

~~35/13-990~~ 4102 Leland Street 35/112
Chevy Chase (Chevy Chase Village HD)

told g. myers that it
was resched → 1/31
He will call the Neads
and let them know

4/26 11:30

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4102 Leland Street, Town of Chevy Chase **Meeting Date:** 01/26/00
Applicant: Jeffrey & Jane Neal **Report Date:** 01/19/00
(George Myers, Architect)
Resource: *Locational Atlas* Resource #35/112 **Public Notice:** 01/12/00
(Frances Duer Jones House I, Chevy Chase Park)
Review: HAWP **Tax Credit:** No
Case Number: 35/112-00A **Staff:** Perry Kephart
PROPOSAL: Front Alterations/New Porch **RECOMMEND:** Deny

PROJECT DESCRIPTION

SIGNIFICANCE: *Locational Atlas* Resource (recommended by HPC and Planning Board for designation on *Master Plan for Historic Preservation*)
STYLE: Mediterranean Revival
DATE: 1916

The 2½ story, stucco clad, symmetrical, ell-shaped residence has a front doorway set in a flattened half tower center section. The main structure has a multi-formed roof with a side gabled center section and hipped side sections. A belt course surrounds the building below the second story windows. There are asymmetrical, one story additions at either end of the house. The house has a hollow tile roof with a shed roof dormer set in the roof above the central section. There is ornamental plasterwork in blind arches of the first floor windows. From the classical doorway, steps lead from an open front porch or stoop to the street.

PROPOSAL

The applicant proposes to construct an Italian Renaissance style portico and balustrade in front of the main doorway, modifying the front stoop to a hexagonal porch with pilasters and paired columns on either side of the existing classical doorway.

STAFF DISCUSSION

The subject property is included in the current Planning Board (Final) Draft Amendment to the *Master Plan for Historic Preservation* for Town of Chevy Chase Historic Resources. It has been recommended by both the HPC and Planning Board for designation as an individual

Master Plan historic site, along with six other outstanding resources in Chevy Chase Park. The house at 4102 Leland Street, although designed and constructed at the same time as the other six houses in Chevy Chase Park, is singular in the use of a mix of Italian and Spanish architectural forms. The simplicity of styling and the ell-shaped form are also unique.

The applicant received approval for changes to the rear and side of the property at the July 14, 1999 meeting of the HPC, and for changes to the driveway and front landscape at the December 15, 1999 meeting of the HPC. The proposed changes to the front facade were deleted from these applications and have been submitted in a separate application at this time.

Staff would recommend that the **proposed modification of the front stoop and the addition of the front porch be denied** as being inappropriate to the preservation of the front facade of a historic resource which is recommended for individual designation.

The proposed portico is well designed and is reminiscent of Revival porch treatments, although it is substantially different from the other front facade treatments at other potential historic properties in Chevy Chase Park. More importantly, the addition of a porch where no porch ever existed is problematic as the unique front facade of the historic resource would be substantially altered by the addition of a central feature such as a porch, no matter how skillful the porch design.

It should be noted that staff feels that a porch addition is not in keeping with the Secretary of Interior's Standards for Rehabilitation, especially #3, which states that:

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

As noted in the Statement of Significance that was prepared as part of the evaluation of the property for historic designation, the house at 4102 Leland is significant for its level of architectural integrity and significance. It is unique in that it combines features with Italian Renaissance elements (as also seen on 4101, 4103, and 4104 Leland Street) such as the elaborate first floor window treatments with simpler windows above, wide eave overhangs, and a belt course (and the ceramic tile roofing characteristic of most Mediterranean style buildings) with distinctive stylistic elements taken from the Spanish Eclectic vocabulary - including the combined hipped and gabled roofs in an ell form, the central "tower" feature, the stucco wall surface, the window arches, and the less elaborate entrance door.

The use of the Spanish architectural features is in keeping with the 1916 construction date of the house shortly after the popularization in 1915 of Spanish architectural themes by the Panama-California Exposition. Addition of a feature that would substantially alter the distinctive historic elements of this unique resource should be denied.

Significant changes to the front facade of a resource are generally problematic. There are a number of precedents for the denial of the application, including the denial of the replacement of an original Revival Style portico with a portico of a different Revival design at 102 East Melrose

Street in Chevy Chase Village Historic District. The HPC approved an extension of the roof line at 17 Oxford Street in Chevy Chase Village at the January 12, 1999 meeting with the condition that the original portico and other front facade features not be affected. Both cases were for contributing, not outstanding or individual, resources. The most notable precedent would be the denial of the removal of the columned front portico at Glenmore (*Master Plan Site #29/38*). The addition of a conjectural feature or removal of a predominant feature on a primary resource - in both cases substantially altering the front facade - should be denied.

STAFF RECOMMENDATION

Staff recommends that the Commission **deny** the HAWP application to construct a new front portico at 4102 Leland Street in the Town of Chevy Chase. Staff's recommendation is consistent with Chapter 24A-8(a):

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

and with the Secretary of the Interior Guidelines #2, #3, and #9:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*Staff report
G was
Real
G was explained
process*

*op-
Concern
re process-
did that might
not qualify
for hist demg*

DH - seen other houses in other places.
this is distinction

LW -

EE - st w/ brackets - recessed.

SS - could just extend

MD - some shelter.

SU - some shelter. extend molding out

EA - go down & want to look in balcony?
Real - said no

*DH not agree.
LW second
0*

*Jed Reed
G was Angus*

Chevy Chase Park



4102 Leland Street (1916)
Frances Jones House I
35/112

SIGNIFICANCE:

The Jones House is a Mediterranean style building that is unique in the immediate area but graciously compliments the Renaissance and Classical styling of other nearby homes. It has a complex hipped roof that is covered in hollow tiles, a feature that has not changed since its construction in 1916. The building is elegant in its simplistic detailing, such as ornamental plaster work in blind arches around the large first floor windows and a muted classical door surround with Bull's-Eye corner moldings below a small cornice. The protruding center portion of the ell is rounded at the edges and accented by a belt course.

The Jones House is at the gateway to Chevy Chase Park. This is one of two adjacent houses owned by Frances Duer Jones for over 25 years. Jones purchased the two homes and a number of adjacent parcels of land in 1916 from the developer of Chevy Chase Park, Fannie Barrett. Jones then lived in one (4102 Leland) and rented the other (4104 Leland).

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 9,580 square feet (Lot 20, Block 7)

Continuation Sheet

Section: 8 Page: 1

Statement of Significance

The Frances Jones House is a Mediterranean style building that forms a gateway into Chevy Chase Park and welcomes residents and visitors alike to the historic subdivision. This is one of two adjacent houses owned by Frances Duer Jones for over twenty five years. The house is significant for its connection to the pioneering female developer of Chevy Chase Park, Fannie Barrett, and for its level of architectural integrity and significance.

Barrett purchased a 120-acre tract in April 1909 and platted "Chevy Chase Park" in September 1910. Though a small subdivision encompassing only eight blocks, Chevy Chase Park was ambitious, offering public amenities and substantial, well-designed model houses in an attractive park-like setting.

Like the well-known Chevy Chase Land Company, Barrett built model houses to encourage potential buyers. Her first houses (c1914) were modest builder-type bungalows while later houses (1916-1918) were grand architect-designed showpieces. 4102 Leland Street is a prime example of the second phase of Barrett's development, especially for its unique massing and Mediterranean style.

Leland Street was a logical location for Barrett to locate these substantial houses. It was the only paved interior street in the vicinity (in the boundaries of what is now the Town of Chevy Chase). Newly constructed by 1915 and maintained by the county, Leland Street was an important east-west thoroughfare connecting Wisconsin and Connecticut Avenues.

The Jones House is also significant for its high level of architectural integrity and significance. The ell-shaped house is unique to the area and displays a synthesis of elements and forms that can be summarily called "Mediterranean." The Jones House includes Italian Renaissance elements, such as accented windows and doors, a belt course, and a hipped tile roof with deep eaves. The house is also reminiscent of Spanish Eclectic forms, as the ell-shaped massing creates an implied courtyard in front of the principal elevation. This "Mediterranean" form can therefore be distinctly linked to the Italian Renaissance style that were popular amongst architects working in high-style designs in major metropolitan areas in the early twentieth century.

Jones purchased the two homes and a number of adjacent parcels of land in 1916 from Barrett, living in one (4102 Leland) and renting the other (4104 Leland). Jones remained a resident and owner in Chevy Chase Park for over twenty five years. As platted, many of the lots in Chevy Chase Park were a substantial 100 feet wide. The property at 4102 Leland remains large and still commands a prominent position in the neighborhood.

STYLE NO 57.4P



4101 Fessenden (1917) Existing



EXISTING



PO BOX 607311 ORLANDO FL 32860 (407) 846-3311

Reinhold
ARCHIVAL PRESERVER



4102 Heland (1916) Existing



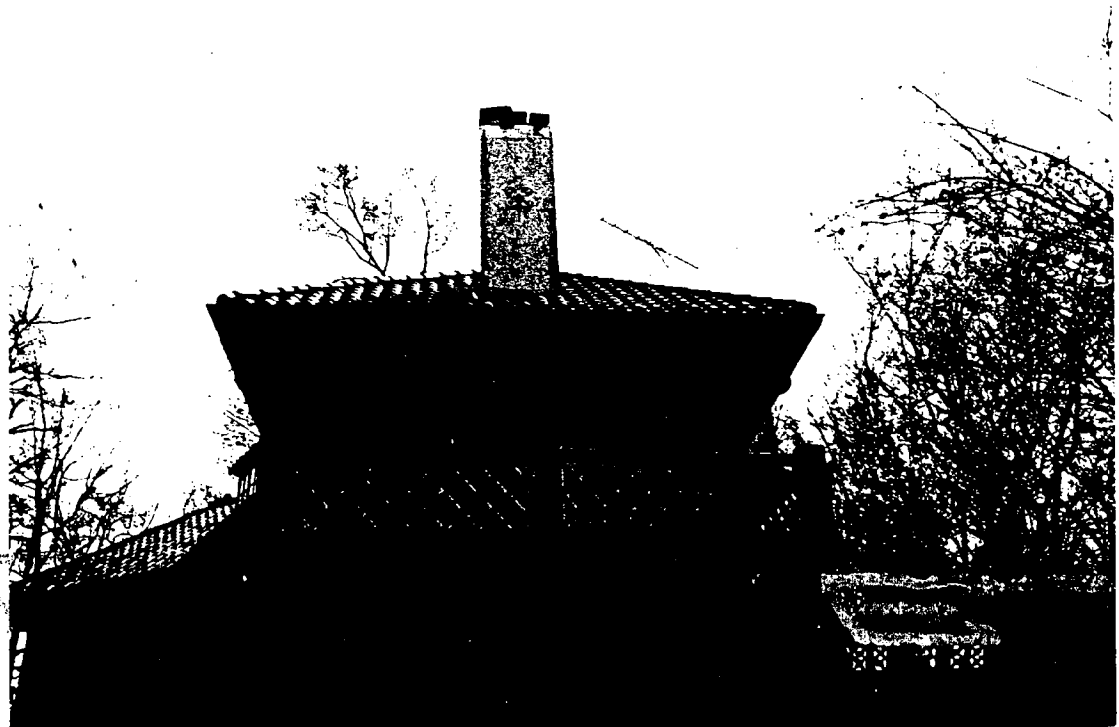
4102 LELAND STREET



(7)

Existing

4102 LELAND STREET



Existing

⑧

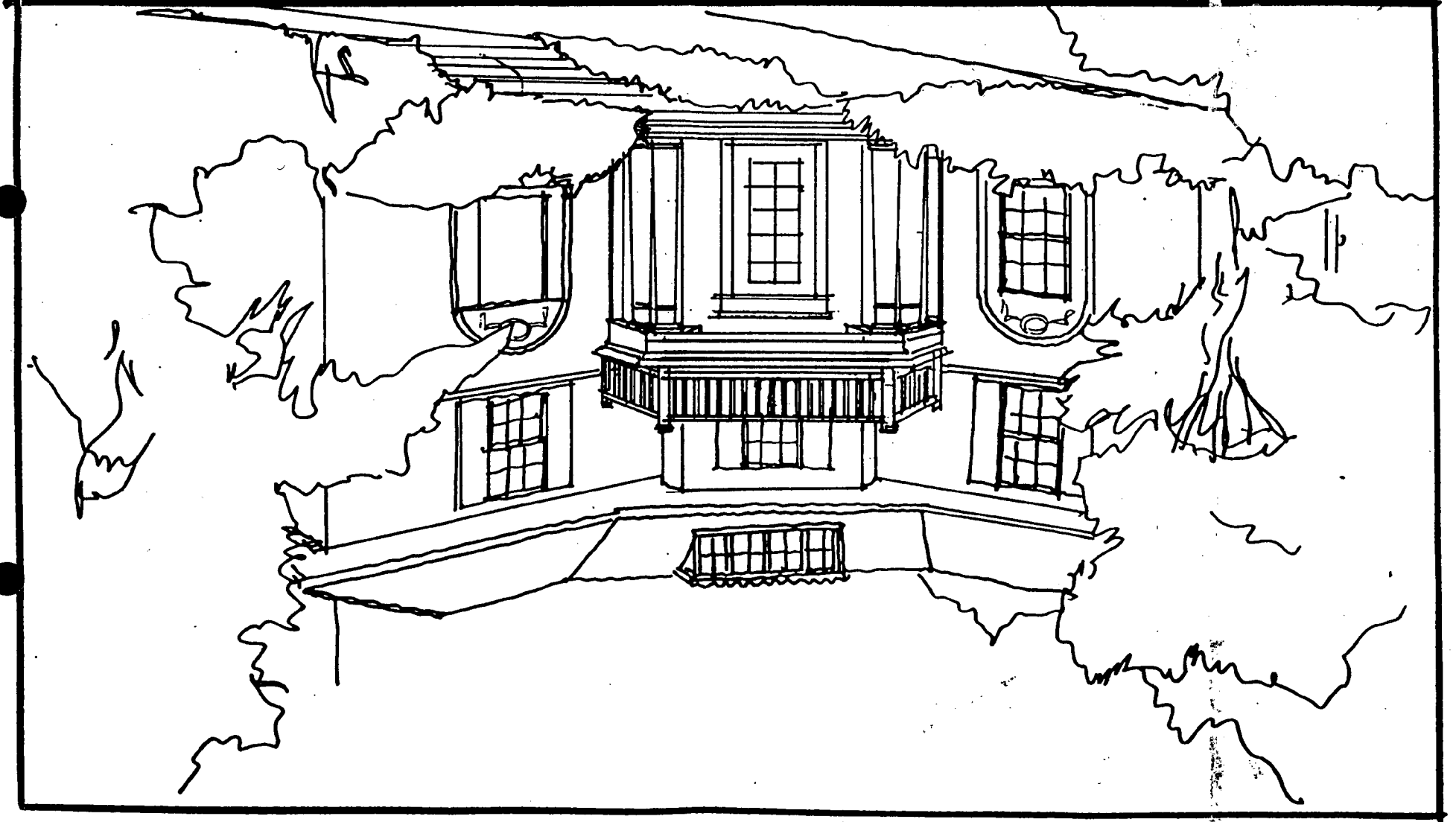
4102 LELAND STREET

5-3-99

NEAL RESIDENCE

Proposed

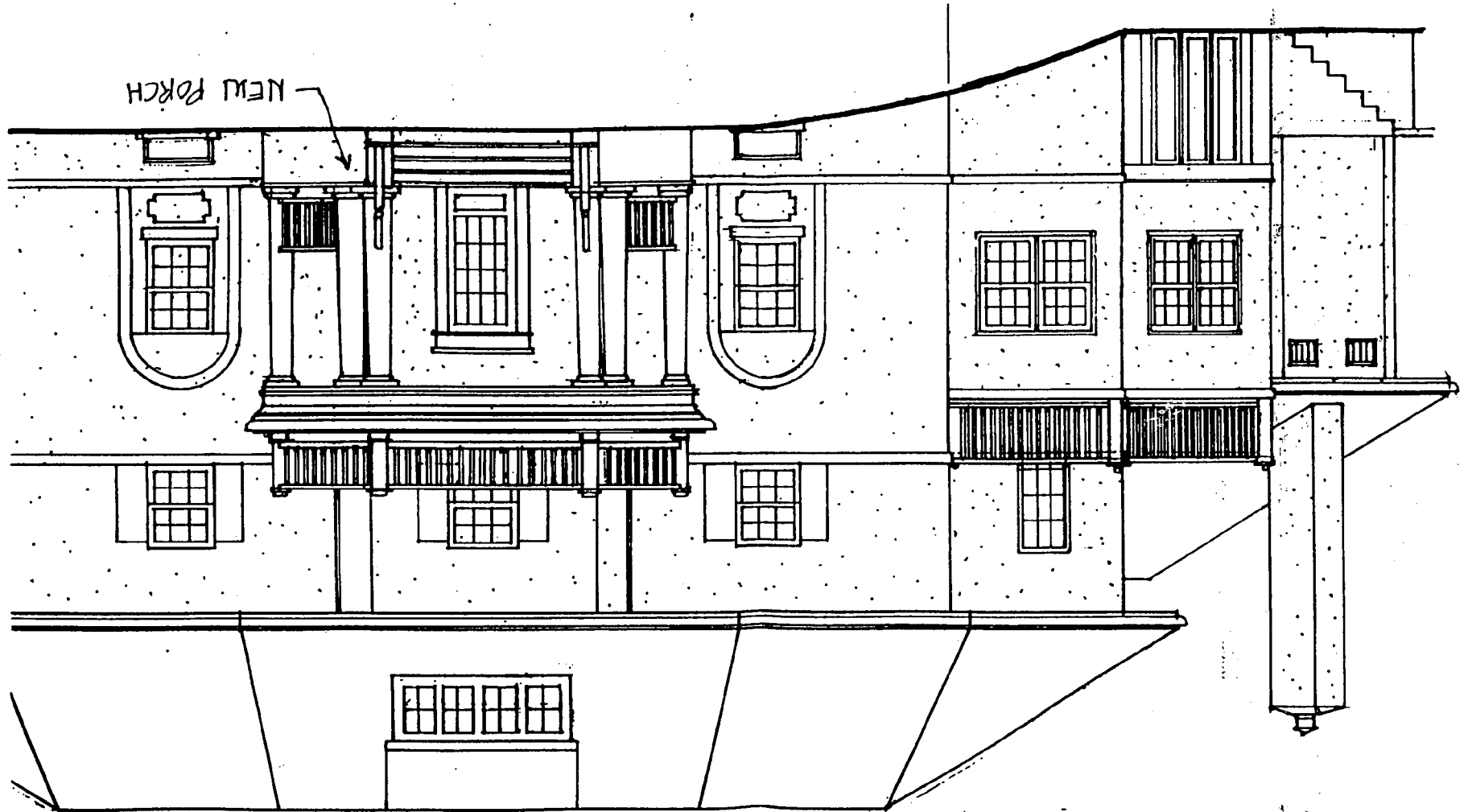
FRONT PORCH OPTION #1



Proposed

(10)

NEW PORCH



ECLECTIC HOUSES
Italian Renaissance
1890-1935

IDENTIFYING FEATURES

Low-pitched hipped roof (flat in some examples); roof typically covered by ceramic tiles; upper-story windows smaller and less elaborate than windows below; commonly with arches above doors, first-story windows, or porches; entrance area usually accented by small classical columns or pilasters; facade most commonly symmetrical.

PRINCIPAL SUBTYPES

Four principal subtypes can be distinguished:

SIMPLE HIPPED ROOF—Over half of Italian Renaissance houses have a simple hipped roof with a flat, symmetrical front facade. Full-width porches, often with massive square piers as porch supports, are frequent in examples built before 1920.

HIPPED ROOF WITH PROJECTING WING(S)—Many Italian Renaissance houses have either a small central wing projecting forward from the front facade, or two small wings at either end of the facade with a recessed central block in between.

ASYMMETRICAL—A relatively small proportion of Italian Renaissance houses have unbalanced, asymmetrical facades. Usually the asymmetry involves only door and window placement on an otherwise symmetrical building of simple square or rectangular plan. Less commonly L plans or more complex shapes are used.

FLAT ROOF—Many high-style Italian Renaissance houses have flat roofs, usually with a prominent, dentiled cornice and roof-line balustrade. Typically the first story is rusticated (finished as exaggerated stonework courses), while the floors above have smooth wall finishes. Facades are symmetrical. These are almost always architect-designed landmarks built of stone; they are closely related to flat-roofed, Beaux Arts style houses, which are similar but add more elaborate facade detailing.

VARIANTS AND DETAILS

Details are borrowed more or less directly from the Italian originals. Among the most characteristic are recessed entry porches and full-length first-story windows with arches above. The roof, except when flat, commonly has broadly overhanging, boxed eaves; normally the eaves have decorative brackets beneath. These features of the roof-wall junction are helpful in distinguishing Italian Renaissance houses from related Mediterranean styles with tiled roofs. Mission houses usually have wide eave overhangs, but these are commonly open rather than boxed-in. Spanish Eclectic houses normally have little or no eave overhang. Eave brackets are rare on both Mission and Spanish Eclectic houses. Common decorative details include quoins, roof-line balustrades, pedimented windows, classical door surrounds, molded cornices, and belt courses. Stucco, masonry, or masonry-veneered walls are universal; wooden wall claddings are never used. Note that similar details appear in several earlier styles with Renaissance roots, particularly the Georgian, Adam, and Italianate. Because of these similarities, Italian Renaissance houses sometimes resemble Georgian- or Adam-inspired examples of the contemporaneous Colonial Revival.

OCCURRENCE

The Italian Renaissance style is found in early 20th-century houses throughout the country but is considerably less common than the contemporary Craftsman, Tudor, or Colonial Revival styles. Primarily a style for architect-designed landmarks in major metropolitan areas prior to World War I, vernacular interpretations spread widely with the perfection of masonry veneering techniques; most of these date from the 1920s. The style steadily declined in popularity through the 1930s, and post-1940 examples are rare.

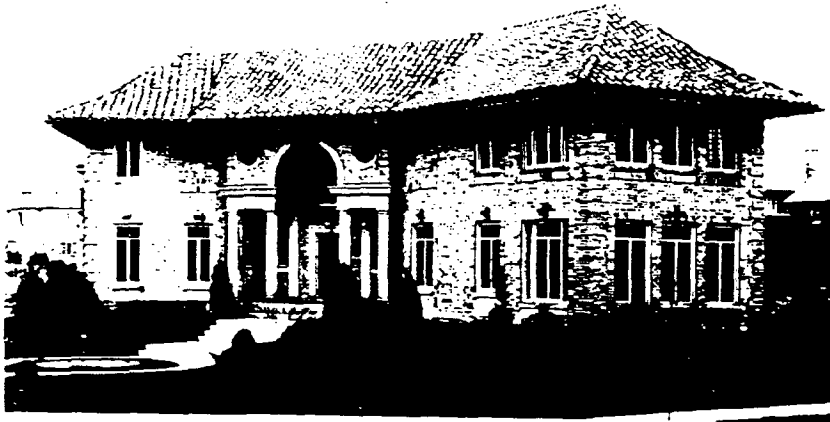
Proposed

Eclectic Houses: Italian Renaissance



COVERED PORCH W/
CLASSICAL COLUMNS

CIRCA 1920's



CIRCA 1910's



CIRCA 1920's



COVERED PORCH W/
WROUGHT IRON
BALLUSTRADE ABOVE

CIRCA 1920

Proposed

Chevy Chase Park



Campbell-Whiteford House (1917)
4101 Leland Street
#35/111

SIGNIFICANCE:

The Campbell-Whiteford House is attributed to Reginald Geare, a noted DC architect who was very active in the town of Chevy Chase in the early twentieth century. His work can be directly traced to this house and others in the neighborhood (4105 and 4106 Leland) and his influence seen in the design of several others in the area.

Geare owned the property for a short time in 1917 and built the house. It was then sold to Jane Campbell and later to Roger J. Whiteford in 1927. Whiteford is notable in the community and its development for his services as the attorney for the developer of Chevy Chase Park, Fannie Barrett. Whiteford occupied the house continuously until sometime after 1941.

The residence is a three-bay, two-and-a-half story Italian Renaissance style with an eclectic mix of classical detailing. It has maintained a high level of architectural integrity, including a prominent Palladian style dormer and deep, boxed eaves with muted brackets. Other classical elements include decorative plaster work in blind arches over the first floor windows and a recessed main entry under a Tuscan portico with a broken arch pediment. The square massing of the building is flanked by single-story side wings topped with metal railings.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 18,823 square feet (Lot P11, Block 8)

Chevy Chase Park



Simkins - Adams House (1917)
4103 Leland Street
#35/113

SIGNIFICANCE:

The Simkins - Adams house was first occupied by William and Clara Simkins in 1917 and sold the following year to Edward and Sarah Adams, who occupied the residence until after 1935. Although no direct design credit can be given to architect Reginald Geare, the house is nearly identical in style and massing to 4101 Leland Street, a known Geare design. 4103 Leland Street, sited near the beginning of the block, helps to establish a visual mood for the neighborhood.

The Simkins - Adams house is indicative of the Italian Renaissance movement popular in metropolitan areas in the early twentieth century. The low hip roof with projecting boxed eaves over the main massing of the house, the flat-roofed side wings, the belt course, and an accented entryway are all key identifying features of the style. The three-part plan has been well preserved and maintains a high level of architectural integrity, with special emphasis on the roof balustrades that top the side wings. The Renaissance style of this building is complimented by classical and Federal elements, such as the enclosed portico and the swag-and-urn motifs in the blind window headers.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 13,170 square feet (Lot P10, Block 8)

Chevy Chase Park



Frances Duer Jones House II (1916)
4104 Leland Street
#35/114

SIGNIFICANCE:

This home was one of two belonging to Frances Duer Jones. Jones purchased the two homes and a number of adjacent parcels of land in 1916 from the developer of Chevy Chase Park, Fannie Barrett. Jones then lived in one (4102 Leland) and rented the other (4104 Leland).

Two other homes in the immediate area (4101 and 4103 Leland) are very similar to this house, implying the involvement of Reginald Geare, Barrett's designer and a noted local architect. While direct contribution by Geare to this house can not be established, the massing and ornamentation of the home are suggestive of his residential designs of the same period.

The Frances Duer Jones House II is an Italian Renaissance styled building with classical embellishments. It has a low, hipped roof with projecting boxed eaves and a shed-roofed dormer. The building maintains excellent architectural integrity, evident in well-preserved elements such as the tile roof and the French doors on the ground floor. Other features that speak of stylistic integrity include a belt course and a round-headed doorway topped with a broken arch pediment and shield motif over a full entablature and pilasters.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 10,746 square feet (Lot P17, Block 7)

Chevy Chase Park



Gravatt House (c1917)
4105 Leland Street
#35/115

SIGNIFICANCE:

The Gravatt House is one of a number of homes that can be indirectly attributed to Reginald Geare, the designer of many houses in Fannie Barrett's Chevy Chase Park subdivision and in nearby Rosemary Circle area.

Geare began acquiring lots from Barrett in 1916. In 1917, the first of Geare's properties sold, and by the end 1920, all of Geare's properties were out of his name. 4105 Leland Street stands on land that was briefly owned by Geare and sold first to the Blackistone family, and soon thereafter to Frances E. Gravatt. The Gravatt House was passed through the family, first to son G. Filippo Gravatt in 1927 and then to T. F. Gravatt in 1931. In 1920 Filippo Gravatt was listed as a pathologist for the Department of Agriculture.

The Gravatt House is a three bay, two-and-a-half story Colonial Revival building sited on a large lot on Leland Street. The Colonial Revival style reflects a shift in design for Geare from his other classically inspired houses of the same period. The house maintains solid architectural integrity that is best illustrated by the gable shape that is prominent in the roof line and reflected in both the pediment dormers with tracery window detailing and the gabled portico over the main entrance.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 21.656 square feet (Lot 9, Block 8)

HISTORIC PRESERVATION COMMISSION

of

MONTGOMERY COUNTY

**8787 Georgia Avenue
Silver Spring, Maryland 20910**

301-563-3400

Case No. 35/112-00A Received January 3, 2000

Public Appearance January 31, 2000

Before the Montgomery County Historic Preservation Commission

Application of Jeffrey & Jane Neal

DECISION AND OPINION OF THE COMMISSION

Decision of the Commission: DENY the Applicant's proposal to construct a new front portico

Commission Motion: At the January 31, 2000 meeting of the Historic Preservation Commission, Commissioner Harbit presented a motion to deny the application to construct a new front portico. Commissioner Watkins seconded the motion. Commissioners Harbit, Velasquez, Watkins, Spurlock, Eig and DeReggi, voted in favor of the motion. Commissioners Kousoulas and Breslin were absent. The motion passed 6-0.

BACKGROUND:

The following terms are defined in Section 24A-2 of the Code:

Commission: The historic preservation commission of Montgomery County, Maryland.

Director: The director of the department of permitting services of Montgomery County, Maryland or his designee.

Exterior features: The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and

the type and style of all windows, doors, light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

Historic District: A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

Historic resource: A district, site, building, structure or object, including its appurtenances and environmental setting, which is significant in national, state or local history, architecture, archeology or culture.

On January 3, 2000, through a telephone request from their architect, Jeffrey and Jane Neal completed an application for a Historic Area Work Permit (HAWP) to construct a portico on the front of the residence at 4102 Leland Street, Chevy Chase.

4102 Leland Street is included as part of the potential Chevy Chase Historic District on the *Locational Atlas & Index of Historic Sites in Montgomery County Maryland*. As part of the Town of Chevy Chase Historic Resources Amendment to the *Master Plan For Historic Preservation*, the property has been recommended by the Montgomery County Historic Preservation Commission and the Montgomery County Planning Board for designation as an individual site. County Council action on this Amendment is expected in Spring, 2000.

The house is recommended for designation along with six other outstanding resources in Chevy Chase Park, a subsection of the current Town of Chevy Chase. Chevy Chase Park was closely patterned after the Chevy Chase Land Company development with deed restrictions, a picturesque street system, and substantial lots. The development was the work of pioneering female developer Fannie Barrett. The seven houses include 4101 Leland Street, 4102 Leland Street, 4103 Leland Street, 4104 Leland Street, 4105 Leland Street, 4106 Leland Street, and 4115 Leland Street.

The seven resources are in Classical or Renaissance Revival Styles. The house at 4102 Leland Street is the only one in Spanish Renaissance Revival Style.

The recommended designation language in the Amendment describes the residence as follows:

- A unique Mediterranean style building.
- An original complex hipped roof covered in hollow tiles.

- Elegant in its simplistic detailing, including the ornamental plasterwork in blind arches around the large first floor windows, and,
- A muted classical door surround with Bull's-Eye corner moldings below a small cornice.
- A protruding center portion of the ell is rounded at the edges and accented by a belt course.

The house is recommended for designation under Criteria 1A, 1D, and 2A:

- The historic resource has character, interest, or value as part of the development, heritage or cultural characteristics of the County, State, or Nation;
- The historic resource exemplifies the cultural, economic, social, political or historic heritage of the County and its communities;
- The historic resource embodies the distinctive characteristics of a type, period or method of construction.

As a historic resource which is located in a *Locational Atlas* area under review for designation as an historic district, the application was reviewed under the procedures in Section 24A-10 (a), which allow for review of the proposed work under Section 24A-7 if the applicant seeks review under that Section.

EVIDENCE IN THE RECORD:

A written staff recommendation on this case was prepared and sent to the Commission on January 19, 2000. The January 26, 2000, HPC meeting was rescheduled due to inclement weather to January 31, 2000. At that meeting, staffperson Perry Kephart showed 35MM slides of the site and presented an oral report on the staff recommendation. Staff recommended denial of the proposed new portico construction, as it was not consistent with the historic or architectural character of the resource, 4102 Leland Street.

Staff's specific concerns about the proposed new construction that constituted reasons for denial were:

1. The addition of a conjectural new feature is inappropriate to the preservation of the front facade of an outstanding historic resource.

2. The residence is a substantially intact and unique example of the early 20th century Spanish Renaissance Revival Style. The addition of a front porch would substantially affect the integrity of the historic resource.
3. The existing front entry is in good to excellent condition.
4. The addition of an Italian Renaissance Revival portico is inappropriate on a Spanish Revival structure.
5. The use of the Spanish architectural features is in keeping with the 1916 construction date of the house shortly after the popularization in 1915 of Spanish architectural themes by the Panama-California Exposition and should be preserved as a remnant of historical architectural themes.
6. The necessity to provide additional shelter at the front entrance is not justified as there is a large interior entryway in the front and there are several other sheltered entries on the side and rear facades.
7. In the basic policies for any historic district, preserving the integrity of the district includes preserving the integrity of outstanding structures in the district. Changes to the front facade of the subject property would constitute a significant change to the streetscape of which it is a part.

The applicant, Jeffrey Neal, and the architect, George Myers, attended the meeting.

George Myers testified that it is not clear what review is required for altering properties in *Locational Atlas* historic districts. He indicated that both the necessity for review and the review procedures should be clarified. He also noted that in his opinion the existing property would be unaltered if the proposed portico was removed. He also noted that the design of the portico is similar to other houses of this period and style.

Jeffrey Neal testified that the issue of the house possibly not being designated by the County Council must be taken into account. He pointed out that there are children in the family and that more shelter should be provided at the front door in case of inclement weather.

Commissioner Harbit noted that he had seen other houses with similar porticos in other places, but that this was a distinctive property and that distinctive front facade should be respected.

Commissioner Eig pointed out that there might be other designs that would be less intrusive and still provide shelter, or that the doorway might be recessed into the hallway to provide more exterior shelter.

Commissioner Watkins agreed with the previous remarks.

Commissioner Velasquez supported the Secretary of Interior's Guidelines and suggested that there might be another design that would comply and could extend the existing entryway in such a way as to provide shelter, but that this portico was too much of a change.

Commissioner DeReggi agreed that some shelter would be desirable, but not to the extent indicated.

Commissioner Eig inquired if the applicant would consider modifying the design, deleting the large portico and using a simpler extension of the entablature as shelter.

The applicant indicated that he would not consider the modification.

CRITERIA FOR APPROVAL AND FINDINGS OF THE COMMISSION:

The criteria which the Commission must evaluate in determining whether to deny a Historic Area Work Permit application are found in Section 24A-8(a) of the Montgomery County Code, 1984, as amended.

Section 24A-8(a) provides that:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

In analyzing whether the criteria for issuance of a Historic Area Work Permit have been met, the Commission evaluated the evidence in light of generally accepted principles of historic preservation, including the Secretary of the Interior's Standards and Guidelines for Rehabilitation, as included in the Commission's 1997 Executive Regulations. In particular Standards #2, #3 and #9 are applicable in this case:

Standard 2: The historic character of a property will be retained and preserved. The

removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Based on this, the Commission finds that:

1. 4102 Leland Street is an outstanding historic resource, worthy of individual site designation. For this reason, it is essential to preserve the historic character, including the original facade of this resource and maintain its integrity.
2. The residence is a unique example of early 20th century Spanish Renaissance Revival Style and, as such, should be preserved.
3. The addition of an Italian Revival portico to a Spanish Revival structure is inappropriate.
4. The need for shelter can be met in other ways, for example by the large interior entryway in the front of the house and by several other sheltered entries on the side and rear facades.
5. The proposal for design modification constitutes changes that specifically impair the existing architectural features, environmental settings, streetscape and patterns of open space that contribute to the historic character of the outstanding historic resource.

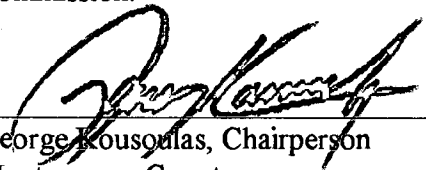
CONCLUSION:

The Commission was guided in its decision by Chapter 24A, and by the Secretary of the Interior's

Standards and Guidelines for Rehabilitation.

Based on the evidence in the record and the Commission's findings, as required by Section 24A-8(a) of the Montgomery County Code, the Commission must **deny** the application of Jeffrey and Jane Neal for a Historic Area Work Permit (HAWP) to construct a new portico at 4102 Leland Street in the *Locational Atlas* Chevy Chase Historic District.

If any party is aggrieved by the decision of the Commission, pursuant to Section 24A-7(h) of the Montgomery County Code, an appeal may be filed within thirty (30) days with the Board of Appeals, which will review the Commission's decision de novo. The Board of Appeals has full and exclusive authority to hear and decide all appeals taken from the decision of the Commission. The Board of Appeals has the authority to affirm, modify, or reverse the order or decision of the Commission.



George Kousoulas, Chairperson
Montgomery County
Historic Preservation Commission

2/15/00

Date



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: George Myers
Daytime Phone No.: 301/942-9062 x13

Tax Account No.: _____
Name of Property Owner: Jeffrey & Jane Nease Daytime Phone No.: 202/772/2028
Address: 4102 Heland St Chevy Chase MD 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: George Myers at MARCH Daytime Phone No.: 301/942-9062 x13

LOCATION OF BUILDING/PREMISE

House Number: 4102 Heland St Street: _____
Town/City: Chevy Chase Nearest Cross Street: _____
Lot: 20 part of Block: 7 Subdivision: Chevy Chase Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- | | |
|--|--|
| 1A. CHECK ALL APPLICABLE: | CHECK ALL APPLICABLE: |
| <input type="checkbox"/> Construct | <input type="checkbox"/> A/C |
| <input type="checkbox"/> Extend | <input type="checkbox"/> Slab |
| <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Room Addition |
| <input type="checkbox"/> Move | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Install | <input type="checkbox"/> Fireplace |
| <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Woodburning Stove |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Fence/Wall (complete Section 4) |
| <input type="checkbox"/> Repair | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Revocable | |

Front
 Porch Deck Shed

1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent 1/31/00 Date

Approved: _____ For Chairman, Historic Preservation Commission
Disapproved: Signature: [Signature] Date: 1/31/00
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. ***Schematic construction plans***, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

DH
LW
EE
SS chain

MD
V

Perry

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

301-563-3400

WEDNESDAY
January 26, 2000

(Monday)

→ 1/31/2000 @ same time

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MRO AUDITORIUM
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20910

PLEASE NOTE: The HPC agenda is subject to change anytime after printing or during the commission meeting. Please contact the Historic Preservation Commission at the number above to obtain current information. If your application is included on this agenda, you or your representative are expected to attend.

- I. HPC WORKSESSION - 7:00 p.m. in Third Floor Conference Room.
- II. NATIONAL REGISTER OF HISTORIC PLACES EVALUATION - 7:30 p.m. in MRO Auditorium.

(Postponed) A. Silver Spring B & O Railroad Station, 8100 Georgia Avenue, Silver Spring (Master Plan Site #36/15, Silver Spring Train Station).

March needed

III. HISTORIC AREA WORK PERMITS - 7:45 p.m. in MRO Auditorium.

(Postponed) A. Montgomery County Department of Public Works and Transportation (Kenneth Kendall, Agent), for railroad bridge modification at Stoneybrook Drive, Silver Spring (County Bridge M76) (HPC Case No. 31/7-2000A) (adjacent to Capitol View Park Historic District).

(Postponed) B. Robert & Cathy Jones (Hendri Tirtanadi, Architect), for new construction at One Newlands Street, Chevy Chase (HPC Case No. 35/13-00D)(Chevy Chase Village Historic District).

C. Harry Frye (Jennifer or Stephen Eller, Agent), for mill building relocation from 6116 Olney-Laytonsville Road, Brookeville (**Claysville**, *Locational Atlas Resource #22/3*) to 1201 Gold Mine Road, Brookeville (**Riverton**, *Locational Atlas Resource #23/90*) (HPC Case No. 22/3-00A).

EE-5V
w/ty

D. Jeffrey & Jane Neal (George Myers, Architect), for alterations at 4102 Leland Street, Chevy Chase (HPC Case No. 35/112-00A) (Proposed Master Plan Site #35/112, Frances Jones House I).

Call Eileen
Baxeman
what
can we do
- do they
have choice
just to
definitely

(OVER)

E. Olney Boys and Girls Club (Dan Dionisio, Agent), for grading and infrastructure construction at 4501 Olney-Laytonsville Rd, Olney (HPC Case No.23/57-00A) (Master Plan Site # 23/57, Falling Green).

W F. Jon Lipshultz, for alterations at 55 Elm Ave, Takoma Park (HPC Case No. 37/3-00E) (Takoma Park Historic District).

G. Ms. Lucy O'Brien (Bruce Rich, Architect), for rear addition, alterations at 28 Hesketh Street, Chevy Chase (HPC Case No. 35/13-00E) (Chevy Chase Village Historic District).

5/2/99
6-0

IV. MINUTES

A. December 15, 1999

V. OTHER BUSINESS

A. Commission Items

B. Staff Items

VI. ADJOURNMENT

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4102 Leland Street, Chevy Chase **Meeting Date:** 12/15/99
Applicant: Jeffrey & Jane Neal **Report Date:** 12/08/99
(George Myers, Architect)
Resource: Master Plan Site #35/112 **Public Notice:** 12/01/99
(Frances Duer Jones House I, Chevy Chase Park)
Review: HAWP **Tax Credit:** No
Case Number: 35/13-99CC **Staff:** Perry Kephart
PROPOSAL: Alterations **RECOMMEND:** Approve w/Conditions

PROJECT DESCRIPTION

SIGNIFICANCE: Individual Master Plan Site
STYLE: Mediterranean Revival
DATE: 1916

The 2½ story, stucco clad, symmetrical ell-shaped residence has a front doorway set in a flattened half tower center section. The main structure has a multi-formed roof with a side gabled center section and hipped side sections. A belt course surrounds the building below the second story windows. There are asymmetrical, one story additions at either end of the house. The house has a hollow tile roof with a shed roof dormer set in the roof above the central section. There is ornamental plasterwork in blind arches of the first floor windows. From the classical doorway, steps lead from an open front porch or stoop to the street.

PROPOSAL

The applicant proposes to:

1. Construct an Italian Renaissance style portico and balustrade in front of the main doorway, modifying the front stoop to a hexagonal porch with pilasters and paired columns on either side of the existing classical doorway.
2. Modify the design and materials of the front walk from a straight walk with steps at intervals down to the street to be a set of terraces and steps leading to a front parking area with a system of handrails on either side of the steps. The design and materials for the railing is to be submitted for review at the HPC meeting.
3. Remove the side driveway and replace it with a piazza for parking that would extend back to a walkway and gated stucco wall on the left of the house with an

- area to the left of the paved area that is now paved to be landscaped. The type of block paving material indicated in the drawings has not been designated.
4. Remove the existing steps leading from the residence on the left of the house and replace with steps set at 90 degrees to the present stair configuration.
 5. Remove the existing retaining wall and on the right of the driveway and replace it with a 2' high stucco retaining wall leading from the walled section on the left of the house, past the terraced walkway and around the perimeter of the paved area and then across the front of the property. The capping material for the fence and pillars is not indicated.

STAFF DISCUSSION

The subject property is included in the proposed amendment to the Master Plan for Town of Chevy Chase Historic Resources as either a primary resource in Chevy Chase Park or as an individual resource along with six other outstanding resources in Chevy Chase Park. The house at 4102 Leland Street, although designed and constructed at the same time as the other houses is singular in the use of a mix of Italian and Spanish architectural forms. The simplicity of styling and the ell-shaped form are also unique.

The applicant received approval for changes to the rear and side of the property at the July 14, 1999 meeting of the HPC. The proposed changes to the front facade were deleted from the application and have been submitted in a separate application at this time. Staff would concur with the proposed changes to the steps, driveway, and wall. Placement of parking in front of the house rather than on the side is not recommended, but the use of stone or masonry pavers as part of a landscape plan is a reasonable modification of the existing landscape as no original material, historic features, or spatial relationships would be impacted. Use of asphalt for paving should be avoided.

Staff would recommend that the **proposed modification of the front stoop and the addition of the front porch be denied** as being inappropriate to the preservation of the front facade of a primary historic resource, and that the denial be a condition for approval of the rest of the application.

The proposed design for a portico is reminiscent of Revival porch treatments, although it is substantially different from the other front facade treatments in Chevy Chase Park. More importantly, the addition of a porch where no porch existed is problematic as the unique front facade of the resource would be destroyed by the addition of a central feature such as a porch, no matter how skillful the porch design. It should also be noted that a porch addition is not in keeping with the Secretary of Interior's Standards for Rehabilitation, especially #3, which states that:

"Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken."

As noted in the Statement of Significance that was prepared for the property, the house is significant for its level of architectural integrity and significance. It is unique in that it combines features with Italian Renaissance elements (as also seen on 4101, 4103, and 4104 Leland Street) such as the elaborate first floor window treatments with simpler windows above, wide eave overhangs, and a belt course (and the ceramic tile roofing characteristic of most Mediterranean style buildings) with distinctive stylistic elements taken from the Spanish Eclectic vocabulary - including the combined hipped and gabled roofs in an ell form, the central "tower" feature, the stucco wall surface, the window arches, and the less elaborate entrance door.

The use of the Spanish architectural features is in keeping with the 1916 construction date of the house shortly after the popularization in 1915 of Spanish architectural themes by the Panama-California Exposition. Addition of a feature that would cover up the distinctive historic elements should be discouraged.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #3, and #9:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

And with the conditions:

1. **The front porch addition is denied.**
2. The paving for the driveway and walkway is to be of stone or masonry to be approved by staff. Asphalt is not to be used.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: George Myers
Daytime Phone No.: 301/942-9062 x11

Tax Account No.: _____

Name of Property Owner: Jeffrey & Jane Neal Daytime Phone No.: 202/777-2020

Address: 4102 Leland St Chevy Chase MD 20815
Street Number City State Zip Code

Contractor: To be determined Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: George Myers, GTM Arch's #3385 Daytime Phone No.: 301/942-9062 x11

LOCATION OF BUILDING/PREMISE

House Number: 4102 Leland St Street _____
Town/City: Chevy Chase Nearest Cross Street _____
Lot: 20 part of 19 Block: 7 Subdivision: Chevy Chase Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 6 inches maximum

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

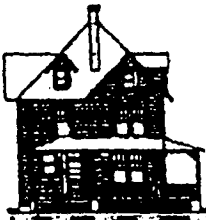
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

4



GTM ARCHITECTS

fax transmission

10415 Armory Avenue • Kensington, MD 20895 • (301) 942-9062 Fax: (301) 942-3929

To: Sue/Perry

Date: 6/29/99

Fax #: 301/563-3412

Pages: 1

From: Chris Klapproth

Subject: Neal Residence, July 14, 1999 HPC hearing dock

COMMENTS:

Jeffrey & Jane Neal
4102 Leland St.
Cherry Chase, MD 20815

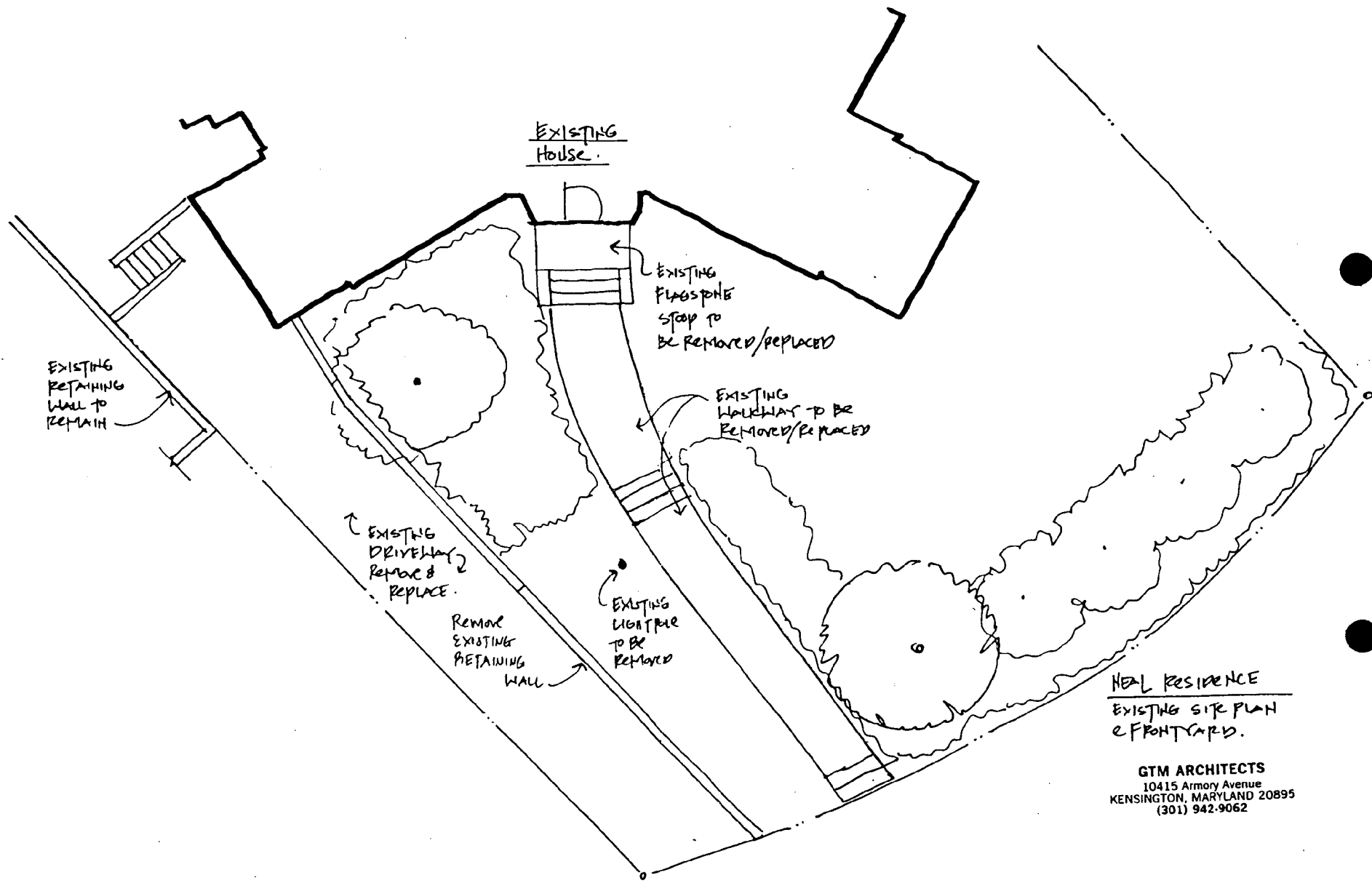
Adjacent Neighbors:

Norman & Naomi Lubin
4101 Leland St.
301/951-0146

Ben & Dorothy Rainey
4100 Leland St.
301/656-1397

Dr. Pam Karasik & David Rubashkin
4104 Leland St.
301/656-2558

(5)



EXISTING House.

EXISTING FLAGSTONE STOOP TO BE REMOVED/REPLACED

EXISTING WALKWAY TO BE REMOVED/REPLACED

EXISTING DRIVEWAY TO BE REMOVED & REPLACE.

REMOVE EXISTING RETAINING WALL

EXISTING LIGHT POLE TO BE REMOVED

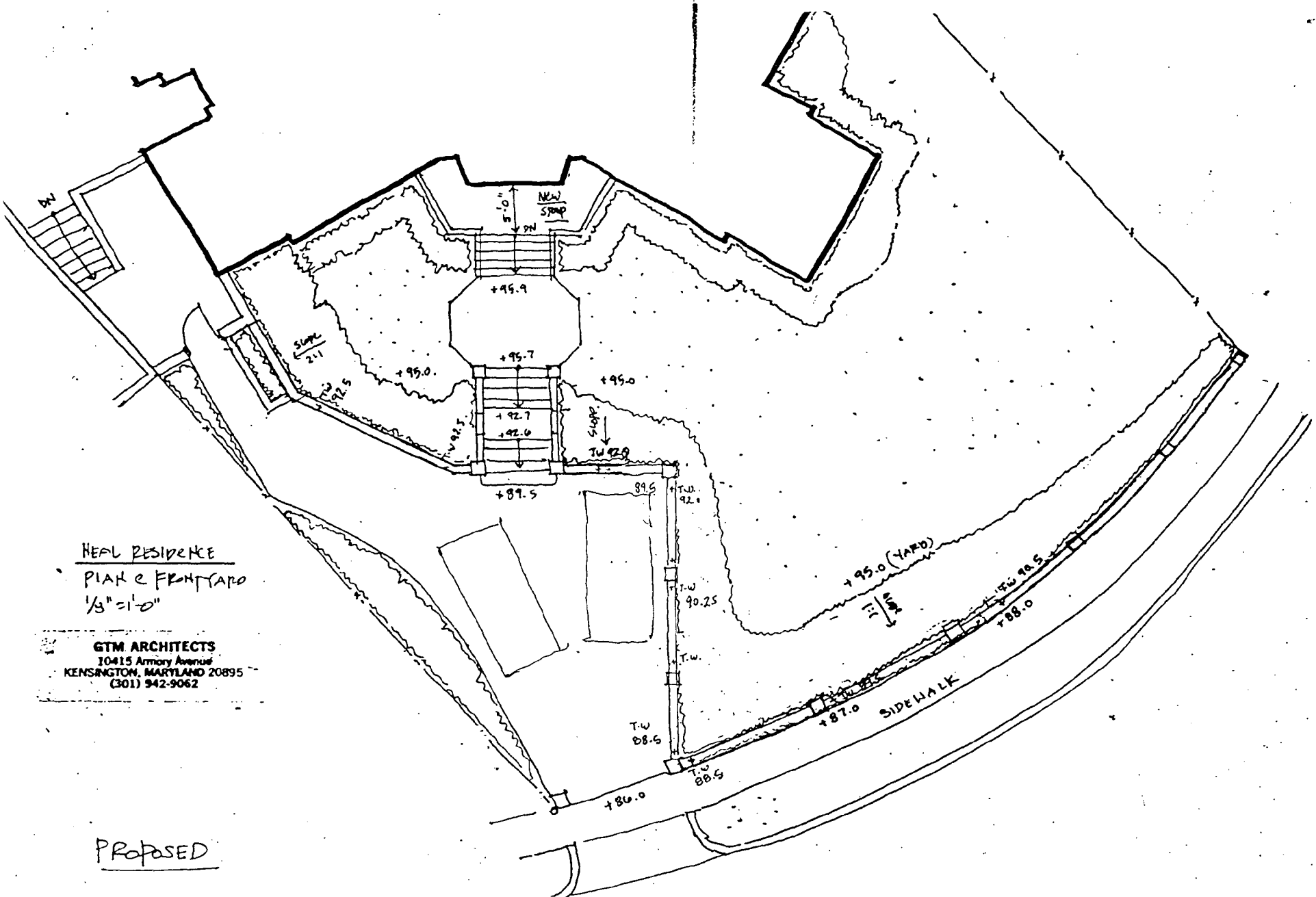
EXISTING RETAINING WALL TO REMAIN

NEAL RESIDENCE
EXISTING SITE PLAN
OF FRONTYARD.

GTM ARCHITECTS
 10415 Armory Avenue
 KENSINGTON, MARYLAND 20895
 (301) 942-9062

1

Existing



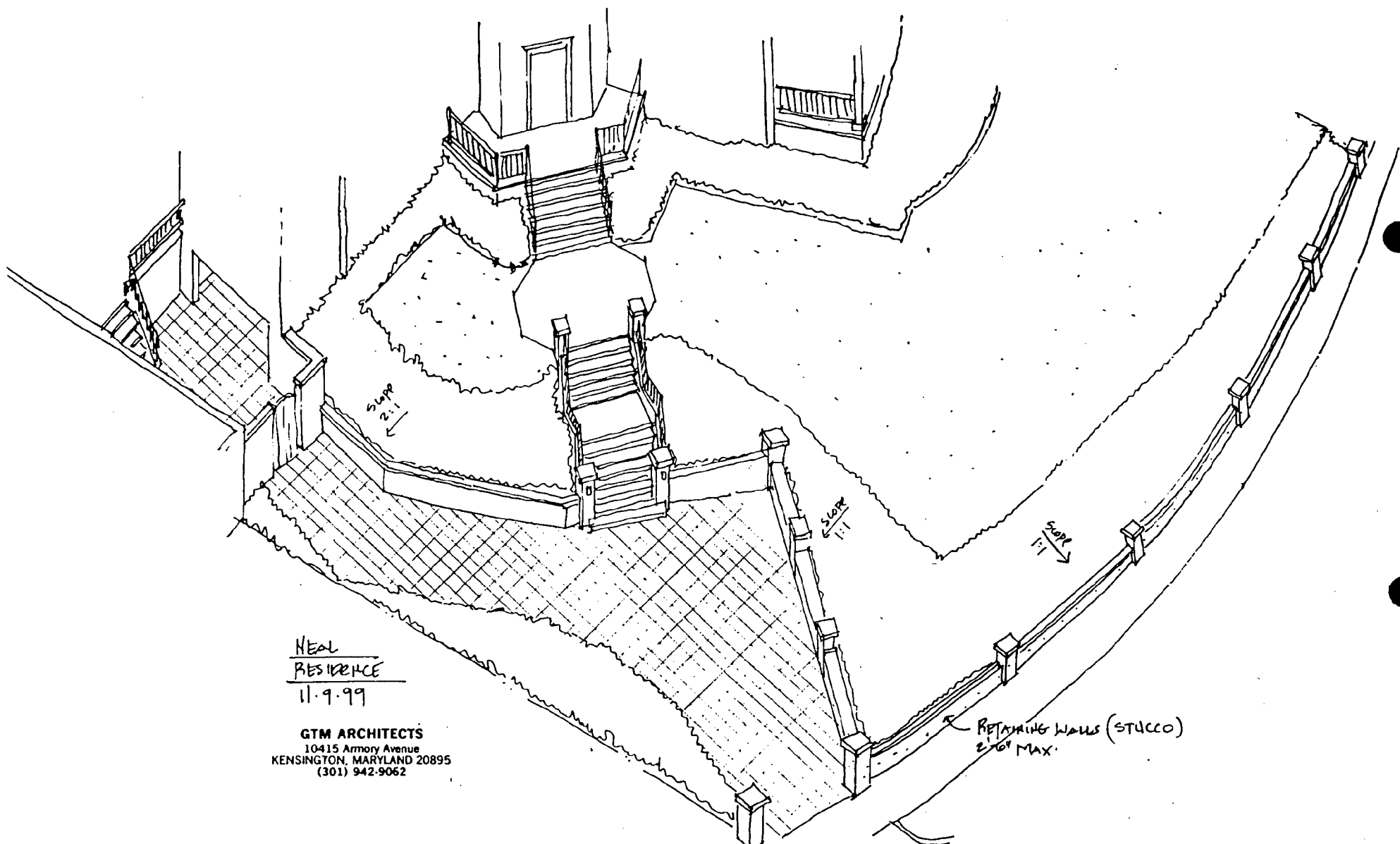
HEAL RESIDENCE
 PLAN & FRONT YARD
 1/8" = 1'-0"

GTM ARCHITECTS
 10415 Armany Avenue
 KENSINGTON, MARYLAND 20895
 (301) 942-9062

PROPOSED

①

Proposed



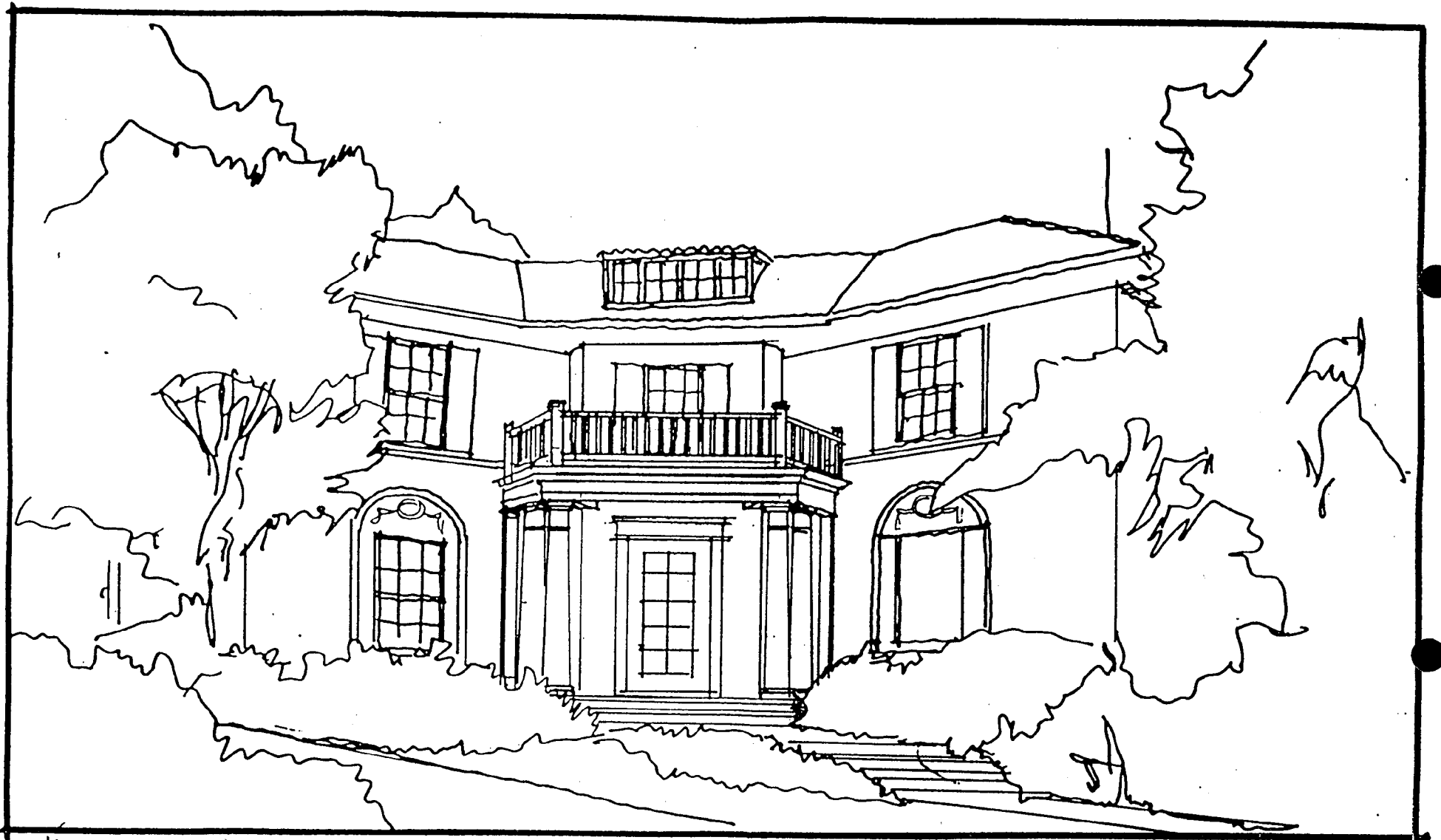
NEAL
RESIDENCE
11.9.99

GTM ARCHITECTS
10415 Armory Avenue
KENSINGTON, MARYLAND 20895
(301) 942-9062

RETAINING WALLS (STUCCO)
2'6" MAX.

8

Proposed



NEAL RESIDENCE
5.3.99
4102 WELAND STREET

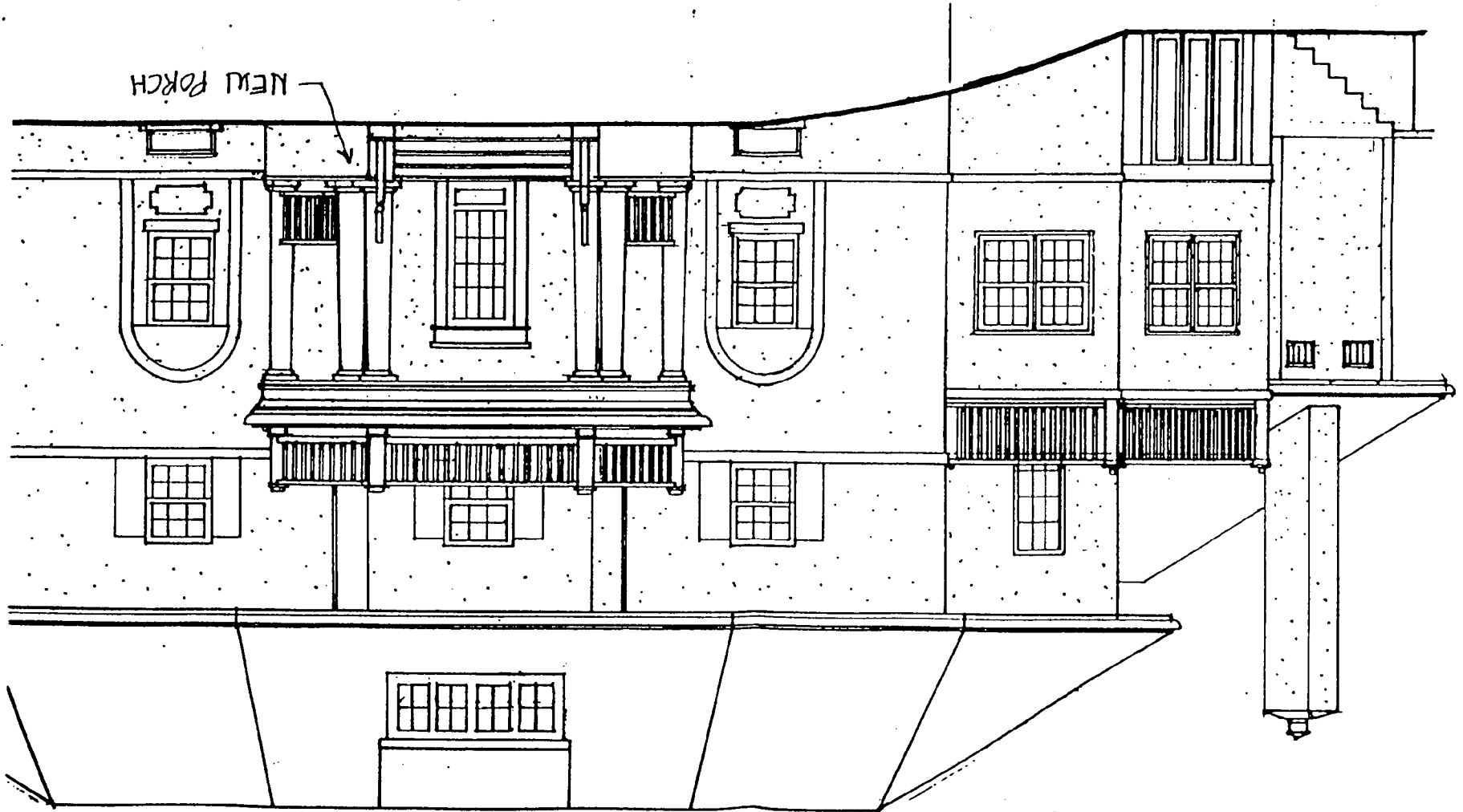
FRONT PORCH OPTION #1

5

Proposed

Proposed

01



4102 LELAND STREET



Existing

11

ECLECTIC HOUSES
Italian Renaissance
1890-1935

IDENTIFYING FEATURES

Low-pitched hipped roof (flat in some examples); roof typically covered by ceramic tiles; upper-story windows smaller and less elaborate than windows below; commonly with arches above doors, first-story windows, or porches; entrance area usually accented by small classical columns or pilasters; facade most commonly symmetrical.

PRINCIPAL SUBTYPES

Four principal subtypes can be distinguished:

SIMPLE HIPPED ROOF—Over half of Italian Renaissance houses have a simple hipped roof with a flat, symmetrical front facade. Full-width porches, often with massive square piers as porch supports, are frequent in examples built before 1920.

HIPPED ROOF WITH PROJECTING WING(S)—Many Italian Renaissance houses have either a small central wing projecting forward from the front facade, or two small wings at either end of the facade with a recessed central block in between.

ASYMMETRICAL—A relatively small proportion of Italian Renaissance houses have unbalanced, asymmetrical facades. Usually the asymmetry involves only door and window placement on an otherwise symmetrical building of simple square or rectangular plan. Less commonly L plans or more complex shapes are used.

FLAT ROOF—Many high-style Italian Renaissance houses have flat roofs, usually with a prominent, dentiled cornice and roof-line balustrade. Typically the first story is rusticated (finished as exaggerated stonework courses), while the floors above have smooth wall finishes. Facades are symmetrical. These are almost always architect-designed landmarks built of stone; they are closely related to flat-roofed, Beaux Arts style houses, which are similar but add more elaborate facade detailing.

VARIANTS AND DETAILS

Details are borrowed more or less directly from the Italian originals. Among the most characteristic are recessed entry porches and full-length first-story windows with arches above. The roof, except when flat, commonly has broadly overhanging, boxed eaves; normally the eaves have decorative brackets beneath. These features of the roof-wall junction are helpful in distinguishing Italian Renaissance houses from related Mediterranean styles with tiled roofs. Mission houses usually have wide eave overhangs, but these are commonly open rather than boxed-in. Spanish Eclectic houses normally have little or no eave overhang. Eave brackets are rare on both Mission and Spanish Eclectic houses. Common decorative details include quoins, roof-line balustrades, pedimented windows, classical door surrounds, molded cornices, and belt courses. Stucco, masonry, or masonry-veneered walls are universal; wooden wall claddings are never used. Note that similar details appear in several earlier styles with Renaissance roots, particularly the Georgian, Adam, and Italianate. Because of these similarities, Italian Renaissance houses sometimes resemble Georgian- or Adam-inspired examples of the contemporaneous Colonial Revival.

OCCURRENCE

The Italian Renaissance style is found in early 20th-century houses throughout the country but is considerably less common than the contemporary Craftsman, Tudor, or Colonial Revival styles. Primarily a style for architect-designed landmarks in major metropolitan areas prior to World War I, vernacular interpretations spread widely with the perfection of masonry veneering techniques; most of these date from the 1920s. The style steadily declined in popularity through the 1930s, and post-1940 examples are rare.

Proposed

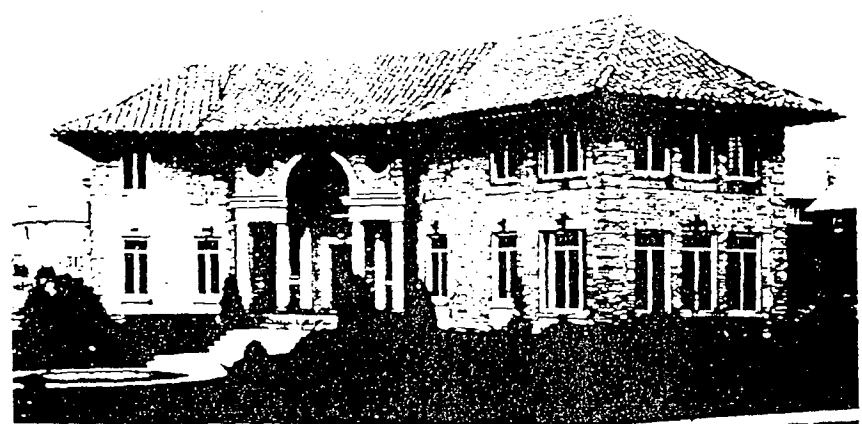
(12)

Eclectic Houses: Italian Renaissance



COVERED PORCH W/
CLASSICAL COLUMNS

CIRCA 1920's



CIRCA 1910's



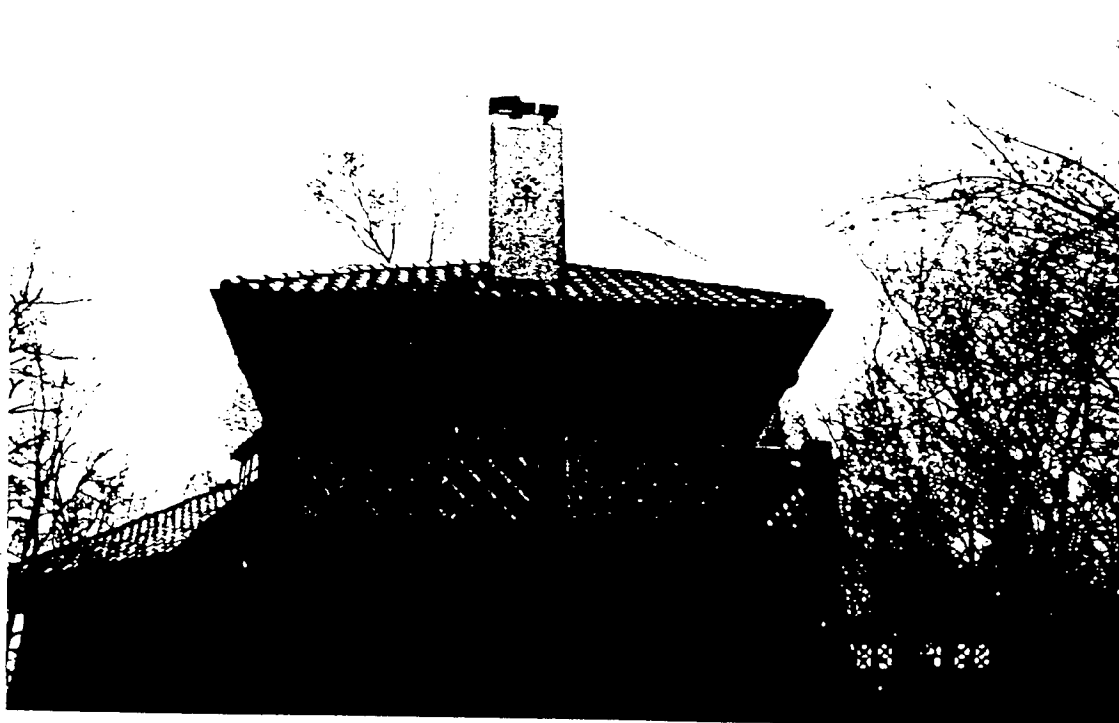
CIRCA 1920's



COVERED PORCH W/
WROUGHT IRON
BALLUSTRADE ABOVE

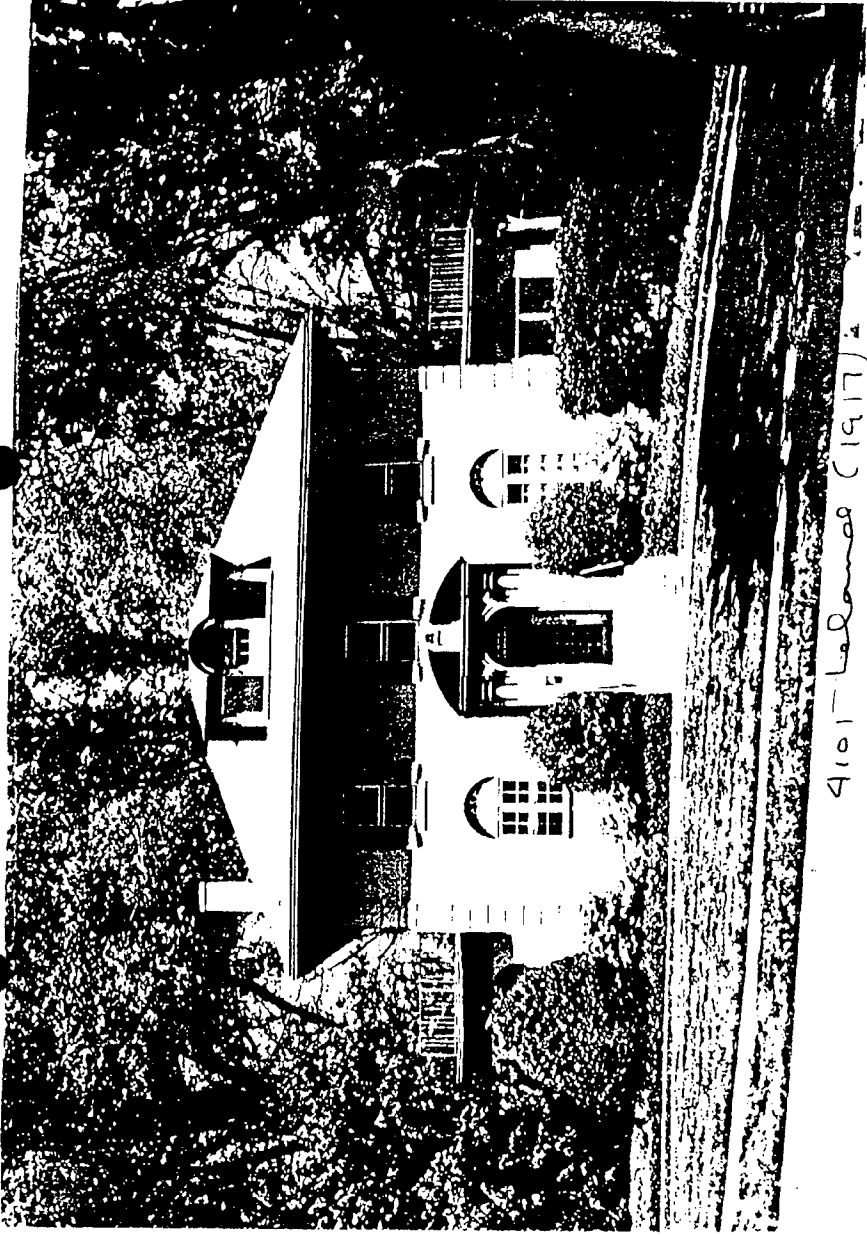
CIRCA 1920's
Proposed

4102 LELAND STREET



Existing

(14)



4101 - فصلها (1917) 4



4102 beland (1910) Existing (15)



4103 heland (1917)



4104 heland (1916)

06

Chevy Chase Park



Campbell-Whiteford House (1917)
4101 Leland Street
#35/111

SIGNIFICANCE:

The Campbell-Whiteford House is attributed to Reginald Geare, a noted DC architect who was very active in the town of Chevy Chase in the early twentieth century. His work can be directly traced to this house and others in the neighborhood (4105 and 4106 Leland) and his influence seen in the design of several others in the area.

Geare owned the property for a short time in 1917 and built the house. It was then sold to Jane Campbell and later to Roger J. Whiteford in 1927. Whiteford is notable in the community and its development for his services as the attorney for the developer of Chevy Chase Park, Fannie Barrett. Whiteford occupied the house continuously until sometime after 1941.

The residence is a three-bay, two-and-a-half story Italian Renaissance style with an eclectic mix of classical detailing. It has maintained a high level of architectural integrity, including a prominent Palladian style dormer and deep, boxed eaves with muted brackets. Other classical elements include decorative plaster work in blind arches over the first floor windows and a recessed main entry under a Tuscan portico with a broken arch pediment. The square massing of the building is flanked by single-story side wings topped with metal railings.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 18,823 square feet (Lot P11, Block 8)

(17)

Chevy Chase Park



4102 Leland Street (1916)
Frances Jones House I
35-112

SIGNIFICANCE:

The Jones House is a Mediterranean style building that is unique in the immediate area but graciously compliments the Renaissance and Classical styling of other nearby homes. It has a complex hipped roof that is covered in hollow tiles, a feature that has not changed since its construction in 1916. The building is elegant in its simplistic detailing, such as ornamental plaster work in blind arches around the large first floor windows and a muted classical door surround with Bull's-Eye corner moldings below a small cornice. The protruding center portion of the ell is rounded at the edges and accented by a belt course.

The Jones House is at the gateway to Chevy Chase Park. This is one of two adjacent houses owned by Frances Duer Jones for over 25 years. Jones purchased the two homes and a number of adjacent parcels of land in 1916 from the developer of Chevy Chase Park, Fannie Barrett. Jones then lived in one (4102 Leland) and rented the other (4104 Leland).

CRITERIA: 1A, 1D, 2A
ENVIRONMENTAL SETTING: 9,580 square feet (Lot 20, Block 7)

18

Chevy Chase Park



Simkins - Adams House (1917)
4103 Leland Street
#35.113

SIGNIFICANCE:

The Simkins - Adams house was first occupied by William and Clara Simkins in 1917 and sold the following year to Edward and Sarah Adams, who occupied the residence until after 1935. Although no direct design credit can be given to architect Reginald Geare, the house is nearly identical in style and massing to 4101 Leland Street, a known Geare design. 4103 Leland Street, sited near the beginning of the block, helps to establish a visual mood for the neighborhood.

The Simkins - Adams house is indicative of the Italian Renaissance movement popular in metropolitan areas in the early twentieth century. The low hip roof with projecting boxed eaves over the main massing of the house, the flat-roofed side wings, the belt course, and an accented entryway are all key identifying features of the style. The three-part plan has been well preserved and maintains a high level of architectural integrity, with special emphasis on the roof balustrades that top the side wings. The Renaissance style of this building is complimented by classical and Federal elements, such as the enclosed portico and the swag-and-urn motifs in the blind window headers.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 13,170 square feet (Lot P10, Block 8)

19

Chevy Chase Park



Frances Duer Jones House II (1916)
4104 Leland Street
#35/114

SIGNIFICANCE:

This home was one of two belonging to Frances Duer Jones. Jones purchased the two homes and a number of adjacent parcels of land in 1916 from the developer of Chevy Chase Park, Fannie Barrett. Jones then lived in one (4102 Leland) and rented the other (4104 Leland).

Two other homes in the immediate area (4101 and 4103 Leland) are very similar to this house, implying the involvement of Reginald Geare, Barrett's designer and a noted local architect. While direct contribution by Geare to this house can not be established, the massing and ornamentation of the home are suggestive of his residential designs of the same period.

The Frances Duer Jones House II is an Italian Renaissance styled building with classical embellishments. It has a low, hipped roof with projecting boxed eaves and a shed-roofed dormer. The building maintains excellent architectural integrity, evident in well-preserved elements such as the tile roof and the French doors on the ground floor. Other features that speak of stylistic integrity include a belt course and a round-headed doorway topped with a broken arch pediment and shield motif over a full entablature and pilasters.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 10,746 square feet (Lot P17, Block 7)

20

Chevy Chase Park



Gravatt House (c1917)
4105 Leland Street
#35/115

SIGNIFICANCE:

The Gravatt House is one of a number of homes that can be indirectly attributed to Reginald Geare, the designer of many houses in Fannie Barrett's Chevy Chase Park subdivision and in nearby Rosemary Circle area.

Geare began acquiring lots from Barrett in 1916. In 1917, The first of Geare's properties sold, and by the end 1920, all of Geare's properties were out of his name. 4105 Leland Street stands on land that was briefly owned by Geare and sold first to the Blackistone family, and soon thereafter to Frances E. Gravatt. The Gravatt House was passed through the family, first to son G. Filippo Gravatt in 1927 and then to T. F. Gravatt in 1931. In 1920 Fillippo Gravatt was listed as a pathologist for the Department of Agriculture.

The Gravatt House is a three bay, two-and-a-half story Colonial Revival building sited on a large lot on Leland Street. The Colonial Revival style reflects a shift in design for Geare from his other classically inspired houses of the same period. The house maintains solid architectural integrity that is best illustrated by the gable shape that is prominent in the roof line and reflected in both the pediment dormers with tracery window detailing and the gabled portico over the main entrance.

CRITERIA: 1A, 1D, 2A

ENVIRONMENTAL SETTING: 21,656 square feet (Lot 9, Block 8)

21

Continuation Sheet

Section: 8 Page: 1

Statement of Significance

The Frances Jones House is a Mediterranean style building that forms a gateway into Chevy Chase Park and welcomes residents and visitors alike to the historic subdivision. This is one of two adjacent houses owned by Frances Duer Jones for over twenty five years. The house is significant for its connection to the pioneering female developer of Chevy Chase Park, Fannie Barrett, and for its level of architectural integrity and significance.

Barrett purchased a 120-acre tract in April 1909 and platted "Chevy Chase Park" in September 1910. Though a small subdivision encompassing only eight blocks, Chevy Chase Park was ambitious, offering public amenities and substantial, well-designed model houses in an attractive park-like setting.

Like the well-known Chevy Chase Land Company, Barrett built model houses to encourage potential buyers. Her first houses (c1914) were modest builder-type bungalows while later houses (1916-1918) were grand architect-designed showpieces. 4102 Leland Street is a prime example of the second phase of Barrett's development, especially for its unique massing and Mediterranean style.

Leland Street was a logical location for Barrett to locate these substantial houses. It was the only paved interior street in the vicinity (in the boundaries of what is now the Town of Chevy Chase). Newly constructed by 1915 and maintained by the county, Leland Street was an important east-west thoroughfare connecting Wisconsin and Connecticut Avenues.

The Jones House is also significant for its high level of architectural integrity and significance. The ell-shaped house is unique to the area and displays a synthesis of elements and forms that can be summarily called "Mediterranean." The Jones House includes Italian Renaissance elements, such as accented windows and doors, a belt course, and a hipped tile roof with deep eaves. The house is also reminiscent of Spanish Eclectic forms, as the ell-shaped massing creates an implied courtyard in front of the principal elevation. This "Mediterranean" form can therefore be distinctly linked to the Italian Renaissance style that were popular amongst architects working in high-style designs in major metropolitan areas in the early twentieth century.

Jones purchased the two homes and a number of adjacent parcels of land in 1916 from Barrett, living in one (4102 Leland) and renting the other (4104 Leland). Jones remained a resident and owner in Chevy Chase Park for over twenty five years. As platted, many of the lots in Chevy Chase Park were a substantial 100 feet wide. The property at 4102 Leland remains large and still commands a prominent position in the neighborhood.

22

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 7/14/99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *gwr*
Historic Preservation

SUBJECT: Historic Area Work Permit 990623-0077

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied
 Approved with Conditions: _____

Front porch changes not included in application

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jeffrey & Jane Neal

Address: 4102 Liland St Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: George Myers
Daytime Phone No.: 301/942-9062 x 11

Tax Account No.: _____
Name of Property Owner: Jeffrey & Jane Neal Daytime Phone No.: 202/777-2020
Address: 4102 Leland St. Chevy Chase Maryland 20815
Street Number City State Zip Code
Contractor: To be determined Phone No.: _____
Contractor Registration No.: Maryland 8385
Agent for Owner: George Myers, GTM Architects Daytime Phone No.: 301/942-9062 x 11

LOCATION OF BUILDING/PREMISE

House Number: 4102 Leland St Street: Leland Street
Town/City: Chevy Chase Nearest Cross Street: _____
Lot: 20^{1/2} Part of 19 Block: 7 Subdivision: Chevy Chase Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 6/23/99

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 7/14/99
Application/Permit No.: 9900230077 Date Filed: 6/23/99 Date Issued: _____

**FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

✓ 1. **WRITTEN DESCRIPTION OF PROJECT**

- ✓ a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 story stucco home with Spanish tile roof in community setting. Several additions appear to have been added over the years including enclosure of one of the side porches and kitchen expansion in the 1970's.

- ✓ b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Covered porch on front of home, 1 story family room and one story breakfast area addition, and 2 story Master bath extension with storage closet below. Materials to match existing and work within scale, proportion and context of the existing home.

✓ 2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY INTO MAILING LABELS.**

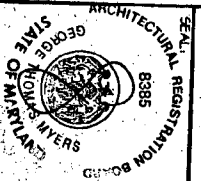
LIGHT FIXTURE SCHEDULE

NO.	QT.	MANUFACTURER	NOTE
1			RECESSED
2			WALL SINK
3			(RECYCLE)
4			RECESSED POINTED
5			RECESSED WALL WAGER
6			FLOOR LIGHT
7			(SEE EXT. ELEV.)
8			EXTERIOR WALL SURFACE
9			CEILING SURFACE MT.
10			WALL SURFACE BATHROOM
11			VANITY
12			EXHAUST FAN
13			EXTERIOR RECESSED
14			CEILING FAN
15			EXTERIOR SURFACE MT.
16			WALL
17			SURFACE MT. RECESSED
18			CLOSET LIGHT MANTO
19			SWITCH & DOOR JAMB
20			SURFACE MANTO/LIGHT
21			COMBO
22			RECESSED SHOWER
23			LIGHT
24			EXHAUST FAN/LIGHT
25			COMBO
26			EXHAUST FAN/EXT
27			LAMP/COMBO
28			CEILING SURFACE
29			FLOURESCENT
30			TRAY/LAMP
31			TALL CHAIN
32			TRUCK LIGHT
33			STAIR RISER
34			WALL SCONCE

APPROVED
 Montgomery County
 Historic Preservation Commission

NEAL RESIDENCE

REVISIONS:




DRAWN BY: RLV
 CHECKED BY: CK
 SCALE: 3/16" = 1'-0"
 DATE: 7-26-99
 PROJECT NO: 94064
 DRAWING NO:

A-12

LIGHT FIXTURE SCHEDULE

NO.	QTY	MANUFACTURER	NOTE
1			RECESSED
2			INSTR. CABINET
3			INSTR. LIGHTS
4			SURFACE MOUNTED
5			ROUND
6			RECESSED WALL MOUNTED
7			FLOOD LIGHT
8			SEMI-EXIT BLY.
9			EXTRUDOR WALL SURFACE
10			CEILING SURFACE MT.
11			WALL SURFACE BATHROOM
12			VANITY
13			EXHAUST FAN
14			EXHAUST FAN
15			EXTRUDOR RECESSED
16			CEILING FAN
17			CEILING FAN
18			EXTRUDOR SURFACE MT.
19			WALL
20			SURFACE MT. FLUORESCENT
21			CLOSET LIGHT W/ AUTO
22			SWITCH & DOOR JAMB
23			GARAGE MOTOR LIGHT
24			CONDO
25			RECESSED SHOWER
26			LIGHT
27			DRAWER FAN LIGHT
28			CONDO
29			EXHAUST FAN W/ HEAT
30			LAMP/ CONDO
31			CEILING SURFACE
32			FLUORESCENT
33			PORCELAIN
34			FAN CAVN
35			SEAL LIGHT &
36			SINK REAR
37			WALL SCONCE

APPROVED
 Montgomery County
 Historic Preservation Commission


NEAL RESIDENCE

REVISIONS:

SEAL:



ARCHITECTURAL REGISTRATION BOARD
 STATE OF MARYLAND
 GEORGE THOMAS
 8385
 CENT. OF M.

DRAWN BY: **RJV**

CHECKED BY: **CK**

SCALE: **3/16"=1'-0"**

DATE: **1-26-44**

PROJECT NO: **44064**

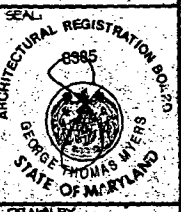
DRAWING NO: **A-11**

LIGHT FIXTURE SCHEDULE

NEAL RESIDENCE

TYPE	QTY	MANUFACTURER	MOUNT
18		TO BE SELECTED	RECESSED
3			UNDER CABINET (VARY LENGTH)
4			SURFACE MOUNTED PENDANT
4			RECESSED WALL WASHER
4			FLOOD LIGHT (SEE EXC. ELEV.)
3			EXTERIOR WALL SURFACE CEILING SURFACE MT.
5			WALL SURFACE BATHROOM VANITY
1			EXHAUST FAN
6			EXTERIOR RECESSED
7			CEILING FAN
3			EXTERIOR SURFACE MT. WALL
6			SURFACE MT. FLUORESCENT CLOSET LIGHT W/ALTO SWITCH @ DOOR JAMB
1			GARAGE MOTOR/LIGHT COMBO
5			RECESSED SHOWER LIGHT
1			EXHAUST FAN/LIGHT COMBO
3			EXHAUST FAN/HEAT LAMP/COMBO
			CEILING SURFACE FLUORESCENT
			PORCELAIN WALL CHAIR
			DECK LIGHT @ STAIR RISER
			WALL SCOOPE

REVISIONS:



DRAWN BY: RJV
 CHECKED BY: CK
 SCALE: 3/16" = 1'-0"
 DATE: 7-26-99
 PROJECT NO: 99069
 DRAWING NO: 1488

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 Historic Preservation Commission
[Signature]

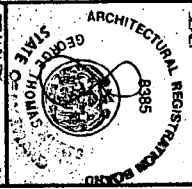
A-10

SOLID 4X4 POST - 1 COLUMN
 REFER TO SHEET 909 FOR HEADER SIZE UNLESS OTHERWISE NOTED
 DOUBLE 2X10 RAFTER N (2) 2X10 COLLAR TIE
 (2) 2X10 HIP

NEAL RESIDENCE

REVISIONS:

SEAL



DRAWN BY: RLV

CHECKED BY: CK

SCALE: 1/8" = 1'-0"

DATE: 7-26-99

PROJECT NO: 99069

DRAWING NO:

A-9

GENERAL NOTES

1. CENTER ALL PIERES AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL TIES SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP)
3. PROVIDE CONNECTIONS FOR JOIST, BEAMS, AND COLLARS SHALL BE SHOWN BY STRIPES FOR EQUAL CONNECTIONS. STRIPES SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON HDS OR EQ. WELT CONNECTIONS AT ALL RAFTERS. PROVIDE ST 2X2 STRAYS CONNECTIONS TOP OF SHEARWALL TO DOUBLE HEADERS.
5. ALL WOOD POSTS SHALL BE SOLID PINE NO. 1 NO BILT UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR STEEL BEAMS.
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.

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 Historic Preservation Commission

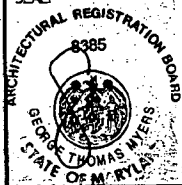
 7/28/99

NEAL RESIDENCI

REVISIONS

11/20/99

SEAL



DRAWN BY

RJV

CHECKED BY

CK

SCALE

AS NOTED

DATE

7-26-99

PROJECT NO.

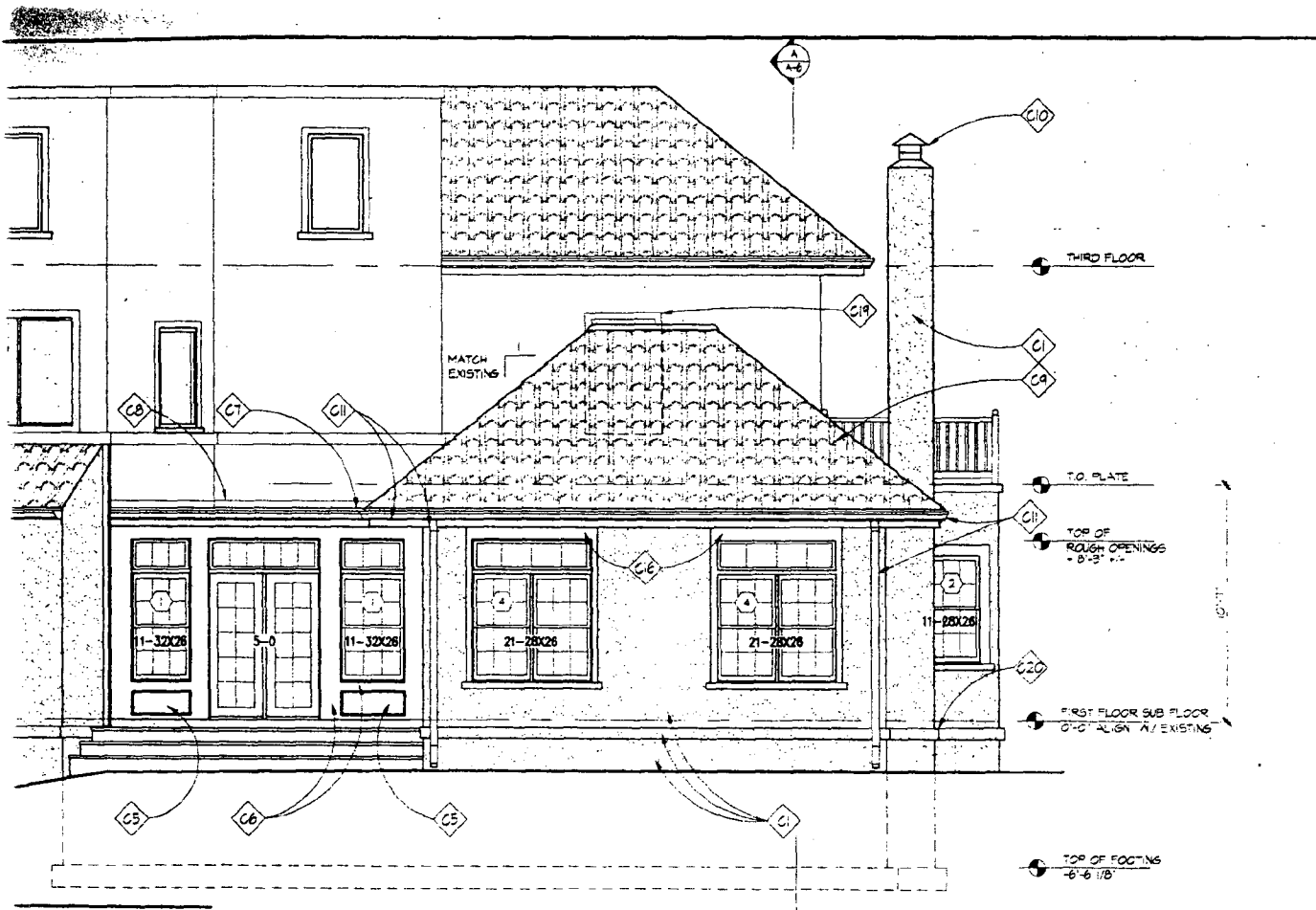
99069

DRAWING NO.

A-8

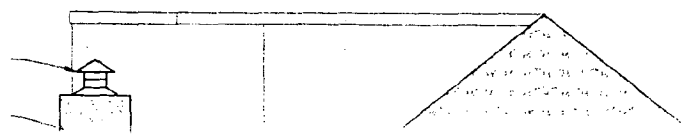
APPROVED
Montgomery County
Historic Preservation Commission

A handwritten signature in black ink, appearing to read "John Kennedy", is written over the "APPROVED" text. Below the signature is a date stamp "7/26/99".



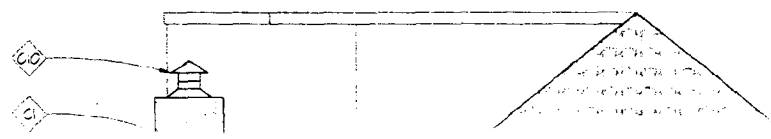
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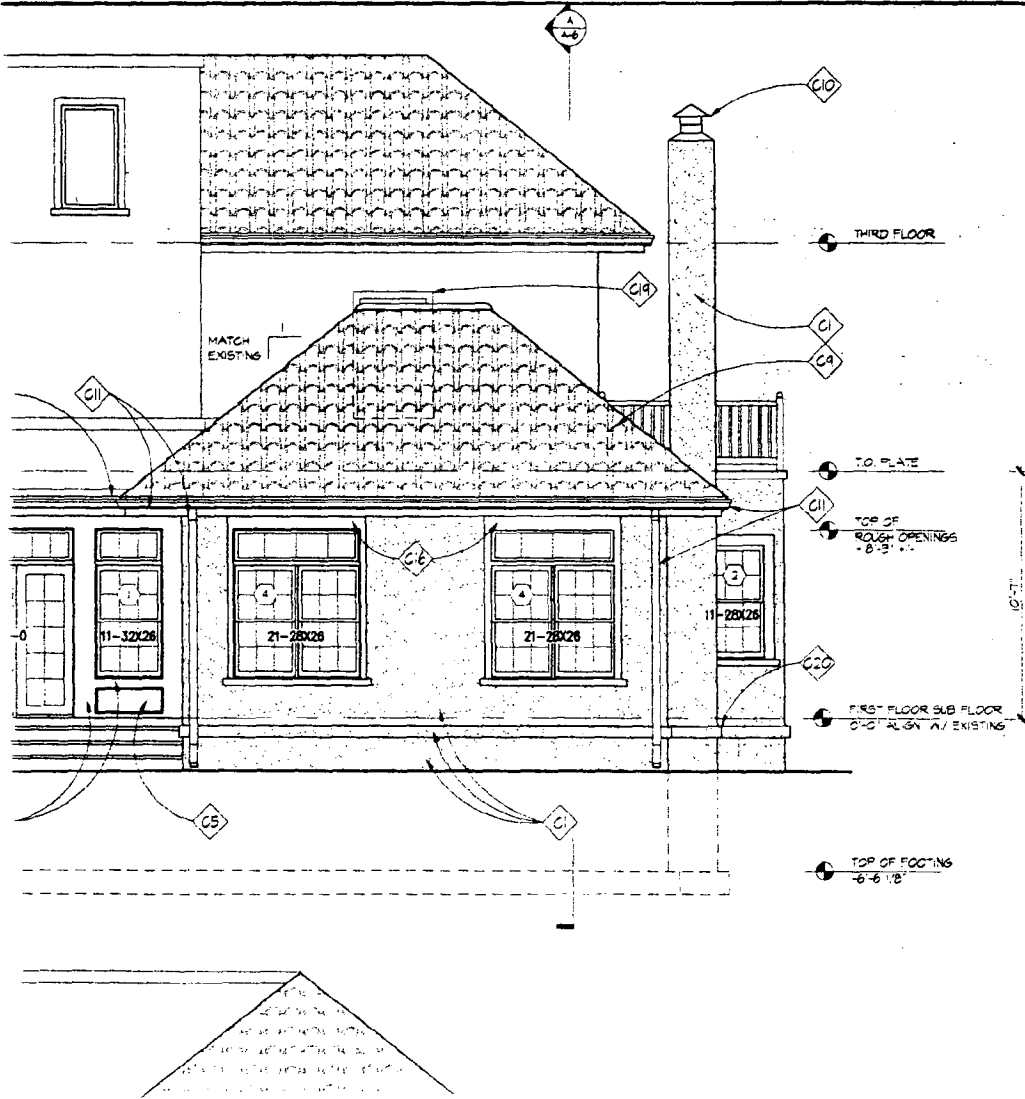
C1	STUCCO
C2	PROVIDE TOP OR BOTTOM PICKETS
C3	1" FIBER
C4	16" X 8" S
C5	RECESSE
C6	PAINTED
C7	RUBBER
C8	FLASHING
C9	SPANISH
C10	CHIMNEY
C11	SUTTER
C12	EXISTING
C13	EXISTING
C14	WELL A
C15	EXISTING
C16	NEW GRA
C17	ORIGINAL
C18	ADD TO
C19	ANGULAR
C20	STUCCO
C21	REMOVE & PROVIDE





A REAR ELEVATION
 A-4 1/4"=1'-0"





ELEVATION NOTES

- ◇ C1 STUCCO FINISH MATCH EXISTING
- ◇ C2 PROVIDE NEW PAINTED RAILING SYSTEM
TOP RAIL #8840
BOTTOM RAIL #8841
PICKETS #114-287
- ◇ C3 10" FIBERGLASS COLUMN, PERMACAST OR EQUAL
- ◇ C4 16"x16" STUCCO FINISH PEDESTAL, TOP TO ALIGN W/
- ◇ C5 RECESSED MDO PANEL W/ OSBEE TRIM
- ◇ C6 PAINTED 3/4" TRIM, MATCH EXISTING HOUSE DETAIL
- ◇ C7 RUBBER MEMBRANE
- ◇ C8 FLASHING PER MANUF. RECOMMENDATIONS
- ◇ C9 SPANISH TILE ROOF TO MATCH EXIST
- ◇ C10 CHIMNEY CAP
- ◇ C11 BUTTER & DOWNSPOUT TO MATCH EXISTING
- ◇ C12 EXISTING DOOR
- ◇ C13 EXISTING STUCCO
- ◇ C14 1/2" WALL W/ PAINTED FINISH
- ◇ C15 EXISTING DRIVEWAY
- ◇ C16 NEW GRADE, CONFIRM W/ LANDSCAPING PLAN
- ◇ C17 ORIGINAL GRADE -4'-0" +/-
- ◇ C18 ADD TRELLIS, FROM CEDAR 2x12, PTD
- ◇ C19 ANDOON BEYOND
- ◇ C20 STUCCO TRIM BAND TO MATCH EXISTING
- ◇ C21 REMOVE SIDING FROM EXISTING SUN ROOM
PROVIDE STUCCO TO MATCH EXISTING HOUSE
- ◇ C22

TOP OF FOOTING
-6'-6 1/8"

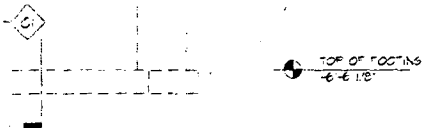
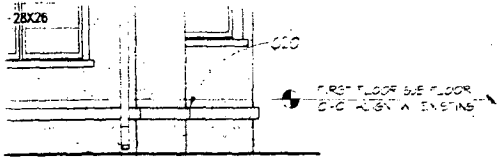
A REAR ELEVATION

A-4 1/4"=1'-0"




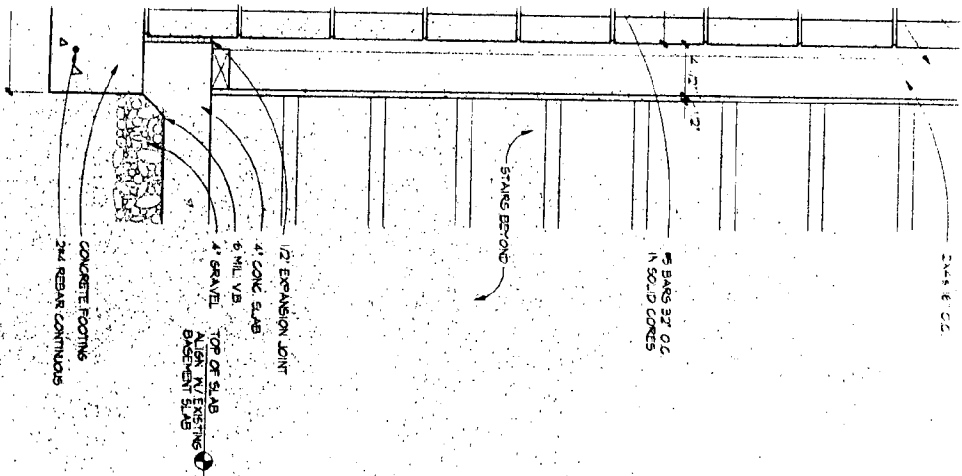
B SIDE ELEVATION

A-4 1/4"=1'-0"



- C20 EXISTING DOOR
- C18 EXISTING STUCCO
- C14 FILL WALL & PAINTED A/F/S
- C15 EXISTING DRIVEWAY
- C16 NEW GRADE CONFORM W/ LANDSCAPING PLAN
- C17 ORIGINAL GRADE +4'-0\"/>

4102 CHEV	EXTE ELEV	NEAL RESIDENCE
REVISIONS:		
SEAL:		
		
DRAWN BY: RJV		
CHECKED BY: CK		
SCALE: 1/4"=1'-0"		
DATE:		



Sheet E-02

5\"/>

STAIRS BEYOND

1/2\"/>

CONCRETE FOOTING
24\"/>

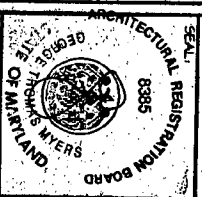
APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
07/20/04

NEAL RESIDENCE

REVISIONS

SEAL



DRAWN BY:
RJV

CHECKED BY:
OK

SCALE:
AS NOTED

DATE:
1-26-04

PROJECT NO.
94064

DRAWING NO.

A-7

**NE
RESIL**

REVISIONS:



DRAWN BY:

RJV

CHECKED BY:

CK

SCALE:

NO SCALE

DATE:

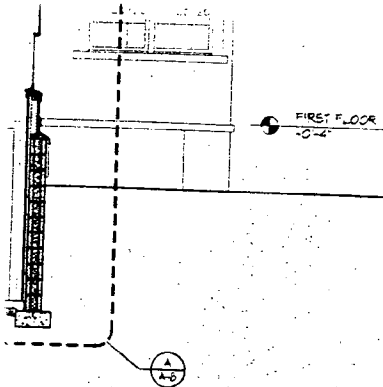
7-26-99

PROJECT NO.

99069

DRAWING NO.

A-6



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
7/28/99

RE

REVISIONS

SEAL



DRAWN BY:

RJV

CHECKED BY:

CK

SCALE:

1/4" = 1'-0"

DATE:

7-26-99

PROJECT NO.

99069

DRAWING NO.

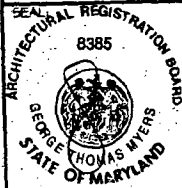
A-4

APPROVED
Montgomery County
Historic Preservation Commission

A handwritten signature in black ink, appearing to read "John...", is written over the "APPROVED" text. Below the signature, the date "7/26/99" is handwritten.

RE

REVISIONS:



DRAWN BY:

CCM

CHECKED BY:

CK

SCALE:

1/4"=1'-0"

DATE:

7-26-99

PROJECT NO.

99069

DRAWING NO.

A-3

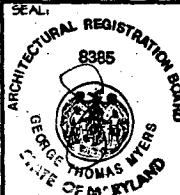
APPROVED
Montgomery County
Historic Preservation Commission

A handwritten signature in black ink, followed by the date "7/26/99".

PROVIDE STEAM SHOWER UNIT TO BE LOCATED UNDER SHOWER BENCH. W/ ACCESS PANEL IN WATER CLOSET ROOM

RI

REVISIONS:



DRAWN BY: RJV

CHECKED BY: CK

SCALE: 1/4" = 1'-0"

DATE: 7-26-99

PROJECT NO: 99069

DRAWING NO:

A-2

WALL TYPES

W1 TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C., W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" PLYWOOD SHEATHING, TYVEC BUILDING WRAP, & 1 1/2" EIFS INTERIOR FINISH TO BE GYP. BD. (1/2").

W2 TYPICAL INTERIOR PARTITION 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

W3 INTERIOR PARTITION 2 x 6 STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE.

APPROVED
 Montgomery County
 Historic Preservation Commission
George Thomas Myers
 Director

RESI

- ②② IC FIBERGLASS COLUMN W/ 6X6 POST WITHIN ON 1'-4" x 4" CM. PIER
- ②③ PROVIDE NEW FRONT DOOR TO BE SELECTED.
- ②④ PROVIDE BUILT-IN CABINETS, SOLID RECESSED PANEL, BASE CABINETS W/ GLASS DOORS ABOVE.
- ②⑥ REPLACE EXISTING SINK & TOILET

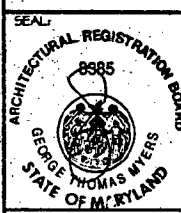
NOTE:
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

WALL TYPES

- ① TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS 16" O.C., 1/2" R-13 INSULATION & 1/4" VAPOR BARRIER, 1/2" PLYWOOD SHEATHING, TYVEG BUILDING WRAP, & EIFS (INTERIOR FINISH TO BE GYP. BD. 1/2").
- ② TYPICAL INTERIOR PARTITION, 2"x4" STUDS 16" O.C., 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
7/26/99

REVISIONS:



DRAWN BY:	RJV
CHECKED BY:	CK
SCALE:	1/4" = 1'-0"
DATE:	7-26-99
PROJECT NO.:	99069
DRAWING NO.:	

A-1

- 218 PROVIDE (6) 8 WIRE SHELVES ON SHELF STANDARDS FASTENED TO EXISTING MASONRY WALL (CLOSETMAID OR APPROVED EQUAL)
- 219 PROVIDE NEW 2x4 PARTITION AS SHOWN, GYP. BD. ON UNFINISHED PLAY AREA SIDE ONLY.
- 220 CONTINUOUS 1'-6"x8" CONCRETE FOOTING BELOW W/ (2) #4 BARS CONTINUOUS, TYPICAL.
- 221 HANDRAIL
- 222 PROVIDE 20"x20" CRAWL SPACE ACCESS PANEL W/ 2 LAYERS R-4 RIGID INSULATION OR EQUAL FASTENED TO PLYWOOD PANEL.
- 223 CONT. SLAB ON GRADE.
- 224 1'-4"x1'-4" CMU PIER ON 2'-0"x2'-0"x8" CONC. FRT. W/ (2) #8 BARS EACH WAY
- 225 LOCATION OF AIR HANDLER FOR NEW 1ST FLOOR/BASEMENT AC. VERIFY W/ OWNER & ARCHITECT.



NORTH

NOTE:
UNLESS NOTED OTHERWISE, DIMENSIONS ON INTERIOR WALL ARE TO FACE OF GYP. BD. DIMENSIONS ON EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING TO FINISH FACE GYP. BD.

APPROVED
Montgomery County
Historic Preservation Commission
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

[Signature]
7/26/99

RI

REVISIONS:



DRAWN BY:	RJV
CHECKED BY:	CK
SCALE:	1/4" = 1'-0"
DATE:	7-26-99
PROJECT NO.	99069
DRAWING NO.	A-0

- ◇ D11 REMOVE & STORE COOKTOP.
- ◇ D12 REMOVE CABINETRY & COUNTERTOP.
- ◇ D13 REMOVE SHOWER.
- ◇ D14 REMOVE TUB.
- ◇ D15 REMOVE TOILET.
- ◇ D16 REMOVE PORTION OF WALL TO PROVIDE OPENING FOR NEW WINDOWS.
- ◇ D17 REMOVE BULKHEAD ABOVE.
- ◇ D18 REMOVE TELEPHONE BOX & LINE FOR RELOCATION.
- ◇ D19 REMOVE AND SAVE ELECTRIC METER & METER BASE FOR RELOCATION.
- ◇ D20 REMOVE AIR CONDITIONER ABOVE DOOR.
- ◇ D21 REMOVE EXISTING HOSE BIB.
- ◇ D22 REMOVE EXISTING RAILING.
- ◇ D23 REMOVE EXISTING PORCH FLOORING.
- ◇ D24 REMOVE EXSITING RADIATOR.



NORTH

NOTE:
UNLESS NOTED OTHERWISE, DIMENSIONS ON INTERIOR WALL ARE TO FACE OF GYP. BD., DIMENSIONS ON EXTERIOR WALLS ARE TO FACE OF STUD OR FACE OF CMU.

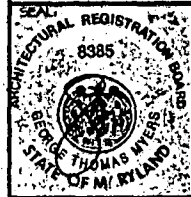
APPROVED:
Montgomery County
Conservation Commission
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

[Signature]
7/26/99

4102 LELA'
CHEVY CHASE
DEMOLITION

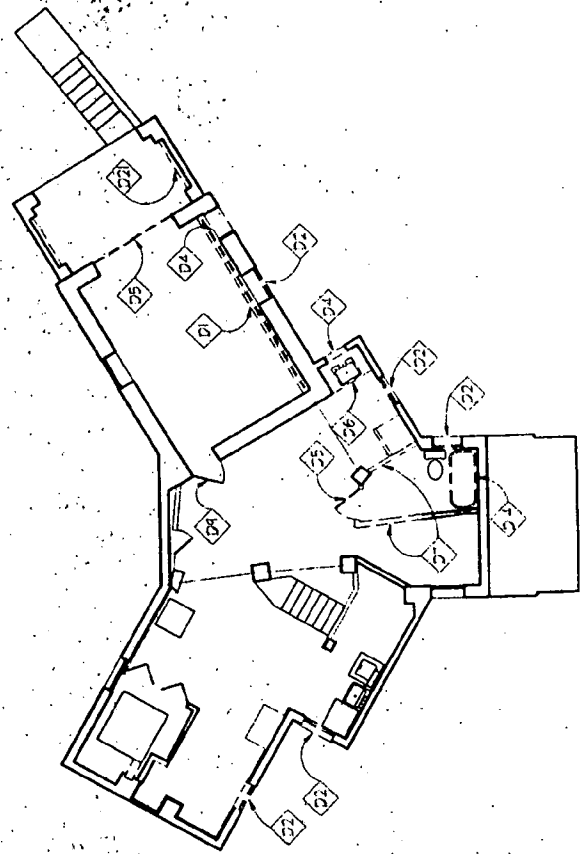
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RESIDENCE**

REVISIONS	

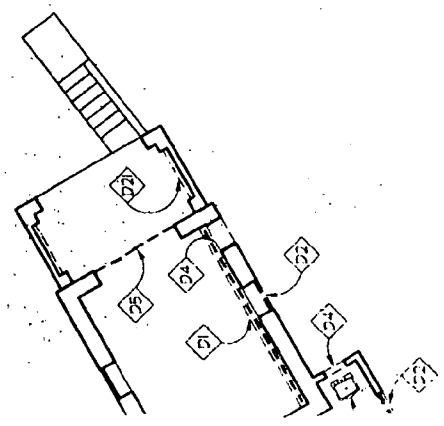
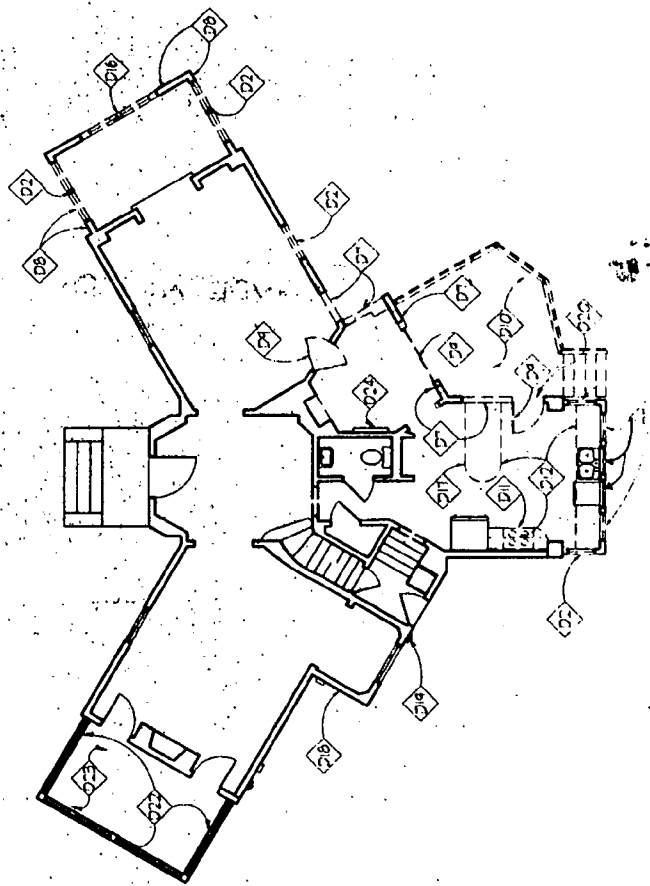


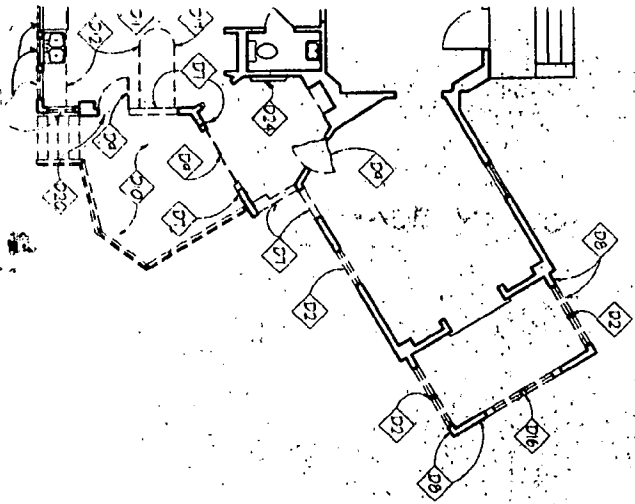
DRAWN BY	R.V.
CHECKED BY	CK
SCALE	1/8" = 1'-0"
DATE	7-26-99
PROJECT NO.	99069
DRAWING NO.	

D-1



() BASEMENT * FOUNDATION PLAN





DEMOLITION NOTES

- D1 REMOVE WD. BUGT
- D2 REMOVE WINDOW & FRAME
- D3 REMOVE SKYLIGHTS (4)
- D4 CUT OPENING IN WALL TO ACCOMMODATE DOOR OPENING
- D5 REMOVE DOOR & FRAME
- D6 REMOVE SINK ASSOCIATED PLUMBING & CABINET
- D7 REMOVE PORTION OF WALL TO ALLOW FOR NEW WORK
- D8 REMOVE WD. SIDING AND TRIM
- D9 REMOVE DOOR & FRAME
- D10 REMOVE WOOD DECK & STAIRS
- D11 REMOVE & STORE COOKTOP
- D12 REMOVE CABINETRY & COUNTERTOP
- D13 REMOVE SHOWER
- D14 REMOVE TUB
- D15 REMOVE TOILET
- D16 REMOVE PORTION OF WALL TO PROVIDE OPENING FOR NEW WINDOWS
- D17 REMOVE BULKHEAD ABOVE
- D18 REMOVE TELEPHONE BOX & LINE FOR RELOCATION
- D19 REMOVE AND SAVE ELECTRIC WETTER & WETTER BASE FOR RELOCATION

4102 LELAND STREET
CHEVY CHASE, MD. 20815

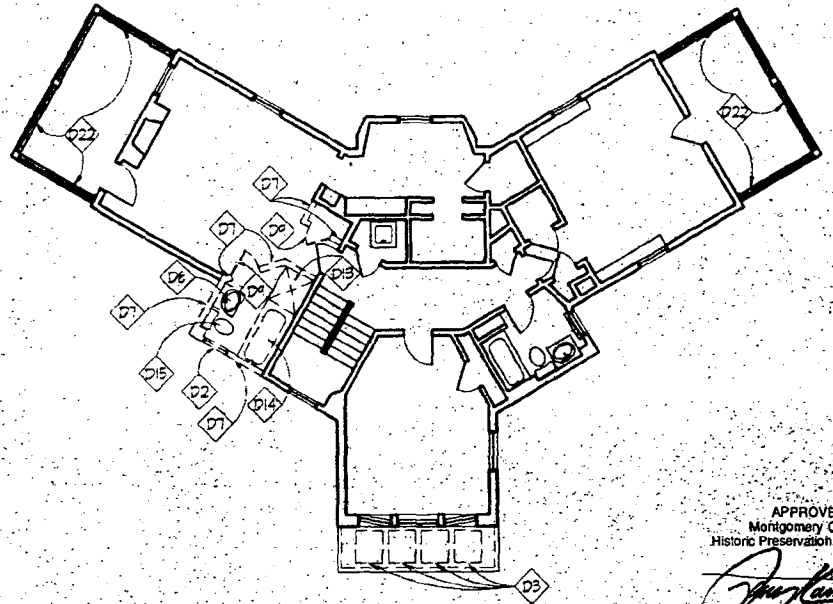
DEMOLITION PLANS

GTM
ARCHITECTS
ONE REDDEN AVENUE
BETHESDA, MD 20814
301-453-8200
WWW.GTMARCHITECTS.COM

CE

1 BASEMENT & FOUNDATION PLAN
D-1 8'-0" = 1'-0"

2 FIRST FLO
D-1 8'-0" = 1'-0"



3 SECOND FLOOR PLAN
D-1 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Com

FILE NAME: 1004000

2. Provide safety glass in all exterior doors, storm doors, shower doors and two enclosures where the glass is closer than 18" to the floor and exceeds 6 sq. ft. in area.
3. Smoke detectors shall be provided on every floor and integrated with electrical system.
4. Pipes shall be class B except solid fuel fires which shall be class A.
5. Top of fire shall be 2'-0" minimum above any part of structure within 10'-0" of fire.
6. Interior finish of walls and ceiling shall have a flame spread rating not greater than class I. Carpeting shall meet federal regulation DOC FF-1.

ELECTRICAL & LIGHTING NOTES

1. Electrical contractor shall review the existing service to determine if increased service or subpanels are required.
2. Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes.
3. Wall outlets are to be mounted 1'-6" above finished floor unless noted otherwise.
4. Switches are to be mounted 4'-0" above finished floor unless noted otherwise.
5. Mounting heights are to the vertical center of the equipment to the finished elevation of the floor.
6. All new switch & outlet styles are to be approved by owner prior to installation.
7. Provide hardwired smoke detectors on all floors, located as per Montgomery County Code.

MECHANICAL NOTES

1. All work shall be done in accordance with the CABO One and Two Family Dwelling Code 1989 Edition, as well as all local codes.
2. Heating:
Provide new hot water under floor radiant heating system in all new areas.
Existing hydronic system to remain in existing areas.
3. Cooling:
Provide new central air conditioning for 1st floor only. Extend second floor HVAC lines, if possible, in master bath.
4. Air handlers/Ductwork: First floor air handler to be located in existing basement with ductwork running through first floor joists. See drawing A-0 for location. Mechanical contractor shall submit all duct layouts (and thermostat locations) to the owner and the architect for approval prior to the commencement of framing. No extras will be given for any modification required to the framing, due to ductwork.
5. New cooling systems to have a 13 SEER rating. New condenser to be located rear of house. Confirm location w/ Architect & Owner.

PLUMBING NOTES

1. All work shall be done in accordance with the CABO One and Two Family Dwelling Code 1989 Edition, as well as all local codes.
2. Plumbing contractor shall provide riser diagrams as required for permit, and shall submit to the architect proposed locations of all waste and supply lines prior to the commencement of framing. No extras will be given for any modification to the framing due to plumbing lines.

STEAM SHOWER

1. Wall construction: Provide ceramic tile over dryset or latex portland cement mortar bond coat over tile backer board over foam insulation board over 2x4 studs.
2. Ceiling construction: Same as walls, provide continuous sloped ceiling (1/2" per foot) and provide rounded nose corner tile @ joint between wall and ceiling.
3. Steam unit: 1/4" Steam model # HS-150, 6kw or approved equal. Provide the following connections: water inlet 3/8" NPT, steam outlet NPT, drain 3/8" NPT. Follow all manufacturer's specifications.

APPROVED
Montgomery County
Historic Preservation Commission

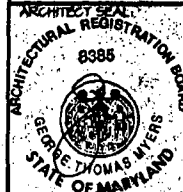
[Signature]
7/28/99

4102 LELAN
CHEVY CHA

SPECIFICAT

NEAL
RESIDENCE

REVISIONS:



DRAWN BY:

RJV

CHECKED BY:

CK

SCALE:

NO SCALE

DATE:

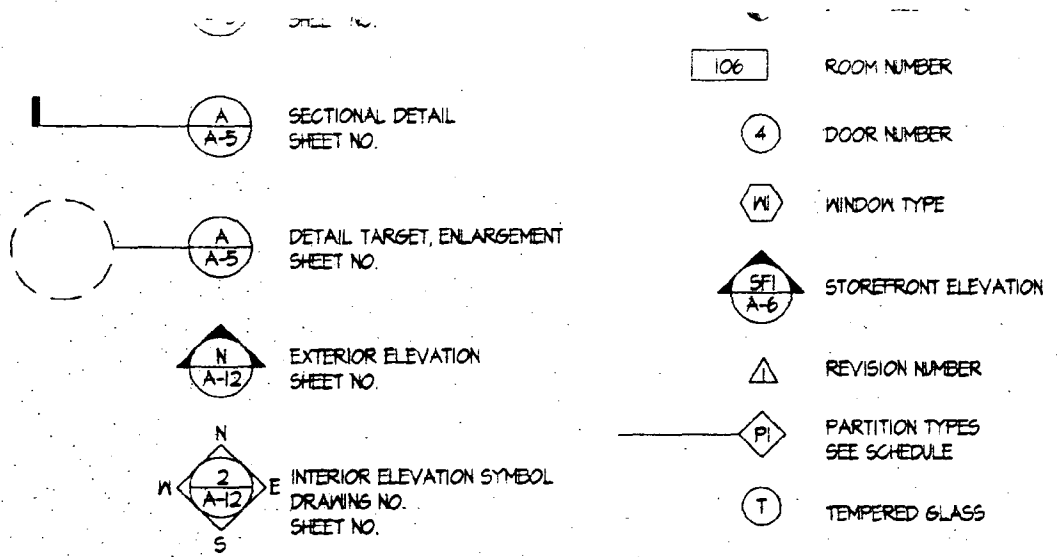
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PROJECT NO.

44064

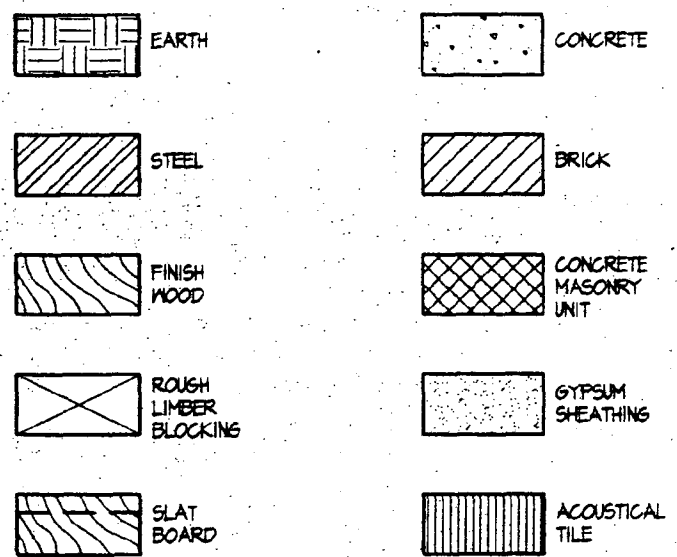
DRAWING NO.

SP-1



- CS COVER SHEET
- SP-1 SPECIFICATIONS
- D-1 DEMOLITION PLANS
- A-0 BASEMENT & FOUND. PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 ROOF PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 EXTERIOR ELEVATIONS
- A-6 BUILDING SECTIONS
- A-7 DETAILS
- A-8 DETAILS
- A-9 FRAMING PLANS
- A-10 BASEMENT ELECTRICAL AND LIGHTING PLAN
- A-11 FIRST FLOOR ELECTRICAL AND LIGHTING PLAN
- A-12 SECOND FLOOR ELECTRICAL AND LIGHTING PLAN
- A-13 SCHEDULES

MATERIAL SYMBOLS



FILE NAME: 8008103

LIST OF DRAWINGS

ABE

DATUM ELEVATION

CS COVER SHEET

ROOM NUMBER

SP-1 SPECIFICATIONS

DOOR NUMBER

D-1 DEMOLITION PLANS

WINDOW TYPE

A-0 BASEMENT & FOUNDATION PLAN

STOREFRONT ELEVATION

A-1 FIRST FLOOR PLAN

A-2 SECOND FLOOR PLAN

REVISION NUMBER

A-3 ROOF PLAN

A-4 EXTERIOR ELEVATIONS

PARTITION TYPES
SEE SCHEDULE

A-5 EXTERIOR ELEVATIONS

TEMPERED GLASS

A-6 BUILDING SECTIONS

A-7 DETAILS

A-8 DETAILS

A-9 FRAMING PLANS

**A-10 BASEMENT ELECTRICAL
AND LIGHTING PLANS**

**A-11 FIRST FLOOR ELECTRICAL
AND LIGHTING PLANS**

**A-12 SECOND FLOOR ELECTRICAL
AND LIGHTING PLANS**

A-13 SCHEDULES

ABOVE FINISH FLOOR	AF	EACH	EA
ACOUSTIC	ACST	EAST	E
ADJUSTABLE	ADJ	ELECTRICAL	EL
AIR CONDITIONING	AC	ELEVATION	ELEV
AIR HANDLING UNIT	AH	ELEVATOR	ELEV
ALTERNATE	ALT	EMERGENCY POWER	EM
ALTERNATE CURRENT	AC	EMPTY CONDUIT	EC
ALUMINUM	AL	ENGINEER	ENGR
AMPERES	AMP	ELECTRIC WATER COOLER	EW
ANCHOR BOLT	AB	EXHAUST	EX
ARCHITECT	ARCH	EXISTING	EX
AT	A	EXPANSION	EXP
AVERAGE	AVG	EXPANSION JOINT	EXP
		EXTERIOR	EXT
BEAM	BM	FAHRENHEIT	F
BOARD	BD	FEET PER MINUTE	FFM
		FEET, FOOT	FT
CABINET	CAB	FINISH	FIN
CATALOG	CAT	FIRE EXTINGUISHER CASE	FEC
CEILING	CLS	FLOOR	FL
CENTRALINE	CL	FLOUORESCENT	FLOR
CERAMIC TILE	CT	FIRE RATED	FR
CLOSET	CLD		
COLUMN	COL	GALLON	GA
COMPANY	CO	GALLONS PER MINUTE	GP
CONCRETE	CONC	GALVANIZED	GA
CONCRETE MASONRY UNITS	CMU	GENERAL CONTRACTOR	GC
CONFERENCE	CONF	GROUNDING FAULT INTERRUPT	GF
CONTINUOUS	CONT	GYPSUM	GY
CONTROL JOINT	CJ	GYPSUM WALLBOARD	GWB
COORDINATE	COORD		
CORRIDOR	CORR		
CUBIC FEET	CF	HANDICAPPED	HCP
CUBIC FEET PER MINUTE	CFM	HARDWARE	HW
		HEIGHT	HGT
DEDICATED	DED	HERTZ	HZ
DEPARTMENT	DEPT	HOLLOW METAL	HM
DEPTH	D	HORIZONTAL	HOR
DETAIL	DET	HORSE POWER	HP
DIAGONAL	DIAG	HOT WATER HEATER	HWH
DIAMETER	DIA	HOUR	HR
DIMENSION	DM		
DISHWASHER	DS		
DOOR	DR	INCH	"
DOWN	DN	INFORMATION	INFO
DRAWING	DWG	INSIDE DIAMETER	ID
DRINKING FOUNTAIN	DF	INSULATED INSULATION	INSU

ELECTRICAL

◀	TELEPHONE OUTLET
⊙	CABLE TV OUTLET
⊗	LIGHT FIXTURE, CEILING MOUNTED (SEE SC)
⊗	LIGHT/FAN FIXTURE, CEILING MOUNTED
⊙	EXHAUST FAN
⊗	LIGHT FIXTURE, WALL MOUNTED
⊗	UNDER CABINET LIGHT FIXTURE, SURFACE
⊕	DUPLEX RECEPTACLE
⊕	DUPLEX RECEPTACLE MOUNTED AT FLOOR
⊕	DUPLEX RECEPTACLE WITH GROUND FAULT
⊕	DEDICATED RECEPTACLE (APPLIANCES, E

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SUM
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ELECTRICAL & LIGHTING SYMBOLS

- TELEPHONE OUTLET 1. SINGLE POLE SWITCH
- CABLE TV OUTLET 2. THREE-WAY SWITCH
- LIGHT FIXTURE, CEILING MOUNTED (SEE SCHEDULE FOR TYPE) 3. DIMMER SWITCH
- LIGHT/FAN FIXTURE, CEILING MOUNTED 4. EXISTING SWITCH
- EXHAUST FAN 5. SWITCHED DUPLEX RECEPTACLE
- LIGHT FIXTURE, WALL MOUNTED 6. SMOKE DETECTOR, 120V OPERATED HARDWARE
- UNDER CABINET LIGHT FIXTURE, SURFACE MOUNTED 7. FULL CHAIN CEILING FIXTURE
- DUPLEX RECEPTACLE 8. SPEAKER WIRES
- DUPLEX RECEPTACLE MOUNTED AT FLOOR
- DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
- DEDICATED RECEPTACLE (APPLIANCES, ETC.)
- QUAD-DUPLEX RECEPTACLE
- EXISTING RECEPTACLE

RE

REVISIONS:

ARCHITECTURAL REGISTERED PROFESSIONAL BOARD
 8385
 GEORGE THOMAS MYERS
 STATE OF MARYLAND

DRAWN BY: R/V

CHECKED BY: CK

SCALE: NO SCALE

DATE: 7-26-99

PROJECT NO: 99069

DRAWING NO:

CS

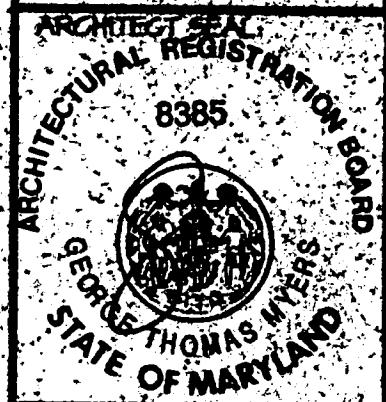
MAX	ROOM	RH
HSCN	ROUGH OPENING	RD
NEO		RO
NEZ	SCHEDULE	ROCT
YH	SECTION	SS
HSC	SERVICE BNC.	SM
HTD	SIMILAR	SM
HL	SOUND TRANSMISSION	STM
	SPECIFICATION	SPC
	SQUARE	SQ
HC	STANDARD	STD
HTS	STAND PIPE	ST
S NO	STAINLESS STEEL	SS
	STATION	STA
OFF	STEEL	STL
OZ	STORAGE	STOR
OPNG	STRUCTURAL	STRUCT
OP	SUSPENDED CEILING	SUSP
OZ		
CA	TELEPHONE	TEL
ON	THICK OR THICKNESS	THC
	THRESHOLD	THRD
PTD	TILE	T
PH	TONGUE OR GROOVE	T + G
PTH	TOP	T
PERP	TYPICAL	TYP
PC		
PH		
P LAM	VERTICAL	VERT

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REVISIONS

LIGHTING SYMBOLS

- ⊙ SINGLE POLE SWITCH
- ⊙ THREE-WAY SWITCH
- ⊙ DIMMER SWITCH
- ⊙ EXISTING SWITCH
- ⊙ SWITCHED DUPLEX RECEPTACLE
- ⊙ SMOKE DETECTOR, 120V OPERATED HARDWIRE
- ⊙ FULL CHAIN CEILING FIXTURE
- ⊙ SPEAKER WIRES



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CHECKED BY:	CK
SCALE:	NO SCALE
DATE:	1-26-49
PROJECT NO.:	95064
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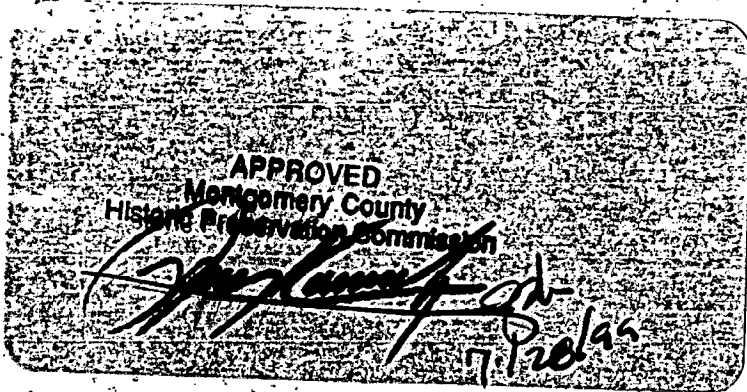
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GTM ARCHITECTS

10415 ARMORY AVENUE
 KENSINGTON, MD. 20845
 (301)942-4062
 (301)942-3429 FAX

4102 LELAND STREET
 CHEVY CHASE, MD 20815

COVER SHEET



DEVIATIONS

TRIOR	INT	PLATE	PL	VESTIBULE	VEST
ATOR'S CLOSET	JC	PLUMBING	PLMB	VINYL COMPOSITE TILE	VCT
NT	JT	PLYWOOD	PLYWD	VOLTS	V
ST	JST	POLYVINYL CHLORIDE	PVC	HALLBOARD	HB
CTION BOX	JB	POUND	LB	WELDED WIRE FABRIC	WWF
		POUNDS PER SQUARE INCH	PSI		

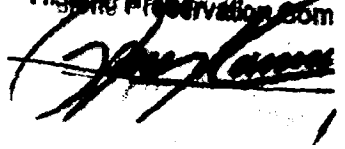
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ENCE

street

20815

APPROVED
Montgomery County
Historic Preservation Comm



ABBREVIATIONS

ABOVE FINISH FLOOR
ACOUSTIC
ADJUSTABLE
AIR CONDITIONING
AIR HANDLING
AIR HANDLING UNIT
ALTERNATE

AFF
ACST
ADJ
AC
AH
AHL
ALT

EACH
EAST
ELECTRIC, ELECTRICAL
ELEVATION
ELEVATOR
EMERGENCY POWER
PARTY CONTRACT

EA
E
ELEC
EL
ELEV
EM

INTERIOR
JANITOR'S CLOSET
JOINT
JOIST
JUNCTION BOX

INT
JC
JT
JST
JB

PLATE
PLUMBING
PLYWOOD
POLYVINYL CH
POUND
POUNDS PER 5

RESIDE

Leland Str
Chase, MD

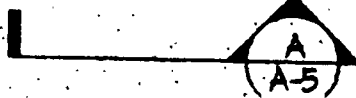
LIST OF DRAWINGS

COVER SHEET

NE

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GRAPHIC SYMBOLS



SECTION
SHEET NO

ELEV. 42.00



DA

NEAL N

4102 LE

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D
County
Commission

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7/28/99

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INDOLS

ELEV. 42.00

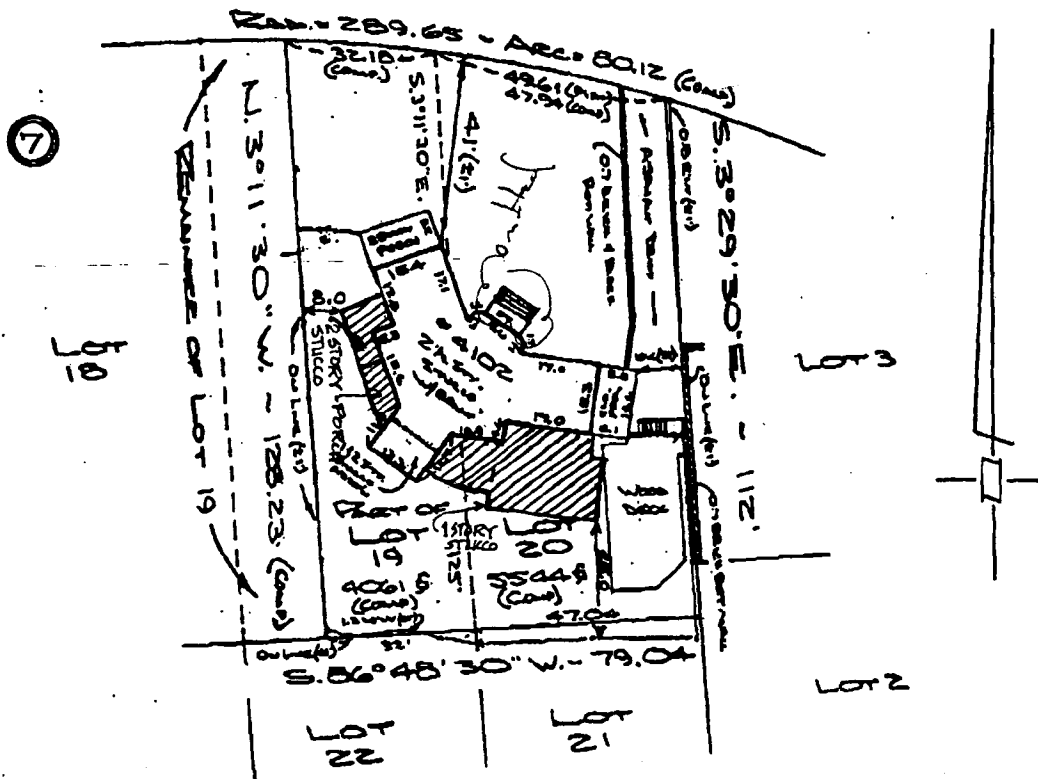


DATUM ELEVATION

CS

COVER

LELAND STREET



APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten Signature]
7/20/99

NOTE: AREA = 9605 sq

Capitol Surveys, Inc.

1300 Mercantile Lane
Suite 138
Largo, Maryland 20774
Phone 301-772-1654
Fax 301-341-1285

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with certain plated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

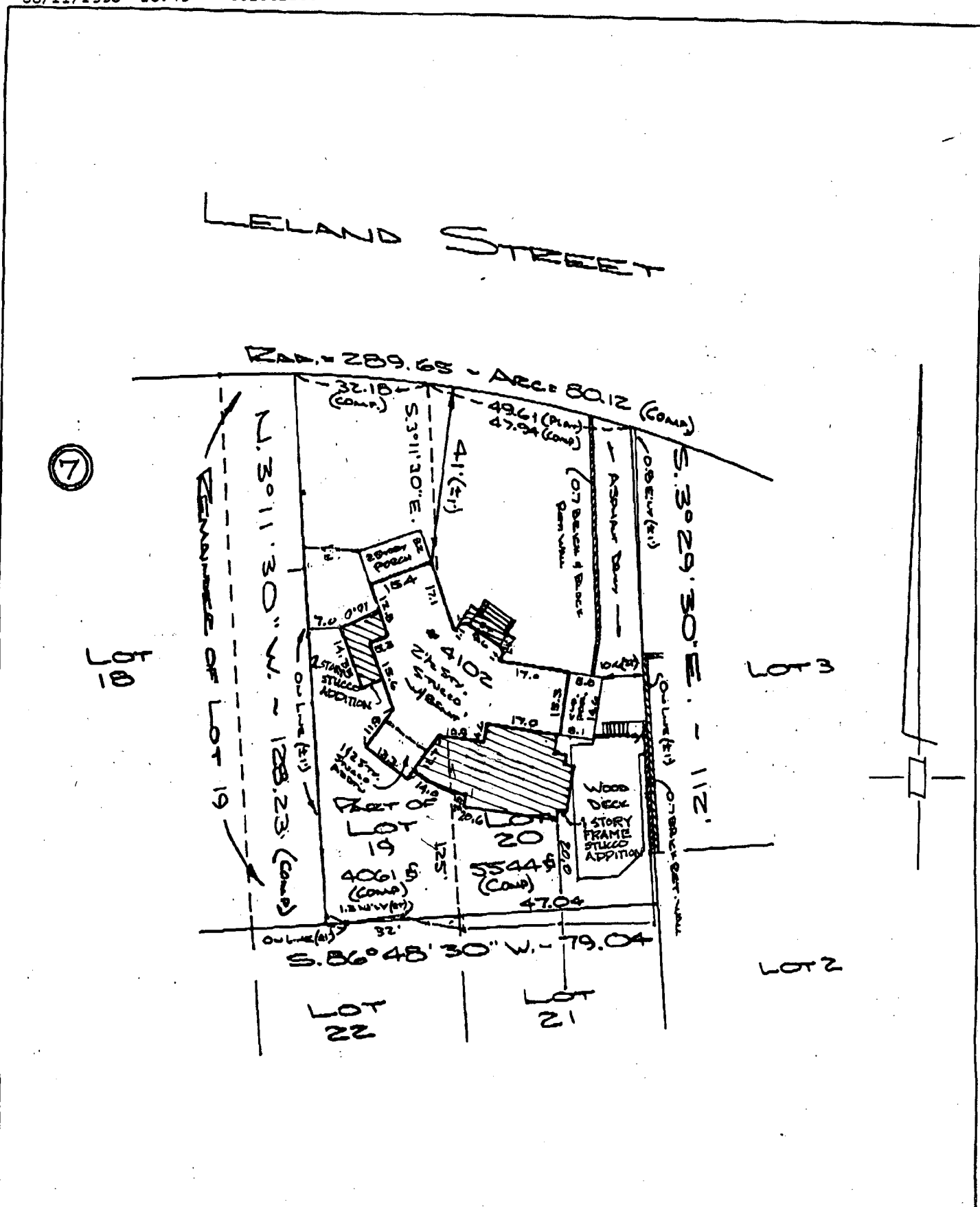
This property lies within an area not covered by the maps of the National Flood Insurance Program. No flood studies have been conducted to the best of our knowledge.

LOCATION DRAWING
LOT 20 & BLOCK 7
PART OF 19
CHEW CHASE PARK
MONTGOMERY COUNTY, MARYLAND

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is, to the best of my belief, of what can be ascertained and observed.

[Handwritten Signature]
Edward L. Lopez,
Maryland Property Line Surveyor No. 822

Recorded in Plat Book 2 Pg 132 Area 1" = 20'
CASE: 1379-98 FILE: 59235
DATE: MAY 27, 1998



NOTE: AREA = 9605 sq

Capitol Surveys, Inc.

1300 Mercantile Lane
 Suite 138
 Largo, Maryland 20774
 Phone 301-772-1654
 Fax 301-341-1285

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

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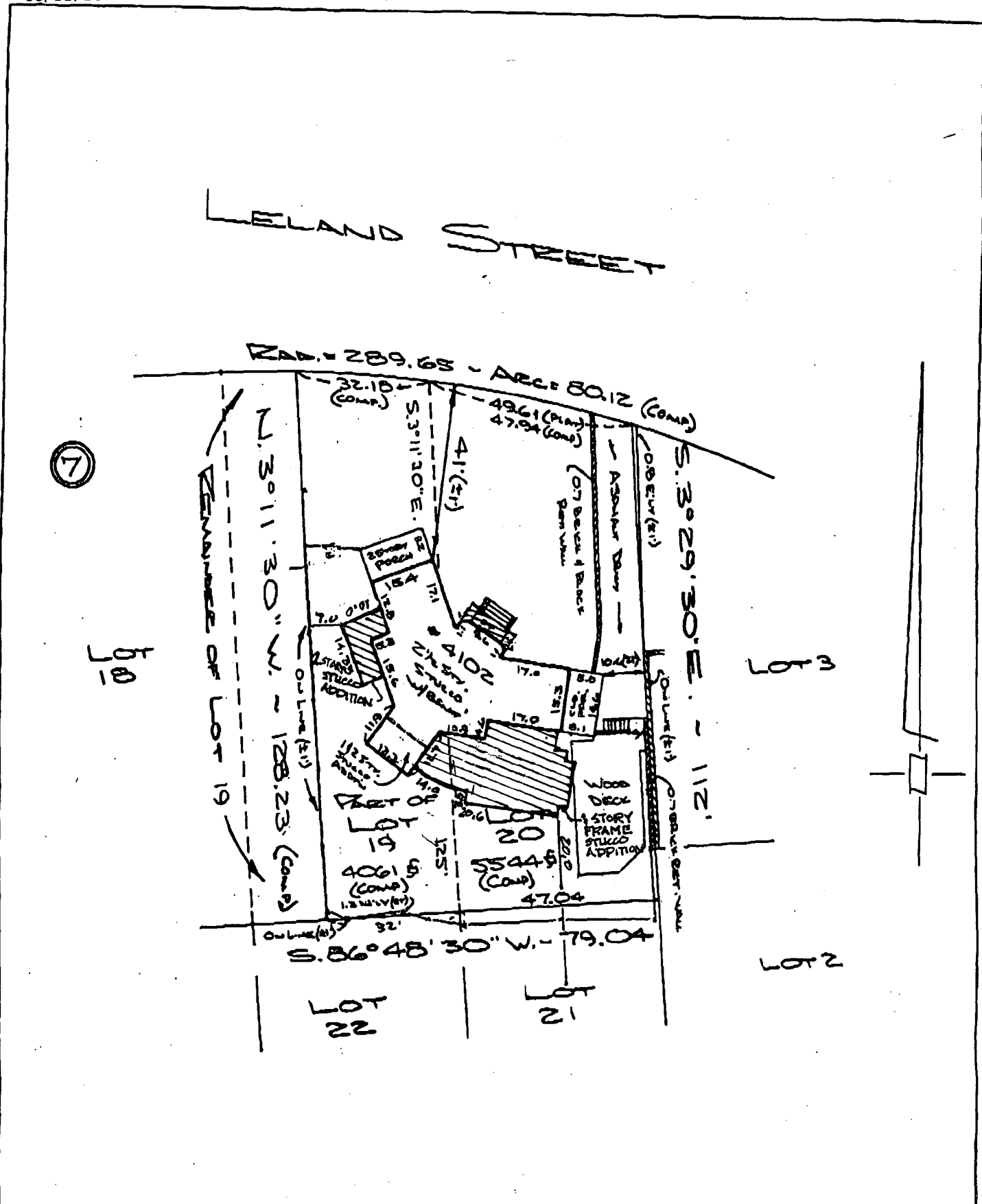
LOCATION DRAWING
 LOT 20^a BLOCK 7
 PART OF 19

CHEW CHASE PARK
 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book 2	Plat 132	Scale 1" = 20'
CASE: 1379-98	FILE: 59235	
DATE: MAY 27, 1998		

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

Edward L. Lopez
 Edward L. Lopez,
 Maryland Property Line Surveyor No. 522



NOTE: AREA = 9605 ±

Capitol Surveys, Inc.

1300 Mercantile Lane
 Suite 138
 Largo, Maryland 20774
 Phone 301-772-1654
 Fax 301-341-1285

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

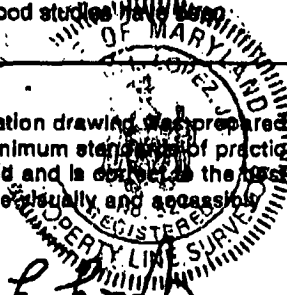
This property lies within an area not covered by the maps of the National Flood Insurance Program. No flood studies have been conducted to the best of our knowledge.

LOCATION DRAWING
 LOT 20 & BLOCK 7
 PART OF 19
CHEW CHASE PARK
 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book	2	Plat	132	Scale	1" = 20'
CASE:	1379-98	FILE:	59235		
DATE:	MAY 27, 1998				

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

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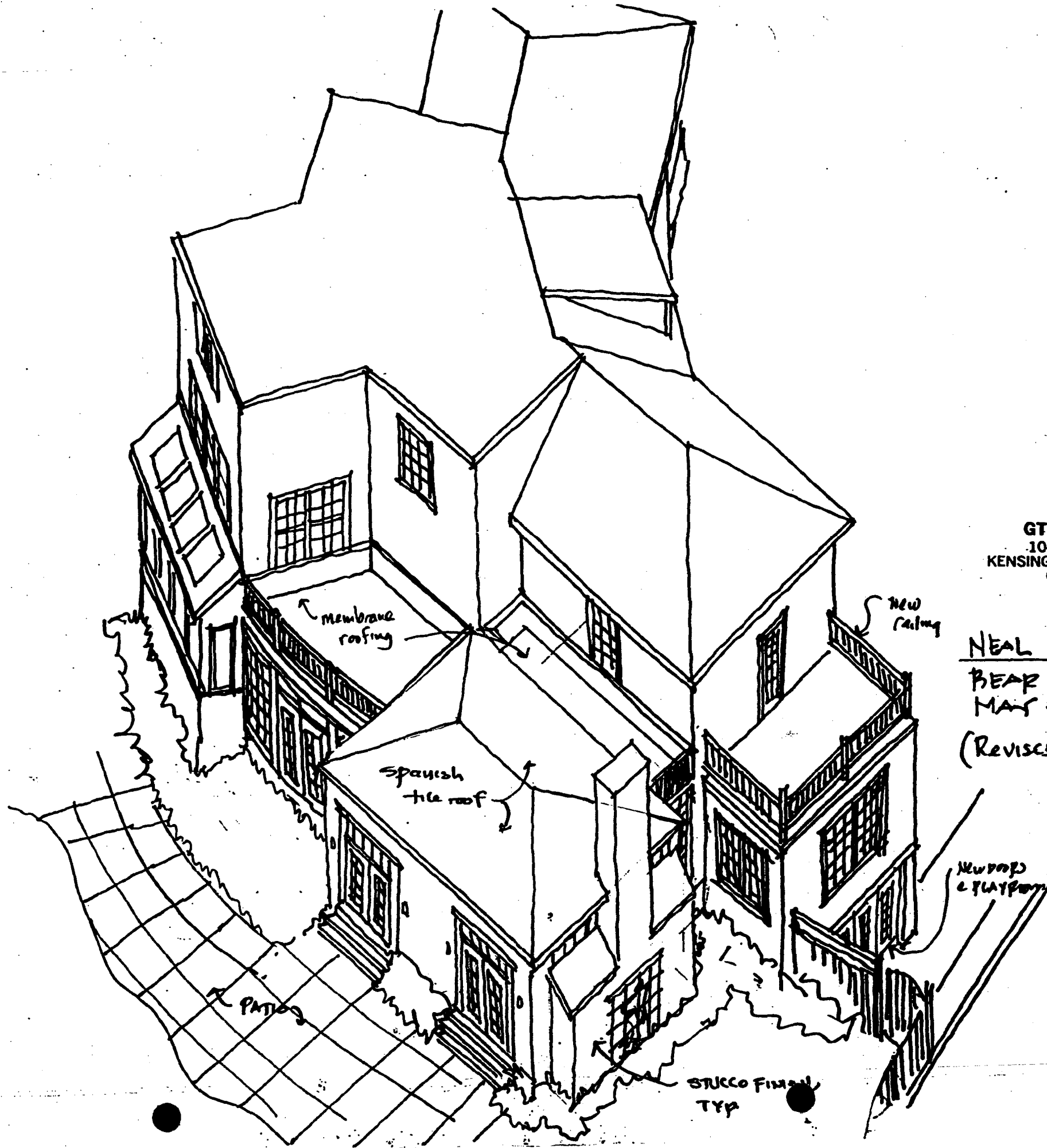


GTM ARCHITECTS
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KENSINGTON, MARYLAND 20895
(301) 942-9062



NEAL RESIDENCE
5.3.99

FRONT PORCH OPTION #1

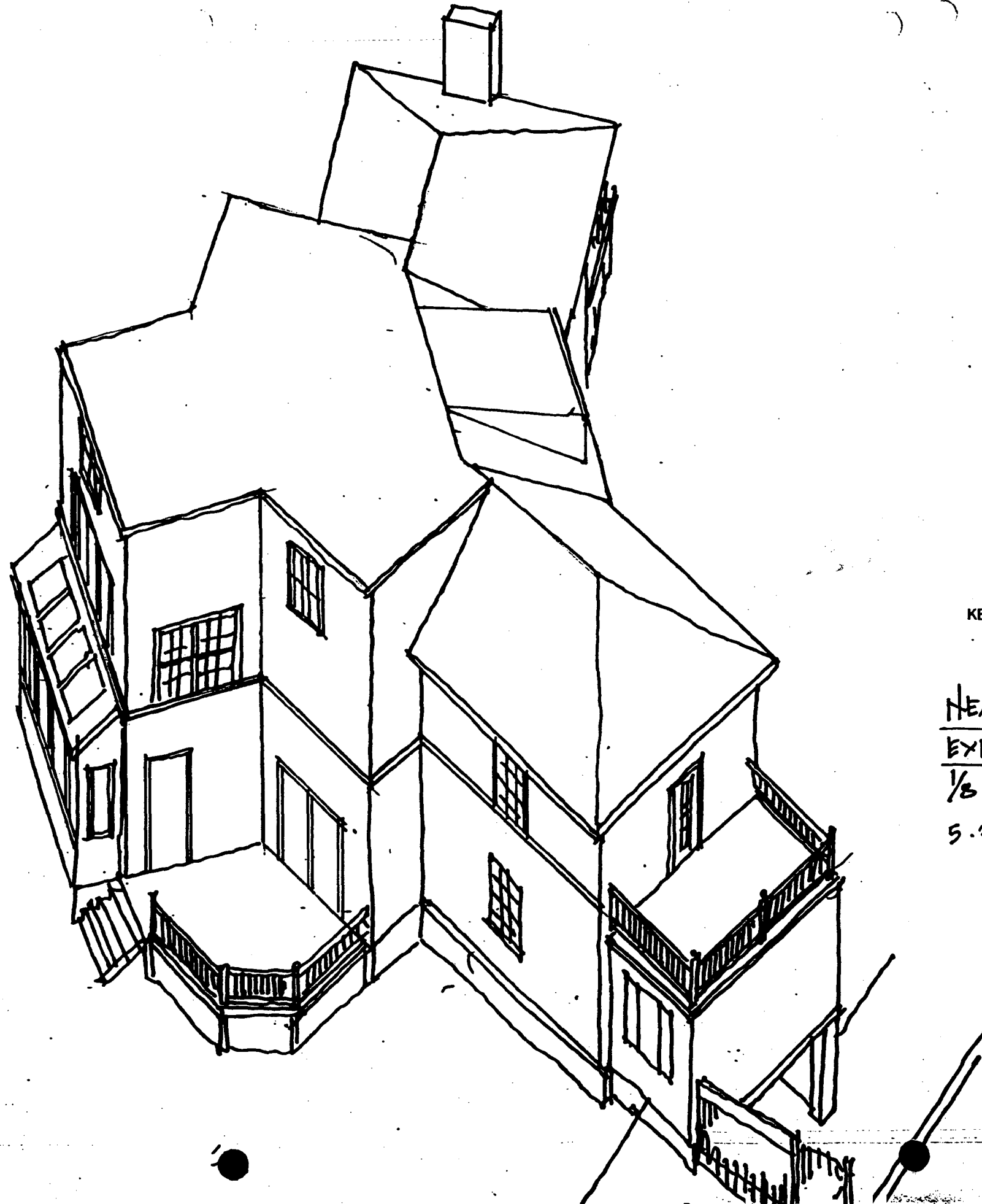


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(301) 942-9062

NEAL RESIDENCE

BEAR VIEW
MAY 3, 1999
(Revised 5-19-99)

STUCCO FINISH
TYP

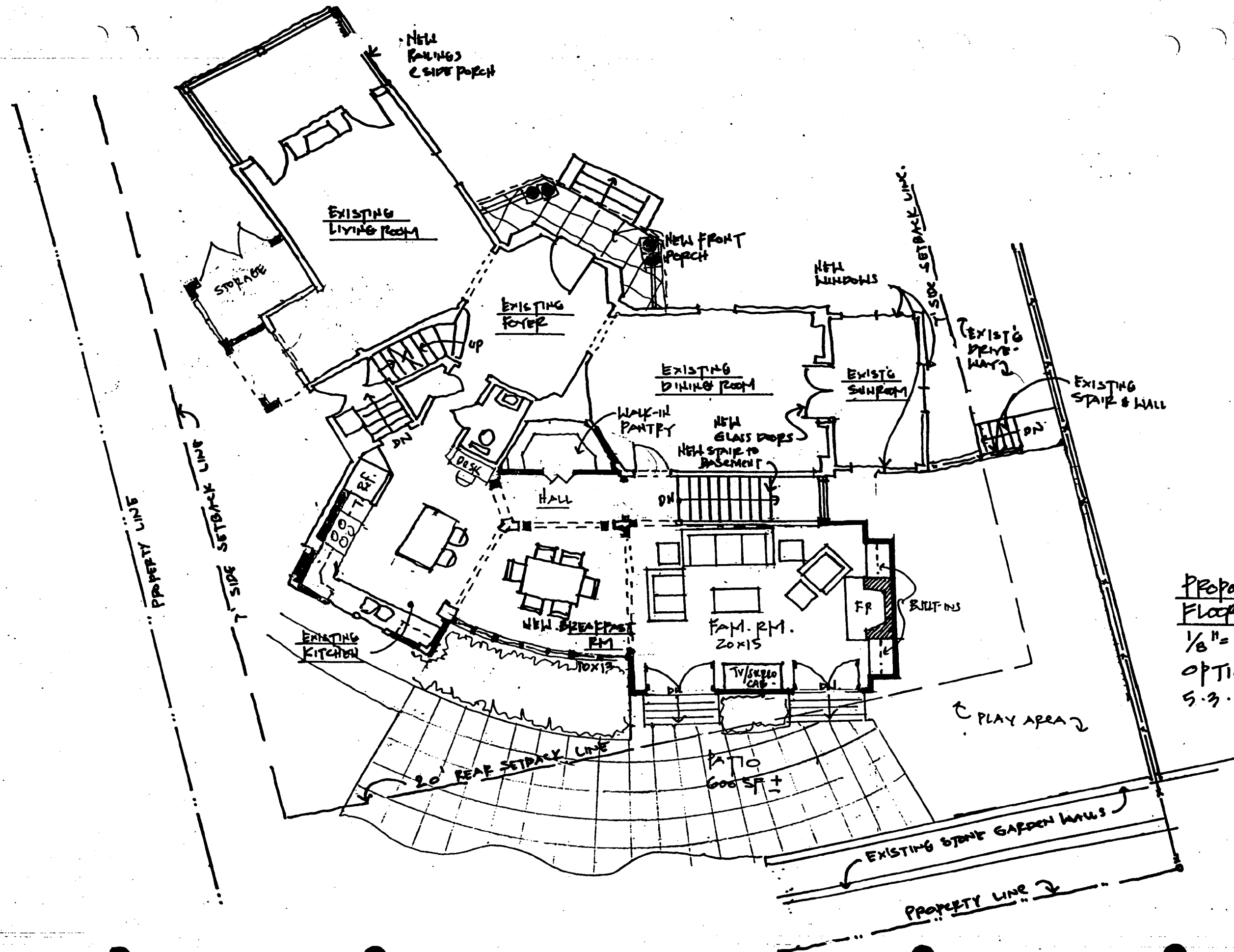


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NEAL RESIDENCE
EXISTING REAR VIEW

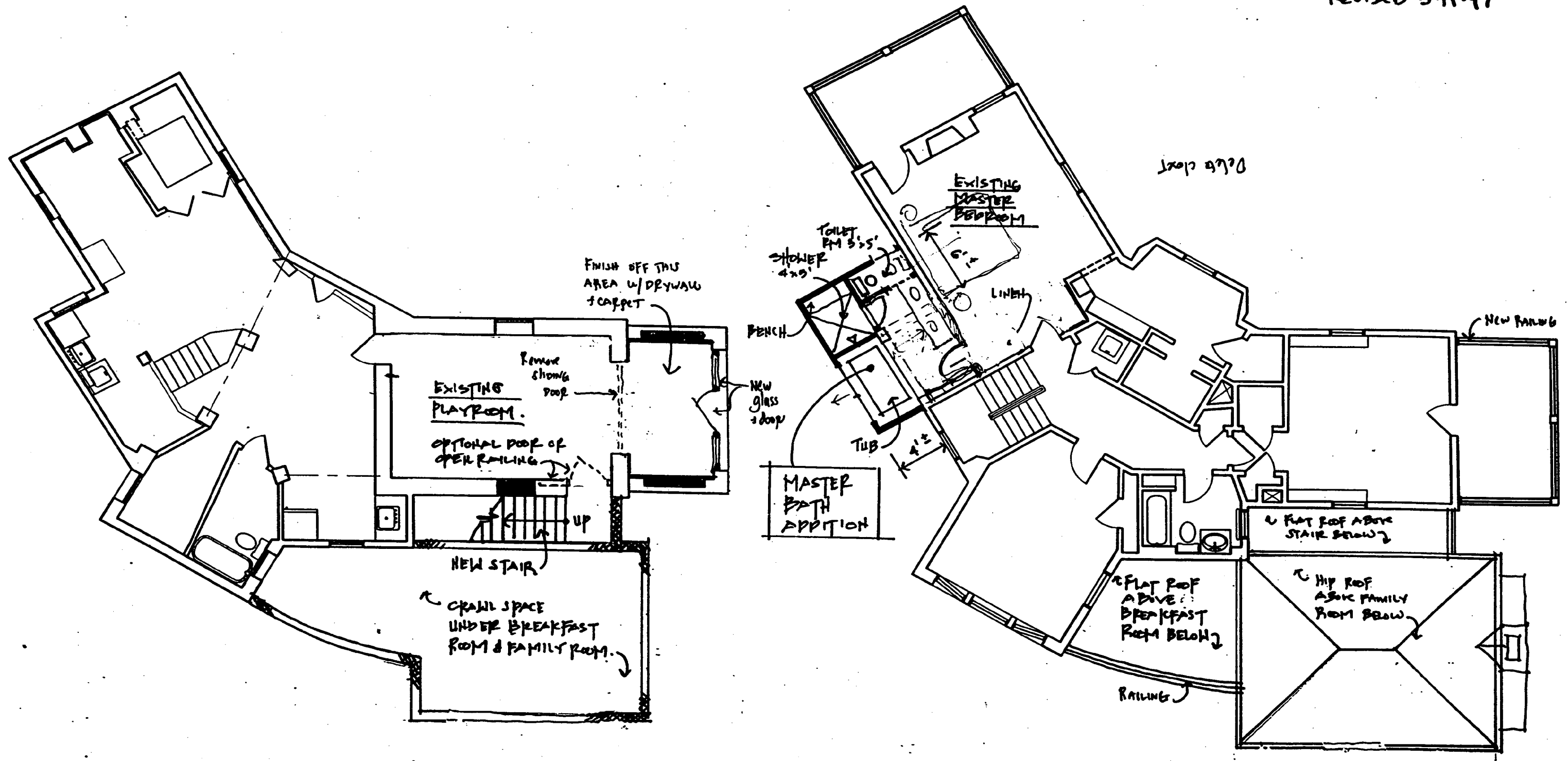
$\frac{1}{8}'' = 1'-0''$

5.3.99



PROPOSED FIRST
FLOOR PLAN
1/8" = 1'-0"
OPTION #2
5.3.99

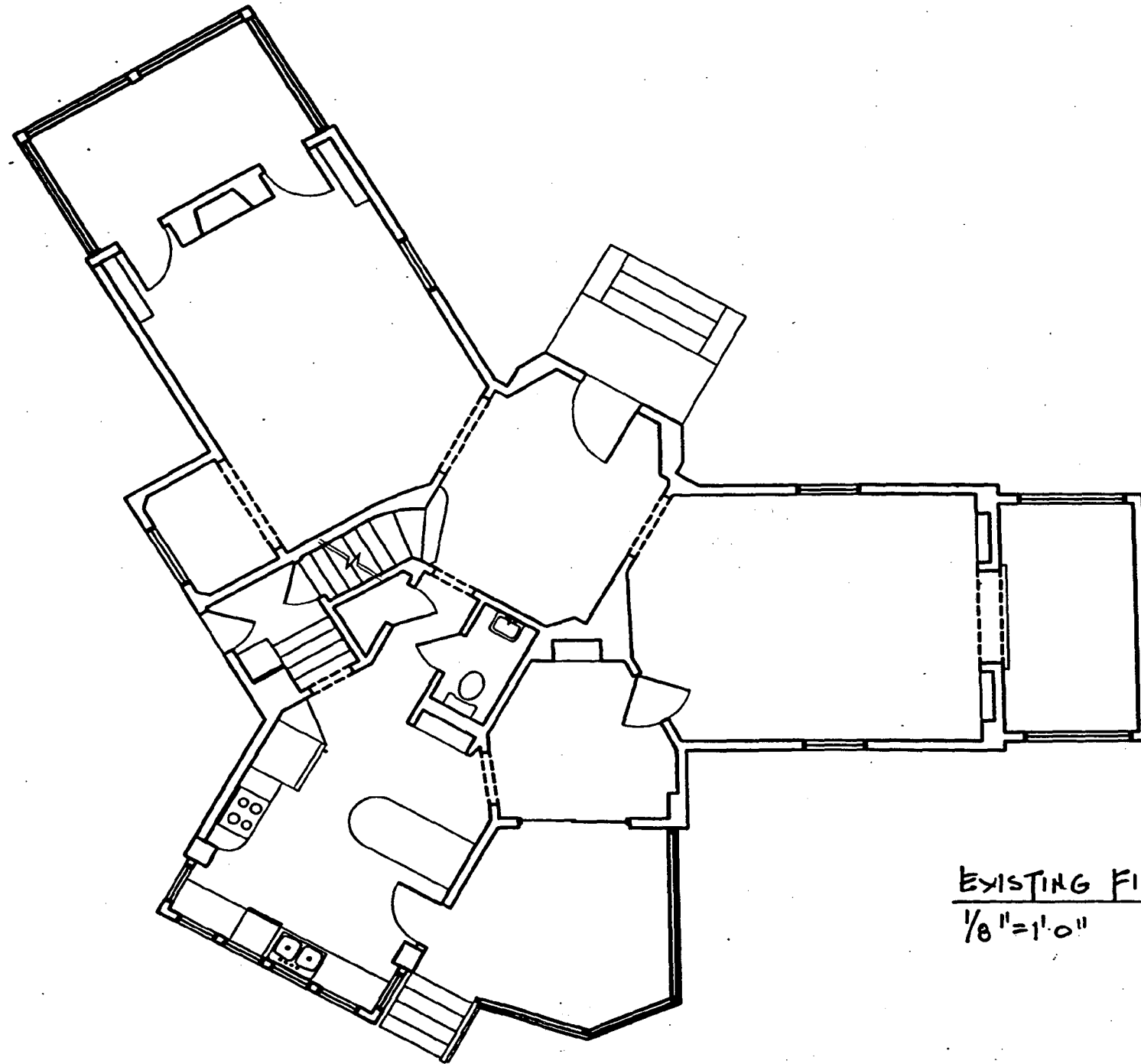
Revised 5-19-99



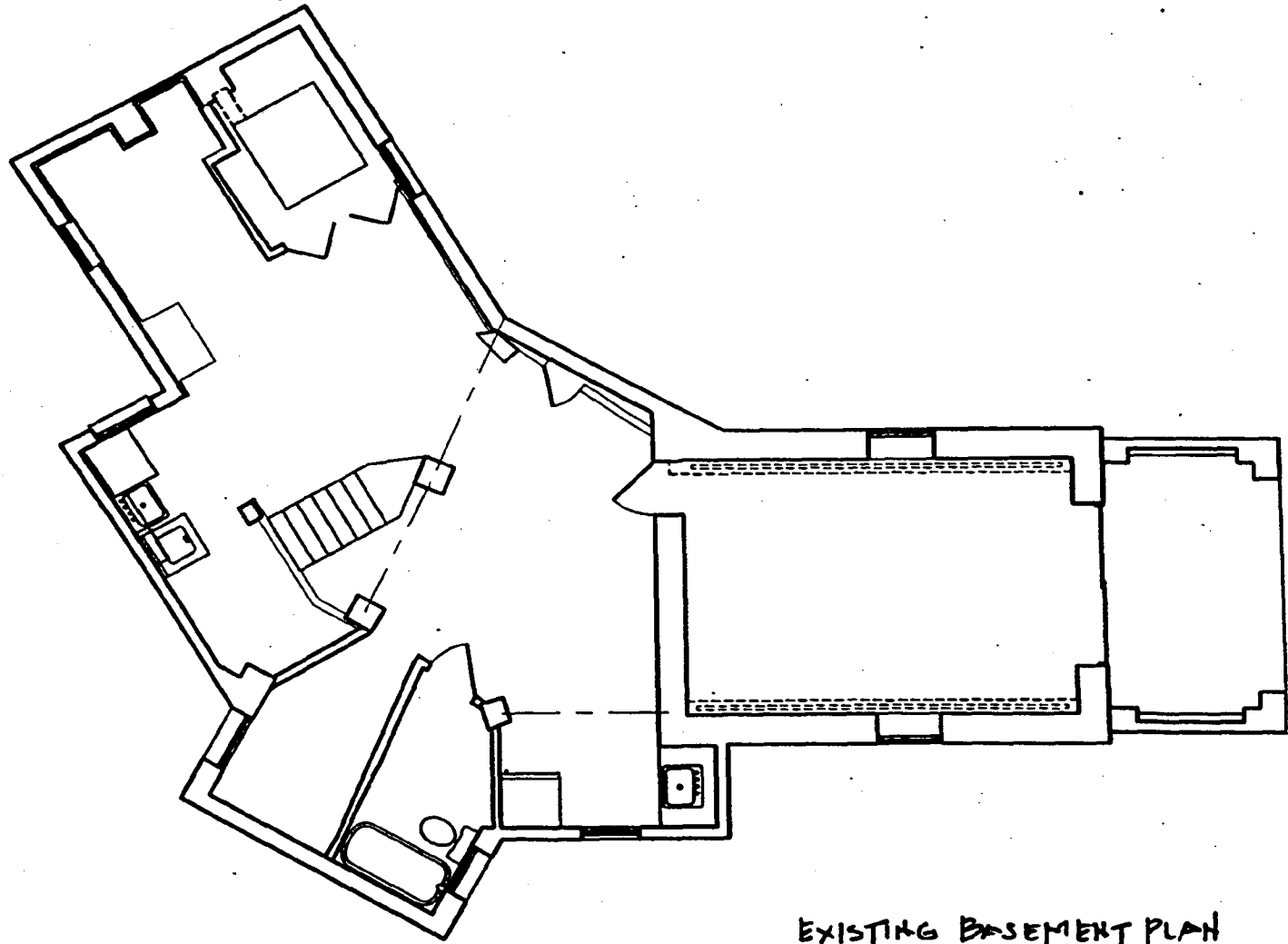
PROPOSED BASEMENT PLAN
1/8" = 1'-0"

PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

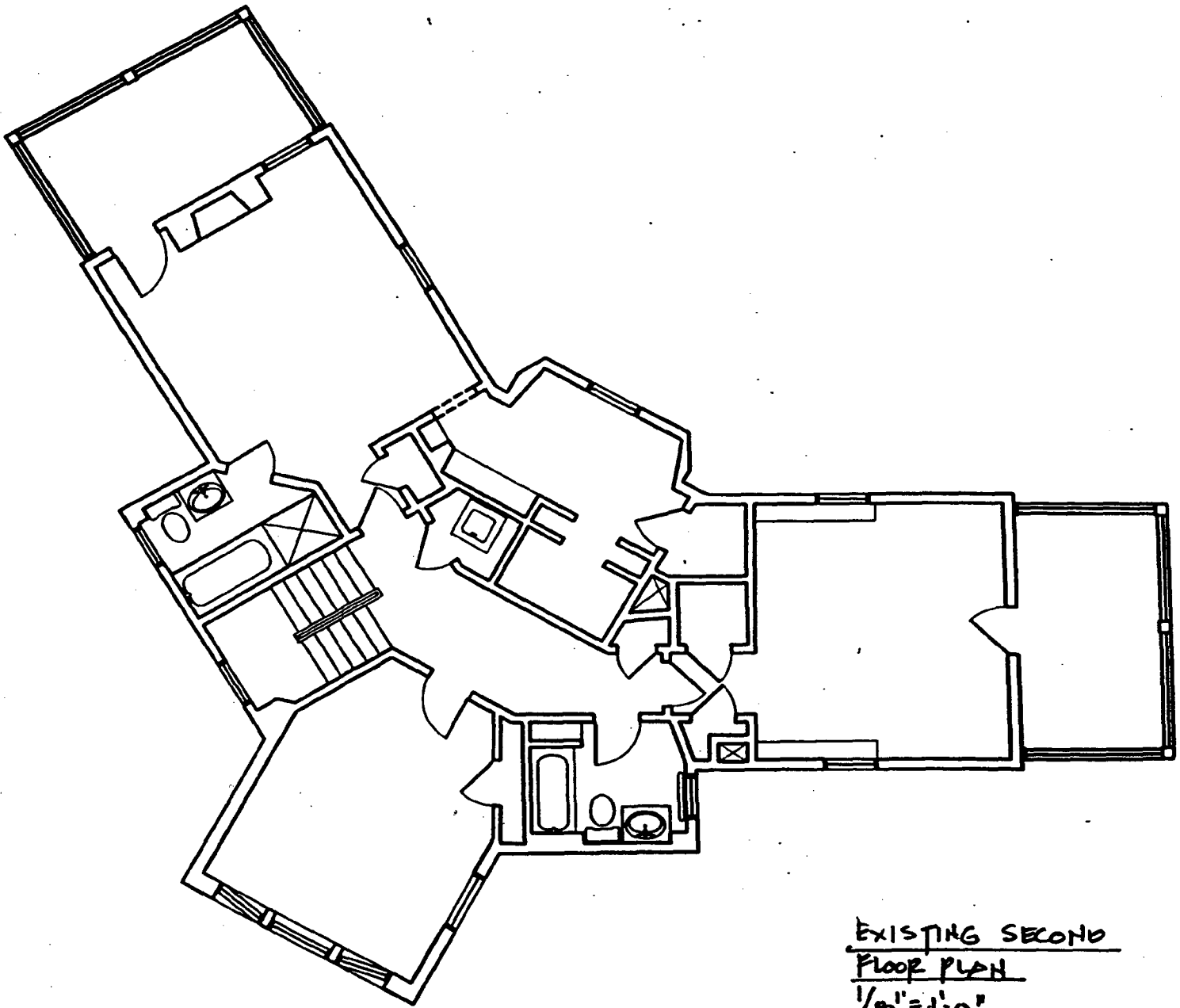
GTM ARCHITECTS
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KENSINGTON, MARYLAND 20895
(301) 942-9062



EXISTING FIRST FLOOR PLAN
 $\frac{1}{8}'' = 1'-0''$



EXISTING BASEMENT PLAN
 $\frac{1}{8}'' = 1'-0''$



EXISTING SECOND FLOOR PLAN
 $\frac{1}{8}'' = 1'-0''$

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4102 Leland Street, Chevy Chase **Meeting Date:** 07/14/99
Resource: Town of Chevy Chase Historic District **Report Date:** 07/07/99
 (Locational Atlas)
Review: HAWP **Public Notice:** 06/30/99
Case Number: # 35-112 35/81-99D **Tax Credit:** None
Applicant: Jeffrey & Jane Neal (George Myers, Architect) **Staff:** Perry Kephart
PROPOSAL: Side/Rear Addition **RECOMMEND:** Approve w/ condition.

Please Note: The Town of Chevy Chase Historic District is a Locational Atlas site that has been evaluated with recommendations for Master Plan designation made to the Planning Board by the Historic Preservation Commission at the June 9, 1999 HPC meeting. The subject property was recommended to be placed on the Master Plan as an Individually Designated Site.

PROJECT DESCRIPTION

SIGNIFICANCE: Resource in Town of Chevy Chase Historic District.
STYLE: Italian Renaissance with angled side wings and rounded center section.
DATE: 1916

The property is a 2½ story stucco-clad residence with red tile roofing and a center shed roof dormer. Recent modifications include a wood frame, side sunroom enclosure and a rear kitchen addition.

PROPOSAL

The applicant proposes to:

1. Construct a rear one-story family room and breakfast area and a rear second story master bath enlargement with a storage closet on the first level. Materials are to match the existing stucco and clay tile.
2. Modify the windows on the sunroom enclosure to 6/6 paired windows to match existing windows with multi-paned french doors to be installed on the lower level.
3. Modify the railing on the side wing extensions from latticework diagonals to painted wood inset balusters.

The front porch construction shown on the drawings has been deleted from the current application.

STAFF DISCUSSION

The modifications proposed are at the rear of the property and are in keeping with the design and materials of the historic resource.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the condition:

1. The front entrance modification is not included in this application.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: George Myers

Daytime Phone No.: 301/942-9062 x 11

Tax Account No.: _____

Name of Property Owner: Jeffrey & Jane Neal Daytime Phone No.: 202/777-2020

Address: 4102 Leland St. Chevy Chase Maryland 20815
Street Number City State Zip Code

Contractor: To be determined Phone No.: _____

Contractor Registration No.: Maryland 8385

Agent for Owner: George Myers, GTM Architects Daytime Phone No.: 301/942-9062 x 11

LOCATION OF BUILDING/PREMISE

House Number: 4102 Leland St Street: Leland Street

Town/City: Chevy Chase Nearest Cross Street: _____

Lot: 20^{1/2} Part of 79 Block: 7 Subdivision: Chevy Chase Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- | | |
|---|--|
| <p>1A. CHECK ALL APPLICABLE:</p> <p><input type="checkbox"/> Construct <input checked="" type="checkbox"/> Extend <input type="checkbox"/> Alter/Renovate</p> <p><input type="checkbox"/> Move <input type="checkbox"/> Install <input type="checkbox"/> Wreck/Raze</p> <p><input type="checkbox"/> Revision <input type="checkbox"/> Repair <input type="checkbox"/> Revocable</p> | <p>CHECK ALL APPLICABLE:</p> <p><input checked="" type="checkbox"/> A/C <input type="checkbox"/> Slab <input checked="" type="checkbox"/> Room Addition <input checked="" type="checkbox"/> Porch <input type="checkbox"/> Deck <input type="checkbox"/> Shed</p> <p><input type="checkbox"/> Solar <input checked="" type="checkbox"/> Fireplace <input type="checkbox"/> Woodburning Stove <input type="checkbox"/> Single Family</p> <p><input type="checkbox"/> Fence/Wall (complete Section 4) <input type="checkbox"/> Other: _____</p> |
|---|--|

1B. Construction cost estimate: \$ 150,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

 Signature of owner or authorized agent

6/23/99
 Date

3

Approved: _____ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

✓ 1. **WRITTEN DESCRIPTION OF PROJECT**

- ✓ a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 story stucco home with Spanish tile roof in community setting. Several additions appear to have been added over the years including enclosure of one of the side porches and kitchen expansion in the 1970's.

- ✓ b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Covered porch on front of home, 1 story family room and one story breakfast area addition, and 2 story Master bath extension with storage closet below. Materials to match existing and work within scale, proportion and context of the existing home.

✓ 2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

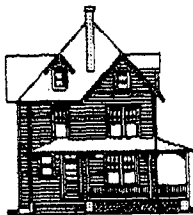
4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TRFF SURVEY**



GTM
ARCHITECTS
fax transmission

10415 Armory Avenue • Kensington, MD 20895 • (301) 942-9062 Fax: (301) 942-3929

To: Sue/Perry

Date: 6/29/99

Fax #: 301/563-3412

Pages: 1

From: Chris Klapproth

Subject: Neal Residence, July 14, 1999 HPC hearing date

COMMENTS:

Jeffrey & Jane Neal
4102 Leland St.
Cherry Chase, MD 20815

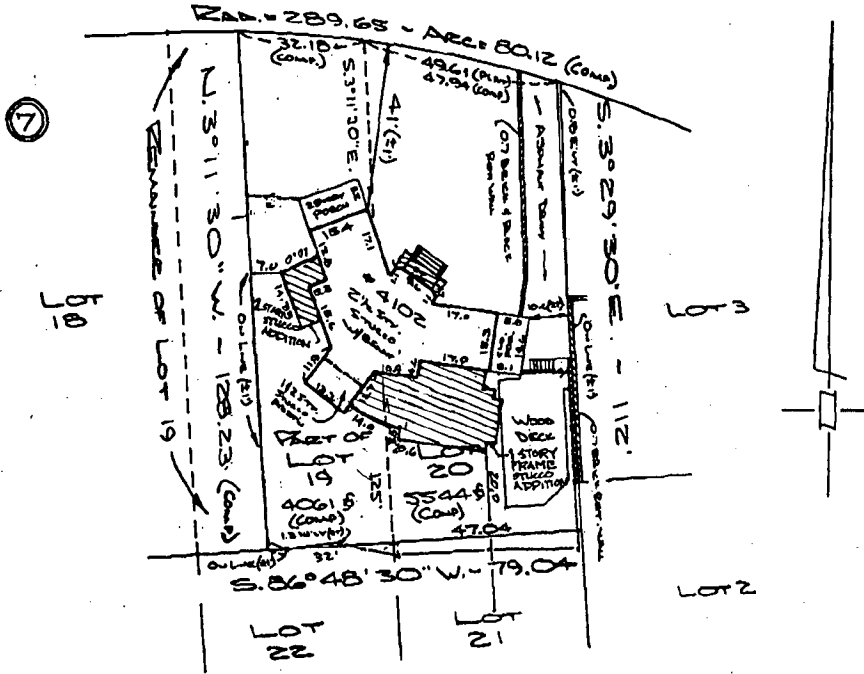
Adjacent Neighbors:

Norman & Naomi Lubin
4101 Leland St.
301/951-0146

Ben & Dorothy Rainey
4100 Leland St.
301/656-1397

Dr. Pam Karasik & David Rubashkin
4104 Leland St.
301/656-2558

LELAND STREET



NOTE: AREA = 9605 sq

Capitol Surveys, Inc.

1300 Mercantile Lane
 Suite 138
 Largo, Maryland 20774
 Phone 301-772-1654
 Fax 301-341-1285

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 PART OF 19
CHW CHASE PARK

MONTGOMERY COUNTY, MARYLAND

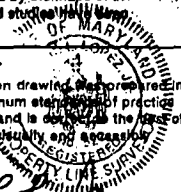
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CASE: 1379-98 FILE: 59235

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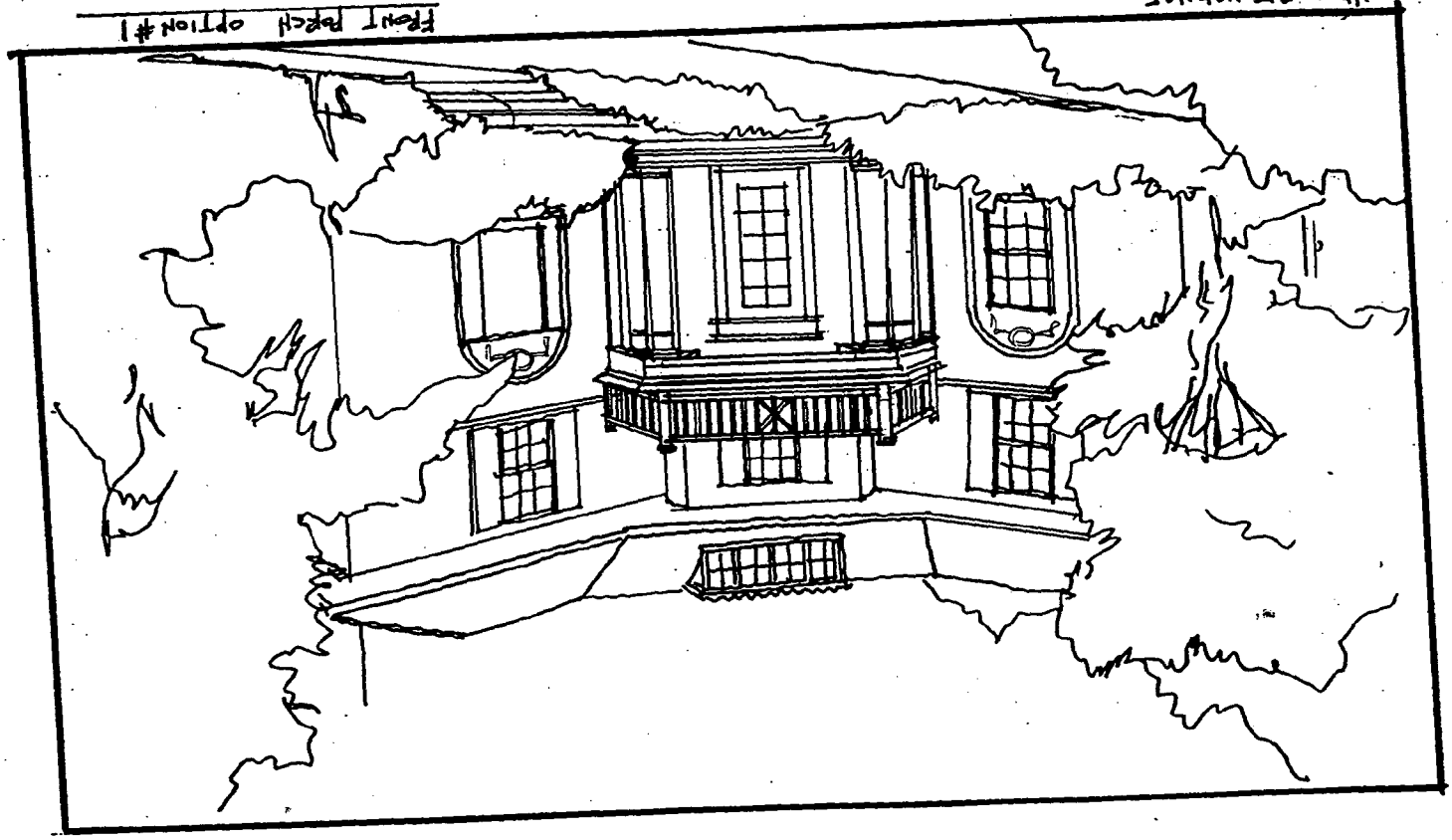


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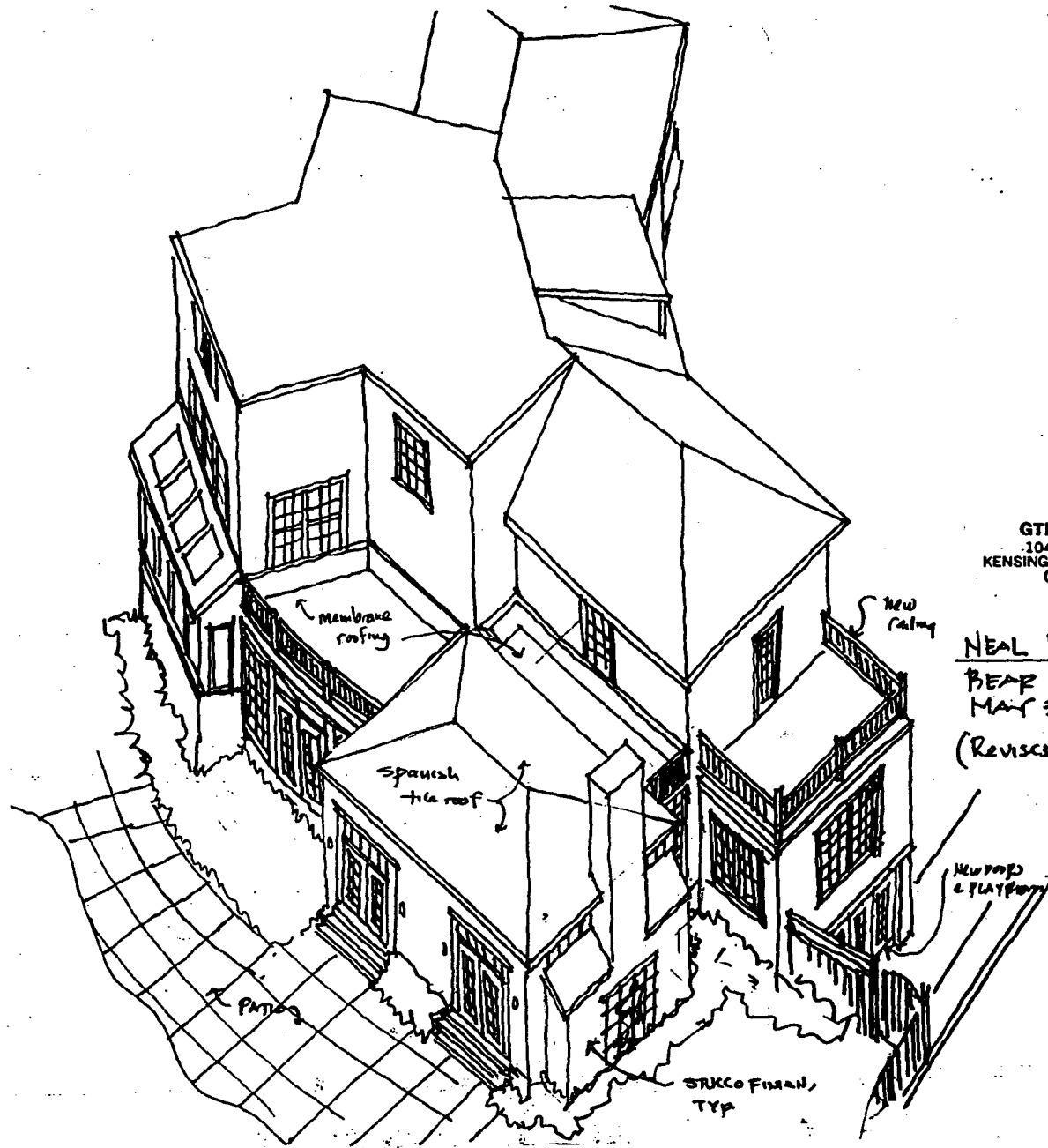
3

HEAL RESIDENCE
5-3-99

Front porch option #1



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(301) 942-9062

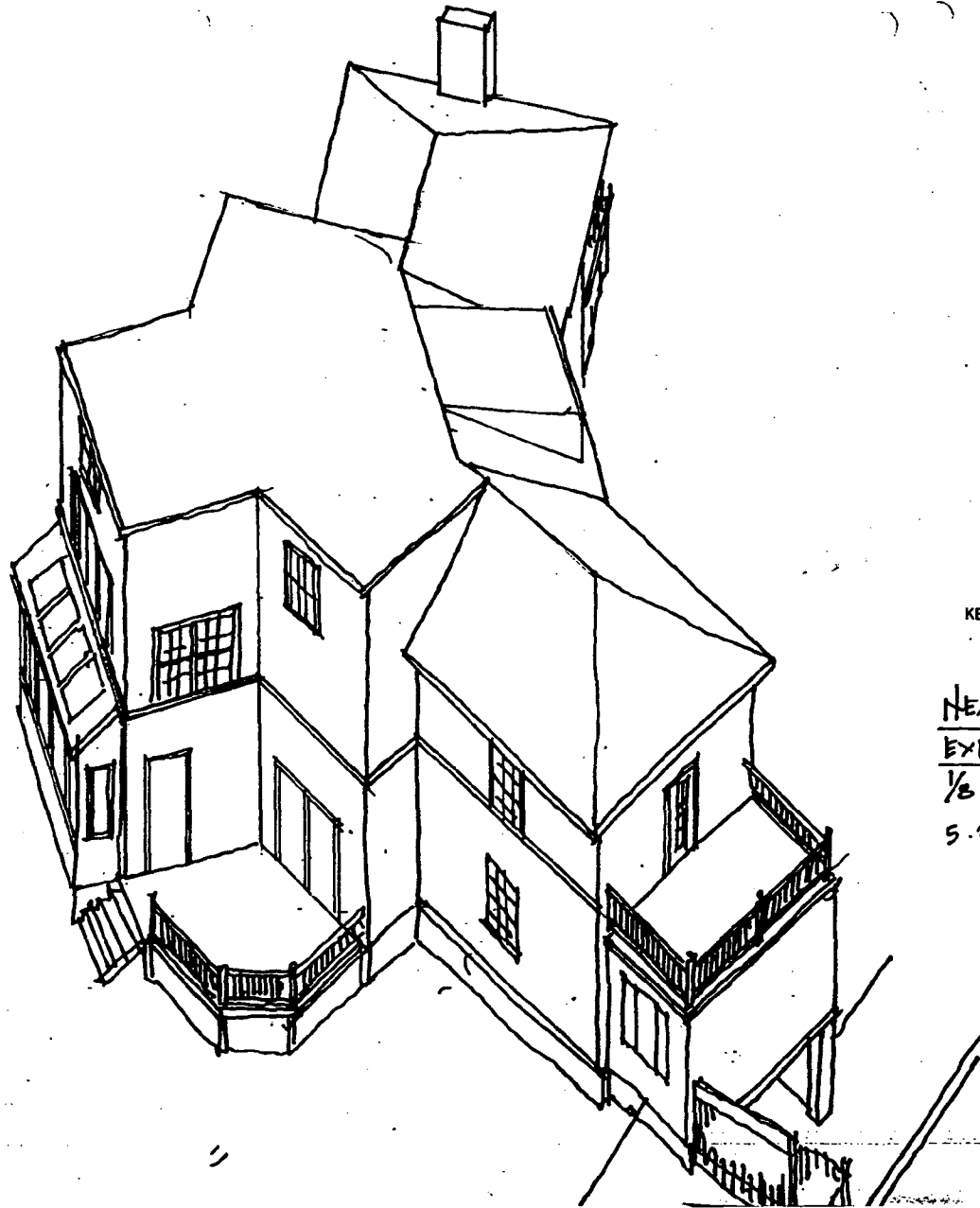


GTM ARCHITECTS
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(301) 942-9062

NEAL RESIDENCE

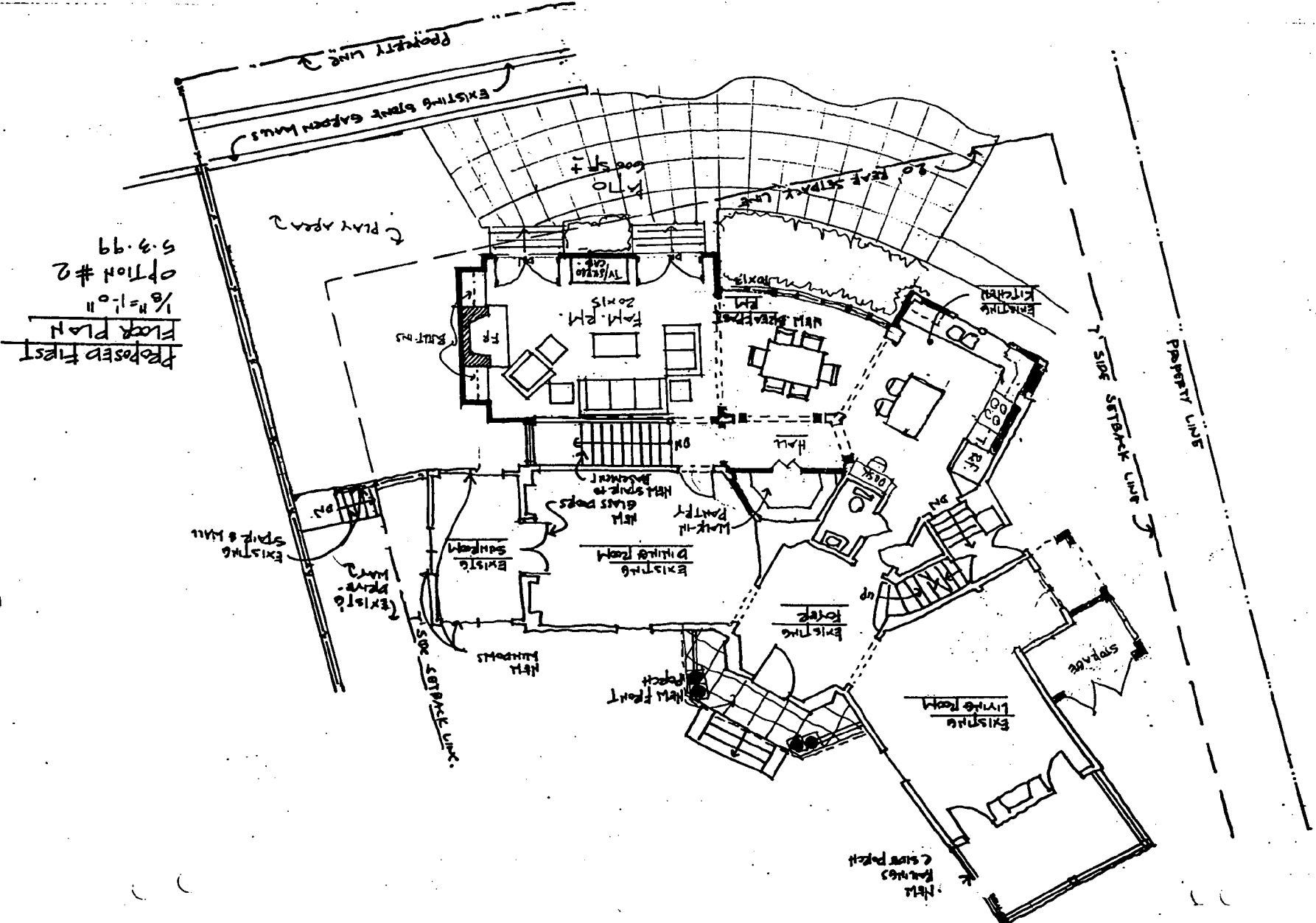
BEAR VIEW
MAY 3, 1999

(REVISED 5-19-99)

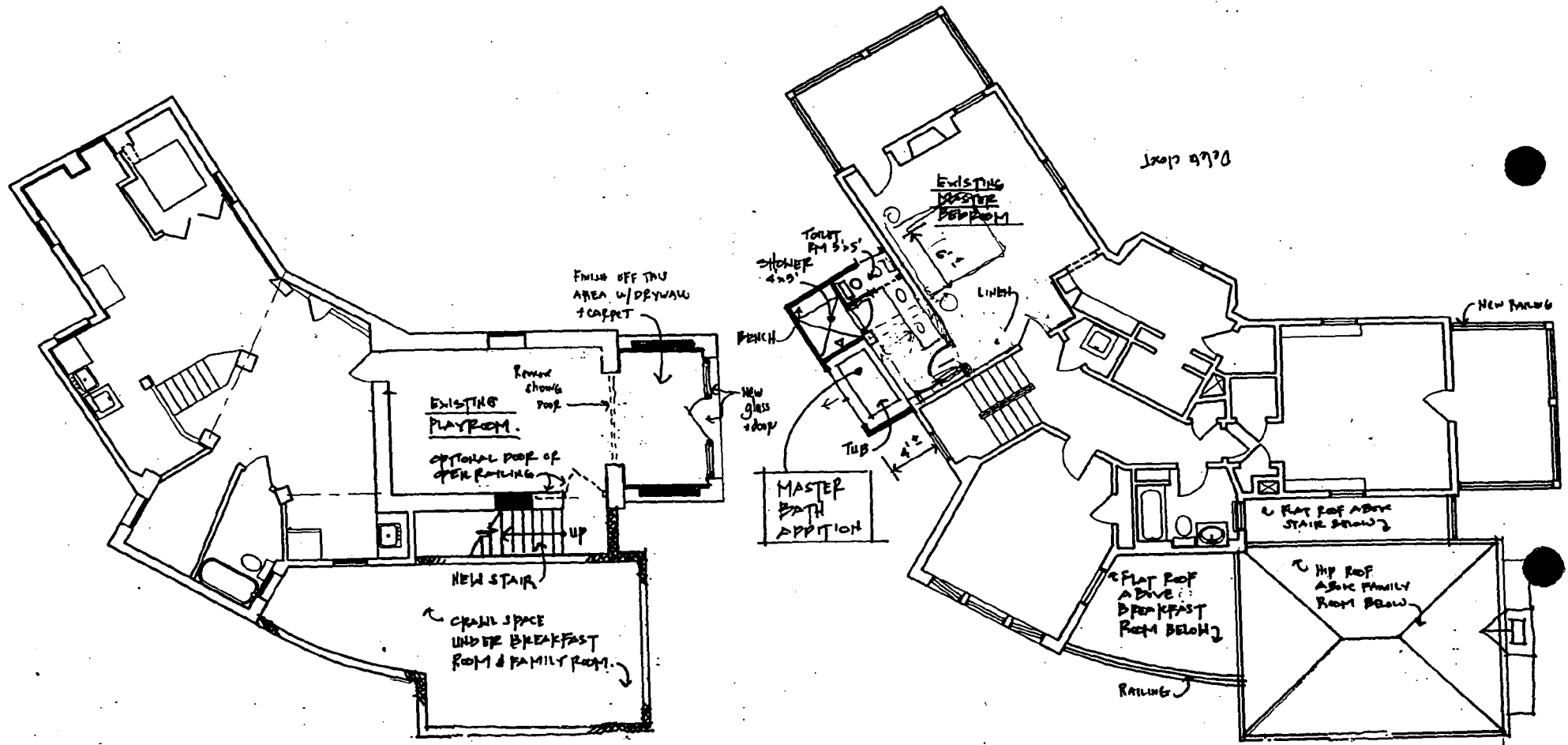


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KENSINGTON, MARYLAND 20895
(301) 942-9062

NEAL RESIDENCE
EXISTING REAR VIEW
 $\frac{1}{8}'' = 1'-0''$
5.3.99



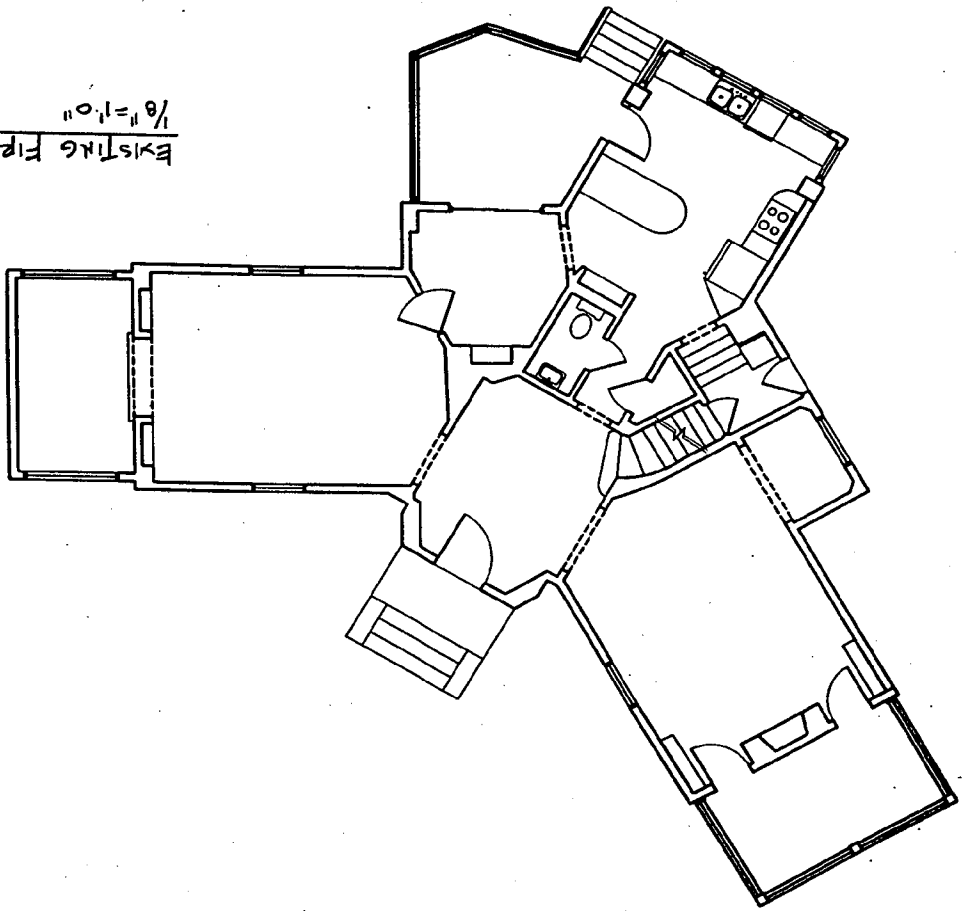
Revised 5-19-99



PROPOSED BASEMENT PLAN
 1/8" = 1'-0"

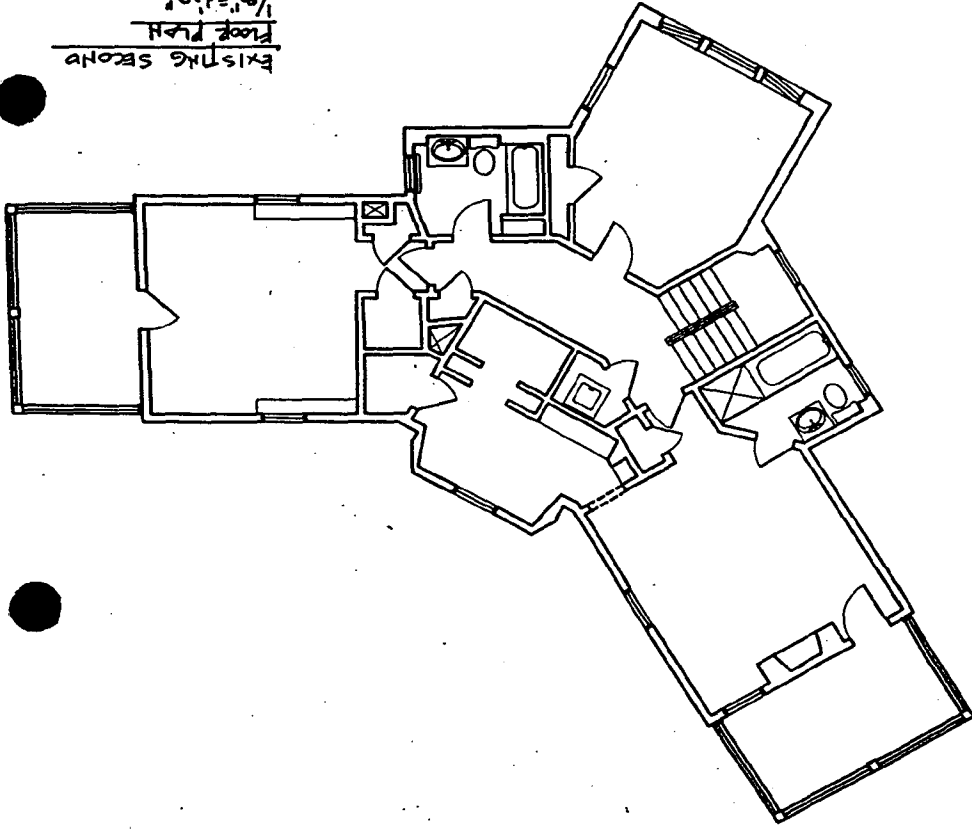
PROPOSED SECOND FLOOR PLAN
 1/8" = 1'-0"

EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"

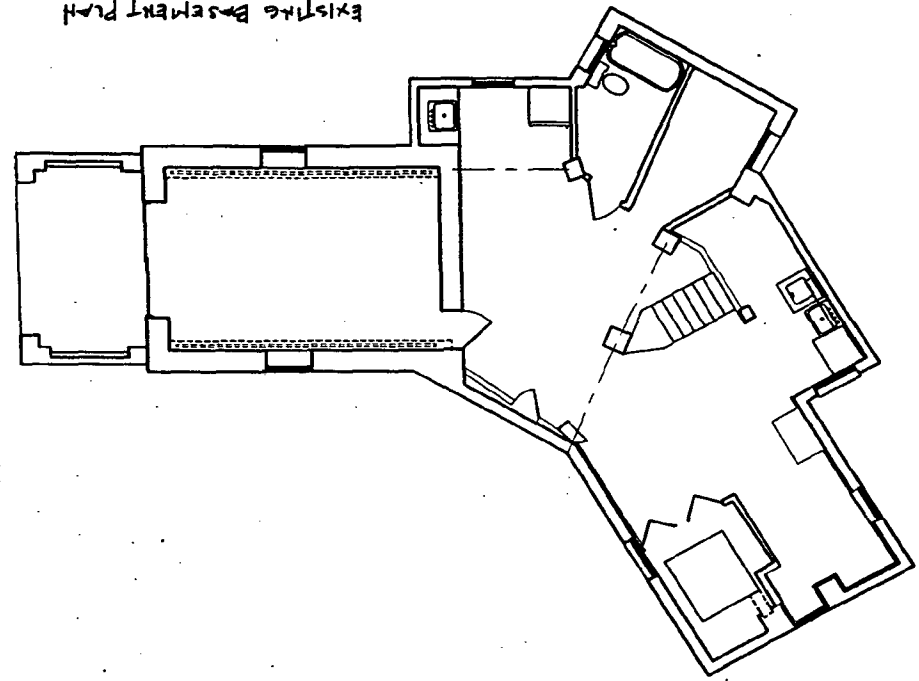


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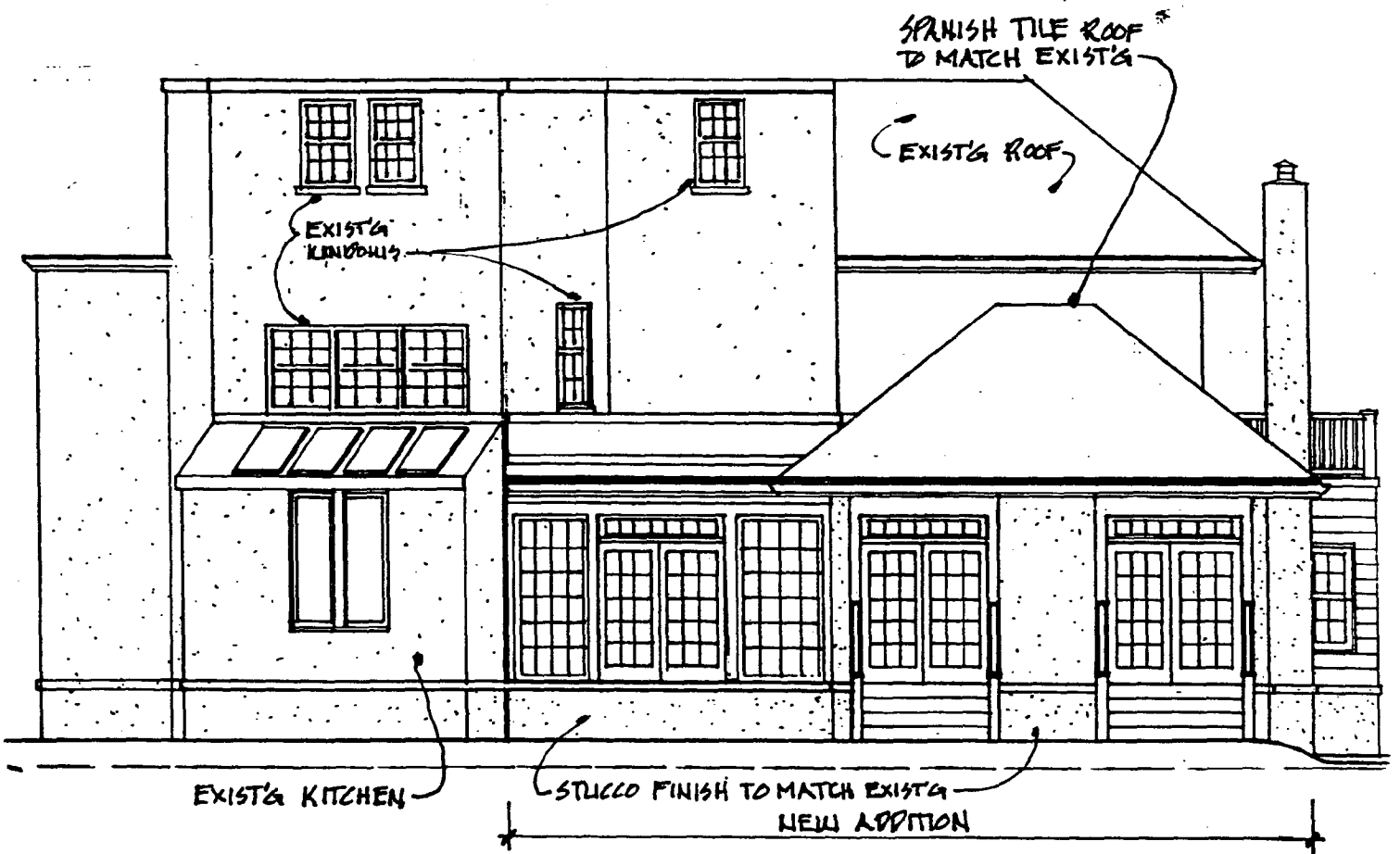
EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"



EXISTING BASEMENT PLAN
1/8" = 1'-0"

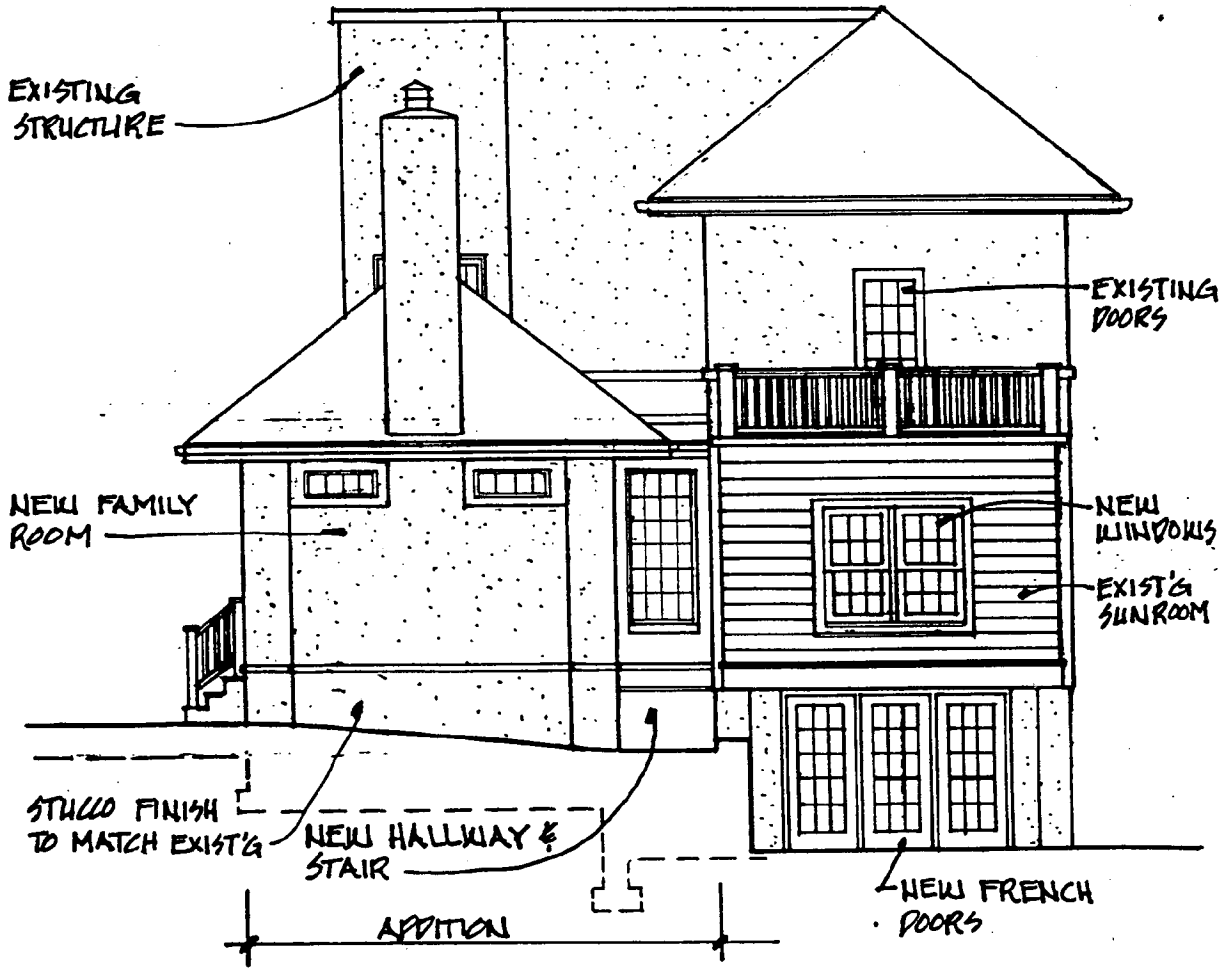


GTM ARCHITECTS
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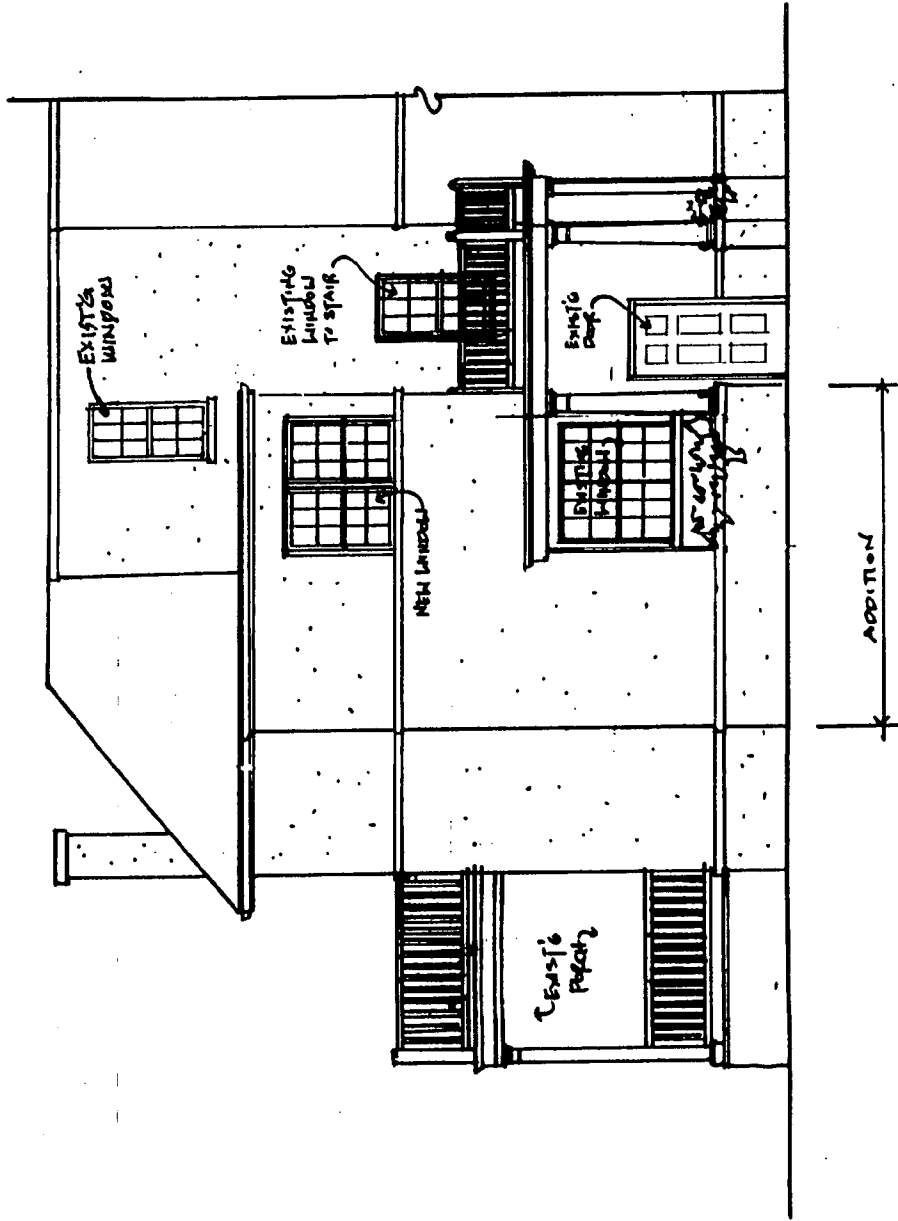
EAR ELEVATION @ BREAKFAST AREA & FAMILY ROOM

Proposed

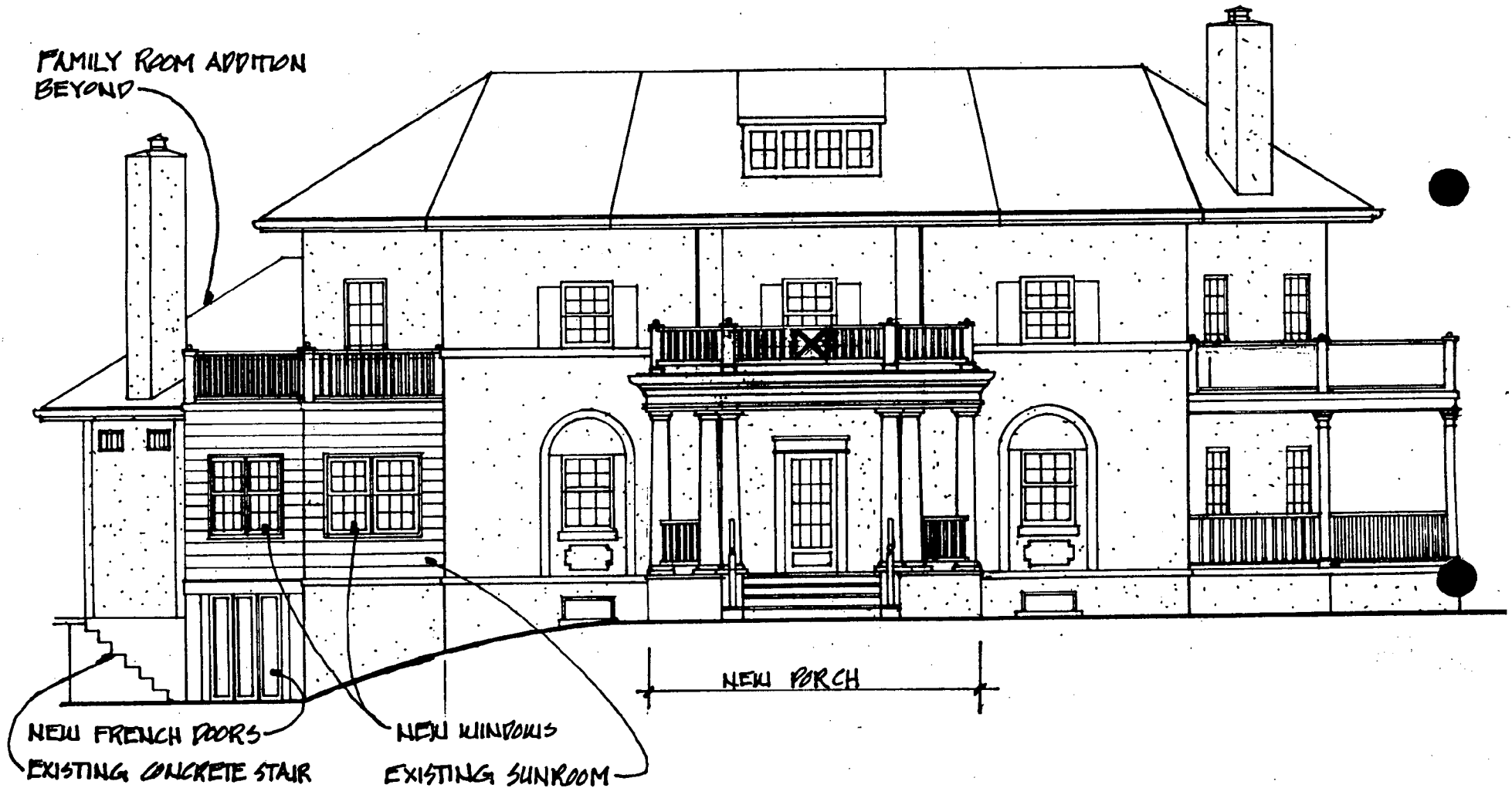


LEFT SIDE ELEVATION

Proposed



REAR ELEVATION @ MASTER BATH



FAMILY ROOM ADDITION
BEYOND

NEW FRENCH DOORS
EXISTING CONCRETE STAIR

NEW WINDOWS
EXISTING SUNROOM

NEW PORCH

FRONT ELEVATION

17

4102 Heland St
Proposed

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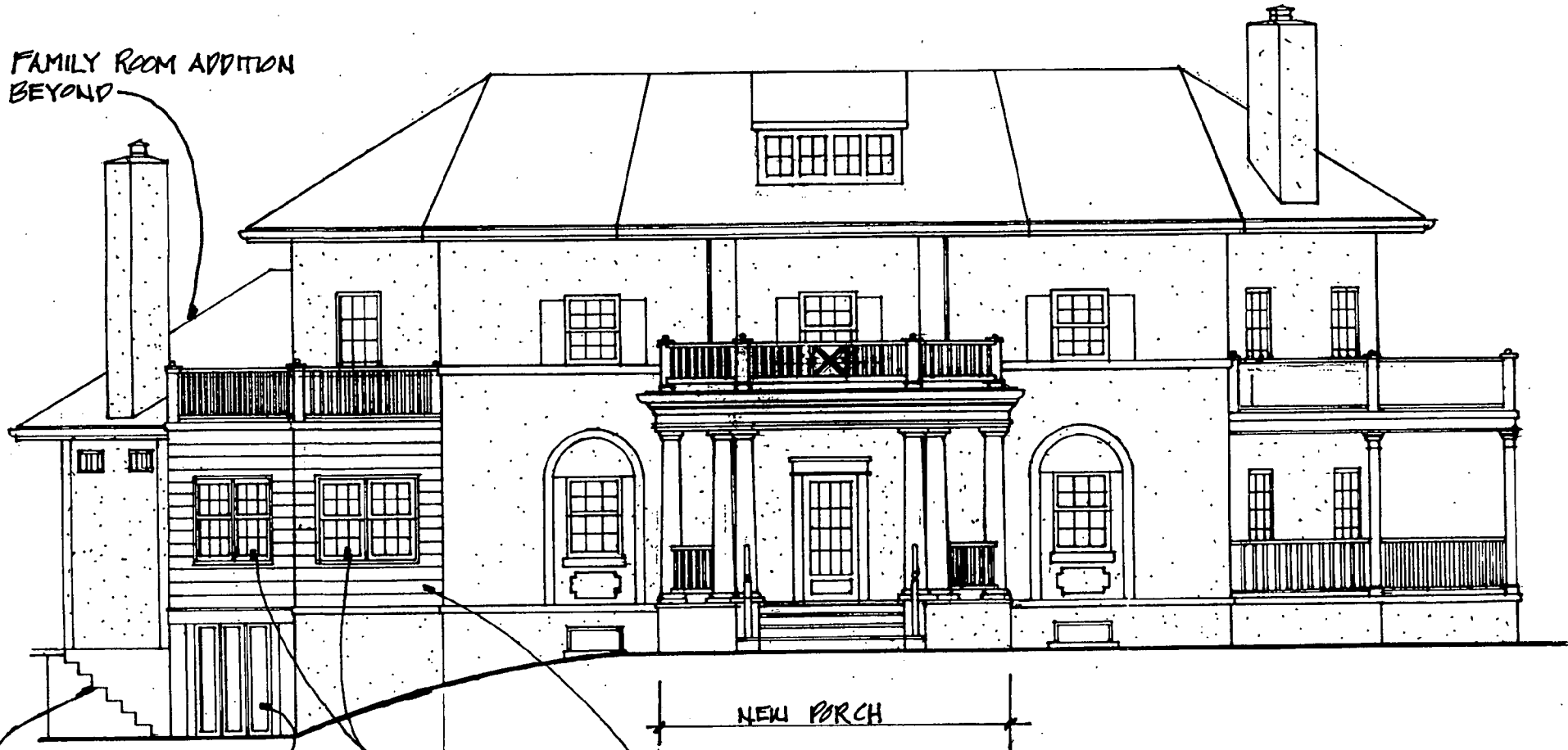


19





FAMILY ROOM ADDITION
BEYOND



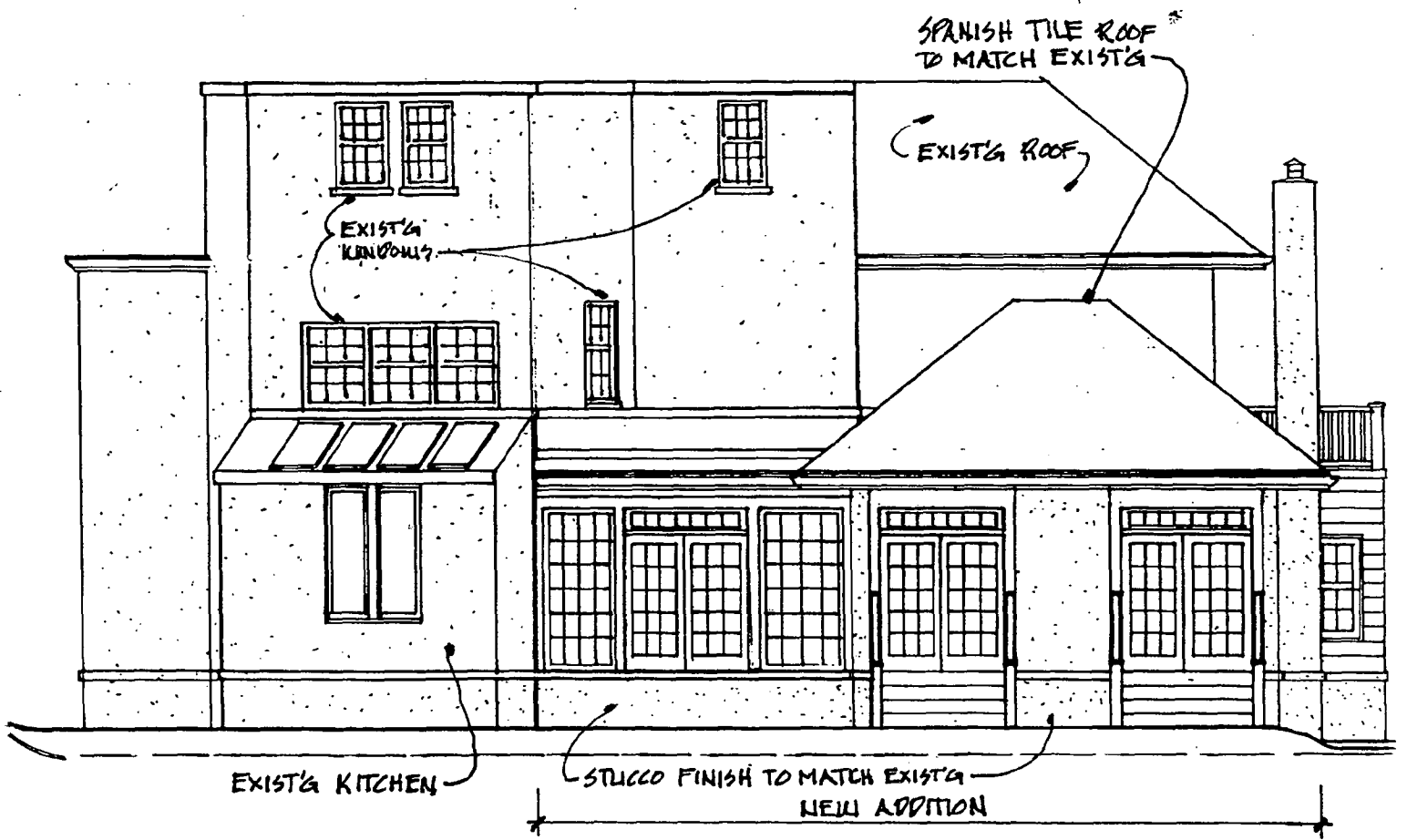
NEW FRENCH DOORS
EXISTING CONCRETE STAIR

NEW WINDOWS
EXISTING SUNROOM

NEW PORCH

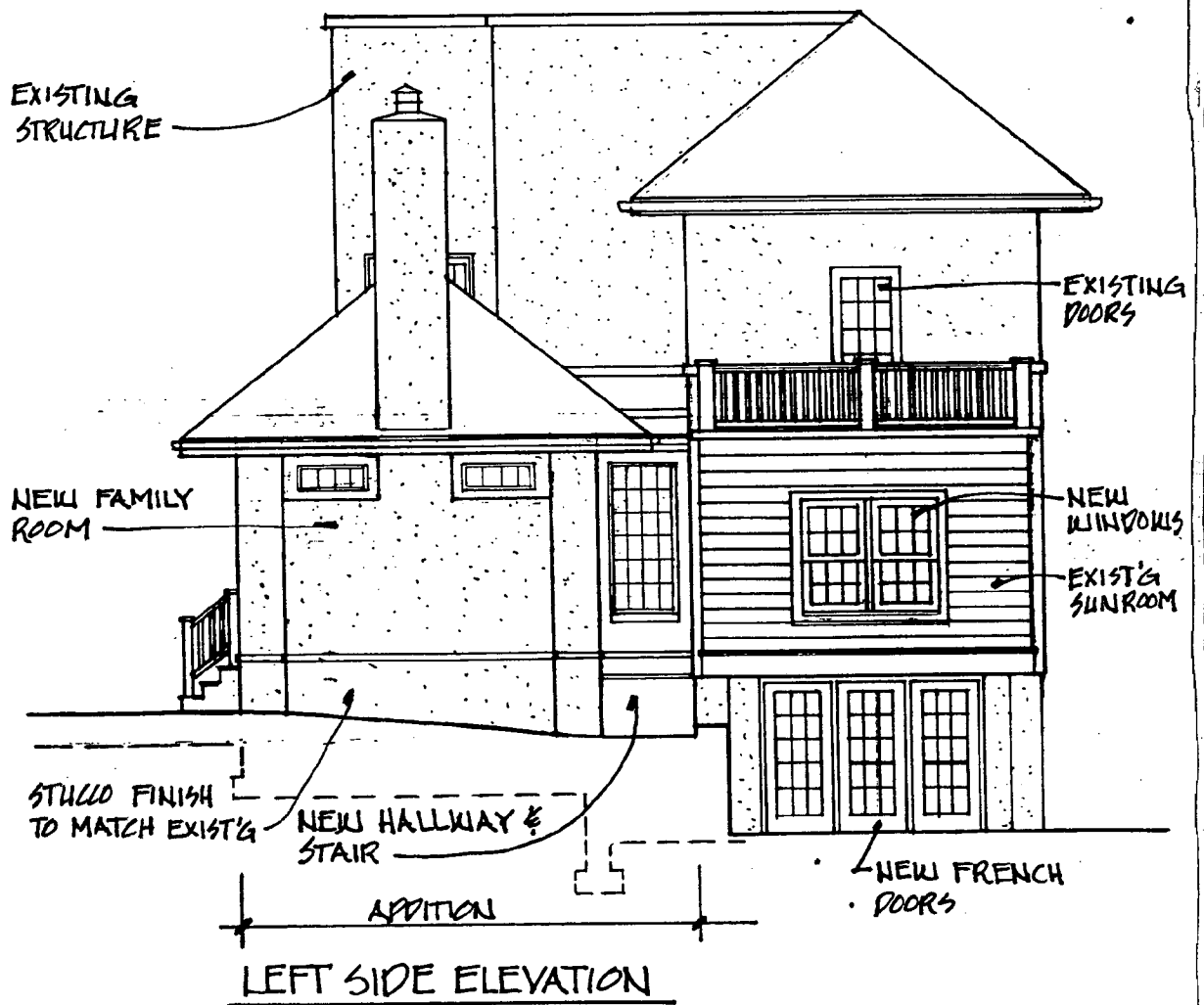
FRONT ELEVATION

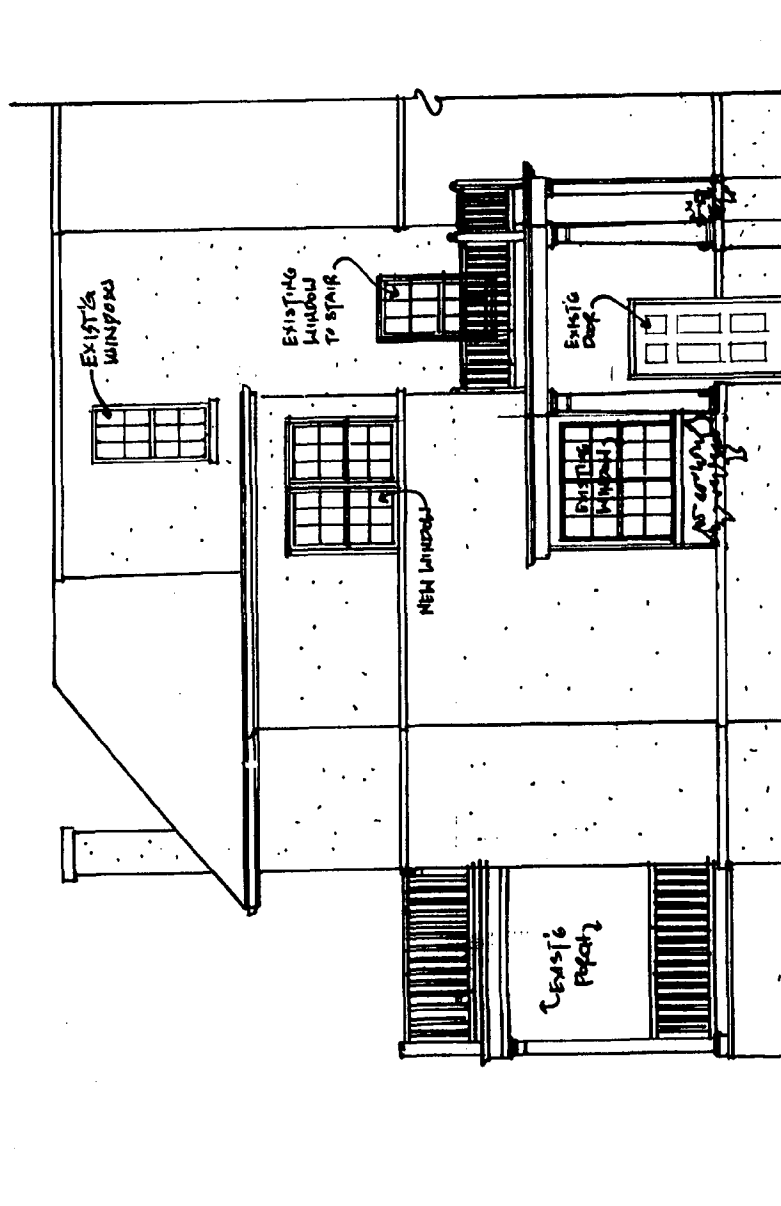
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REAR ELEVATION @ BREAKFAST AREA & FAMILY ROOM

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REAR ELEVATION @ MASTER BATH

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