

#36/2-96A Ron LaDue/Brode LLC
9310 Brookville Road
Linden Historic District
Wolfe House

Waffle House

#3612-96A

9310 Burkville Road

Ron La Due / Partners LLC



DATE: August 15, 1996

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

_____ Approved _____ Denied

X Approved with Conditions: _____

- 1.) Any portions of the original siding which can not be repaired shall be replaced in kind; however, the understanding is that all efforts will be made to retain a majority of original siding.
- 2.) New wood trim shall match existing wood trim in width and profile. If the existing wood trim is not present, the new trim shall be of 4" minimum width.
- 3.) All wood surfaces shall be painted for protection from the elements.

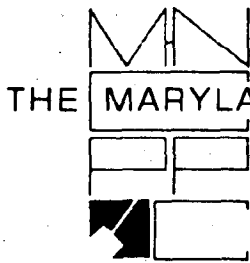
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Edward Schwarz, Ron LaDuc / Brode L.L.C.

Mailing Address: 1370 Piccard Drive; Suite 250; Rockville, Md. 20833

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Property Address: 9310 Brookville Road / Wolfe House
Silver Spring, Md. 20910



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: August 15, 1996

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

**EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 9310 Brookville Road

Meeting Date: 8/14/96

Resource: Linden Historic District

Public Notice: 7/31/96

Case Number: 36/2-96A

Report Date: 8/7/96

Review: HAWP

Tax Credit: Yes

Applicant: Ron LaDue/Brode LLC

Staff: Patricia Parker

DATE OF CONSTRUCTION: ca. 1893

SIGNIFICANCE: Individual Master Plan Site
 Within a Master Plan Historic District
 Outstanding Resource
 Contributing Resource
 Non-Contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: Two and one-half story Queen Anne-style frame house on .91 acres. This structure is specially notable because of its fishscale shingles, a square turret at the front entrance and a partially covered wrap-around porch. The property was in the Wolfe family from the time of its construction until recently.

This property has recently been approved for subdivision into three lots. The Wolfe House will occupy Lot 46 containing 10,268 square feet.

Properties adjacent to the subject property are non-contributing resources. The property confronting 9310 Brookville Road is an open ballfield and modern brick school. Properties immediately at the rear of the subject property are also non-contributing.

PROPOSAL: To remove existing asbestos siding and to repair and replace as required wood clapboard siding and wood trim.

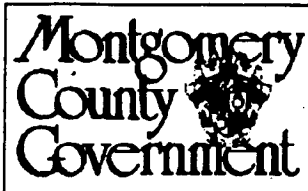
Tree removal is not a part of this proposal. All trees on Lot 46 will be saved, pruned and fed as necessary for improved health and growth. Temporary construction fencing 48" high will be installed around the drip line of trees to prevent damage during construction.

RECOMMENDATION: Approval
 X Approval with conditions:

- 1) Any portions of the original siding which can not be repaired shall be replaced in kind; however, the understanding is that all efforts will be made to retain a majority of original siding.
- 2) New wood trim shall match existing wood trim in width and profile. If the existing wood trim is not present, the new trim shall be of 4" minimum width.
- 3) All wood surfaces shall be painted for protection from the elements.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- X 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Edward Schwarz
 DAYTIME TELEPHONE NO. (301) 840-8388

TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER BRODE LLC DAYTIME TELEPHONE NO. (301) 840-8388
 ADDRESS 1320 PICCARD DRIVE, SUITE 250, ROCKVILLE, MD 20833
CITY STATE ZIP CODE
 CONTRACTOR _____ TELEPHONE NO. () _____
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. () _____

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 9310 STREET BROOKVILLE ROAD
 TOWN/CITY SILVER SPRING NEAREST CROSS STREET MONTGOMERY ST.
 LOT 46 BLOCK _____ SUBDIVISION LINDEN
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other EXTERIOR
 1B. CONSTRUCTION COST ESTIMATE \$ 4,500.00
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER N/A
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches N/A
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Edward Schwarz Member 7-29-96
 Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

QUEEN ANNE (WOLFE HOUSE) VICTORIAN

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVE EXISTING ASBESTOS SIDING; REPAIR
OR REPLACE (WHERE NEEDED) CLAPBOARD SIDING

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the

Montgomery County
Board Education
850 Hungerford Drive
Rockville, MD 20850

Montgomery County
EOB 101 Monroe Street
Rockville, MD 20850

Christopher C. & S.C. Roseman
2116 Linden Lane
Silver Spring, MD 20910

John R. & M. Byrns
9302 Brookville Road
Silver Spring, MD 20910

John H. Boucher
2106 Salisbury Road
Silver Spring, MD 20910

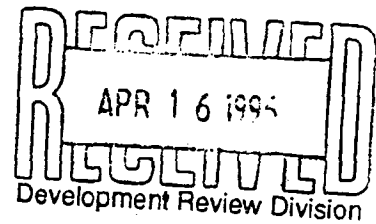
Ruth M. Murphy
2109 Salisbury Road
Silver Spring, MD 20910

James J. & J. Johnson
2118 Linden Lane
Silver Spring, MD 20910

Erik C. Kitagawa et al
2114 Linden Lane
Silver Spring, MD 20910

David B. W.K. Gratz
9316 Brookville Road
Silver Spring, MD 20910

Preliminary Plan # 1-96078
Ron Ladue (325-4715)



TREE PRESERVATION PLAN-LINDEN

All major trees identified on the site plan will be protected, as follows, with the exception of the 54" Locust Tree, the adjacent 12" Oak Tree, and the 12" Blue Spruce Tree. These should be removed.

The 2 Magnolia Trees and the Ginkgo Tree are to be root pruned by trenching a 4" wide trench, 18 inches deep just outside of the drip line of the entire tree cluster. A trencher, such as a "ditch-witch" with sharp teeth will be used. The entire area will be mulched with 3-4 inches of wood chip mulch, or an acceptable equal.

The above trees, as well as the other major trees to be saved, will have a 48 inch high temporary fence erected around the drip line of the trees, in order to prevent any parking of equipment or storage of any materials in this area. The fencing will be maintained for the duration of the construction.

An approved liquid fertilizer will be injected into the root zone of all trees to remain. The type and method will be approved by the consulting arborist.

All trees to remain will be pruned, by acceptable pruning standards, to remove any weak limbs, or any major dead wood. No live limbs will be cut unless deemed to be dangerous or weak. No climbing spurs or gaffs will be used on live trees.

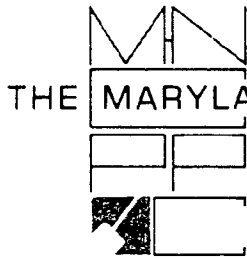
All work will be performed under the supervision of a certified arborist, as defined by the International Society of Arboriculture, and according to acceptable standards to the industry.

Lewis Bloch ASCA #297

Md. Tree Expert Lic. #143

Landscape Architect Lic. #272

Certified Arborist #MA-0094



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

July 31, 1996

Edward Schwarz
BRODE LLC
1370 Piccard Drive Suite 250
Rockville, Maryland 20833

Dear Mr. Schwarz:

Thank you for providing us with a copy of a July 22, 1996 letter from Lew Bloch, a consulting arborist, concerning two evergreen trees on your property located at 9310 Brookville Road. On July 24, 1996, the Historic Preservation Commission met to provide comment on a proposal to construct two new houses and to restore a historic house at 9310 Brookville Road. The commentary on this proposal was offered by the Commissioners as part of a requested preliminary consultation.

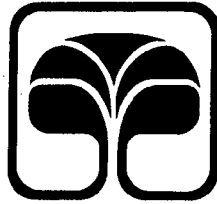
After a careful review of the proposal and consideration of public testimony, the Commission noted for the record that the two evergreen trees growing close to the foundation of the Wolfe House should be removed as part of a maintenance program necessary for the historic house. This work would be excepted from the requirement to obtain an approved Historic Area Work Permit because it would be considered to be ordinary maintenance. The location of the two evergreen trees poses adversity to the structural foundation of the house.

Because the two Viridis Cypress trees, while not dying or sick, are located too close to the house's foundation, it is necessary to remove them. The removal of these two trees should be accomplished with care so that other important landscape specimens are not adversely impacted.

This letter will serve as your approval to remove the two Viridis Cypress trees. You may choose to keep separate expense records documenting this work. This work may qualify for tax credit for the next tax year. You will also need to provide photographs of the trees showing their close proximity to the house foundation and a copy of this letter and the arborist's letter as part of the required documentation. If you have any other questions, please call me at (301)495-4570.

Sincerely,

Patricia E. Hayes Parker
Historic Preservation Planner



Lew Bloch
Consulting Arborist
& Landscape Architect

July 22, 1996

Mr. Ed Schwarz
Shore Properties, LLC
1370 Piccard Dr.
Suite 250
Rockville, 20850

Re:Lindens

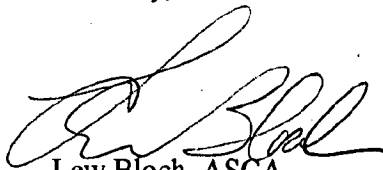
Dear Mr. Schwarz,

As you requested, I inspected the 2 evergreen trees growing close to the old house to be restored. They are Viridis Cypress trees, and whereas they are not dying or sick, they are old trees and will not improve in appearance or vigor. They are too close to the house and may become damaged in the restoration process.

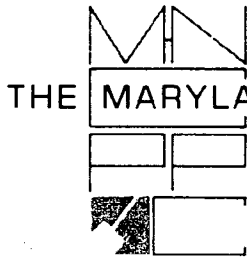
As a landscape architect and consulting arborist, I believe that they do not add to the property either as an aesthetic improvement, or in any functional value.

If you have any questions, do not hesitate to call.

Sincerely,



Lew Bloch, ASCA



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

July 31, 1996

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BRODE LLC
1370 Piccard Drive Suite 250
Rockville, Maryland 20833

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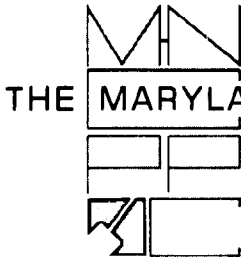
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Sincerely,

Patricia E. Hayes Parker
Historic Preservation Planner



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

July 30, 1996

MEMORANDUM

TO: Mary Quattro, Permits Section
Department of Environmental Protection

FROM: Patricia Parker, Historic Preservation Planner *PP*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Temporary Sign/ 9310 Brookville Road, Silver Spring

The purpose of this memo is to confirm that an approved Historic Area Work Permit is **not required** for the installation of a "For Sale" sign at 9310 Brookville Road in Silver Spring.

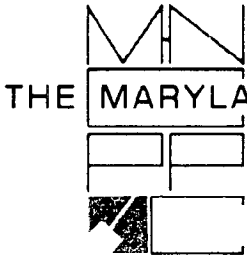
It is our understanding that Ron LaDue/Brode LLC requests permission to install a "For Sale" sign at this property. Although the property is located within the Linden Historic District, Master Plan Site #36/2, Sec. 24A-6(a)3 of Chapter 24A, Preservation of Historic Resources, within the Montgomery County Code requires "... an approved Historic Area Work Permit for any sign or advertisement on the exterior or within the environmental setting of any historic site or any historic resource located within an historic district, ... **with exception of those signs which temporarily advertise for sale an historic site or an historic resource located within an historic district...**" The sign request of Ron LaDue/Brode LLC falls within the category of an exception to the requirement for a HAWP.

Therefore, no review by the Historic Preservation Commission is required. Please issue the required permit in accordance with applicable building codes and ordinances. Thank you.

Post-it® Fax Note	7671	Date	7/30/96	# of pages	1
To	Mary Quattro ✓	From	Pat Parker		
Co./Dept.	DEP	Co.	M-NCPPC		
Phone #		Phone #	(301) 495-4570		
Fax #	(301) 217-6381	Fax #	(301) 495-1307		

Post-it® Fax Note	7671	Date	7/30/96	# of pages	1
To	Ed Schwartz ✓	From	Pat Parker		
Co./Dept.	Brode LLC	Co.	M-NCPPC		
Phone #	(301) 845-8388	Phone #	(301) 495-4570		
Fax #	(301) 840.1318	Fax #	(301) 495-1307		

DEF file



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

July 30, 1996

MEMORANDUM

TO: Mary Quattro, Permits Section
Department of Environmental Protection

FROM: Patricia Parker, Historic Preservation Planner *HP*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Temporary Sign/ 9310 Brookville Road; Silver Spring

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Therefore, no review by the Historic Preservation Commission is required. Please issue the required permit in accordance with applicable building codes and ordinances. Thank you.

Company:

Americas Funding

Attention:

Jennifer

Phone:

Fax:

840-1318

Date:

7.10.96

Size:

38" x 42"

8 poles

Material:

MDG
(Wood)

Material Color:

White

Text Color:

dk. green
black

Quantity:

2
4 poles

Amount:

Total:

Tax:

Grand Total:

Saved As:

Disk:

Call A.S.A.P.
Sent By:

I Understand All Specifications Listed Below and,

OK as is OK with changes 2nd Proof required (limited to 3 proofs)

Approved: *[Signature]*

(Signature)

38" x 42"
3' x 3 1/2'

4x4x8 poles

PICTURE OF HOUSE

COMING SOON

2 - NEW VICTORIAN HOMES
1 - FULLY RENOVATED HISTORIC HOME

FOR MORE INFORMATION CALL:

(301) 309-6613

Company:

P 301-881-7446
F 301-881-7560



SIGNS BY TOMORROW
5552 RANDOLPH ROAD
ROCKVILLE MD. 20852

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9310 Brookeville Road

Meeting Date: 7/24/96

Resource: Linden Historic District

Preliminary Consultation

Case Number: N/A

Tax Credit: Partial

Public Notice: 7/10/96

Report Date: 7/17/96

Applicant: Ron Ladue

Staff: Patricia Parker

PROPOSAL: New construction of 2 houses; Remove
asbestos siding; Tree removal; Install
temporary sign

RECOMMEND: Proceed
with revisions to HAWP

The applicant comes before the HPC to discuss, as a preliminary matter, a proposal to restore a Queen Anne style house built ca. 1893 and to construct two houses at 9310 Brookeville Road in the Linden Historic District, Master Plan Site #36/2. This property is listed as an outstanding resource in the Linden Historic District. The property contains 44,000 square feet and is accessed from Brookeville Road.

The HPC reviewed a subdivision proposal for this property on December 20, 1995. At that time, the applicant requested approval to create five lots, including one lot for the historic house. After receiving all testimony and a careful review of the proposal subdivision, the HPC recommended approval of the proposal with significant revisions. The HPC approved the creation of three lots - including one lot containing 13,341 square feet with the principal entrance to face Brookeville Road; and two additional lots. The two new lots of 13,702 square feet and 16,228 square would have access via a new shared driveway off Salisbury Road. Mature tree specimens would be retained and new construction would be designed to save existing trees.

This proposal focuses on the new construction of two houses on newly created lots. The lot containing the historic house has been reduced to 13,341 square feet. The applicant also wishes to discuss certain elements of the proposed restoration of the Wolfe house to facilitate their construction schedule. A complete proposal for restoration would be included in a formal HAWP to follow this consultation.

The Linden Historic District is characterized by late-19th century and early-20th century frame dwellings representing Gothic Revival, Second Empire, Queen Anne, Colonial Revival and bungalow styles of architecture. Linden was an early railroad suburb in Montgomery County and was platted in 1873. The district has suffered from significant alterations and the intrusion of new construction.

The historic house built by George M. And Mary F. Wolfe is a Queen Anne-style residence with many notable features including fishscale shingles, a square turret to mark the front entrance and a partially covered wrap-around porch. It is remarkable that this property remained in the same family since its construction in 1897. Mr. Wolfe established the Linden

General Store at 2345 Montgomery Street and later moved his business to the Forest Glen General Store in 1912.

The house is a Queen-Anne-style frame structure with a square turret marking the front entrance. The 2-1/2 story structure fronts Brookeville Road and is located between adjacent lots of recently constructed single-family houses. To the east of the property is a one-story ranch house fronting on Brookeville Road, which is not a part of the District.

Across Brookeville Road is a public school of brick construction. To the rear of the historic house, off Salisbury Road, are non-contributing resources. The historic district suffers from lack of cohesion. Many changes took place before the boundaries of the historic district were established and elevated to historic site status.

STAFF DISCUSSION

The applicant has wisely chosen to informally discuss with the HPC the construction of two new houses on the property of an outstanding resource within the Linden Historic District prior to submitting a formal HAWP application. There are several issues which require resolution. The applicant feels that the proposal could benefit from this approach.

In the past, the HPC in reviewing applications for infill construction within a historic district, have focused on issues of size, scale, massing and setback. This application also includes the provision of attached garages for the two new houses. And the issue of proper siting with respect to the historic house is also important.

1) Siting

Staff feels that the applicant has wisely chosen to locate the new houses some distance away from the historic house. The new shared driveway would also be located some distance apart from the historic house. Staff feels that the location for the driveway is good and that the driveway should be constructed using gravel. This approach will offer the retention of significant tree and shrub specimens.

As proposed, one house, to be constructed on Lot 48, would sit on the rise of the land and face the historic house. The two-story house would be lower in height than the historic house and would have a footprint of 1,716 square feet. This footprint is smaller than the historic house. The house proposed for Lot 48 would be oriented toward Salisbury Road with a view to the historic house. Staff feels that this approach is approvable.

The second house would be yet smaller and would be located as close to the east property line as permitted in order to retain spectacular shrub and tree specimens. This house, constructed on Lot 47 would also be two stories and would have a footprint of 1,680 square feet. Lot coverage tabulations would be 16% for the historic house; 13% for Lot 47 and 11% for Lot 48.

The applicant has chosen to orient the front of the house away from Brookeville Road and towards Salisbury Road. Staff feels that this approach to the siting of the proposed house on Lot 47 would be very awkward for the streetscape. Staff would recommend that the front of the house proposed for construction on Lot 47 be oriented to face Brookeville Road and have a setback from Brookeville Road the same as that of the historic house.

2) Size, Scale and massing

Staff feels that it is important that the house on Lot 47 be much smaller in scale than the historic house. The Wolfe House is approximately 2,660 square feet in size. Staff feels that this house should be no larger than 1,600 square feet, be no more than two stories in height and be simple in design and have a footprint no larger than 1,200 square feet. The applicant has incorporated these suggestions in his presentation of Alternative A and B for Lot 47 if approximately 400 square feet (the size of the proposed attached garage) is deducted from the current proposal. The height of the proposed house would be about 30-1/2 feet at the ridge line of the roof. The height of the Wolfe House is 48 feet at the top of the turret and 36-1/2 feet at the top of the gable.

Staff also feels that the house on Lot 48 could be approved if the attached garage is eliminated. As proposed, the house is approximately 1,716 square feet in overall size. If the attached garage is deducted from the proposal, then the footprint of the proposed house would be approximately 1,300 square feet.

The design of the two new houses should be simple and lack substantial ornamentation. Once the historic house is restored, the built simplicity of the new houses would accentuate the significant details of the historic house. This simplicity could be achieved through the singularity of chosen materials. Staff feels that the new houses should be of frame construction and simple in detail.

Staff also felt that the two new houses should be similar in construction. This approach would further emphasize intended simplicity of design and form a composition for the three houses within close proximity of one another. The applicant has submitted two alternatives for the house on Lot 47. Alternative A is a two story house without the second story recessed porch of Alternative B. In both instances the houses would have an attached garage. Staff feels that the applicant could proceed to develop the proposed house for Lot 47 using Alternative A.

3) Attached garages

In the past the HPC has not approved attached garages. Examples of these decisions with in-fill projects within historic districts are new construction within Hawkins Lane and Capitol View Park. In these districts the HPC has approved attached garages only in nominal areas of the district surrounded by either nominal or spatial resources. But this proposal involves in-fill construction on the property of an **outstanding resource**. As proposed, the garages would be located so that they are not within public view. Attached garages would also permit retention of more of the flora and significant tree specimens.

Staff feels that the applicant could, however, build smaller houses to permit the construction of separate garages. Or the applicant could choose not to construct a garage for either house on Lot 47 or 48. This issue warrants further discussion by the HPC.

4) Certain restoration activities for the Wolfe House

The applicant proposes to remove asbestos siding from the historic house. This activity would reveal wood clapboard and the applicant would then paint the clapboard for further protection from the elements. Staff feels that the HPC could approve this portion of the proposed and that the applicant should proceed with this activity. With adequate and proper documentation this portion of the proposal could qualify for a Historic Preservation Tax Credit. The applicant should separate receipts and expenses for this portion of the work when application for tax credit is made.

Secondly, the applicant proposes to remove two tree specimens that are located very close to the foundation of the bay window of the historic property. The HPC, in the past has approved HAWP applications to remove trees that could cause damage to the house foundation.

Third, the applicant, at this time. Would like to install a temporary sign advertising the sale of the three houses. Section 24A-6(a)-2 of the Montgomery County Ordinance states that such signs are excepted from the requirement to file a HAWP. Staff would remind the applicant that such signs would be temporary and should be erected with the understanding that the sign would be removed upon sale. Staff does not feel that this portion of the proposal requires HPC comment.

STAFF RECOMMENDATION

The district has already experienced some loss of openness due to new construction. Staff feels that the new houses should be simple in form, remote as possible from the historic house and retain significant tree specimens and flora.

In summary, staff feels that the house proposed for Lot 48 is possible if the concept of an attached garage were eliminated. The house for Lot 47 should utilize Alternative A as an approach. Staff feels that due to the size of the lots and the flora to be retained, the proposal should be revised to delete garages.

Further, the historic house is without a garage. And the property would be less crowded with less mass; and there would also be less alteration to the property. Staff feels in this case that "less is more". Staff also feels that the house on Lot 47 should be oriented to face Brookeville Road with a front setback the same as that of the historic house.

The final revised HAWP submission should include the proposal for restoration of the Wolfe House in addition to fully dimensioned drawings with materials proposed for use indicated. If fencing is a part of this proposal, the fence lines should be indicated. The site plan should indicate the setbacks and placement for each house, including the Wolfe House and any landscape changes.

July 3, 1996

Ms. Pat Parker
Historic Preservation Commission
MNC PPC
8787 Georgia Ave
Silver Spring, MD 20910

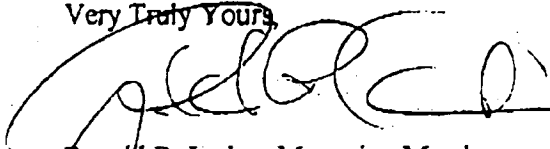
RE: Linden Property
9310 Brookeville Road
Silver Spring, MD 20910

Dear Ms. Parker:

We hereby request inclusion on the agenda for the commission's hearing for July 24, 1996. We wish to do a preliminary consult regarding the siting and construction of two new units on the approved lots adjacent to the historic resource. I will follow up with a site plan and preliminary architectural drawings within the next few days.

Thank you in advance for your timely attention to this request.

Very Truly Yours,



Ronald R. Ladue, Managing Member
BRODE LLC, Owner

FAX TO: Patricia Parker, HPC
FAX: 495-1307 VOICE: 495-4730

Eileen S. McGuckian
11807 Dinwiddie Drive
Rockville, Maryland 20852

July 16, 1996

Ms. Patricia Parker
Historic Preservation Planner
M-NCPPC
8787 Georgia Avenue
Silver Spring, MD 20910

Re: 9310 Brookeville Road
Linden Historic District

Dear Ms. Parker:


I write on behalf of Brode LLC, owners of the subject property, to request that the Montgomery County Historic Preservation Commission enlarge the scope of the project to be considered for Preliminary Consultation at its meeting of July 24, 1996.

Specifically, there are three work items which the owners wish to initiate immediately to benefit the historic property. They are: 1) to remove the asbestos siding from the historic house, 2) to remove two blue spruces which are encroaching on the north side of the house, and 3) to install a temporary "coming soon" (for sale) sign at the foot of the driveway on Brookeville Road to advertise the property. To the HPC meeting, we will bring the report of the arborist and a drawing of the proposed temporary sign to support this request.

The owners understand that they must apply for an Historic Area Work Permit for the above items. This will be done immediately following the HPC meeting. We plan to attend the meeting to answer any questions from the Commission or staff.

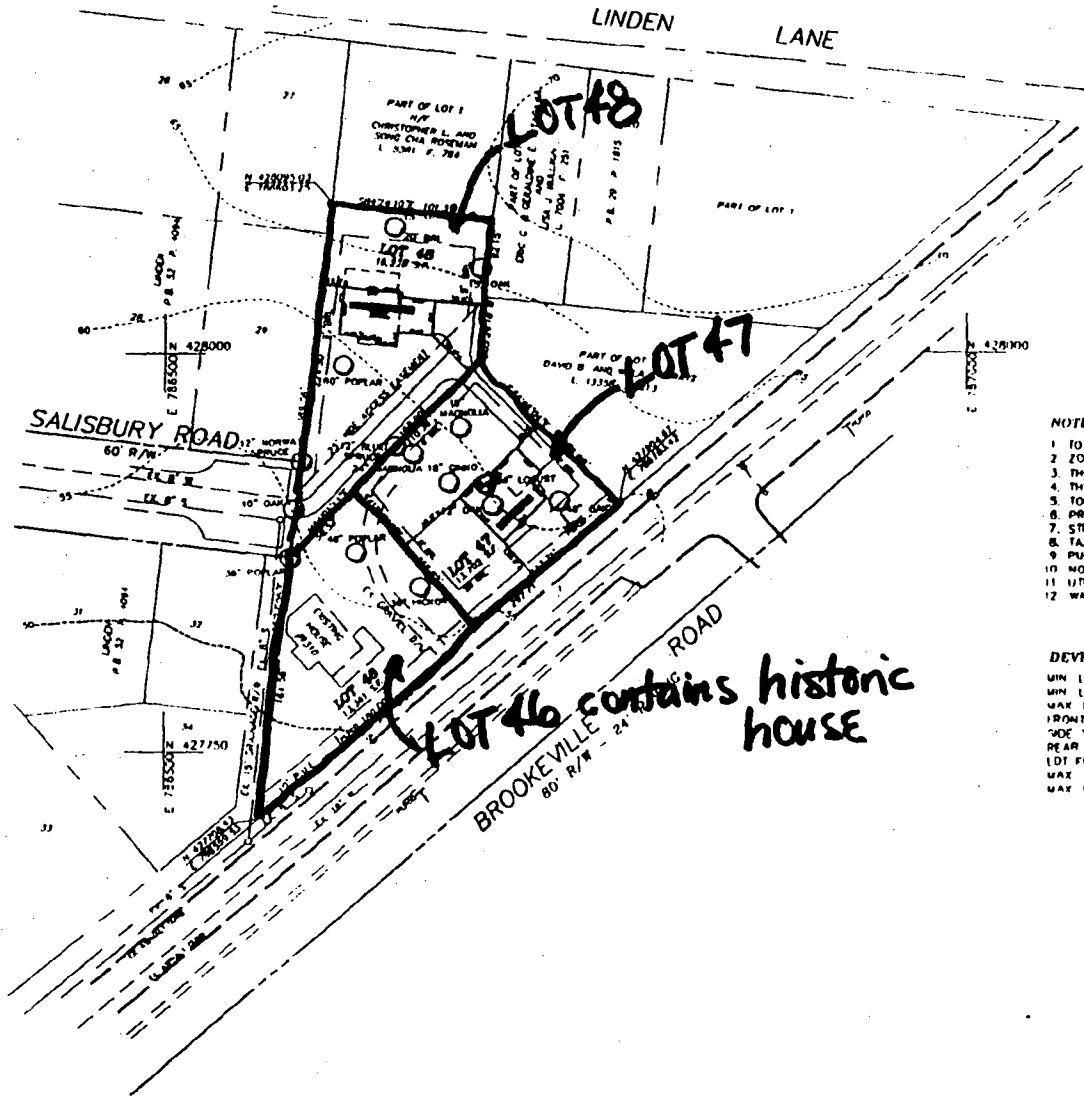
Thank you for your assistance with this request. Also, could you kindly FAX me a copy of the HPC agenda for July 24? (762-0961)

Sincerely,


Eileen McGuckian
Agent for Brode LLC

Enclosures

cc: Ed Schwartz, Ron Ladue, Brian Foster



LOT TABULATION	PROPOSED COVERAGE
LOT 46 - 13,341 SF	1,628 SF. OR 16%
LOT 47 - 13,702 SF	1,680 SF. OR 13%
LOT 48 - 16,228 SF	1,716 SF. OR 11%

- NOTES:
1. TOTAL SITE AREA - 44,000 SF. OR 1.01 AC
 2. ZONING: R-80
 3. THERE ARE NO WETLANDS ON THIS SITE.
 4. THERE IS NO 100 YEAR FLOOD PLAIN ON THIS SITE PER THE FEMA MAP.
 5. TOPOGRAPHY: 5' INTERVAL, M.N.C.P. & P.C.
 6. PROPOSED USE: SINGLE FAMILY DETACHED
 7. STREET MAP: 38-E1
 8. TAX MAP: JP-121
 9. PUBLIC WATER AND SEWER
 10. NO SPECIAL TAXWD DISTRICT
 11. UTILITY COMPANIES - PERCO, CAP, WASHINGTON GAS
 12. WATERSHED - ROCK CREEK

- DEVELOPMENT STANDARDS
- MIN LOT SIZE ALLOWED - 6,000 SF
 - MIN LOT SIZE PROPOSED - 10,349 SF
 - MAX LOT COVERAGE ALLOWED - 35%
 - FRONT YARD SETBACK - 25'
 - SIDE YARD SETBACK - 10'/M
 - REAR YARD SETBACK - 20'
 - LOT FRONTAGE 25' @ 5' RIT, 60' @ FRONT BUILDING LINE
 - MAX DENSITY ALLOWED 4.2 DU/ACRE
 - MAX DENSITY PROPOSED 2.9 DU/ACRE

LOT 46 contains historic house

SITE PLAN
 LOTS 46, 47, AND 48
 A RESUBDIVISION OF PART OF LOT-1

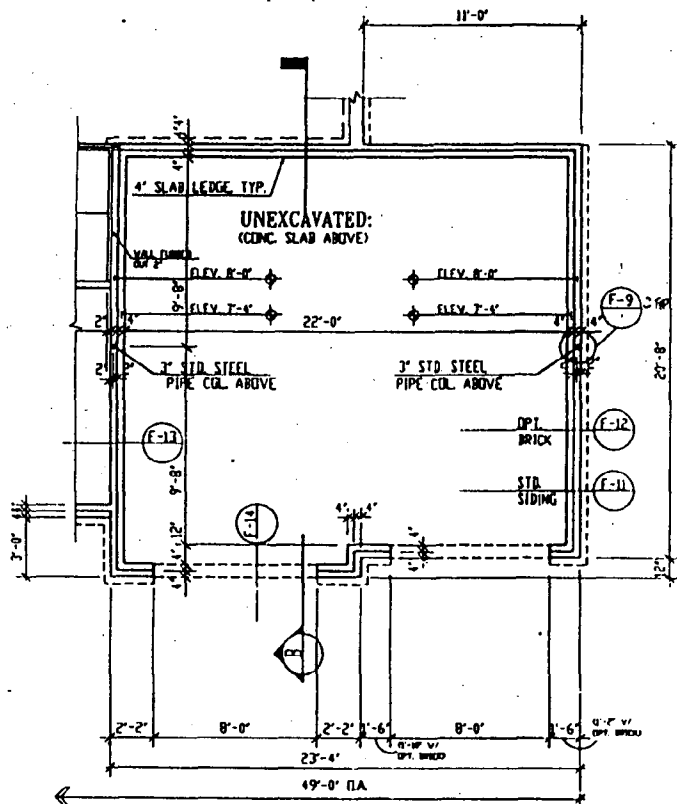
LINDEN

13th ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND

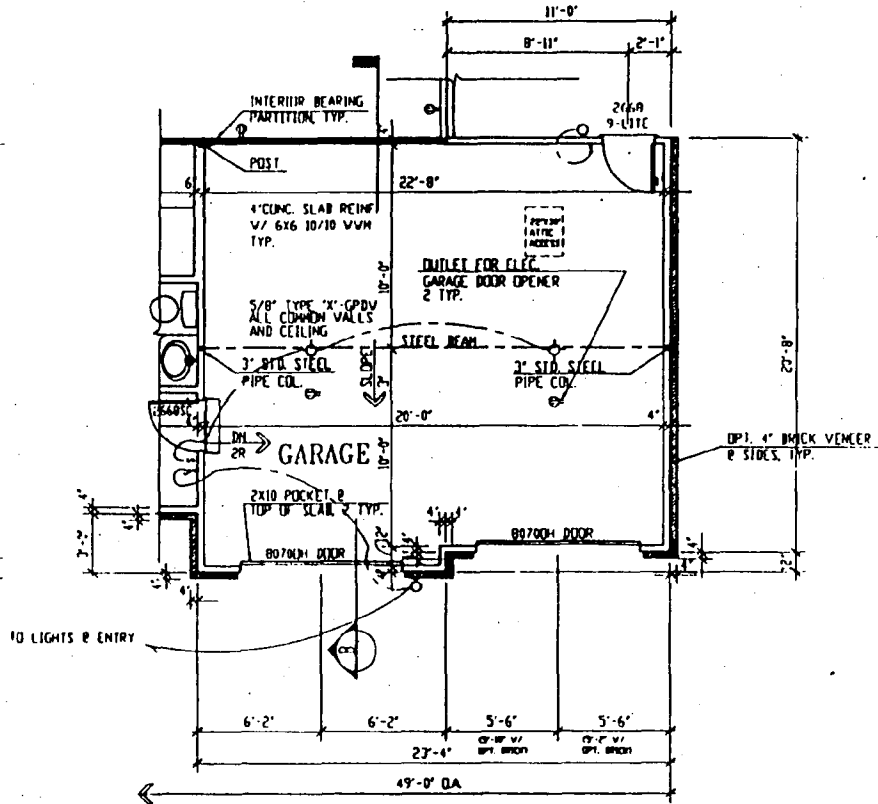
SCALE: 1"=60' JULY, 1999

TECHNICAL INC.
 37 Calverton Drive
 Silver Spring, Maryland 20910
 P. (301) 581-0000

APPLICANT - DEVELOPER
 BRODE L.L.C.
 1170 PCCARD DRIVE SUITE 250
 ROCKVILLE, MD 20850



PARTIAL FOUNDATION/BASEMENT PLAN
 W/OPT. UPPER FLOOR
 "WELLINGTON"
 1/4" = 1'-0"



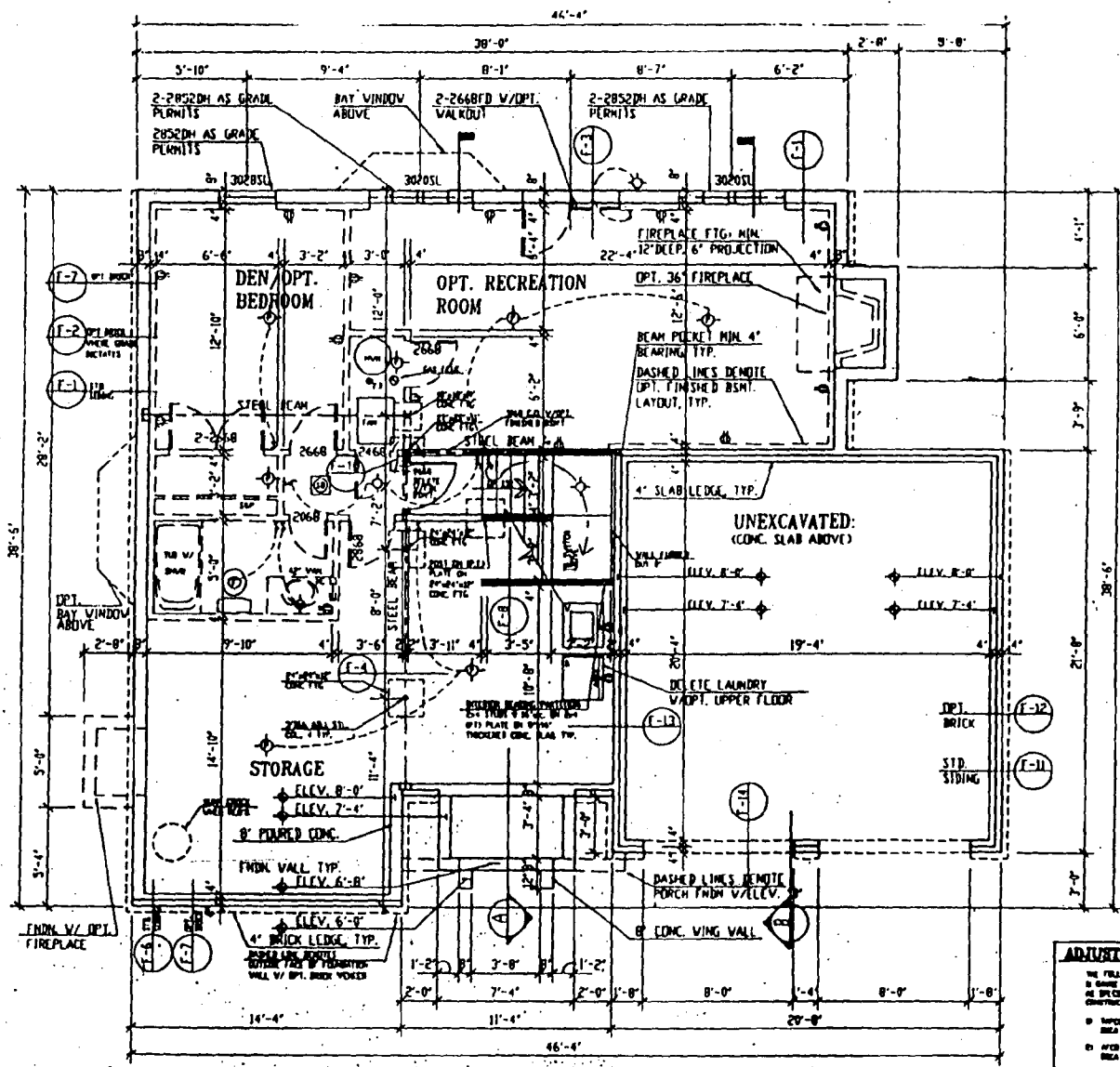
PARTIAL LOWER FLOOR PLAN
 W/OPT. UPPER FLOOR
 "WELLINGTON"
 1/4" = 1'-0"

Lot 47



BCMI - BRIGHTON/WELLINGTON

6



FOUNDATION/BASEMENT PLAN

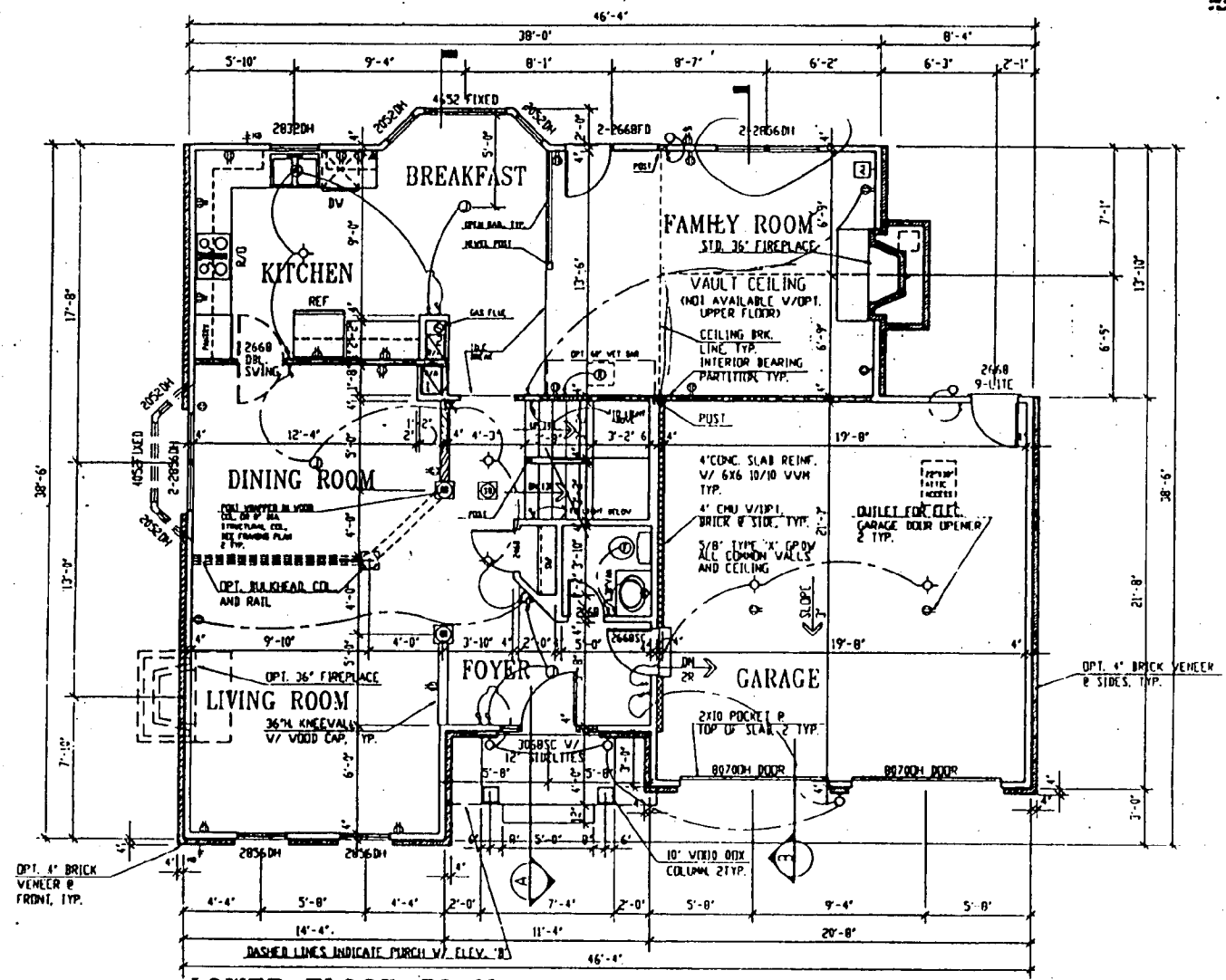
1/4" = 1'-0"

ADJUSTABLE STEEL COLUMNS

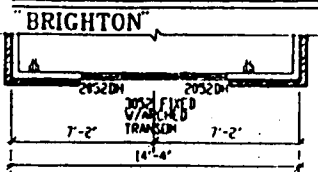
THE FOLLOWING ARE PROVIDED BY BAKER STEEL
 IN SOME ADJUSTABLE STEEL COLUMNS FOR USE
 AS COLUMNS AT 7'-0" MAX. P.N. C.C. * BY PERM.
 STRUCTURE ENGINEER.

- 1) 10"0" - 10"0"0" - BAKER STEEL REPORT 090-09
- 2) 12"0" - 12"0"0" - BAKER STEEL REPORT 090-09
- 3) 14"0" - 14"0"0" - BAKER STEEL REPORT 090-09

Lot 47



LOWER FLOOR PLAN



1116 SQ. FT. LOWER FLOOR
 1997 SQ. FT. TOTAL

W/ELEVATION "A" 1/4" = 1'-0"
 W/STD. UPPER FLOOR
 UNLESS OTHERWISE NOTED SET WINDOW HO MG I R 6'-0" ABOVE SUNFLOOR

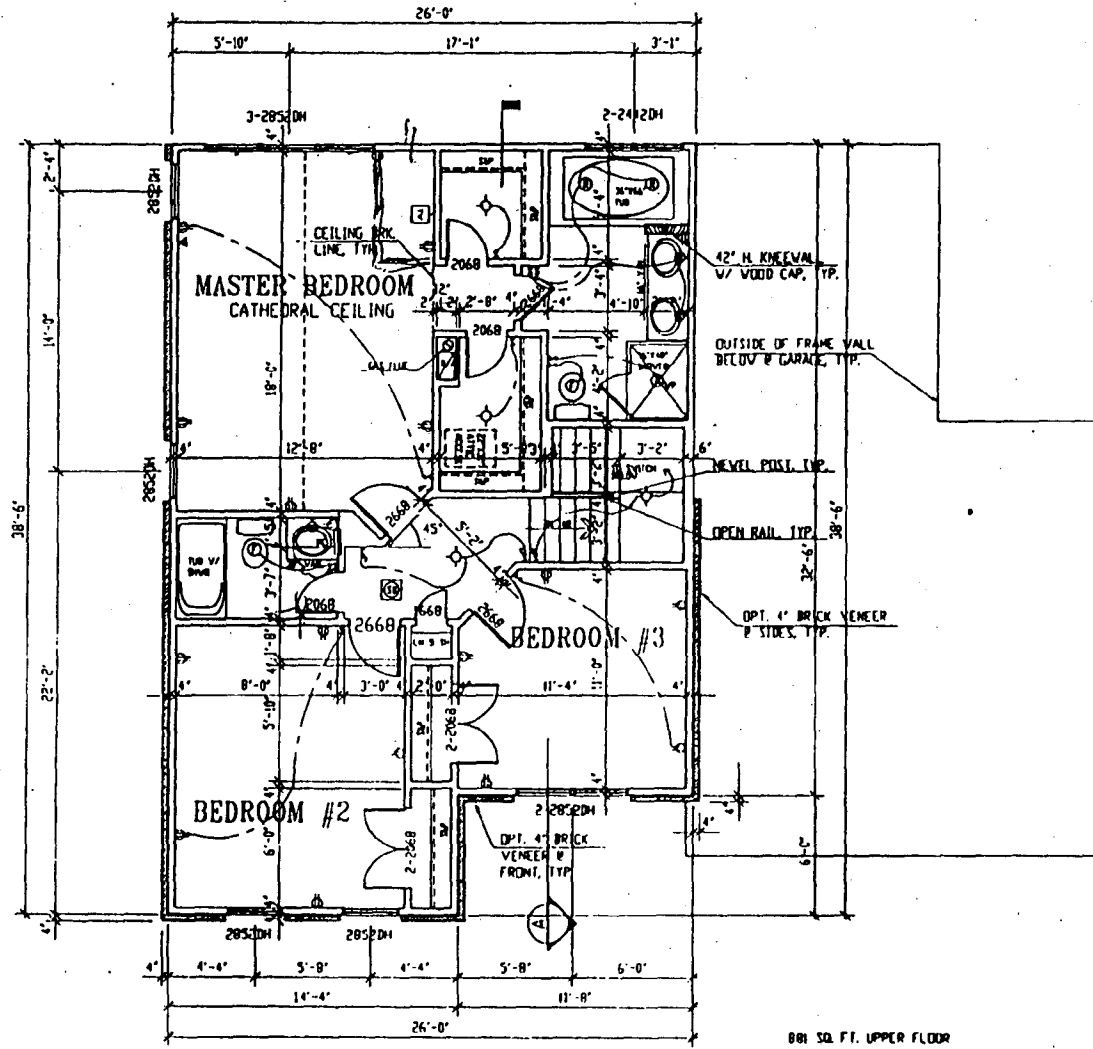
PARTIAL LOWER FLOOR PLAN
 W/ELEVATION "D" 1/4" = 1'-0"



BCMI - BRIGHTON/WELLINGTON

Lot 47

11



UPPER FLOOR PLAN
 "BRIGHTON" UNLESS OTHERWISE NOTED SET WINDOW HEAD HEIGHT @ 6'-8" ABOVE SUBFLOOR 1/4" = 1'-0"



BCMI - BRIGHTON/WELLINGTON

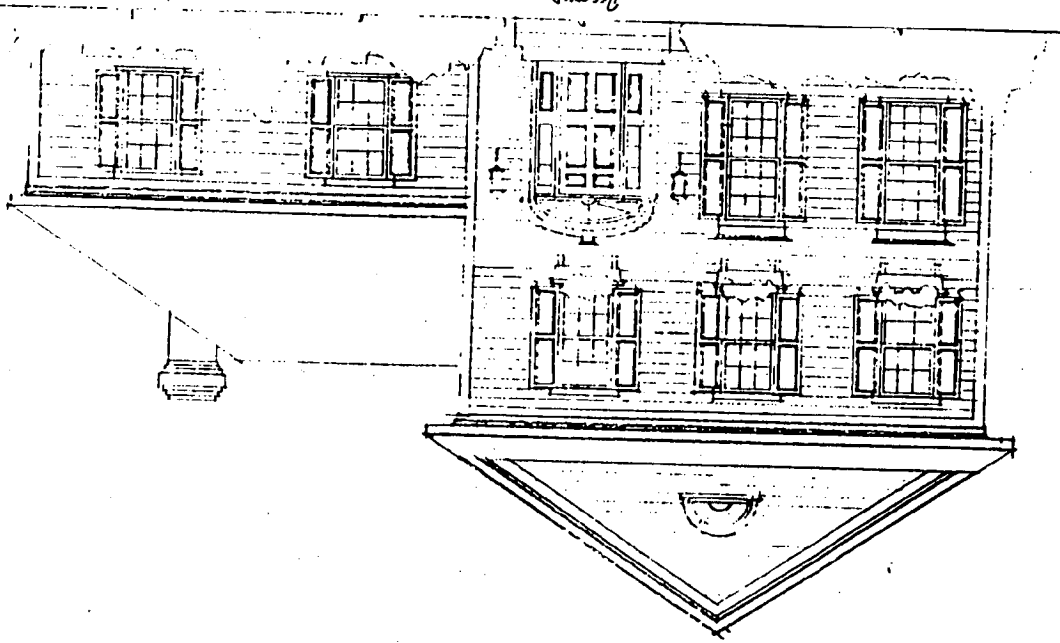
Lot 47

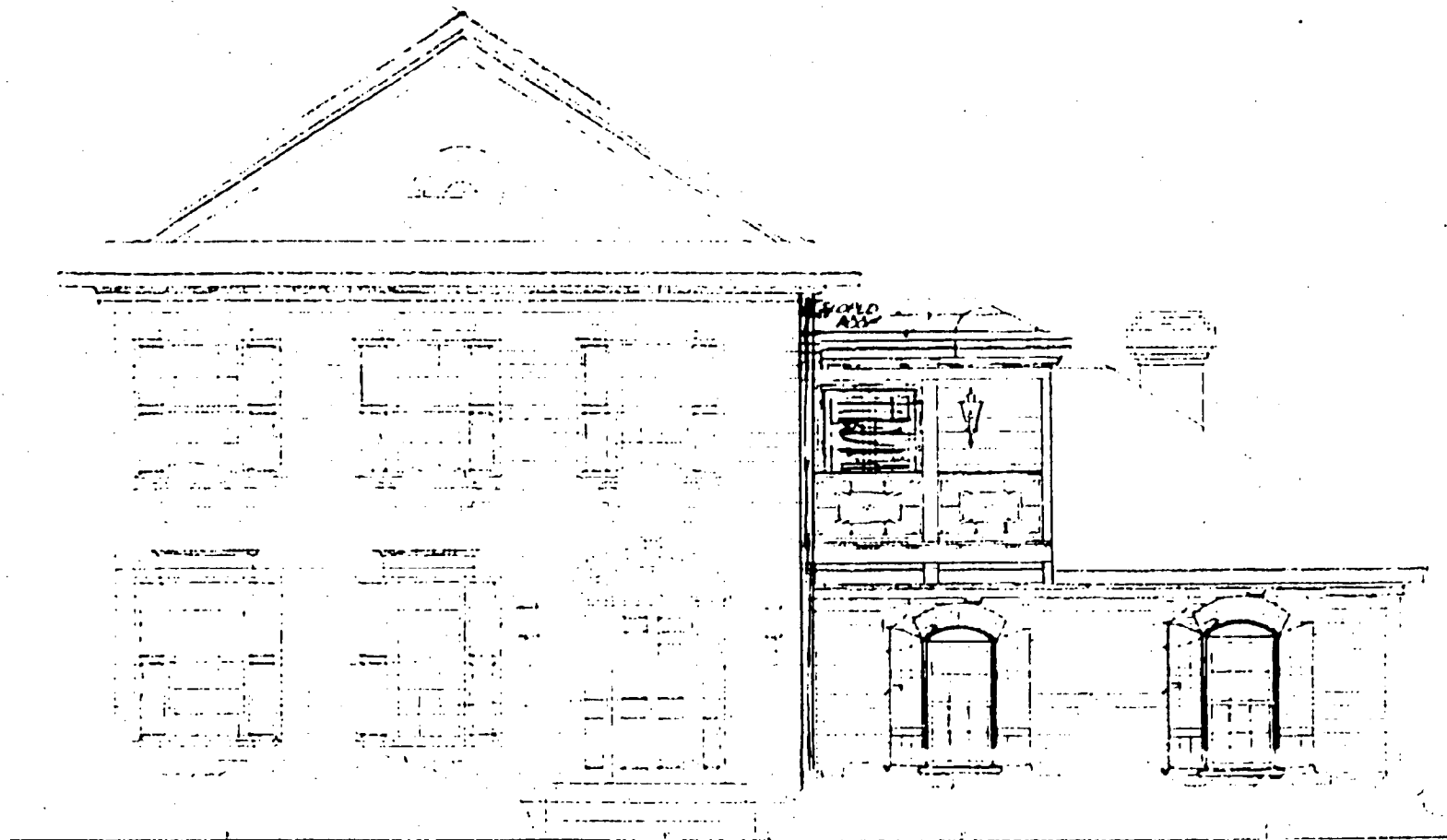
Lot 47

ALTERNATIVE A

CLAUDE C. LAPP
ARCHITECT
11000 PARKVIEW DRIVE, SUITE 100
MCKENZIE, ILL. 60154
312-351-1111

REAR
ELEVATION





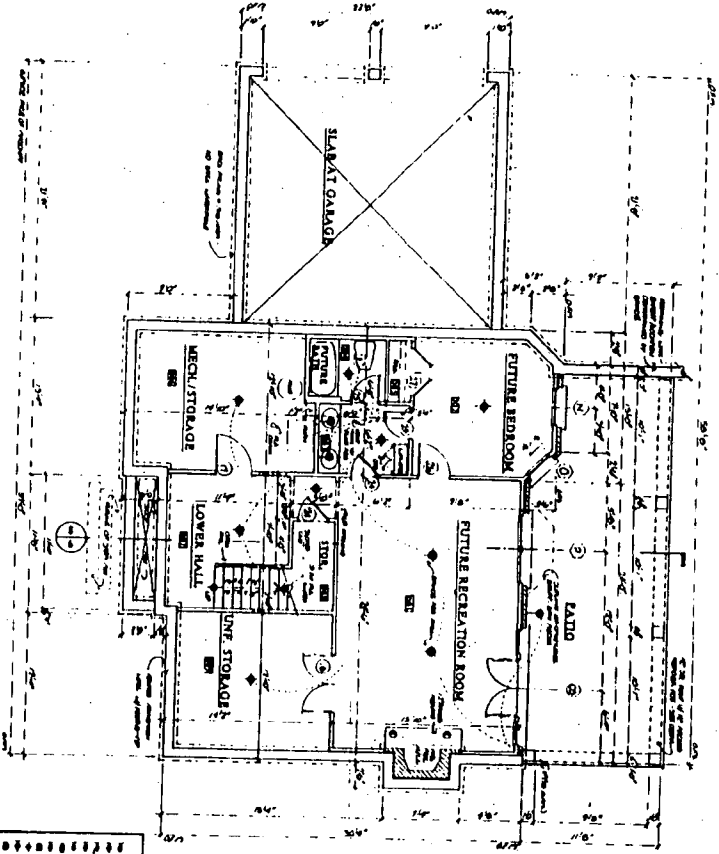
RECESSED
ENTRY

ALTERNATIVE B

CLAUDE C. LAPP
ARCHITECT
11820 PARKLAWN DRIVE, SUITE 100
ROCKVILLE, MD 20850-2579
301 231-5616 FAX 301-231-2100

Lot 47

NOTE: DIMENSIONS AT POINTS OTHER THAN HAVE BEEN ADJUSTED TO REFLECT THE LAYOUT FOR SEVERAL ROOMS AND WERE WATERFALL.



FOUNDATION/BASEMENT LEVEL FLOOR PLAN
 SCALE 1/8" = 1'-0"
 NOTE: USE 2x12 FLOOR SYSTEM - TYPICAL

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE			
2	STEEL			
3	BRICK			
4	GLASS			
5	WOOD			
6	PAINT			
7	PLASTER			
8	CEILING			
9	FLOORING			
10	MECHANICAL			
11	ELECTRICAL			
12	INSULATION			
13	ROOFING			
14	FOUNDATION			
15	FOUNDATION WALL			
16	FOUNDATION FOOTING			
17	FOUNDATION BRACE			
18	FOUNDATION ANCHOR			
19	FOUNDATION REINFORCEMENT			
20	FOUNDATION DRAINAGE			
21	FOUNDATION VENTILATION			
22	FOUNDATION INSULATION			
23	FOUNDATION PROTECTION			
24	FOUNDATION FINISH			
25	FOUNDATION CURB			
26	FOUNDATION CURB			
27	FOUNDATION CURB			
28	FOUNDATION CURB			
29	FOUNDATION CURB			
30	FOUNDATION CURB			

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE			
2	STEEL			
3	BRICK			
4	GLASS			
5	WOOD			
6	PAINT			
7	PLASTER			
8	CEILING			
9	FLOORING			
10	MECHANICAL			
11	ELECTRICAL			
12	INSULATION			
13	ROOFING			
14	FOUNDATION			
15	FOUNDATION WALL			
16	FOUNDATION FOOTING			
17	FOUNDATION BRACE			
18	FOUNDATION ANCHOR			
19	FOUNDATION REINFORCEMENT			
20	FOUNDATION DRAINAGE			
21	FOUNDATION VENTILATION			
22	FOUNDATION INSULATION			
23	FOUNDATION PROTECTION			
24	FOUNDATION FINISH			
25	FOUNDATION CURB			
26	FOUNDATION CURB			
27	FOUNDATION CURB			
28	FOUNDATION CURB			
29	FOUNDATION CURB			
30	FOUNDATION CURB			

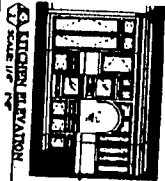
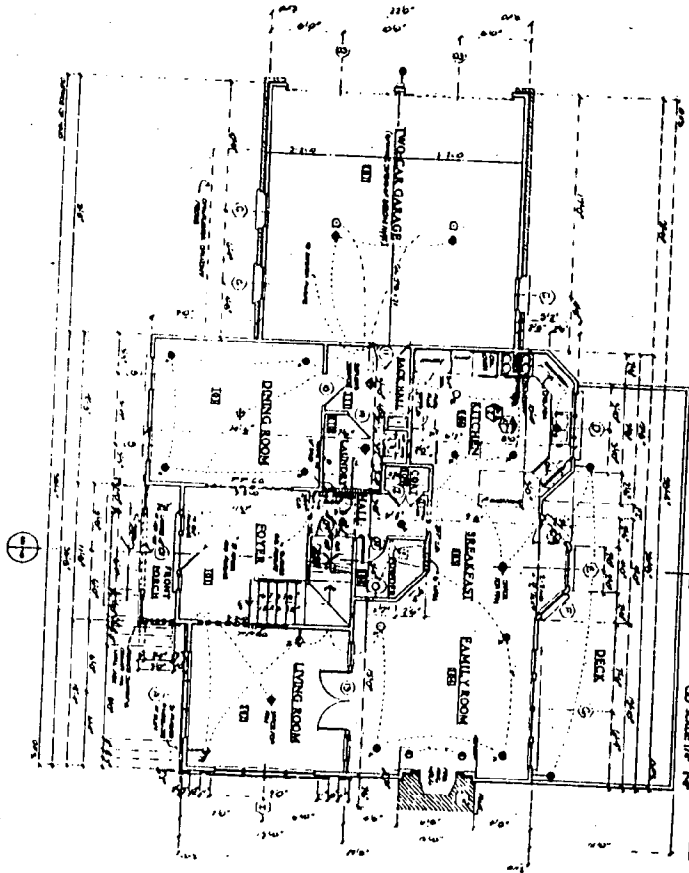
ON DOUBLE LINE
 ON SINGLE LINE
 ON 1/2" SECTION
 ON 3/4" SECTION
 ON 1" SECTION

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE			
2	STEEL			
3	BRICK			
4	GLASS			
5	WOOD			
6	PAINT			
7	PLASTER			
8	CEILING			
9	FLOORING			
10	MECHANICAL			
11	ELECTRICAL			
12	INSULATION			
13	ROOFING			
14	FOUNDATION			
15	FOUNDATION WALL			
16	FOUNDATION FOOTING			
17	FOUNDATION BRACE			
18	FOUNDATION ANCHOR			
19	FOUNDATION REINFORCEMENT			
20	FOUNDATION DRAINAGE			
21	FOUNDATION VENTILATION			
22	FOUNDATION INSULATION			
23	FOUNDATION PROTECTION			
24	FOUNDATION FINISH			
25	FOUNDATION CURB			
26	FOUNDATION CURB			
27	FOUNDATION CURB			
28	FOUNDATION CURB			
29	FOUNDATION CURB			
30	FOUNDATION CURB			

Lot 48

Lot 48

FIRST LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"



FINISH SCHEDULE	
WOOD FLOORING	1/2" x 3/4" x 8'
WALL PAPER	1/2" x 3/4" x 8'
CEILING	1/2" x 3/4" x 8'
DOOR CASES	1/2" x 3/4" x 8'
WINDOW CASES	1/2" x 3/4" x 8'
TRIM	1/2" x 3/4" x 8'
STAIRS	1/2" x 3/4" x 8'
ROOFING	1/2" x 3/4" x 8'
PAINT	1/2" x 3/4" x 8'
GLASS	1/2" x 3/4" x 8'
IRONING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'

MECHANICAL SCHEDULE	
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'

FINISH SCHEDULE	
WOOD FLOORING	1/2" x 3/4" x 8'
WALL PAPER	1/2" x 3/4" x 8'
CEILING	1/2" x 3/4" x 8'
DOOR CASES	1/2" x 3/4" x 8'
WINDOW CASES	1/2" x 3/4" x 8'
TRIM	1/2" x 3/4" x 8'
STAIRS	1/2" x 3/4" x 8'
ROOFING	1/2" x 3/4" x 8'
PAINT	1/2" x 3/4" x 8'
GLASS	1/2" x 3/4" x 8'
IRONING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'

FINISH SCHEDULE	
WOOD FLOORING	1/2" x 3/4" x 8'
WALL PAPER	1/2" x 3/4" x 8'
CEILING	1/2" x 3/4" x 8'
DOOR CASES	1/2" x 3/4" x 8'
WINDOW CASES	1/2" x 3/4" x 8'
TRIM	1/2" x 3/4" x 8'
STAIRS	1/2" x 3/4" x 8'
ROOFING	1/2" x 3/4" x 8'
PAINT	1/2" x 3/4" x 8'
GLASS	1/2" x 3/4" x 8'
IRONING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'
MECHANICAL	1/2" x 3/4" x 8'
ELECTRICAL	1/2" x 3/4" x 8'
PLUMBING	1/2" x 3/4" x 8'

SHEET
OF 2
8

HONEYSUCKLE
HILL
808SC

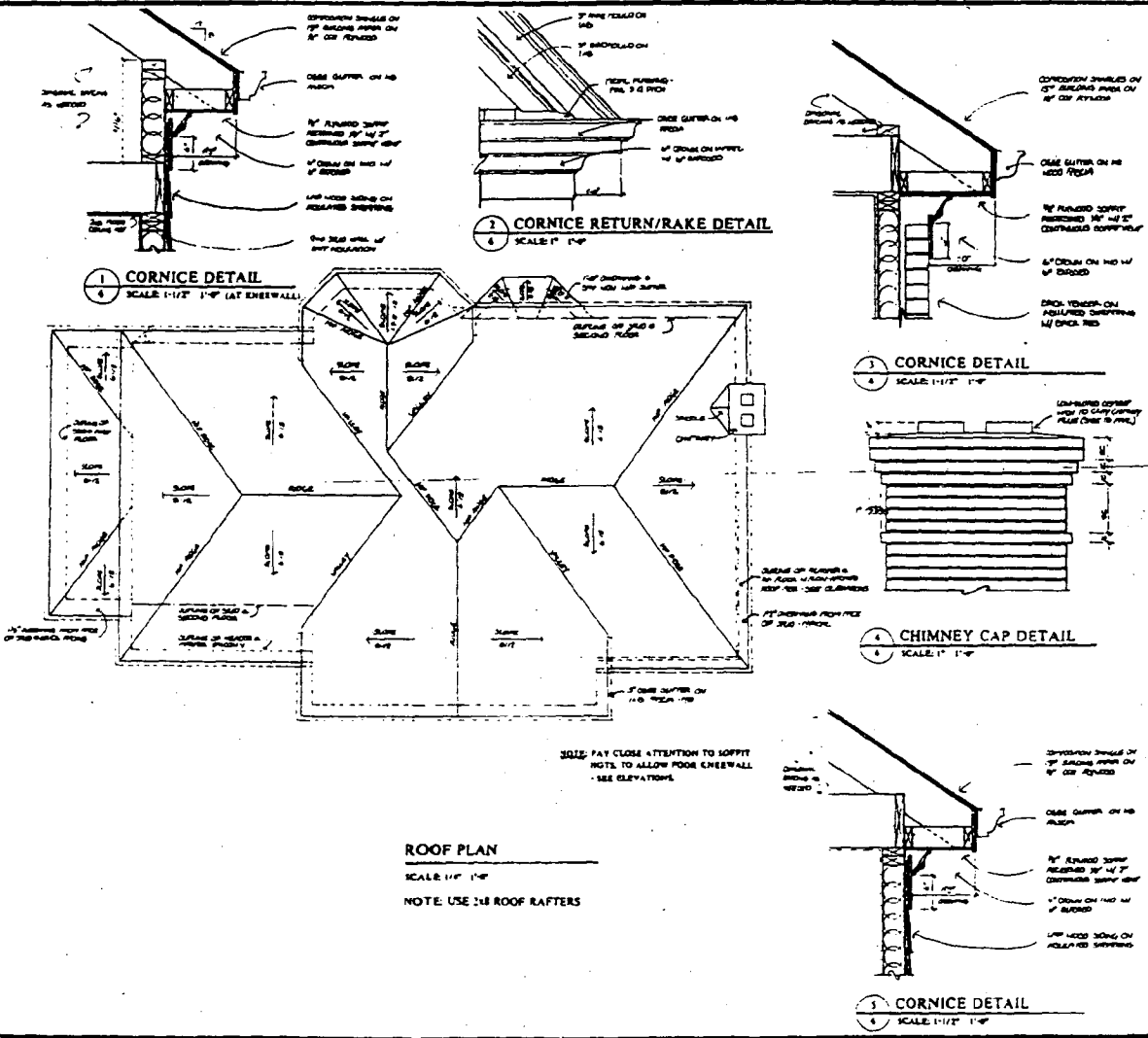
DESIGNED FOR:
Southern Living
PLANS

APPROVED BY:

REVISIONS

THIS PLAN IS THE PROPERTY OF SOUTHERN LIVING PLANS AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SOUTHERN LIVING PLANS.

5



APPROVED BY: _____

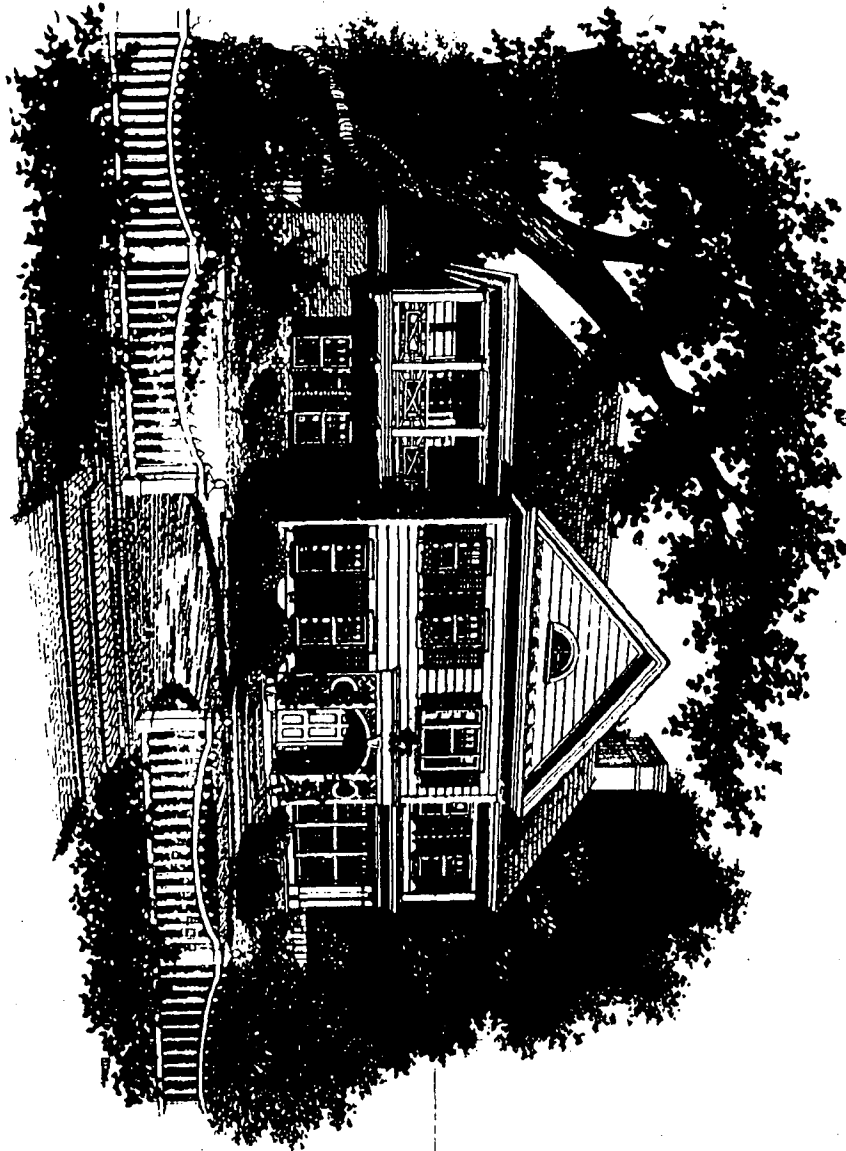
DESIGNED FOR: **Southern Living PLANS**

HONEYSUCKLE HILL

SHEET 4 OF 4

Lot 48





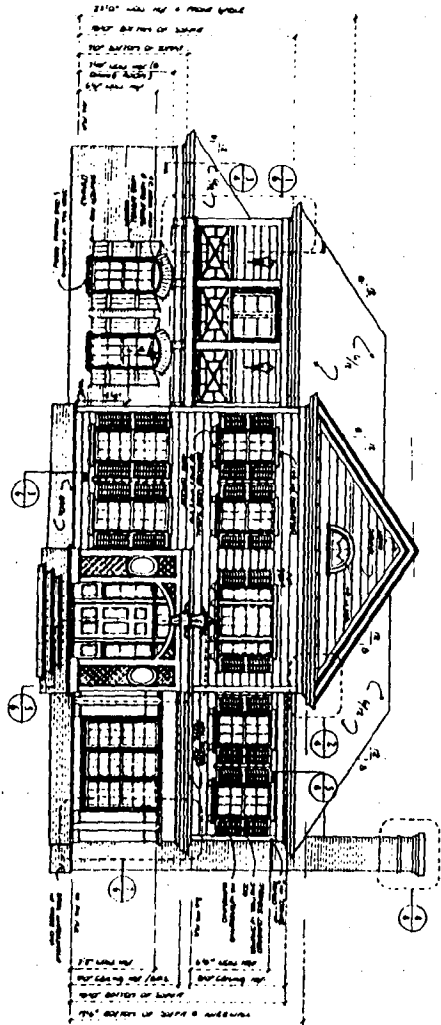
Lot 48

(8)

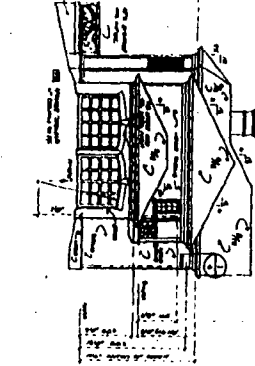
Consists of 16 Sheets	Honeysuckle Hill 808	DESIGNED FOR: Southern Living PLANS <small>THESE PLANS SHOULD BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY THAT THEY MEET ALL LOCAL CODES.</small>	APPROVED BY: REVISIONS
--------------------------	-------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------

Lot 49

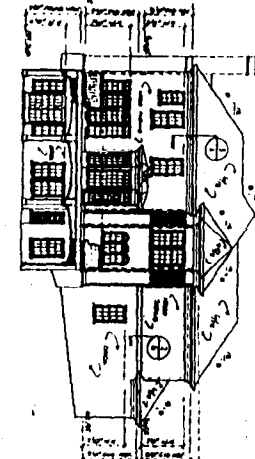
FRONT ELEVATION
SCALE 1/8" = 1'-0"



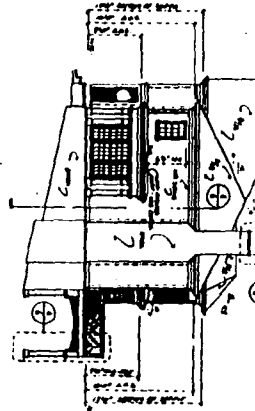
LEFT-SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT-SIDE ELEVATION
SCALE 1/8" = 1'-0"



SHEET
OF 5
8

HONEYSUCKLE
HILL
80850

DESIGNED FOR:
Southern Living
PLANS

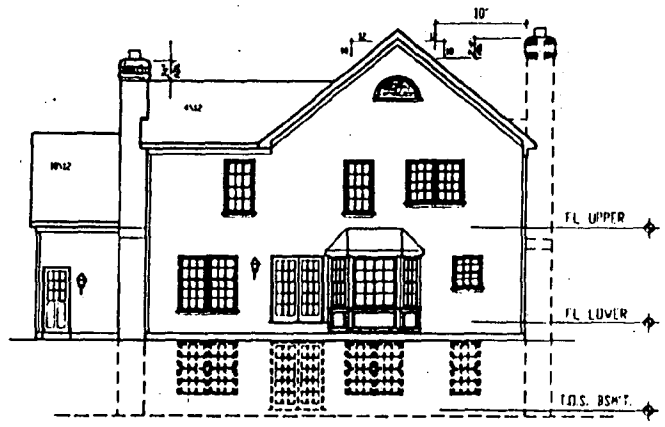
APPROVED BY:

REVISION

THIS DRAWING IS THE PROPERTY OF CADDOHOMES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CADDOHOMES INC.

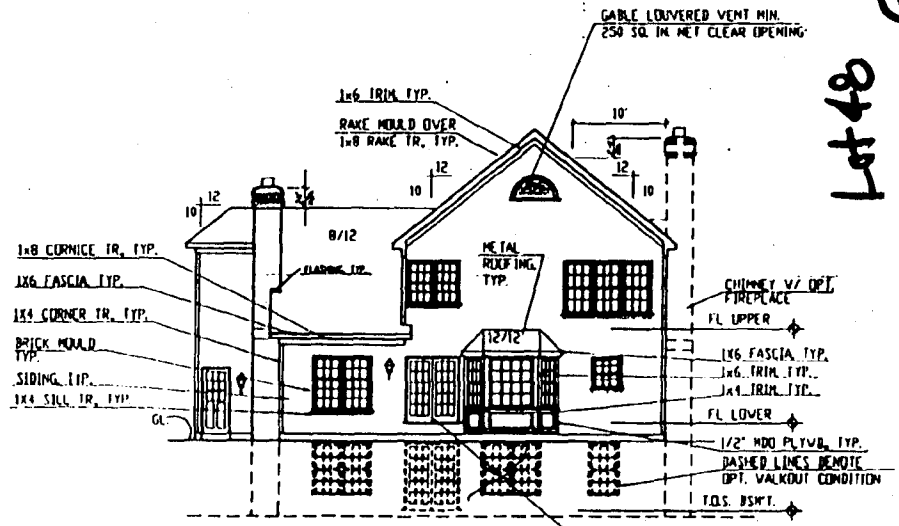
22

Let 48



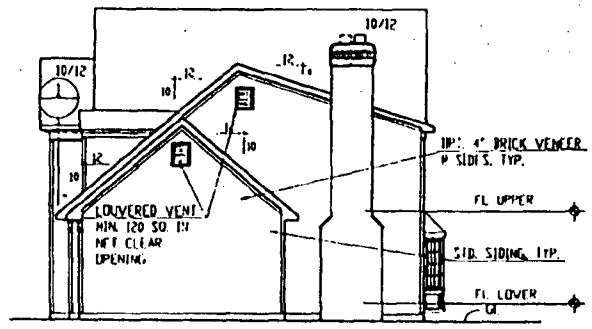
REAR ELEVATION
W/OPT. UPPER FLOOR
"WELLINGTON"

1/8" = 1'-0"



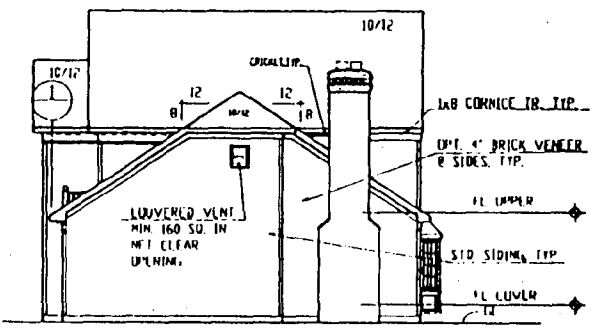
REAR ELEVATION
"BRIGHTON"

1/8" = 1'-0"



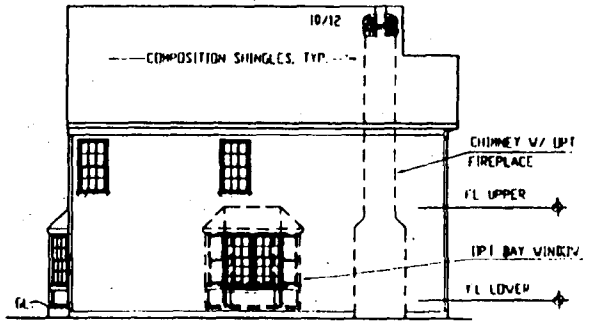
RIGHT SIDE ELEVATION
W/OPT. UPPER FLOOR
"WELLINGTON"

1/8" = 1'-0"



RIGHT SIDE ELEVATION
"BRIGHTON"

1/8" = 1'-0"



LEFT SIDE ELEVATION

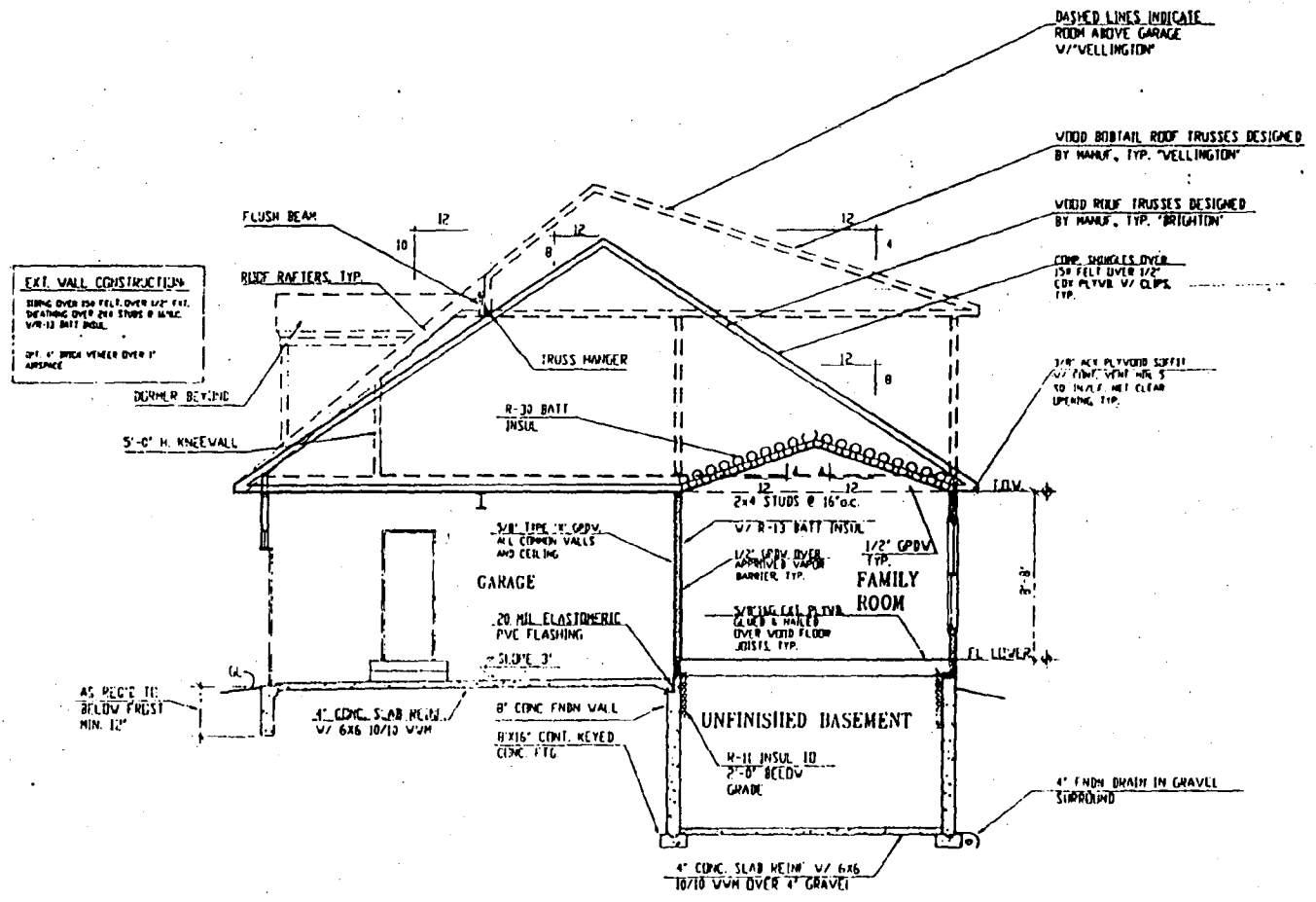
1/8" = 1'-0"



BCMI - BRIGHTON/WELLINGTON

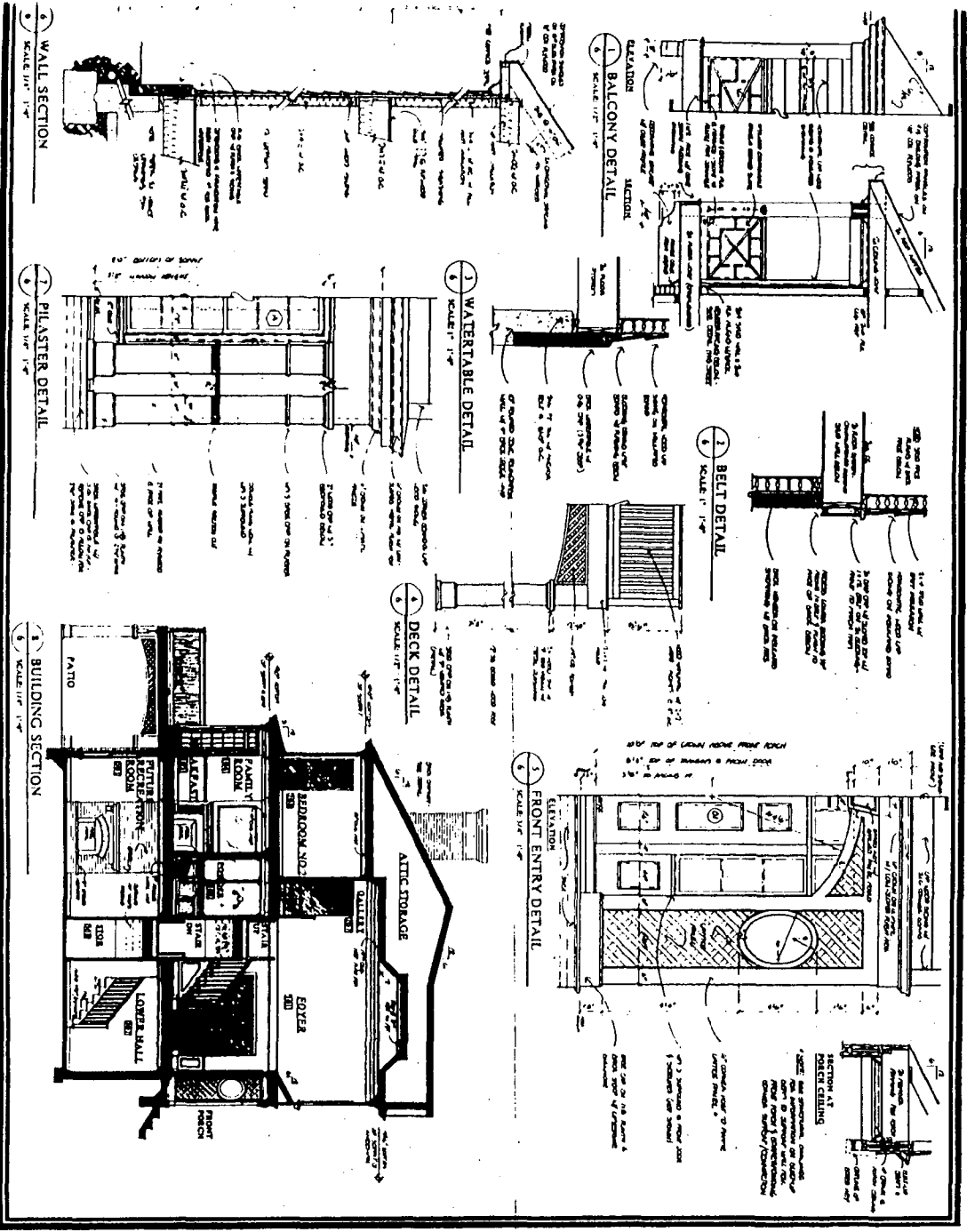
22

Lot 48



BUILDING SECTION B

1/4" = 1'-0"



1st fl

23

SHEET
OF 6
8

HONEYSUCKLE
HILL
808SC

DESIGNED FOR:
**Southern Living
PLANS**

THREE PLANS SHOULD BE REVIEWED BY A LOCAL ARCHITECT
OR ENGINEER TO VERIFY THAT THEY MEET ALL LOCAL CODES

APPROVED BY:

REVISIONS