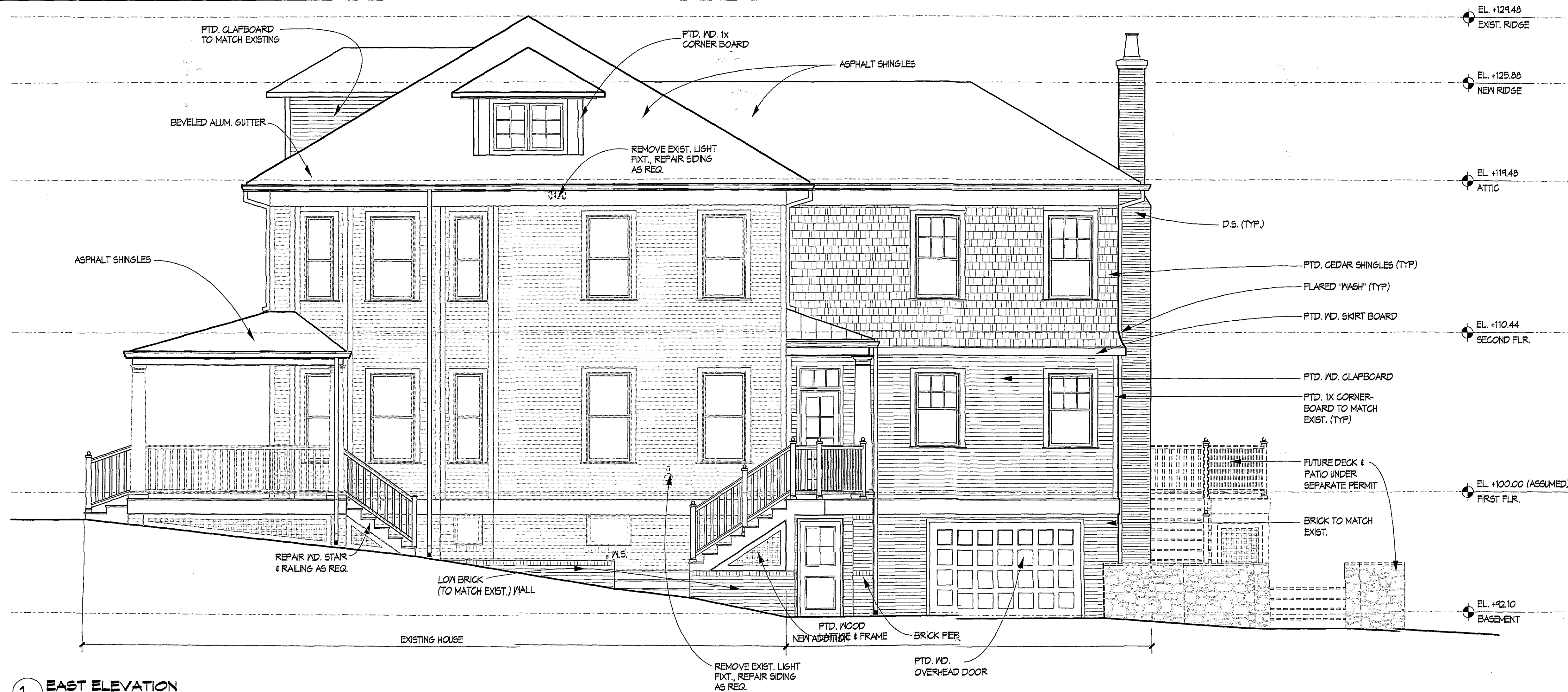
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NORTH & EAST ELEVATIONS

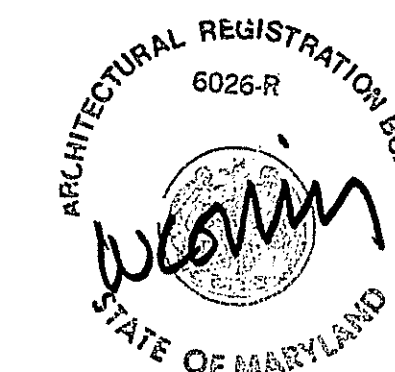
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2 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



1 EAST ELEVATION
 SCALE: 1/4"=1'-0"



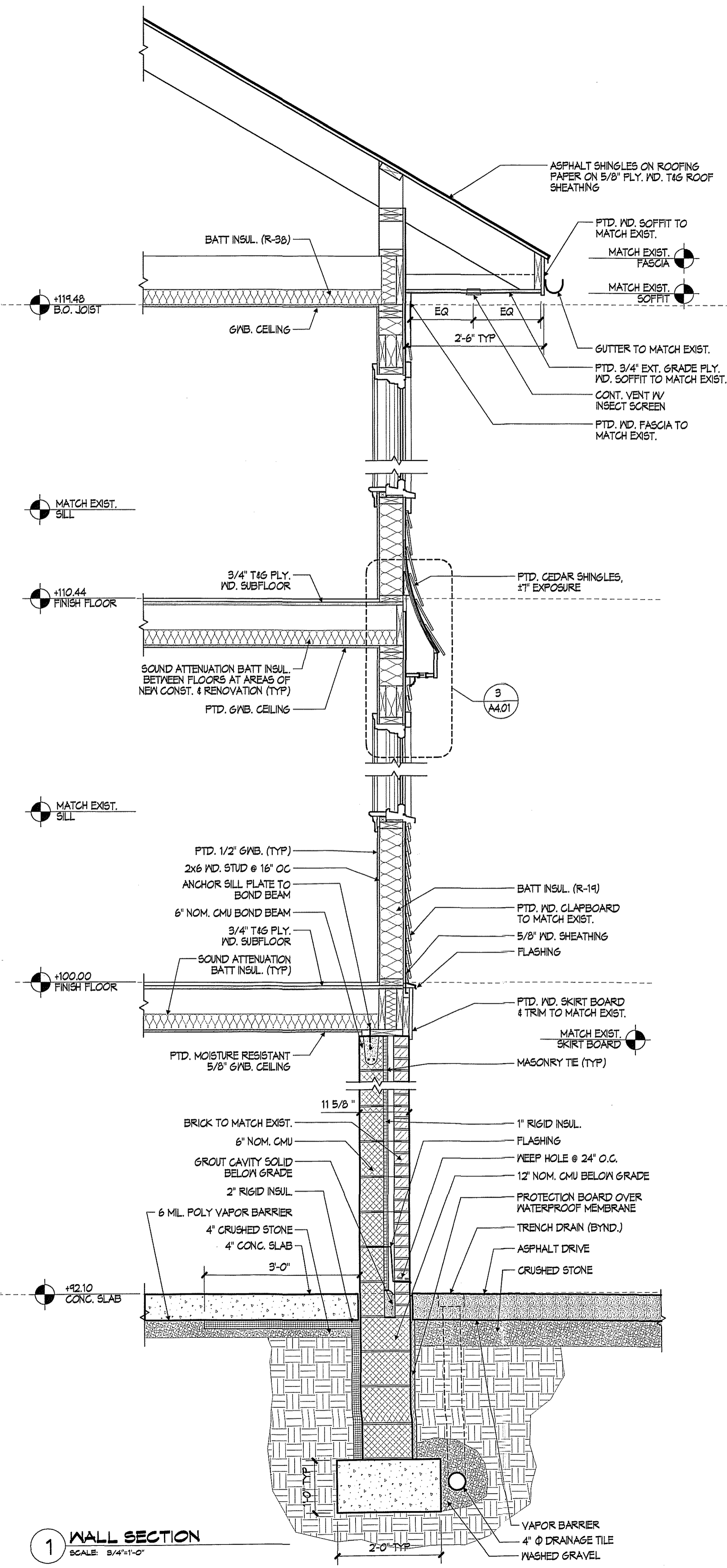
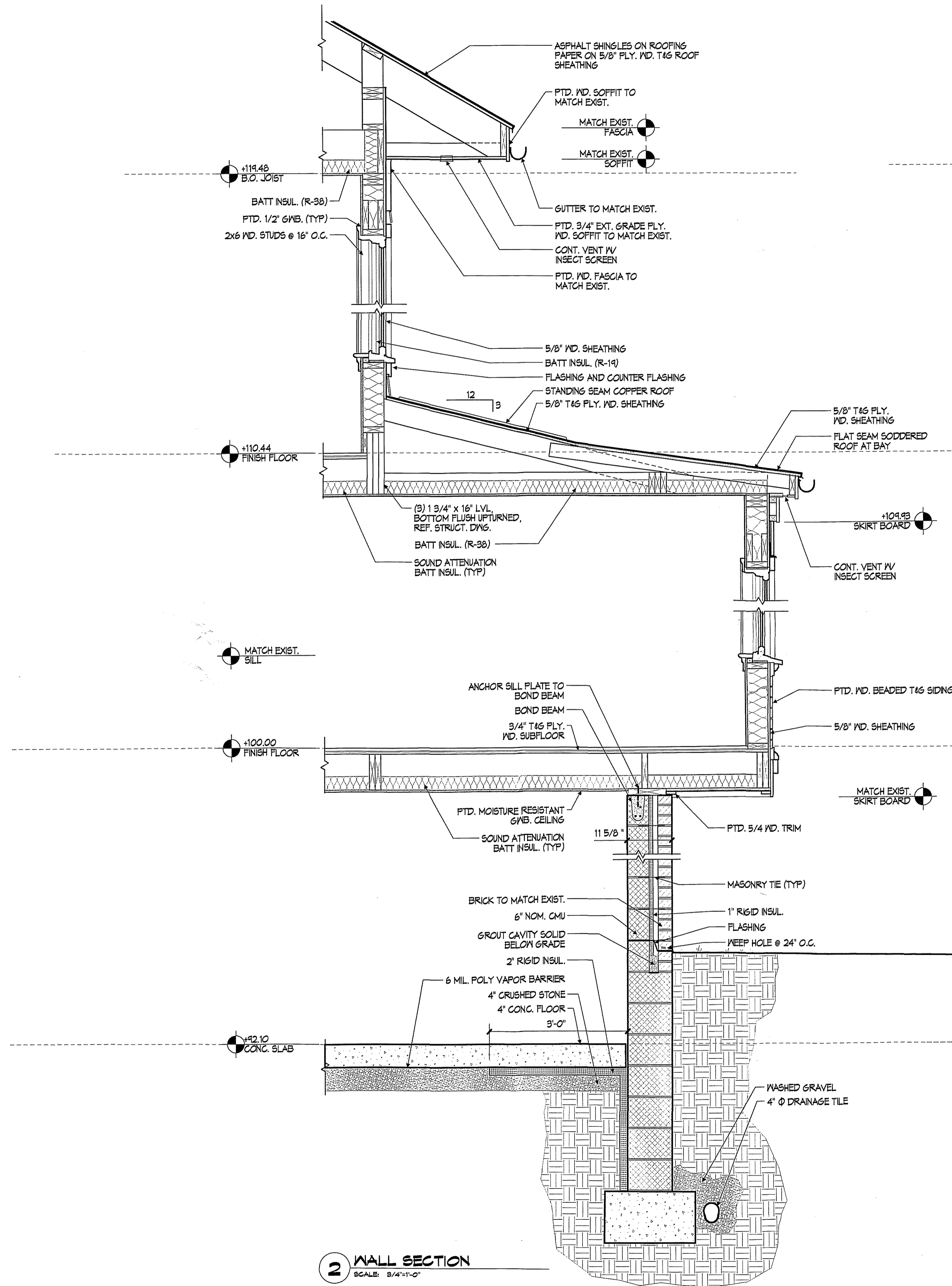
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	PERMIT SET	5-22-02
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NORTH & EAST ELEVATIONS

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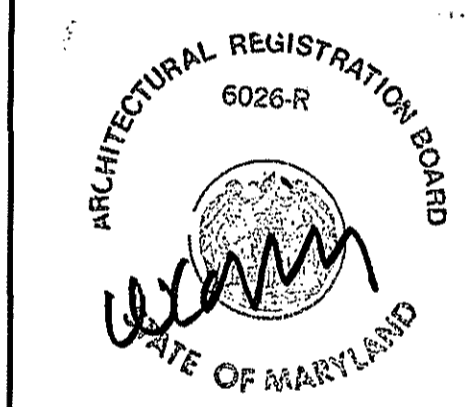
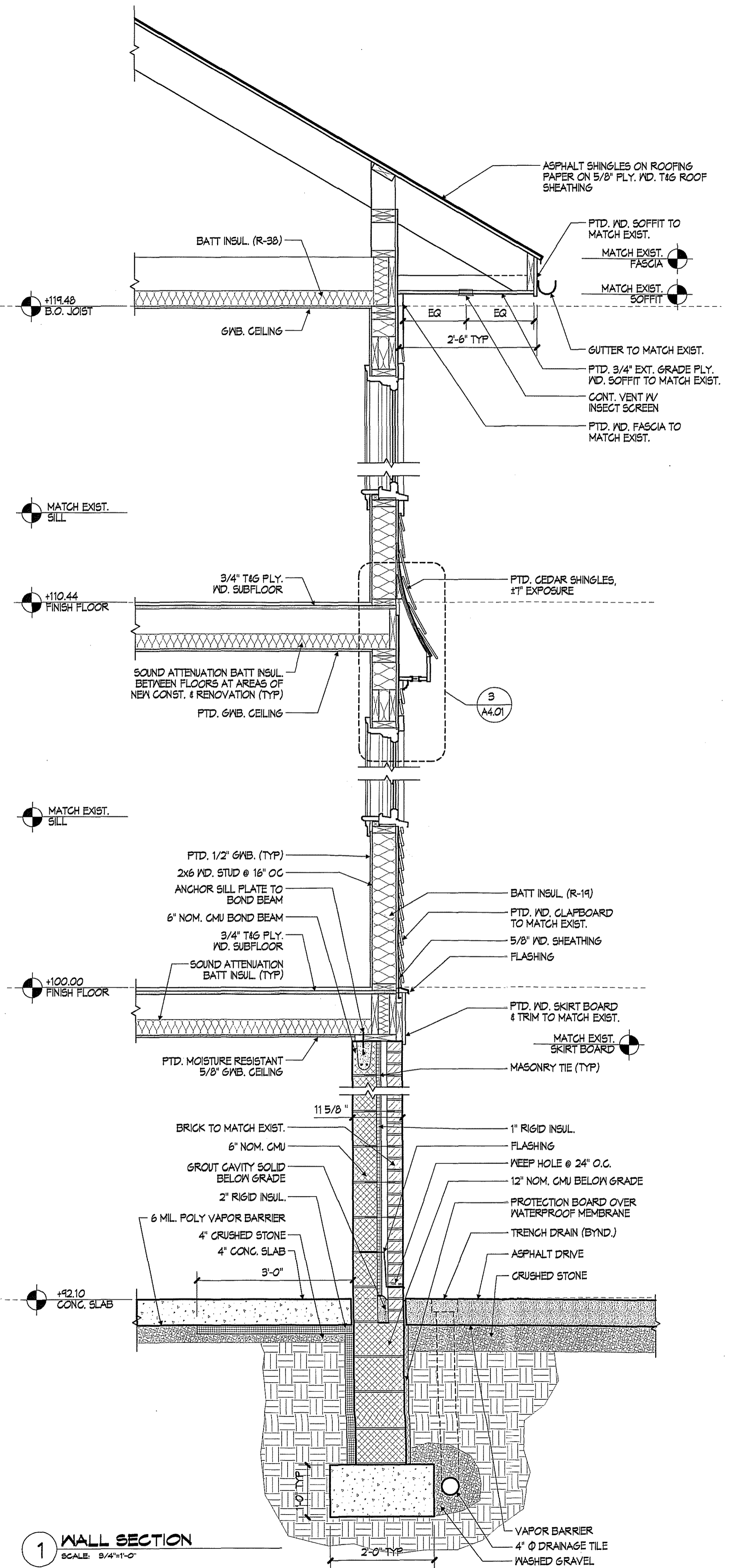
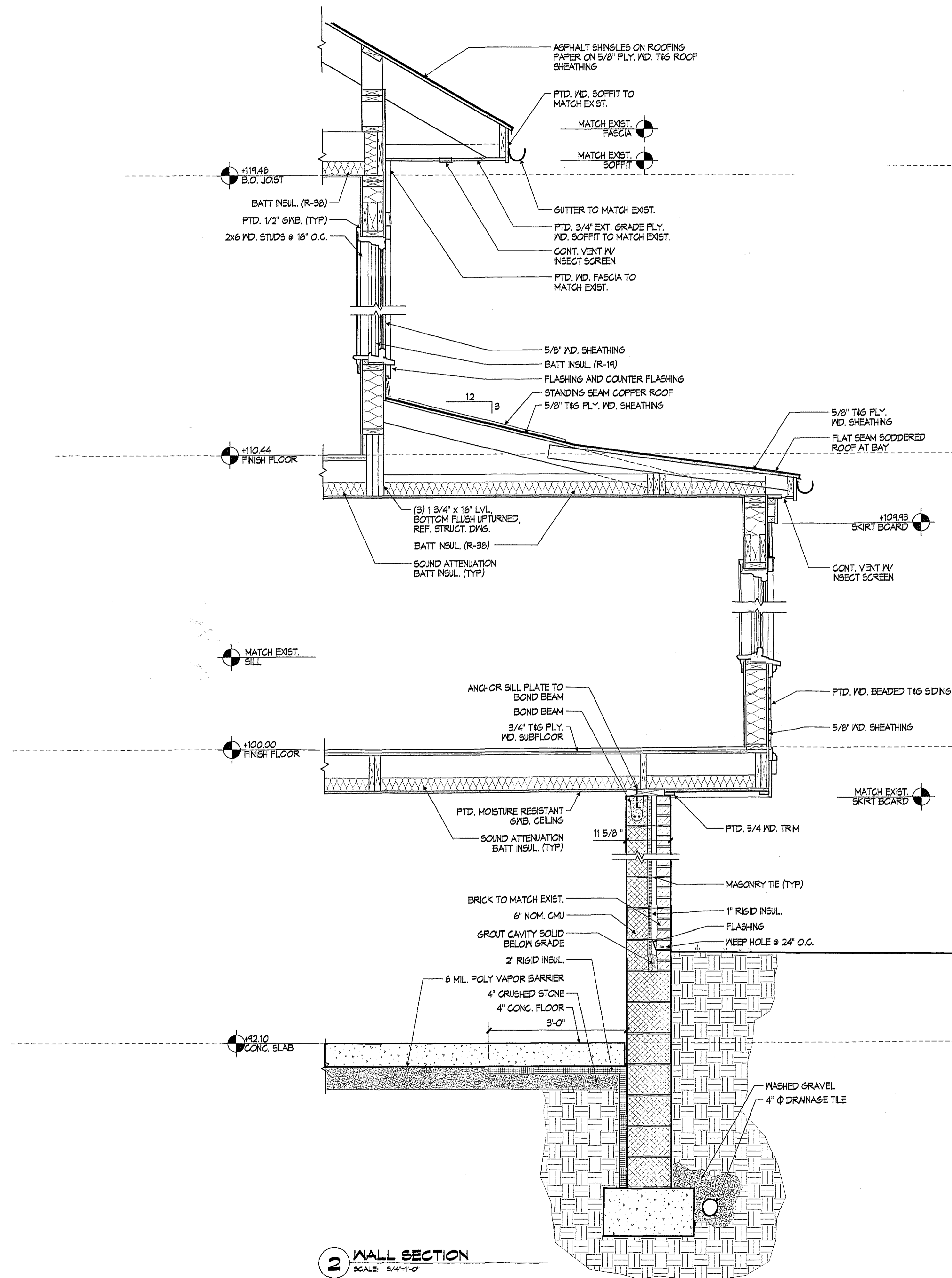


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	PERMIT SET	3-22-02
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WALL SECTIONS & DETAILS

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	PERMIT SET	5-22-02
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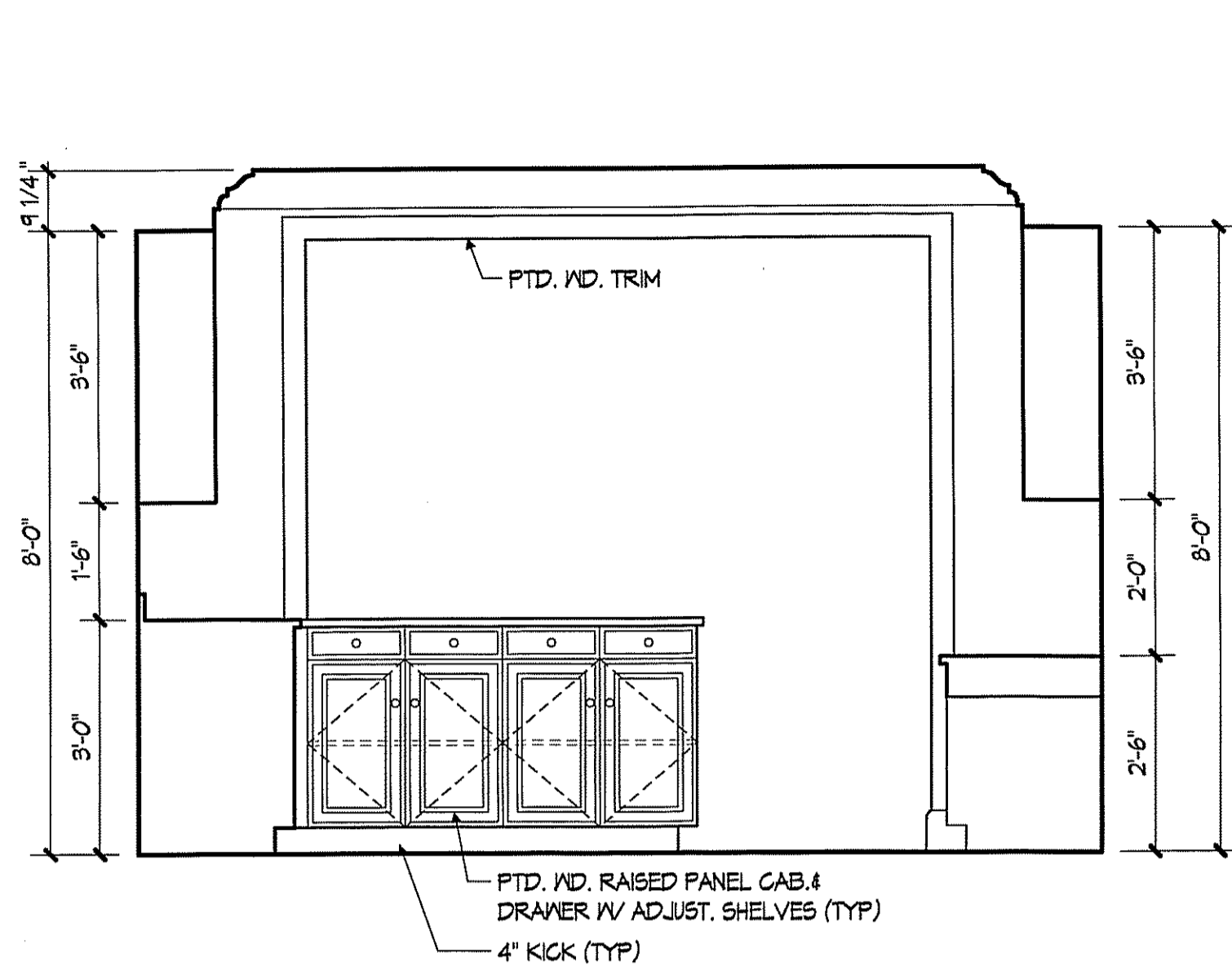
Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

WALL SECTIONS & DETAILS

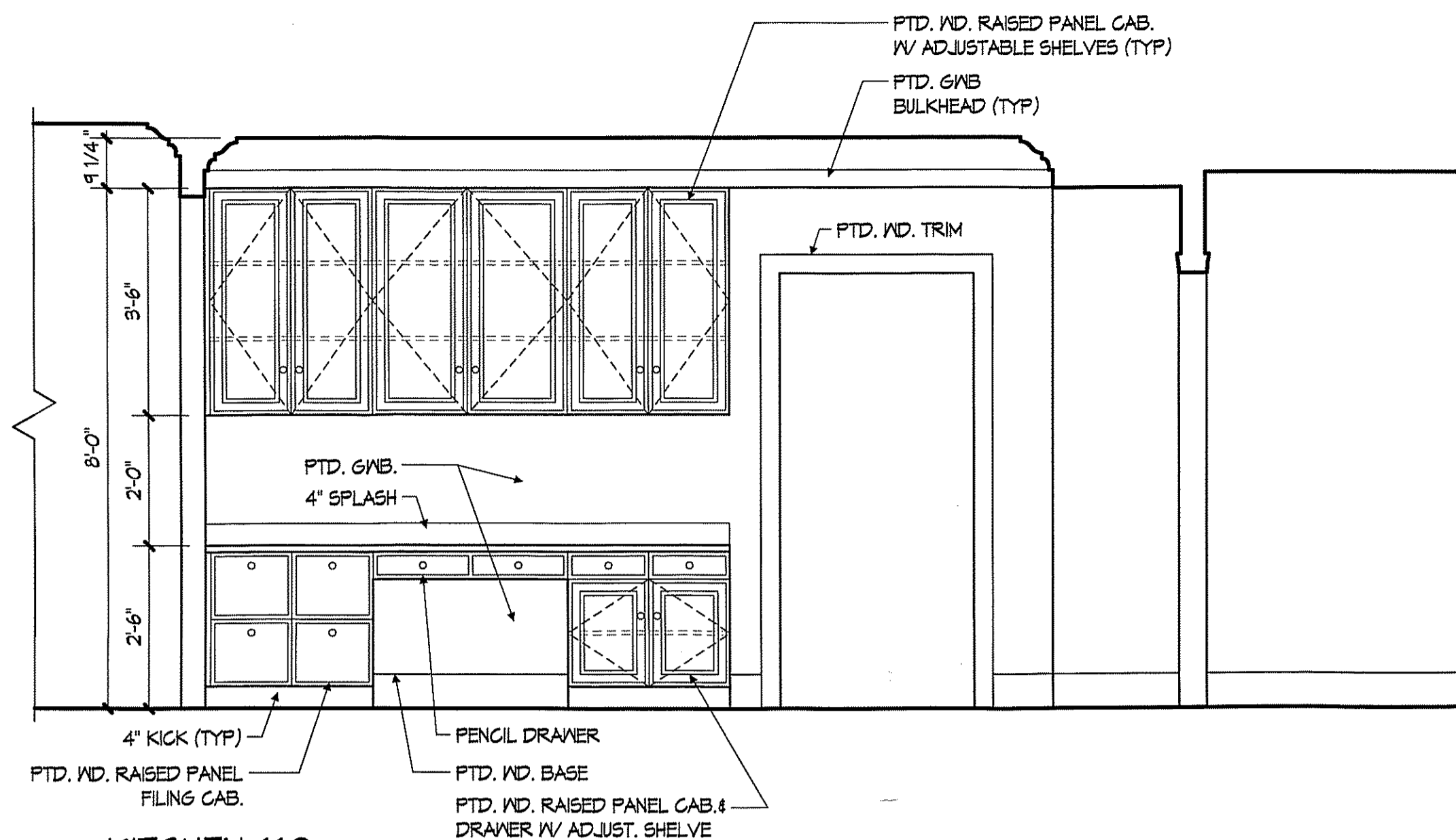
BGA JOB NO. #00014

A6.02

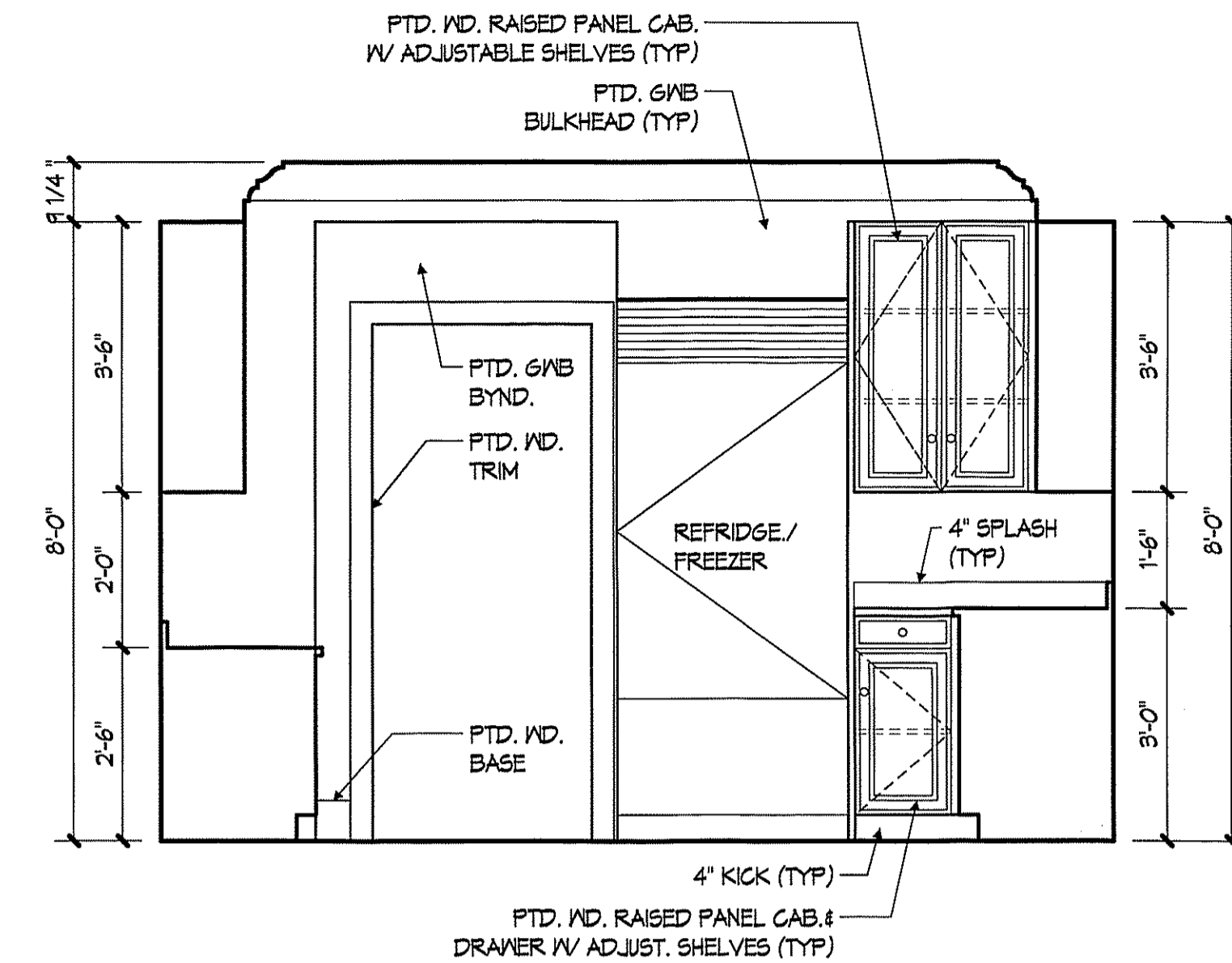
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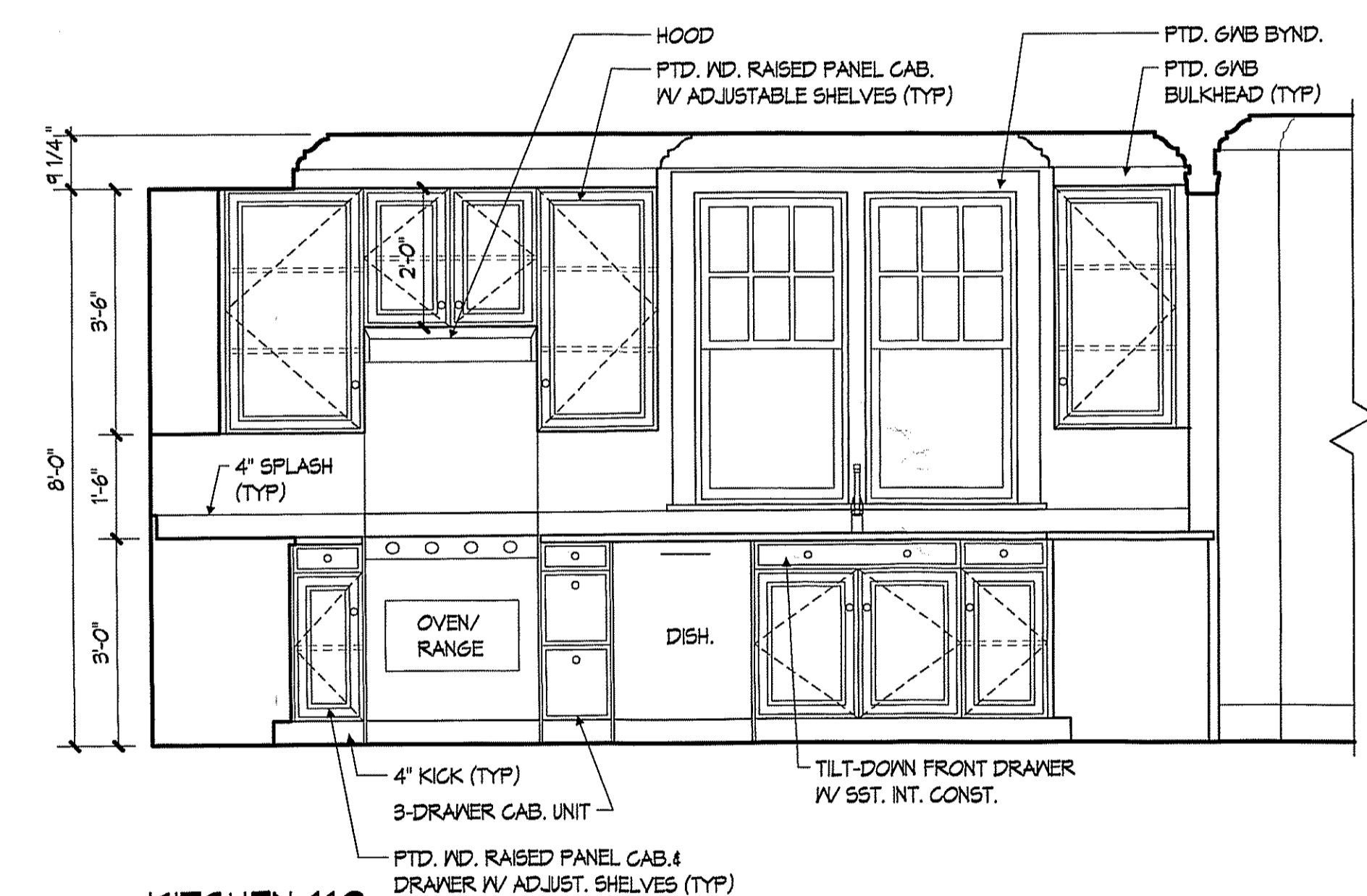
1 KITCHEN 110
LOOKING NORTH
 SCALE: 1/2"=1'-0"



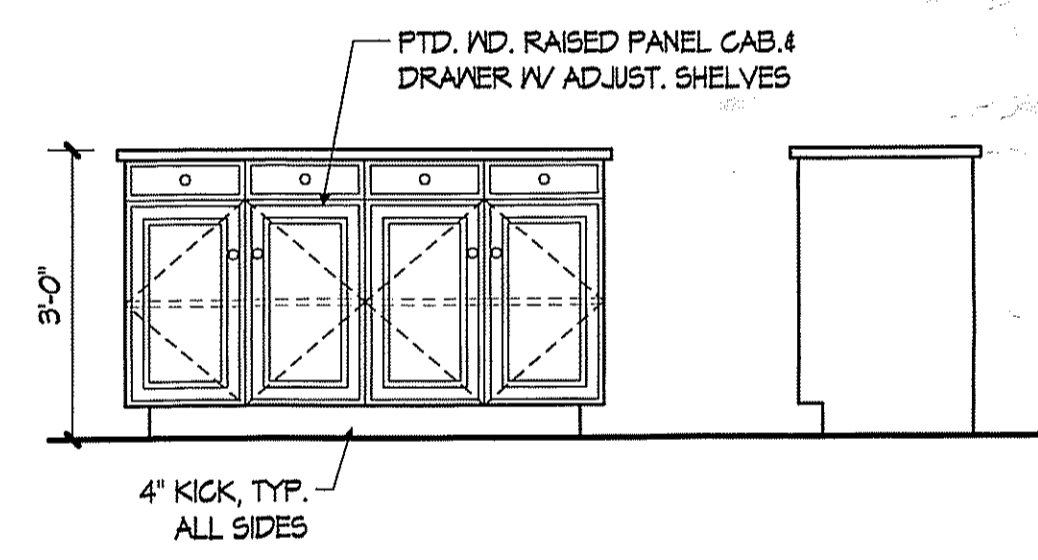
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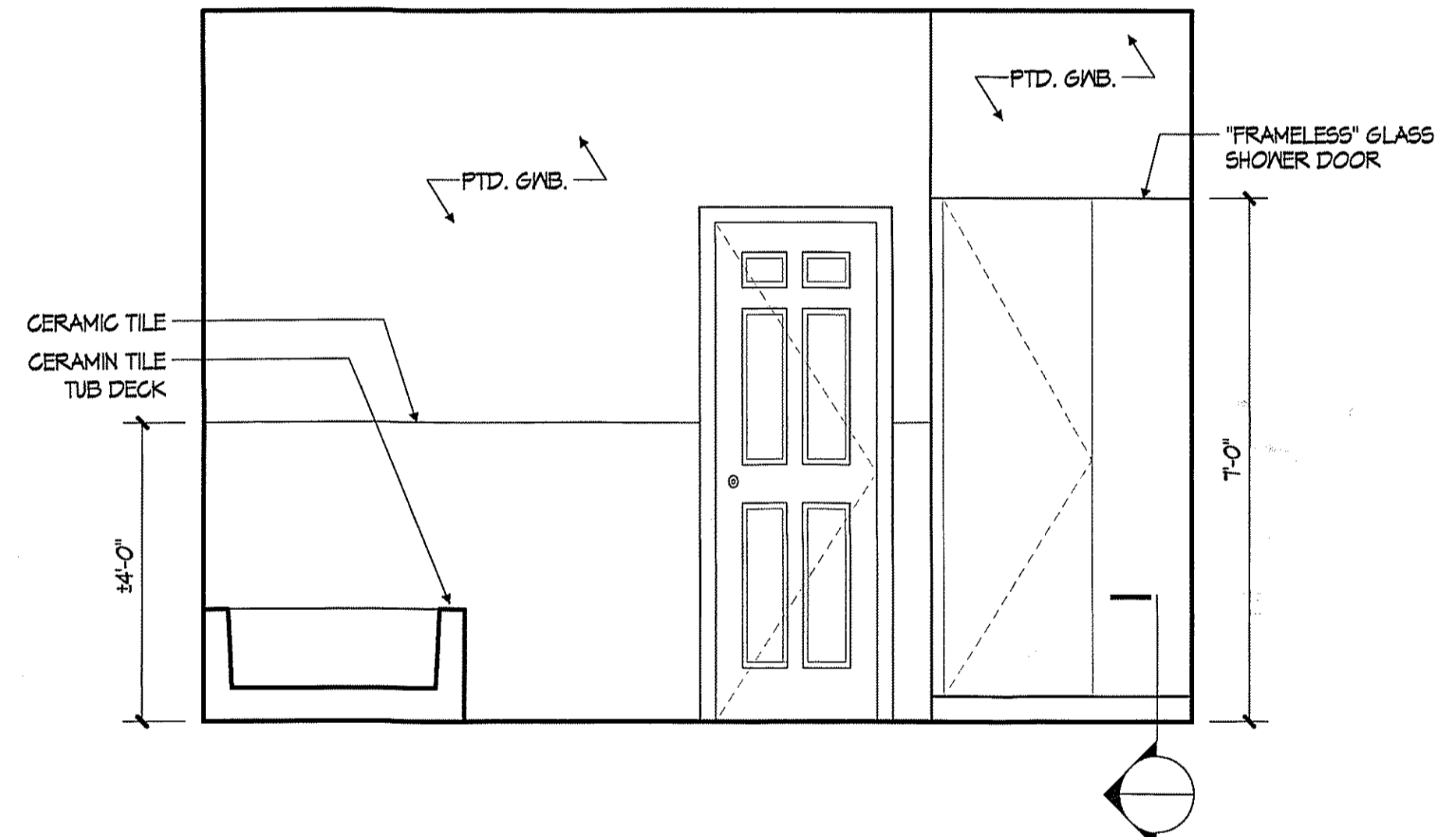
3 KITCHEN 110
LOOKING SOUTH
 SCALE: 1/2"=1'-0"



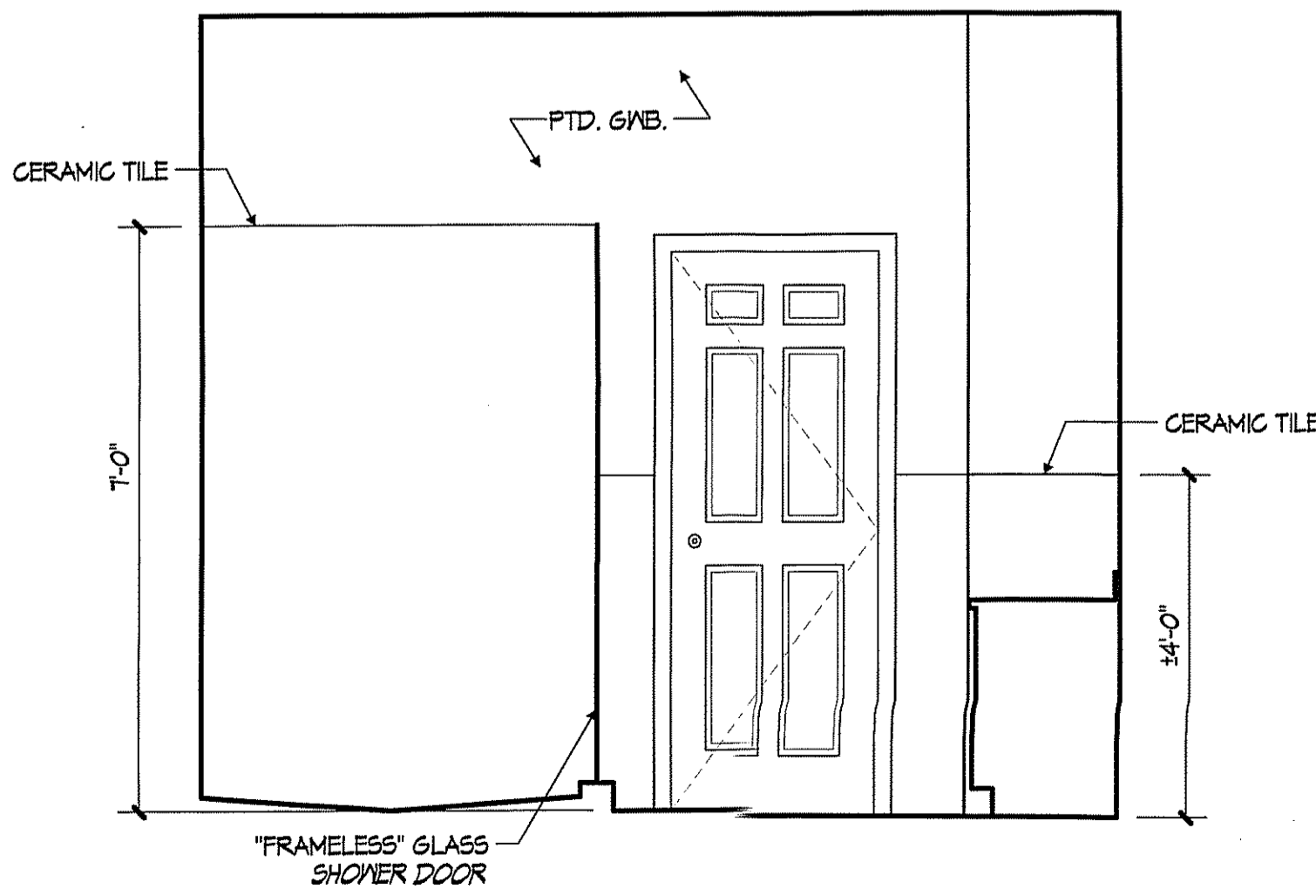
4 KITCHEN 110
LOOKING WEST
 SCALE: 1/2"=1'-0"



5 KITCHEN 110
CENTER ISLAND
 SCALE: 1/2"=1'-0"



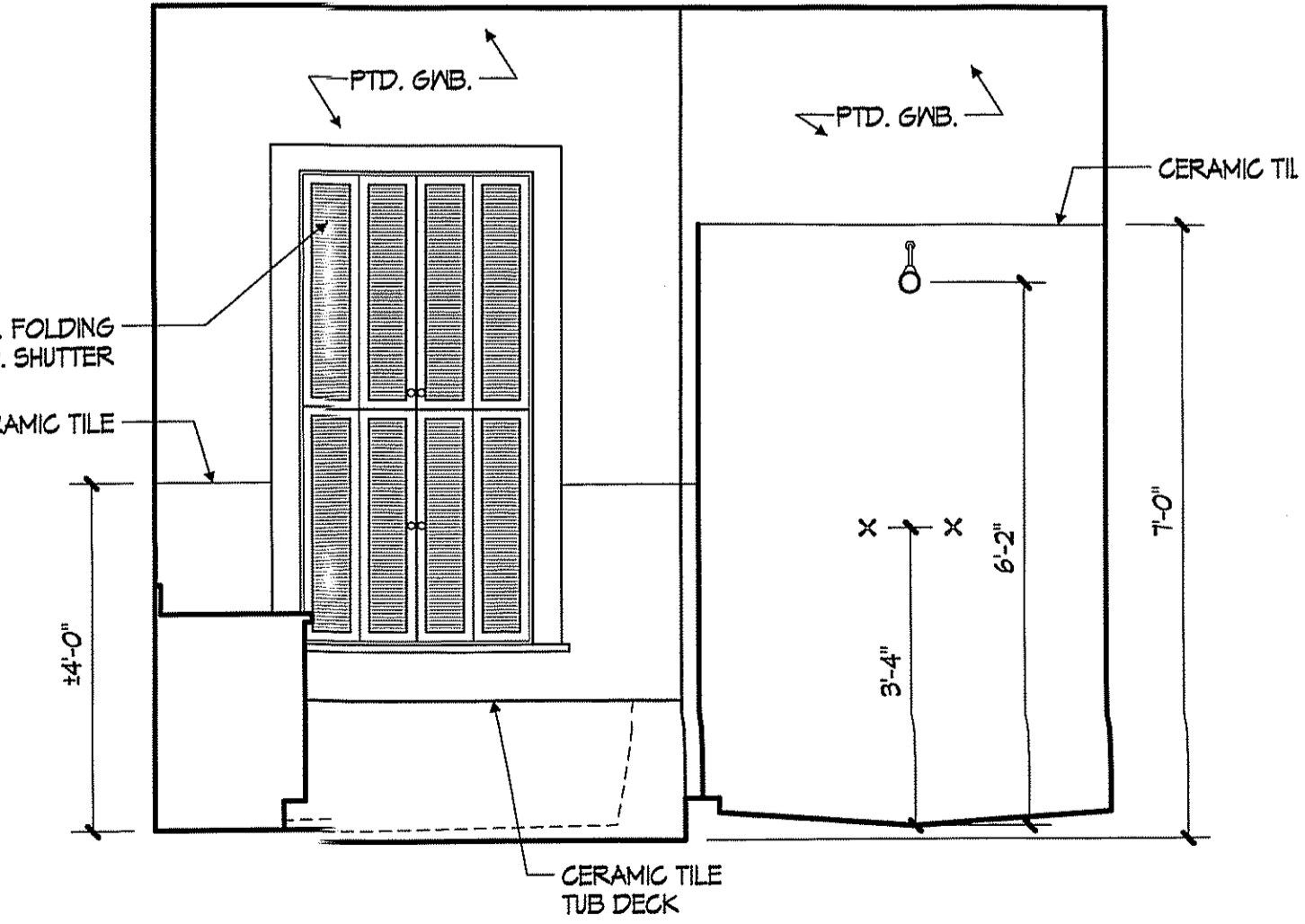
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LOOKING NORTH
 SCALE: 1/2"=1'-0"



7 MASTER BATH 206
LOOKING EAST
 SCALE: 1/2"=1'-0"



8 MASTER BATH 206
LOOKING SOUTH
 SCALE: 1/2"=1'-0"



9 MASTER BATH 206
LOOKING WEST
 SCALE: 1/2"=1'-0"

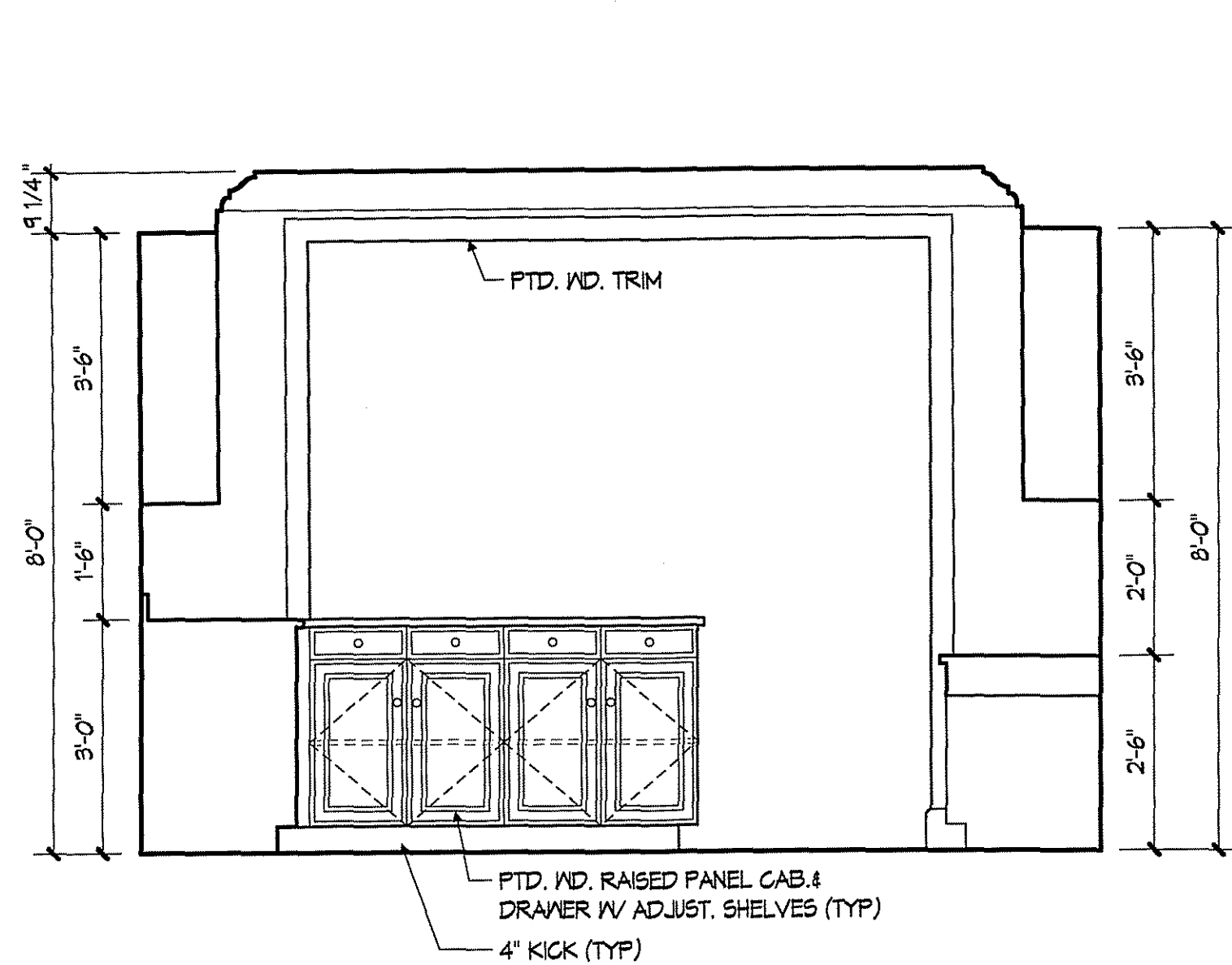


No.	Issue - Revision	Date
	PERMIT SET	6-18-02
	BID SET	6-11-02
	PERMIT SET	5-22-02
	SD PRICING	4-25-01

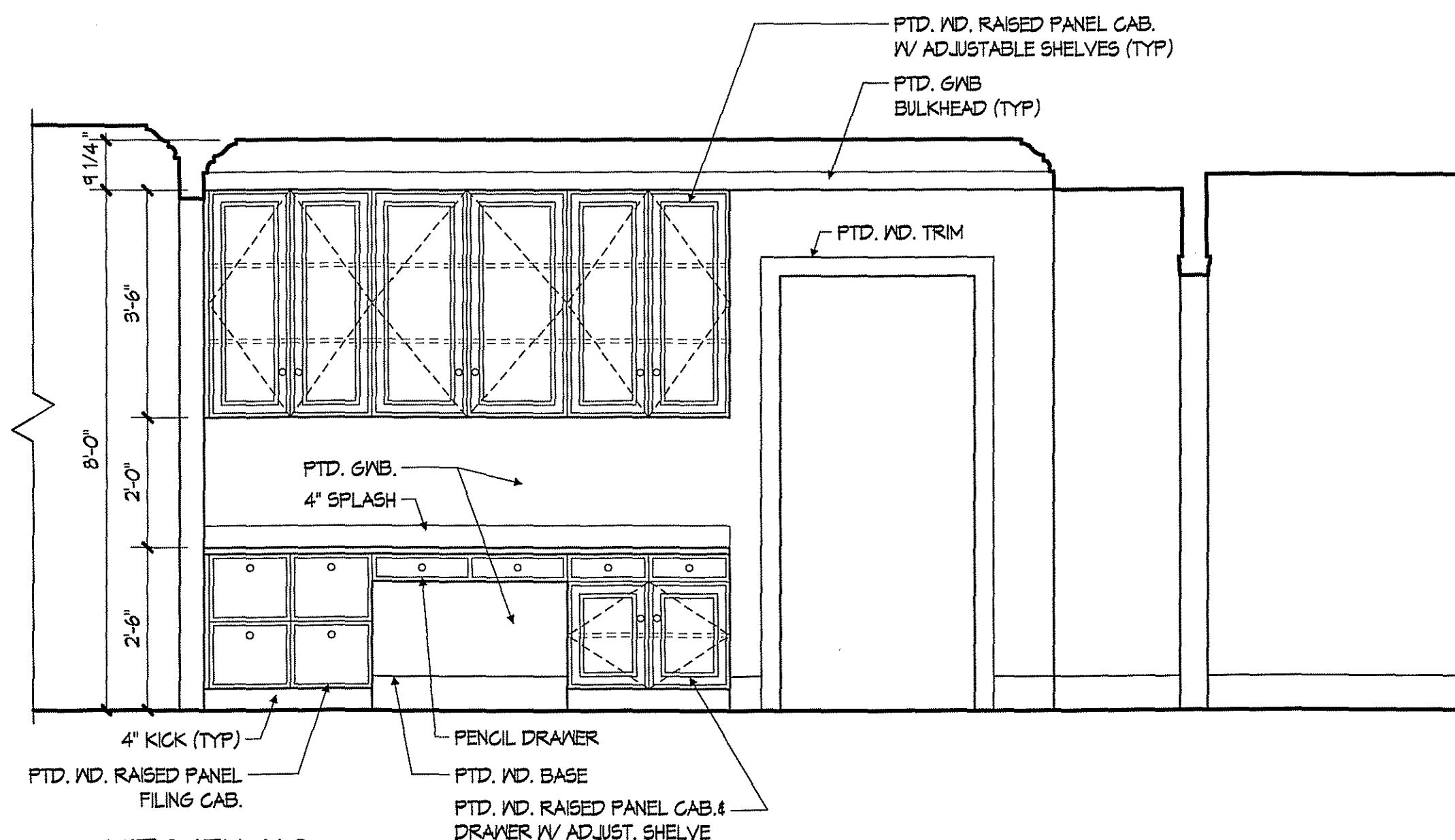
Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

INTERIOR ELEVATIONS

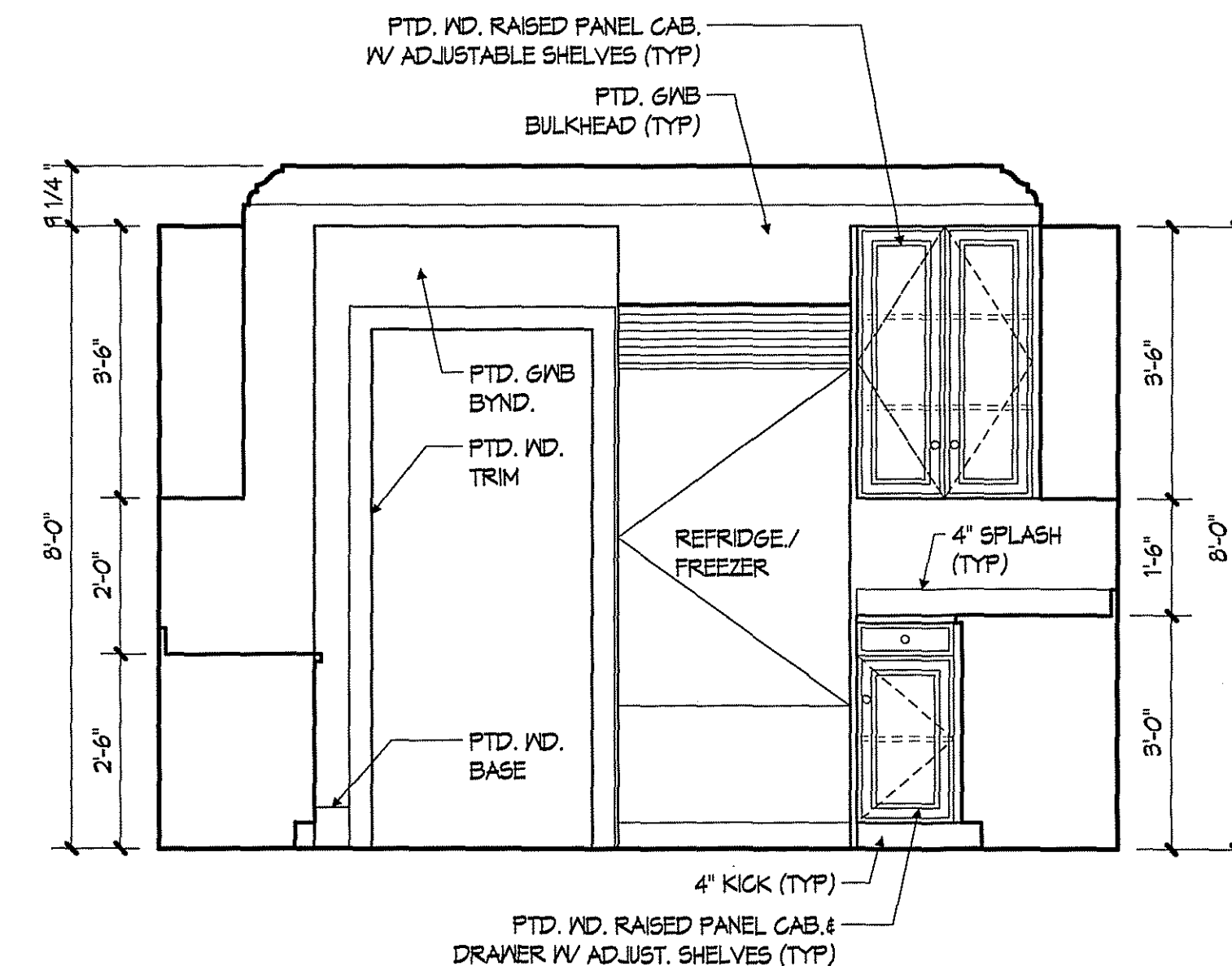
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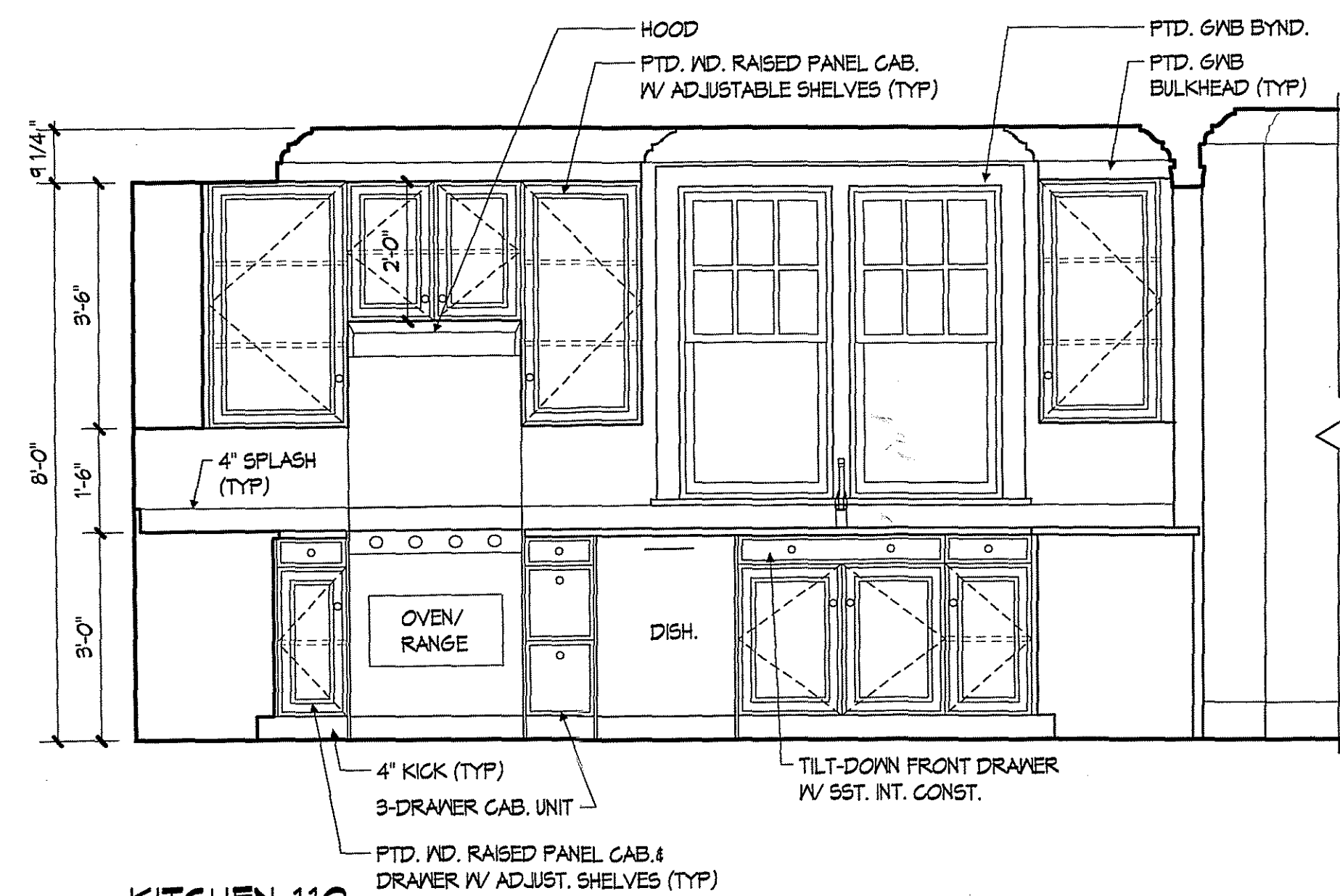
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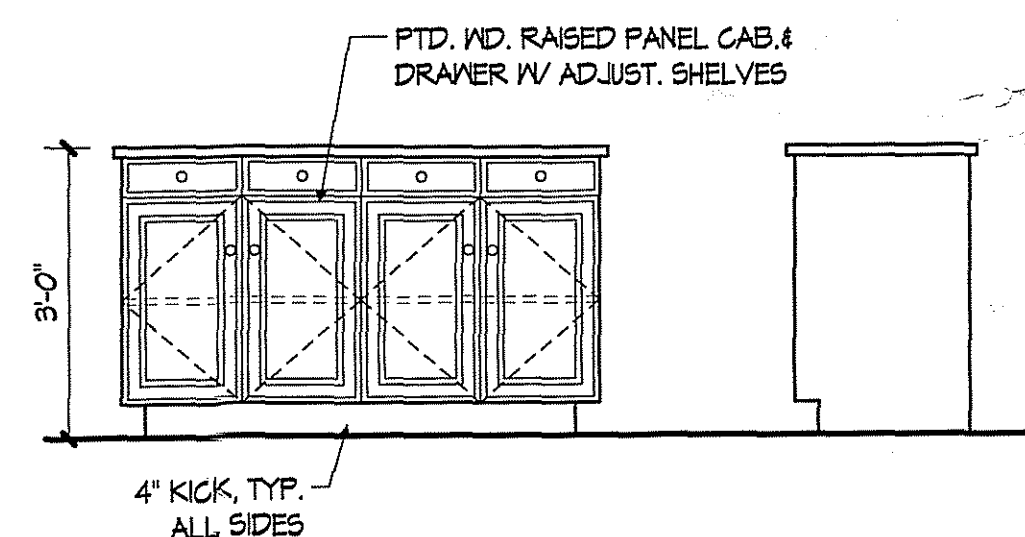
2 KITCHEN 110 LOOKING EAST
 SCALE: 1/2"=1'-0"



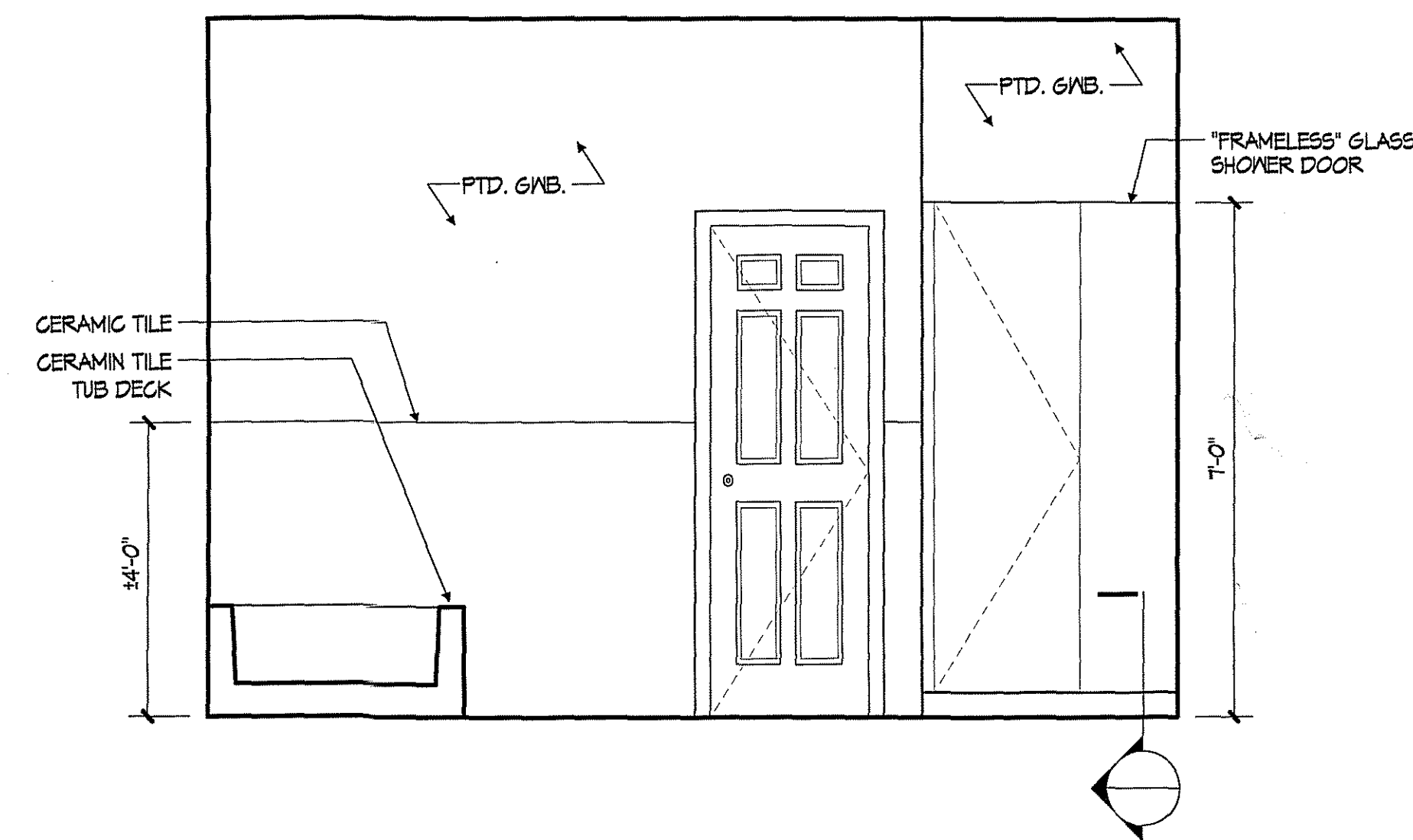
3 KITCHEN 110 LOOKING SOUTH
 SCALE: 1/2"=1'-0"



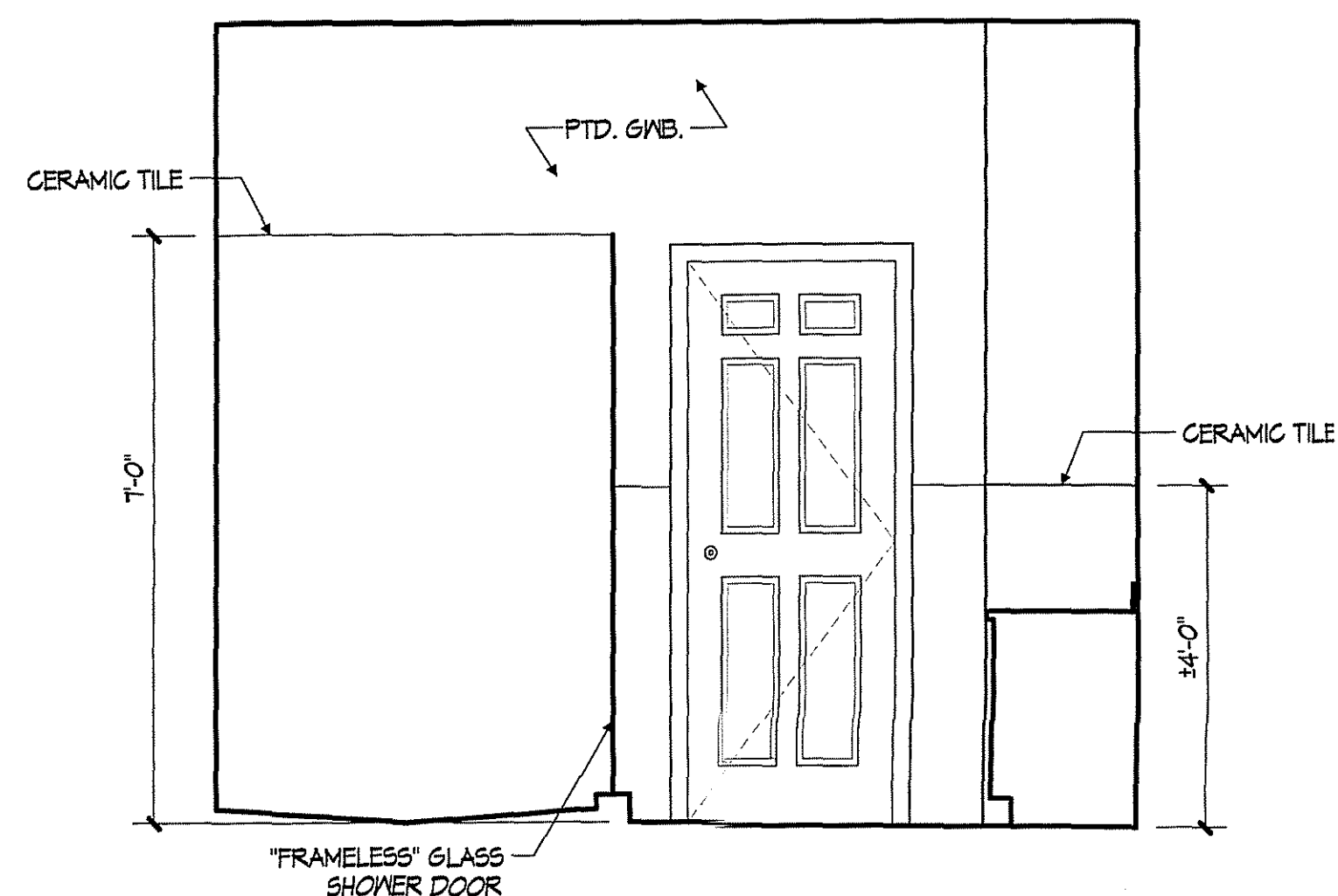
4 KITCHEN 110 LOOKING WEST
 SCALE: 1/2"=1'-0"



5 KITCHEN 110 CENTER ISLAND
 SCALE: 1/2"=1'-0"



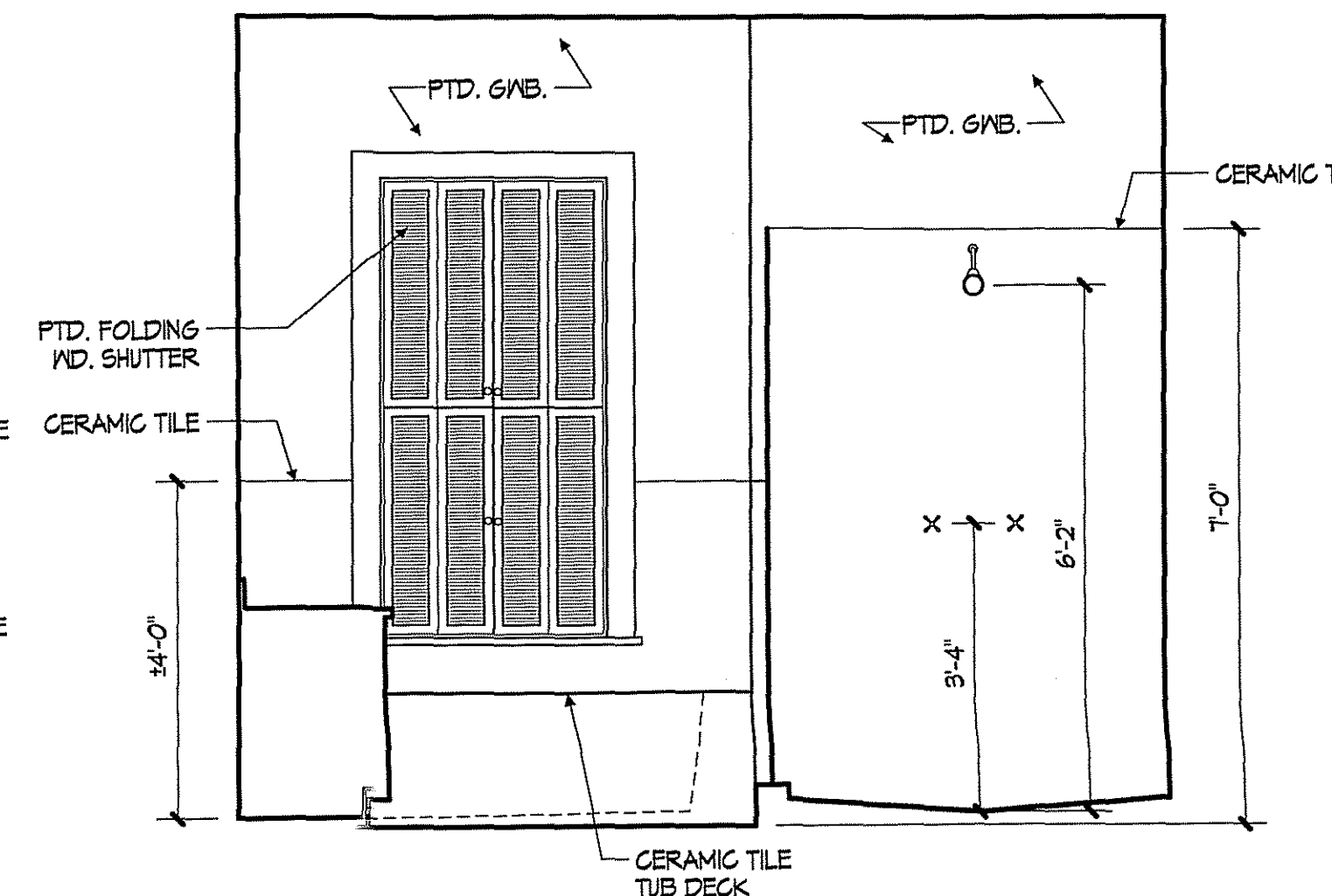
6 MASTER BATH 206 LOOKING NORTH
 SCALE: 1/2"=1'-0"



7 MASTER BATH 206 LOOKING EAST
 SCALE: 1/2"=1'-0"



8 MASTER BATH 206 LOOKING SOUTH
 SCALE: 1/2"=1'-0"



9 MASTER BATH 206 LOOKING WEST
 SCALE: 1/2"=1'-0"



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No.	Issue - Revision	Date
	PERMIT SET	6-19-02
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	PERMIT SET	5-22-02
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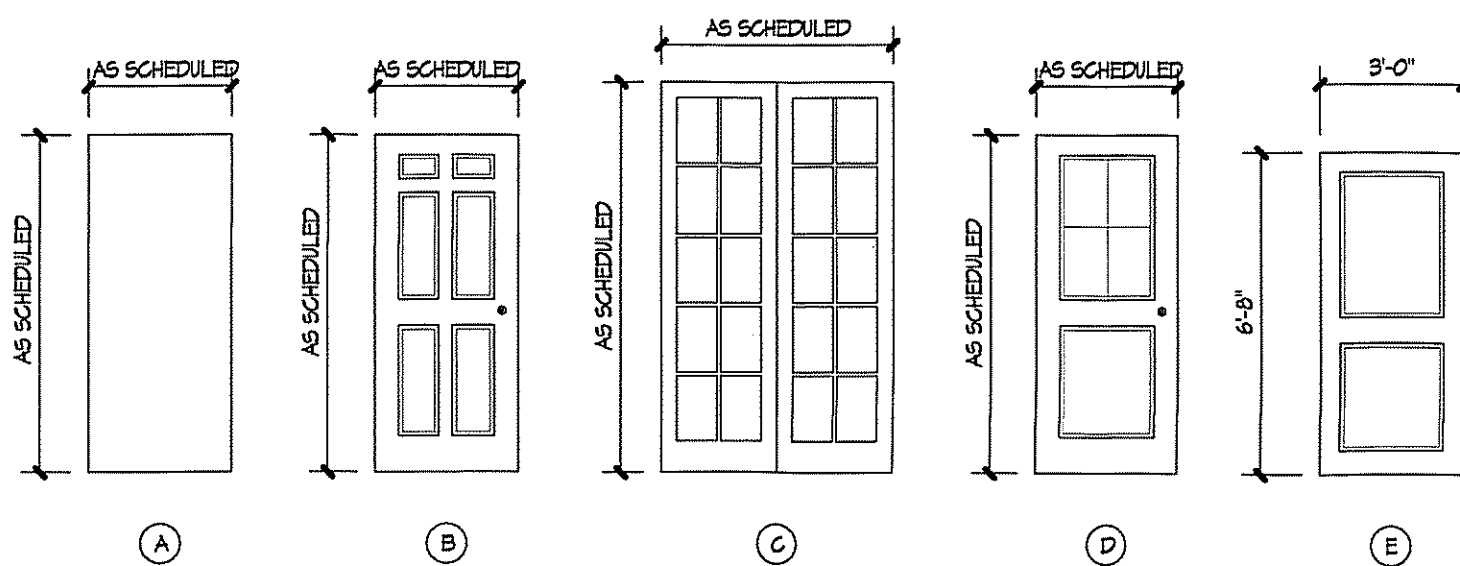
Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

INTERIOR ELEVATIONS

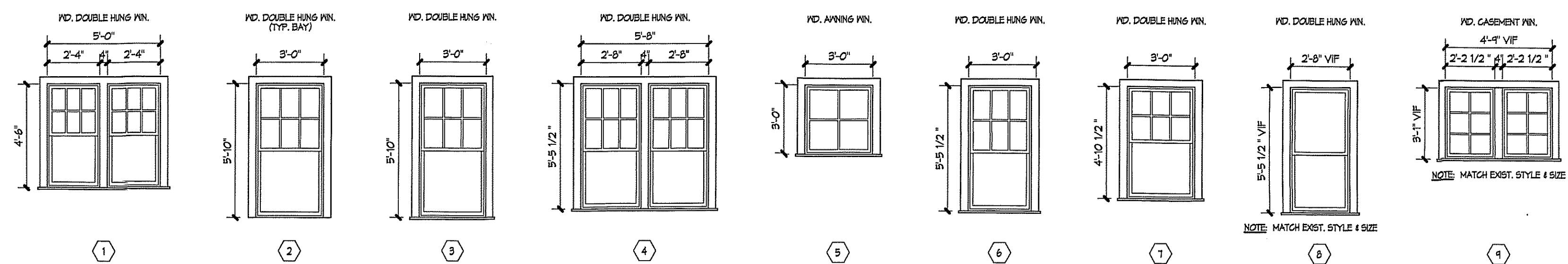
BGA JOB NO. #00014
 CURRENT PRINT DATE 05/22/02
A-7.01

DOOR SCHEDULE

DOOR						FRAME					NOTES		
NO.	TYPE	WIDTH	HEIGHT	THICK'S	MAT/FIN	TYPE	HEAD	JAMB	THRSH	MAT/FIN	DEPTH	HDWR	REMARKS
BASEMENT													
B01	A	3'-0"	6'-0"	1 3/8"	PTD. MD.					PTD. MD.		3	SOLID CORE
B02	A	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID CORE
B03	A	3'-0"	6'-8"	1 3/4"	PTD. MD.					PTD. MD.		1	SOLID CORE
B03A	A	2'-4"	5'-0"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID CORE
B04A	D	2'-8"	6'-8"	1 3/4"	PTD. MD.					PTD. MD.		1	SOLID WOOD STILE & RAIL GLASS/FLAT PANEL
B04B	D	2'-8"	6'-8"	1 3/4"	PTD. MD.					PTD. MD.		1	SOLID WOOD STILE & RAIL FLAT PANEL
FIRST FLOOR													
104	VIF	VIF	VIF	VIF	PTD. MD.					PTD. MD.		-	MATCH STYLE OF EXIST. SCREEN DOOR
104	B	2'-6"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	POCKET DOOR
106	B	2'-6"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		3	POCKET DOOR
107A	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		5	
107B	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		5	SOLID WOOD POCKET DOOR
108	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		3	SOLID WOOD
109	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
110	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		3	SOLID WOOD
111	D	2'-8"	6'-8"	1 3/4"	PTD. MD.					PTD. MD.		1	SOLID WOOD
112	B	FR 2'-0"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID CORE
113	C	FR 2'-0"	6'-8"	1 3/4"	PTD. MD.					PTD. MD.		1	SOLID WOOD STILE & RAIL GLASS/FLAT PANEL
SECOND FLOOR													
201	B	V.I.F.	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
201A	B	V.I.F.	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
202	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
202A	B	FR 2'-0"	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
203	B	2'-8"	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
203A	B	FR 2'-0"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
204	B	V.I.F.	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		3	SOLID WOOD
204A	B	V.I.F.	V.I.F.	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
205	B	2'-6"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
206	B	2'-6"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
206A	B	2'-6"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
207	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		2	SOLID WOOD
207A	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
207B	B	2'-8"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
207C	B	FR 2'-0"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
207D	B	FR 2'-0"	6'-8"	1 3/8"	PTD. MD.					PTD. MD.		4	SOLID WOOD
ATTIC													
302	A	3'-0"	± 4'-6"	1 3/4"	PTD. MD.					PTD. MD.		4	FLUSH FRAME, SOLID CORE, GASKET
303	A	3'-0"	± 4'-6"	1 3/4"	PTD. MD.					PTD. MD.		4	FLUSH FRAME, SOLID CORE, GASKET



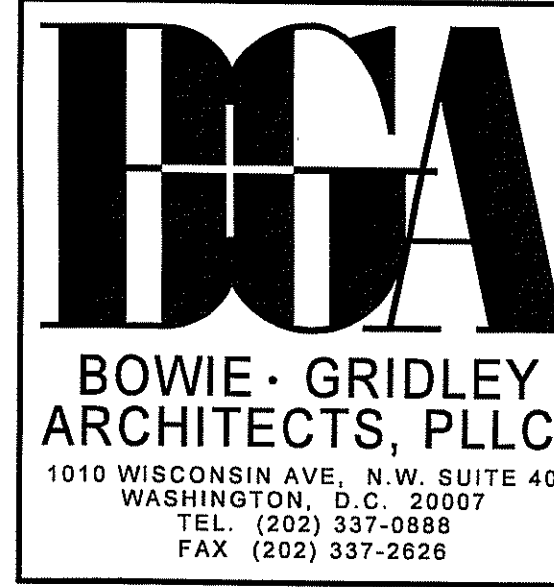
2 DOOR TYPES
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1 WINDOW TYPES
SCALE: 1/4"=1'-0"

FINISH SCHEDULE

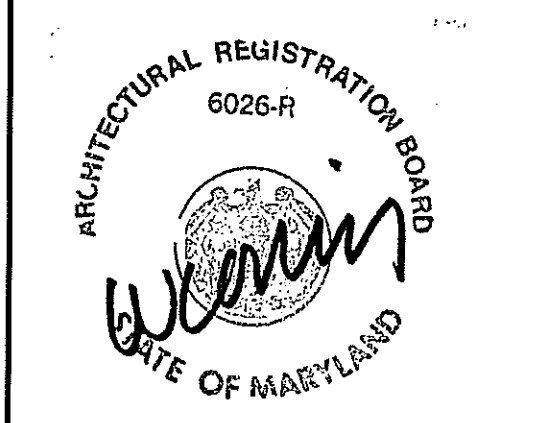
NO.	NAME	FLOOR	BASE	WALL	CL'G.	NOTES
BASEMENT						
B01	EXISTING BASEMENT					
B02	BATH	VINYL	RUBBER	PTD. GMB	PTD. GMB	MOISTURE RESIST. GMB, PROVIDE SOUND BATTS IN CLG.
B03	LAUNDRY	VINYL	RUBBER	PTD. GMB	PTD. GMB	MOISTURE RESIST. GMB, PROVIDE SOUND BATTS IN CLG.
B04	GARAGE	CONCRETE	-	PTD. CMU	PTD. GMB	MOISTURE RESIST. GMB
FIRST FLOOR - NOTE: REMOVE EXIST. MD. FLOORING IN ALL RMS. SCHEDULED TO RECEIVE 'STRIP OAK'						
101	DEN	STRIP OAK	PTD. MD.	PTD. EXIST.	PTD. EXIST.	
102	ENTRY HALL	STRIP OAK	PTD. MD.	PTD. GMB/EXIST.	PTD. EXIST.	PTD. CROWN MOULD
103	LIVING ROOM	STRIP OAK	PTD. MD.	PTD. GMB/EXIST.	PTD. EXIST.	PTD. CROWN MOULD
104	PONDER ROOM	STRIP OAK	PTD. MD.	PTD. GMB	PTD. EXIST.	PTD. CHAIR RAIL, MOISTURE RESIST. GMB
105	STAIR HALL	STRIP OAK	PTD. MD.	PTD. EXIST.	PTD. EXIST.	PTD. CROWN MOULD, REFINISH RAILING
106	STAIR	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
107	DINING ROOM	STRIP OAK	PTD. MD.	PTD. GMB/EXIST.	PTD. GMB/EXIST.	PTD. CROWN MOULD & CHAIR RAIL
108	PANTRY	STRIP OAK	PTD. MD.	PTD. GMB/EXIST.	PTD. GMB	PTD. CROWN MOULD
109	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
110	KITCHEN	SLATE TILE	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
111	HALL	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
112	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
113	BREAKFAST ROOM	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
114	FAMILY ROOM	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
SECOND FLOOR - NOTE: REMOVE EXIST. MD. FLOORING IN ALL RMS. SCHEDULED TO RECEIVE 'STRIP OAK'						
201	BEDROOM #1	EXIST.	PTD. EXIST.	PTD. EXIST.	PTD. EXIST.	TOOTH-IN W/ NEW STRIP OAK
201A	CLOSET	EXIST.	PTD. EXIST.	PTD. EXIST.	PTD. EXIST.	PTD. SHELF & ROD
202	BEDROOM #2	EXIST.	PTD. MD./EXIST.	PTD. GMB/EXIST.	PTD. GMB/EXIST.	TOOTH-IN W/ NEW STRIP OAK
202A	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
203	GUEST BEDROOM	STRIP OAK	PTD. MD./EXIST.	PTD. GMB/EXIST.	PTD. GMB/EXIST.	
203A	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
204	HALL	STRIP OAK	PTD. MD.	PTD. GMB/EXIST.	PTD. GMB/EXIST.	PTD. CROWN MOULD
204A	CLOSET	STRIP OAK	PTD. EXIST.	PTD. EXIST.	PTD. EXIST.	ADJUST. MD. SHELVES
205	BATH	C.T.	C.T.	C.T./PTD. GMB	PTD. GMB	C.T. TO 4'-0" A.F.F., MOISTURE RESIST. GMB
206	MASTER BATHROOM	C.T.	C.T.	C.T./PTD. GMB	PTD. GMB	C.T. TO 4'-0" A.F.F., MOISTURE RESIST. GMB
206A	TOILET	C.T.	PTD. MD.	PTD. GMB	PTD. GMB	
207	MASTER BEDROOM	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD
207A	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	ADJUST. MD. SHELVES
207B	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
207C	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
207D	CLOSET	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	PTD. SHELF & ROD
THIRD FLOOR						
301	FINISHED ATTIC	STRIP OAK	PTD. MD.	PTD. GMB	PTD. GMB	TRAY CLG., MOISTURE RESIST. GMB
302	MECHANICAL ROOM	EXIST. PLY. MD.	-	-	-	
303	UNFINISHED ATTIC	EXIST. PLY. MD.	-	-	-	



- HDWR SETS**
- 1- EXTERIOR DOOR
 - 2- PRIVACY
 - 3- PASSAGE
 - 4- CLOSET
 - 5- POCKET

- WOOD TRIM TYPES**
- BASE: MM-618 IV QTR ROUND SHOE
DOOR & MIN. CASING: LHM-445 (DOORS TO RECEIVE SM-15 FLINTH)
CROWN MOULDING: MM-47
CHAIR RAIL: SM-82
COLUMNS: PLAN CLASSIC NO. 360 BY CHADWORTH'S

- GENERAL WINDOW NOTES:**
1. ALL WIN. BY MARVIN OR EQ. W/ INSUL. TRUE DIVIDED LIGHT, WOOD ON WOOD CONST.
 2. SILLS MUST EXTEND BEYOND WALL ENOUGH TO ALLOW FOR SIDING & DRAINAGE MAT AT EXTR.
 3. MATCH EXIST. TRIM AT INTR. & EXTR., U.O.N.
 4. MATCH EXIST. SILL & HEAD HEIGHTS, U.O.N.
 5. ALL STORM WIN. OF WOOD CONST. BY MARVIN OR EQ.



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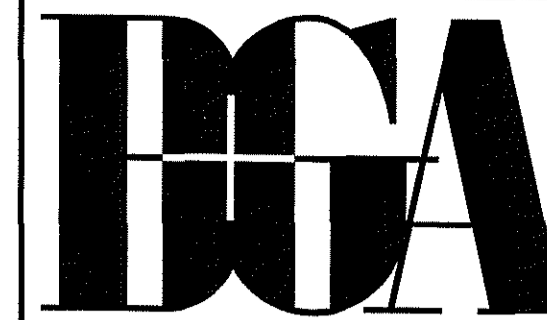
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	SD PRICING	4-25-01

Additions & Renovations to:
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19 West Kirke
Chevy Chase, MD

**FINISH SCHEDULE
DOOR SCHEDULE
AND DETAILS**

BGA JOB NO. #00014
CURRENT PRINT DATE 05/22/02

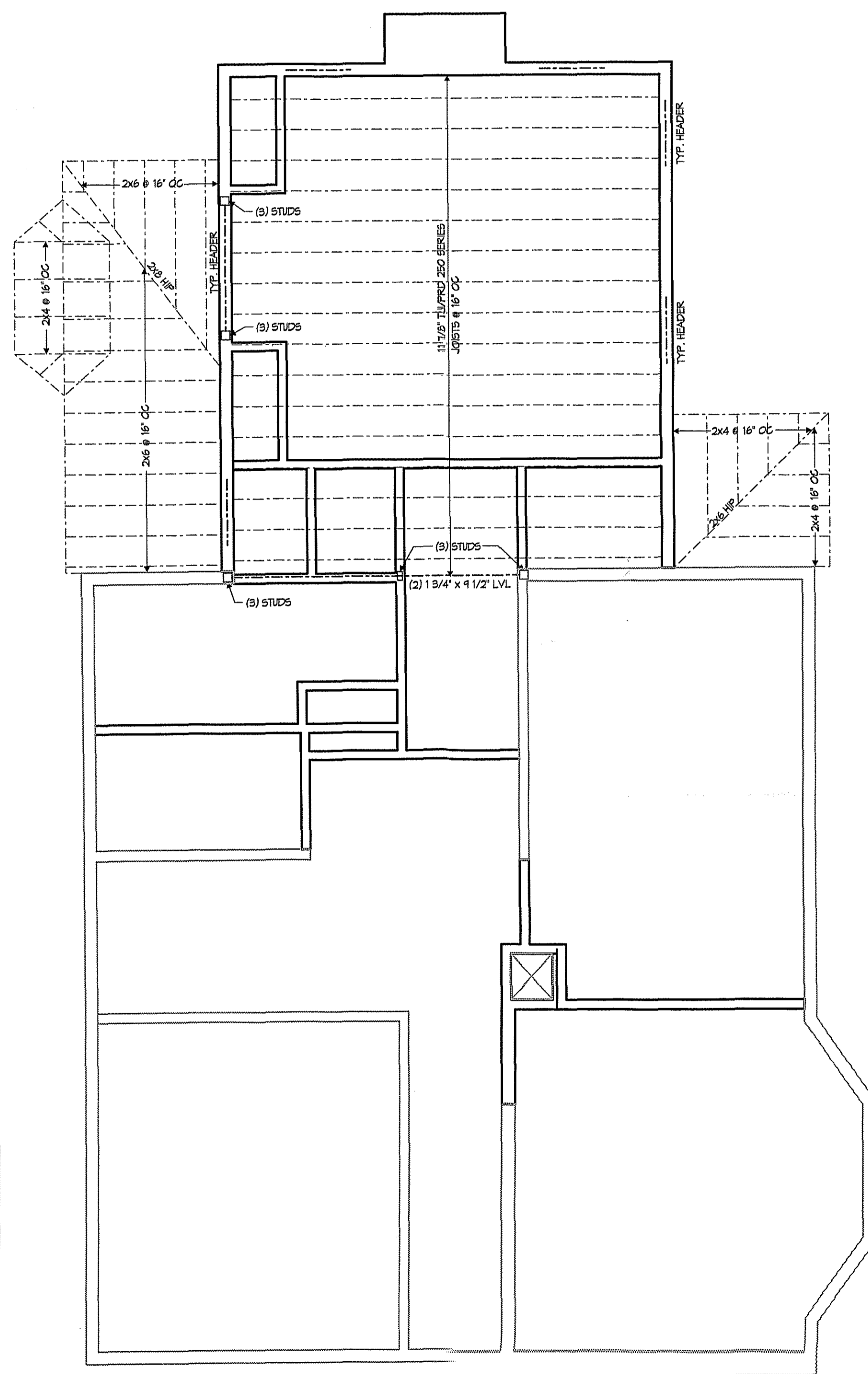
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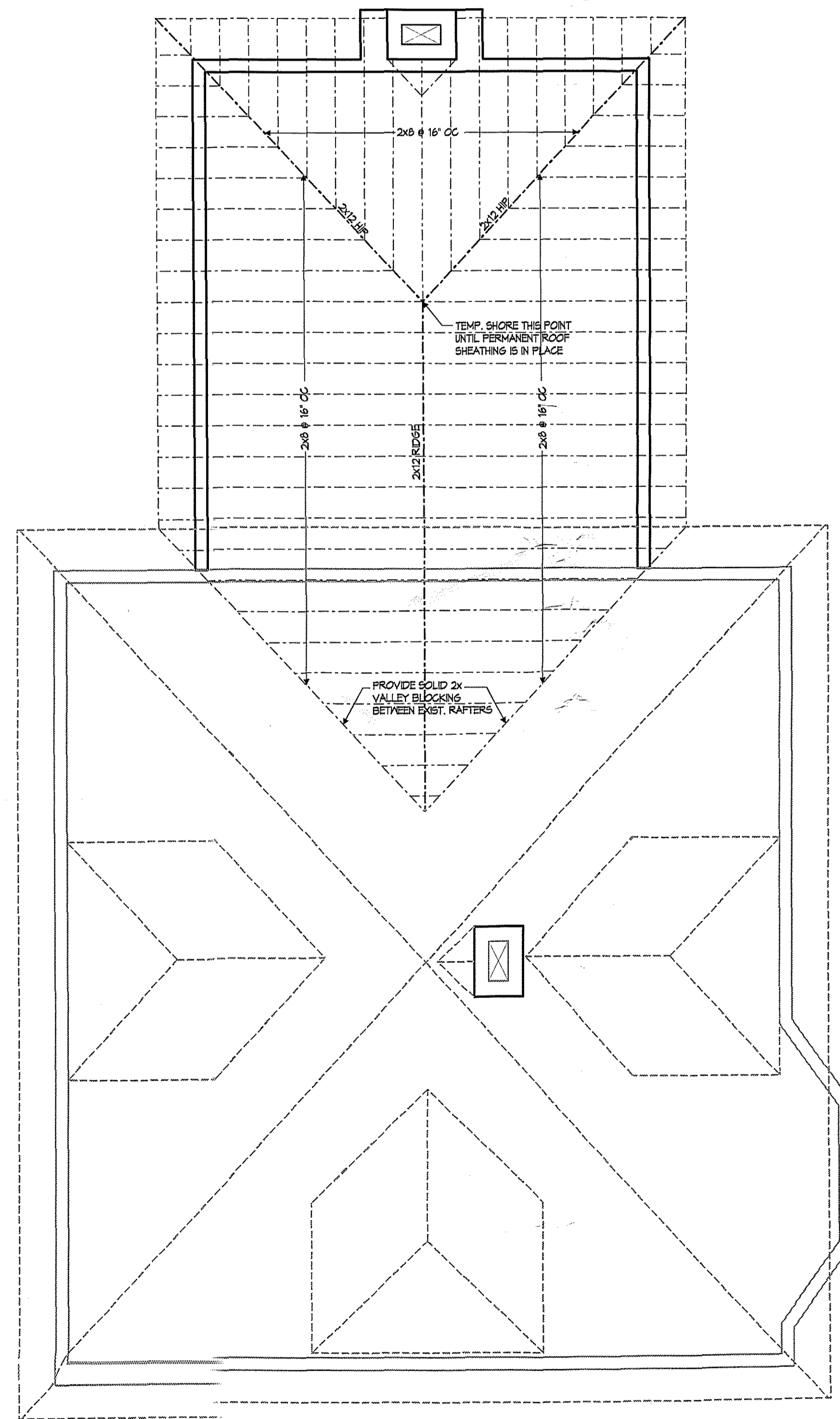
BOWIE · GRIDLEY ARCHITECTS, PLLC

1010 WISCONSIN AVE., N.W. SUITE 400
WASHINGTON, D.C. 20007
TEL. (202) 337-0888
FAX (202) 337-2626

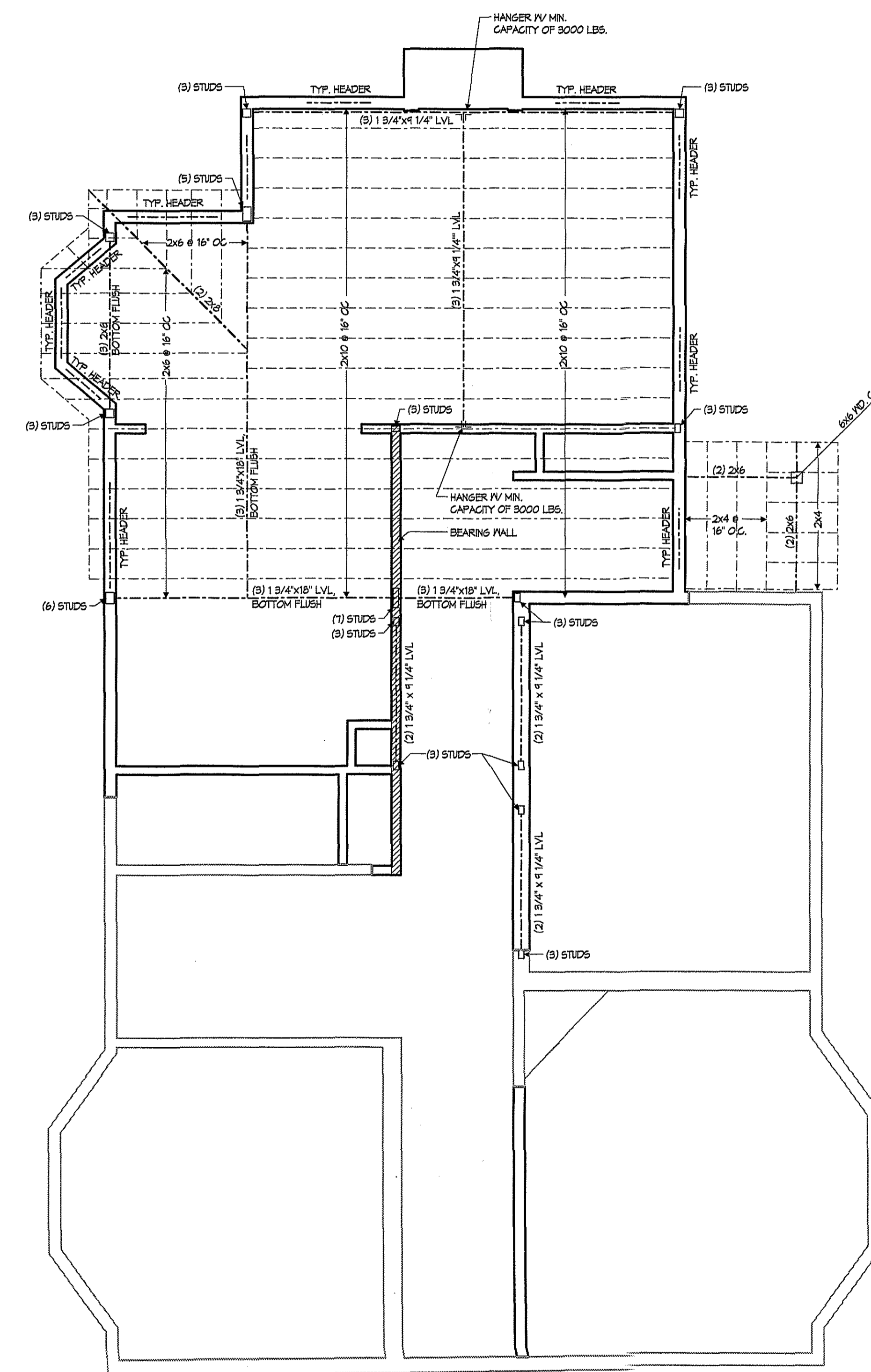
SEE S-1 FOR STRUCT. NOTES



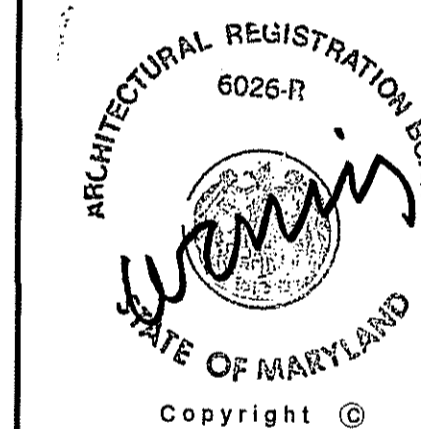
3 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



4 ATTIC FRAMING PLAN
SCALE: 1/4"=1'-0"



1 SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



No.	Issue - Revision	Date
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	BID SET	6-11-02
	PERMIT SET	5-22-02
	SD PRICING	4-25-01

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Chevy Chase, MD

FRAMING PLANS AND STRUCT. DETAILS

BGA JOB NO. #00014

CURRENT PRINT DATE 05/22/02

S-2