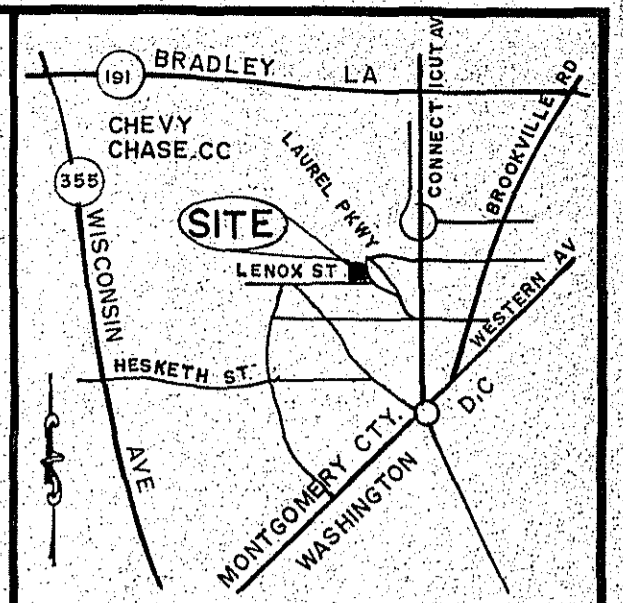
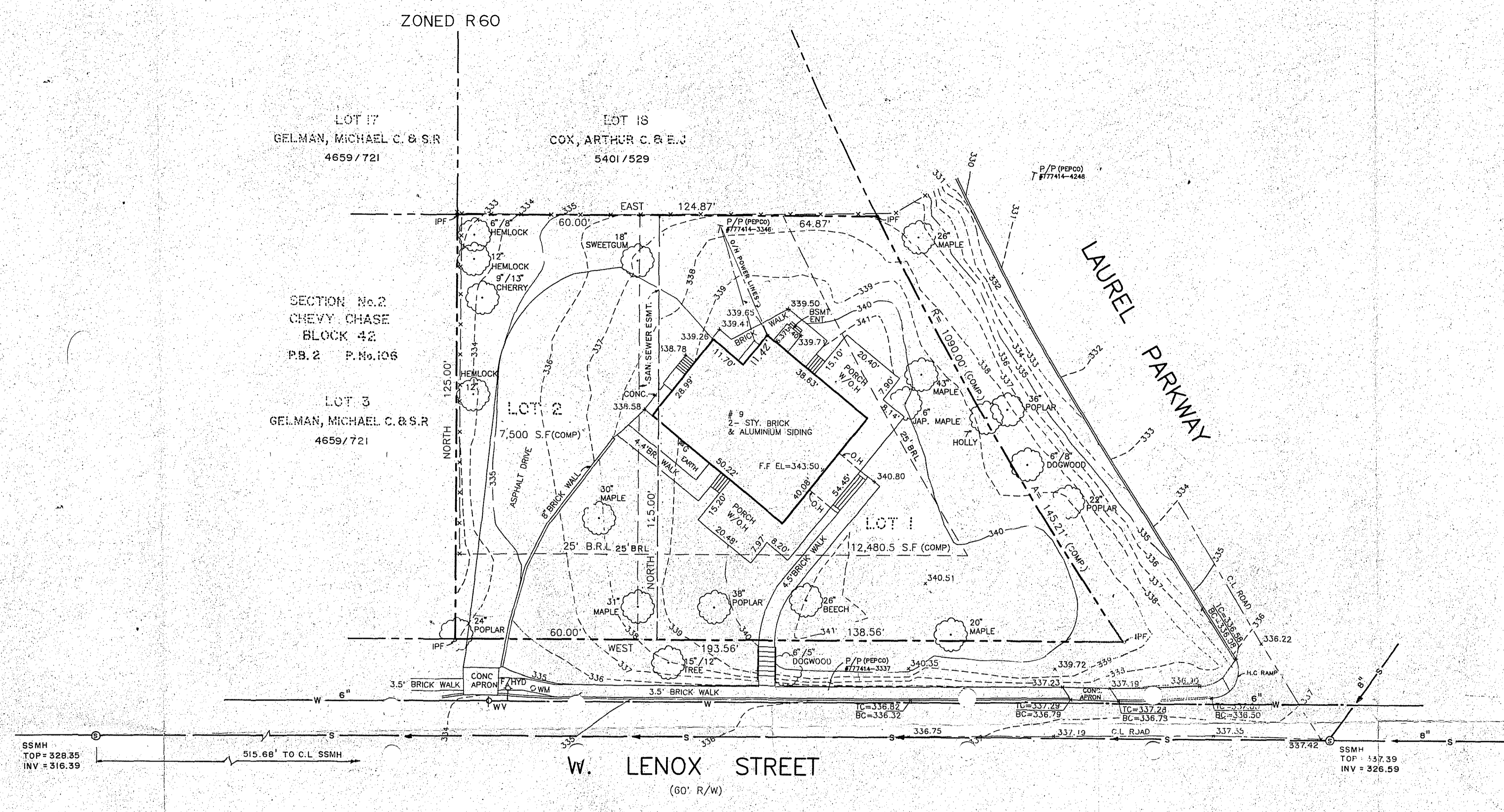


35/13 9 West Lenox Street ¹⁶
(Chevy Chase Village His. Dist.)



VICINITY MAP
SCALE 1" = 2000'



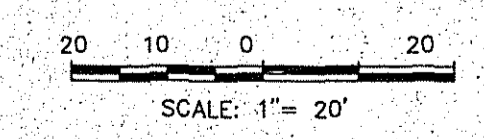
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE INFORMATION SHOWN HEREON IS CORRECT AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION AND HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 50-34 OF THE MONTGOMERY COUNTY SUBDIVISION REGULATIONS

SIGNED *John J. Allen Jr.*



DATE JAN 18, 1996 REG No 2206

- LEGEND**
- ⊙ SANITARY SEWER MANHOLE
 - S SANITARY SEWER
 - W WATER MAIN
 - ⊕ WATER VALVE
 - ⊙ WATER METER
 - ⊕ FIRE HYD
 - ⊙ GAS FIXTURE
 - ⊕ PEPCO POWER POLE
 - X — FENCE
 - B.R.L. — BUILDING RESTRICTION LINE
 - IPF — IRON PIPE FOUND



GENERAL NOTES

1. CURRENT ZONING R60
2. AREA OF PRELIMINARY PLAN LOTS

LOT 1	12,480.50 S.F.	0.286 AC.
LOT 2	7,500.00 S.F.	0.172 AC.
TOTAL	19,980.50 S.F.	0.458 AC.
3. CURRENT USE RESIDENTIAL
PROPOSED USE RESIDENTIAL
4. EXISTING PROPERTY IS RECORDED IN PLAT BOOK 2 AT PLAT No. 106
TOPOGRAPHIC SURVEY PERFORMED BY BETHESDA ENGINEERS & SURVEYORS DATED NOVEMBER 22, 1995
5. OWNER / APPLICANT
WILLIAM S. JANES
PO BOX 1204
MIDDLEBURG, VIRGINIA 22117

BETHESDA ENGINEERS & SURVEYORS, INC.

4424 MONTGOMERY AVENUE
BETHESDA, MARYLAND 20814
(301) 654-7907 654-7908 (FAX)

DRAWN *WSP*
DESIGNED
CHECKED
SCALE 1" = 20'

PLAT BOOK 2	PLAT No. 106	FIELD BOOK No. 163	PAGE No. 50-58
TITLE PRELIMINARY PLAN		DATE DEC. 1995	
A RESUBDIVISION OF LOTS 1 & 2 BLOCK 42		SHEET	
CHEVY CHASE		JOB No.	
SECTION No. 2		95-103	
MONTGOMERY COUNTY, MARYLAND			

No.	DESCRIPTION	NAME	DATE



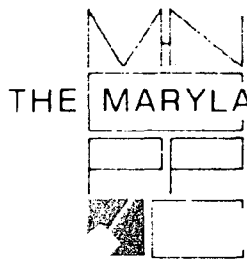
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FROM: Development Review Division - M-NCPPC

NAME: SECTION 2 CHERRY CHASE
FILE NO.: 1.96062

Enclosed please find the information checked below. This material will be discussed at the Development Review Committee meeting of MARCH 11, 1996 (no meeting scheduled if blank).

- X New preliminary plan application with supporting material as appropriate
- _____ Supporting material for previously reviewed preliminary plan
- _____ Revised preliminary plan drawing
- _____ New pre-preliminary plan application
- _____ Comments due by 3.11.96



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

March 13, 1996

MEMORANDUM

TO: Joe Davis
Malcolm Shaneman
Development Review Division

FROM: Gwen Marcus, Historic Preservation Coordinator *gwm*
Patricia Parker, Historic Preservation Planner *php*
Design, Zoning, and Preservation Division

SUBJECT: Review of Subdivision Plans

We have reviewed the following subdivision plans and found them not to involve any identified historic resources:

#1-96049 Pascalham - No impact

#1-96071 Fairhill - This property is adjacent to Locational Atlas resource #23/51, Clover Hill. The subdivision proposal should include heterogeneous planting to act as a landscape buffer for the new construction from the resource

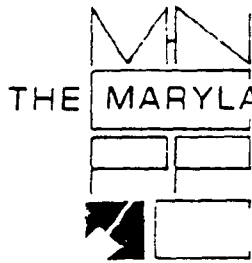
#1-96074 Lake Normandy Estates - No impact.

#1-92004 Denit Property (Discussion) - This property involves Locational Atlas Resource #23/40, the Elisha Riggs House and is adjacent to Master Plan Site #23/71, Far View. This property was reviewed by the HPC at its April 12, 1995 meeting. Written comments were forwarded to M-NCPPC at that time (copy of Staff Memo dated April 13, 1995 attached).

#1-96062 Section 2 Chevy Chase - This property is located within Master Plan Site #35/13, The Chevy Chase Village Historic District (Phase One). This proposal for lot consolidation is currently being reviewed as part of the HAWP process.

#1-96073 Chevy Chase - This property is situated within the Locational Atlas Resource #35/13, Chevy Chase Historic District. It will be reviewed by the Historic Preservation Commission with written comments forwarded to M-NCPPC.

cc: E. Davison, OPI



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

April 13, 1995

MEMORANDUM

TO: Joe Davis
Malcolm Shaneman
Development Review

FROM: Gwen Marcus, Historic Preservation Coordinator *GM*
Patricia Parker, Historic Preservation Planner
Design, Zoning, and Preservation Division

SUBJECT: HPC Review of Denit Property Subdivision

On April 12, 1995, the Historic Preservation Commission (HPC) reviewed the proposed subdivision for the Denit Property. This subdivision directly involves one Locational Atlas Resource, the Elisha Riggs House, and is adjacent to one Master Plan Site, Far View.

After a detailed presentation by staff and by the applicant's representative, John Westbrook, the HPC formulated its recommendation on this case. The HPC recommends approval of this subdivision plan with the following conditions:

1. The lot which is described to contained the Elisha Riggs historic property and all outbuildings shall be no less than 25 acres.
2. The environmental setting of the Elisha Riggs historic site shall be the 25 acre lot noted above.
3. A tree survey which demonstrates that the plan will avoid the destruction of significant tree specimens near the historic site shall be provided for review and approval by staff.
4. The historic drive location will remain as situated and as gravel.
5. A substantial buffer of heterogeneous plantings of evergreen and deciduous trees would be established at the rear of Lots #471 and #475-#480 for purposes of screening the new construction from the Far View historic site. A landscaping/planting plan shall be submitted for review and approval by staff.

6. All efforts shall be made to locate the two cemeteries reported to be in the vicinity of the Denit house. If either or both cemeteries are located, they will be preserved in a designated conservation area. If graves are located during construction, construction will be stopped immediately.

Please include the conditions noted above in any information transmitted to the Planning Board. Staff will be available during the Board's hearing on this case to provide additional information if necessary.

West Leno (from
Dave Fugitt)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9 West Lenox Street

Meeting Date: 3/13/96

Resource: Chevy Chase Village Historic District (Phase One)

Preliminary Consultation

Case Number: N/A

Tax Credit: No

Public Notice: 2/28/96

Report Date: 3/06/96

Applicant: Mr. & Mrs. William Janes/ David Jones AIA, Agent Staff: Patricia Parker

PROPOSAL: Rear addition; garage; front entrance circular driveway; porch alterations

RECOMMEND: Proceed to HAWP with significant revisions

The applicant comes before the HPC to discuss, as a preliminary consultation, several proposed changes - a proposed addition to an existing front/side porch which spans three sides of the house; alteration of the existing porch; a rear addition; construction of a 27' wide x 28' deep garage and covered walkway attached to the main structure; construction of a terrace at the rear; extension of the existing driveway; removal of an existing asphalt driveway and brick walk; removal of aluminum siding; removal of an upper story window; installation of a canted bay window; and construction of a new circular gravel driveway commencing at an existing curb cut located on West Lenox Street. The alterations and addition, as proposed, would alter a property located at the intersection of Laurel Parkway and Lenox Street within the Chevy Chase Village Historic District (Phase One).

Chevy Chase Village is nationally recognized as a prototypical turn-of-the-century streetcar suburb containing some of the earliest houses representative of the area's architectural and developmental heritage.

The house is situated at a very prominent corner, obliquely facing a triangular green space within view of the Chevy Chase Village Town Hall. The house is sited so as to take advantage of views of the open green area and, at the rear, the Chevy Chase Country Club at a distance.

The house's prominent porch wraps around 2-1/2 sides of the house and is visible from both streets. Although mature tree species and substantial shrubbery line the side yards along West Lenox Street and Laurel Parkway, the side, front, and a portion of the rear of the house, as well as the yard, are very visible from public space.

STAFF DISCUSSION

A. Remove existing porch features and replace with wood; extend porch.

The applicant would extend the existing one-story porch two bays farther toward the rear of the house (approximately 18'6") and provide a new stair as access to grade. The new porch would consist of new wood columns, entablature, eave and balustrade.

The applicant also proposes to remove existing porch features and completely replace them with painted wood detailing to lighten the visual effect of the porch. The steps to grade would also be painted wood.

①

At the principal door entrance, the applicant also proposes to construct a new painted wood balustrade with new painted double wood columns, entablature & eaves. On this same elevation, a new painted wood balustrade would be constructed at the porch roof level.

The additions/extension to the porch are consistent with the architecture of the house and could be approved. However, staff is concerned about the applicant's proposal to remove all existing columns and balustrades. It is not clear as to whether the existing porch elements are original or replacement. **If original, they should not be removed or replaced.** In this case, new additions to the porch could be designed to replicate the existing elements. If the columns, balustrades, etc. are **not** original, then there is much more latitude in replacing them.

The applicant should provide additional documentation on the porch and its original design. If the columns, balustrades, and other features of the porch are original, then they should be retained and renovated.

B. Remove existing aluminum siding

The applicant proposes to remove existing aluminum siding which appears as sheathing on the entire structure, repair and paint the stucco on the upper story and paint the existing brick on the first level and below. Staff applauds the applicant for proposing to reverse an incompatible alteration previously made to the structure. Staff recommends approval.

C. Construct two-story rear addition

The applicant proposes to construct a new 400 square foot (approximate) addition at the rear of the structure. The addition would extend 9' further into the rear yard and would appear as a two-story feature across the entire rear facade of the house. Beyond the new addition, the applicant would construct a new terrace which includes three treads to grade.

The addition would use matching materials, and would have a lower roof with composition shingles to match the existing on the upper roof. Roof lines of the addition would be below the roof line of the main block of the house.

On the first floor the addition would include new painted wood single pane french doors with sidelights at each side. The sidelights and transoms above would have true divided light. At this level, the applicant proposes to use brick and to employ painted stucco on the level above. On the upper level, a large opening includes two painted wood windows and shutters, having true divided light in the upper portion of the windows and single pane in the lower portion of the windows.

At the rear of the new addition, three openings appear. In these openings would be double french doors (two leaves) with sidelights and transoms of true divided light. They would be similar to those that appear on the side elevation.

Staff feels that the proposal for a new addition is successful. It is below existing rooflines, indented from the side elevation, recalls features of the existing structure, proposes the use of quality materials, and is of proper scale. Staff recommends approval.

C. Construct separate garage w/ connecting covered walk

Staff discussed the location of the garage and its connected covered walk in detail with the applicant. The applicant's proposal has been designed to meet a Chevy Chase Village code which requires placement of garages at the rear of a property unless the garage is physically connected to the existing structure.

Thus, the Chevy Chase Village law would require the proposed new garage to be placed in the rear of the property if the garage were detached. This placement is problematic from the applicant's viewpoint because it would deprive them of the only available space for totally private use due to the oblique siting of the structure on its property. Therefore, the applicant proposes to remove all existing asphalt paving, now serving as an enlarged driveway, and construct the garage in the side yard with a curving, columned, covered walkway connected to the main structure.

Staff has made a site visit and has observed that the house at 10 Laurel Parkway is located very close to the applicant's rear property line. If a detached garage were to be sited in the rear yard as required by local code, then the private space in the rear yard - which serves this applicant as well as the adjacent property - would be adversely affected..

However, even with the conditions as noted above, staff feels that a detached garage is the only option which is consistent and appropriate with the historic character of the area. The covered walkway, as proposed, is not a feature that is found in late-19th or early-20th century Chevy Chase building styles. Staff can not recommend approval of an "attached garage" even if that attachment is only a narrow, open walkway.

The new garage that is proposed would be one story, painted stucco, hipped roof having composition shingles to match those of the roof of the main structure and two large openings with vertical board doors and glazed transoms above. On the drawings, the transoms are indicated to have true divided light. The design of this garage is appropriate; however, staff strongly feels that it should be fully detached from the existing house.

D. Construct a one-story canted bay addition; remove window; elongate opening.

The application proposes to remove an existing window and in its place install a canted one story bay window approximately 5'6" deep. On the exterior, the bay would start at grade and be confined to the first floor. It would terminate with a new wood balustrade and form the deck for a new elongated window at the upper story. All windows would be true divided light in the upper sash and single pane in the lower sash. At the upper story, painted wood shutters would be installed at either side of the window on the exterior.

Staff feels that although this new bay window feature would be visible from the public right-of-way, it is compatible in size and scale. From the public street, this feature may be partially screened due to existing mature landscape growth. Staff recommends approval.

Staff would encourage the applicant to salvage useable building fabric, such as windows slated for removal and consider donating such materials to Old House Parts for adaptive re-use.

E. Remove existing asphalt driveway; relocate brick pedestrian walk; construct new gravel vehicular circular driveway at front of house.

Although the applicant is proposing removal of a substantial amount of impervious surfacing, they are also proposing a large new circular driveway and a driveway with turnaround at the new garage. Installation of these features will result in little if any net loss in paved surface on the site.

In particular, staff feels that the circular driveway proposal is an incompatible change to the property and would be inconsistent with the Chevy Chase Village Historic District (Phase One). The Secretary of the Interior's Standards state "... Changes that create a false sense of historical development, such as adding conjectural features or architectural elements

from other buildings, shall not be undertaken." The large new circular drive will add a sense of monumentality to the house which it, in all likelihood, never had. Staff feels that this aspect of the project should be rethought.

At the time of HAWP submittal, staff would remind the applicant to include a landscape plan indicating any tree removal, tree replanting, and the use of alternative paving materials such as pavers, etc. if these features are a part of the proposal.

STAFF RECOMMENDATION

Staff feels that this application could be approved as a Historic Area Work Permit if several major changes are made:

1. The applicant should provide additional documentation on the porch and its original design. If the columns, balustrades, and other features of the porch are original, then they should be retained and renovated.
2. The new garage should be fully detached from the existing house, without a new attached, covered walkway.
3. The large new circular drive should be deleted or redesigned to not create a false sense of monumentality to the house which it, in all likelihood, never had.

Finally, the applicant should be applauded for choosing to reverse several incompatible changes to the property, such as the artificial siding. The final application should provide dimensioned drawings with materials indicated and landscape plans as part of the HAWP submission.

21 February 1996

Historic Preservation Commission
c/o Ms. Patricia E. Hayes Parker
Historic Preservation Planner
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Janes Residence
9 West Lenox Street
Chevy Chase, MD 20815

Ladies and Gentlemen,

On behalf of my clients, Mr. & Mrs. William Janes, I request a preliminary consultation with the Historic Preservation Commission at your March 13th meeting regarding proposed plans for above property.

Enclosed are sets of the following drawings: site plan, floor plans and elevations of the existing house, and site plan, floor plans and elevations of the proposed alterations and additions. A list of the adjacent and confronting property owners is attached. I understand that Ms. Parker has one set of exterior photographs of the existing house which I left with her at our meeting last week.

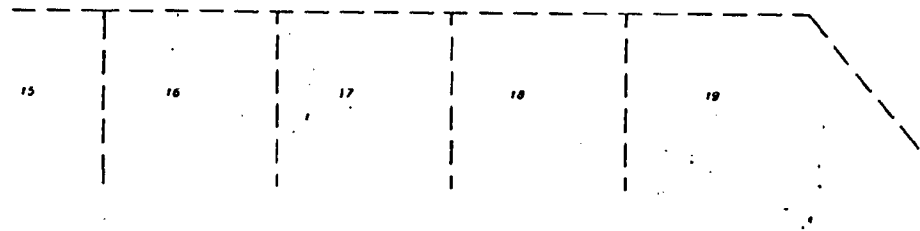
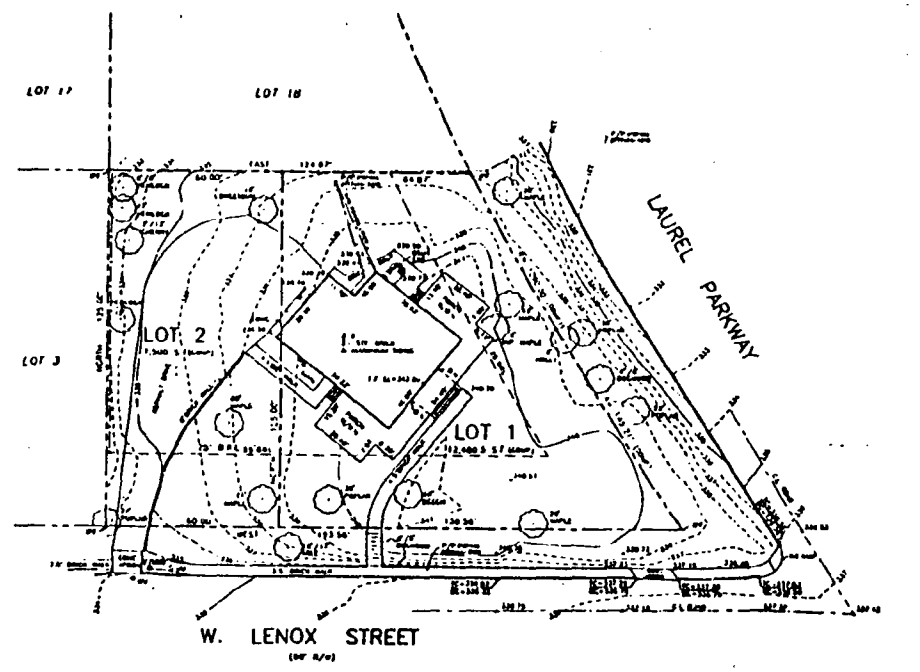
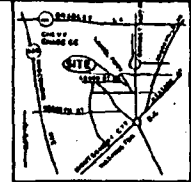
I look forward to the opportunity to discuss Mr. & Mrs. Janes's plans with the Commission.

Sincerely,

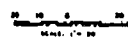


David Jones AIA

enclosures



EXISTING



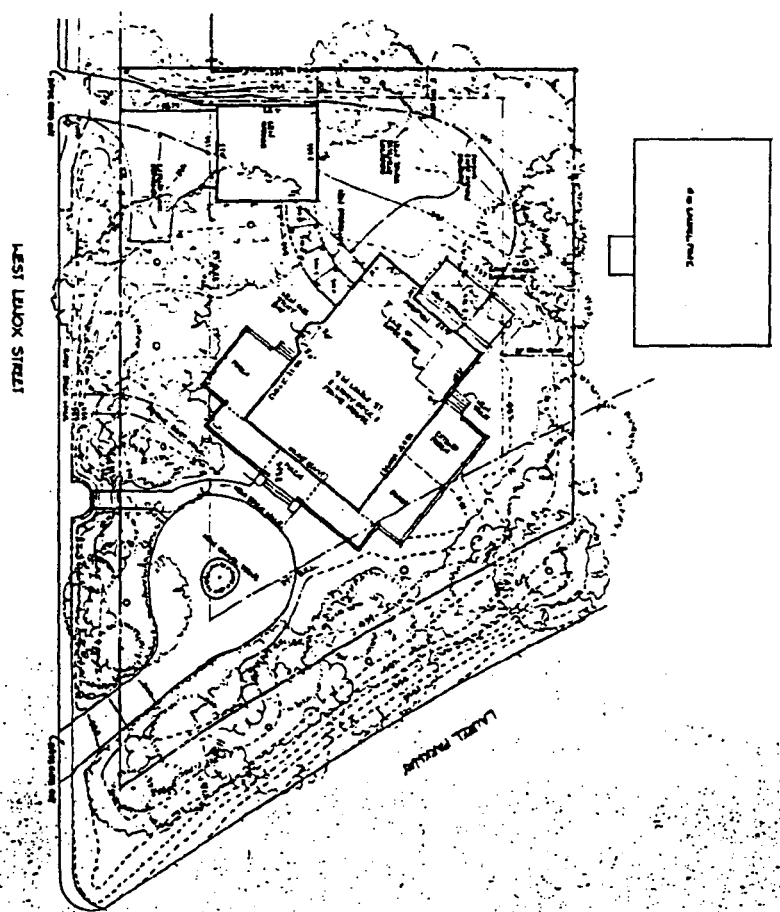
9

DATE
BY
CHECKED
DATE
BY
DATE
BY

DESCRIPTION		NAME		DATE		DRAWN		CHECKED		DATE		BY		DATE		BY		DATE		BY							
BETTESDA ENGINEERS & SURVEYORS, INC. 4424 MONTGOMERY AVENUE BETHESDA, MARYLAND 20814												TOPOGRAPHIC SURVEY LOTS 1 & 2 BLOCK 42 CHEVY CHASE SECTION No. 2 MONTGOMERY COUNTY, MARYLAND				STATE DEC. 1993 SHEET 95-103											

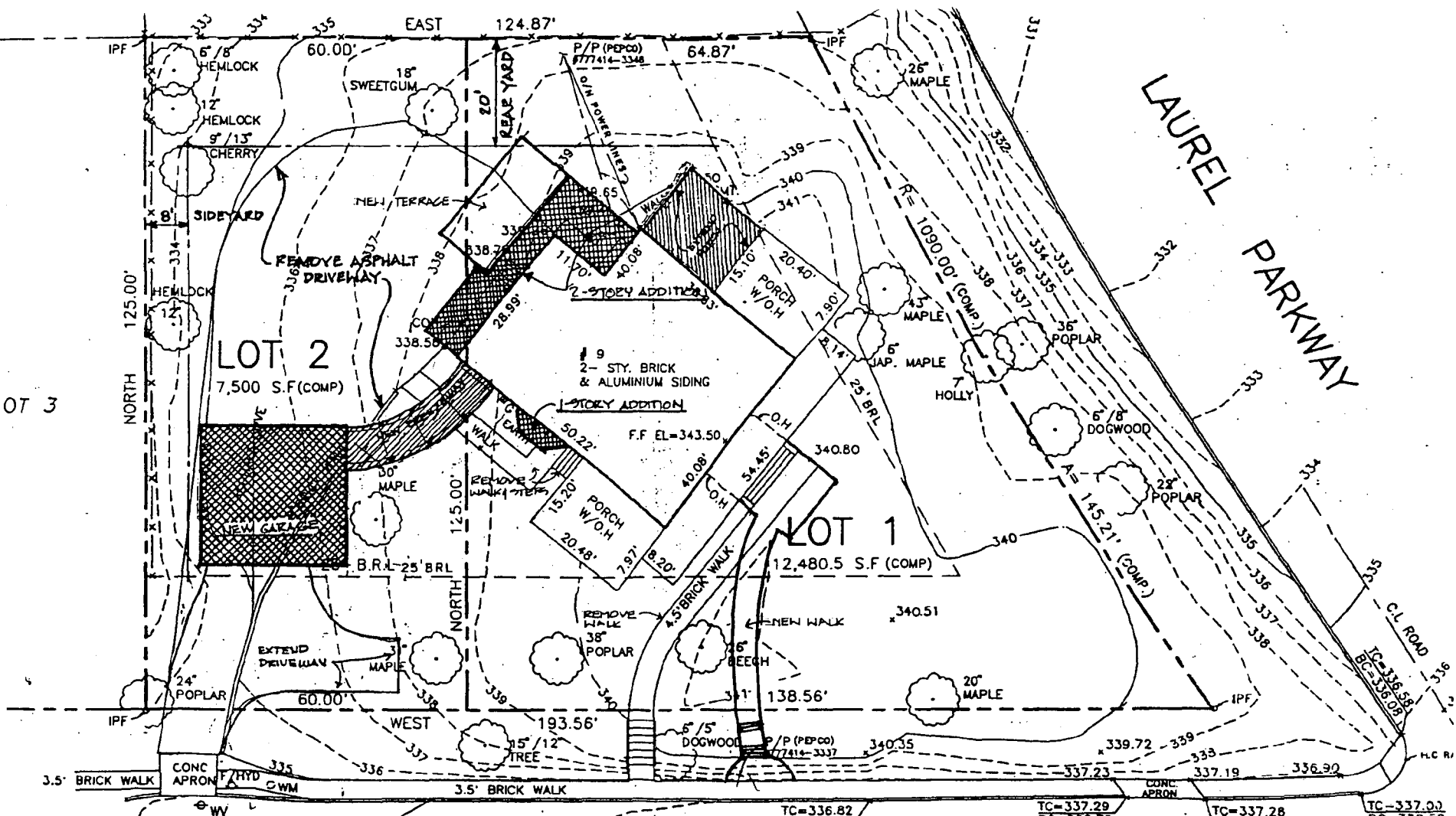


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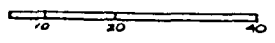


PROPOSED

	<p>JONES RESIDENCE 17 WEST LENOX STREET CHEVY CHASE - MARYLAND</p>	<p>SITE PLAN Scale: 1/4" = 1'-0"</p>	<p>DATE: 11/11/11</p>	<p>DAVID JONES ARCHITECTS 1700 CONNECTICUT AVE. PHOENIX, ARIZONA 85006-3000</p>
--	-------------------------------------------------------------------------------------------------	--------------------------------------------------------	-----------------------------------------	---------------------------------------------------------------------------------------------------



OT 3



W. LENOX STREET

Site plan David Jones Architects

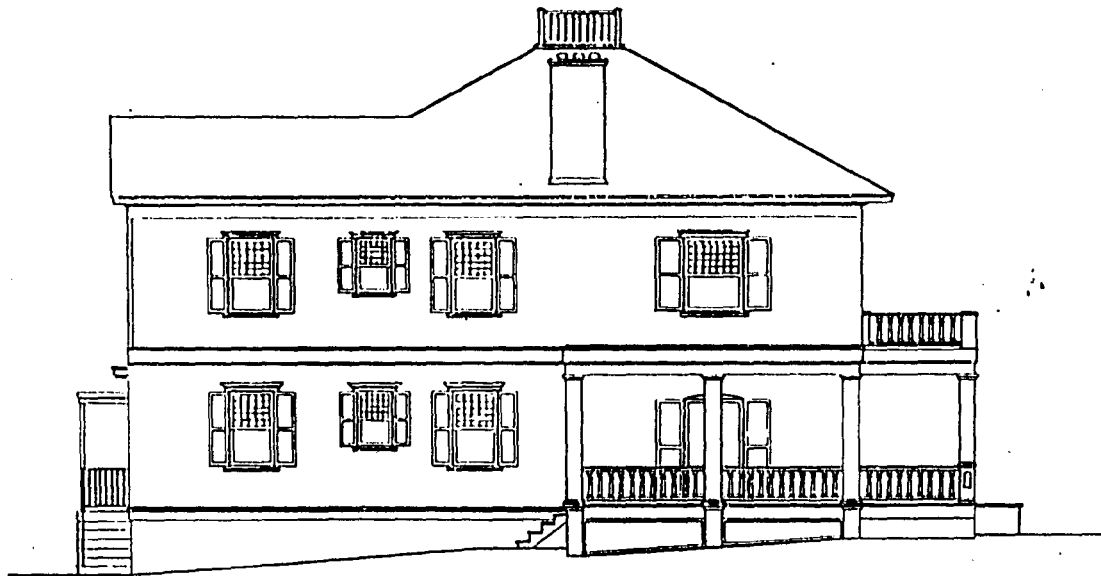
PROPOSED

8



SOUTHEAST ELEVATION

1/4" = 1'-0"



SOUTHWEST ELEVATION

1/4" = 1'-0"

JOHN E. SANDERSON
ASSOCIATES
ARCHITECTS
1000 E. BROADWAY, SUITE 1000
DENVER, COLORADO 80202
303.733.1111
www.jesanderson.com

THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

SOUTHEAST
ELEVATION
SOUTHWEST
ELEVATION

PROJECT NO.	4-20
DATE	
SCALE	AS SHOWN
DATE OF PLAN	
DESIGNED BY	J.E.S.
DRAWN BY	J.E.S.
CHECKED BY	
DATE	
NO.	A-5

EXISTING

6



NORTHWEST ELEVATION

1/8" = 1'-0"



NORTHEAST ELEVATION

1/8" = 1'-0"

EXISTING

JOHN S. SAMPERTON
ASSOCIATES
ARCHITECTS & INTERIOR DESIGNERS
1000 W. BELT ROAD, SUITE 200
BETHESDA, MARYLAND 20814
PHONE: (301) 414-1111
FAX: (301) 414-1112

THE JAMES RESIDENCE
110 WEST LENOX STREET
CHRY CHASE, MARYLAND

NORTHWEST
ELEVATION
NORTHEAST
ELEVATION

PROJECT NO.	1004
DATE	12-15-10
SCALE	AS NOTED
DATE	12-15-10
OWNER	MR. & MRS. JAMES
DESIGNER	JOHN S. SAMPERTON ASSOCIATES
DATE	12-15-10
SCALE	1/8" = 1'-0"
DATE	12-15-10



Jones Residence

Front Elevation

David Jones Architects

0 1 2 3 4 5 10 20

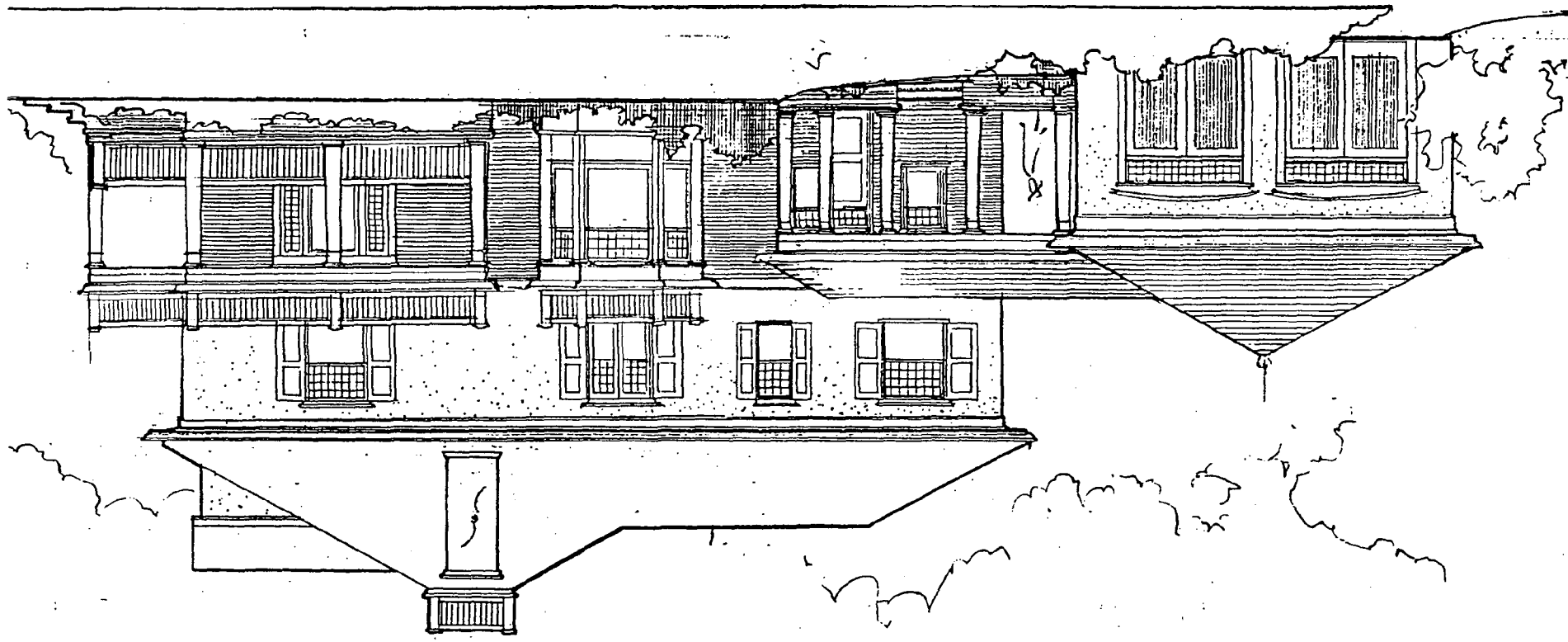
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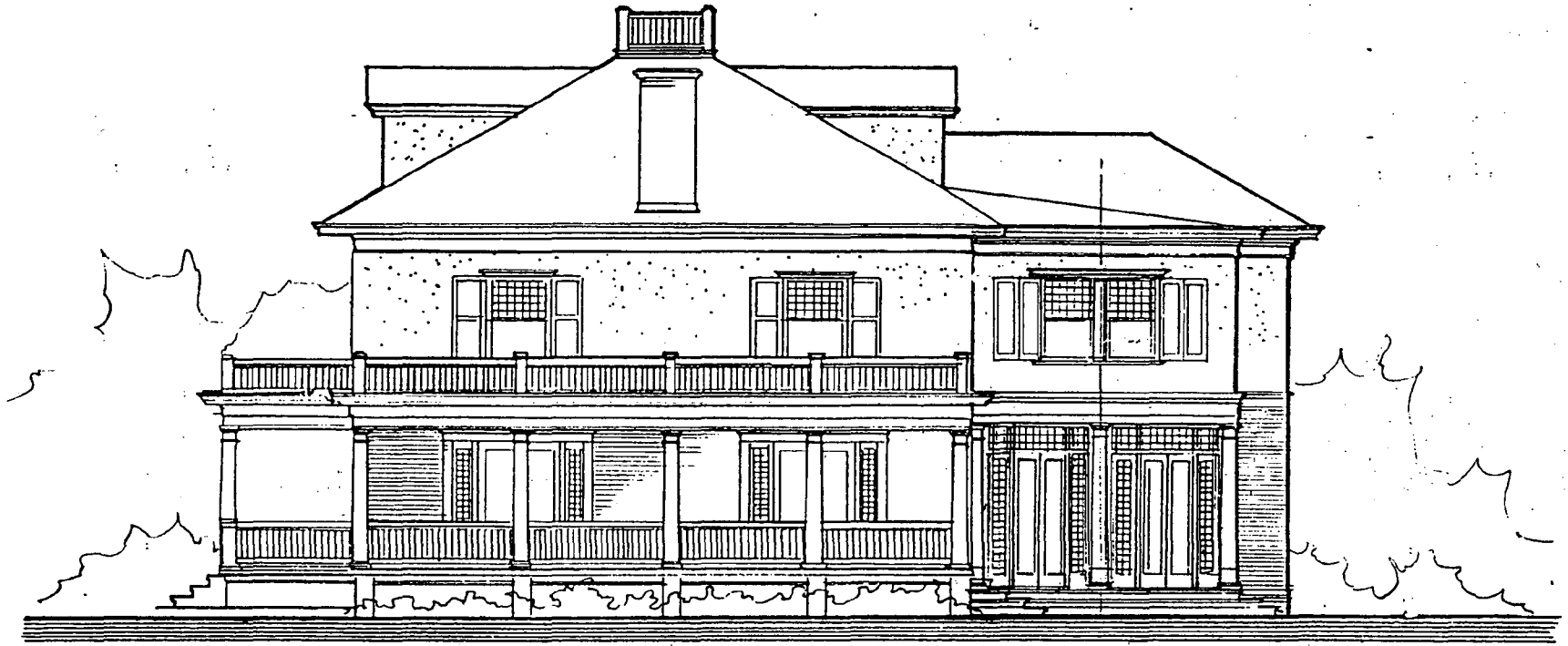
(11)

PROPOSED

0 1 2 3 4 5 10 20

James Residence — W. Lennox Street — Davidson Staff — Davidson Architects





Jones Residence

Laurel Parkway Elevation

David Green Architects 2.5.96

0 1 2 3 4 5 10 20

PROPOSED

(13)

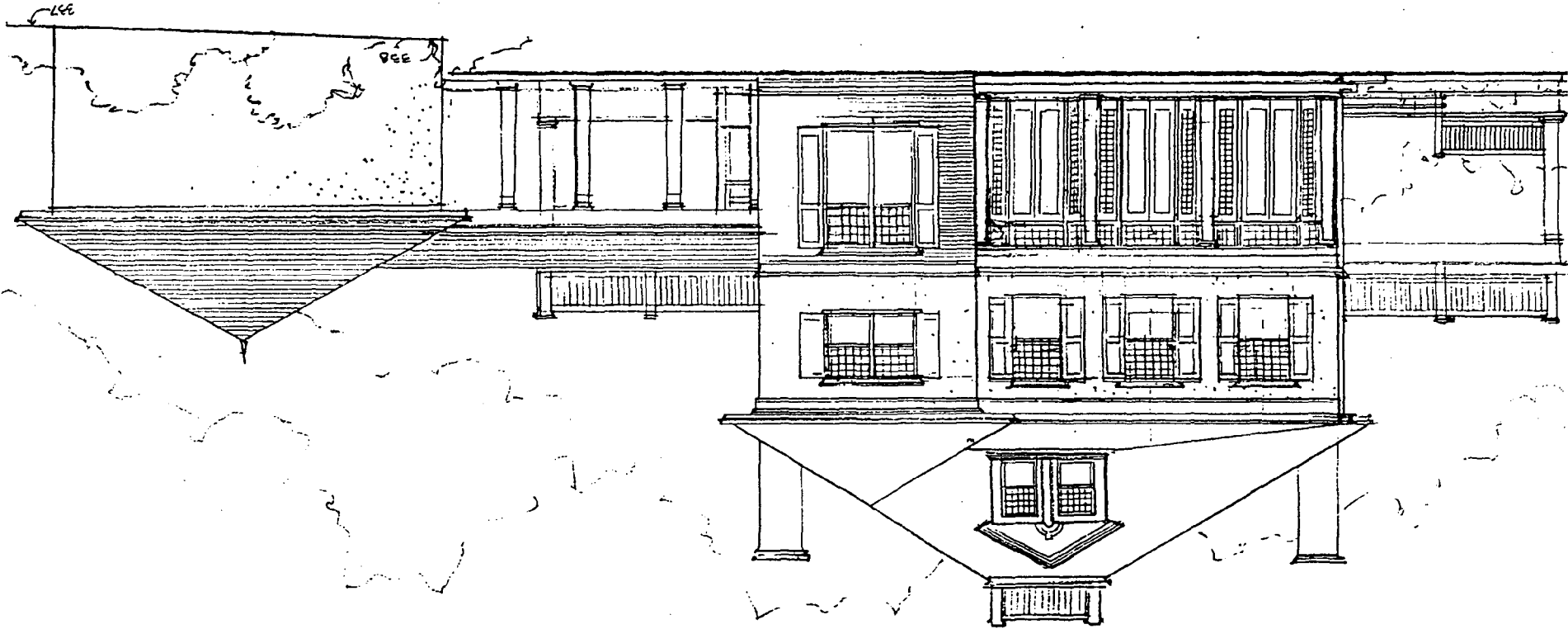
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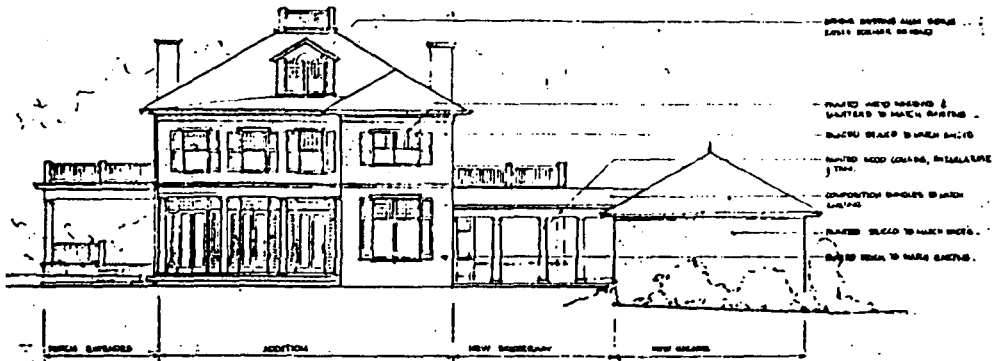
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David Jones Architects 2-5-07

Garden Elevation

Levin Residence

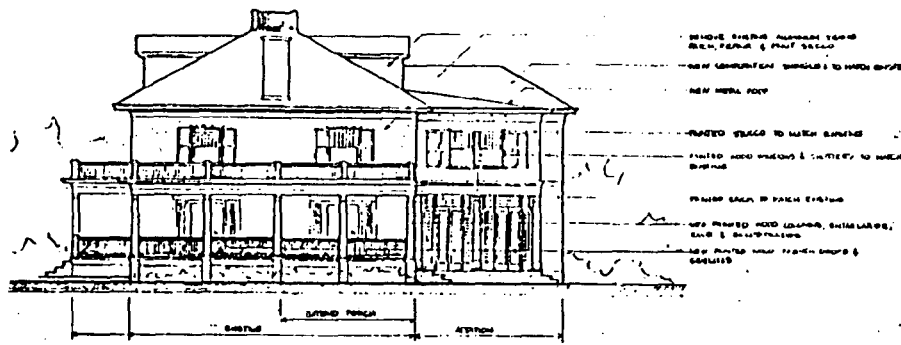




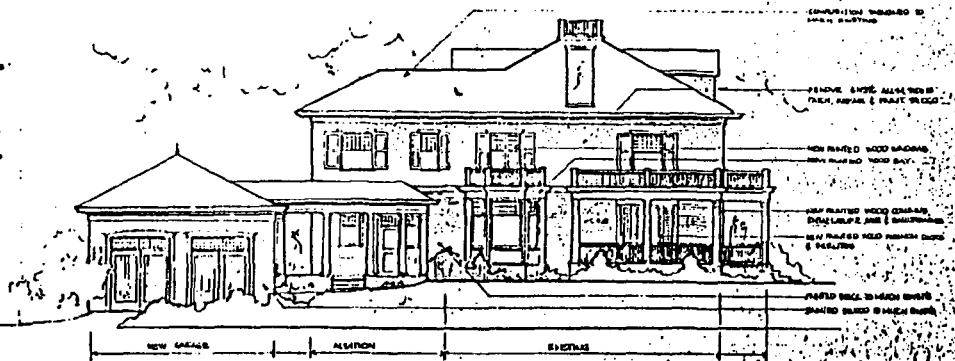
REAR ELEVATION



FRONT ELEVATION



LAUREL HALLWAY ELEVATION



WEST SIDE STREET ELEVATION

DAVID JONES ARCHITECTS
1000 W. 10TH ST. SUITE 100
DENVER, CO 80202

DATE: 11/21/11

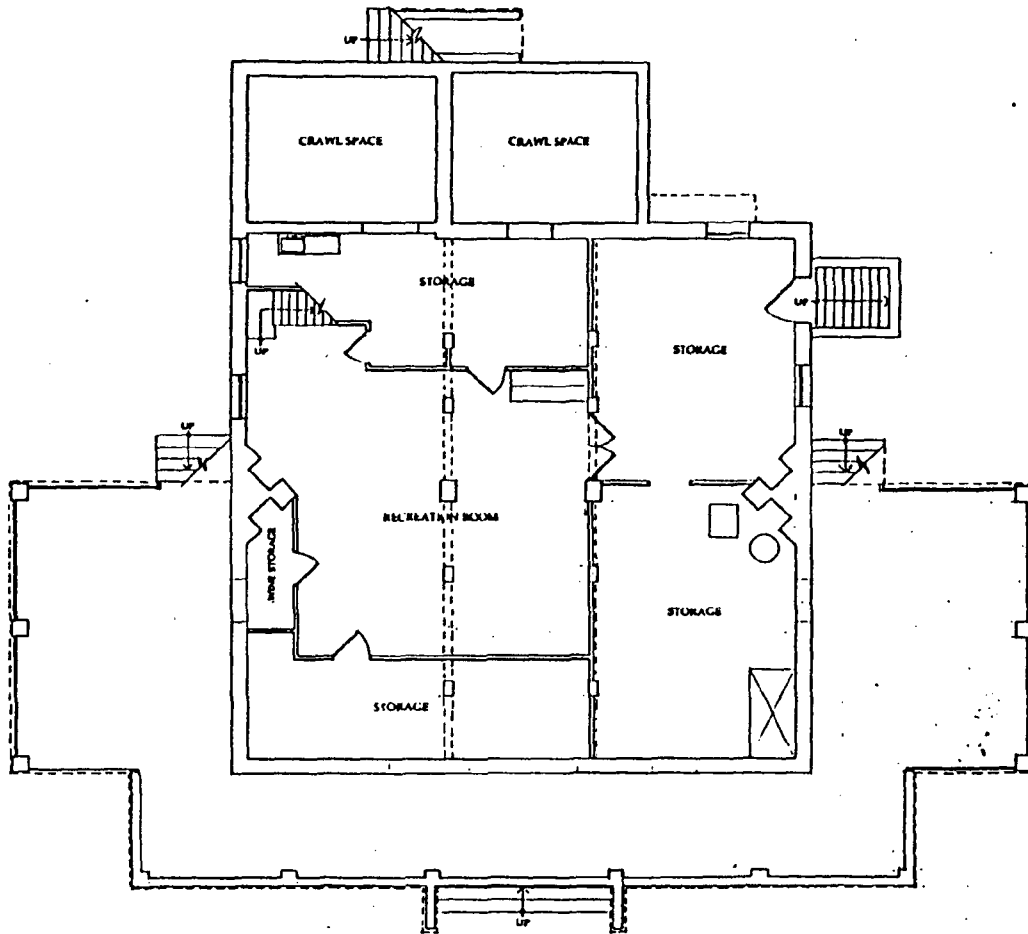
ELEVATIONS

JAMES RESIDENCE
1000 W. 10TH ST. SUITE 100
DENVER, CO 80202

5

15

PROPOSED



BASEMENT FLOOR PLAN

1/4" = 1'-0"

EXISTING

JOHN S. SAMBIRON
ASSOCIATES
ARCHITECTS

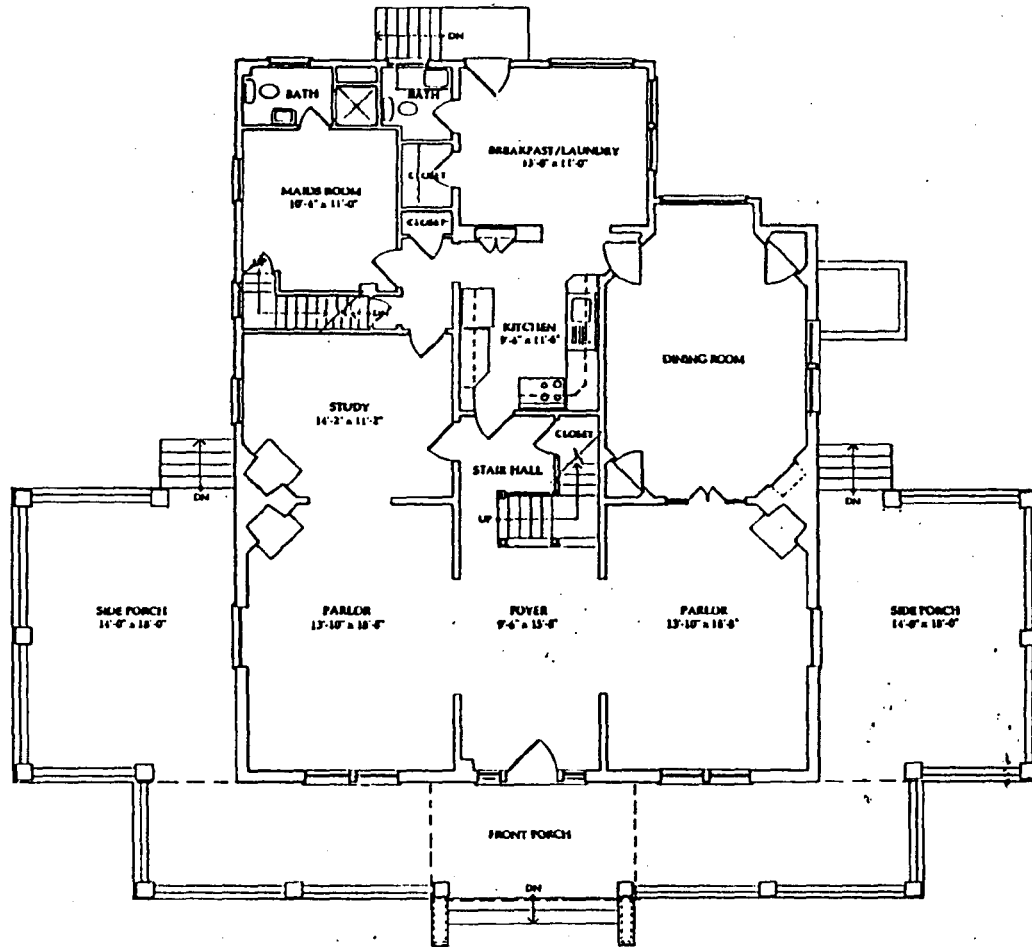
THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

BASEMENT
FLOOR PLAN

PROJECT NO.	0210
DATE	
SCALE	AS SHOWN
DATE OF PLAN	
DESIGNED BY	J.S.S.
DRAWN BY	J.S.S.
CHECKED BY	
DATE	
PROJECT NO.	A-17

16

JOHN S. SANFERTON
ASSOCIATES
ARCHITECTS



FIRST FLOOR PLAN

1/4" = 1'-0"

17

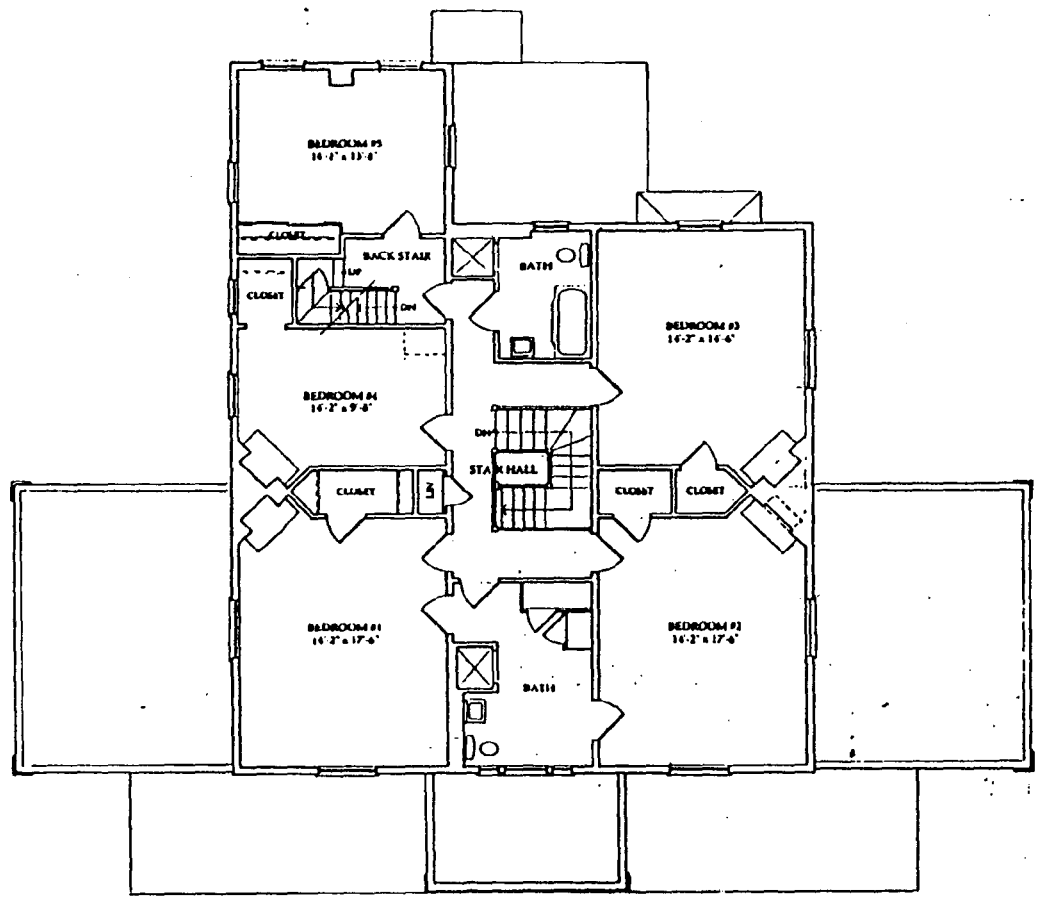
EXISTING

THE JANES RESIDENCE
6 WEST LENOX STREET
GREYTT CHASE, MARYLAND

FIRST
FLOOR PLAN

PROJECT NO.	494
DATE	
SCALE	AS SHOWN
DATE	07-15-10
DESIGNED BY	GAJ
DRAWN BY	GAJ
CHECKED BY	
PROJECT	A-2

(18)



SECOND FLOOR PLAN
 1/8"=1'-0"

EXISTING

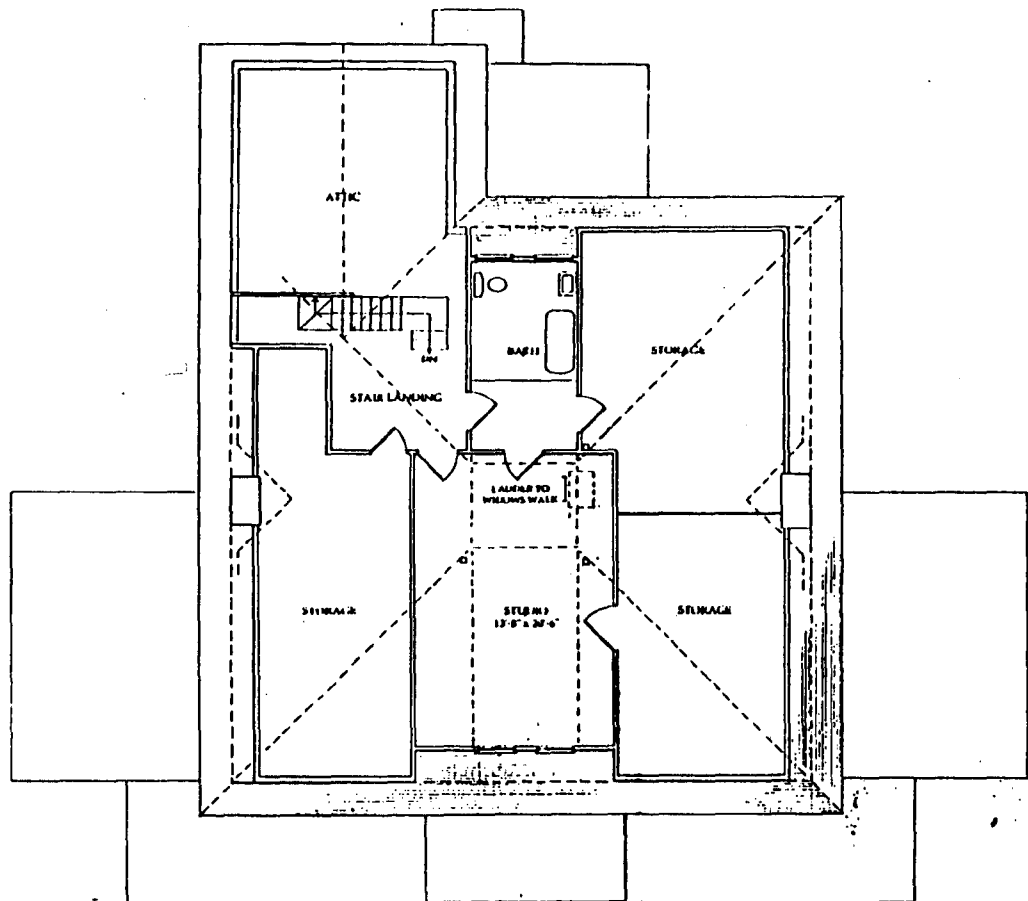
JOHN S. SAMPERION
 ASSOCIATES
 ARCHITECTS

THE JAMES RESIDENCE
 9 WEST LENOX STREET
 CHEVY CHASE, MARYLAND

SECOND FLOOR PLAN

PROJECT NO.	9813
DATE	
SCALE	AS NOTED
DATE OF ISSUE	10-15-83
DESIGNED BY	J.S.S.
DRAWN BY	J.S.S.
CHECKED BY	
DATE	
NO.	A-3

JOHN S. SANDERSON
ASSOCIATES
ARCHITECTS
1200 W. WASHINGTON STREET
BETHESDA, MARYLAND 20814
TEL: 301-279-1100
FAX: 301-279-1101



THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

THIRD
FLOOR PLAN

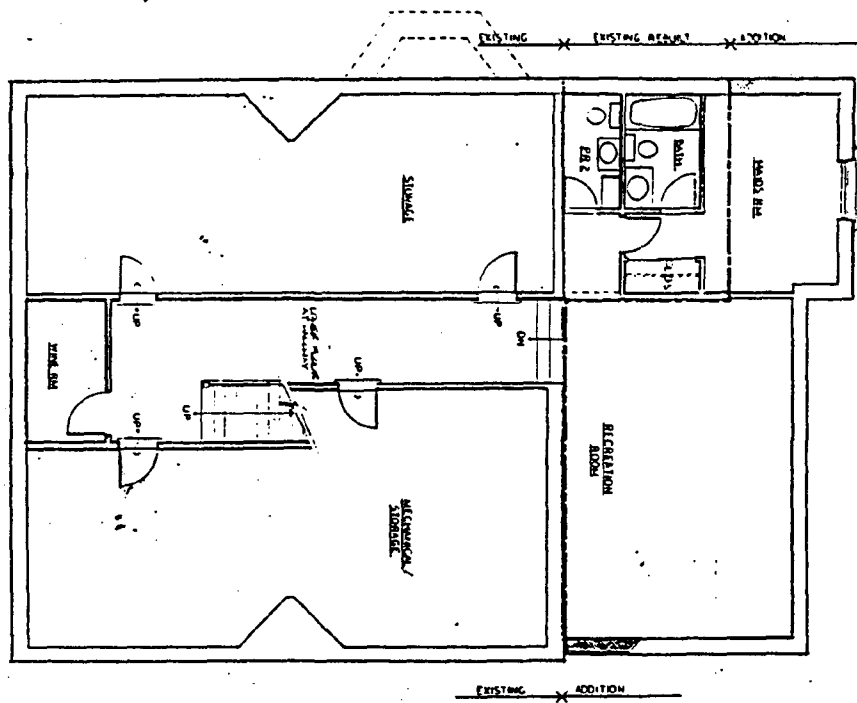
PROJECT NO. 012
DATE
SCALE
DESIGNED BY
CHECKED BY
DATE
PROJECT NO.
DATE
PROJECT NO.
DATE
PROJECT NO.
DATE

THIRD FLOOR PLAN

EXISTING

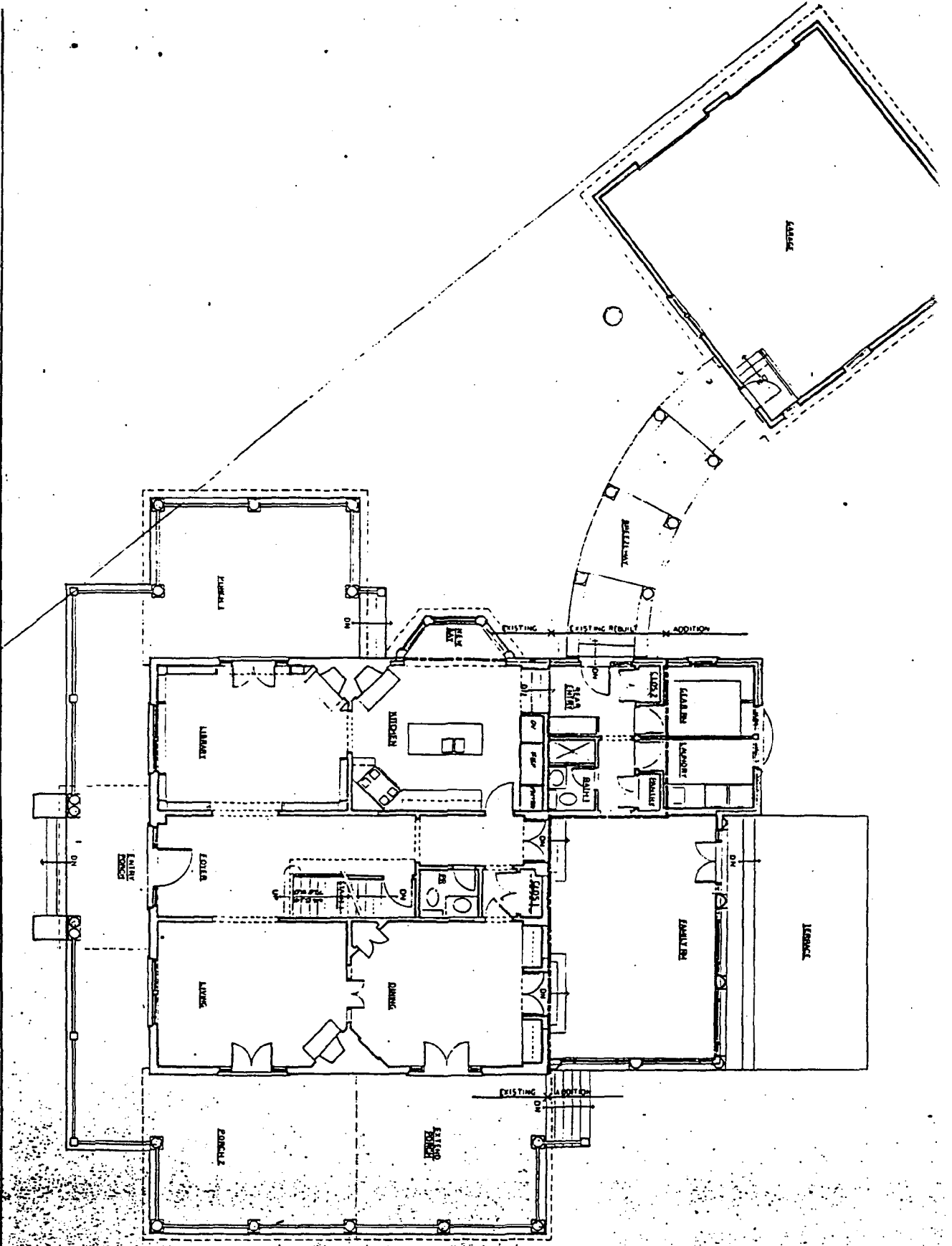
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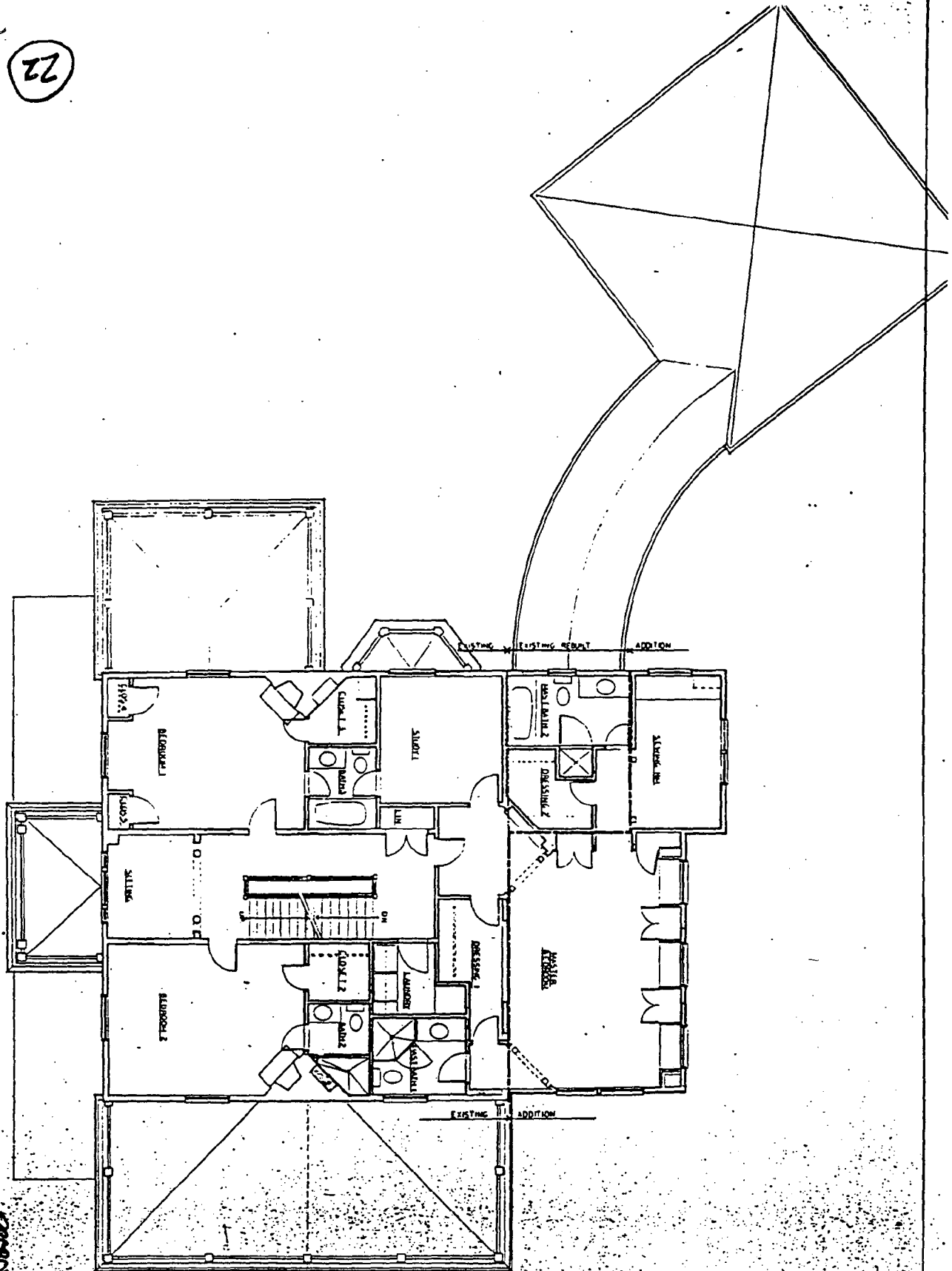
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2



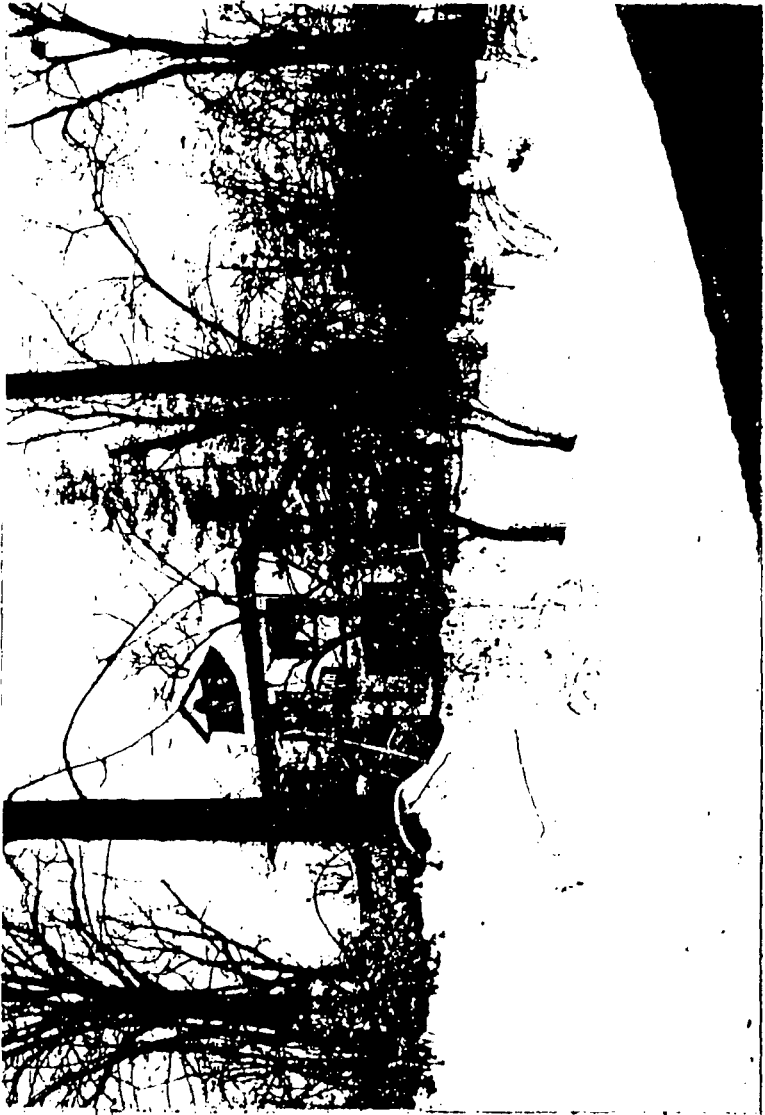
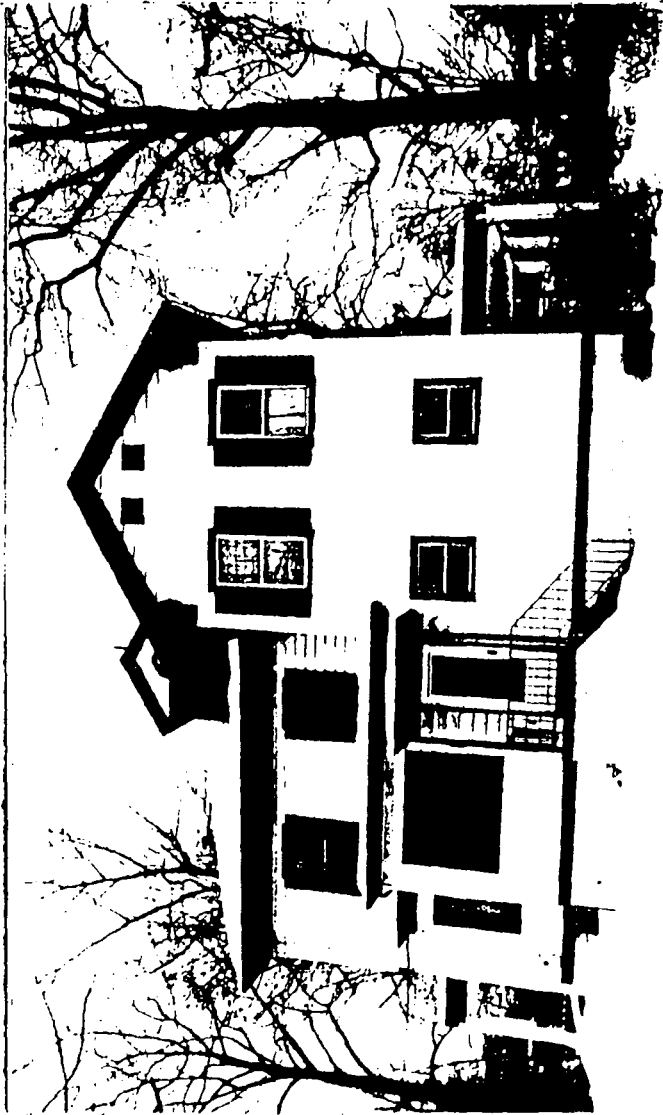
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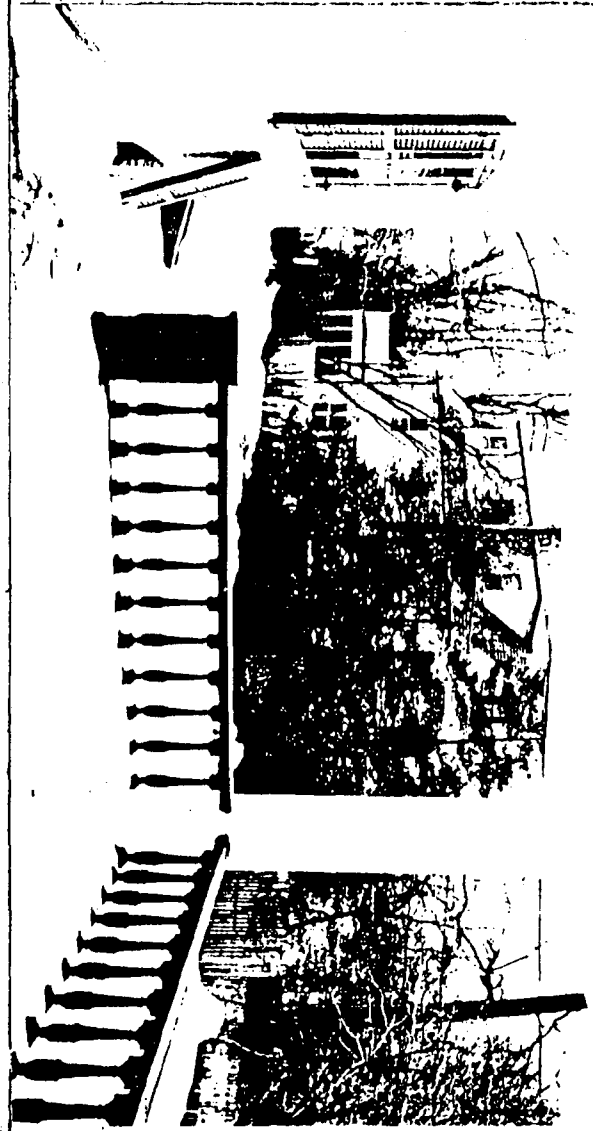
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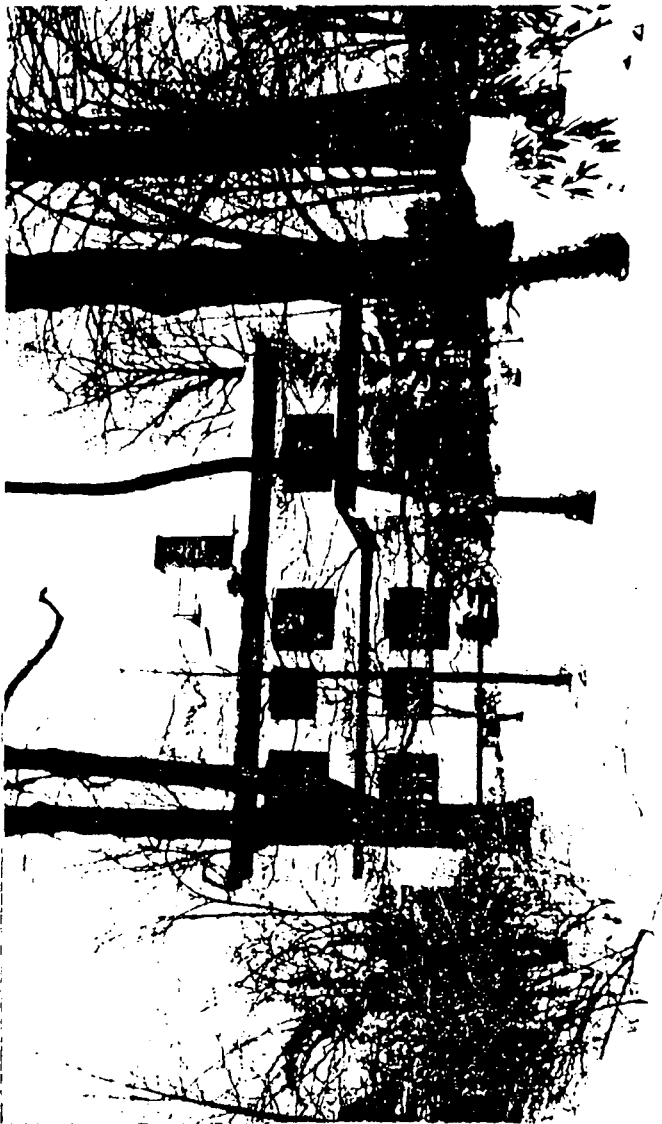
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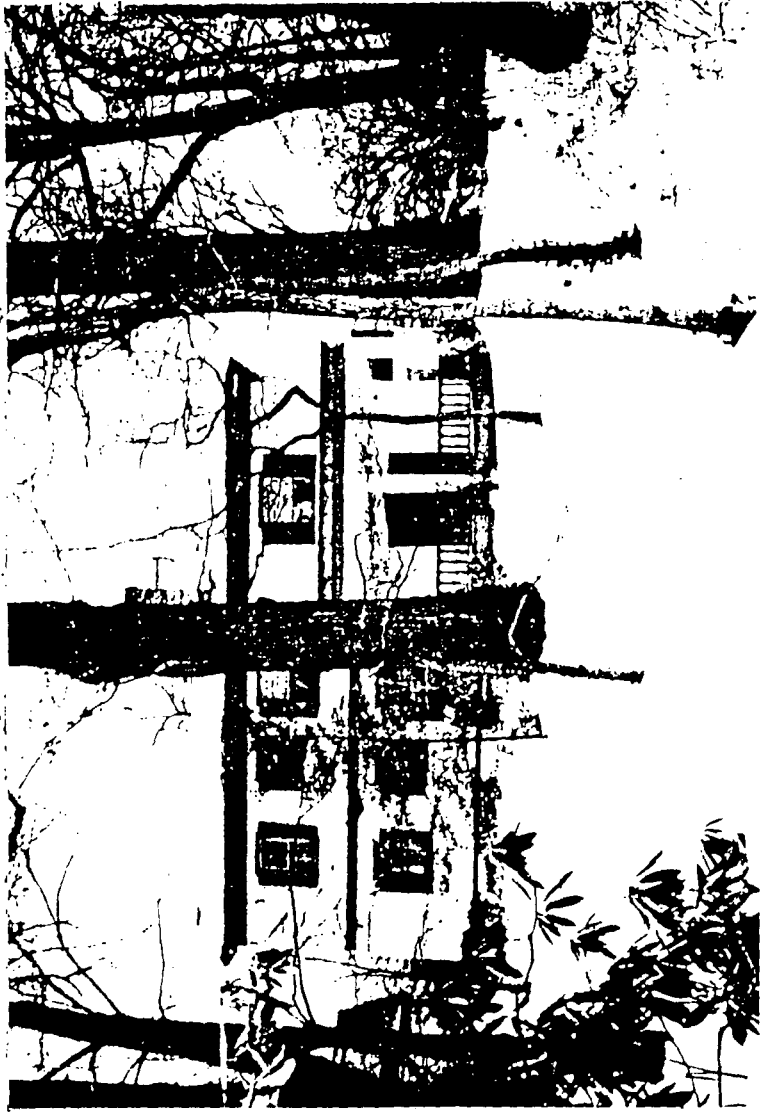












20 February 1996

JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

NAMES & ADDRESSES OF ADJACENT & CONFRONTING
PROPERTY OWNERS:

Allen M. & Harriet B. Fox
8 West Lenox Street
Chevy Chase, MD 20815
(301-913-9446)

Michael C. & Susan R. Gelman
11 West Lenox Street
Chevy Chase, MD 20815
(301-652-1113)

Arthur Chase & Emma Jane Cox
10 Laurel Parkway
Chevy Chase, MD 20815
(301-652-4716)

William & Elayne Bennett
4 Laurel Parkway
Chevy Chase, MD 20815

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9 West Lenox Street

Meeting Date: 3/13/96

Resource: Chevy Chase Village Historic District (Phase One)

Preliminary Consultation

Case Number: N/A

Tax Credit: No

Public Notice: 2/28/96

Report Date: 3/06/96

Applicant: Mr. & Mrs. William Janes/ David Jones AIA, Agent Staff: Patricia Parker

PROPOSAL: Rear addition; garage; front entrance circular driveway; porch alterations

RECOMMEND: Proceed to HAWP with significant revisions

The applicant comes before the HPC to discuss, as a preliminary consultation, several proposed changes - a proposed addition to an existing front/side porch which spans three sides of the house; alteration of the existing porch; a rear addition; construction of a 27' wide x 28' deep garage and covered walkway attached to the main structure; construction of a terrace at the rear; extension of the existing driveway; removal of an existing asphalt driveway and brick walk; removal of aluminum siding; removal of an upper story window; installation of a canted bay window; and construction of a new circular gravel driveway commencing at an existing curb cut located on West Lenox Street. The alterations and addition, as proposed, would alter a property located at the intersection of Laurel Parkway and Lenox Street within the Chevy Chase Village Historic District (Phase One).

Chevy Chase Village is nationally recognized as a prototypical turn-of-the-century streetcar suburb containing some of the earliest houses representative of the area's architectural and developmental heritage.

The house is situated at a very prominent corner, obliquely facing a triangular green space within view of the Chevy Chase Village Town Hall. The house is sited so as to take advantage of views of the open green area and, at the rear, the Chevy Chase Country Club at a distance.

The house's prominent porch wraps around 2-1/2 sides of the house and is visible from both streets. Although mature tree species and substantial shrubbery line the side yards along West Lenox Street and Laurel Parkway, the side, front, and a portion of the rear of the house, as well as the yard, are very visible from public space.

STAFF DISCUSSION

A. Remove existing porch features and replace with wood; extend porch.

The applicant would extend the existing one-story porch two bays farther toward the rear of the house (approximately 18'6") and provide a new stair as access to grade. The new porch would consist of new wood columns, entablature, eave and balustrade.

The applicant also proposes to remove existing porch features and completely replace them with painted wood detailing to lighten the visual effect of the porch. The steps to grade would also be painted wood.

①

At the principal door entrance, the applicant also proposes to construct a new painted wood balustrade with new painted double wood columns, entablature & eaves. On this same elevation, a new painted wood balustrade would be constructed at the porch roof level.

The additions/extension to the porch are consistent with the architecture of the house and could be approved. However, staff is concerned about the applicant's proposal to remove all existing columns and balustrades. It is not clear as to whether the existing porch elements are original or replacement. **If original, they should not be removed or replaced.** In this case, new additions to the porch could be designed to replicate the existing elements. If the columns, balustrades, etc. are **not** original, then there is much more latitude in replacing them.

.The applicant should provide additional documentation on the porch and its original design. If the columns, balustrades, and other features of the porch are original, then they should be retained and renovated

B. Remove existing aluminum siding

The applicant proposes to remove existing aluminum siding which appears as sheathing on the entire structure, repair and paint the stucco on the upper story and paint the existing brick on the first level and below. Staff applauds the applicant for proposing to reverse an incompatible alteration previously made to the structure. Staff recommends approval.

C. Construct two-story rear addition

The applicant proposes to construct a new 400 square foot (approximate) addition at the rear of the structure. The addition would extend 9' further into the rear yard and would appear as a two-story feature across the entire rear facade of the house. Beyond the new addition, the applicant would construct a new terrace which includes three treads to grade.

The addition would use matching materials, and would have a lower roof with composition shingles to match the existing on the upper roof. Roof lines of the addition would be below the roof line of the main block of the house.

On the first floor the addition would include new painted wood single pane french doors with sidelights at each side. The sidelights and transoms above would have true divided light. At this level, the applicant proposes to use brick and to employ painted stucco on the level above. On the upper level, a large opening includes two painted wood windows and shutters, having true divided light in the upper portion of the windows and single pane in the lower portion of the windows.

At the rear of the new addition, three openings appear. In these openings would be double french doors (two leaves) with sidelights and transoms of true divided light. They would be similar to those that appear on the side elevation.

Staff feels that the proposal for a new addition is successful. It is below existing rooflines, indented from the side elevation, recalls features of the existing structure, proposes the use of quality materials, and is of proper scale. Staff recommends approval.

C. Construct separate garage w/ connecting covered walk

Staff discussed the location of the garage and its connected covered walk in detail with the applicant. The applicant's proposal has been designed to meet a Chevy Chase Village code which requires placement of garages at the rear of a property unless the garage is physically connected to the existing structure.

Thus, the Chevy Chase Village law would require the proposed new garage to be placed in the rear of the property if the garage were detached. This placement is problematic from the applicant's viewpoint because it would deprive them of the only available space for totally private use due to the oblique siting of the structure on its property. Therefore, the applicant proposes to remove all existing asphalt paving, now serving as an enlarged driveway, and construct the garage in the side yard with a curving, columned, covered walkway connected to the main structure.

Staff has made a site visit and has observed that the house at 10 Laurel Parkway is located very close to the applicant's rear property line. If a detached garage were to be sited in the rear yard as required by local code, then the private space in the rear yard - which serves this applicant as well as the adjacent property - would be adversely affected..

However, even with the conditions as noted above, staff feels that a detached garage is the only option which is consistent and appropriate with the historic character of the area. The covered walkway, as proposed, is not a feature that is found in late-19th or early-20th century Chevy Chase building styles. Staff can not recommend approval of an "attached garage" even if that attachment is only a narrow, open walkway.

The new garage that is proposed would be one story, painted stucco, hipped roof having composition shingles to match those of the roof of the main structure and two large openings with vertical board doors and glazed transoms above. On the drawings, the transoms are indicated to have true divided light. The design of this garage is appropriate; however, staff strongly feels that it should be fully detached from the existing house.

D. Construct a one-story canted bay addition; remove window; elongate opening.

The application proposes to remove an existing window and in its place install a canted one story bay window approximately 5'6" deep. On the exterior, the bay would start at grade and be confined to the first floor. It would terminate with a new wood balustrade and form the deck for a new elongated window at the upper story. All windows would be true divided light in the upper sash and single pane in the lower sash. At the upper story, painted wood shutters would be installed at either side of the window on the exterior.

Staff feels that although this new bay window feature would be visible from the public right-of-way, it is compatible in size and scale. From the public street, this feature may be partially screened due to existing mature landscape growth. Staff recommends approval.

Staff would encourage the applicant to salvage useable building fabric, such as windows slated for removal and consider donating such materials to Old House Parts for adaptive re-use.

E. Remove existing asphalt driveway; relocate brick pedestrian walk; construct new gravel vehicular circular driveway at front of house.

Although the applicant is proposing removal of a substantial amount of impervious surfacing, they are also proposing a large new circular driveway and a driveway with turnaround at the new garage. Installation of these features will result in little if any net loss in paved surface on the site.

In particular, staff feels that the circular driveway proposal is an incompatible change to the property and would be inconsistent with the Chevy Chase Village Historic District (Phase One). The Secretary of the Interior's Standards state "... Changes that create a false sense of historical development, such as adding conjectural features or architectural elements

from other buildings, shall not be undertaken." The large new circular drive will add a sense of monumentality to the house which it, in all likelihood, never had. Staff feels that this aspect of the project should be rethought.

At the time of HAWP submittal, staff would remind the applicant to include a landscape plan indicating any tree removal, tree replanting, and the use of alternative paving materials such as pavers, etc. if these features are a part of the proposal.

STAFF RECOMMENDATION

Staff feels that this application could be approved as a Historic Area Work Permit if several major changes are made:

1. The applicant should provide additional documentation on the porch and its original design. If the columns, balustrades, and other features of the porch are original, then they should be retained and renovated.
2. The new garage should be fully detached from the existing house, without a new attached, covered walkway.
3. The large new circular drive should be deleted or redesigned to not create a false sense of monumentality to the house which it, in all likelihood, never had.

Finally, the applicant should be applauded for choosing to reverse several incompatible changes to the property, such as the artificial siding. The final application should provide dimensioned drawings with materials indicated and landscape plans as part of the HAWP submission.

21 February 1996

Historic Preservation Commission
c/o Ms. Patricia E. Hayes Parker
Historic Preservation Planner
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Janes Residence
9 West Lenox Street
Chevy Chase, MD 20815

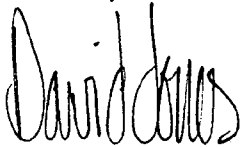
Ladies and Gentlemen,

On behalf of my clients, Mr. & Mrs. William Janes, I request a preliminary consultation with the Historic Preservation Commission at your March 13th meeting regarding proposed plans for above property.

Enclosed are sets of the following drawings: site plan, floor plans and elevations of the existing house, and site plan, floor plans and elevations of the proposed alterations and additions. A list of the adjacent and confronting property owners is attached. I understand that Ms. Parker has one set of exterior photographs of the existing house which I left with her at our meeting last week.

I look forward to the opportunity to discuss Mr. & Mrs. Janes's plans with the Commission.

Sincerely,

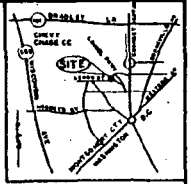


David Jones AIA

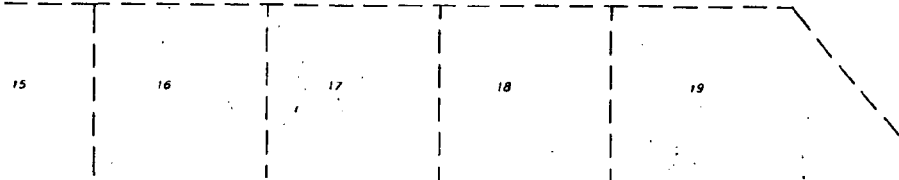
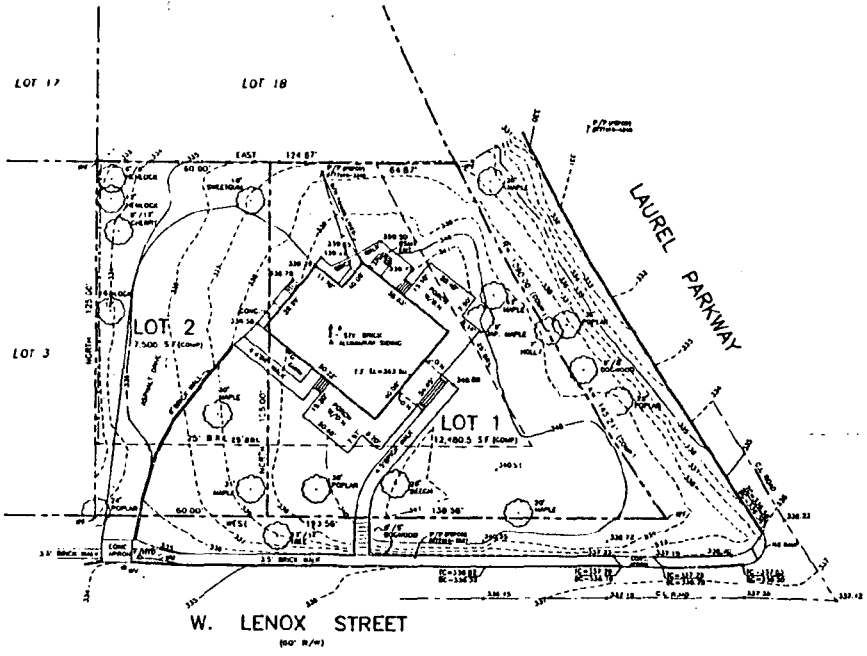
enclosures

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VICINITY MAP
SCALE: 1" = 2000'

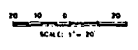


EXISTING

LEGEND

- BUILT UP
- UNBUILT
- TREE
- POLE
- HIGH POINT
- ELEVATION POINT
- ELEVATION
- BENCH MARK
- SPOT ELEVATION

(9)



NO.	DESCRIPTION	REVISIONS	NAME	DATE

DRAWN	
CHECKED	
SCALE	1" = 20'

BETHESDA ENGINEERS & SURVEYORS, INC.
4424 MONTGOMERY AVENUE
BETHESDA, MARYLAND 20814
TEL: 301 452 7007 FAX: 301 452 1133

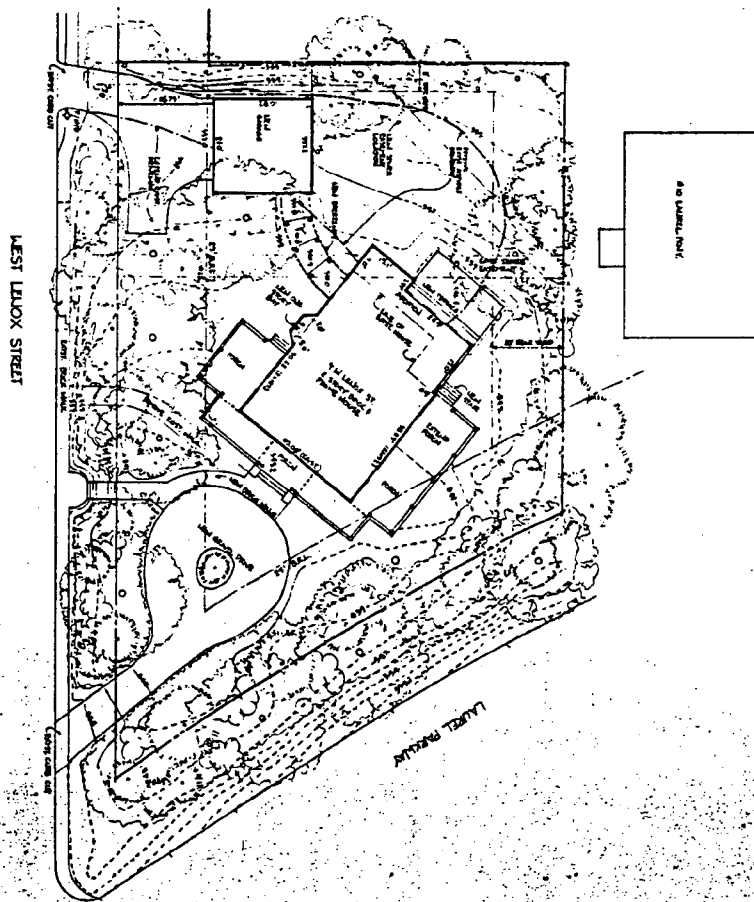
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SHEET	
NUM NO.	95-103

TITLE: TOPOGRAPHIC SURVEY
LOTS 1 & 2 BLOCK 42
CHEVY CHASE
SECTION No. 2
MONTGOMERY COUNTY, MARYLAND

DATE	DEC. 1993
SHEET	
NUM NO.	95-103

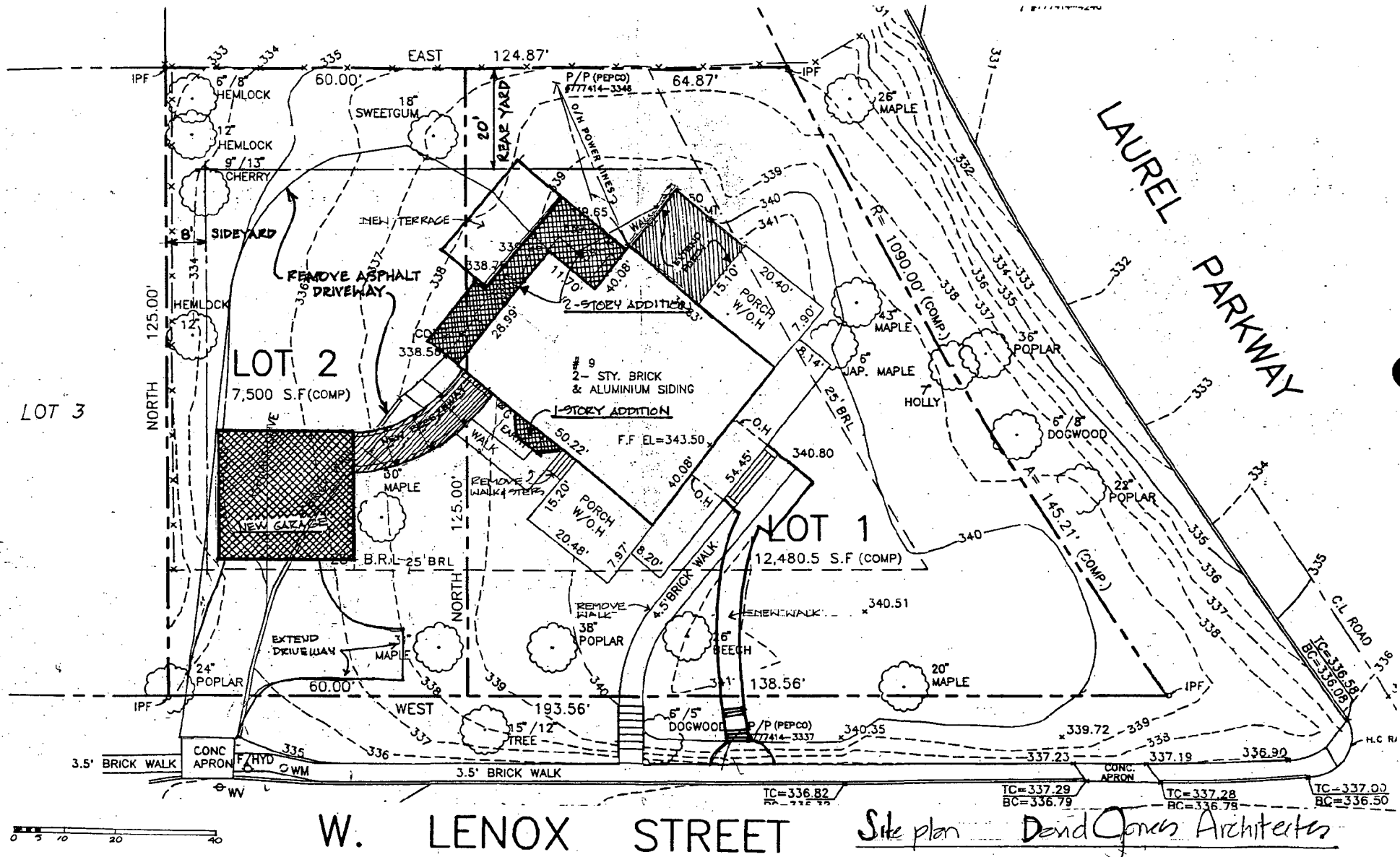


7



Proposed

	<p>JANES RESIDENCE 17 WEST LENOX STREET CHEVY CHASE MARYLAND</p>	<p>SITE PLAN SCALE: 1/4" = 1'-0"</p>	<p>DATE: 1/25/00</p>	<p>DAVID JONES ARCHITECTS 1720 CONNECTICUT AVE. NW WASHINGTON, DC 20006-3000</p>
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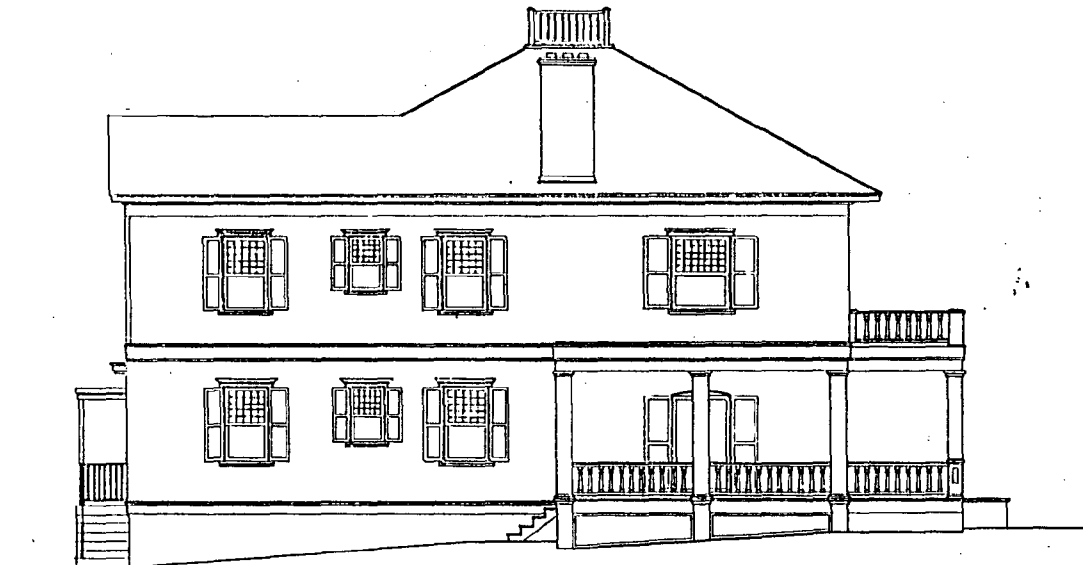


8



SOUTHEAST ELEVATION

1/4"=1'-0"



SOUTHWEST ELEVATION

1/4"=1'-0"

JOHN S. SAFFERTON
ASSOCIATES
ARCHITECTS & PLANNERS
1000 W. WASHINGTON ST. #100
BETHESDA, MARYLAND 20814
(301) 414-1100

THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

SOUTHEAST
ELEVATION
SOUTHWEST
ELEVATION

PROJECT NO. 4818

REVISIONS

SCALE

AS NOTED

DATE 07-18-88

CHECKED BY A.J.B.

DRAWN BY A.J.B.

WORKING NO.

A-5

SHEET NO.

EXISTING

6



NORTHWEST ELEVATION

1/4"=1'-0"



NORTHEAST ELEVATION

1/4"=1'-0"

EXISTING

JOHN S. SAAPERTON
ASSOCIATES
ARCHITECTS
1100 WEST LEXINGTON AVENUE
ANNAPOLIS, MARYLAND 21403
PHONE 410-261-1111
FAX 410-261-1112

THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

NORTHWEST
ELEVATION
NORTHEAST
ELEVATION

PROJECT NO.	9516
REVISIONS	
SCALE	AS NOTED
DATE	07-15-95
DRAWN BY	J.S.S.
CHECKED BY	K.L.R.
DATE	
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10



Jones Residence

Front Elevation

David Jones Architects

0 1 2 3 4 5 10 20

PROPOSED

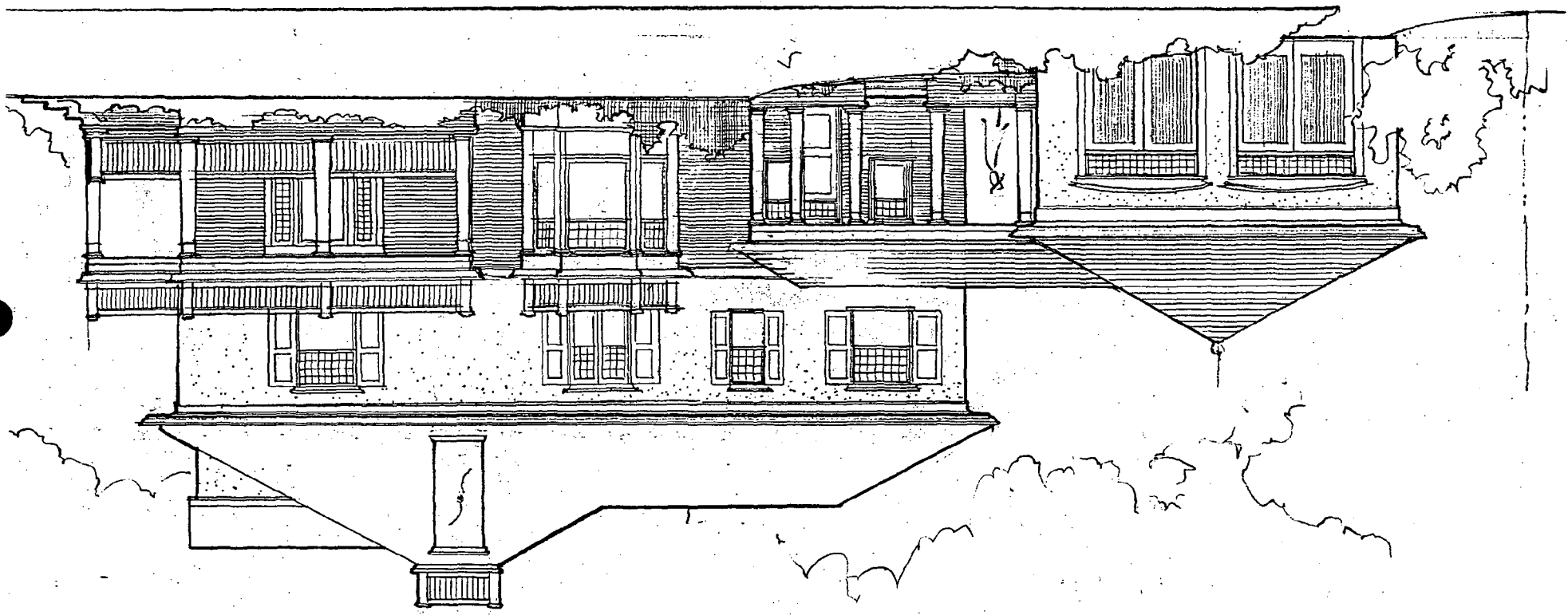
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PROPOSED

0 10 20
feet

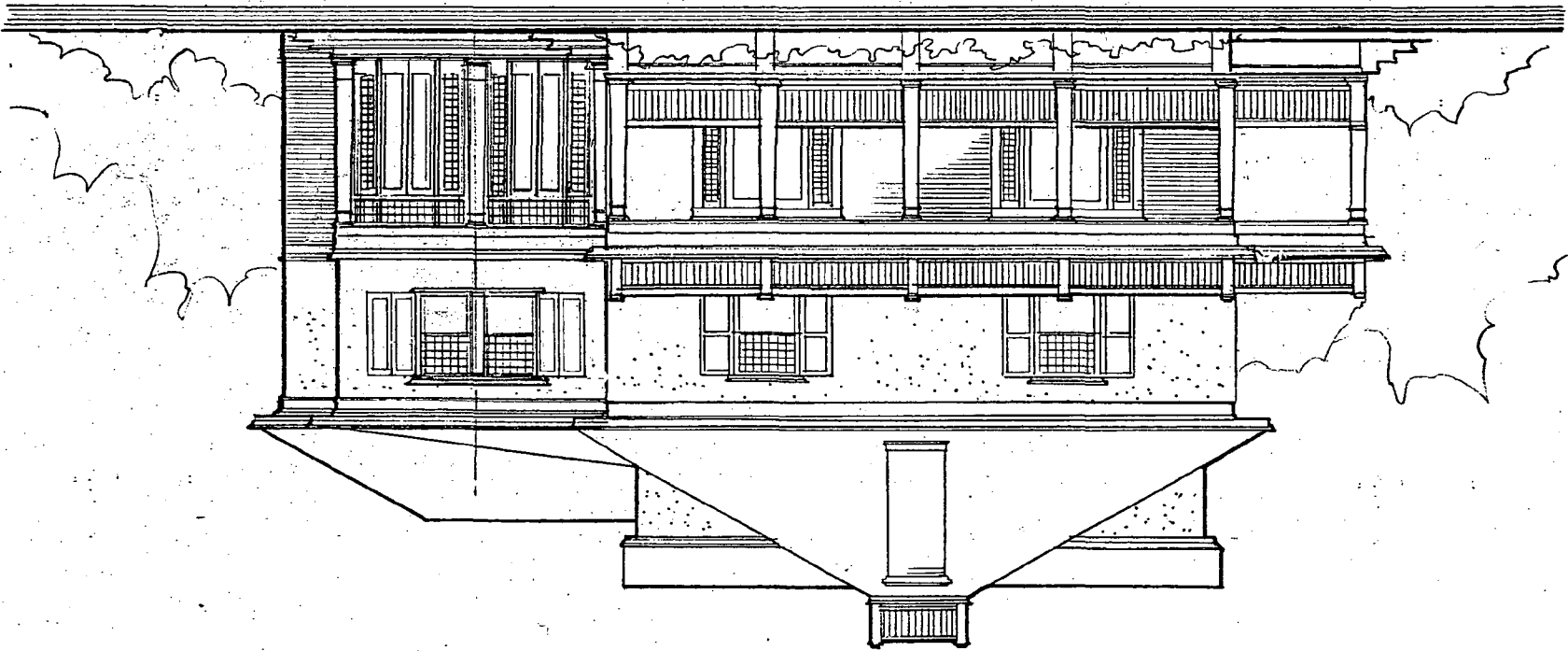
JAMES RESIDENCE — W. LENOX STREET Elevation — David Julius Architects



PROPOSED

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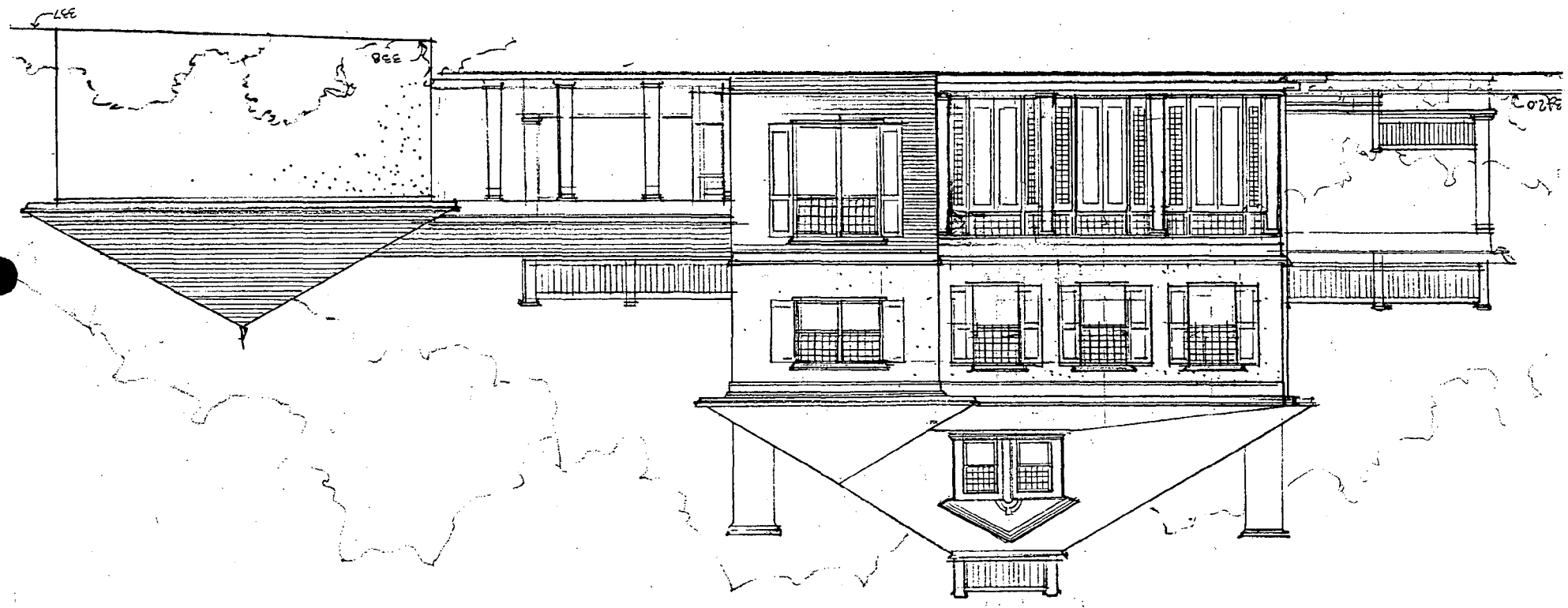
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David Lynn Architects
David Lynn Architects

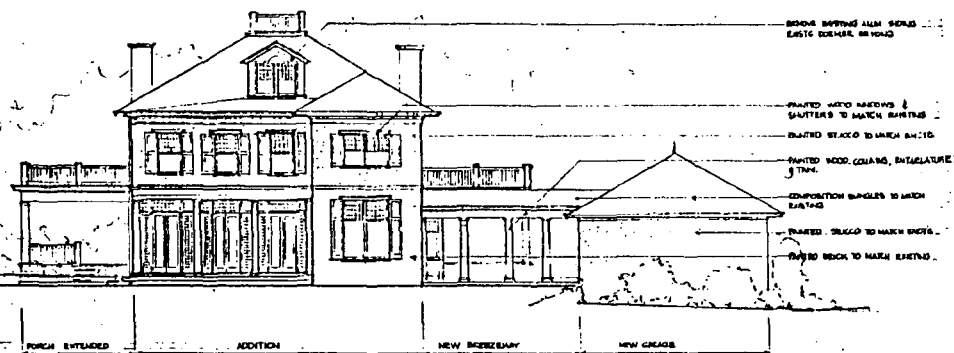


PROPOSED

DATE: 10/10/20

David Jones Architects 2.5.20
Garden Station
Davis Residence

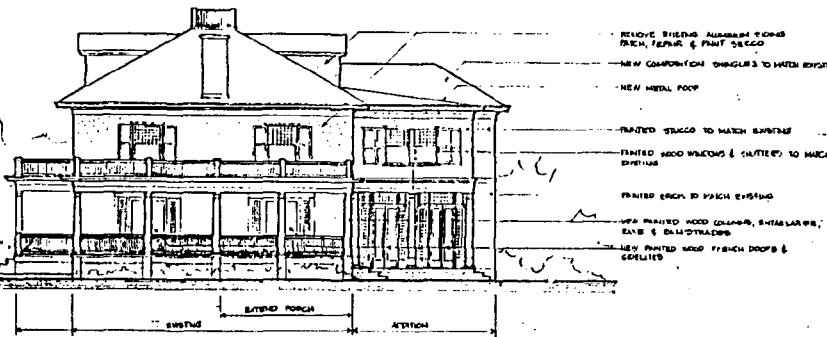




REAR ELEVATION



FRONT ELEVATION



LAUREL RAILWAY ELEVATION



WEST LENOX STREET ELEVATION

PROPOSED

DAVID JONES ARCHITECTS
1705 COMMERCIAL AVE. #100 WASHINGTON DC 20004-2028

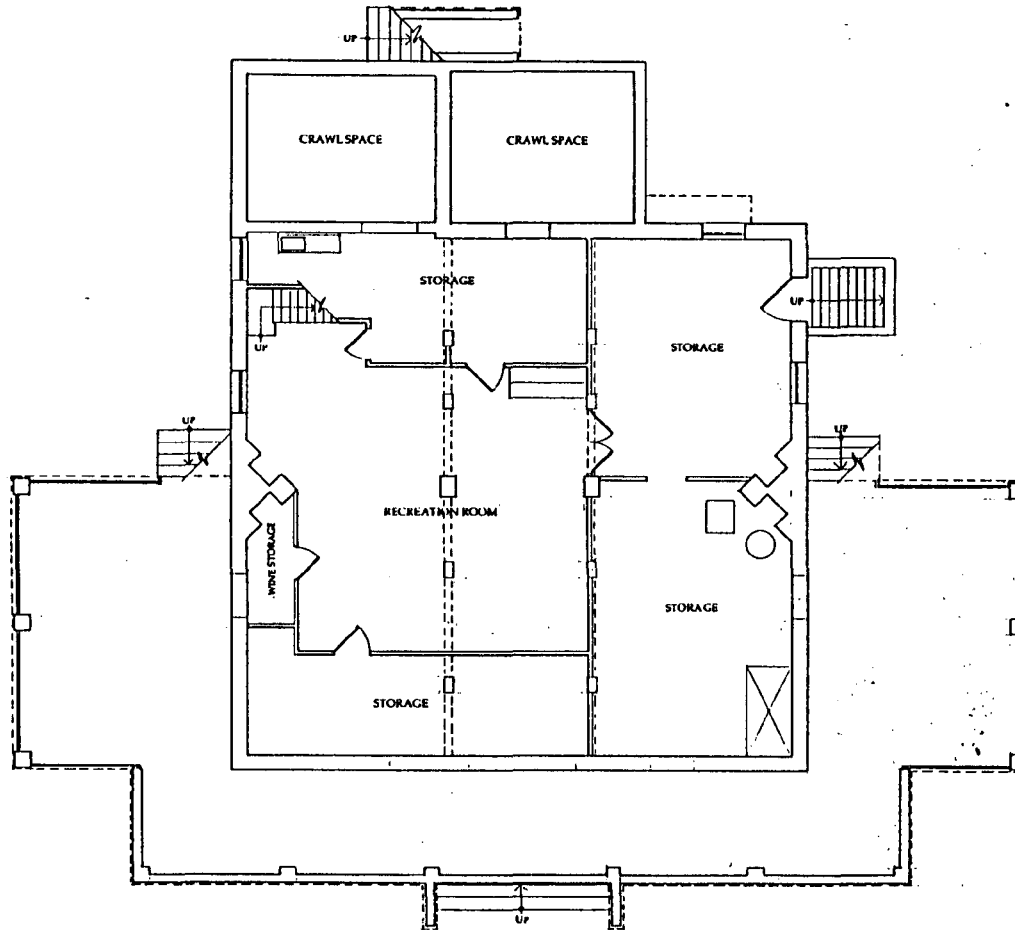
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ELEVATIONS

JAMES RESIDENCE
10 WEST LENOX STREET
CHEVY CHASE, MARYLAND

5

15



BASEMENT FLOOR PLAN

1/4"=1'-0"

91



EXISTING

JOHN S. SAVERTON
ASSOCIATES
ARCHITECTS & PLANNING CONSULTANTS
10000 W. VALENTINE BLVD. SUITE 100
DORTCH, MARYLAND 20741
(301) 271-0011
FAX: (301) 271-0010

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

BASEMENT
FLOOR PLAN

PROJECT NO.: 8518

REVISIONS

NO.

DATE

SCALE

DATE: 07-18-06

DESIGNED BY: J.S.S.

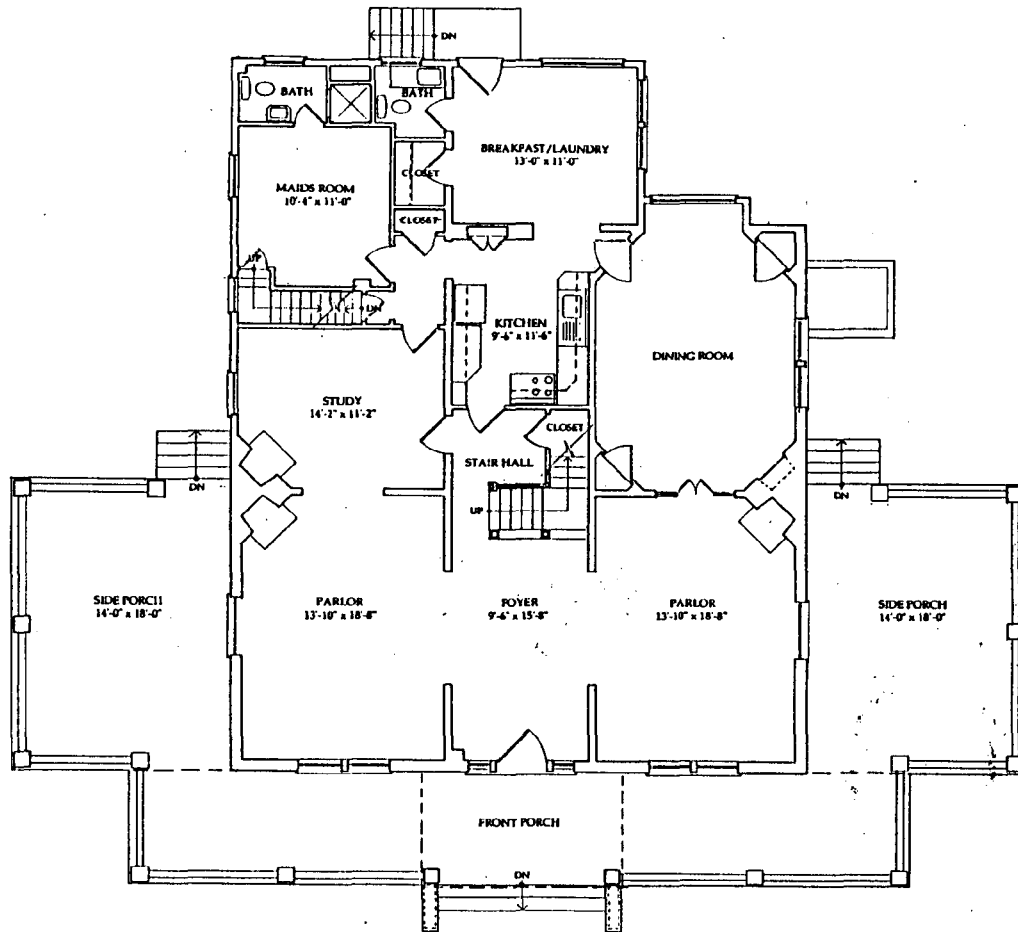
CHECKED BY: J.S.S.

DATE: 07-18-06

PROJECT NO.

A-17

SHEET NO.



FIRST FLOOR PLAN

1/4"=1'-0"

EXISTING

JOHN S. SAMPERTON
ASSOCIATES
ARCHITECTS AND PLANNING CONSULTANTS
1400 KENNEDY AVENUE, SUITE 100
BETHESDA, MARYLAND 20814
(301) 417-0000

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

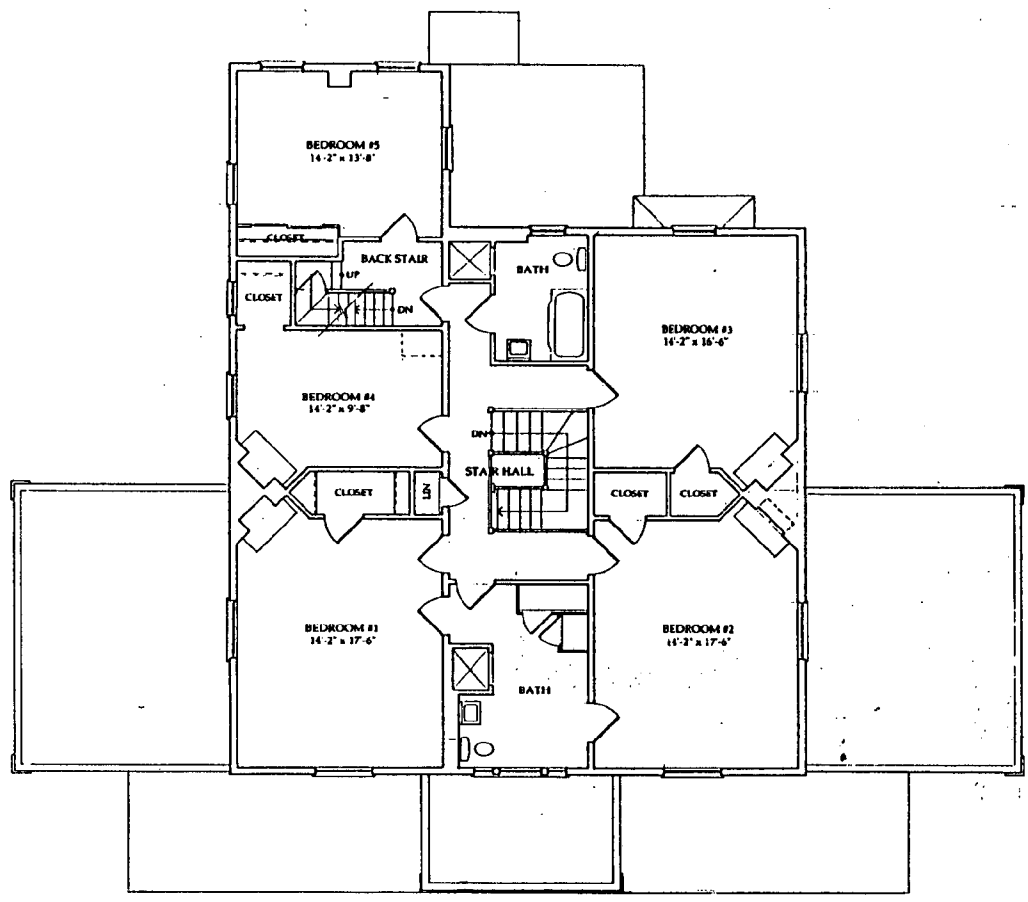
FIRST
FLOOR PLAN

PROJECT NO.	9216
REVISIONS	
DATE	09-15-50
DESIGNED BY	J.S.S.
DRAWN BY	M.A.S.
CHECKED BY	
DATE	
PROJECT NO.	
SHEET NO.	A-2

17

18

JOHN S. SANPINGTON
ASSOCIATES
ARCHITECTS PLANNERS ENGINEERS
10000 WOODBURN ROAD
BETHESDA, MARYLAND 20814
301-453-1100



THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

SECOND FLOOR PLAN

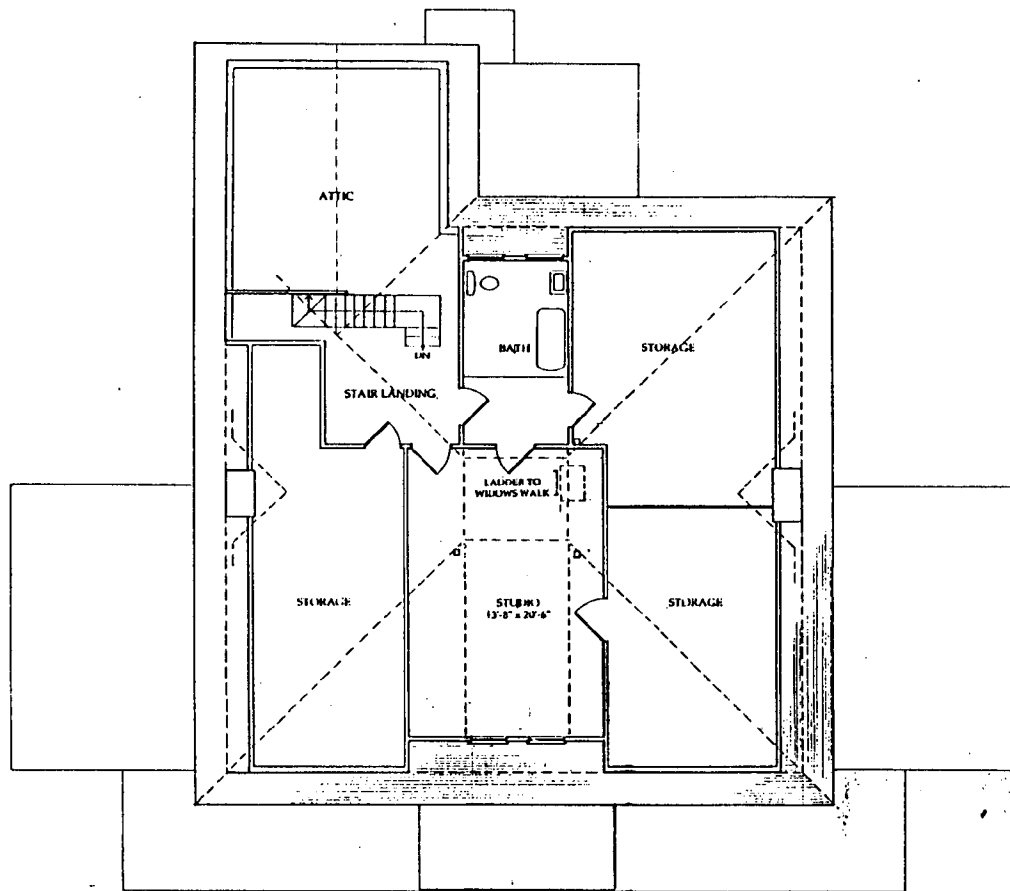
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DRAWN BY	SLD
DATE	
PROJECT NO.	A-3

EXISTING

SECOND FLOOR PLAN
1/4"=1'-0"

18

2



THIRD FLOOR PLAN

EXISTING

JOHN S. SASPERTON
ASSOCIATES
ARCHITECTS

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

THIRD
FLOOR PLAN

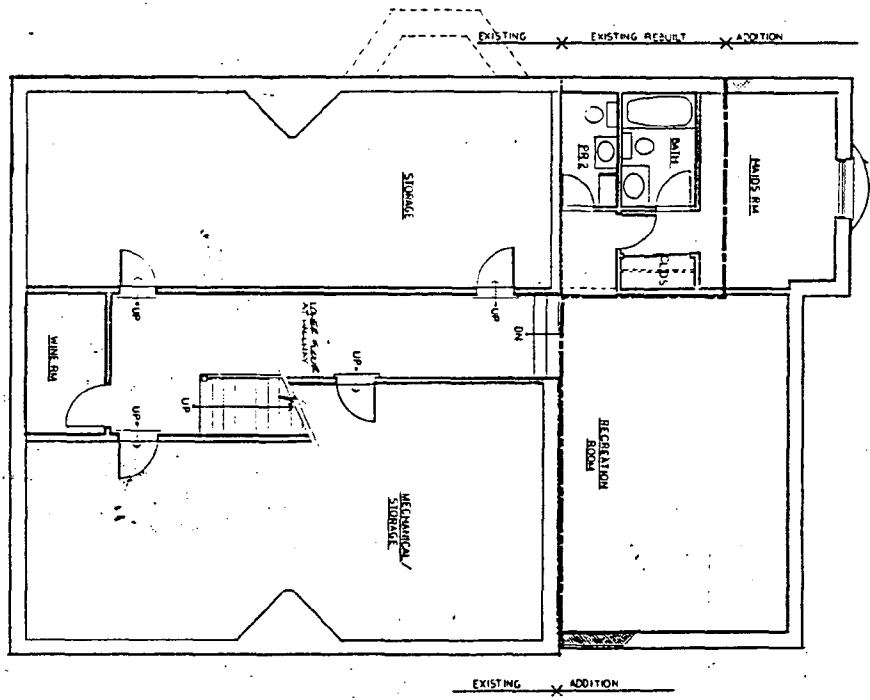
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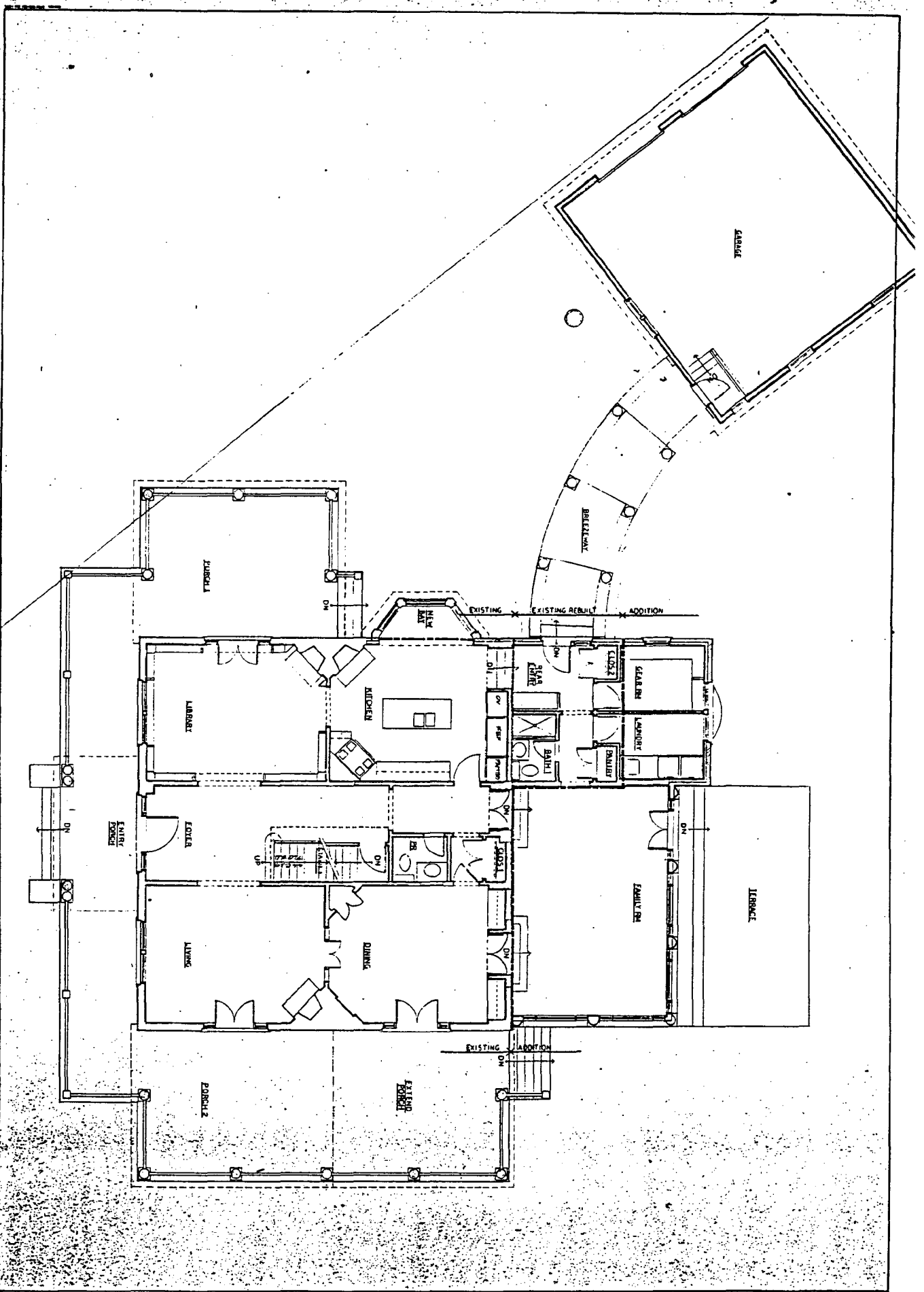
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Proposed

	<p>JONES RESIDENCE 15 WEST LENOX STREET CHELY CHASE MARYLAND</p>	<p>BASEMENT PLAN SCALE</p>	<p>DATE 2/11/11</p>	<p>DAVID JONES ARCHITECTS 1779 CONNECTICUT AVE, NW WASHINGTON, DC 20007-2033-1200</p>
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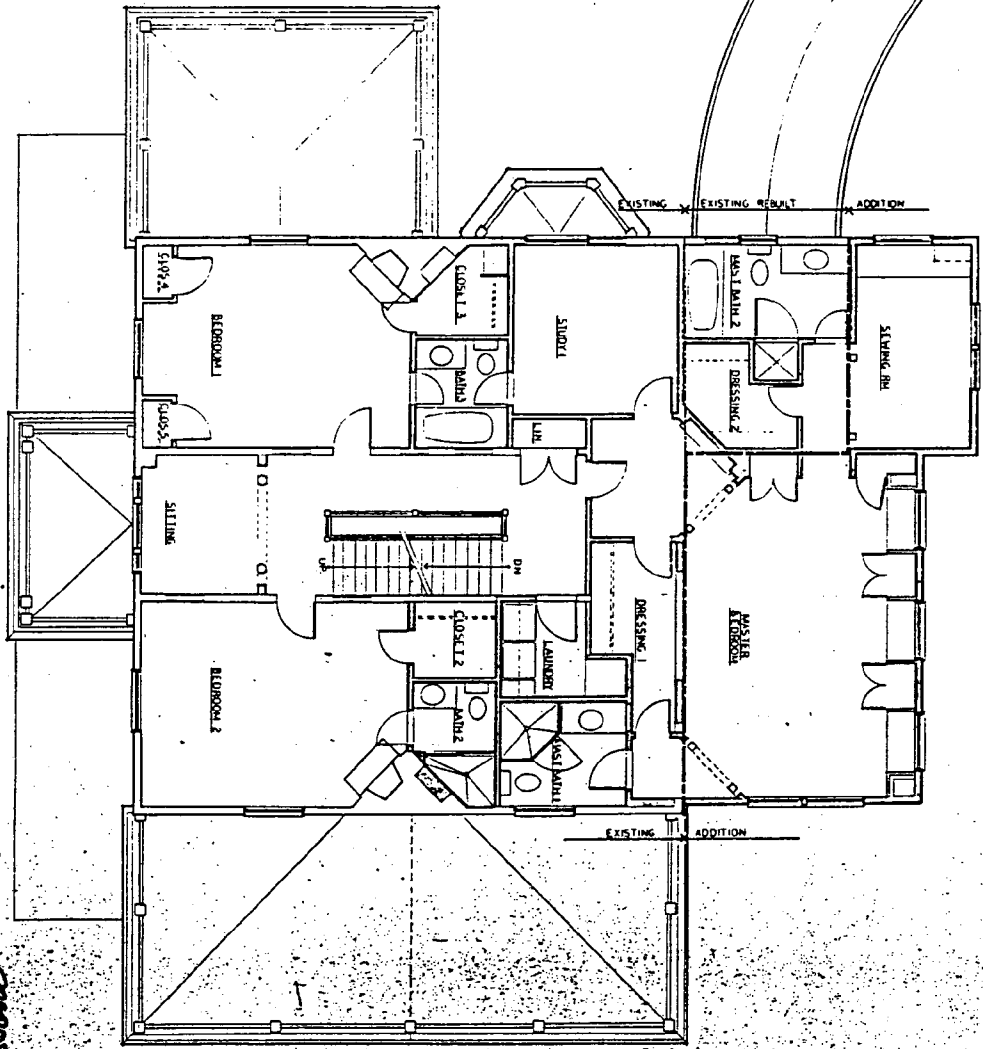
12



PROPOSED

22

22



PROPOSED

22

JAMES RESIDENCE
 5 WEST LENOX STREET
 CHEVY CHASE, MARYLAND

SECOND FLOOR PLAN
 SCALE 1/8" = 1'-0"

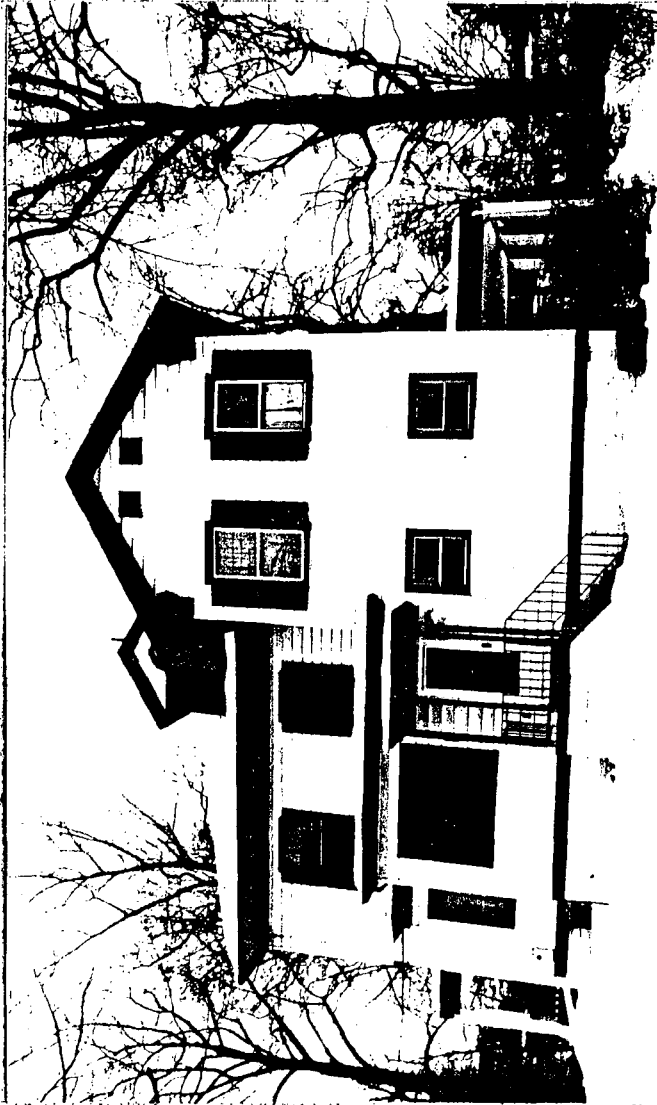
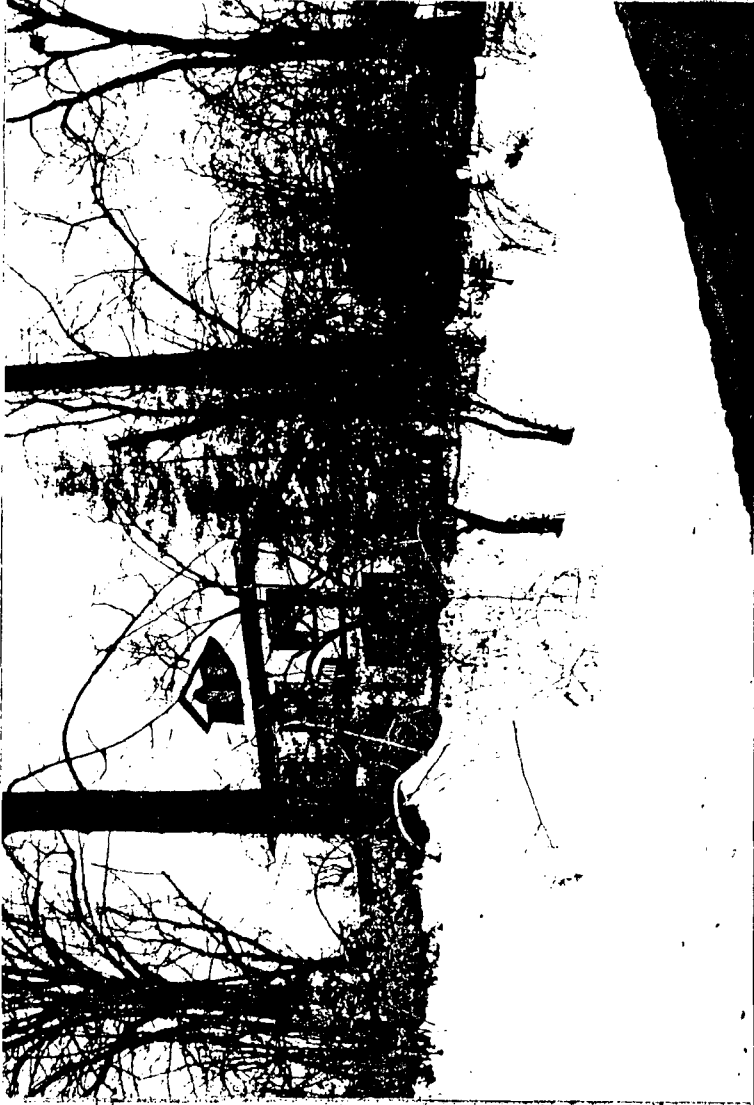
DATE: 10/10/08
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DAVID JONES ARCHITECTS
 1701 CONNECTICUT AVE. NW WASHINGTON, DC 20009-3030



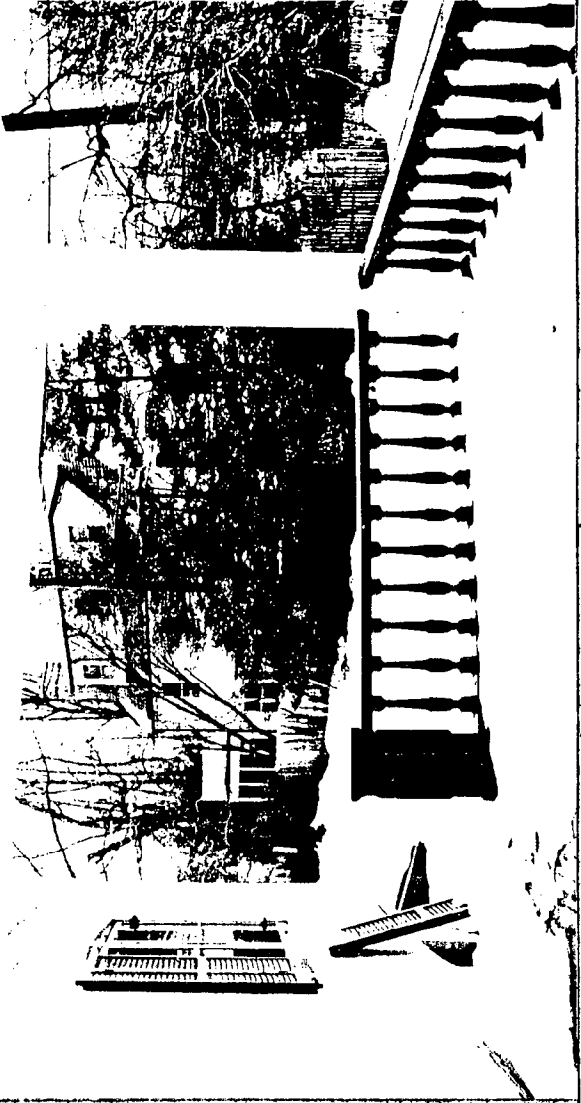
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42

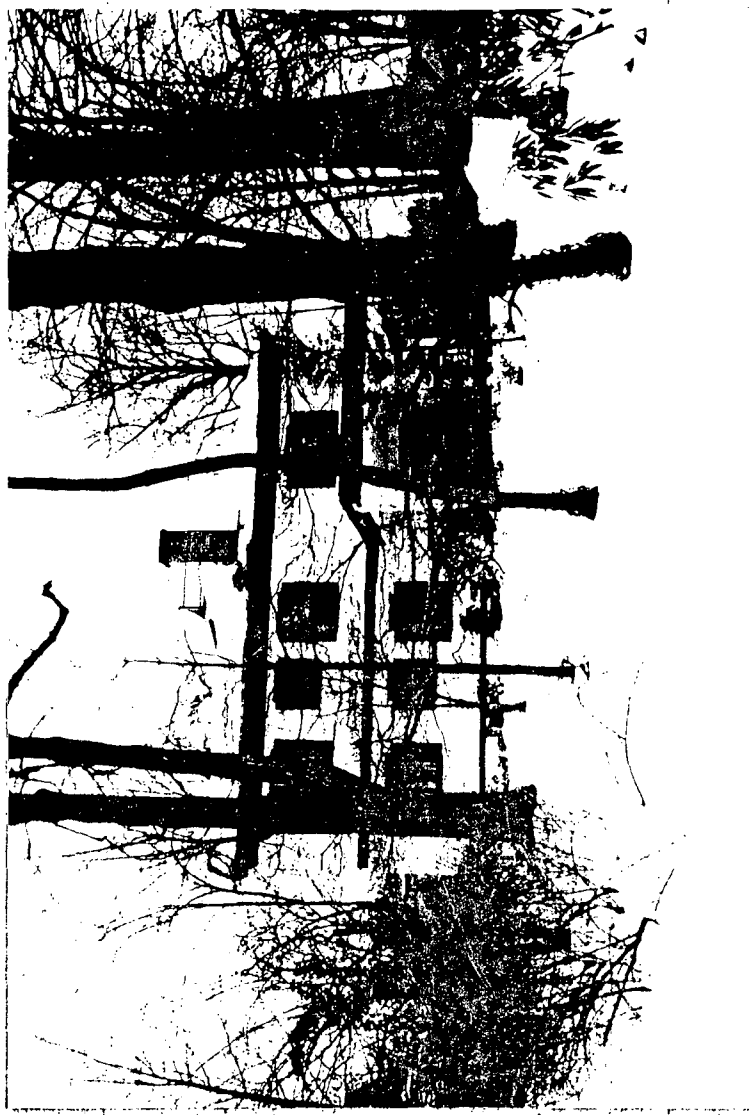


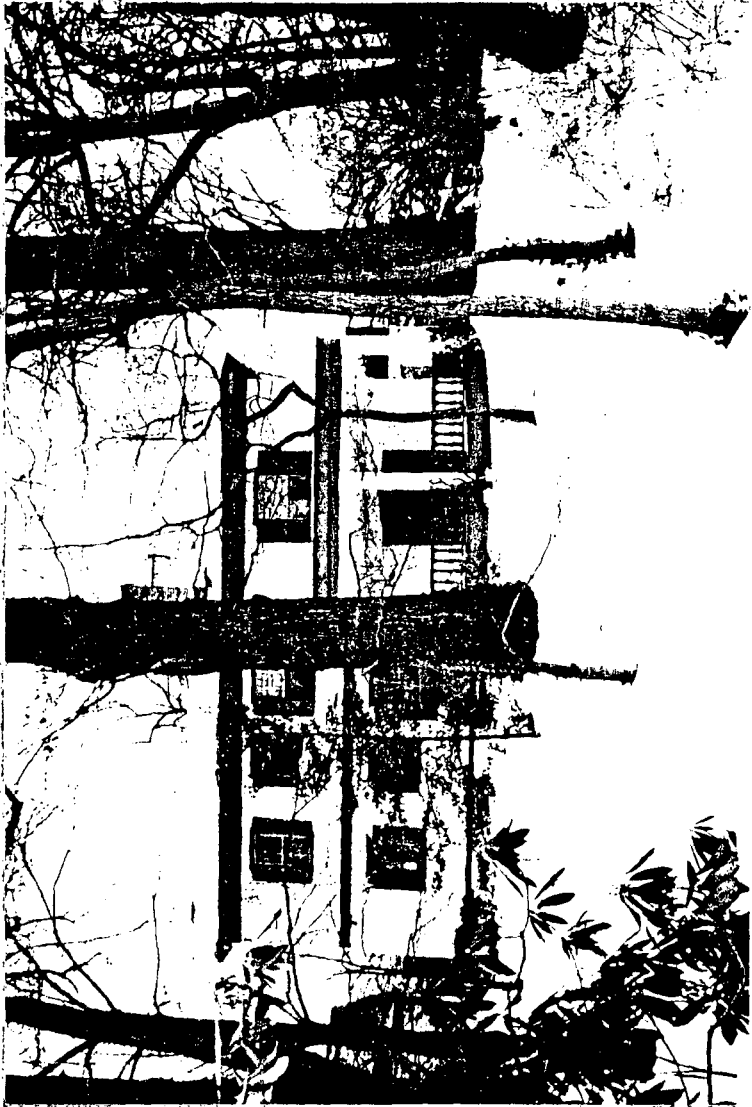
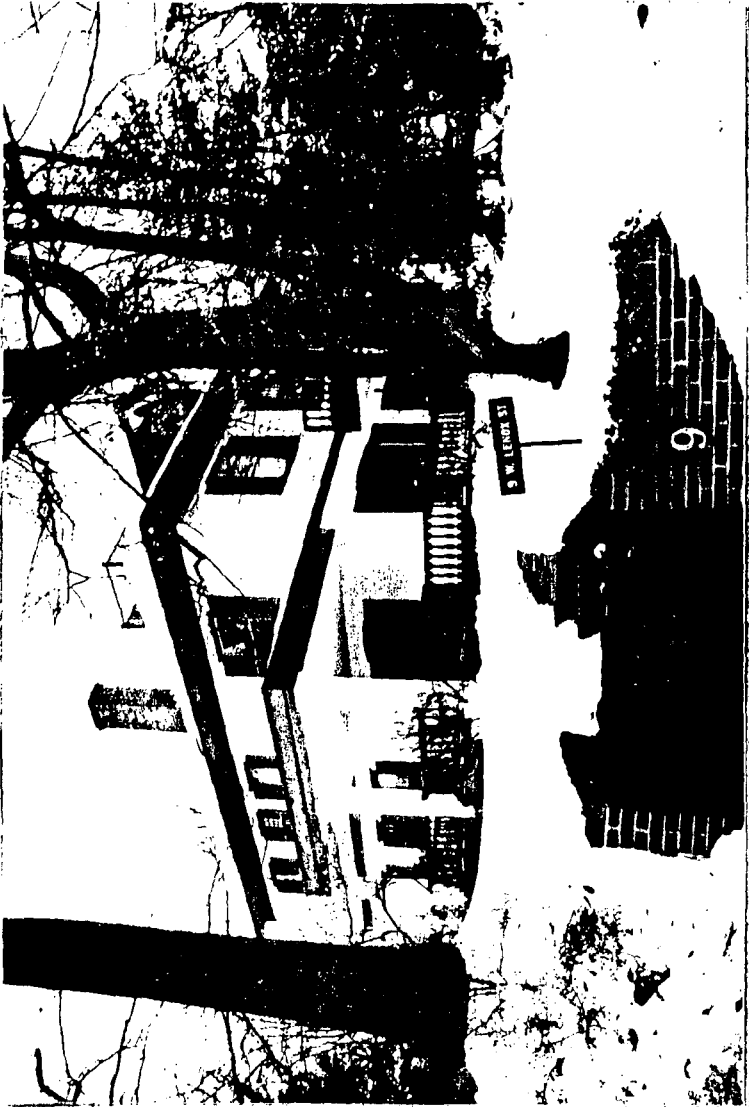


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77





82

20 February 1996

JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

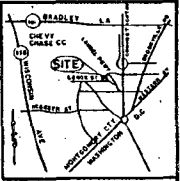
NAMES & ADDRESSES OF ADJACENT & CONFRONTING
PROPERTY OWNERS:

Allen M. & Harriet B. Fox
8 West Lenox Street
Chevy Chase, MD 20815
(301-913-9446)

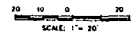
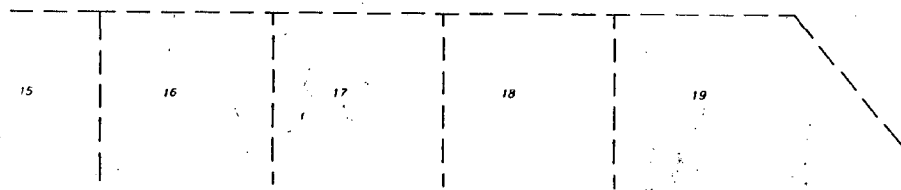
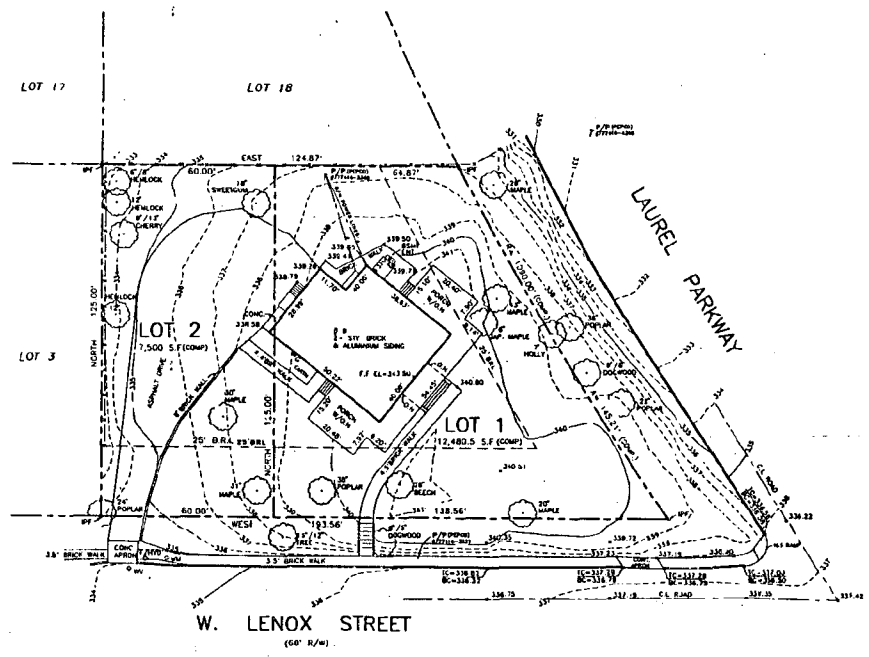
Michael C. & Susan R. Gelman
11 West Lenox Street
Chevy Chase, MD 20815
(301-652-1113)

Arthur Chase & Emma Jane Cox
10 Laurel Parkway
Chevy Chase, MD 20815
(301-652-4716)

William & Elayne Bennett
4 Laurel Parkway
Chevy Chase, MD 20815



VICINITY MAP
SCALE: 1" = 800'



- LEGEND**
- ⊗ WATER MARK
 - WOOD MARK
 - TREE MARK
 - ⊕ WELP MARK
 - ⊕ PERFECT POWER POLE
 - FENCE
 - BOUNDARY LINE
 - ⊕ BENCH PIPE FOUND

NO.	DESCRIPTION	NAME	DATE

REVISIONS	NAME	DATE

DRAWN
DESIGNED
CHECKED
SCALE 1" = 20'

BETHESDA ENGINEERS & SURVEYORS, INC.
4424 MONTGOMERY AVENUE
BETHESDA, MARYLAND 20814
1 301 654-7017 454 "RUR" (1111)

TITLE: **TOPOGRAPHIC SURVEY**
LOTS 1 & 2 BLOCK 42
CHEVY CHASE
SECTION NO. 2
MONTGOMERY COUNTY, MARYLAND

DATE: DEC. 1995
JOB NO.: 95-103



NORTHWEST ELEVATION

1/4"=1'-0"



NORTHEAST ELEVATION

1/4"=1'-0"

JOHN S. SMIFERTON
ASSOCIATES
ARCHITECTS & PLANNING CONSULTANTS
1000 W. BAY AVENUE, SUITE 400
ANNAPOLIS, MARYLAND 21403
(410) 291-1111

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

NORTHWEST
ELEVATION
NORTHEAST
ELEVATION

PROJECT NO. 4516
ANNAPOLIS, MARYLAND

SCALE: AS NOTED

DATE: 07-15-95

CHECKED BY: S.A.R.

DRAWN BY: M.A.R.

ARCHITECT NO. A-6

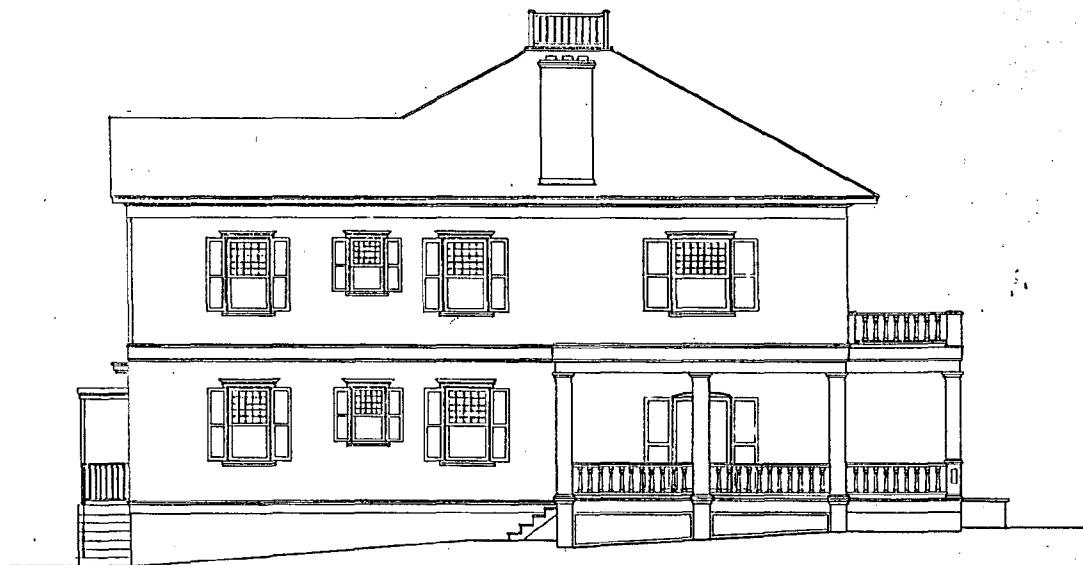
DATE: 07-15-95

PROJECT NO. 4516

ANNAPOLIS, MARYLAND



SOUTHEAST ELEVATION
1/4"=1'-0"



SOUTHWEST ELEVATION
1/4"=1'-0"

JOHN S. SAAPERTON
ASSOCIATES
ARCHITECTS AND CONSULTANTS

REGISTERED PROFESSIONAL ARCHITECTS
STATE OF MARYLAND
LICENSE NO. 10020
1100 W. LENOX STREET
CHEVY CHASE, MARYLAND 20815

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

SOUTHEAST
ELEVATION
SOUTHWEST
ELEVATION

PROJECT NO. 4-818

REVISIONS

SCALE
1/4" = 1'-0"

DATE: 01-18-93

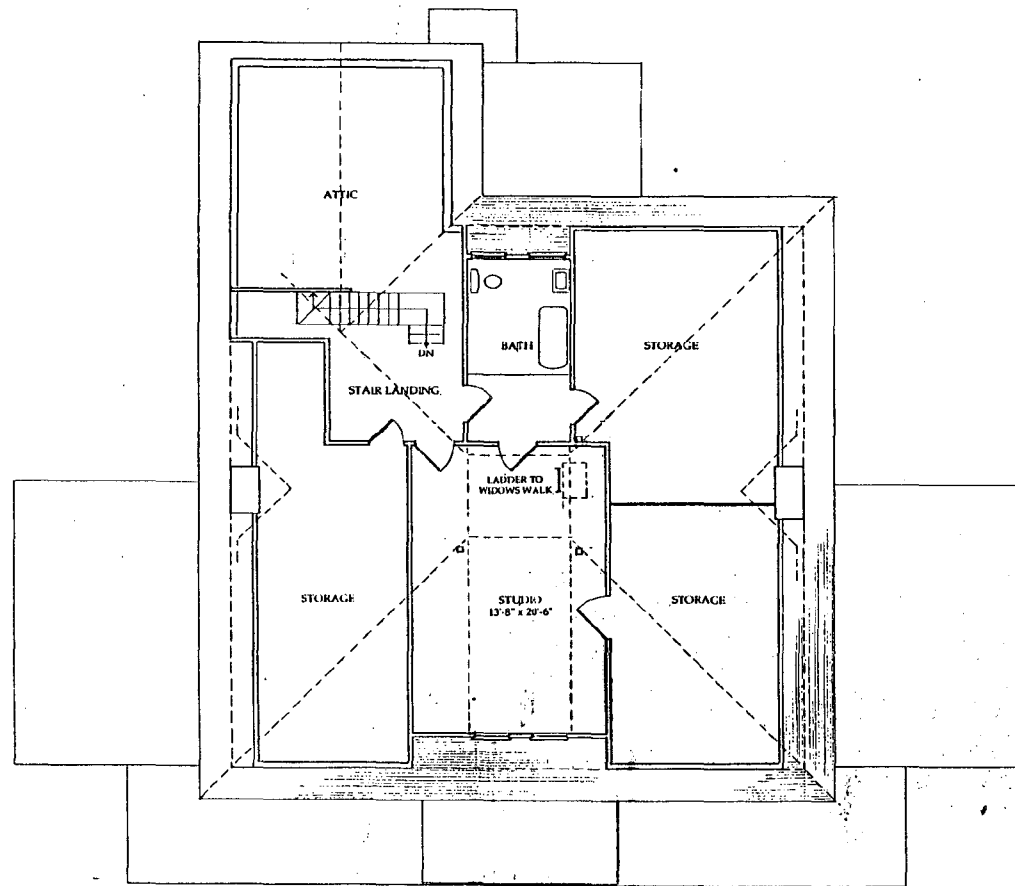
CHECKED BY: J.S.B.

DRAWN BY: R.L.C.

DRAWING NO.

A-5

SHEET NO. 01



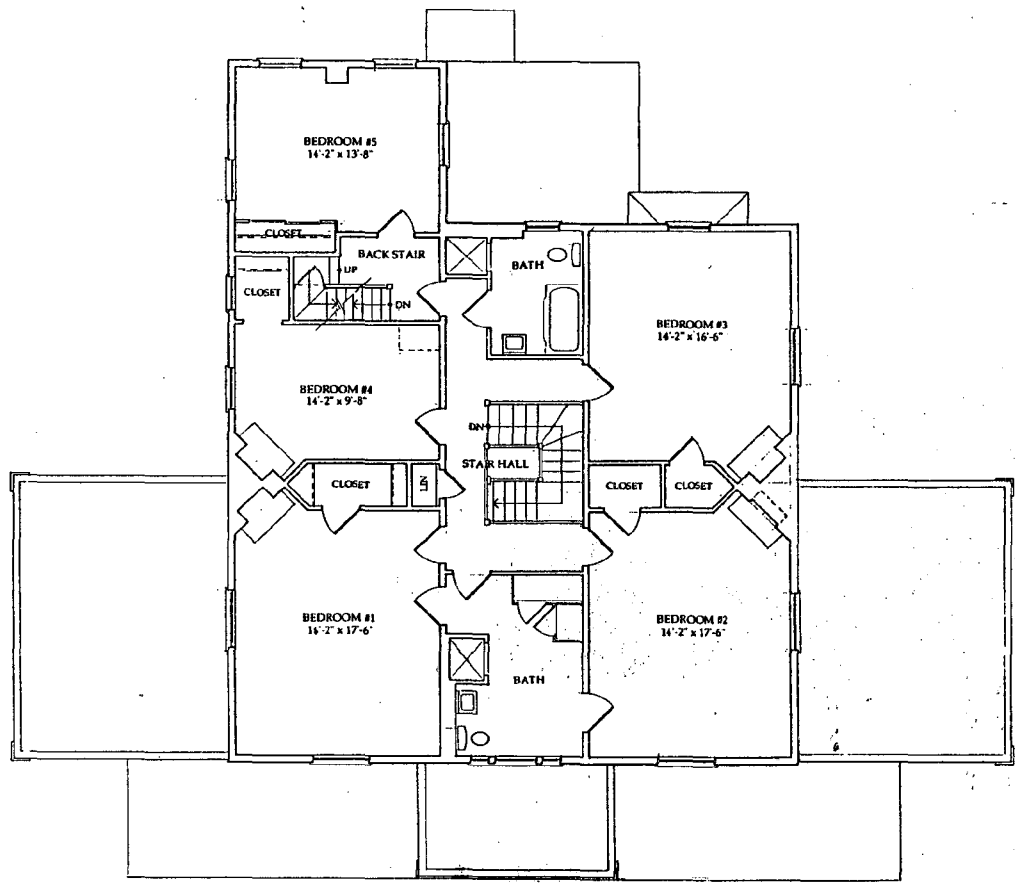
THIRD FLOOR PLAN

JOHN S. SAMPERTON
ASSOCIATES
ARCHITECTS PLANNERS ENGINEERS
2010 KENYON AVENUE SUITE 100
ETOWAH, MARYLAND 20728
(301) 261-1100
FAX (301) 261-1101

THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

THIRD
FLOOR PLAN

PROJECT NO.	4516
REVISIONS	
SCALE	AS NOTED
DATE	07-15-88
CHECKED BY	J.L.S.
DRAWN BY	M.J.D.
OWNER	
DATE	



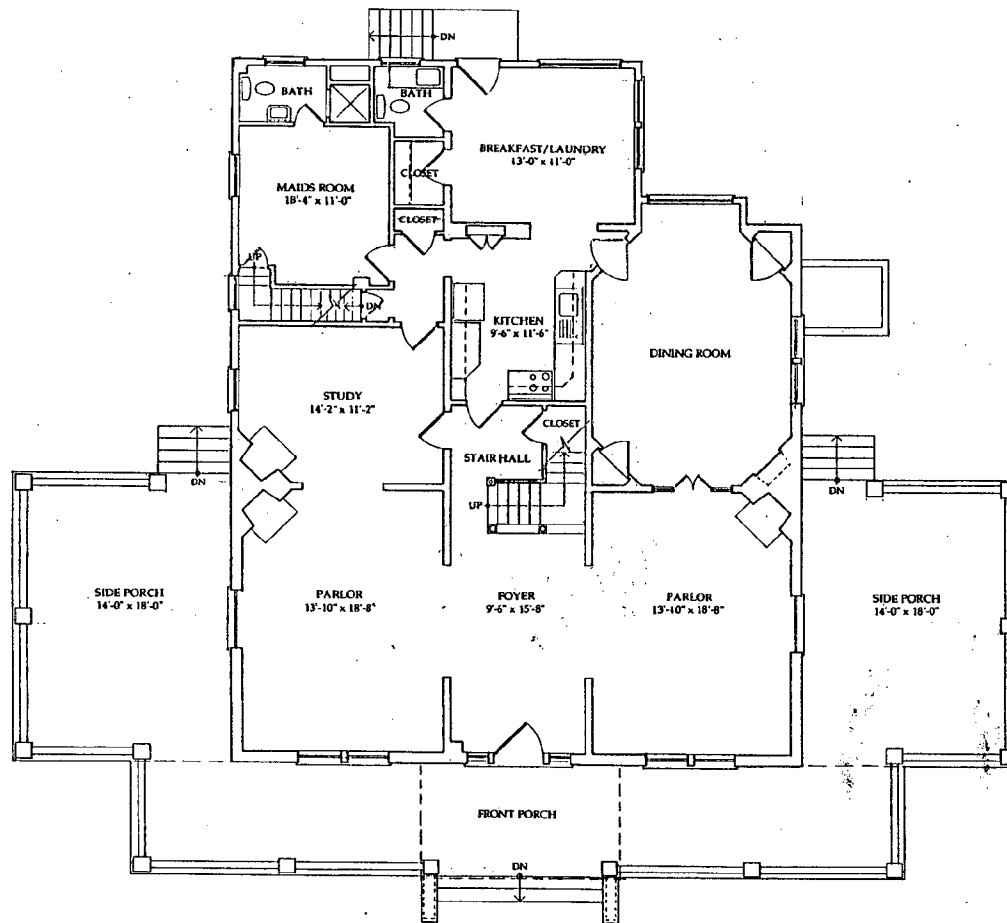
SECOND FLOOR PLAN
1/4"=1'-0"

JOHN S. SAMPERTON
ASSOCIATES
ARCHITECTS AND INTERIORS
4410 GILMAN AVENUE, SUITE 100
BETHESDA, MARYLAND 20814
(301) 271-1000
FAX (301) 271-1001

THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

SECOND
FLOOR PLAN

PROJECT NO.	1918
REVISION	
SCALE	AS SHOWN
DATE OF ISSUE	
DESIGNED BY	MSD
DRAWN BY	MSD
DRAWING NO.	A-3
SHEET NO.	3



FIRST FLOOR PLAN

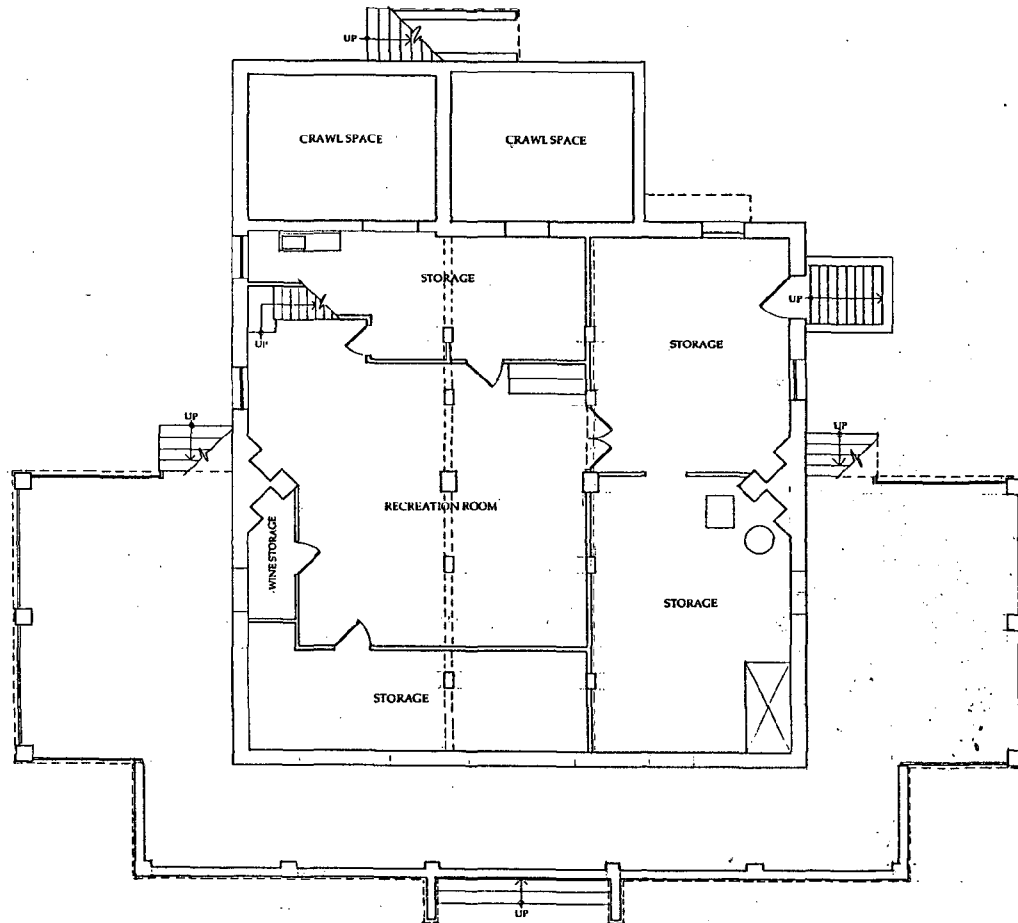
1/4"=1'-0"

JOHN S. SAMPERTON
ASSOCIATES
ARCHITECTS & PLANNERS
REGISTERED PROFESSIONAL ARCHITECTS
10000 WYOMING AVENUE SUITE 100
BETHESDA, MARYLAND 20814
(301) 414-1111
WWW.JSSA.COM

THE JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

FIRST
FLOOR PLAN

PROJECT NO.	4316
REVISIONS	
SCALE	AS NOTED
DATE	07-15-10
CHECKED BY	PLG
DRAWN BY	MLG
DRAWING NO.	
SHEET NO.	2
TOTAL SHEETS	2



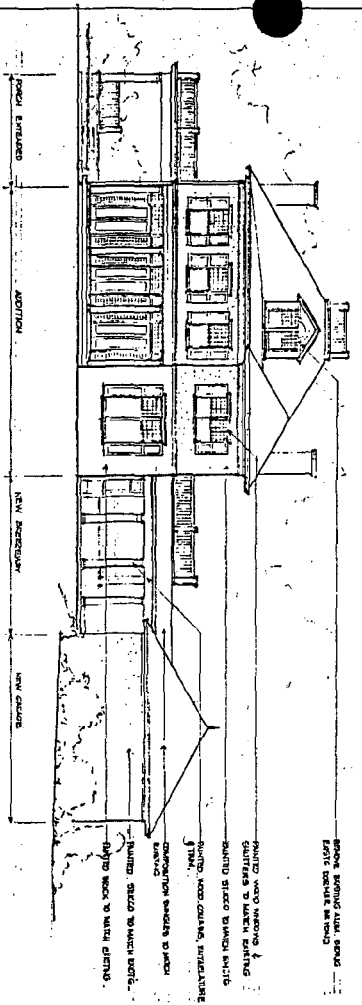
BASEMENT FLOOR PLAN
1/8"=1'-0"

JOHN S. CAMPERTON ASSOCIATES
ARCHITECTS & PLANNERS
4970 GLENEARLY AVENUE, SUITE 100
LETHBRIDGE, MONTGOMERY COUNTY, MARYLAND
PHONE: 410-271-4444
FAX: 410-271-4449

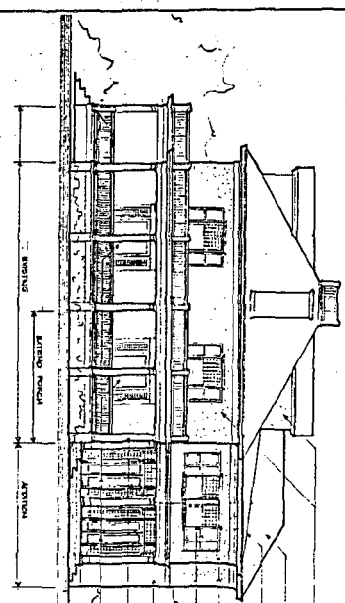
THE JAMES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

BASEMENT FLOOR PLAN

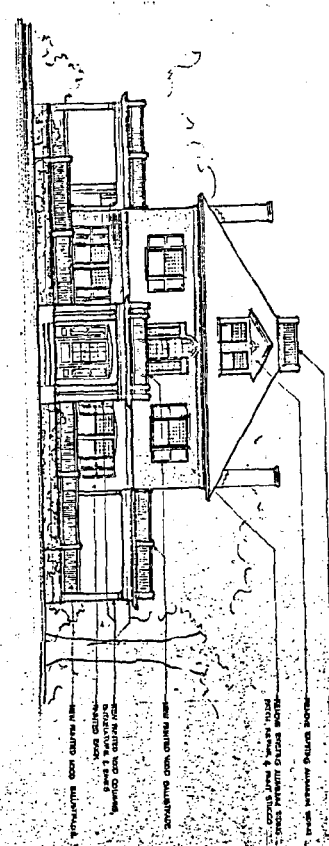
PROJECT NO. : 0518
REVISIONS
SCALE : AS NOTED
DATE : 04-15-06
CHECKED BY : J.S.C.
DRAWN BY : J.S.C.
DRAWING NO. : A-1
SHEET NO. : 1 OF 1



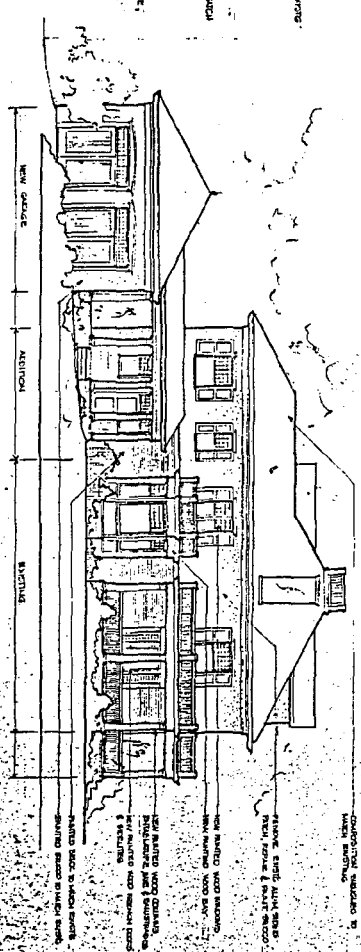
WEST BANK STREET ELEVATION



WEST BANK STREET ELEVATION

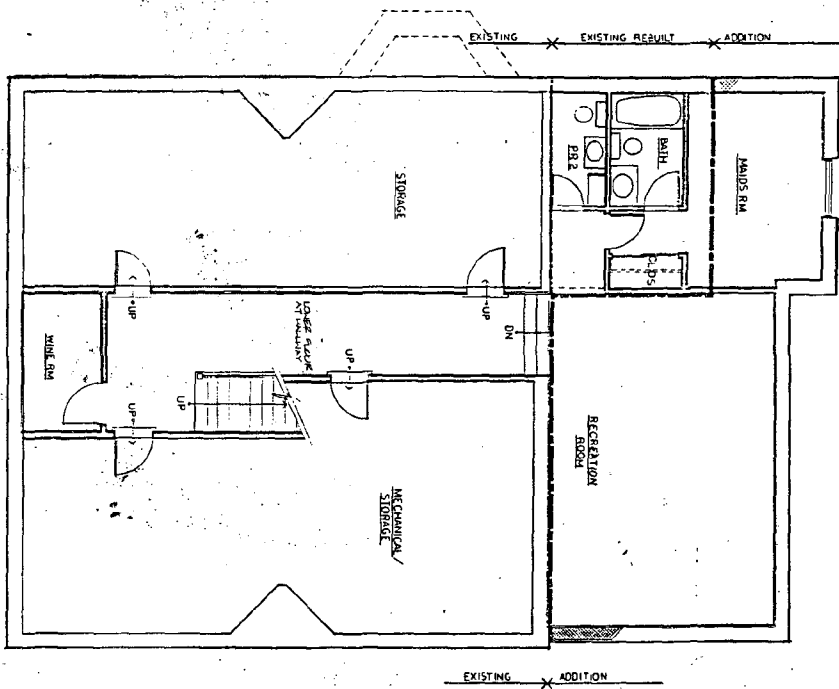


FRONT ELEVATION



FRONT ELEVATION

	<p>JONES RESIDENCE WEST LENOX STREET CHEVY CHASE, MARYLAND</p>	<p>ELEVATIONS SCALE: 1/8" = 1'-0"</p>	<p>DATE: SHEET NO. 1</p>	<p>DAVID JONES ARCHITECTS 1710 CONNECTICUT AVE., NW WASHINGTON, DC 20007 202-333-1200</p>
--	-------------------------------------------------------------------------------------------------	----------------------------------------------------	---------------------------------------	---------------------------------------------------------------------------------------------------------------



17

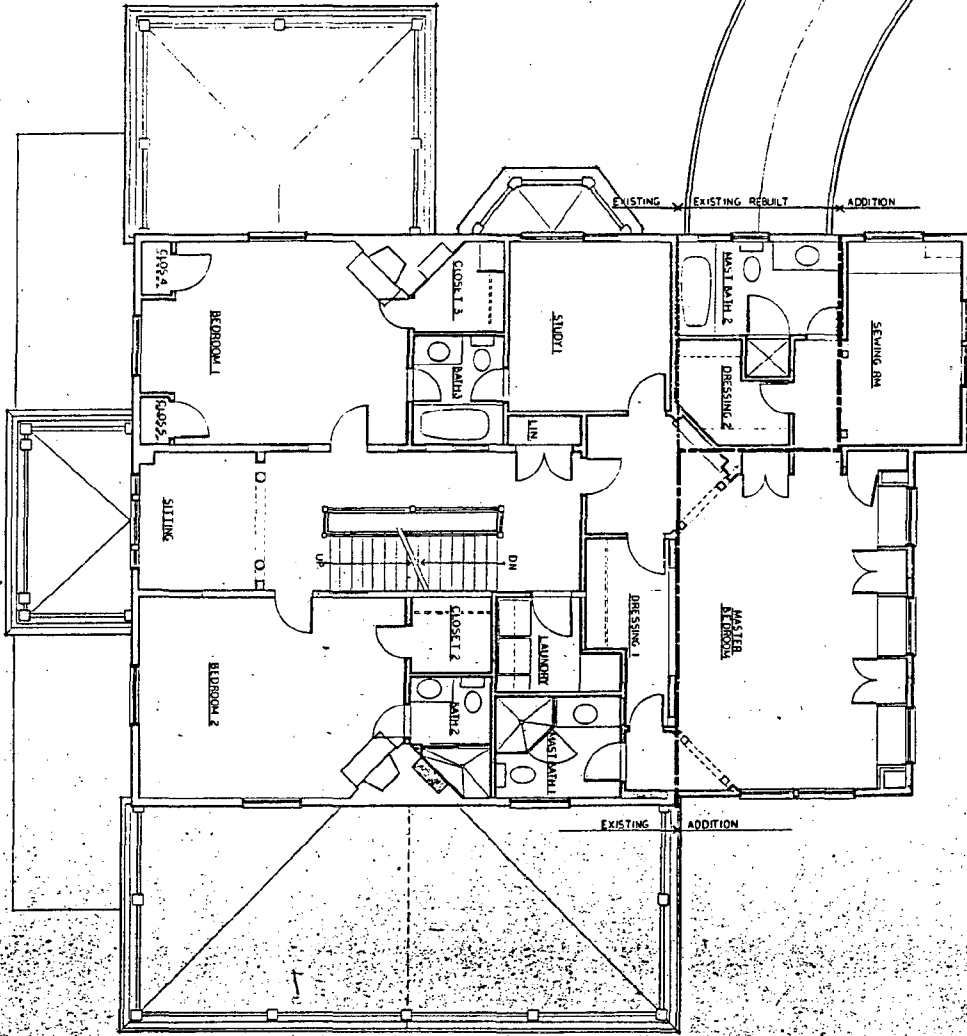
JANES RESIDENCE
 19 WEST LENOX STREET
 CHEVY CHASE MARYLAND

BASEMENT PLAN

SCALE 1/8" = 1'-0"

Date
 20 FEB 2008

DAVID JONES ARCHITECTS
 3779 CONNECTICUT AVE, NW WASHINGTON, DC 20007-3003-1202



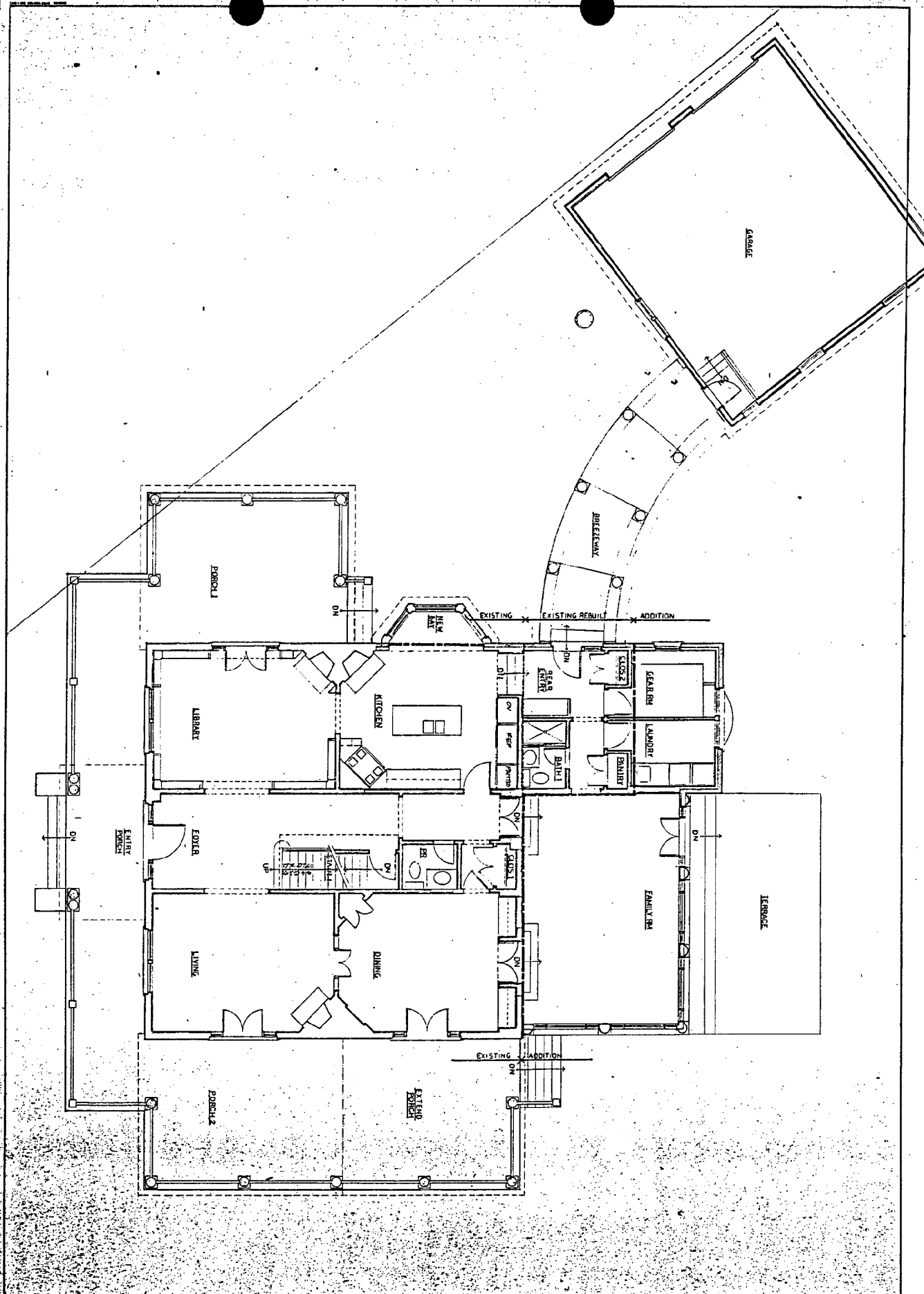
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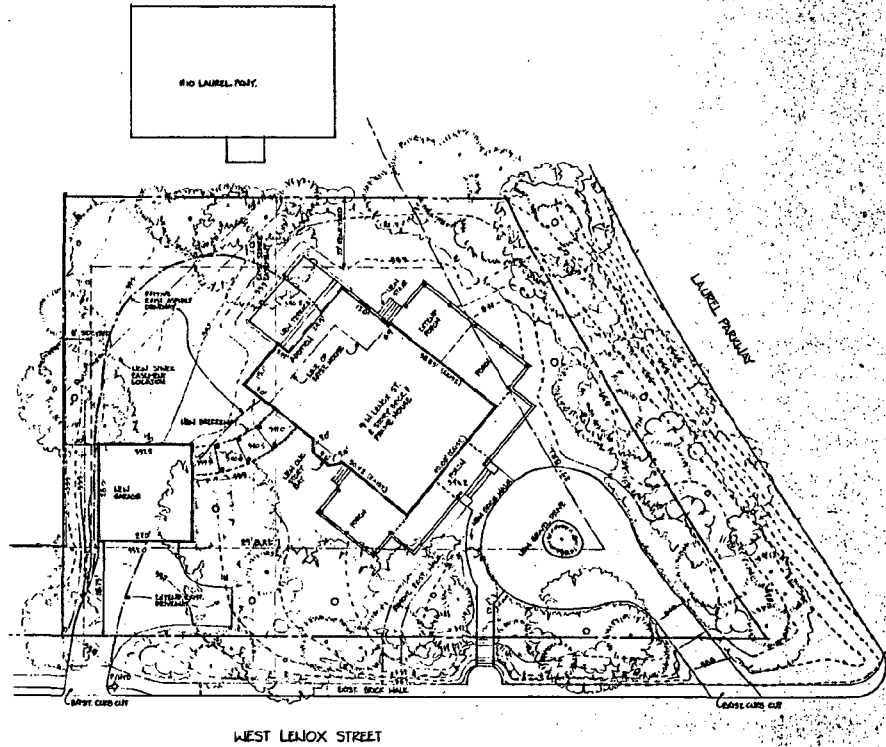
JANES RESIDENCE
 14 WEST LENOX STREET
 CHEVY CHASE, MARYLAND

SECOND FLOOR PLAN

DATE
 2/20/08

DAVID JONES ARCHITECTS
 1739 CONNECTICUT AVE. NW WASHINGTON, DC 20009-3033-1200
 TEL: 202-331-1200 FAX: 202-331-1201





WEST LEXOX STREET

DAVID JONES ARCHITECTS
ARCHITECTS AND INTERIORS

Date: 10 FEB 91

SITE PLAN

STANES RESIDENCE
1000 WEST LEXOX STREET
CHERRY LAKE MARYLAND

1

DAVID JONES ARCHITECTS

21 February 1996

Historic Preservation Commission
c/o Ms. Patricia E. Hayes Parker
Historic Preservation Planner
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Janes Residence
9 West Lenox Street
Chevy Chase, MD 20815

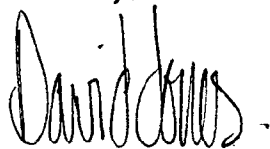
Ladies and Gentlemen,

On behalf of my clients, Mr. & Mrs. William Janes, I request a preliminary consultation with the Historic Preservation Commission at your March 13th meeting regarding proposed plans for above property.

Enclosed are sets of the following drawings: site plan, floor plans and elevations of the existing house, and site plan, floor plans and elevations of the proposed alterations and additions. A list of the adjacent and confronting property owners is attached. I understand that Ms. Parker has one set of exterior photographs of the existing house which I left with her at our meeting last week.

I look forward to the opportunity to discuss Mr. & Mrs. Janes's plans with the Commission.

Sincerely,



David Jones AIA

enclosures

DAVID JONES ARCHITECTS

20 February 1996

JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

NAMES & ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS:

Allen M. & Harriet B. Fox
8 West Lenox Street
Chevy Chase, MD 20815
(301-913-9446)

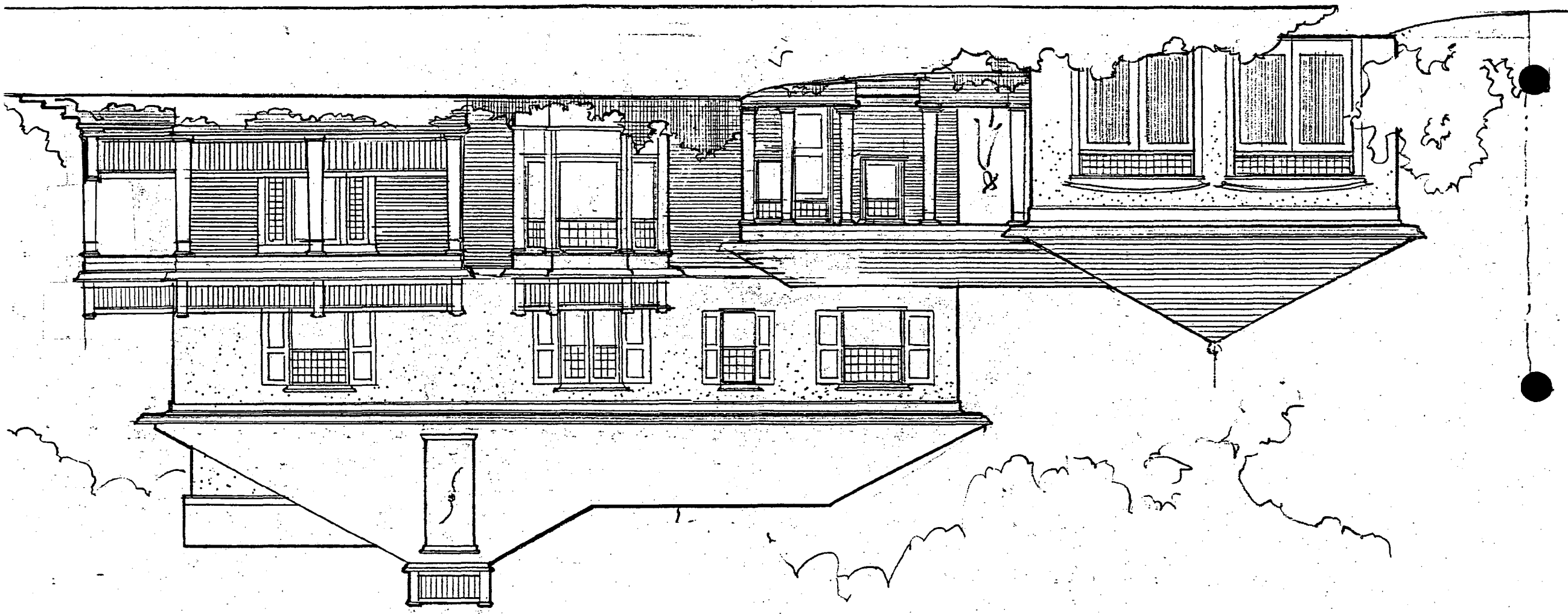
Michael C. & Susan R. Gelman
11 West Lenox Street
Chevy Chase, MD 20815
(301-652-1113)

Arthur Chase & Emma Jane Cox
10 Laurel Parkway
Chevy Chase, MD 20815
(301-652-4716)

William & Elayne Bennett
4 Laurel Parkway
Chevy Chase, MD 20815

James Residence — W. Lennox Street Elevation — David Julius Architects

0 1 2 3 4 5 10 20

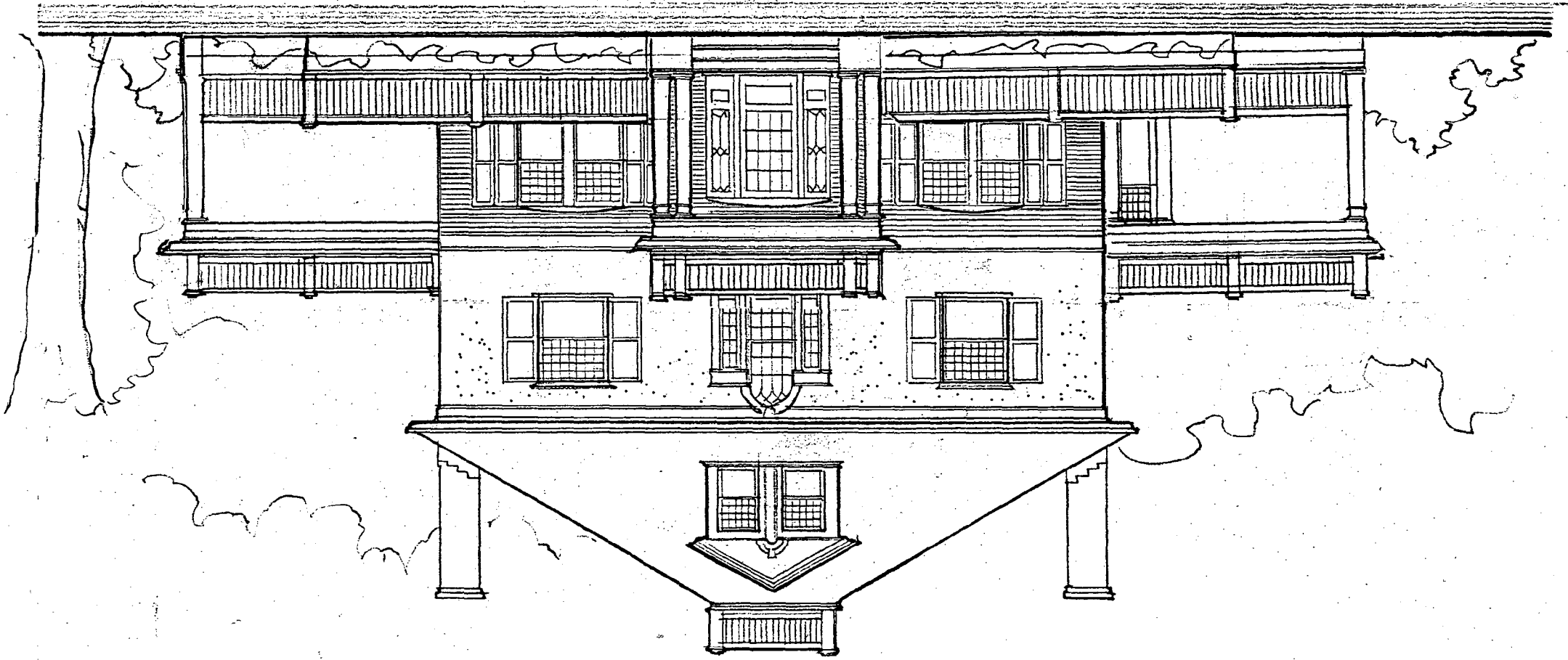


012345 - 10 - 20

David Jones Architects

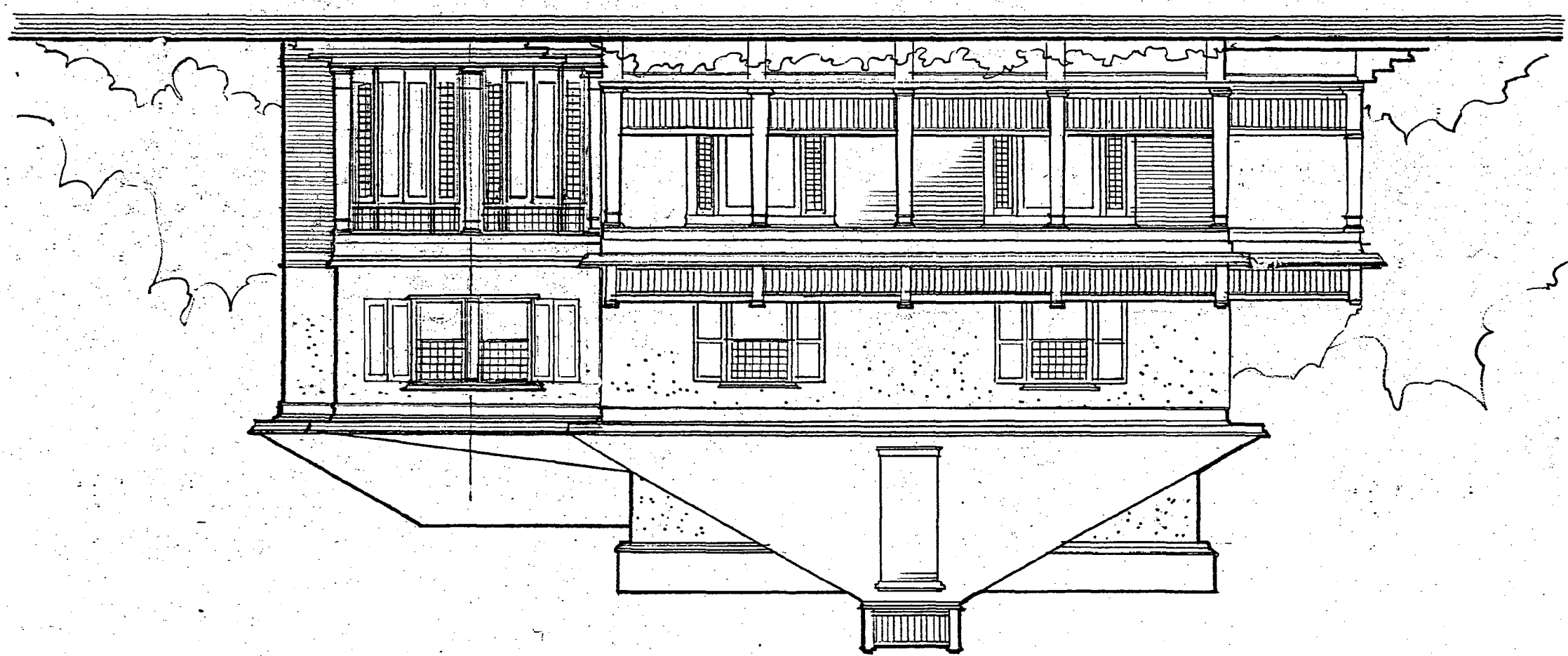
Front Elevation

John Residence

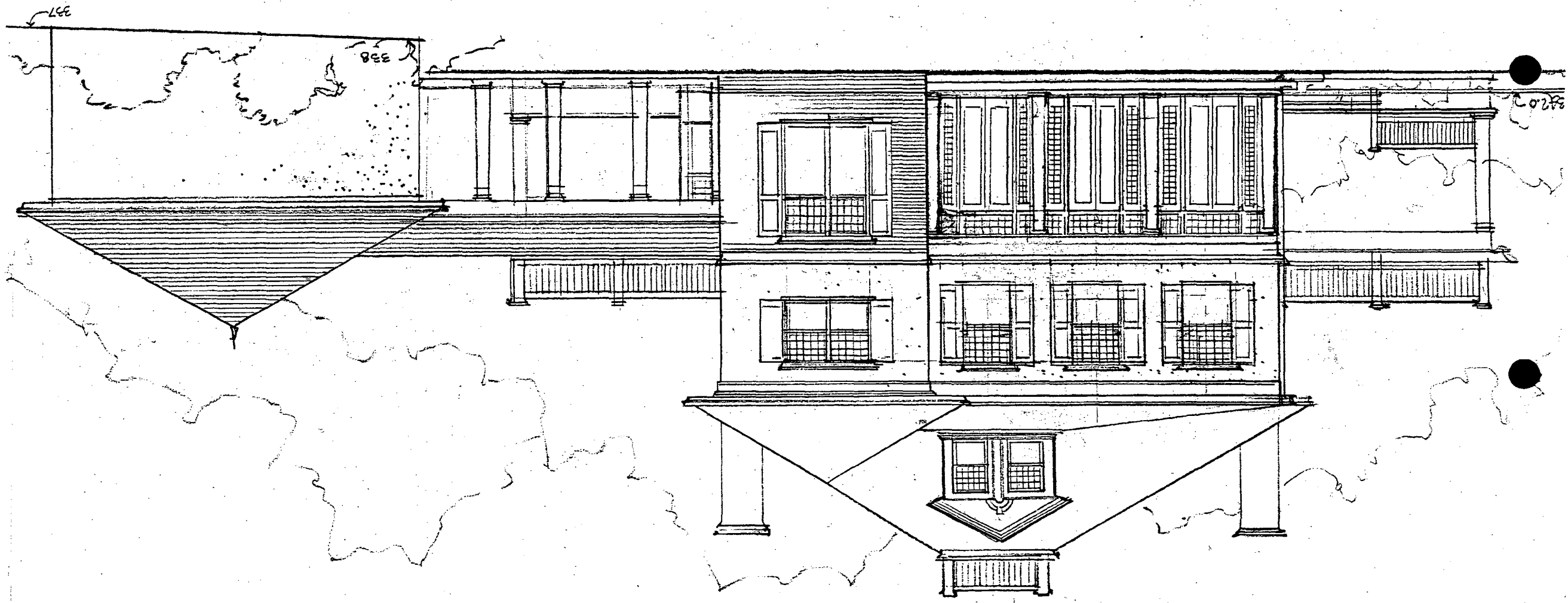


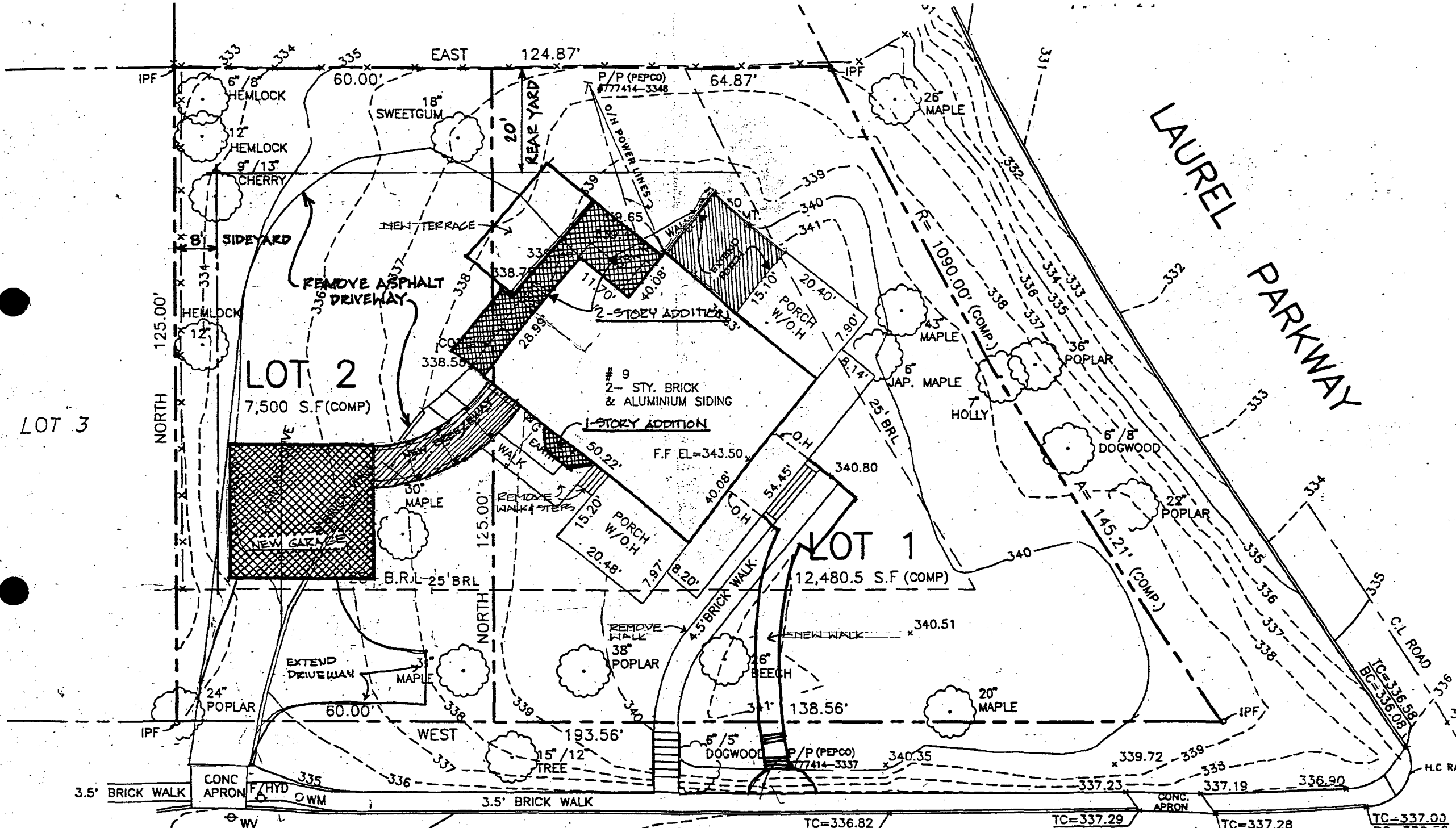
David Lynn Architects 2.596
Lower Berkeley Station
Mrs. Rosenberg

0 10 20
1:2945



James Residence Garden Elevation David Jones Architects 2.5.96





LOT 3

LOT 2
7,500 S.F (COMP)

LOT 1
12,480.5 S.F (COMP)

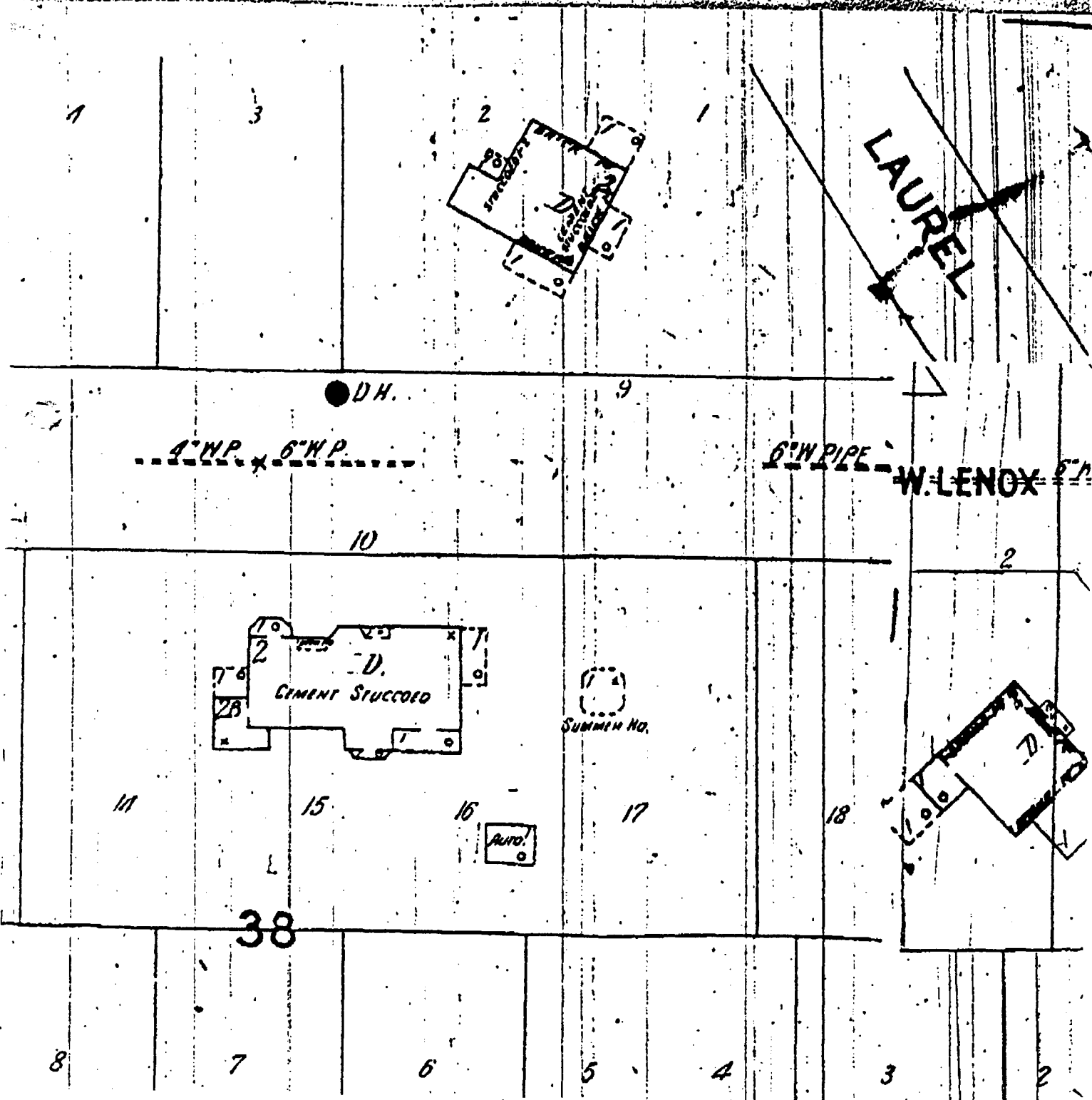
LAUREL PARKWAY

W. LENOX STREET

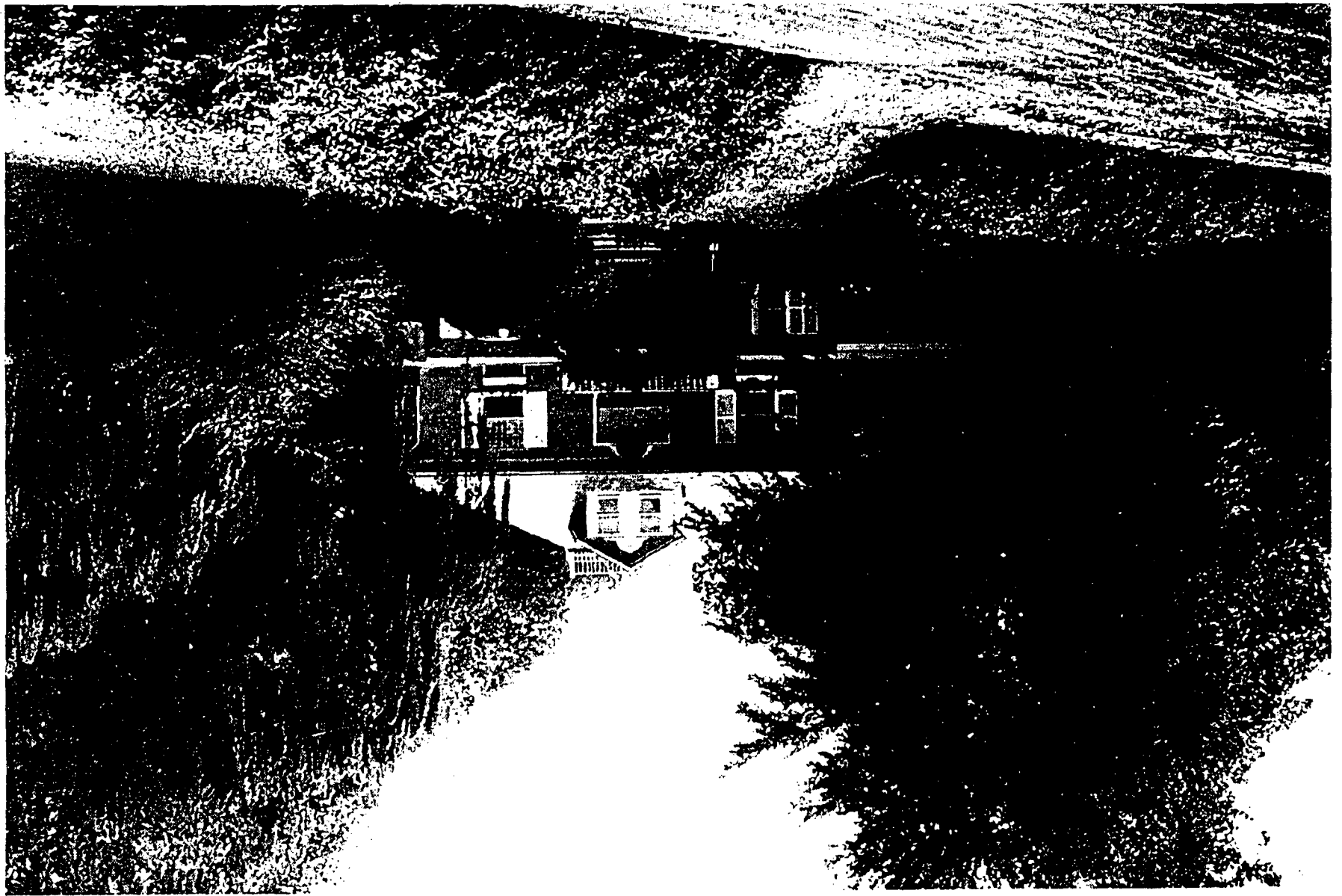
Site plan David Jones Architects

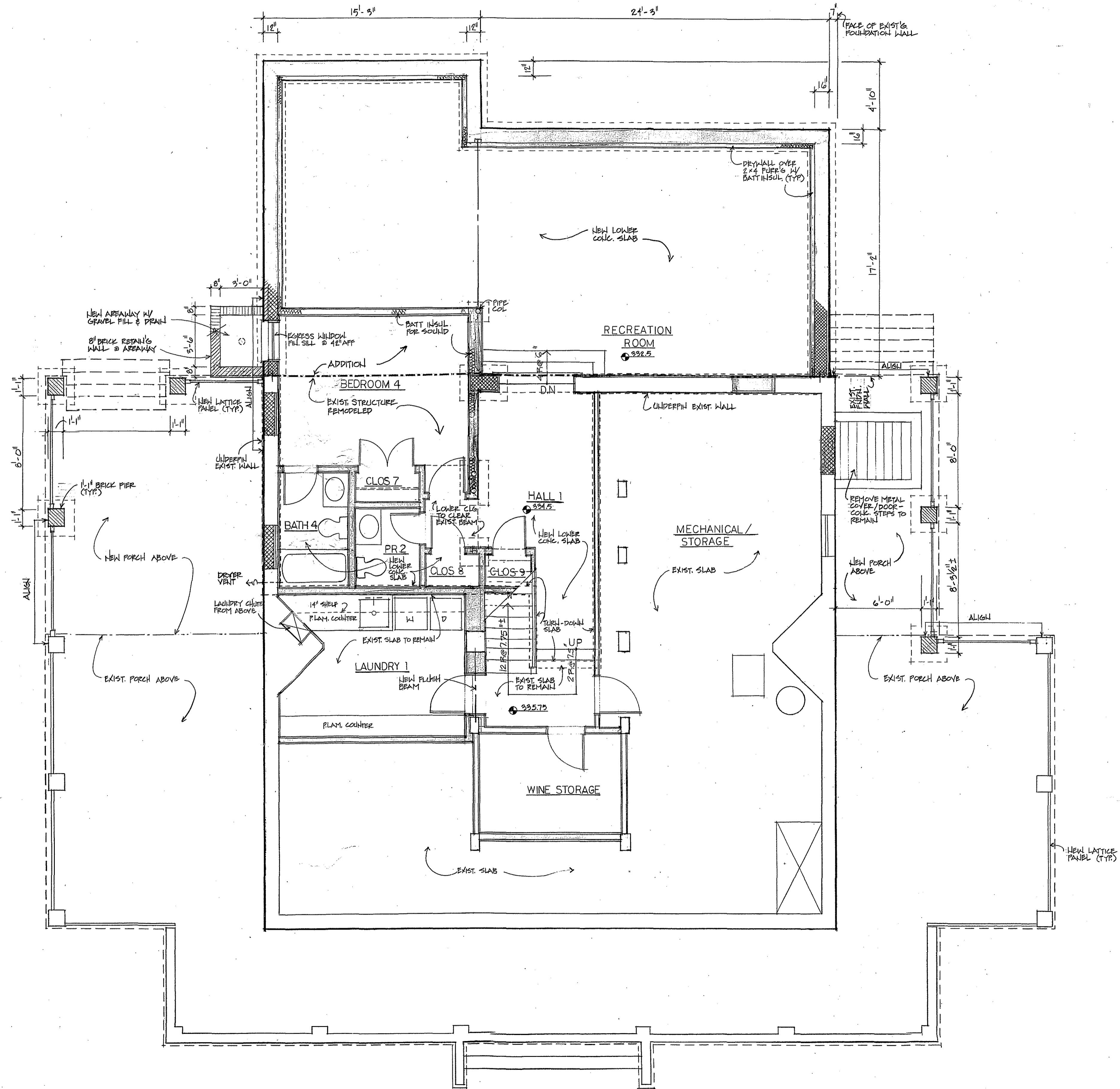
3.5' BRICK WALK CONC APRON F/ HYD CWM 3.5' BRICK WALK TC=336.82 BC=336.79 TC=337.29 BC=336.79 TC=337.28 BC=336.78 TC=337.00 BC=336.50

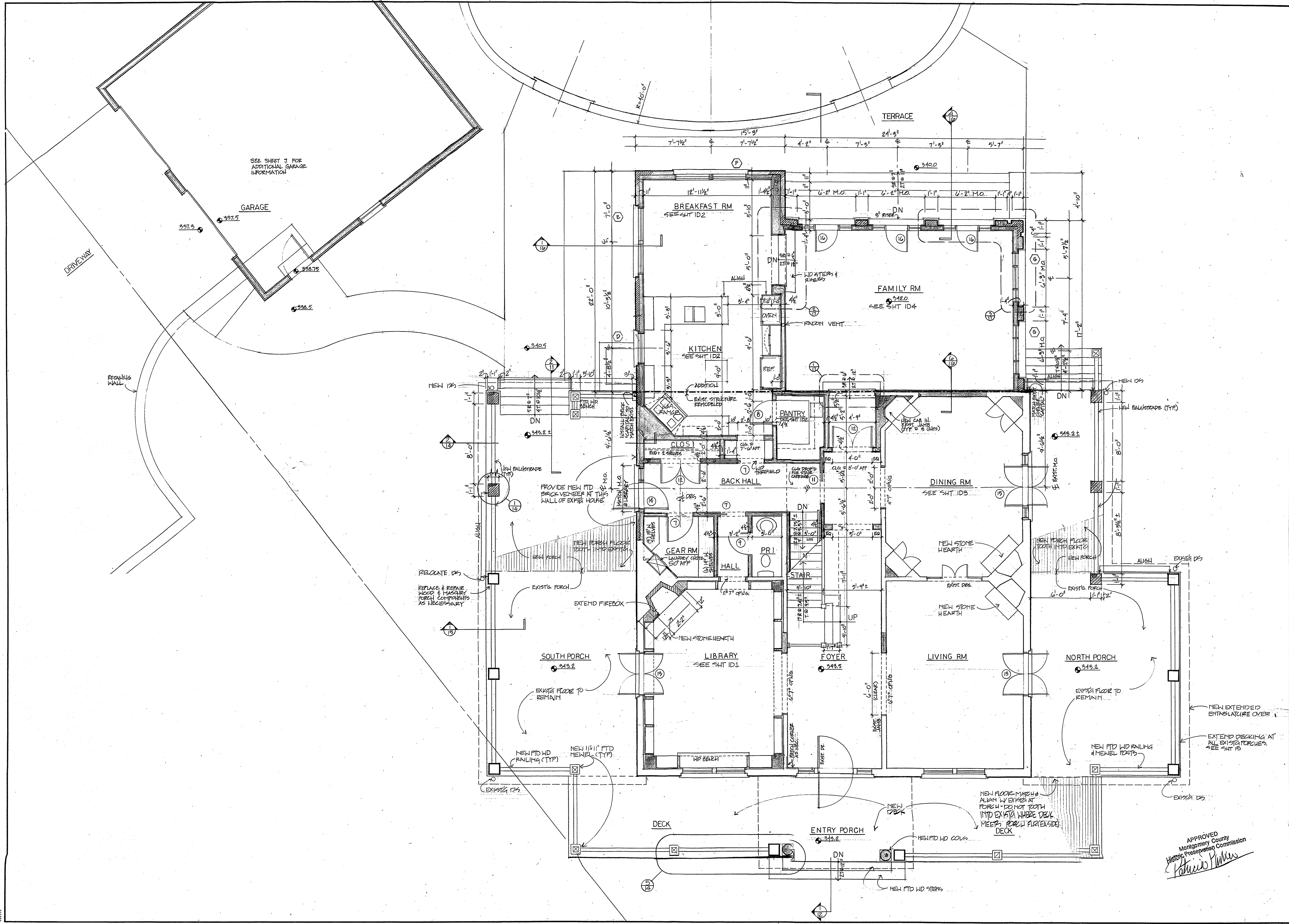
1916 SANBORN FIRE INSURANCE MAP
Univ. of Md, Maryland Room



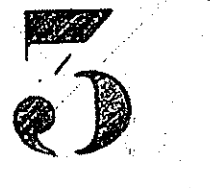
ORIGINAL

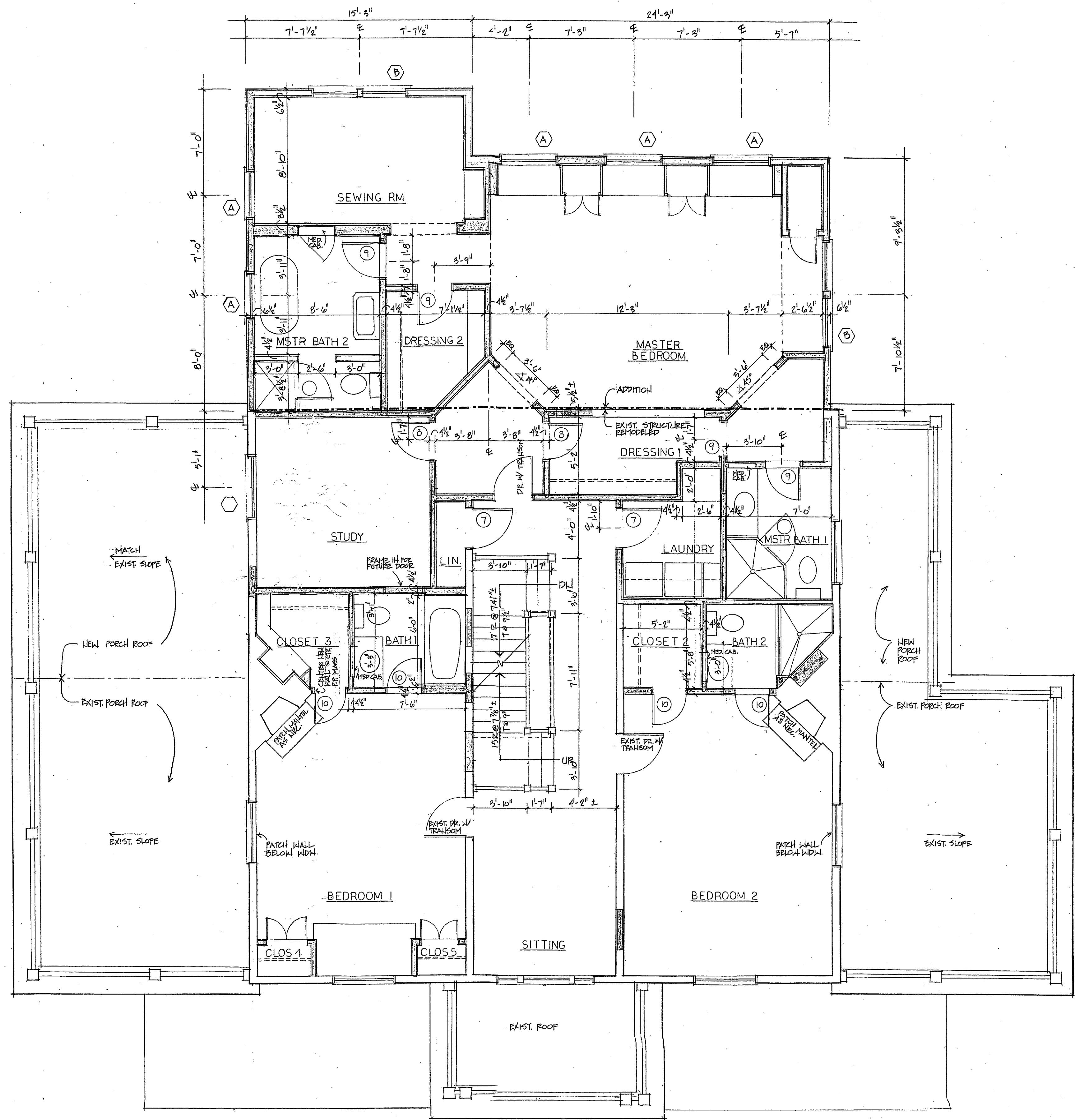






APPROVED
 Montgomery County
 Historic Preservation Commission
John P. Jones

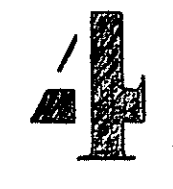


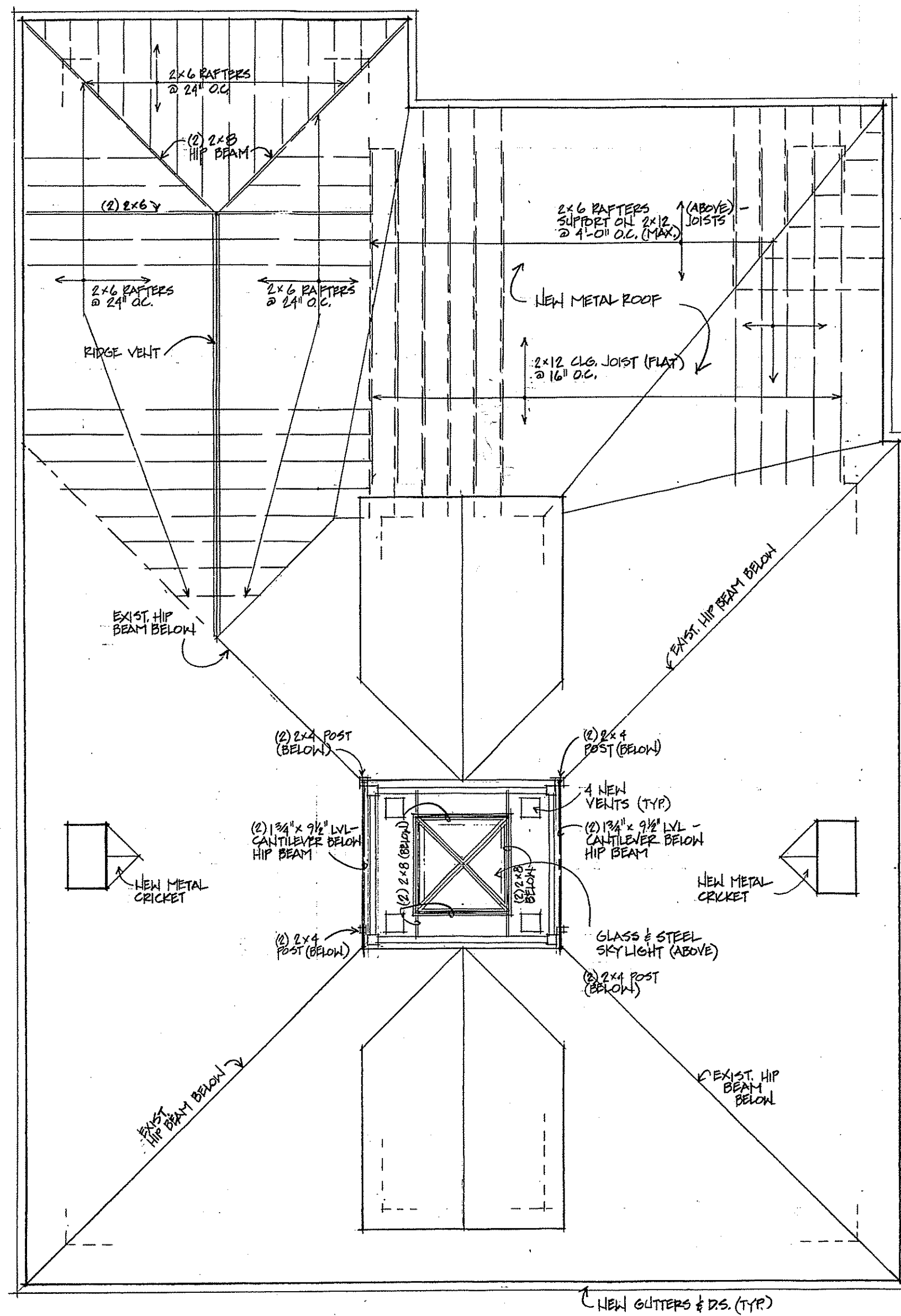


Date:
 6.5.96

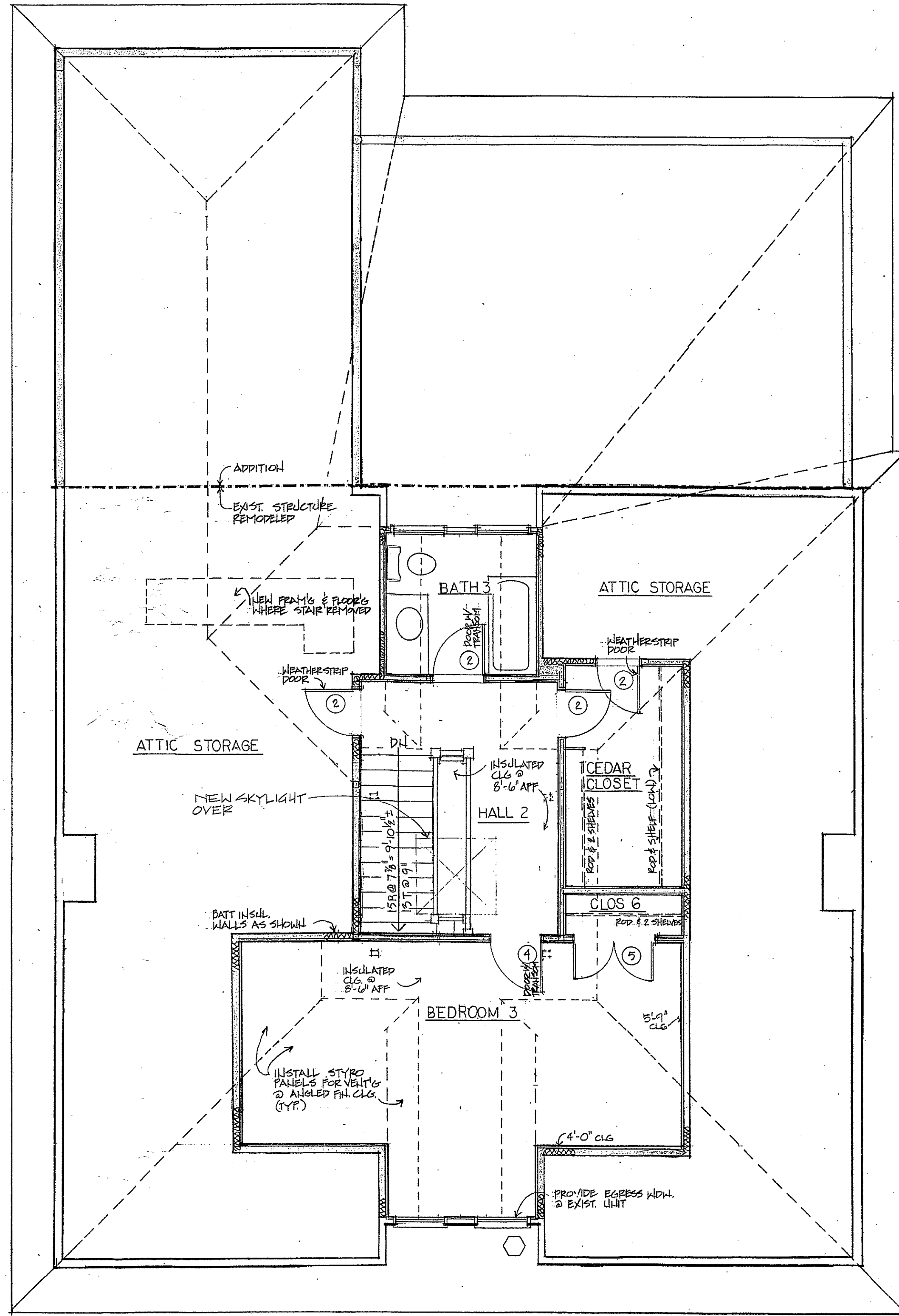
SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

JANES RESIDENCE
 9 WEST LENOX STREET
 CHEY CHASE MARYLAND

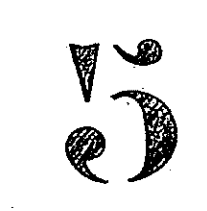


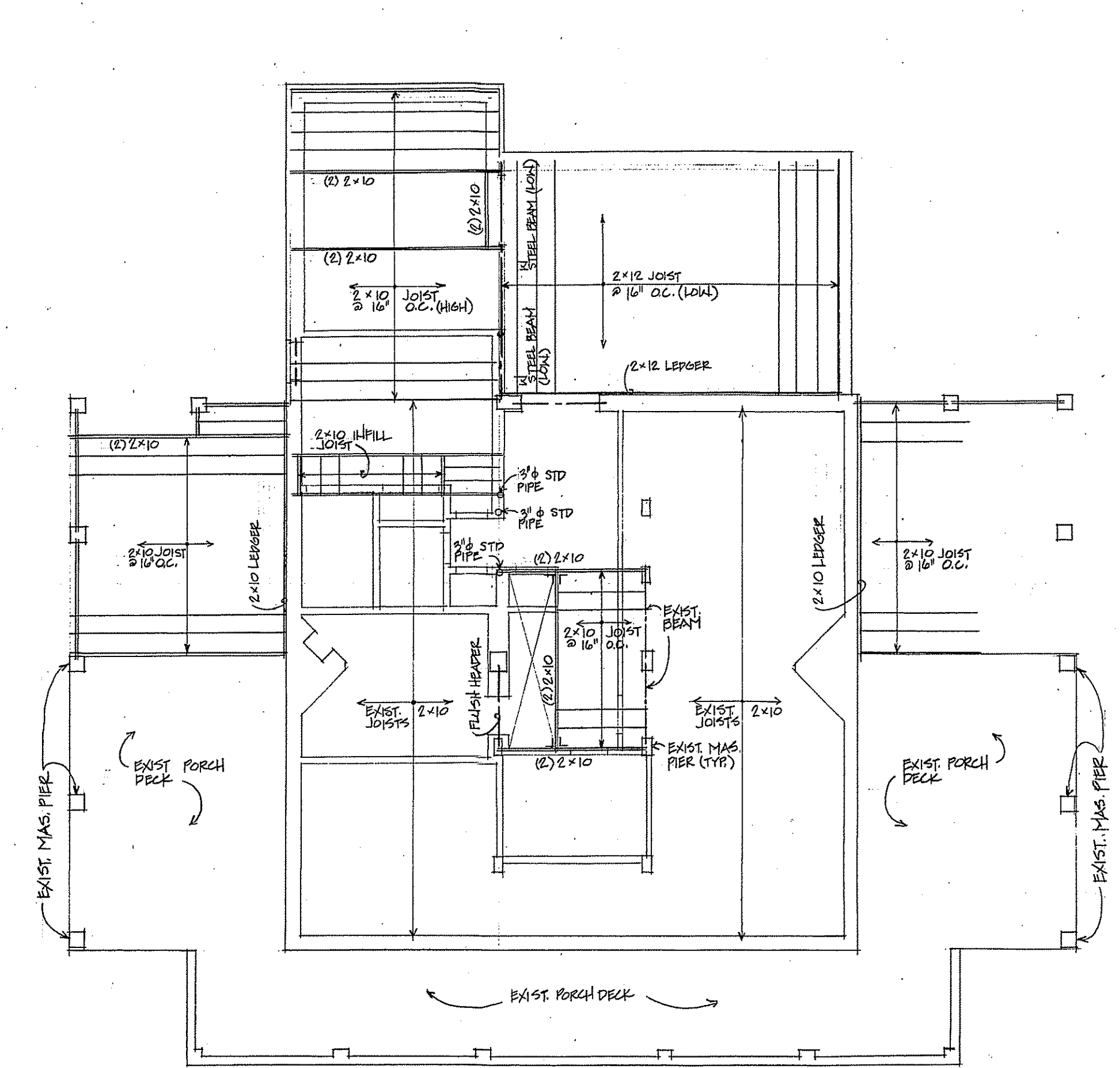


ROOF PLAN W/ FRAMING
 $\frac{3}{16}'' = 1'-0''$

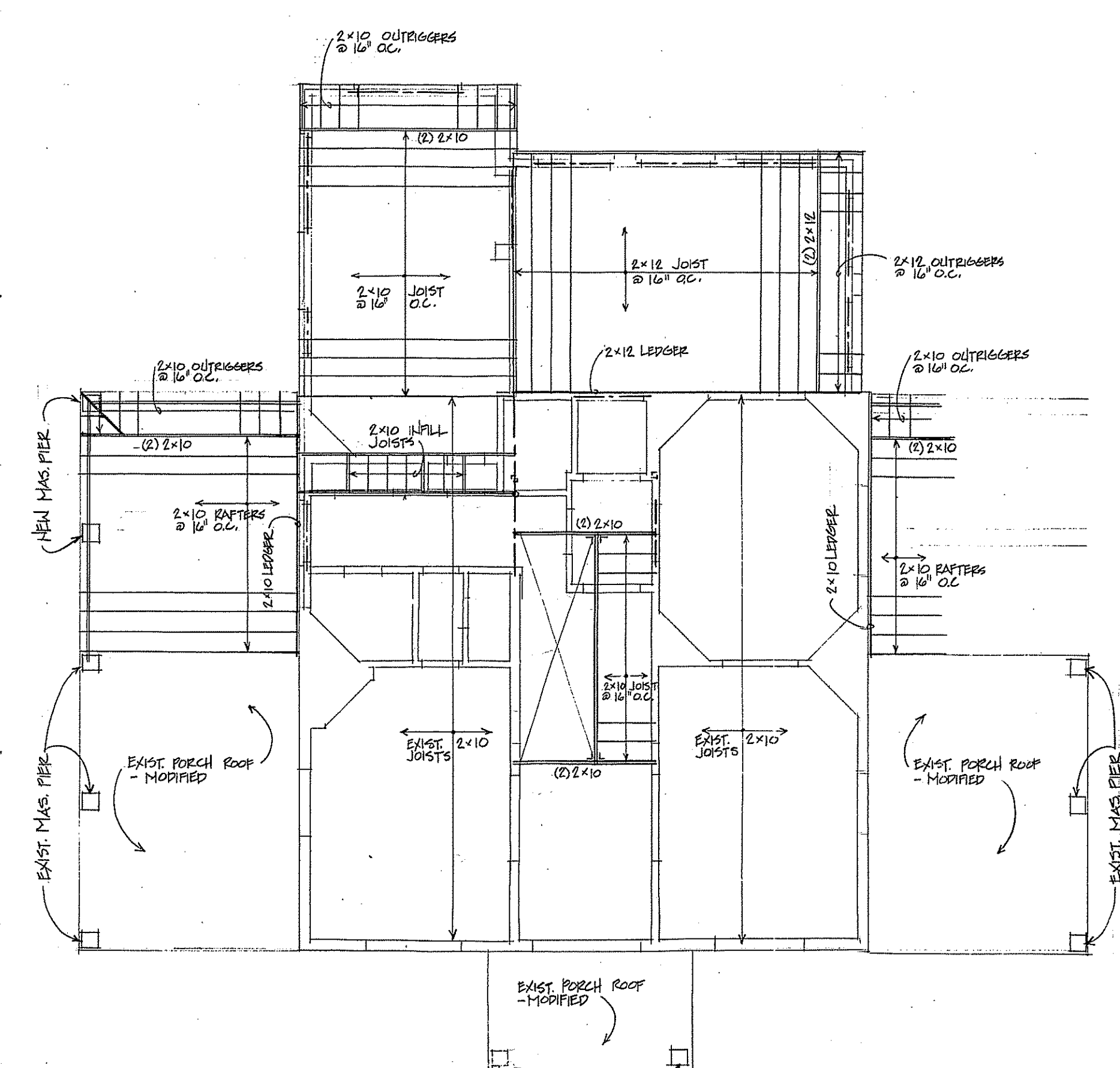


THIRD FLOOR PLAN
 $\frac{1}{4}'' = 1'-0''$

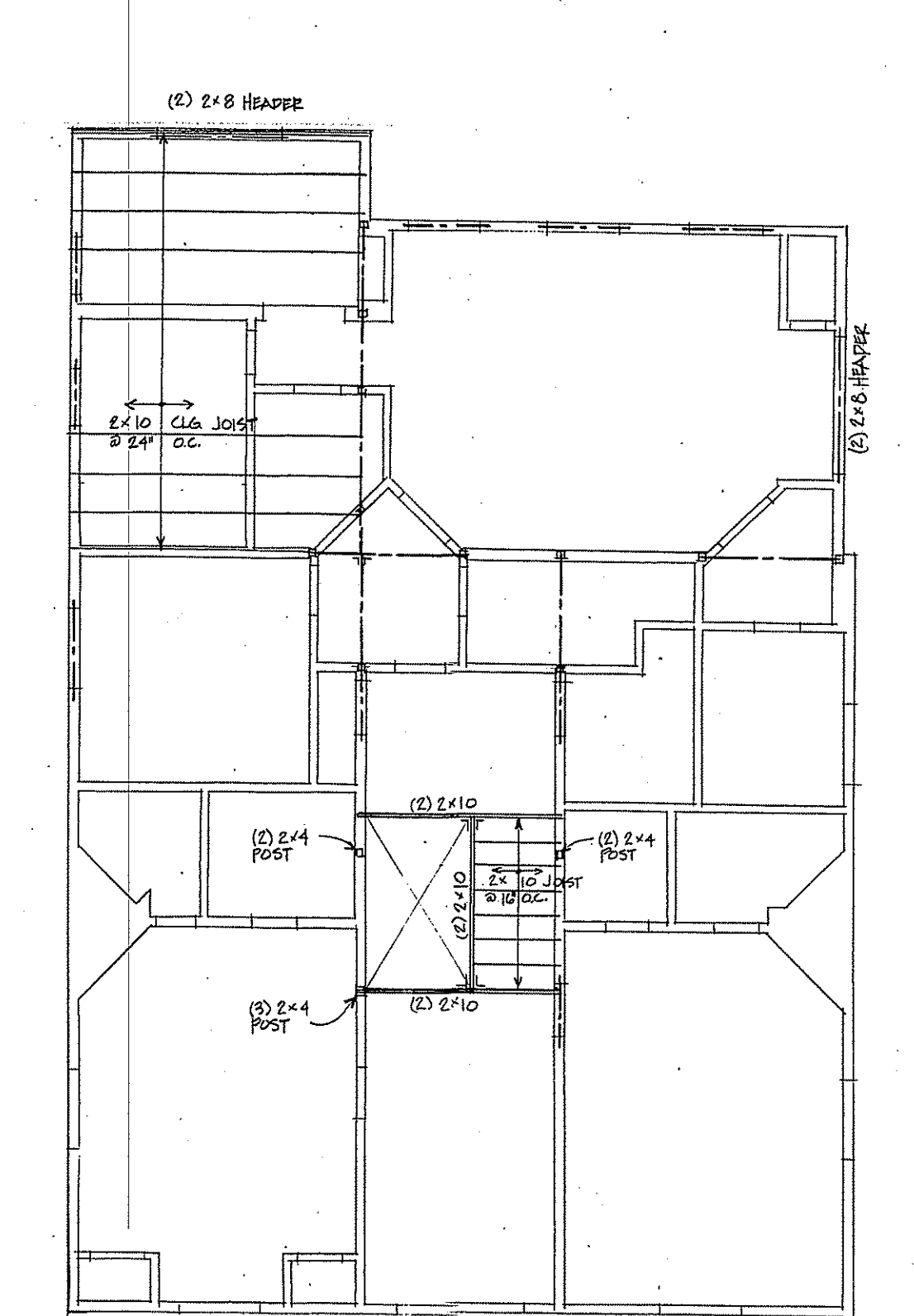




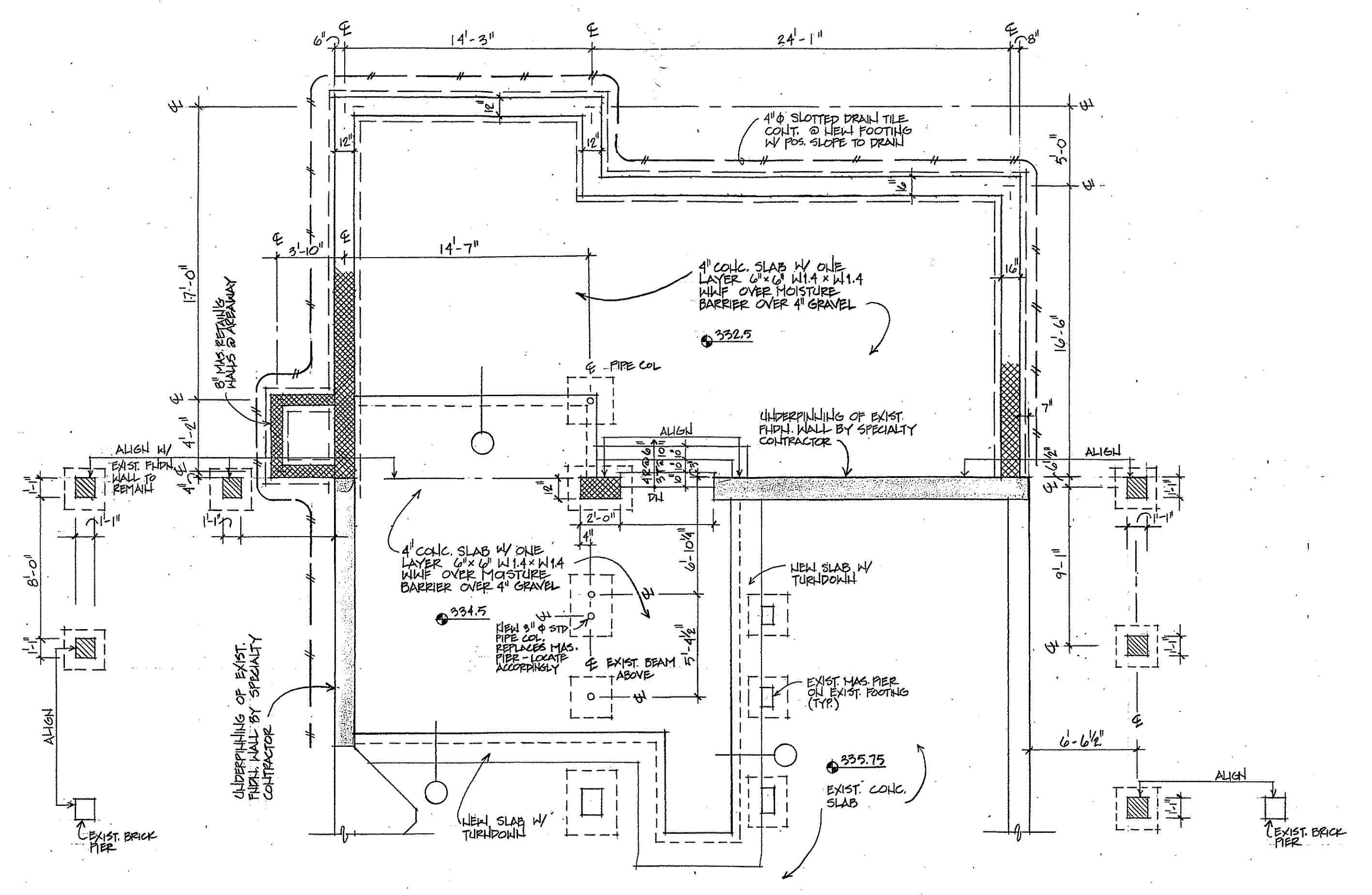
2 FIRST FLOOR FRAMING PLAN
 7 1/8" = 1'-0"



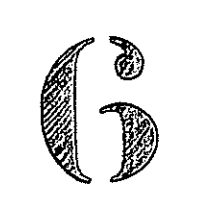
3 SECOND FLOOR FRAMING PLAN
 7 1/8" = 1'-0"



4 THIRD FLOOR FRAMING PLAN
 7 1/8" = 1'-0"



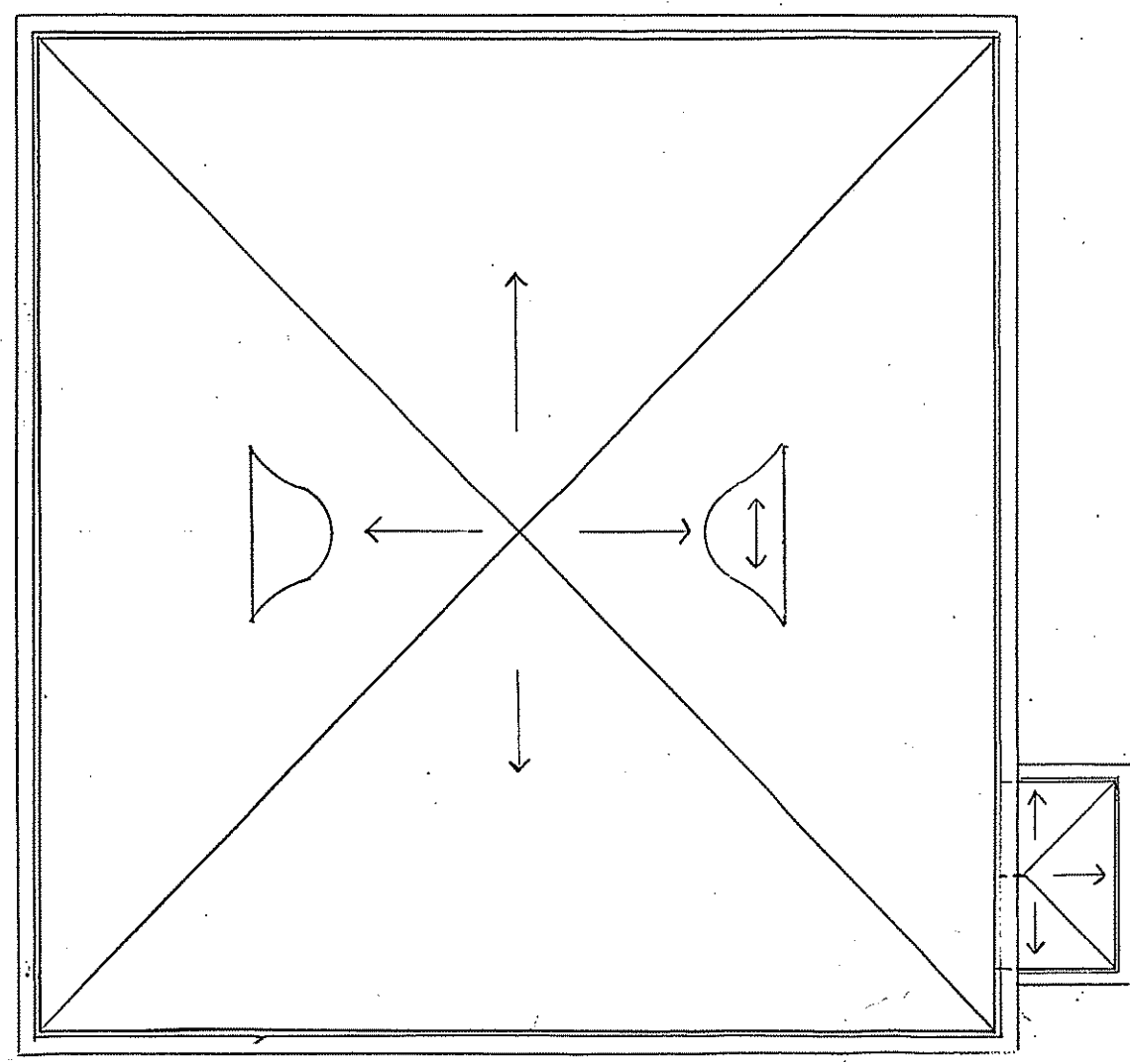
1 FOOTINGS AND FOUNDATION PLAN
 7 3/16" = 1'-0"



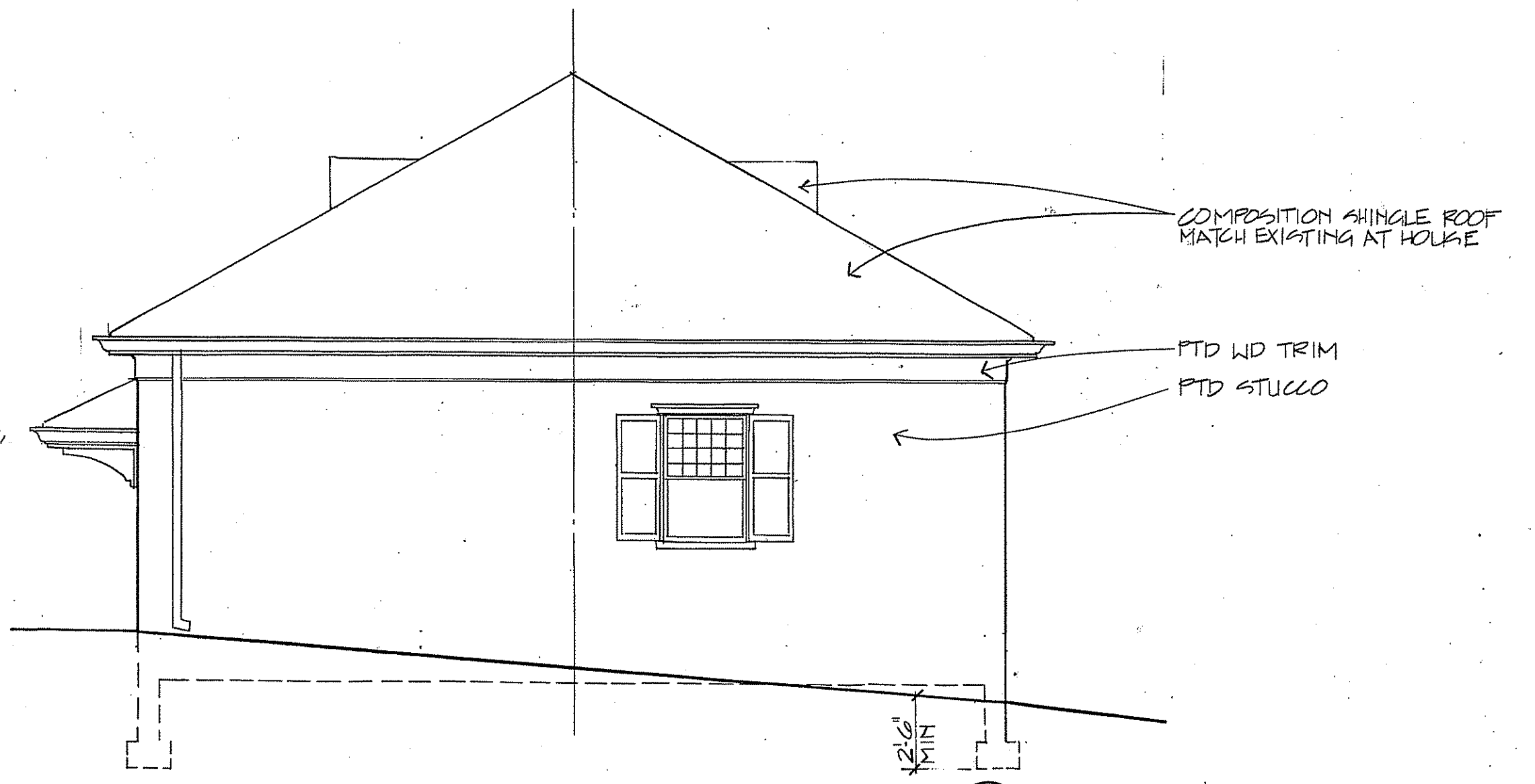
Date:
6.5.16

GARAGE
SCALE AS NOTED

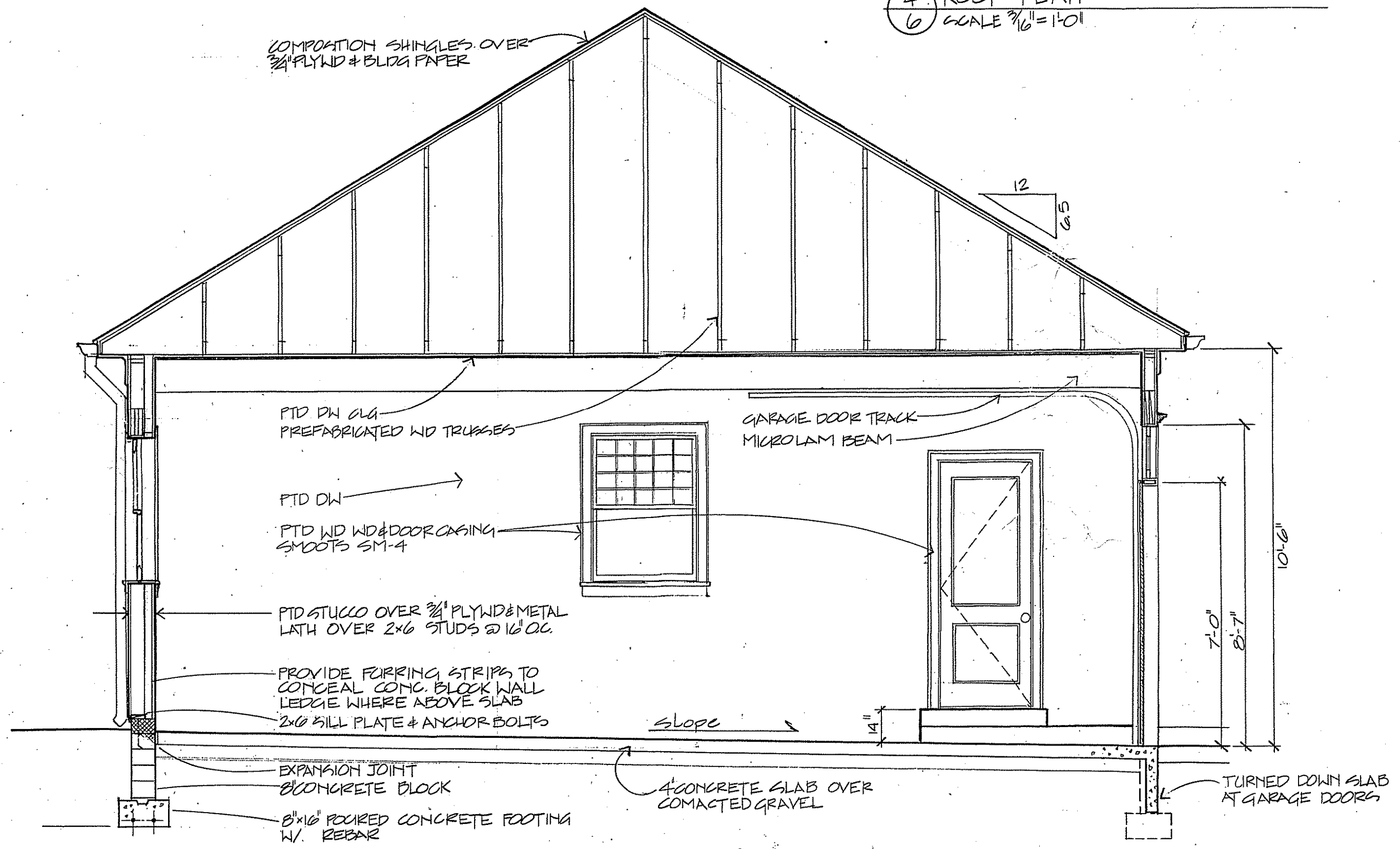
JANES RESIDENCE
9 WEST LENOX STREET
CHEY CHASE MARYLAND



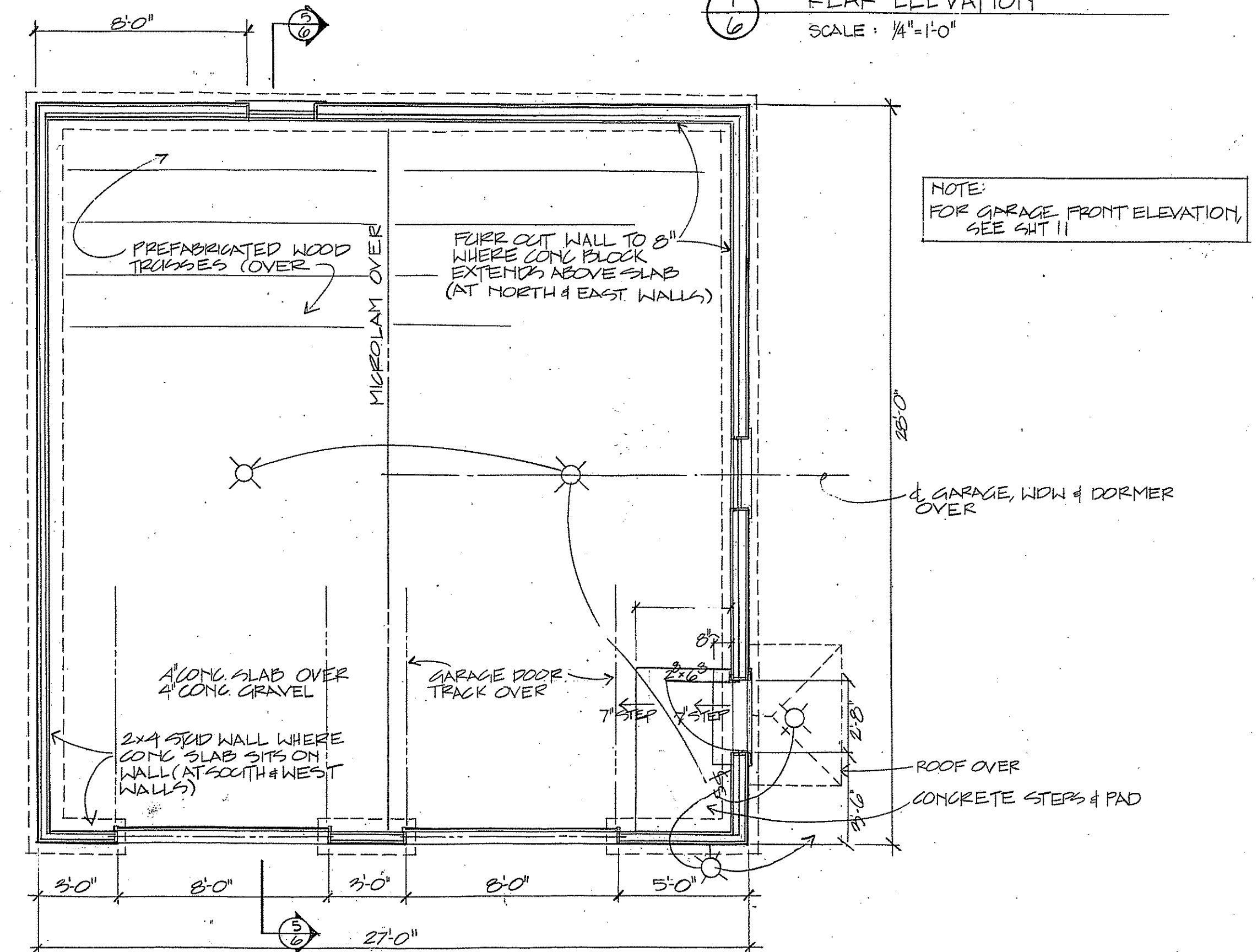
4 ROOF PLAN
SCALE 3/8" = 1'-0"



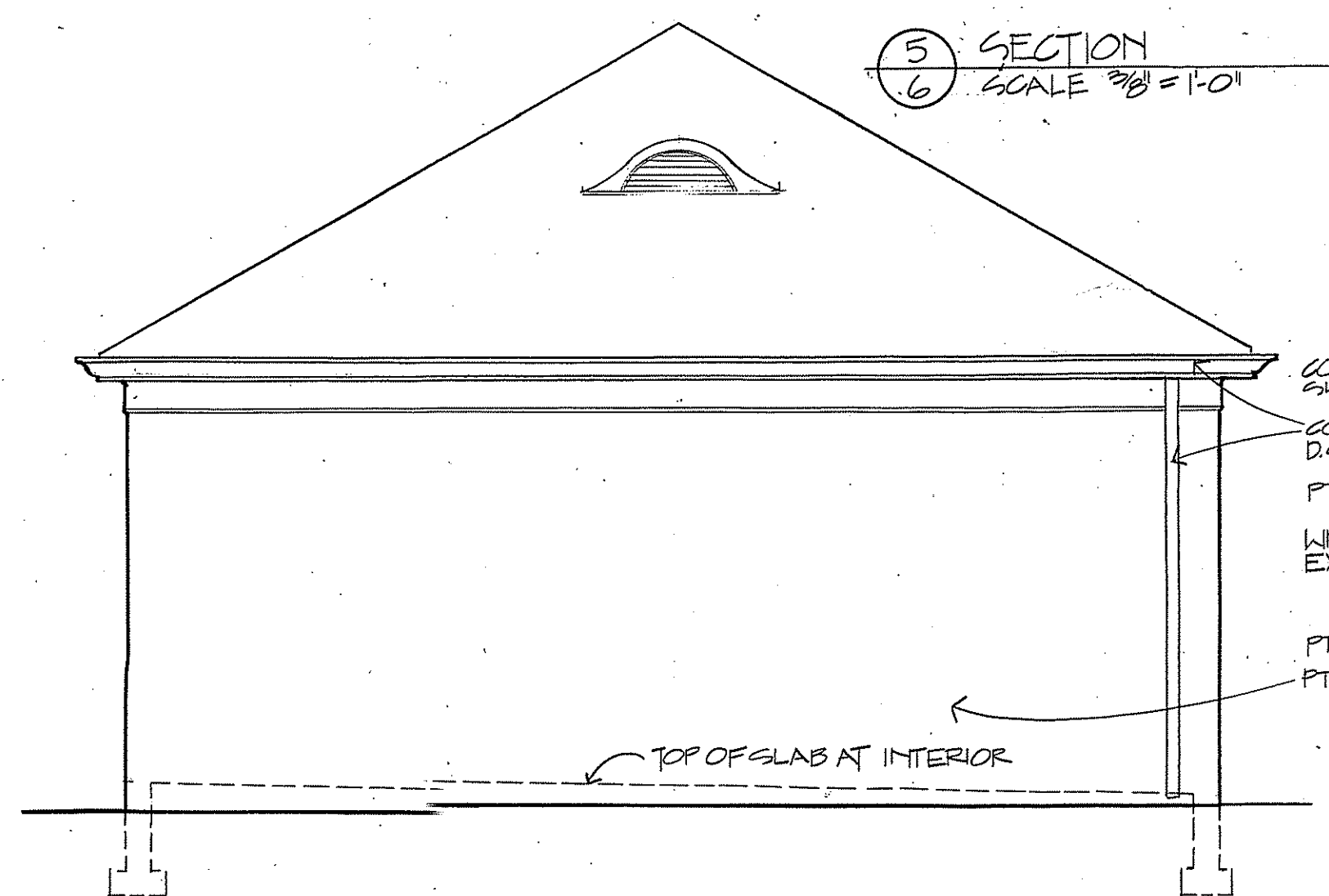
1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



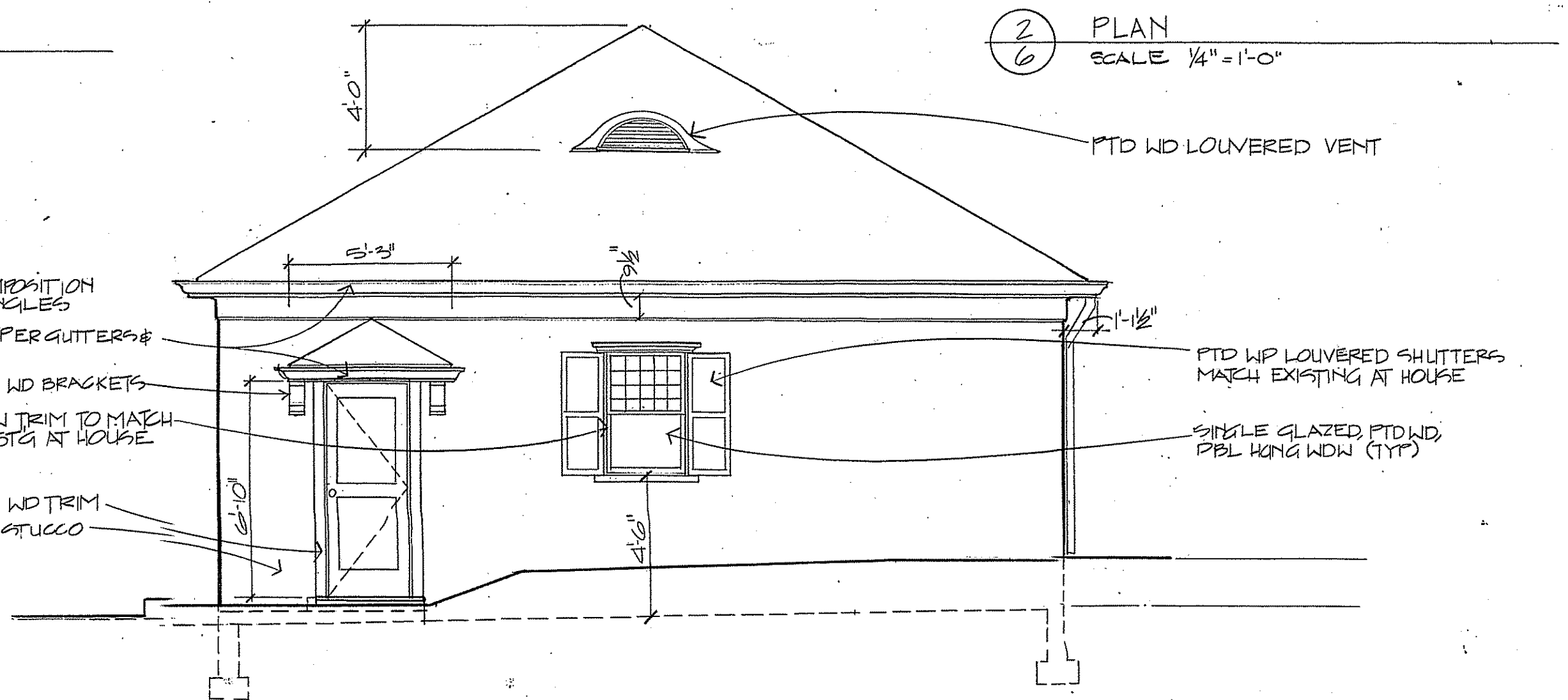
5 SECTION
SCALE 3/8" = 1'-0"



2 PLAN
SCALE 1/4" = 1'-0"



6 SIDE ELEVATION
SCALE 1/4" = 1'-0"



3 SIDE ELEVATION
SCALE 1/4" = 1'-0"

NOTE:
FOR GARAGE FRONT ELEVATION,
SEE SHEET 11

COMPOSITION SHINGLES OVER
3/4" PLYWD + BURR PAPER

COMPOSITION SHINGLE ROOF
MATCH EXISTING AT HOUSE

PTD WD TRIM
PTD STUCCO

PTD DW OR
PREFABRICATED WD TRUSSES

GARAGE DOOR TRACK
MICROLAM BEAM

PTD DW
PTD WD WD + DOOR CASING
SHOOTS SM-4

PTD STUCCO OVER 3/4" PLYWD + METAL
LATH OVER 2x6 STUDS @ 16" OC

PROVIDE FURRING STRIPS TO
CONCEAL CONG BLOCK WALL
LEDGE WHERE ABOVE SLAB

2x6 SILL PLATE + ANCHOR BOLTS

EXPANSION JOINT
CONCRETE BLOCK

8"x16" POURED CONCRETE FOOTING
W/ REBAR

CONCRETE SLAB OVER
COMPACTED GRAVEL

TURNED DOWN SLAB
AT GARAGE DOORS

PREFABRICATED WOOD
TRUSSES (OVER)

FIBER CEMENT WALL TO 8"
WHERE CONG BLOCK
EXTENDS ABOVE SLAB
(AT NORTH + EAST WALLS)

MICROLAM OVER

ALONG SLAB OVER
CONG GRAVEL

2x4 STUD WALL WHERE
CONG SLAB SITS ON
WALL (AT SOUTH + WEST
WALLS)

GARAGE DOOR
TRACK OVER

GARAGE, WIDW + DORMER
OVER

ROOF OVER
CONCRETE STEPS + PAD

COMPOSITION
SHINGLES

COPPER GUTTERS +
D/S

PTD WD BRACKETS

WDW TRIM TO MATCH
EXISTING AT HOUSE

PTD WD TRIM
PTD STUCCO

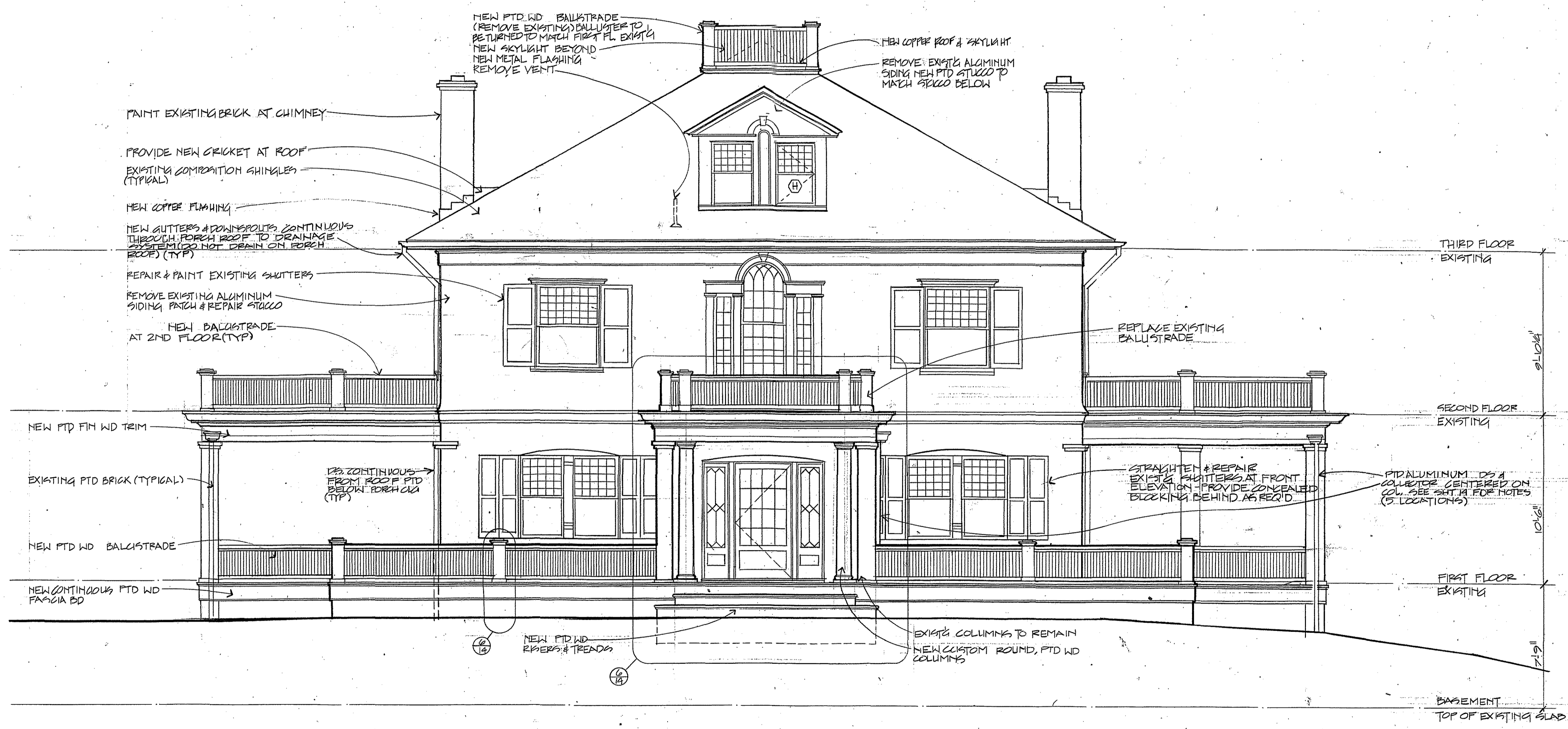
TOP OF SLAB AT INTERIOR

PTD WD LOUVERED VENT

PTD WD LOUVERED SHUTTERS
MATCH EXISTING AT HOUSE

SINGLE GLAZED PTD WD
PBL HUNG WDW (TYP)

Date:
6.28.16



FRONT ELEVATION

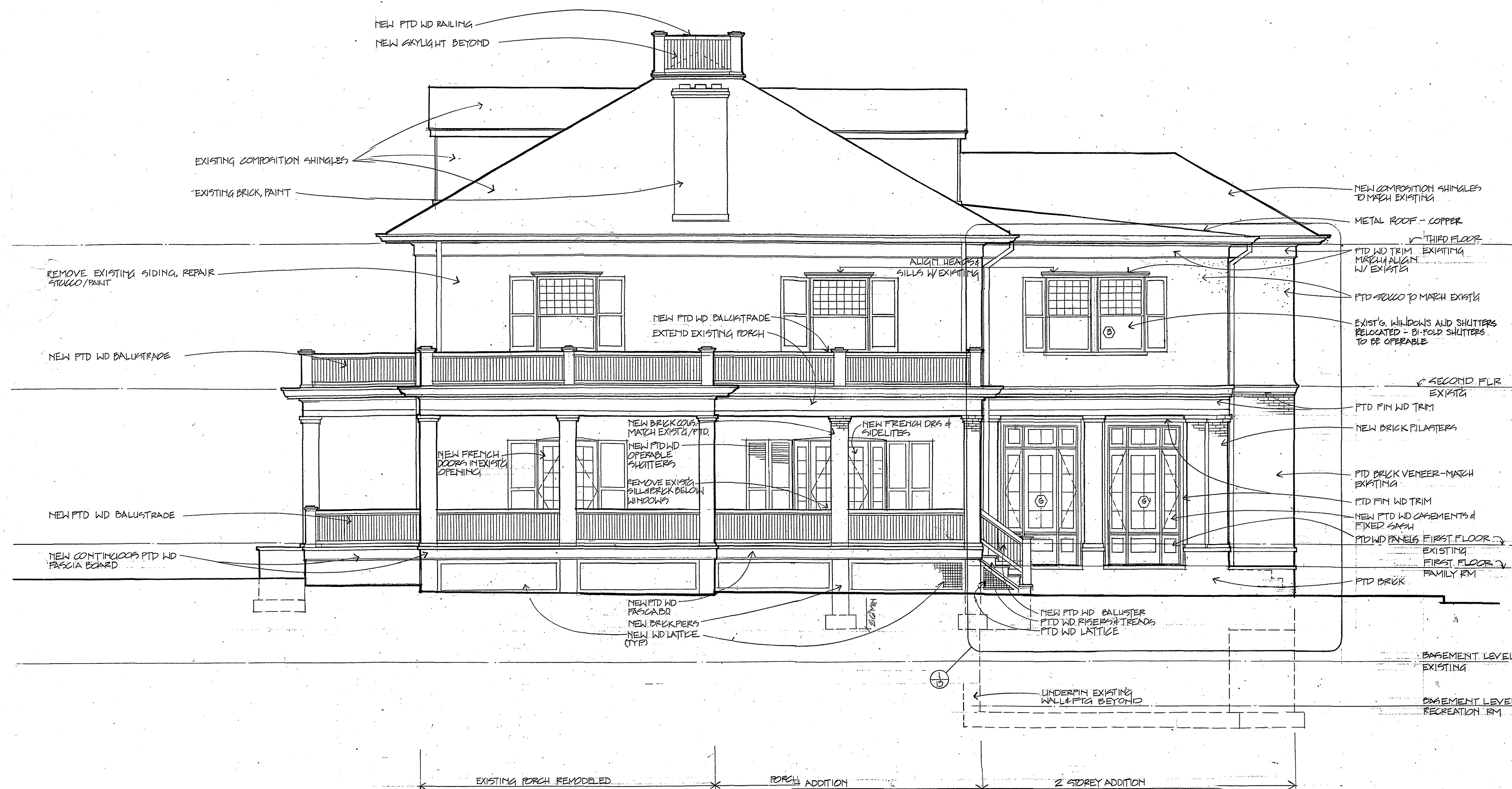
SCALE 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Patricia Parker

JANES RESIDENCE
9 WEST LENOX STREET
CHEY CHASE MARYLAND



Date:
6-28-96



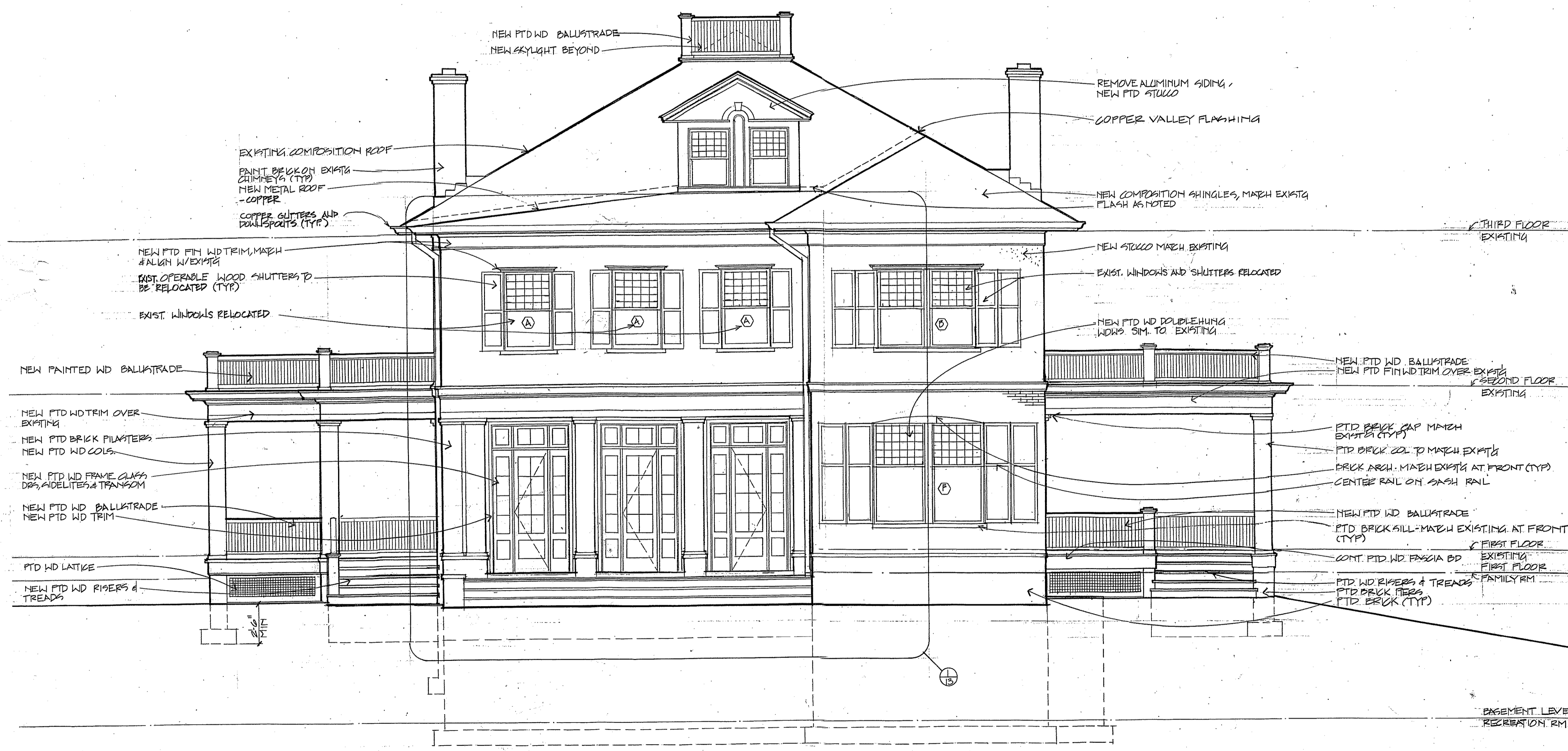
LAUREL PARKWAY ELEVATION

JANE'S RESIDENCE
9 WEST LENOX STREET
CHEY CHASE MARYLAND

APPROVED
Montgomery County
Historic Preservation Commission
Patricia Parker



Date:
6-28-96



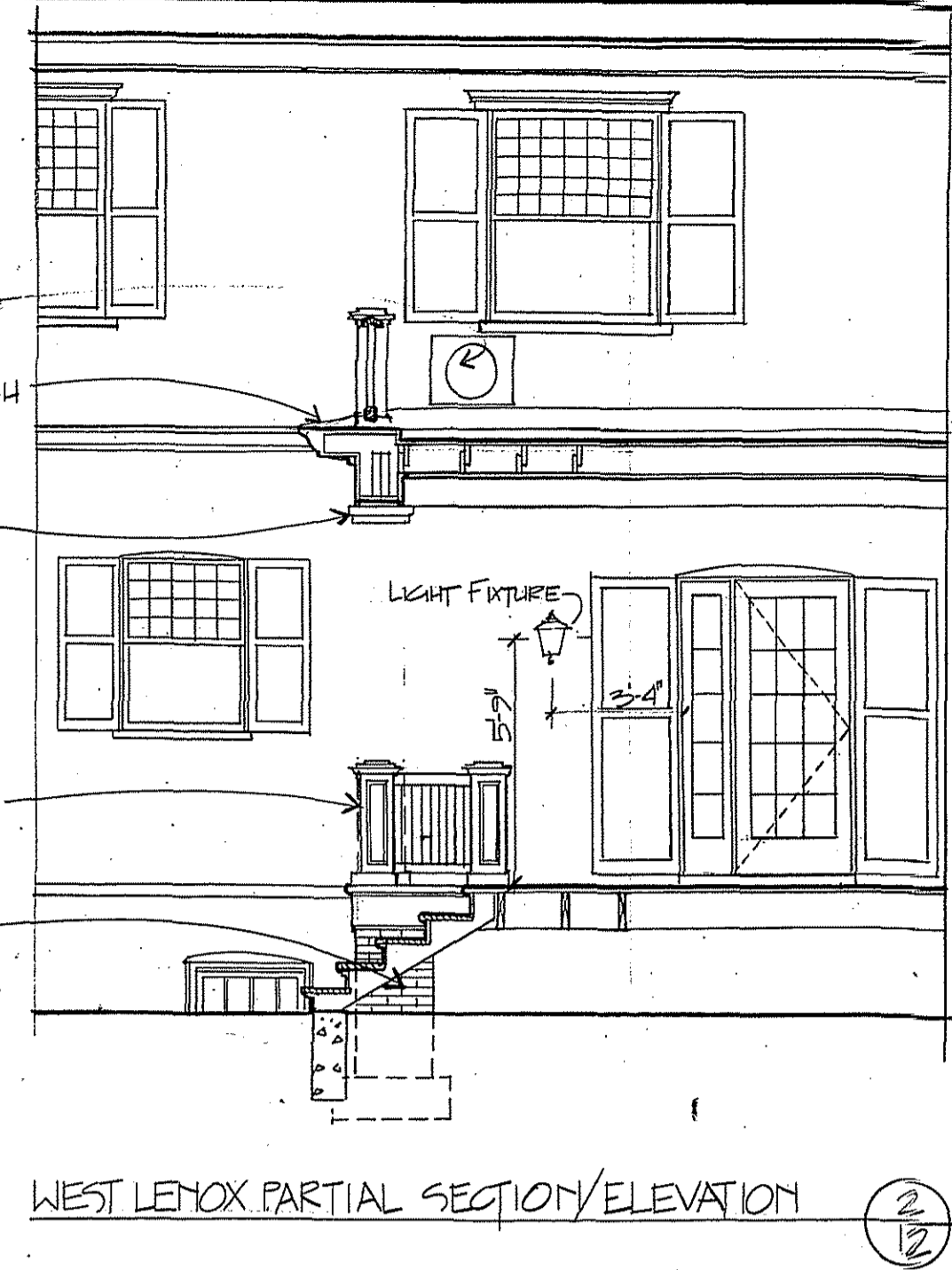
REAR ELEVATION

SCALE 1/4"=1'

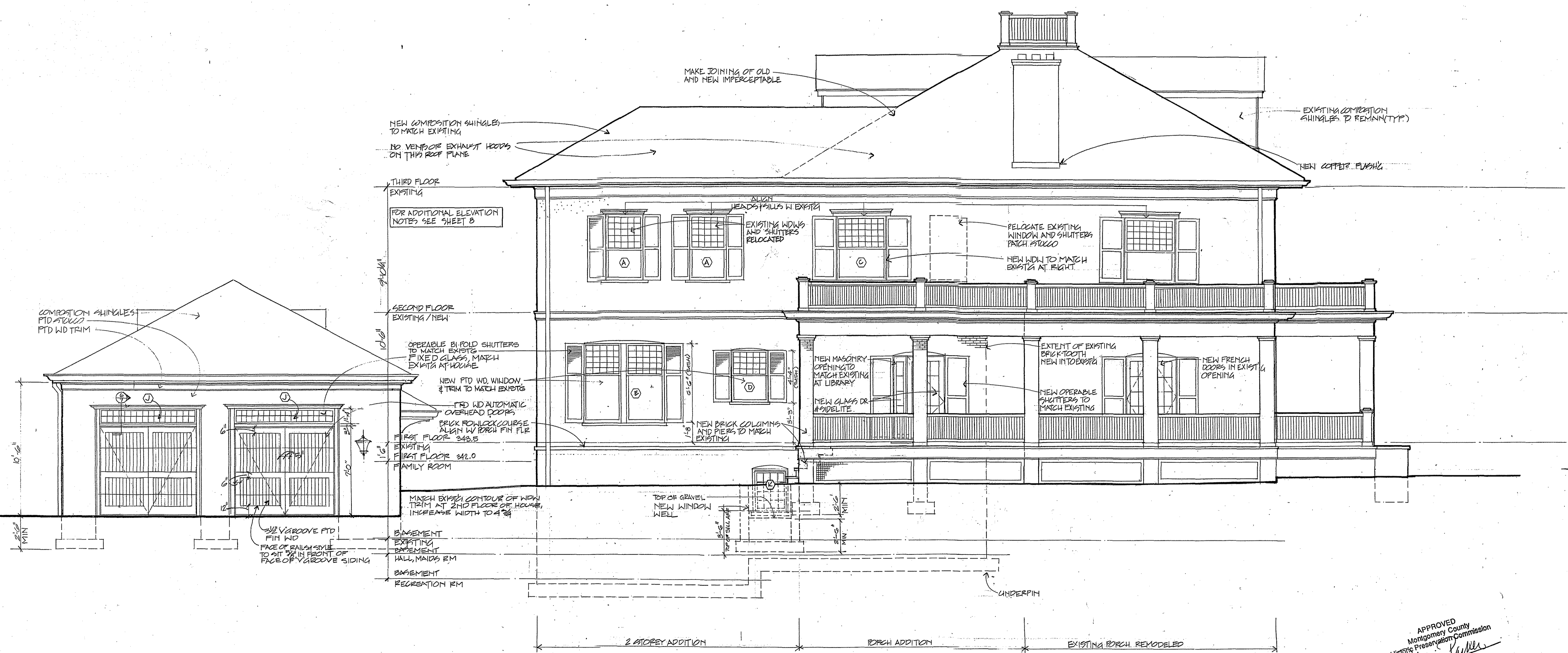
JANES RESIDENCE
9 WEST LENOX STREET
CHEY CHASE, MARYLAND

APPROVED
Montgomery County
Historic Preservation Commission
James Parker

Date:
6-28-96



WEST LENOX PARTIAL SECTION/ELEVATION (2/2)



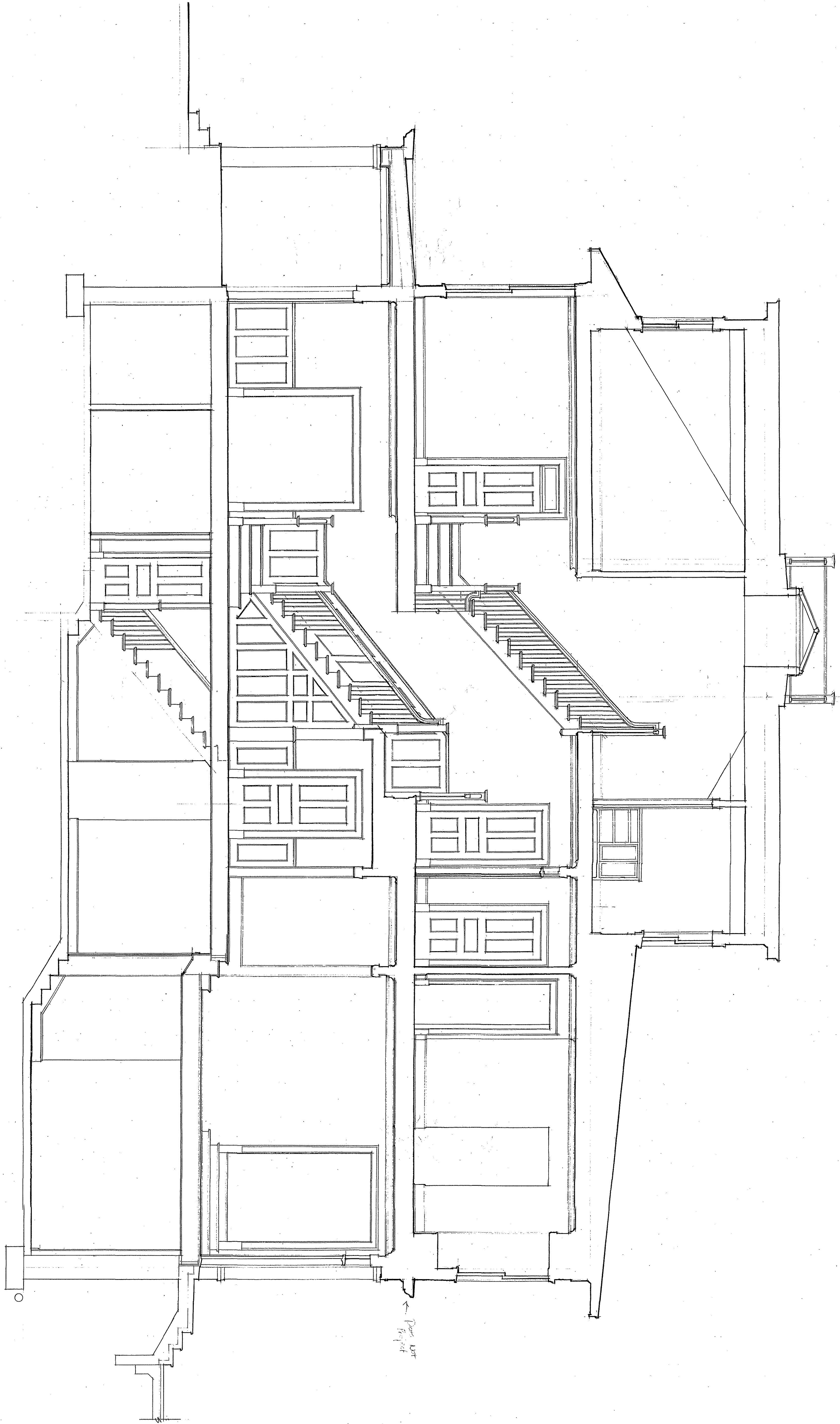
WEST LENOX ST. ELEVATION

SCALE 1/4"=1'-0"

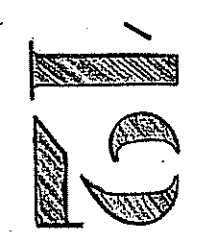
JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MARYLAND

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← Point of Section



JANES RESIDENCE
 9 WEST LENOX STREET
 CHEVY CHASE MARYLAND

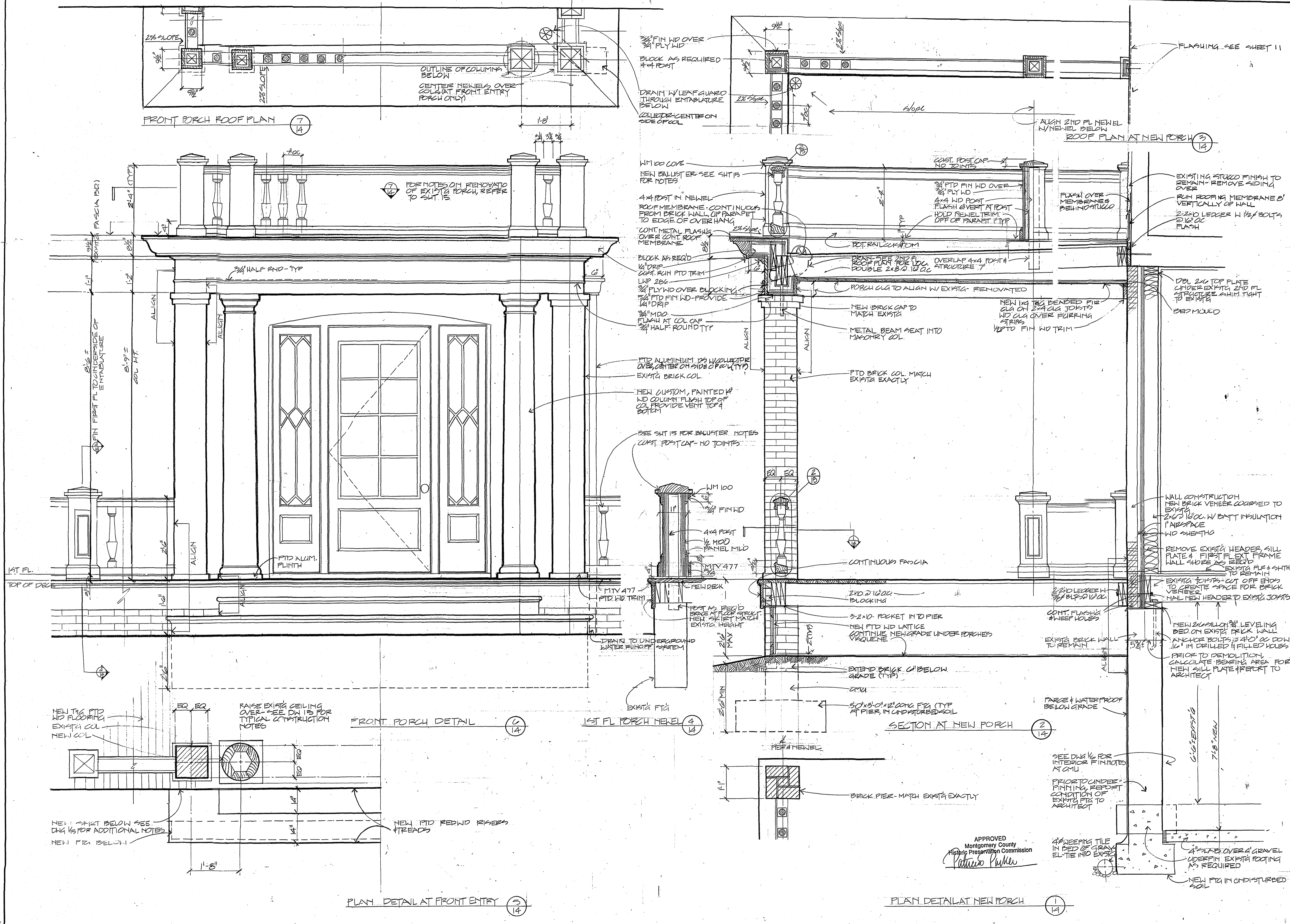
Date:
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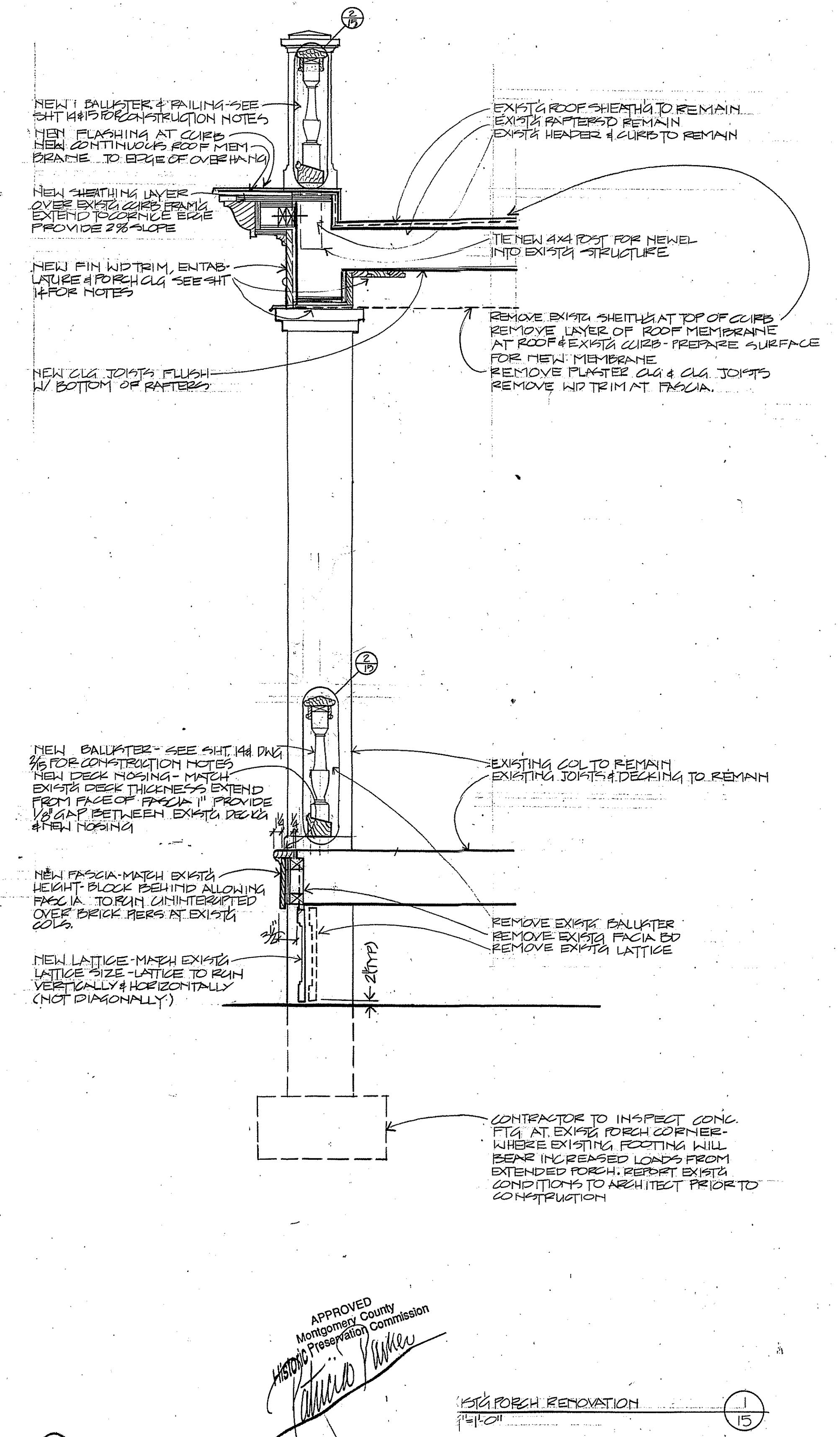
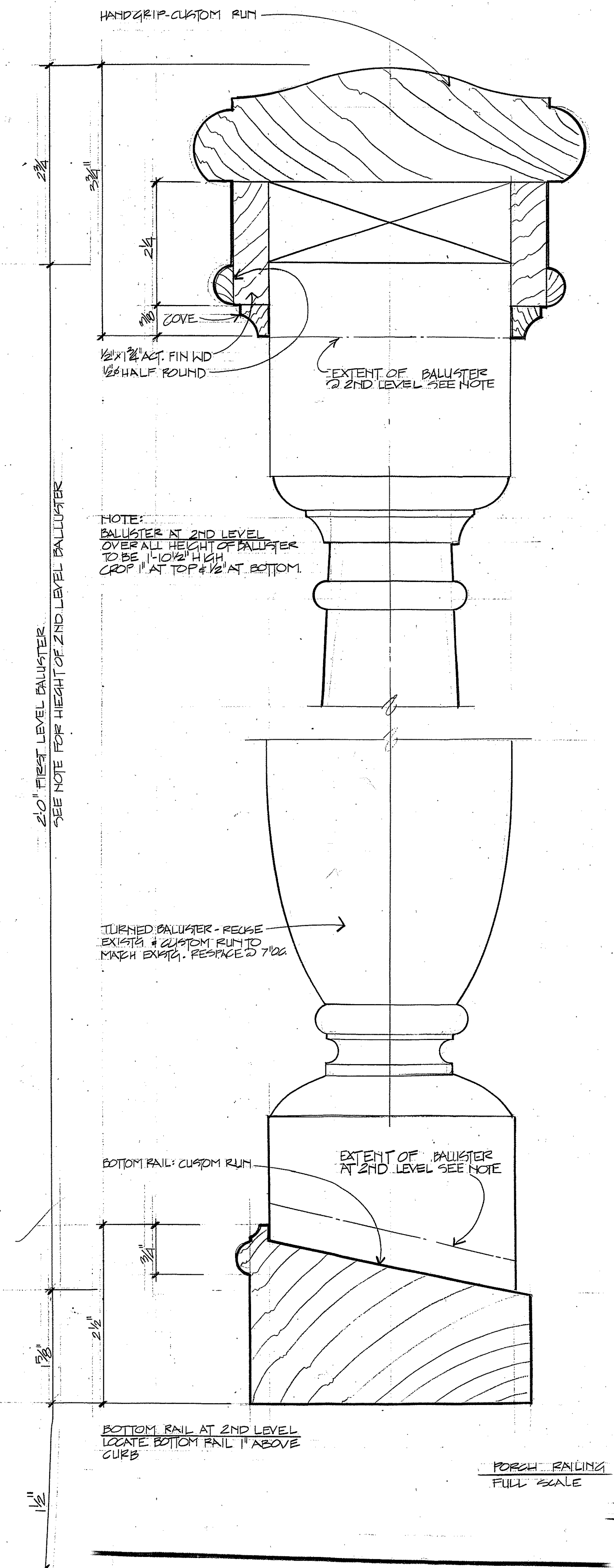
Date:
6-28-90

PORCH ELEVATIONS, SECTIONS
DETAILS, WALL SECTION
SCALE 3/4" = 1'-0"

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9 WEST LENOX STREET
CHEY CHASE MARYLAND



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[Signature]

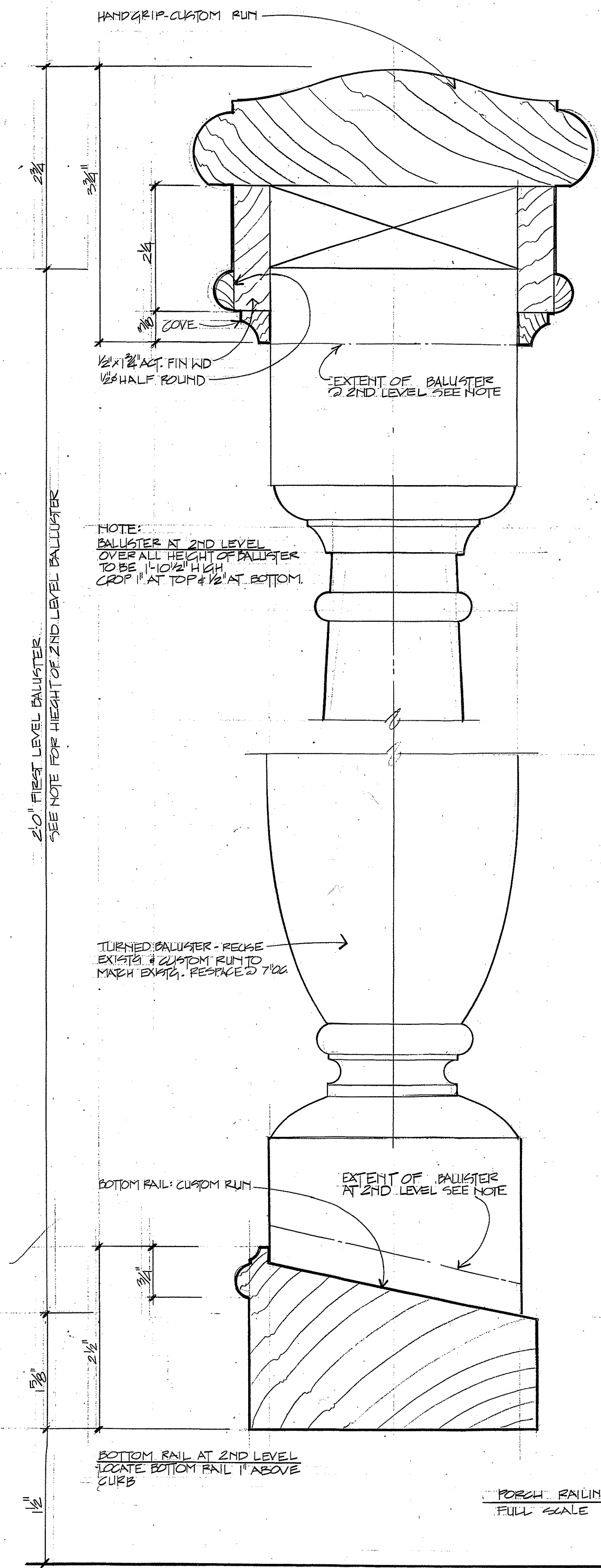
Date:
6-28-96

EXISTING PORCH ELEVATION
RAILING DETAILS
SCALE AS NOTED

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9 WEST LENOX STREET
CHEY CHASE MARYLAND

DETAIL 2/15

1 1/2" PORCH RENOVATION 1/4" = 1'-0"

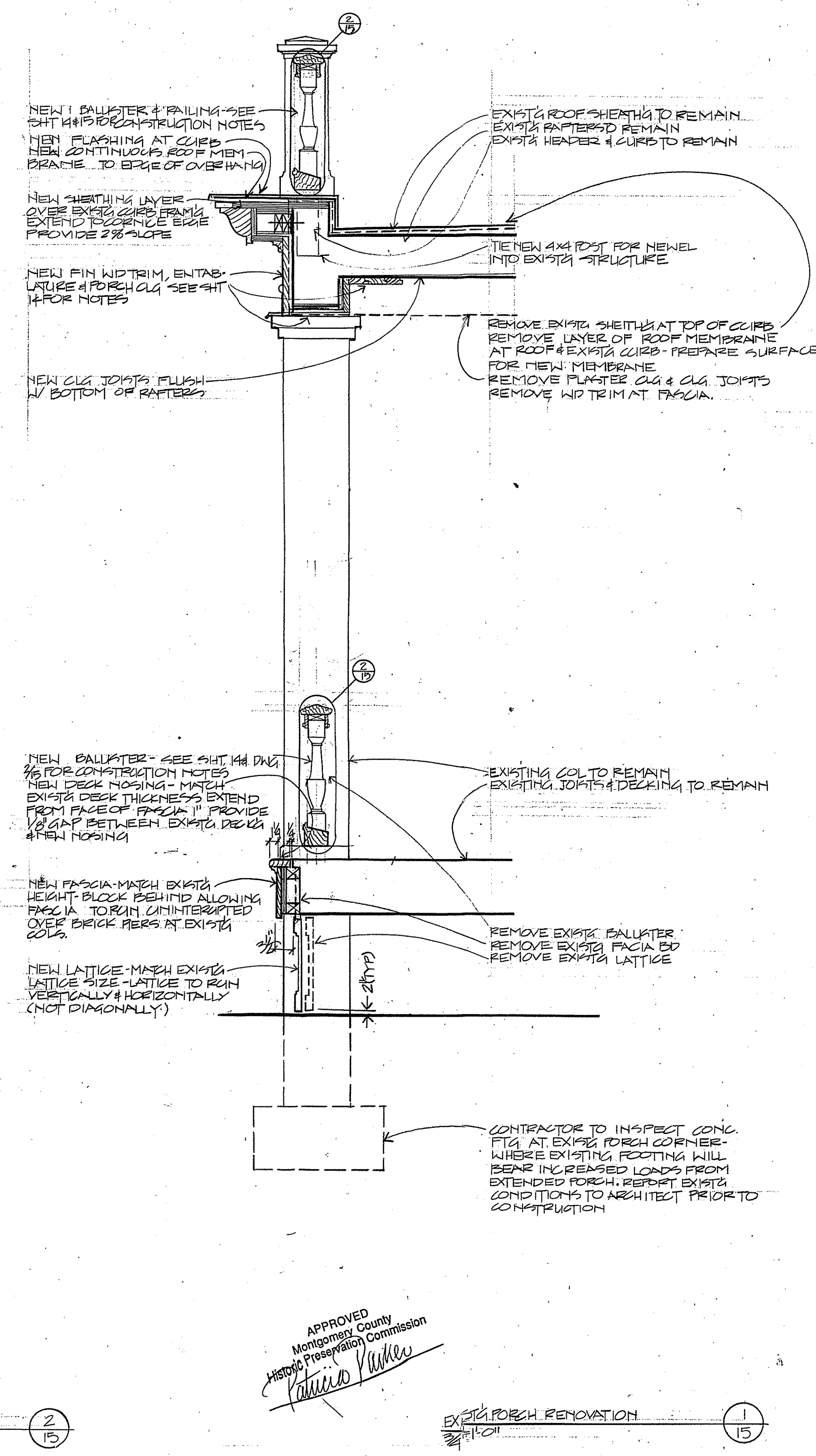


NOTE:
BALUSTER AT 2ND LEVEL
OVER ALL HEIGHT OF BALUSTER
TO BE 1'-10 1/2" HIGH
CROP 1" AT TOP & 1/2" AT BOTTOM

TURNED BALUSTER - REUSE
EXISTING & CUSTOM RUN TO
MATCH EXISTING. RESTORE TO 70%

BOTTOM RAIL AT 2ND LEVEL
LOCATE BOTTOM RAIL 1" ABOVE
CURB

2
15
PORCH RAILING
FULL SCALE



NEW BALUSTER & RAILING - SEE
SHT #15 FOR CONSTRUCTION NOTES

NEW FLASHING AT CURB
TIE CONTINUOUS ROOF MEM-
BRANE TO EDGE OF OVERHANG

NEW WEATHING LAYER
OVER EXISTING CURB FRAMING
EXTEND TO CORNER EDGE
PROVIDE 2% SLOPE

NEW FIN WIDTH TRIM, ENTAB-
LATURE & PORCH CLG - SEE SHT
#14 FOR NOTES

NEW CLG JOISTS FLUSH
W/ BOTTOM OF RAFTERS

NEW BALUSTER - SEE SHT #14 DWG
1/2" FOR CONSTRUCTION NOTES

NEW DECK NOSING - MATCH
EXISTING DECK THICKNESS EXTEND
FROM FACE OF FASCIA 1" PROVIDE
1/8" GAP BETWEEN EXISTING DECK
& NEW NOSING

NEW FASCIA - MATCH EXISTING
HEIGHT BLOCK BEHIND ALLOWING
FASCIA TO RAIN UNINTERRUPTED
OVER BRICK PERS AT EXISTING
COLS

NEW LATTICE - MATCH EXISTING
LATTICE SIZE - LATTICE TO RUN
VERTICALLY & HORIZONTALLY
(NOT DIAGONALLY)

REMOVE EXISTING BALUSTER
REMOVE EXISTING FASCIA ED
REMOVE EXISTING LATTICE

REMOVE EXISTING SHEATHING AT TOP OF CURB
REMOVE LAYER OF ROOF MEMBRANE
AT ROOF & EXISTING CURB - PREPARE SURFACE
FOR NEW MEMBRANE
REMOVE PLASTER CLG & CLG JOISTS
REMOVE WID TRIM AT FACIA

EXISTING COL TO REMAIN
EXISTING JOISTS & DECKING TO REMAIN

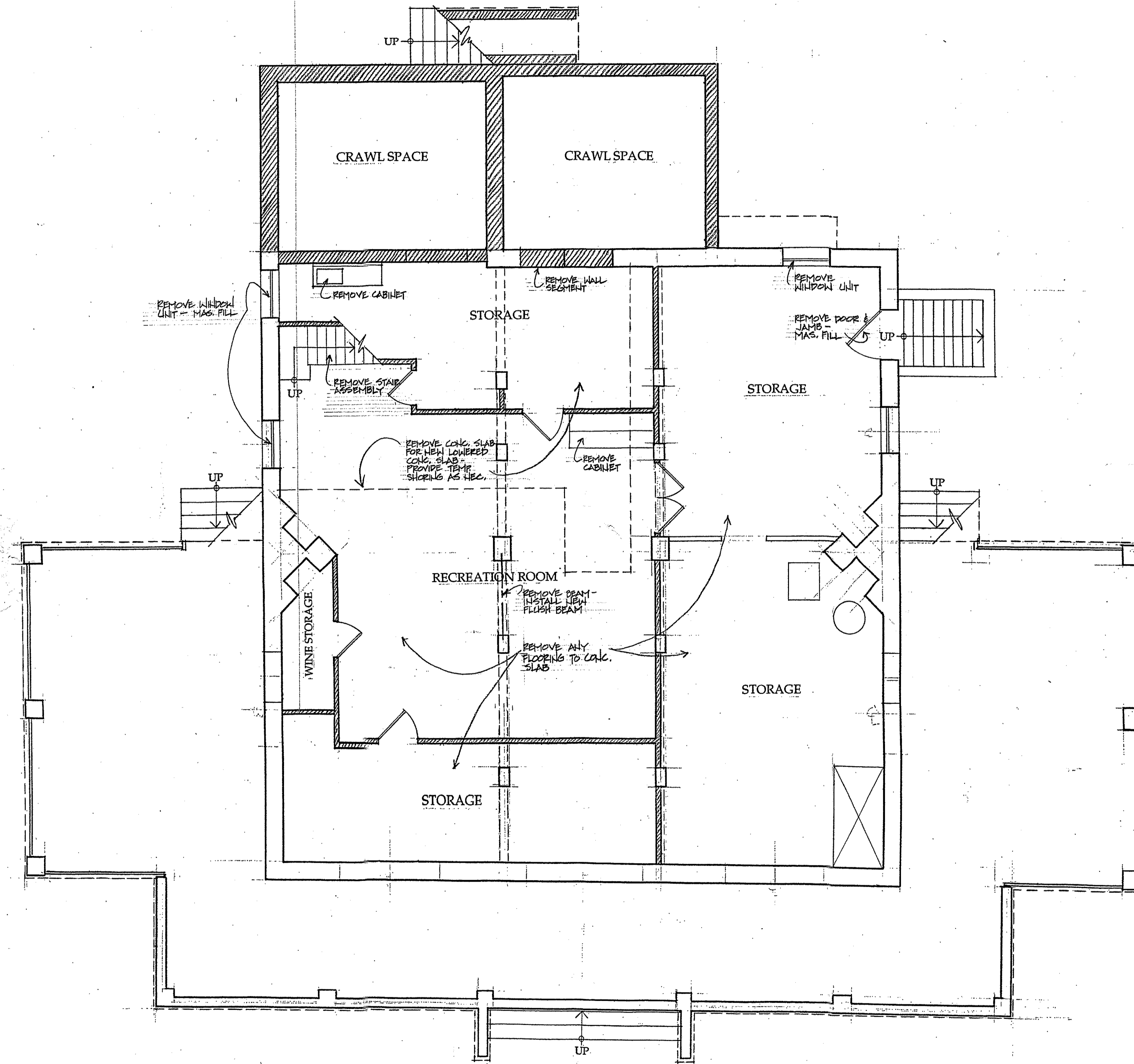
EXISTING ROOF SHEATHING TO REMAIN
EXISTING RAFTERS TO REMAIN
EXISTING HANGER & CURBS TO REMAIN

TIE NEW 4x4 POST FOR NEWELL
INTO EXISTING STRUCTURE

CONTRACTOR TO INSPECT CONC.
FIT AT EXISTING PORCH CORNERS -
WHERE EXISTING FOOTING WILL
BEAR INCREASED LOADS FROM
EXTENDED PORCH. REPORT EXISTING
CONDITIONS TO ARCHITECT PRIOR TO
CONSTRUCTION

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1
15
EXISTING PORCH RENOVATION
3/11/01



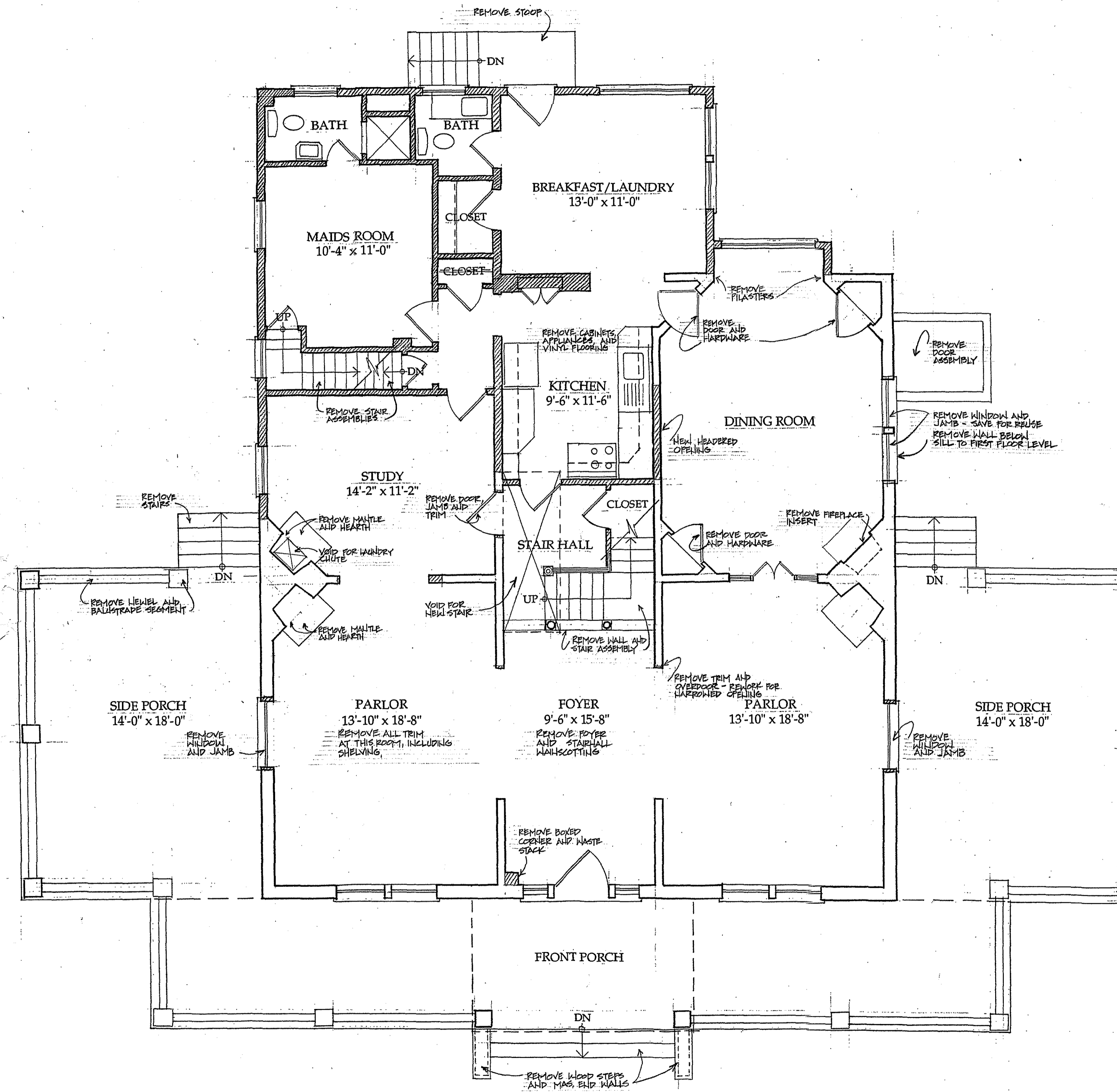
BASEMENT FLOOR PLAN DEMOLITION PLAN
 1/4"=1'-0"

Date:
 6.5.96

DEMOLITION PLAN BASEMENT

JANES RESIDENCE
 9 WEST LENOX STREET
 CHEVY CHASE MARYLAND





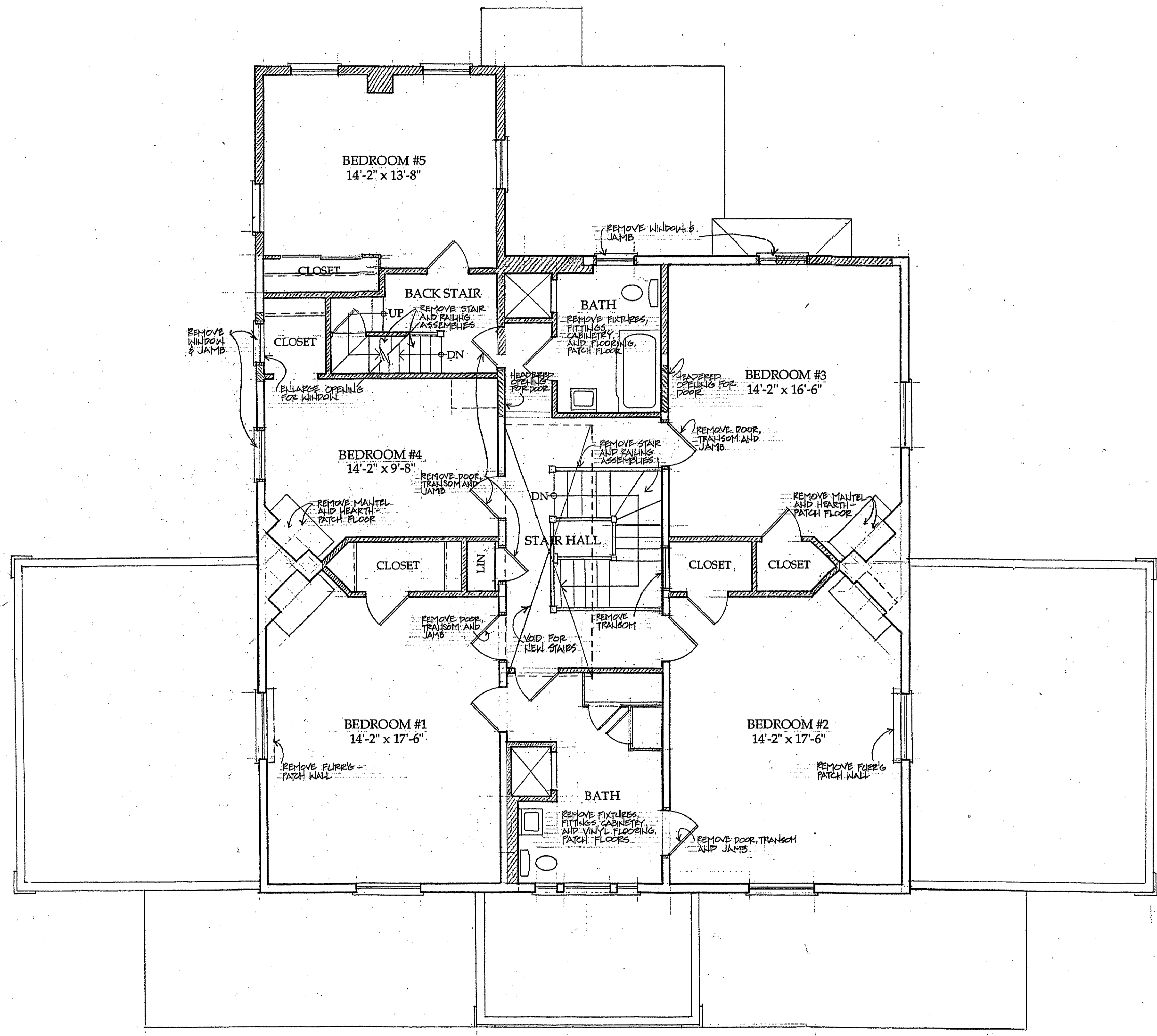
FIRST FLOOR PLAN DEMOLITION PLAN
1/4"=1'-0"

Date:
6-5-96

DEMOLITION PLAN FIRST FLOOR

JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE MARYLAND



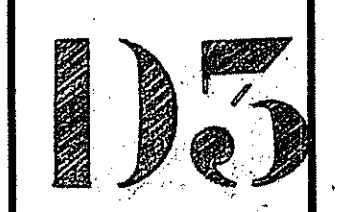


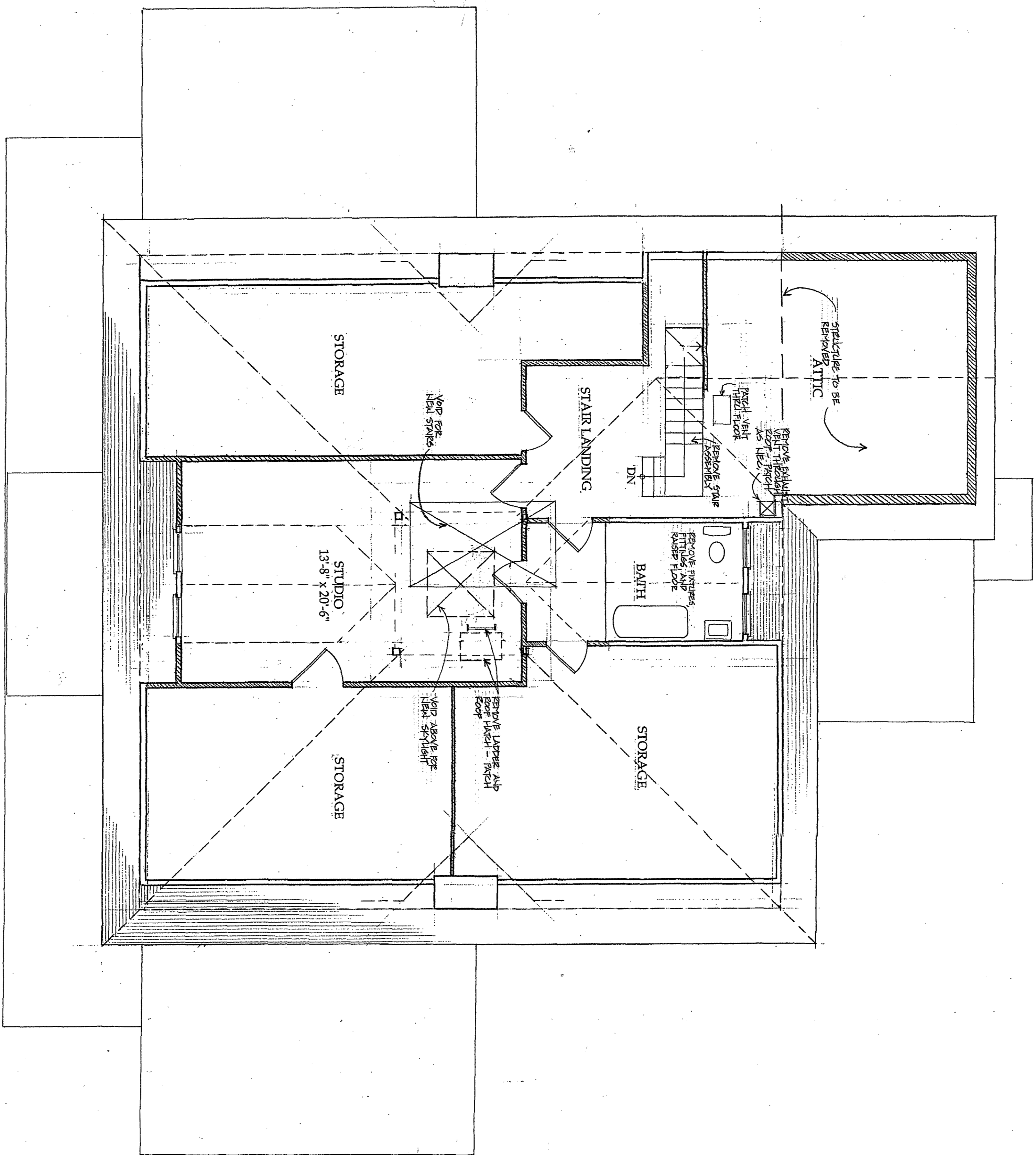
SECOND FLOOR PLAN DE DEMOLITION PLAN
 1/4"=1'-0"

Date:
 6.5.96

DEMOLITION PLAN SECOND FLOOR

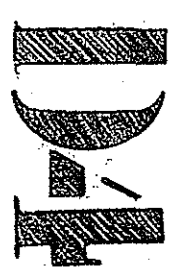
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 9 WEST LENOX STREET
 CHEVY CHASE MARYLAND





THIRD FLOOR PLAN DEMOLITION PLAN

1/4"=1'-0"



JANES RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE MARYLAND

DEMOLITION PLAN THIRD FLOOR

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