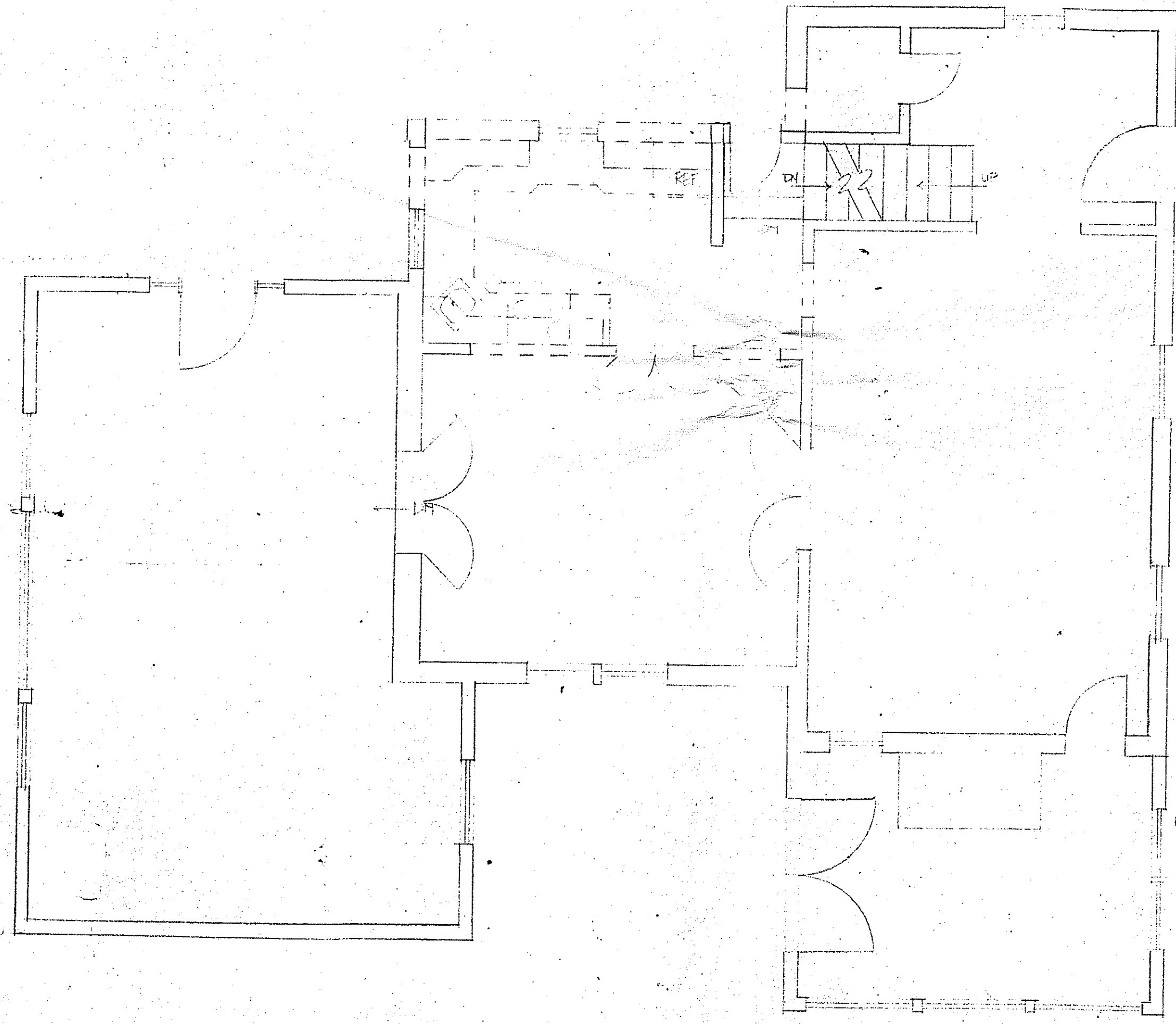


35/8-99 3802 Woodbine Street  
(Chevy Chase (CC Village HD) *Historic District*)



FIRST FLOOR DEMO PLAN  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
RD2  
7/7/99

REVISIONS	BY



1983 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-1940  
P: (301) 657-9020  
F: (301) 657-9050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

3/5/81-99E

Date 6-2-98

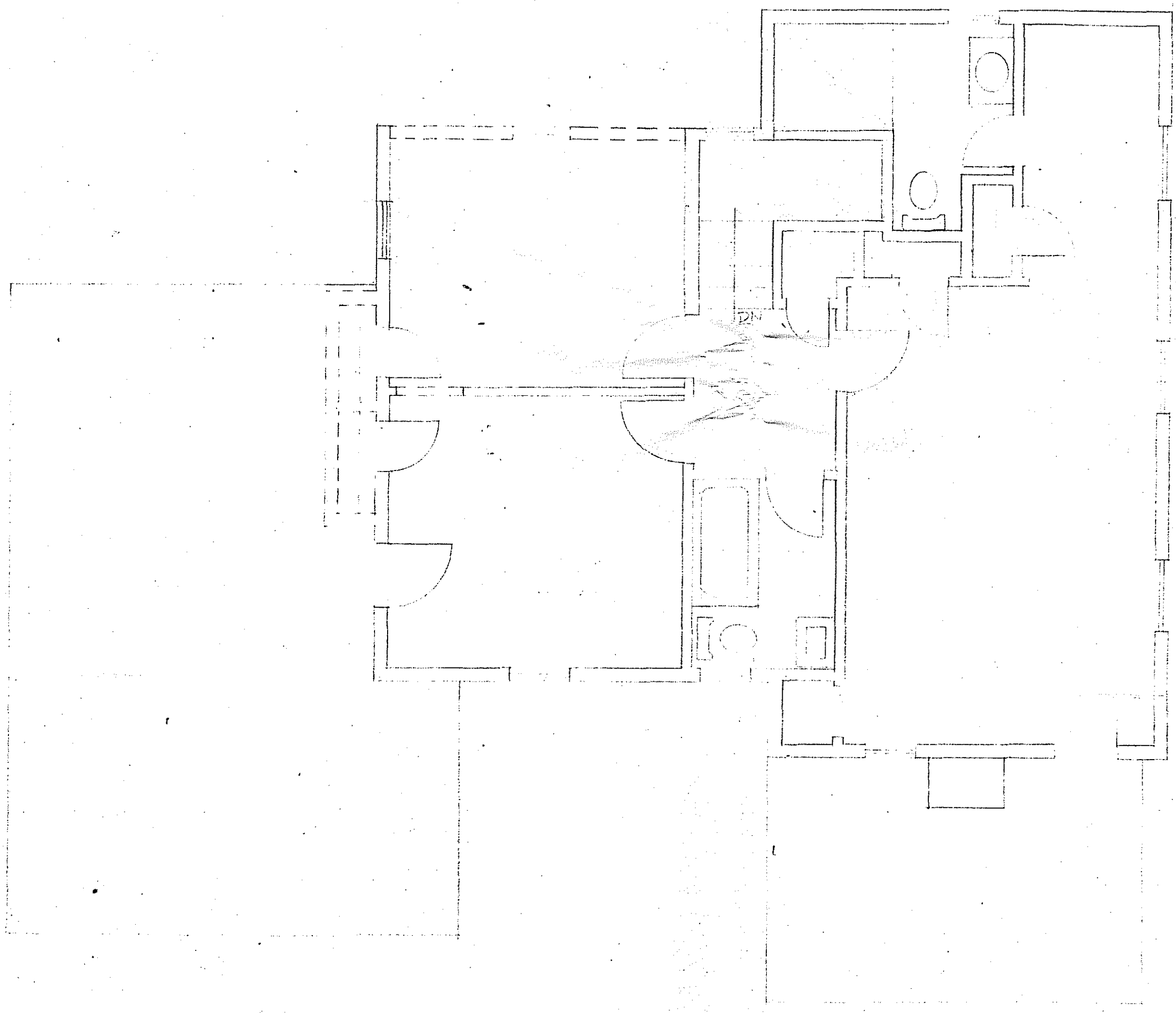
Scale 1/4" = 1'-0"

Drawn [Signature]

Job # [Number]

Sheet 1

Of 19 Sheets



SECOND FLOOR DEMO PLAN  
 SCALE: 1/4" = 1'-0"

REVISIONS	BY



4963 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-2520  
 P: (301) 657-3020  
 F: (301) 657-3050

McConnell Residence  
 3802 Woodbine Street  
 Chevy Chase, MD

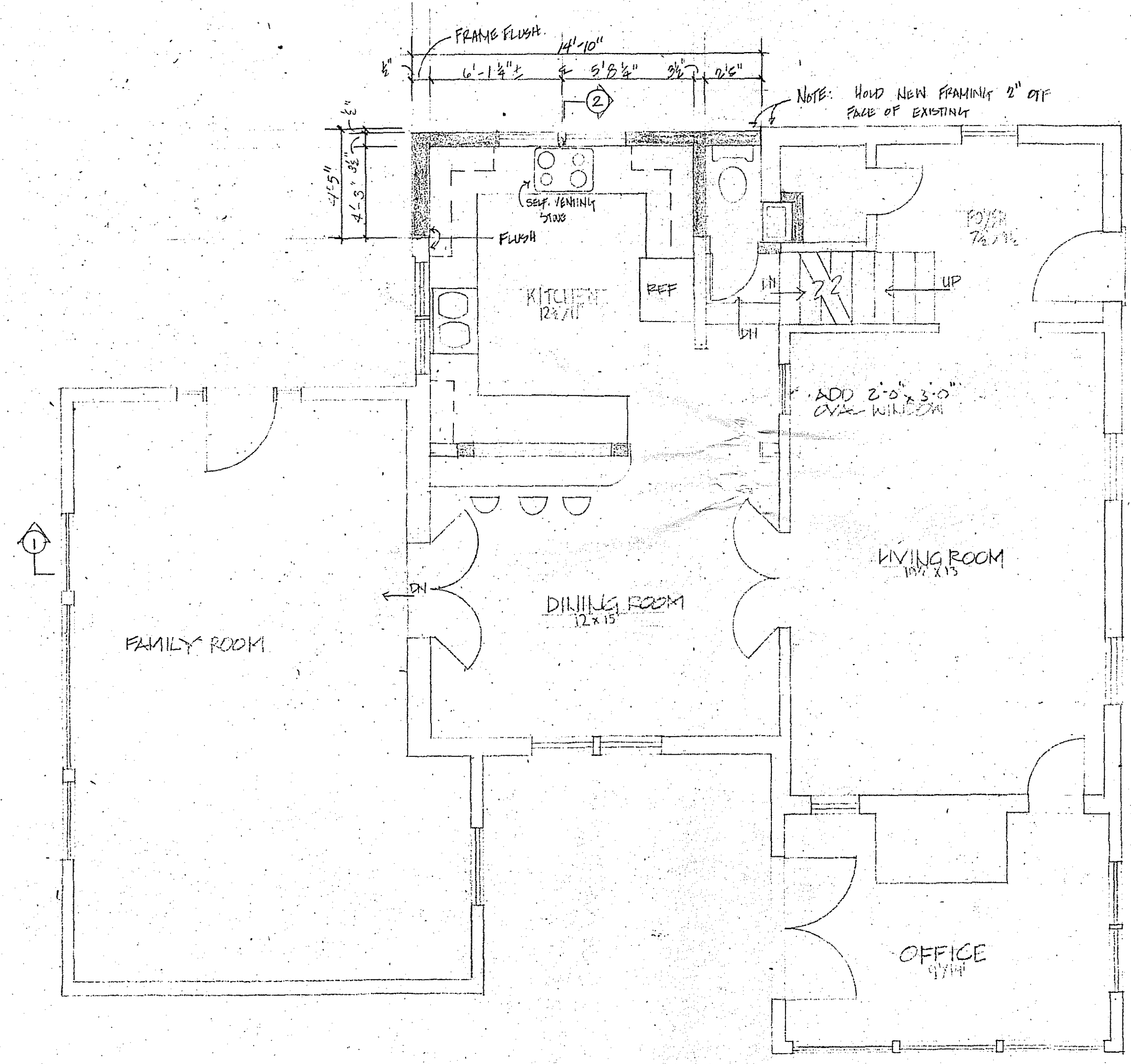
Date: 6-8-98  
 Scale: 1/4" = 1'-0"  
 Drawn: K.C.  
 Job: MCCONNELL  
 Sheet: 2  
 Of 19 Sheets

REVISIONS	BY
6-17-98	KC
7-10-98	KC
12-22-98	KC
7-19-99	[Signature]



4863 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PH. (301) 657-3020  
FX. (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD



PROPOSED FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
[Signature]  
RDZ  
7/19/99

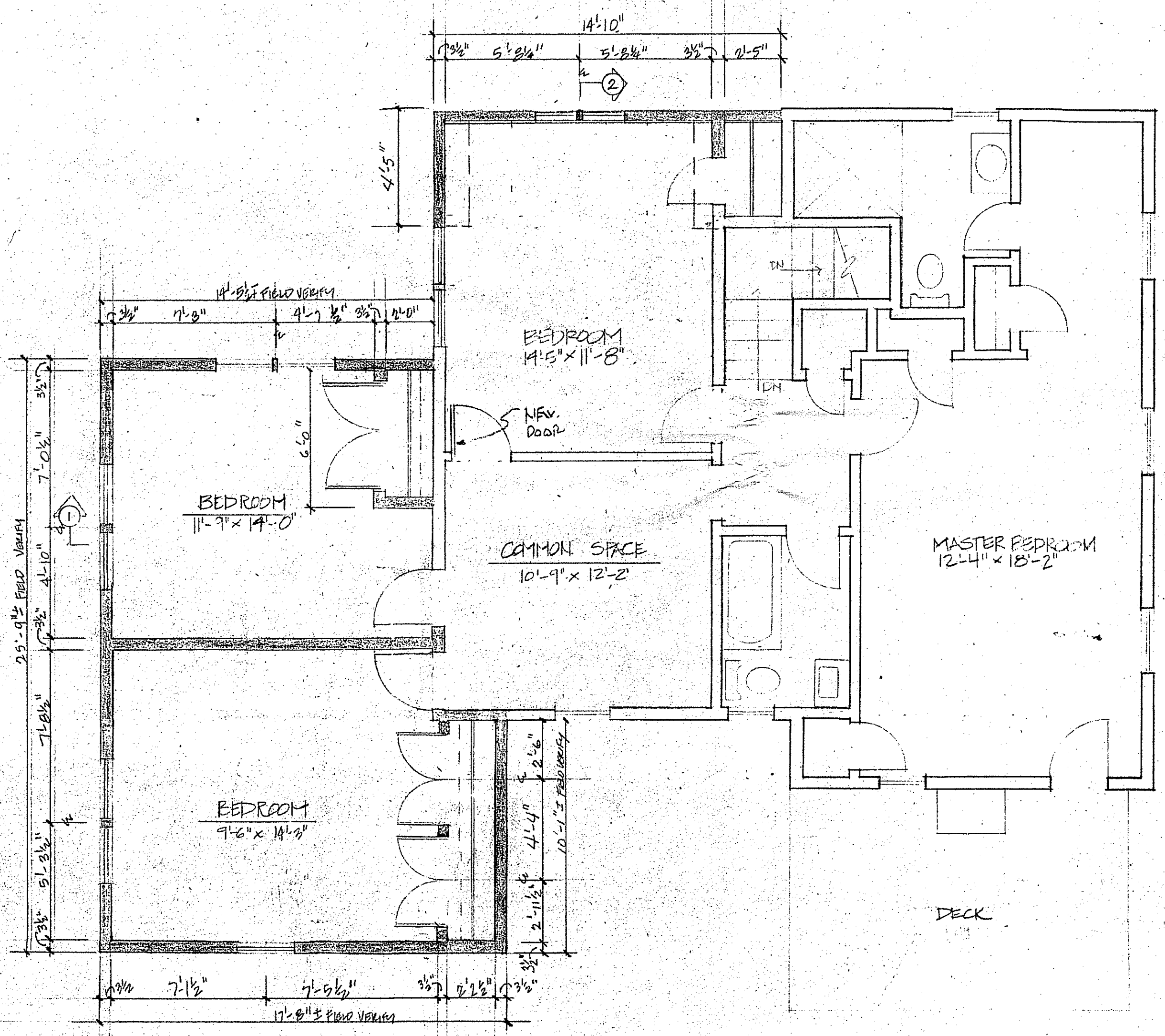
Date	6-8-98
Scale	1/4" = 1'-0"
Drawn	K.C.
Job	McCONNELL
Sheet	3
Of	19 Sheets



REVISIONS	BY
7-10-98	PG
7-19-99	cf



4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PH. (301) 657-3020  
FX. (301) 657-3050



PROPOSED SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
7/19/99

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	6-5-98
Scale	1/4" = 1'-0"
Drawn	K. C.
Job	MCCONNELL
Sheet	4
Of	19 Sheets

REVISIONS	BY
12-22-98	KC



4963 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-2910  
 PH. (301) 657-3020  
 FX. (301) 657-9050

McConnell Residence  
 3802 Woodbine Street  
 Chevy Chase, MD



PROPOSED FRONT ELEVATION  
 SCALE 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 RDZ  
 7/19/99

Date	6-8-98
Scale	1/4" = 1'-0"
Drawn	K.C.
Job	MCCONNELL
Sheet	5
Of 19 Sheets	

REVISIONS	BY
7/10/98	
12/22/98	KC
7-19-99	



1963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-1910  
PH (301) 657-3020  
FX (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD



PROPOSED REAR ELEVATION  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

202  
7/19/99

Date	6-2-98
Scale	1/4" = 1'-0"
Drawn	KC
Job	McCONNELL
Sheet	6
Of 19 Sheets	



REVISIONS	BY



4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PH (301) 657-3020  
FX (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	6-8-98
Scale	1/4" = 1'-0"
Drawn	K.C.
Job	MCCONNELL
Sheet	7
Of 19	Sheets



PROPOSED RIGHT ELEVATION  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
RJB  
7/19/98



REVISIONS	BY
7-10-98	PG
12-22-98	KC



4955 ELW  
SUITE 103  
BETHESDA  
MARYLAND  
20814-3940  
TEL: (301) 657-3020  
EX: (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	6-8-98
Scale	1/4" = 1'-0"
Drawn	K.C.
Job	MCCONNELL
Sheet	8
Of	19 Sheets

NEW ASPHALT SHINGLE ROOF  
TO MATCH EXISTING  
NEW SIDING TO MATCH EXISTING

NEW EXIST

6" GUTTER W/ 3"x4" DOWN SPT.

PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
RDZ  
7/19/99

REVISIONS	BY
7-12-99	✓
7-19-99	✓



1963 ELM  
SUITE 105  
BETHESDA  
MARYLAND  
20814-1940  
PH. (301) 657-5020  
FX. (301) 657-5050

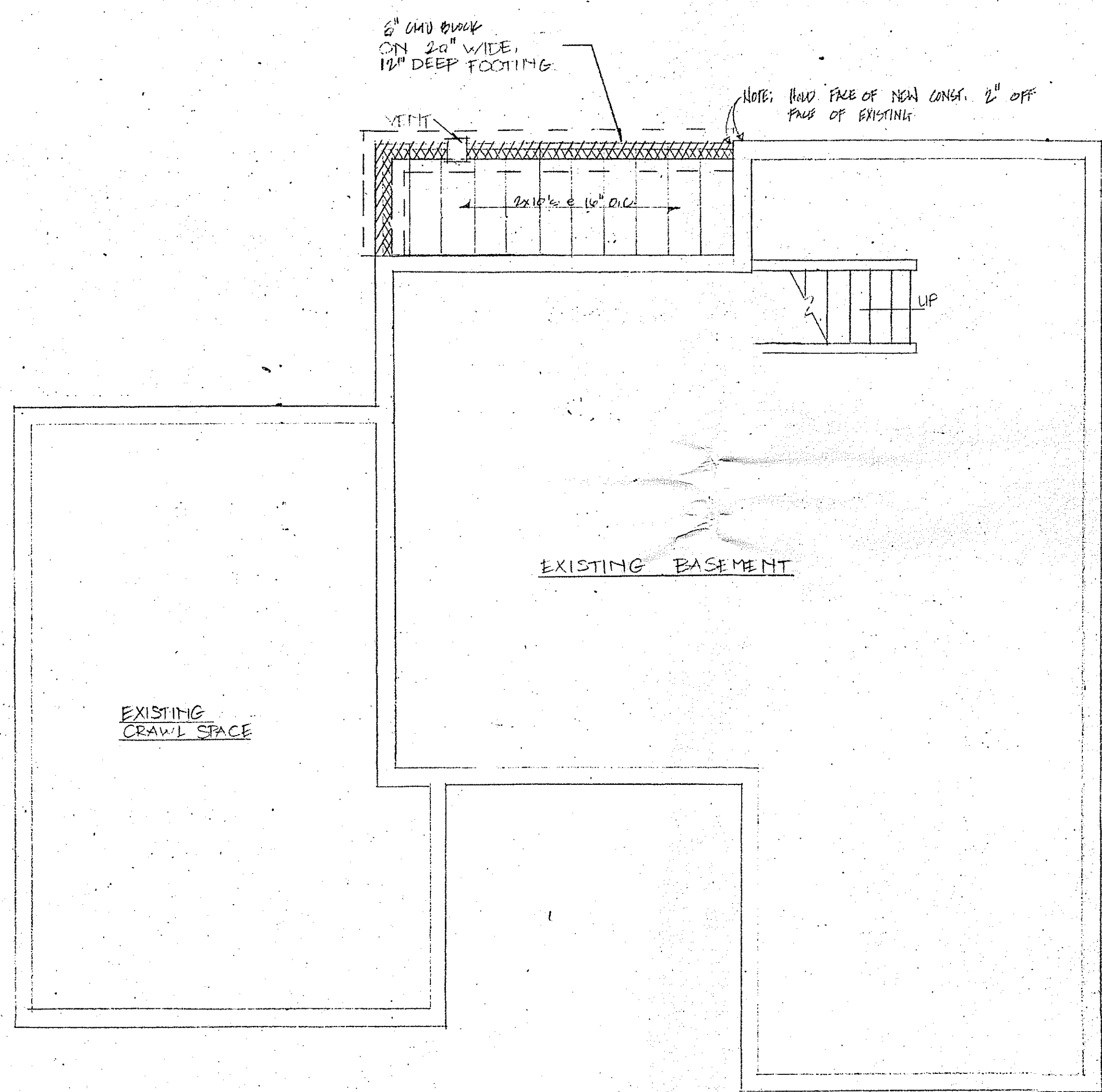
McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date: 12/22/98  
Scale: 1/4" = 1'-0"  
Drawn: K.C.  
Job: MCCONNELL  
Sheet: 9  
Of 19 Sheets

- STRUCTURAL NOTES:**
- CABO one and two family dwelling code
  - Live load: First floor 40 psf.  
Sleeping room only 30 psf.  
Stairs 40 psf.
  - Soil bearing 2500 psf.
  - Concrete 3000 psi at 28 days.
  - Framing lumber Hem Fir #2 or better.
  - Microlam beam Fb=2800 psi.
  - Steel ASTM-36.
  - Maximum height of unbalanced fill is 7'0"
  - Footings to be on undisturbed soil at least 30" below grade (at perimeter)
  - Backfill to be sandy soils, sm or better, placed in 12" loose layers and compacted to 95% of standard proctor density (ASTM D-698).
  - Use Standard AISC steel column.

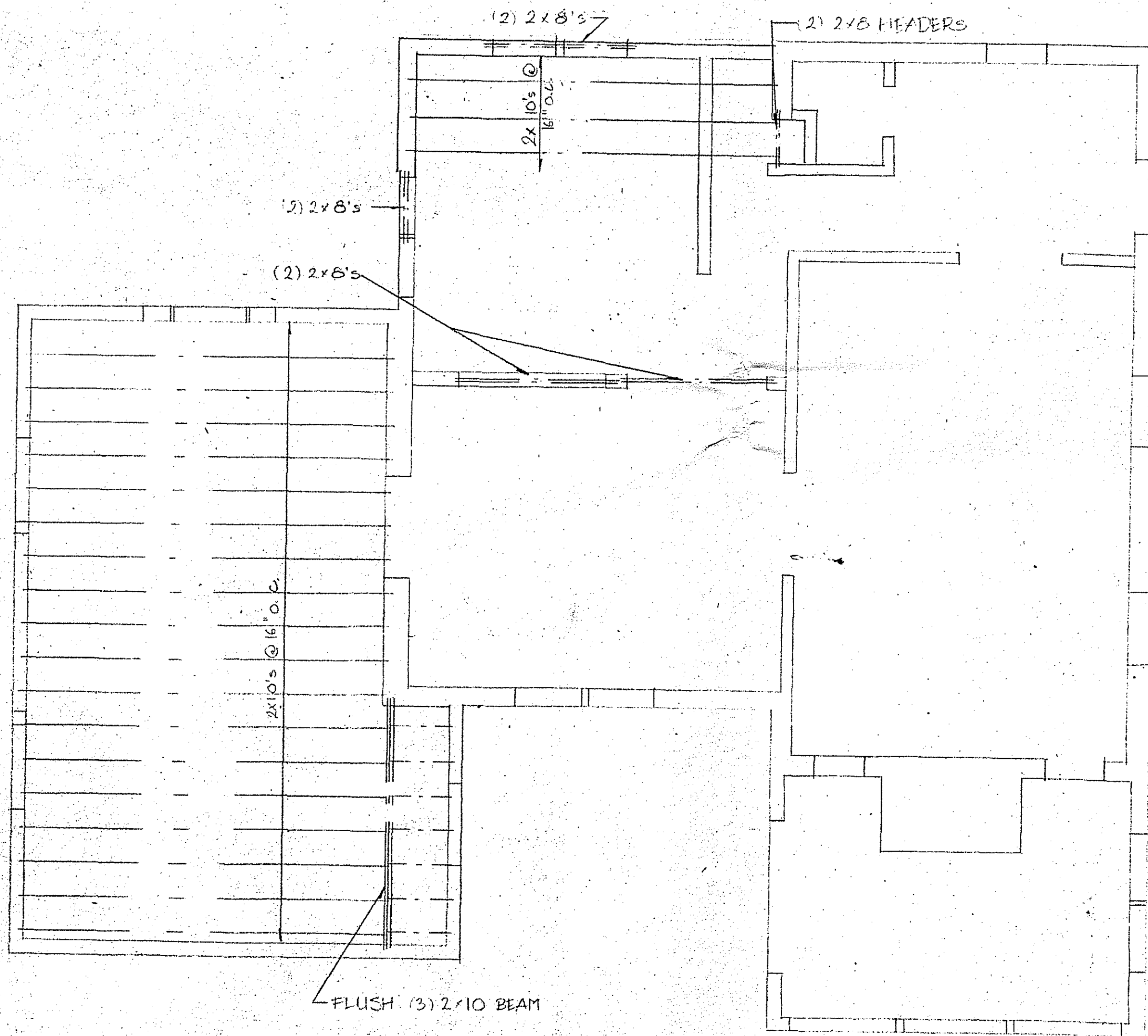
HEADER DESIGN CHART  
(Hem Fir No. 2, Roof Load = 30 LL + 10 DL; Floor Load = 40 LL + 10 DL)  
F<sub>v</sub> = 1,000      D.L. = 1,000/30"  
F<sub>v</sub> = 75

HEADER SUPPORTING	HEADER SIZE	MAXIMUM ALLOWABLE HEADER SPAN (ft-in)											
		Nonstruct. Sheath. 1/2"						Struct. Board Sheath. 1/2"					
		House Depth (FL)		House Depth (FL)		House Depth (FL)		House Depth (FL)		House Depth (FL)		House Depth (FL)	
Roof	2x4	3-10	3-7	3-5	4-2	3-11	3-8	4-10	4-7	4-5	5-2	4-9	4-6
Roof plus one story (Bearing)	2x4	5-4	5-0	4-8	5-8	5-4	5-0	6-7	6-2	5-9	7-4	6-11	6-8
	2x6	6-10	6-4	6-2	7-1	6-8	6-3	7-10	7-4	6-11	8-5	7-8	7-5
	2x8	8-3	7-11	7-6	8-9	8-2	7-4	8-1	8-9	8-3	10-3	9-2	8-9
Roof plus one story (No bearing)	2x4	4-8	4-5	4-3	4-9	4-7	4-5	5-2	4-11	4-8	6-1	5-8	5-5
	2x6	5-9	5-3	5-0	5-11	5-6	5-2	6-6	6-1	5-8	7-11	7-6	7-3
	2x8	6-8	6-3	5-10	6-11	6-5	6-0	7-5	6-11	6-6	8-11	8-6	8-3
Roof plus two stories (Bearing)	2x4	4-2	3-11	3-8	4-4	4-1	3-10	4-8	4-5	4-3	5-2	4-9	4-6
	2x6	5-0	4-7	4-4	5-2	4-9	4-6	5-8	5-3	5-1	6-11	6-8	6-5
	2x8	5-9	5-5	5-1	6-0	5-7	5-2	6-5	6-0	5-7	7-11	7-5	7-2
Roof plus two stories (No bearing)	2x4	3-5	3-2	3-0	3-7	3-4	3-1	3-11	3-8	3-5	4-2	3-9	3-6
	2x6	4-1	3-9	3-6	4-2	3-11	3-8	4-7	4-3	4-0	5-2	4-9	4-6
	2x8	4-9	4-5	4-1	4-10	4-6	4-3	5-1	4-10	4-7	6-11	6-7	6-4



FIRST FLOOR FRAMING PLAN  
SCALE 1/4" = 1'-0"





SECOND FLOOR FRAMING PLAN  
SCALE 1/4" = 1'-0"

REVISIONS	BY
7-19-99	CP



1963 ELM  
SUITE 103  
BETHESDA,  
MARYLAND  
20814-2910  
PH. (301) 657-3020  
FX. (301) 657-3020

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

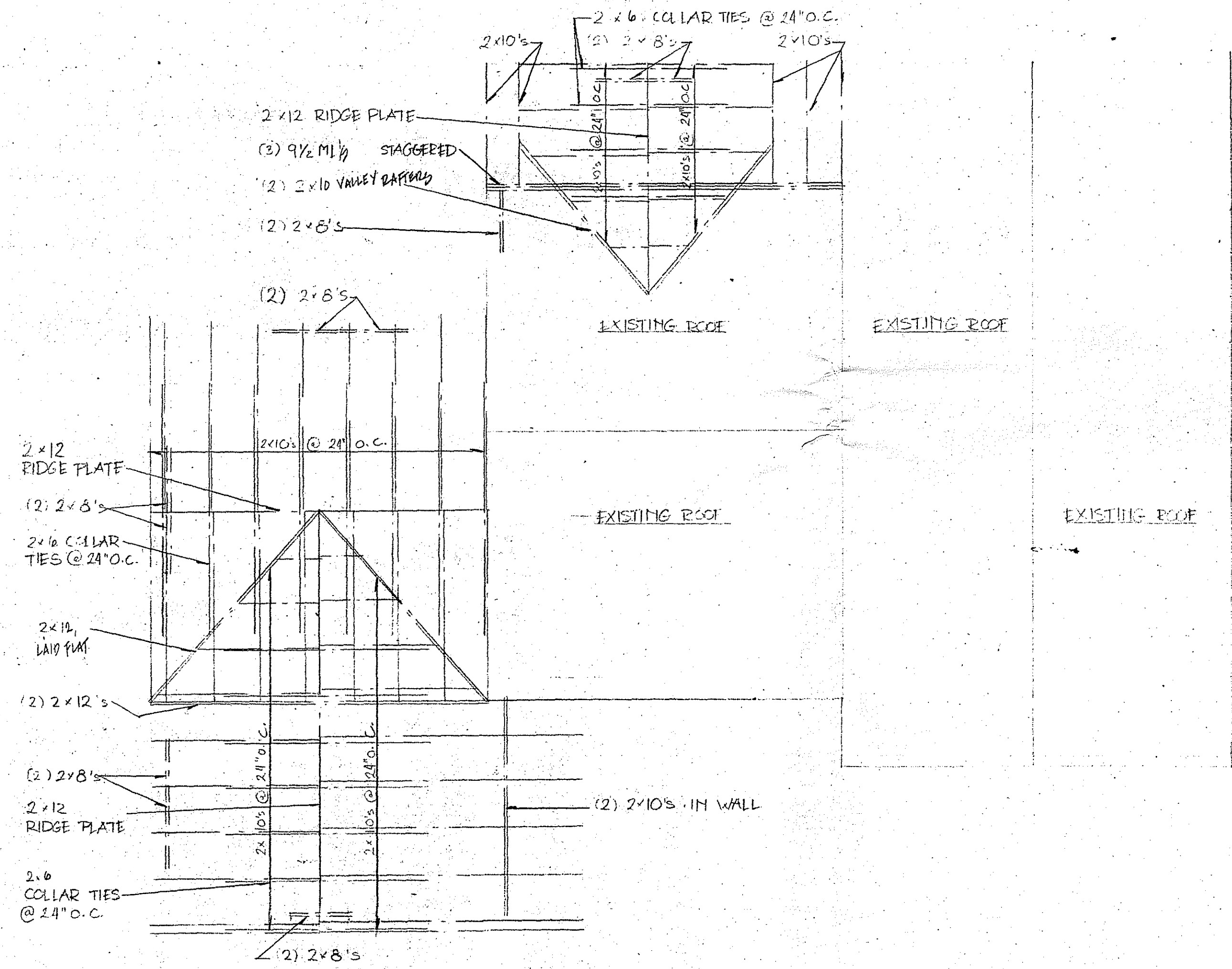
Date	12-22-98
Scale	1/4" = 1'-0"
Drawn	K. C.
Job	MCCONNELL
Sheet	10
Of	19 Sheets

REVISIONS	BY



4665 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PH (301) 657-3020  
FX (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD



ROOF FRAMING PLAN  
SCALE 1/4" = 1'-0"

Date	12-22-98
Scale	1/4" = 1'-0"
Drawn	K.C.
Job	McCONNEL
Sheet	11
Of	19 Sheets



REVISIONS	BY
7-12-99	KL
7-16-99	KL

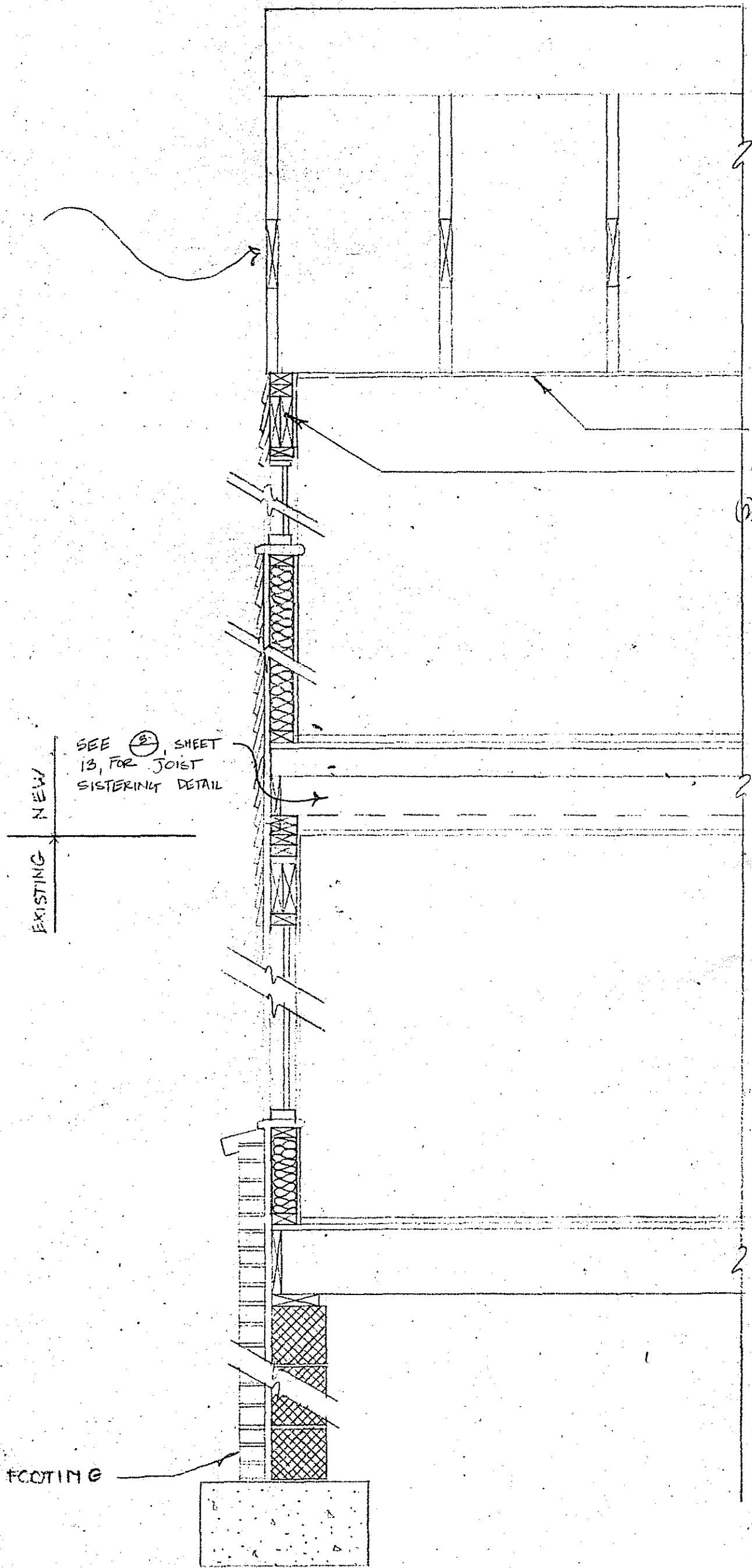


4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2910  
PH (301) 657-8000  
FN (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	12-12-98
Scale	3/4" = 1'-0"
Drawn	K.C.
Job	McCONNEL
Sheet	12
Of 19	Sheets

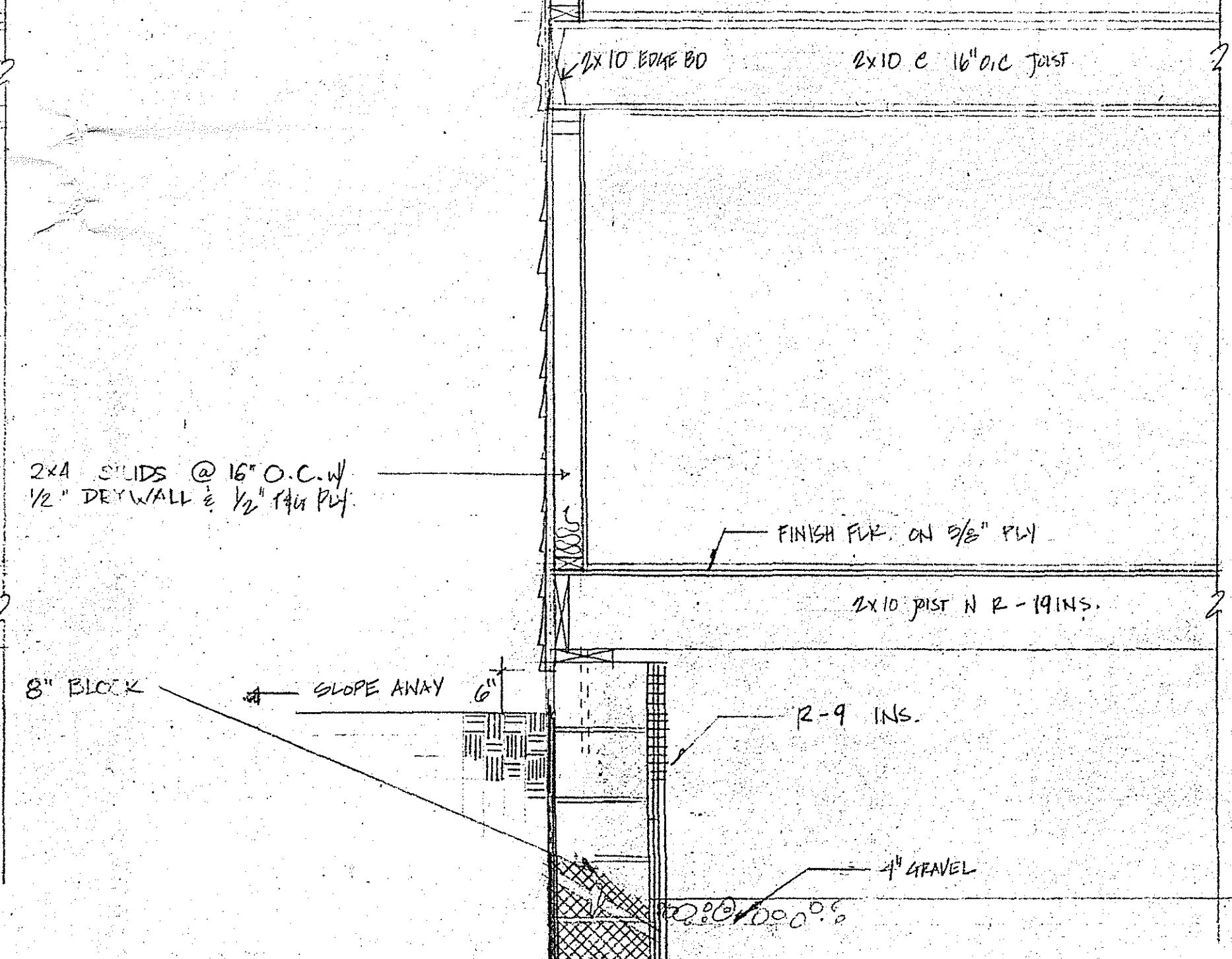
2x6 COLLAR TIES @ 24" O.C.



① WALL SECTION  
SCALE: 3/4" = 1'-0"

ASPHALT CHINGLES TO MATCH EXISTING +  
1/2" 15# BUNDLING FELT ON 5/8" PW.  
2x6 COLLAR TIES @ 24" O.C.  
2x16 RAFTERS @ 24" O.C.  
R-30 INSULATION BETWEEN RAFTERS  
1/2" DRYWALL  
(2) 2x8 HEADERS  
(1) 2x4 PLATE  
SMOOTH VINYL SIDING - TO MATCH  
EXISTING  
R-13 INSULATION

SEE ② SHEET  
13, FOR JOIST  
SISTERING DETAIL



② WALL SECTION  
SCALE: 3/4" = 1'-0"

EXISTING FOUNDATION AND FOOTING

12" X 20" CONC FTG, 2'-0" BELOW GRADE

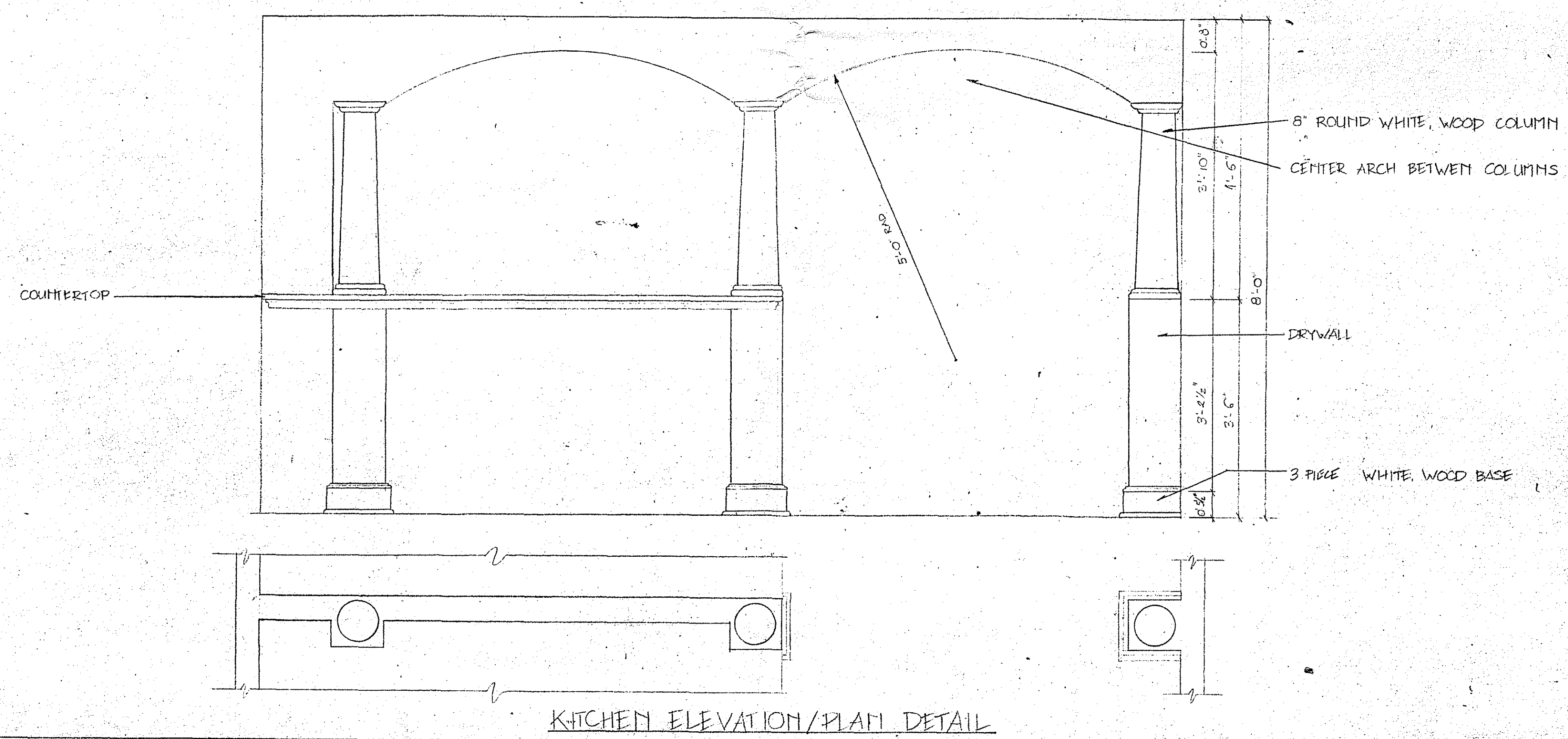
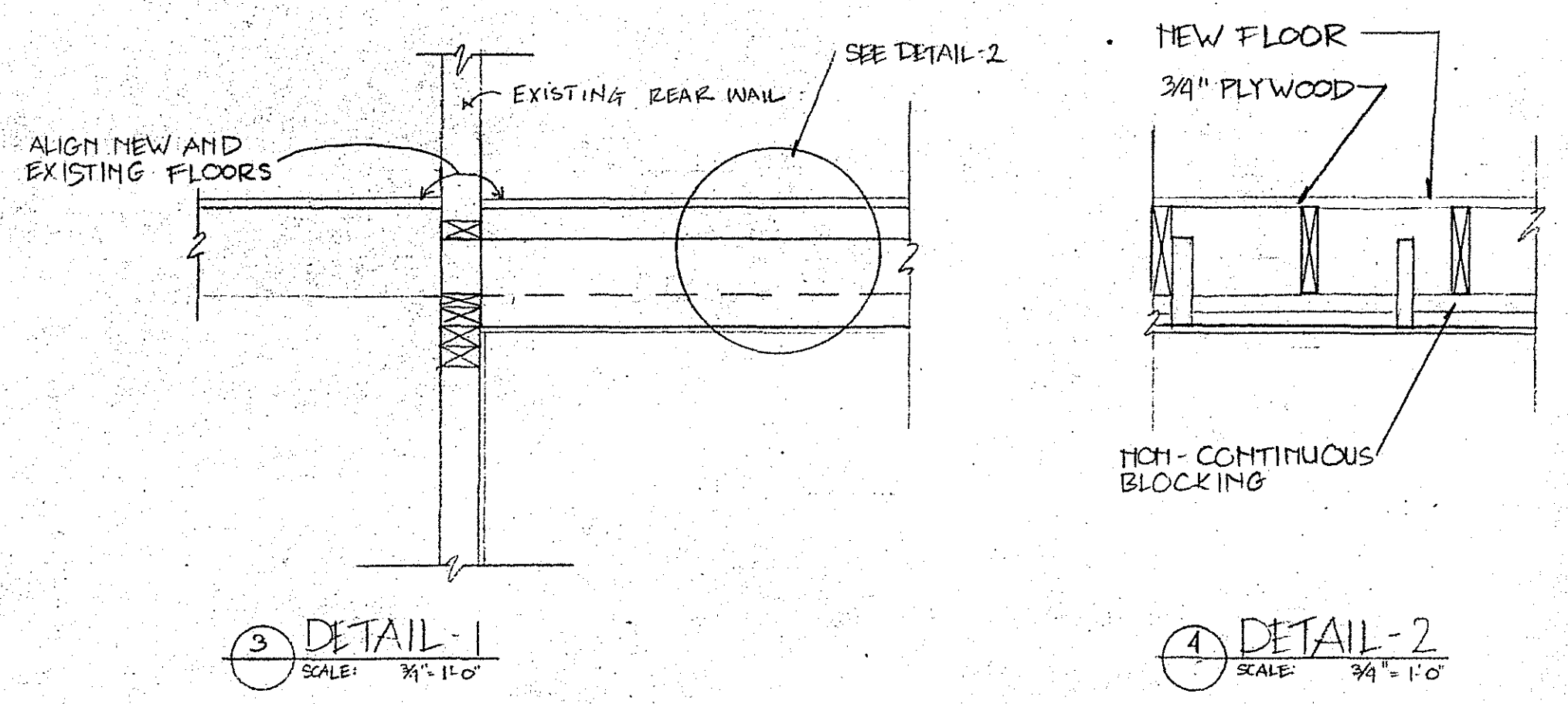
REVISIONS	BY

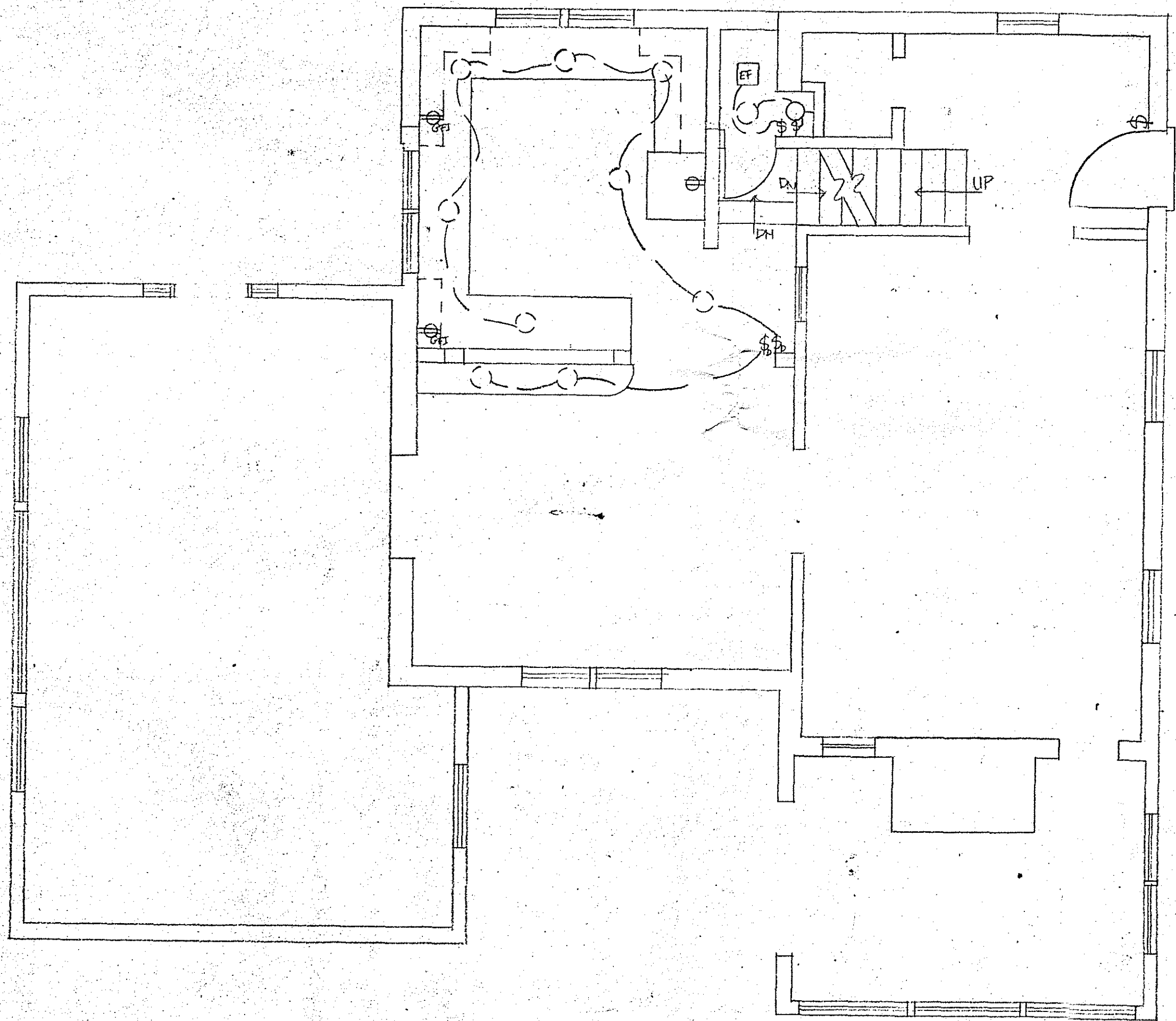


1963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PH (301) 552-3020  
FX (301) 557-5050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

DATE 12-22-98  
SCALE 3/4" = 1'-0"  
DRAWN K. C.  
JOB MCCONNELL  
SHEET  
13  
OF 14 SHEETS





FIRST FLOOR ELECTRICAL PLAN

REVISIONS	BY

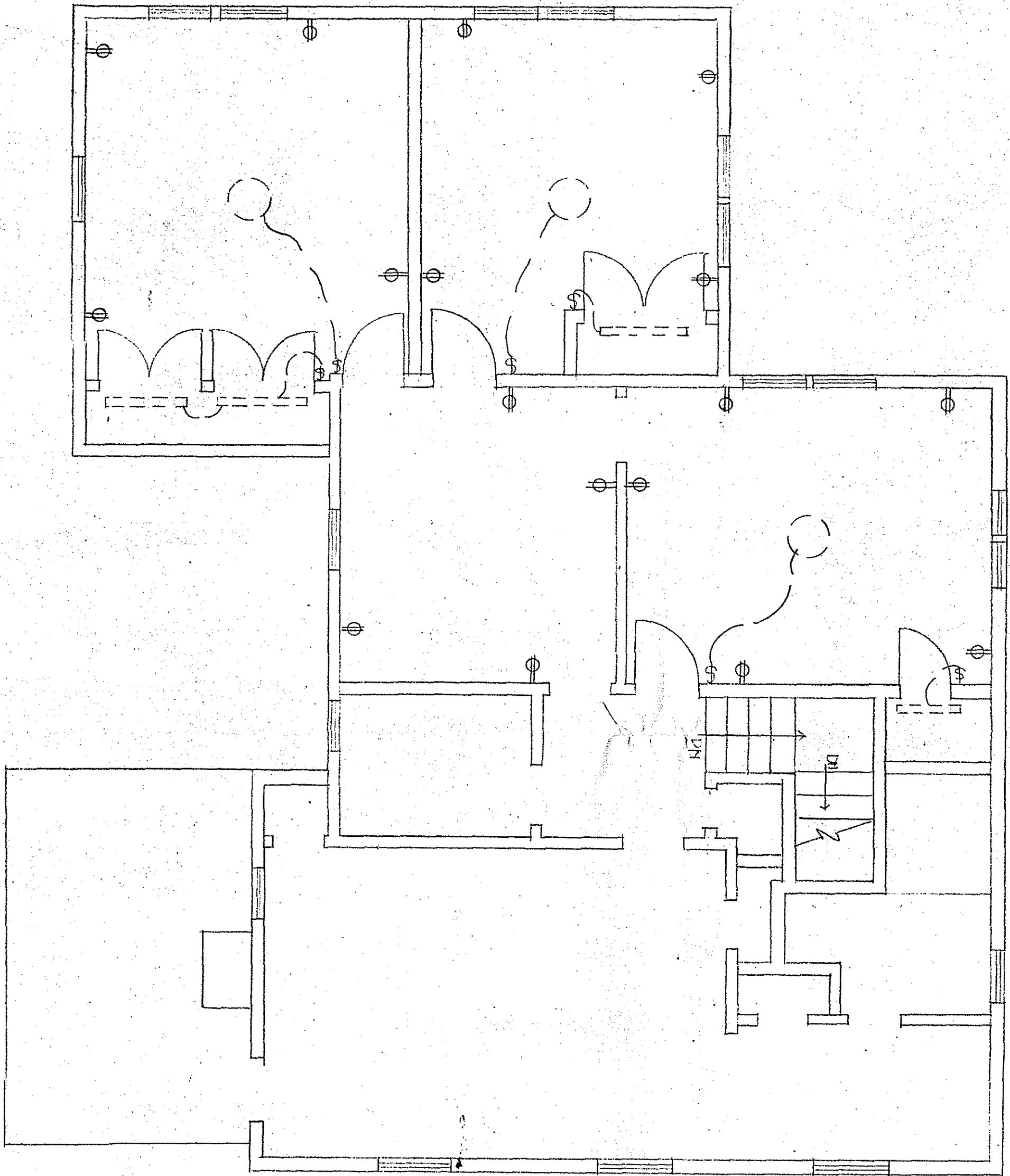


1965 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-2940  
 PH: (301) 657-5020  
 FX: (301) 657-5050

McConnell Residence  
 3802 Woodbine Street  
 Chevy Chase, MD

DATE: 12-22-98
SCALE: 1/4" = 1'-0"
DRAWN: KC
JOB: MCCONNELL
SHEET: 14 OF 19 SHEETS





SECOND FLOOR MECHANICAL PLAN

REVISIONS BY



4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2548  
PH: (301) 657-3020  
FX: (301) 657-3000

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

DATE: 12-22-93

SCALE: 1/4" = 1'-0"

DRAWN: K.C.

JOB:

SHEET: 15

OF 19 SHEETS



REVISIONS	BY



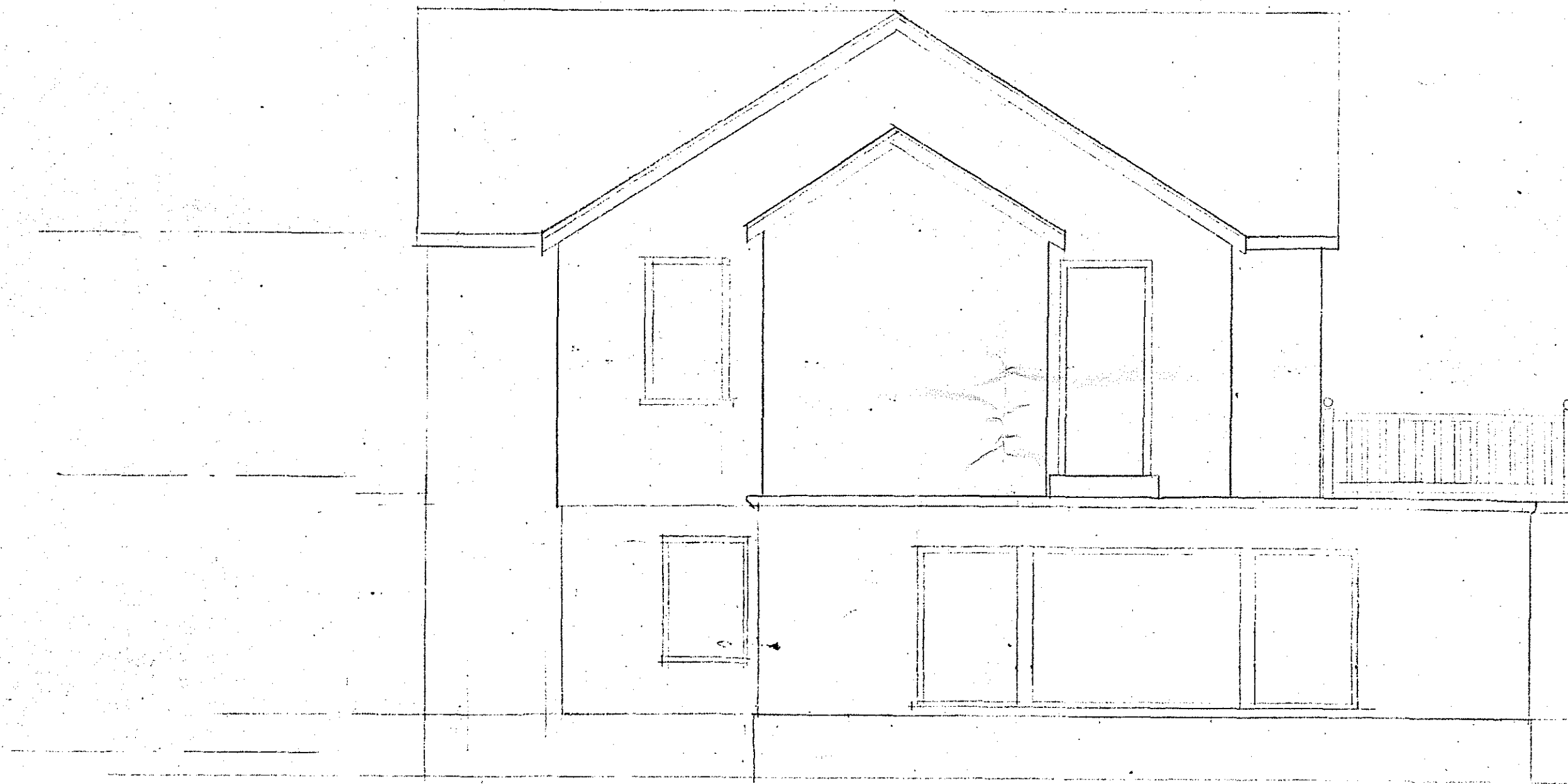
4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
PIL (301) 657-5020  
FK (301) 657-5050



EXISTING FRONT ELEVATION  
SCALE 1/4" = 1'-0"

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	6-8-98
Scale	1/4" = 1'-0"
Drawn	PC
Job	McCONNELL
Sheet	16
Of	19 Sheets



EXISTING REAR ELEVATION

SCALE  $\frac{1}{4}'' = 1'-0''$

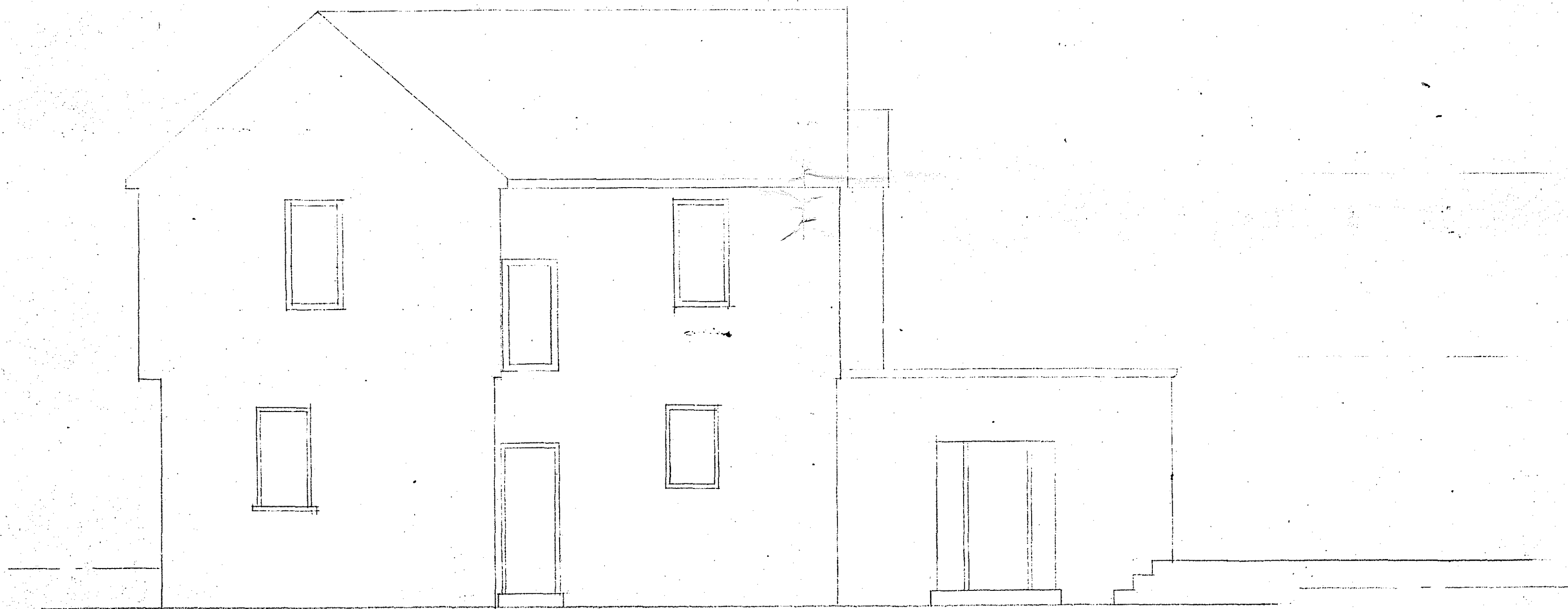
REVISIONS	BY



4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2240  
PH. (301) 657-3020  
FX. (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	6-8-98
Scale	$\frac{1}{4}'' = 1'-0''$
Drawn	PGC
Job	McCONNELL
Sheet	17
Of	19 Sheets



EXISTING RIGHT SIDE ELEVATION

SCALE \_\_\_\_\_ - 1/4" = 1'-0"

REVISIONS	BY



4965 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940  
P: (301) 657-3026  
F: (301) 657-3050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date 6-5-18  
Scale 1/4" = 1'-0"  
Drawn PG  
Job McCONNELL  
Sheet  
18  
Of 19 Sheets

REVISIONS	BY



1983 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-2940  
 PHL (301) 657-3020  
 FX (301) 657-3050

McConnell Residence  
 3802 Woodbine Street  
 Chevy Chase, MD



EXISTING LEFT SIDE ELEVATION  
 SCALE  $\frac{1}{4}'' = 1'-0''$

Date	6-8-98
Scale	$\frac{1}{4}'' = 1'-0''$
Drawn	PC
Job	McCONNELL
Sheet	11
Of	19
Sheets	



REVISIONS



PGA  
DESIGN • BUILD

1963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-7510

PH (301) 657-8020  
FX (301) 657-8050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

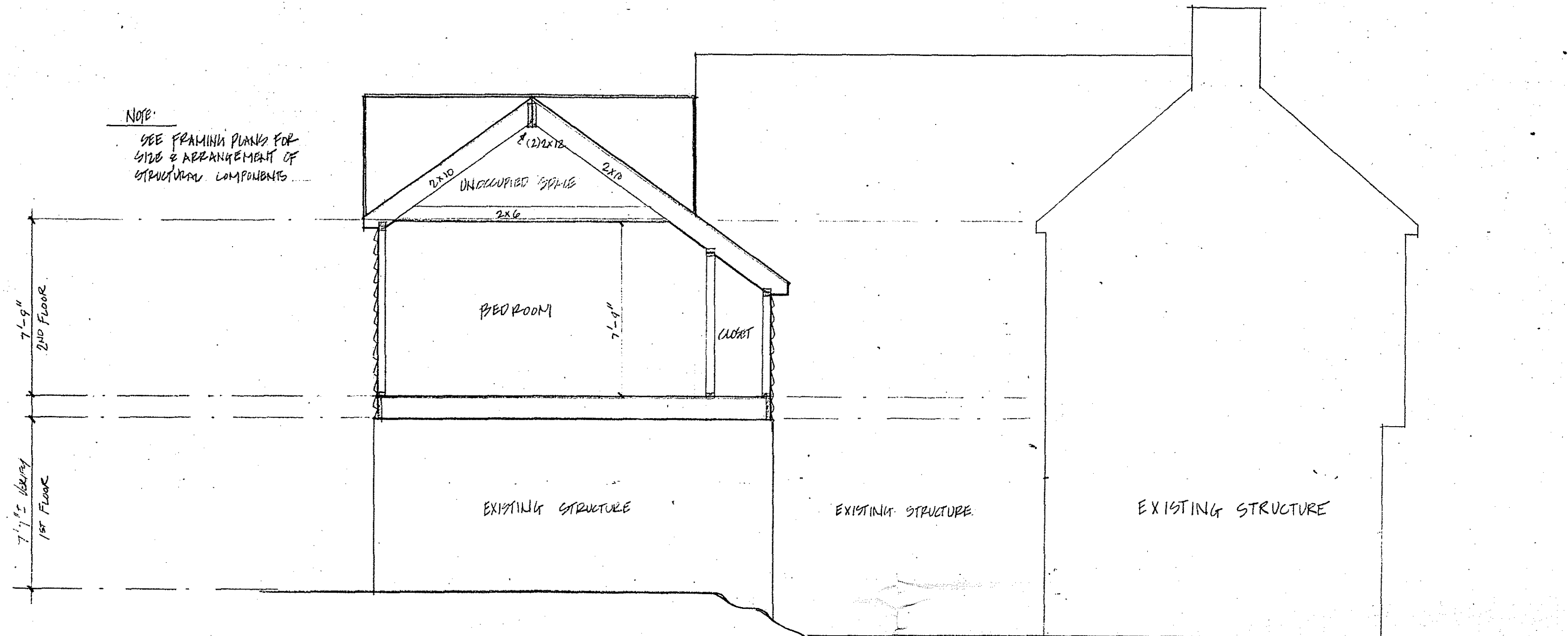
DATE 7-7-99

1/4" = 1'-0"

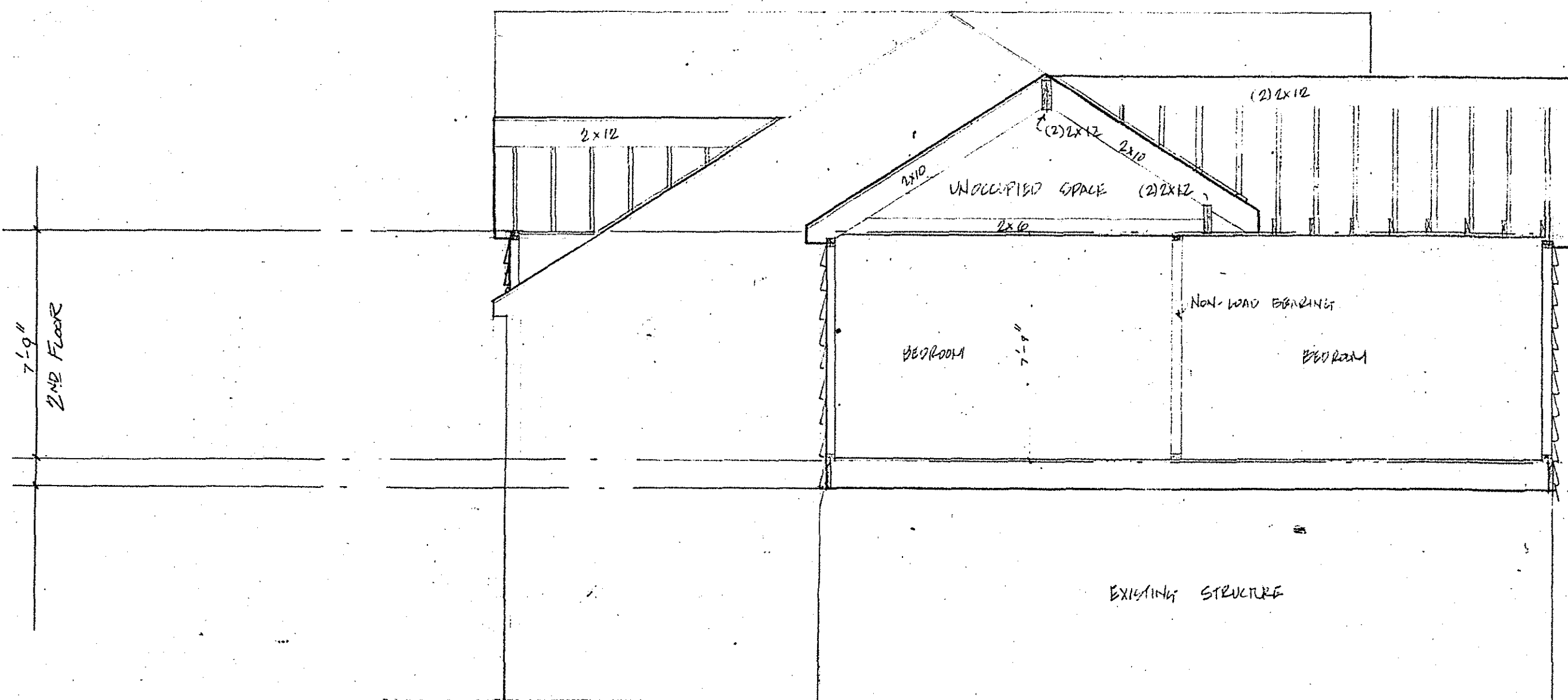
DRANN *CP*  
MCCONNELL

20

NOTE:  
SEE FRAMING PLANS FOR  
SIZE & ARRANGEMENT OF  
STRUCTURAL COMPONENTS



BUILDING CROSS-SECTION B-B 1/4" = 1'-0"



NOTE:  
SEE FRAMING PLANS FOR SIZE &  
ARRANGEMENT OF STRUCTURAL  
COMPONENTS.

BUILDING CROSS-SECTION A-A 1/4" = 1'-0"

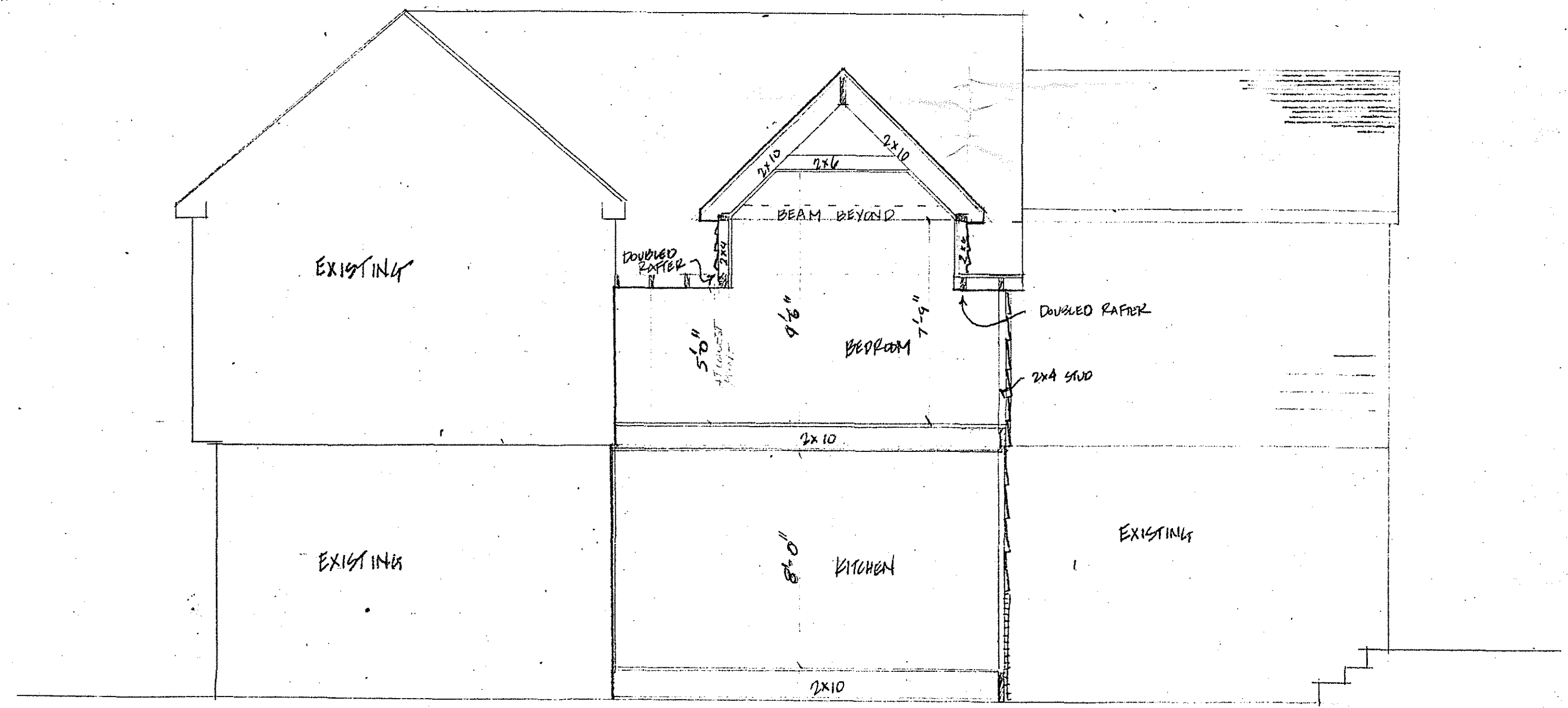
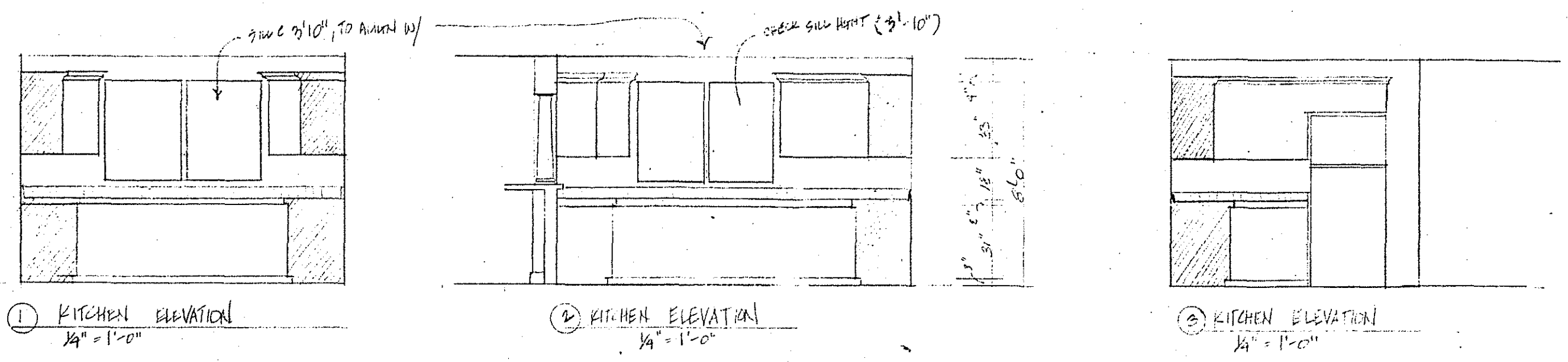
REVISIONS	BY



1963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2910  
PH. (301) 657-5020  
FX. (301) 657-5050

McConnell Residence  
3802 Woodbine Street  
Chevy Chase, MD

Date	7-9-99
Scale	1/4" = 1'-0"
Drawn	<i>[Signature]</i>
Job	McCONNELL
Sheet	21
Of	Sheets



BUILDING CROSS-SECTION = C-C  
SCALE 1/4" = 1'-0"

NOTE:  
SEE FRAMING PLANS FOR SIZE &  
LOCATION OF STRUCTURAL  
MEMBERS.

9/45

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

35/13-99N

Date: July 19, 1999

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

---

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Amended by the applicant to use wood siding only on the new addition, deleting the use of brick on the first floor.

X  Approved      \_\_\_\_\_ Denied      \_\_\_\_\_ Approved with Conditions:

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: K. McConnell & C. Clifford

Address: 3802 Woodbine Street, Chevy Chase



DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: PAUL GAISER  
Daytime Phone No.: 301.657.3020

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: KIRK MCCONNELL & CATHERINE CLIFFORD  
Daytime Phone No.: 301 718 8845  
Address: 3802 WOODBINE ST. CHEVYCHASE MD  
Street Number City State Zip Code  
Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: PAUL GAISER Daytime Phone No.: 301 657 3020

**LOCATION OF BUILDING/PREMISE**

House Number: 3802 Street: WOODBINE  
Town/City: CHEVYCHASE Nearest Cross Street: GLENDALE RD.  
Lot: 9:10 Block: \_\_\_\_\_ Subdivision: Section 5 the Village of Chevy Chase  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |  |   |  |                                    |  |  |                               |                               |
|------------------------------------|--|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |                               |                               |
- 1B. Construction cost estimate: \$ 60,000
- 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul Gaiser Signature of owner or authorized agent Date: 6-24-99

Approved: X as amended For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 7/19/99  
Application/Permit No.: 990628083 Date Filed: 6/28/99 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

35/13-99N



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 3802 Woodbine Street Meeting Date: 7/14/99  
 Applicant: K. McConnell & C. Clifford Report Date: 7/7/99  
 (Paul Gaiser, Architect)  
 Resource: *Locational Atlas* (Section 5) Public Notice: 6/30/99  
 Chevy Chase Historic District  
 Review: HAWP Tax Credit: No  
 Case Number: 35/81-99E Staff: Robin D. Ziek

**PROPOSAL:** Rear & side addition,  
 door, window alterations

**RECOMMENDATIONS:** Approval

*applicant amended, entire addition is wood siding*

**N.B.:** Section 5 has been evaluated by the HPC for historic designation, and this property has not been recommended for inclusion on the *Master Plan*. The proposed *Amendment to the Master Plan* is currently at the County Council for consideration.

*no brick.*

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Resource in *Locational Atlas* Historic District  
**STYLE:** Colonial Revival with overshoot eave and decorative pendants  
**DATE:** 2nd Quarter of the 20th-Century

The subject property is a 2-story wood frame Colonial Revival style house with three wall dormers across the facade.

**PROPOSAL**

The applicant proposes to add a 2-story addition off of the dining room at the back of the house, which would extend to the east (left) side by 9'. In addition, the existing kitchen would be extended on the west (right) side elevation by approximately 4', to fill in a notch at this SW corner of the house. Both additions would be 2-story, and with materials to match the existing house: brick on the first floor, and wood and the second floor.

*Amended to wood*

**STAFF DISCUSSION**

The proposed alterations are modest in scale, and compatible in design with the existing resource. In addition, with the modest scale and compatible massing and materials, the alterations would not effect a potential historic district. The right side elevation will be altered, with changes to the side door and windows in the rear ell of the house, but the original windows in the front block will remain. The proposed new windows match the scale of the existing, as does the dormer, with some alterations, such as doubling of the windows, which will help to differentiate the original openings from the new openings.

**STAFF RECOMMENDATION**

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PAUL GAISER  
Daytime Phone No.: 301.657.3020

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: KIRK MCCONNELL & CATHERINE CLIFFORD  
Daytime Phone No.: 301.718.8845  
Address: 3802 WOODBINE ST. CHEVYCHASE MD  
Street Number City State Zip Code  
Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: PAUL GAISER Daytime Phone No.: 301.657.3020

**LOCATION OF BUILDING/PREMISE**

House Number: 3802 Street: WOODBINE  
Town/City: CHEVYCHASE Nearest Cross Street: GLENDALE RD.  
Lot: 9-10 Block: \_\_\_\_\_ Subdivision: Section 5 the Village of Chevy Chase  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |  |   |  |                                       |  |  |                               |                               |
|------------------------------------|--|---|--|---------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab         | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace    | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ |  |  |                               |                               |
- 1B. Construction cost estimate: \$ 60,000
- 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul Gaiser  
Signature of owner or authorized agent

6-24-55  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

McConnell: 3802 WOODBINE ST.

SECTION 5

THE VILLAGE OF CHEVY CHASE

NEIGHBORHOOD ADDRESS

FRONT PROPERTIES

3803 WOODBINE ST.

3805 WOODBINE ST.

RIGHT SIDE PROPERTY

3804 WOODBINE ST.

LEFT SIDE PROPERTY

3800 WOODBINE ST.

BACK PROPERTY

3717 WILLIAMS ST.



# Paul Graiser Architects

## Fax - Memorandum:

To: ROBIN ZIEK From: WJW  
 Fax: 301 - 563 - 3412 Pages: 7 (INCLUDING COVER)  
 Phone: \_\_\_\_\_ Date: 7-1-99  
 Re: McCONNELL CC: \_\_\_\_\_

Urgent  For Review  Please Comment  FYI

• Comments:

REMOVED 64% (11x17" to LETTER)

Materials : 1<sup>st</sup> FLOOR : brick  
 2<sup>nd</sup> FLOOR : wood siding to match existing  
 match existing

4963 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-2940

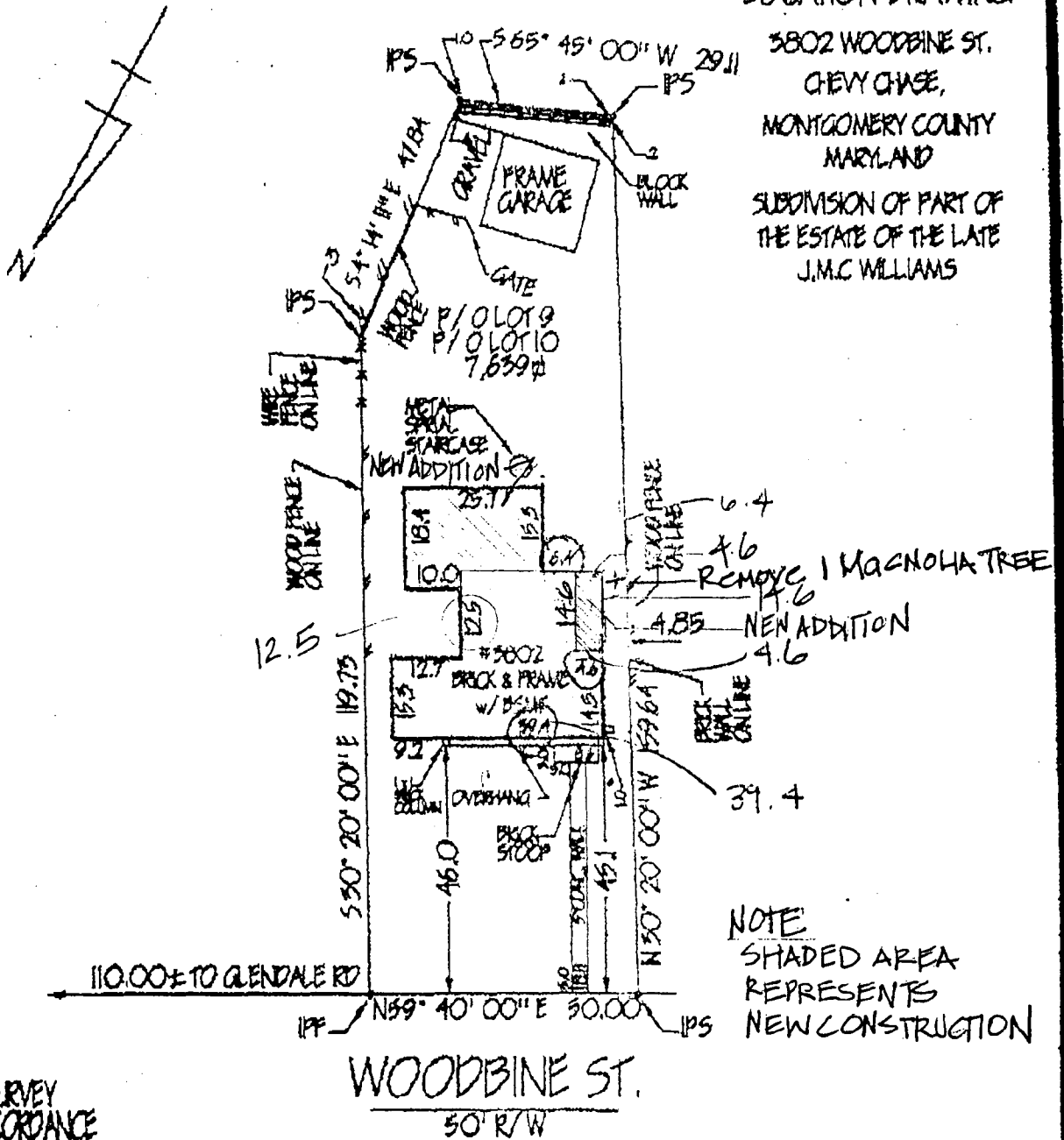
Pho. (301) 657-3020  
 Fax. (301) 657-3050

(5)



### LOCATION DRAWING

3802 WOODBINE ST.  
 CHEVY CHASE,  
 MONTGOMERY COUNTY  
 MARYLAND  
 SUBDIVISION OF PART OF  
 THE ESTATE OF THE LATE  
 J.M.C WILLIAMS

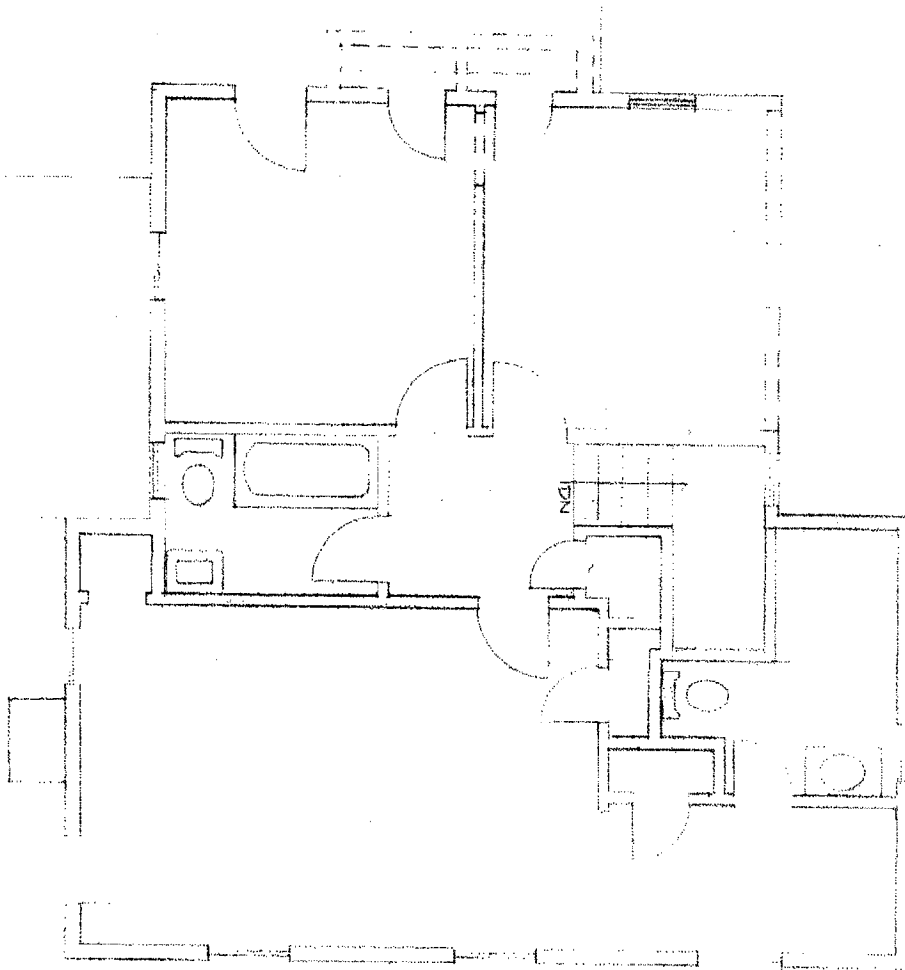


NOTE:  
 BOUNDARY SURVEY  
 DONE IN ACCORDANCE  
 WITH THIS DRAWING

NOT IN A FLOOD  
 PLANE AT THIS TIME

Note: Lot corners have not been set by this survey unless otherwise noted

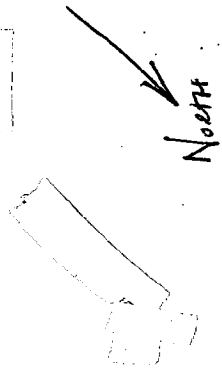
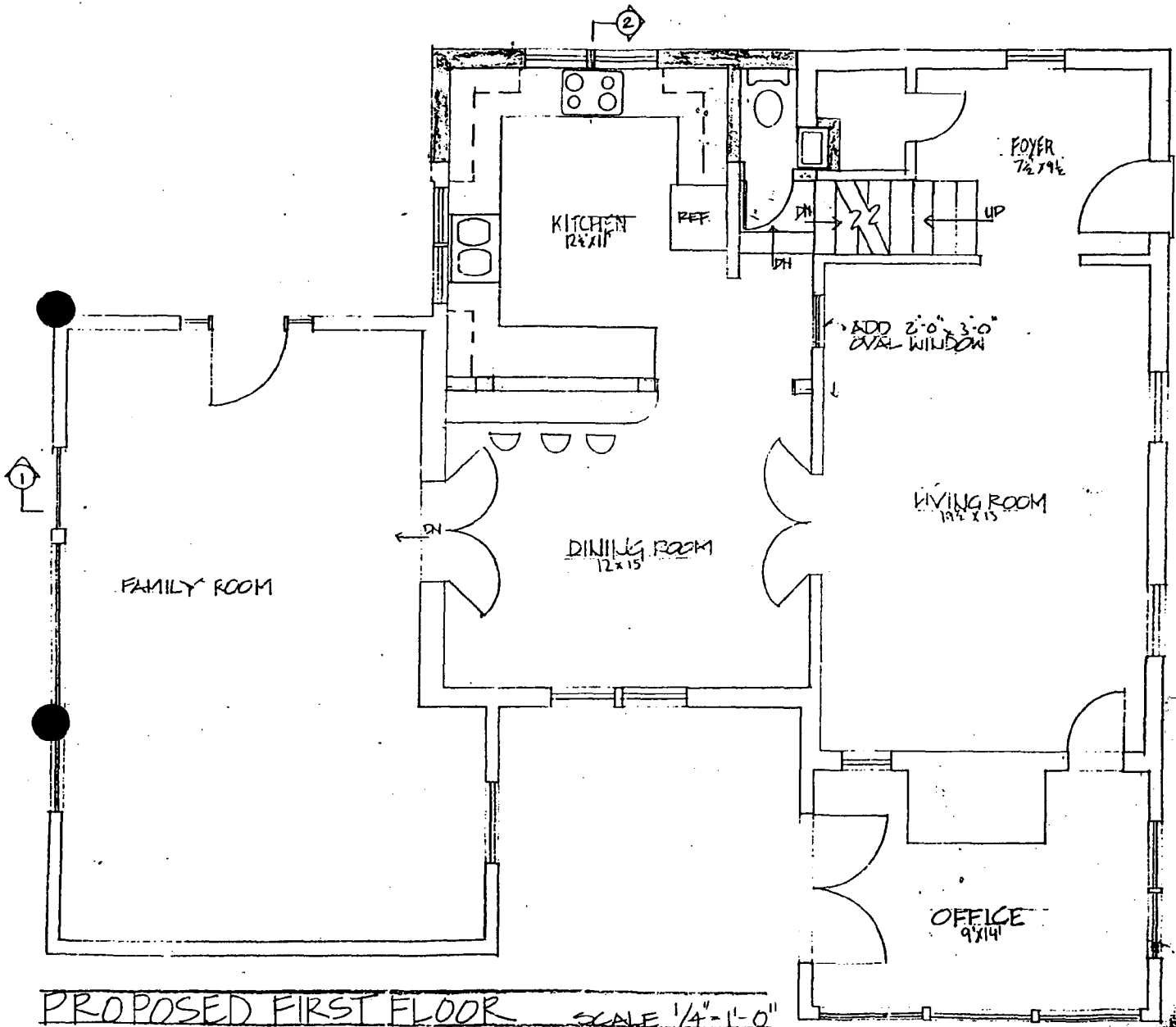
<b>SURVEYOR'S CERTIFICATE</b> I hereby certify that the location of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown there are no encroachments Charles A. Schmidt Md. Reg. No. 40 John A. Smith	<b>REFERENCE</b> PLAT BOOK 2 PLAT NUMBER 159 LIBER FOLIO	<b>Heather Fence Stakeout</b> 5703 Lynn Circle Waldorf, Maryland, 20601	
	DATE: 8/4/97 WALL CHECK: 7/29/97 FINAL H. L.: 7/29/97	SCALE: 1" = 30' FIELD BOOK: DRAWN: MCH	JOB NUMBER 97-1048 RECORD NUMBER 97-1048
			(6)



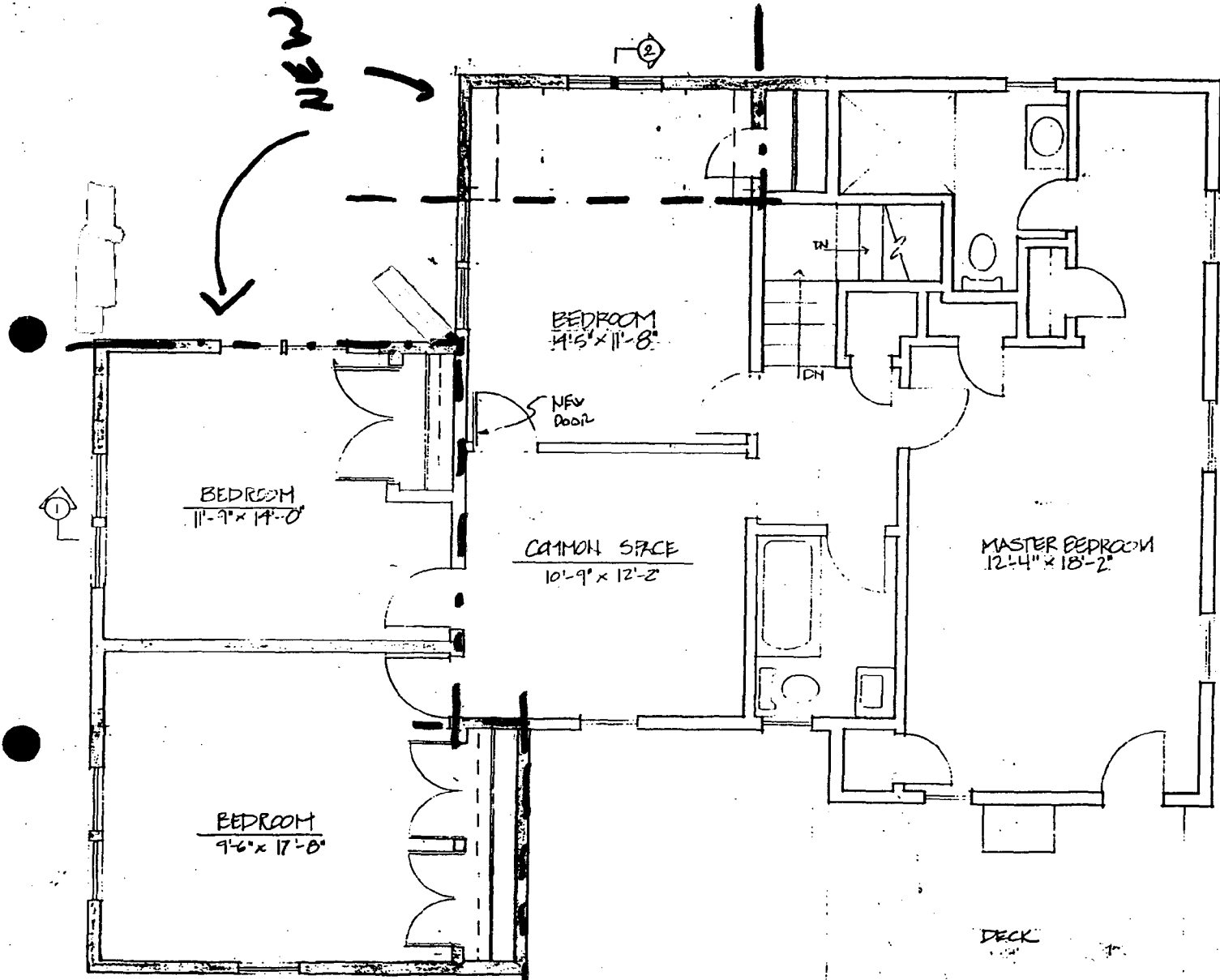
3802 WOODBINE ST.  
CHEVY CHASE MD

McConnell

66



9

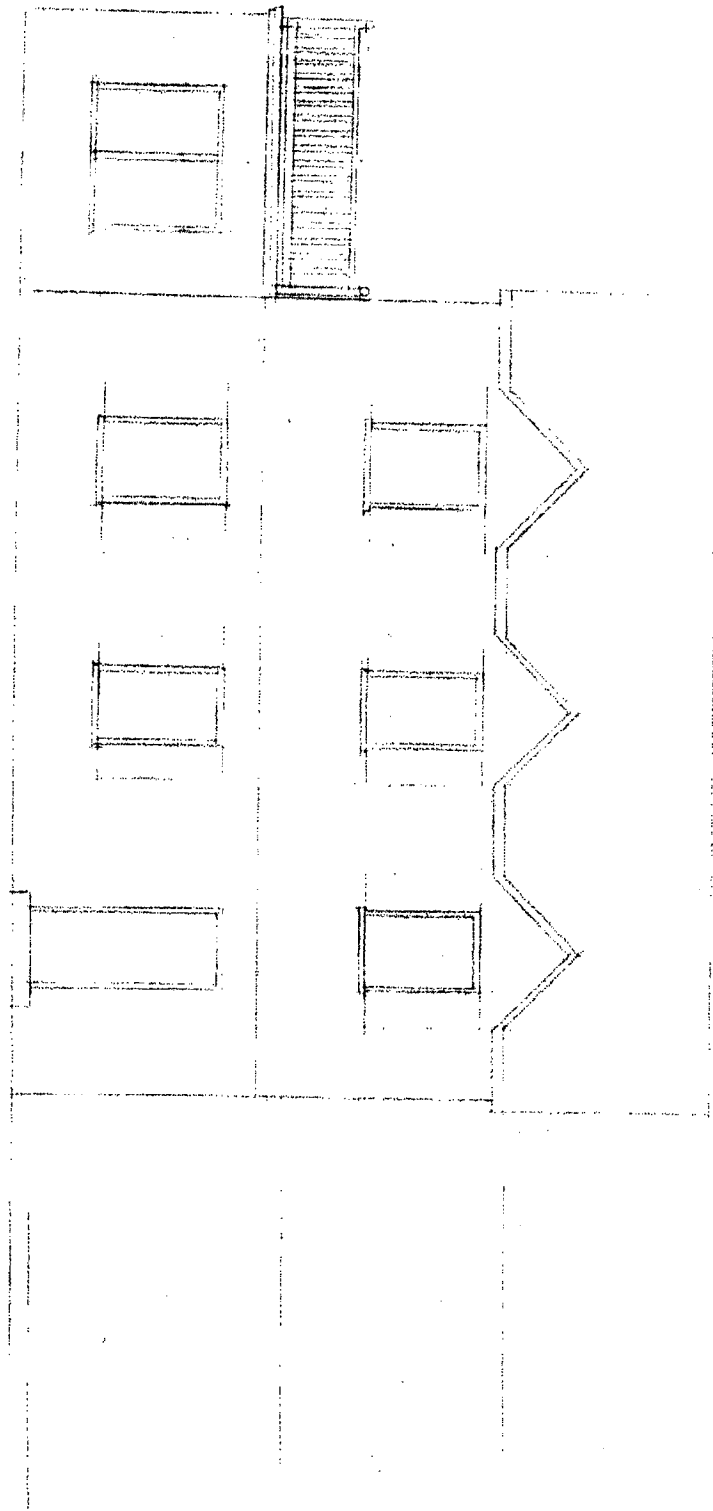


PROPOSED SECOND FLOOR SCALE 1/4" = 1'-0"

North

01

FRONT ELEVATION

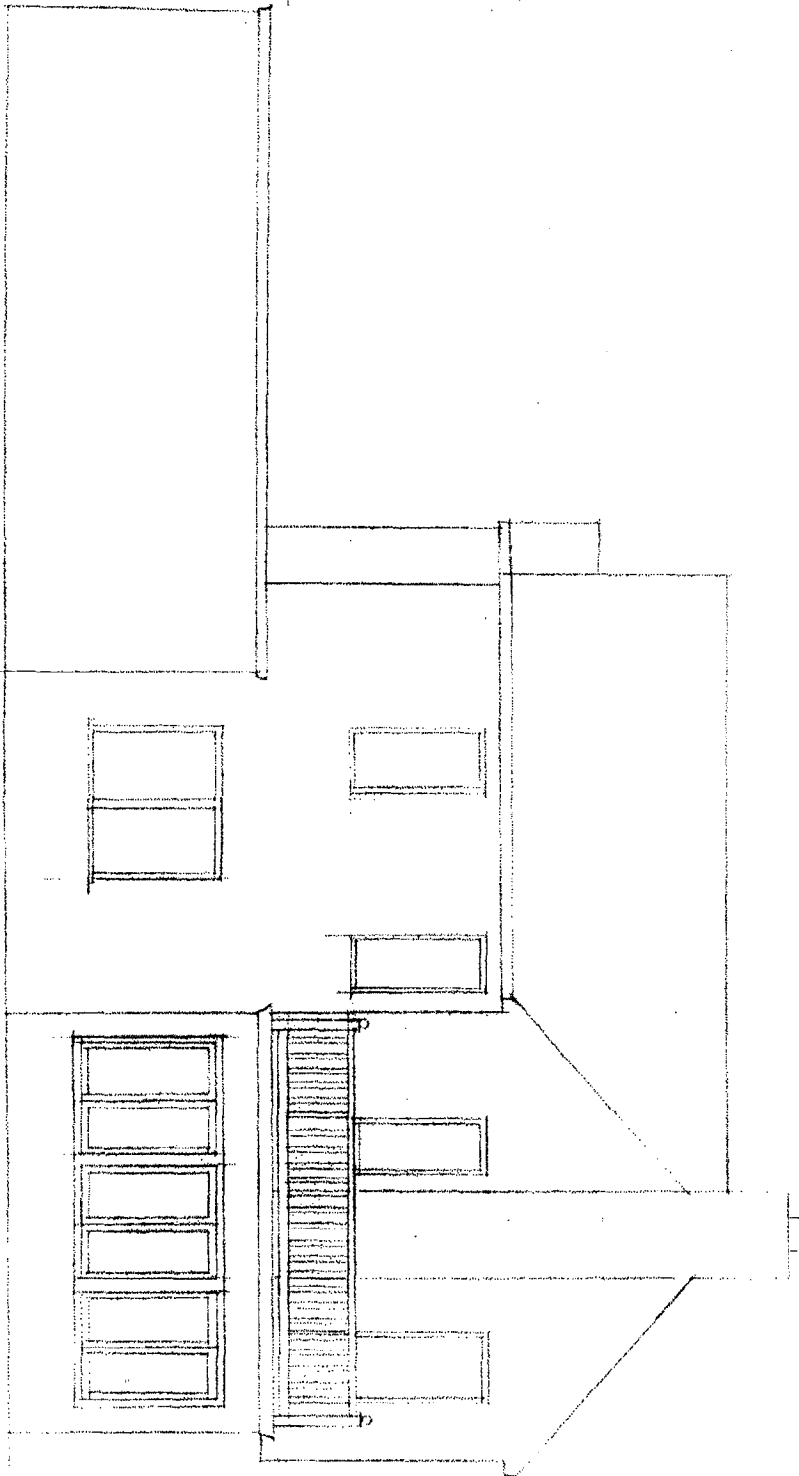




11

EXISTING

EXISTING LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

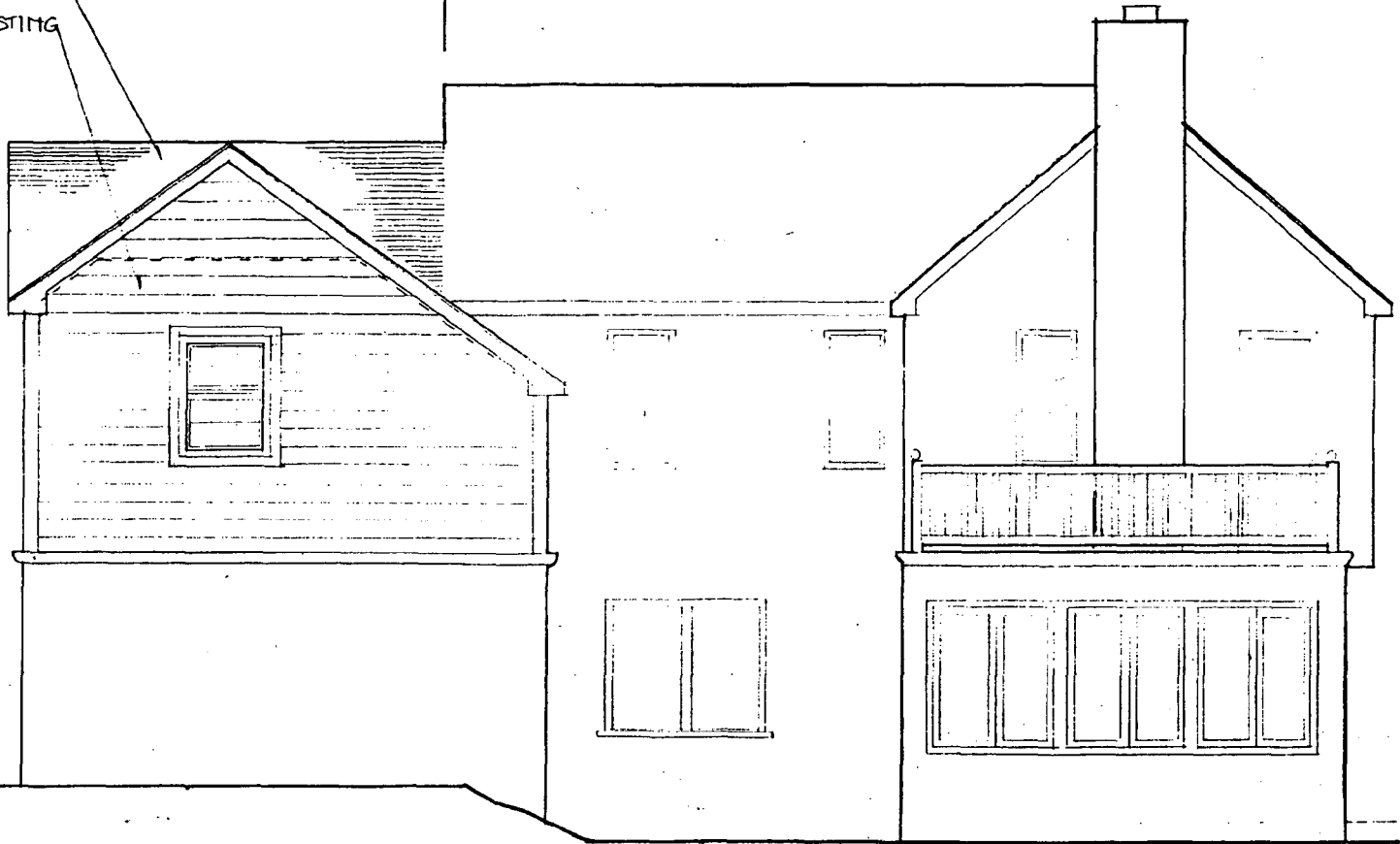


NEW ASPHALT SHINGLE ROOF  
TO MATCH EXISTING

NEW SIDING TO MATCH EXISTING

NEW EXIST.

PROPOSED



PROPOSED LEFT ELEVATION

SCALE

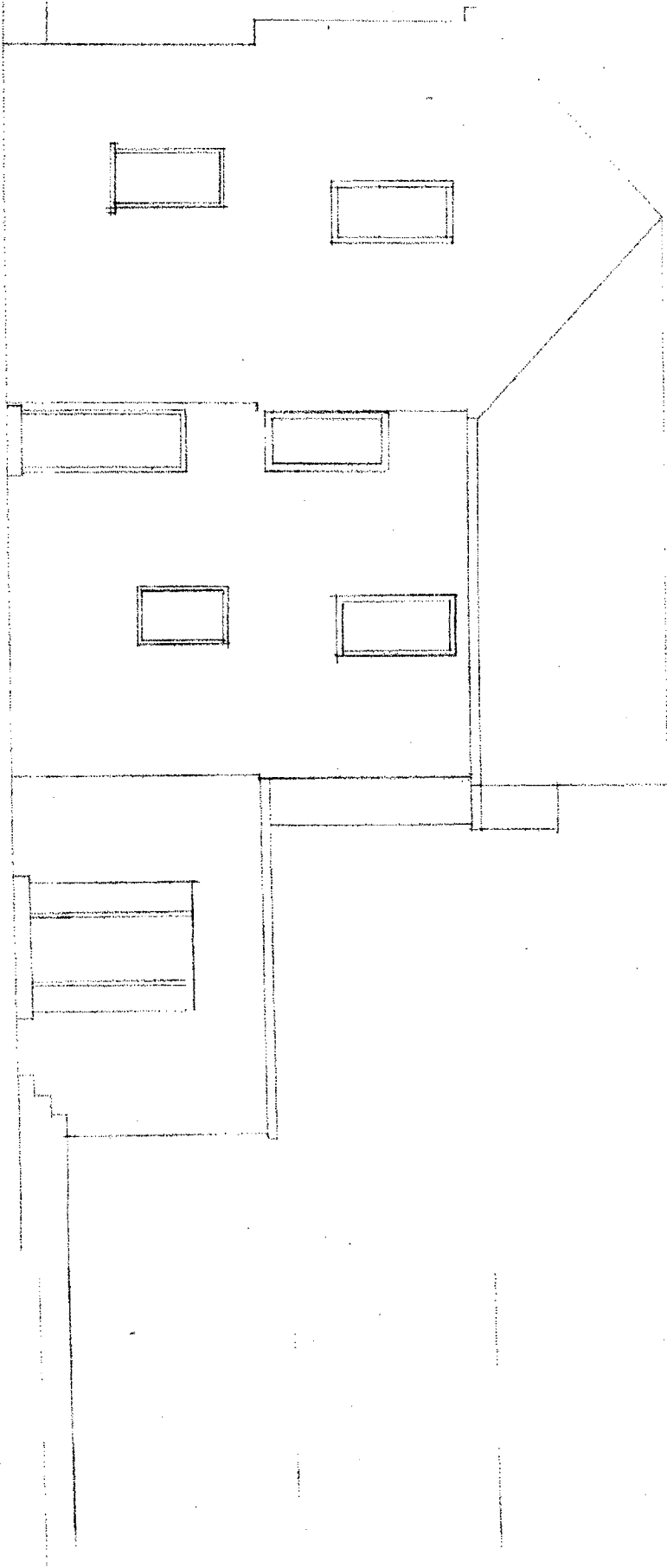
1/4" = 1'-0"

12

13

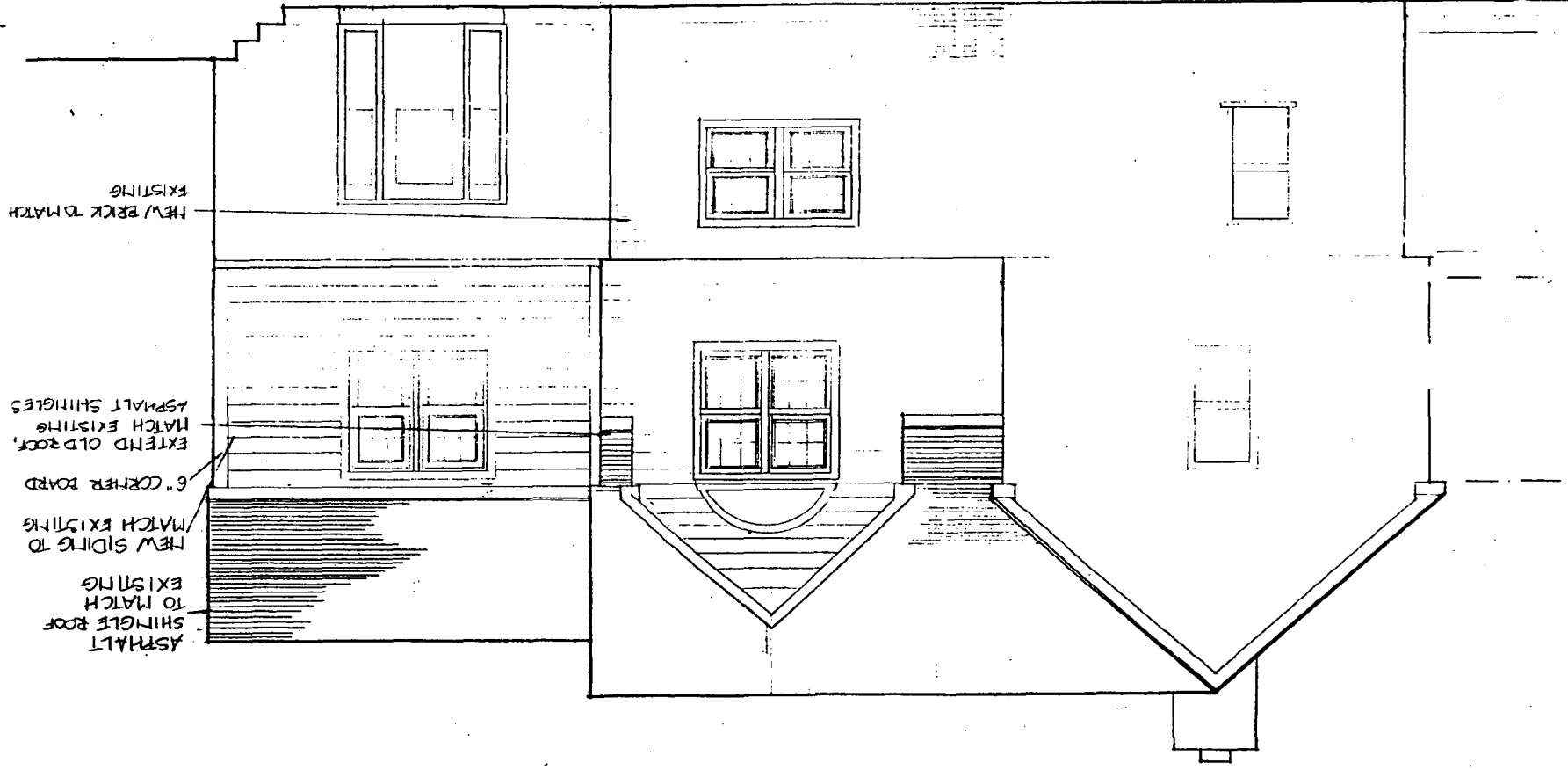
EXISTING

EXISTING RIGHT SIDE ELEVATION  
A.A. 5



PROPOSED (14)

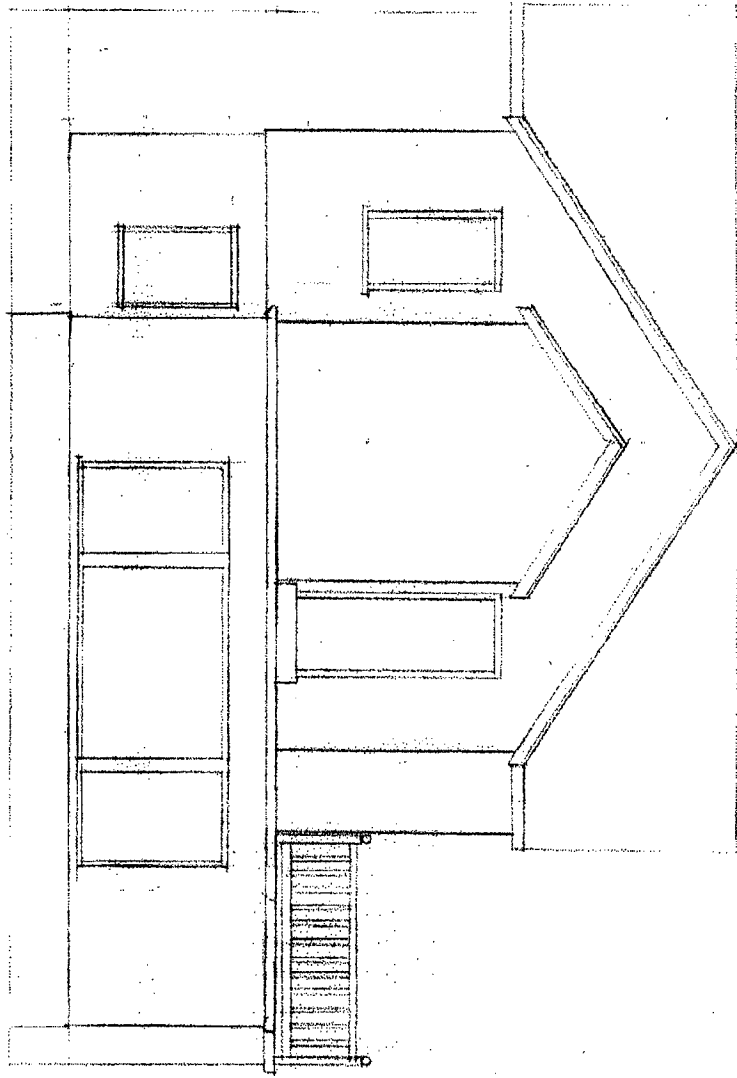
PROPOSED RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



15

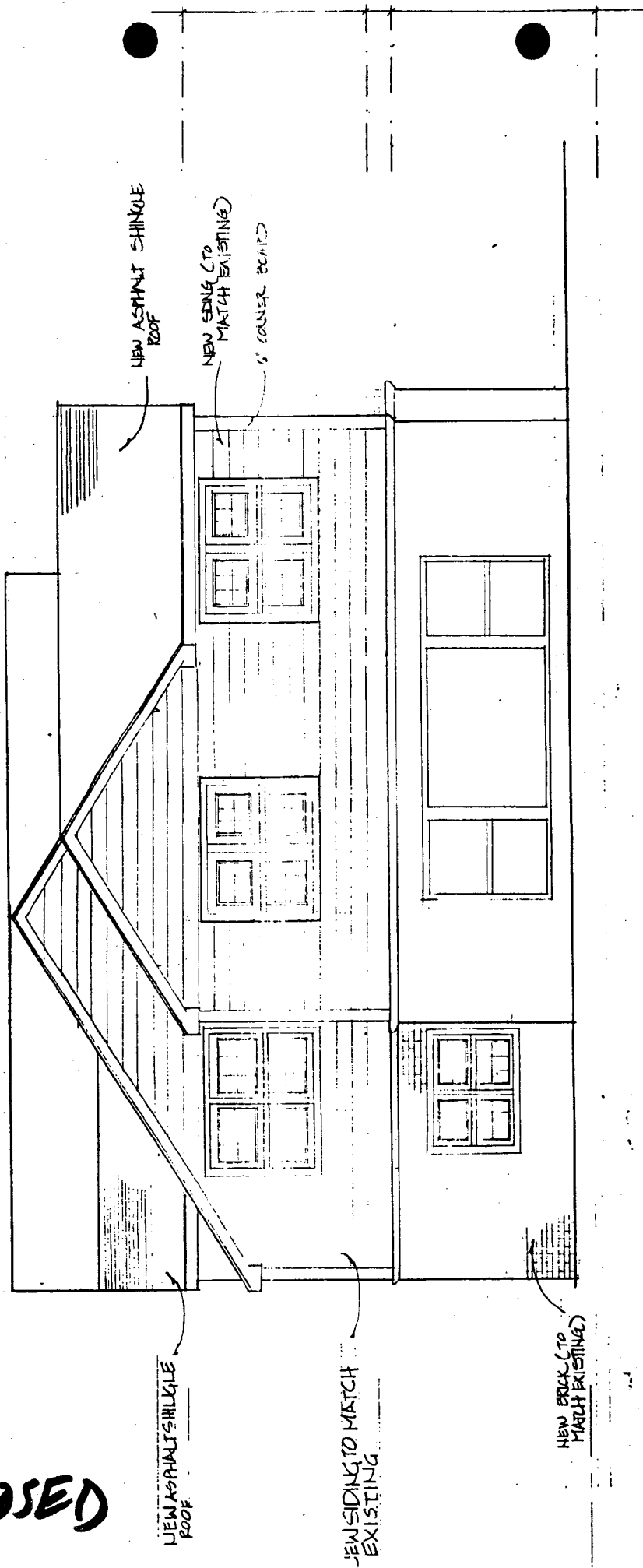
EXISTING

EXISTING REAR ELEVATION  
SCALE 1/4" = 1'-0"





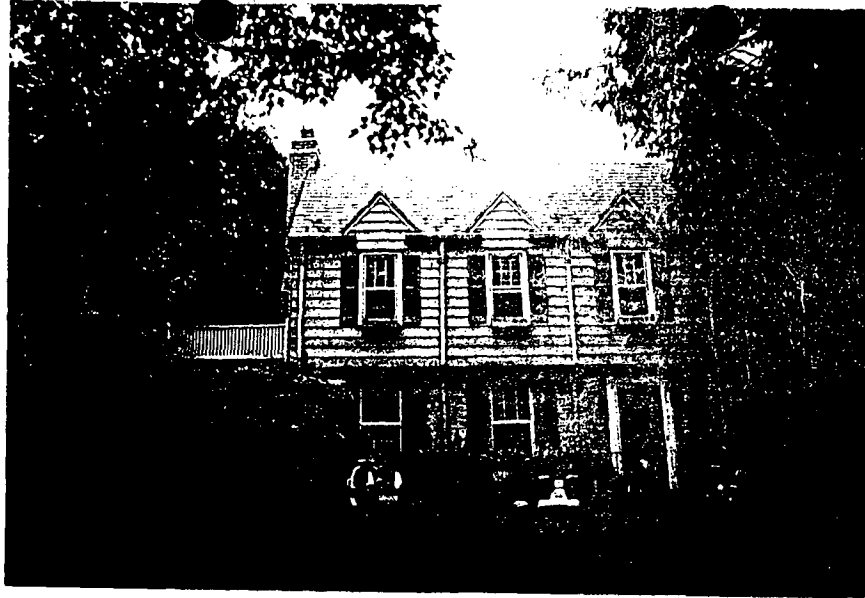
PROPOSED



PROPOSED REAR ELEVATION

SCALE 1/4" = 1'-0"

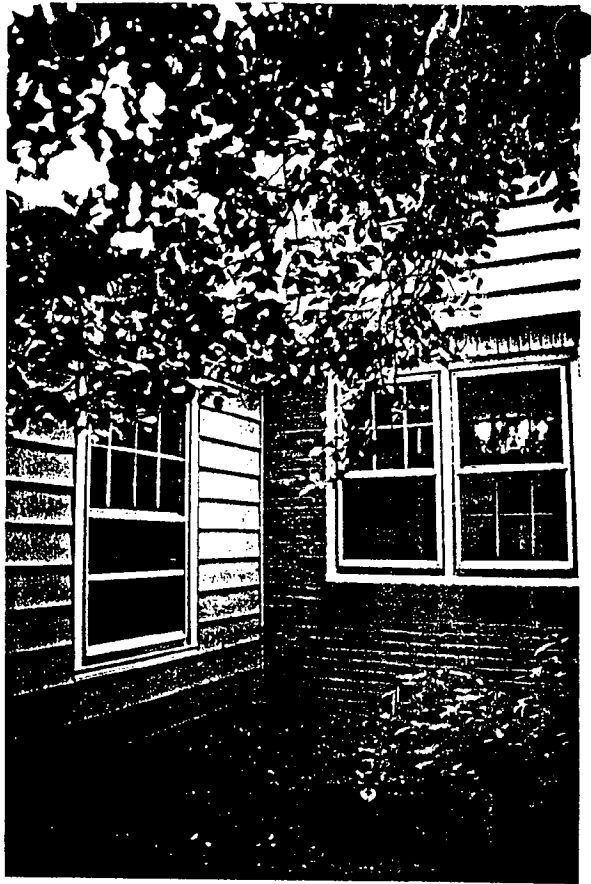
SCALE



FRONT OF HOUSE  
FACING WOODBINE ST.



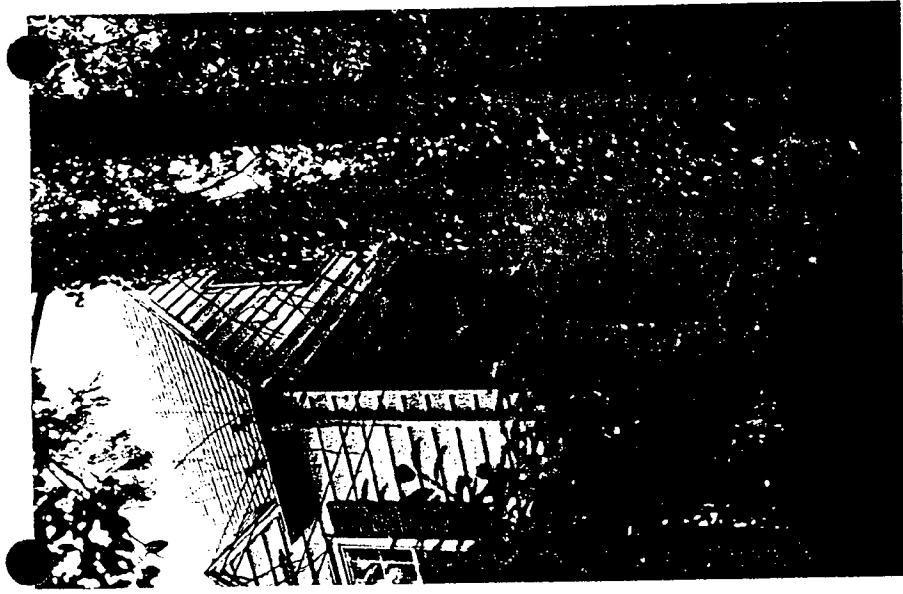
DETAIL OF FRONT OF  
HOUSE



LEFT SIDE ELEVATION



LEFT SIDE ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION

20

REAR ELEVATION



REAR ELEVATION







DETAIL OF REAR ROOF