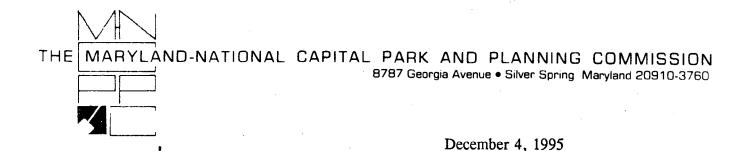
-35/12-95A 8940 Jones Mill Rd. -(Woodend) SLIDES IN
PRELIM CONSULT.
FUE. 9/27/95



Ms. Dana Short Weinstein Associates Architects 1743 Connecticut Avenue, N.W. Washington, DC 20009

Dear Ms. Short:

Thank you for sending over the information about the proposed lighting fixture for Woodend (35/12).

The Historic Preservation Commission, at its 10/25/95 meeting, reviewed general lighting ideas which you presented, and they instructed staff to work with you on the specific choice of a lighting fixture. The proposed lighting fixture is in line with the proposal which was reviewed before the HPC, and therefore, staff can approve of the use of this fixture, which measures 12.5" x 24.5".

This letter serves as your approval to use the light fixture by Forecast, with the bronze finish and the clear glass cover.

Thank you very much for consulting with us. We are looking forward to the completion of the project. If I can be of further assistance, please do not hesitate to call me at (301) 495-4570.

Sincerely,

Robin D. Ziek

Historic Preservation Planner

cc: Audubon Society

### Weinstein Associates Architects

1743 Connecticut Avenue, NW, Washington, DC 20009 202.232.2400 Fax 202.328.7034

878 511 Date: 12	OF GEO DEK S NOVEN	RGIA F PRING 1BER 1	From DANA SHORT WATTON COMMISSION FUE MO 20910 1995 VIO: MAIL ATURAUST GOCIETY - WOODEND
Quantity:	Drawing No:	Dated:	Description:
			XEROX COPY OF A LIGHT FIXTURE
•••••		,	
•••••	············		
		•••••	
WE THE LS 1 GLAG WIPE	HAVE F WE AL MANUF BRONZE SS (WITH BY 2 YOUR	INALLY LIFT ACTURED  OVER A SMA 4 1/2" T  VIENS	POUND THE LIGHT FIXTURE  SE AND FITS OUR BUDGET.  2 IS FORECAST AND THE FINISH  SOUR BRASS CONST. WITH CLEAR  MU BEVER). THE FIXTURE IS 12/2"  PALL. PLEASE LET HE KNOW WHAT  ARE ON THIS FIXTURE.
511	JCEREZ DA		402T



	DATE: 10/20/95
MEMORANDU	<u>M</u>
TO:	Robert Hubbard, Chief Division of Development Services and Regulation Department of Environmental Protection (DEP)
FROM:	Gwen Marcus, Historic Preservation Coordinator Design, Zoning, and Preservation Division M-NCPPC
The Montg attached cation wa	Historic Area Work Permit  omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The application for a Historic Area Work Permit for for a Historic Area Work Permi
The Montg attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied
The Montg attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied
attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied
The Montg attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied
The Montg attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied
The Montg attached cation wa	omery Historic Preservation Commission has reviewed application for a Historic Area Work Permit. The apps: s: pproved Denied

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: Department of Environmental Protection **Division of Development Services and Regulation** 250 Hungerford Drive, Rockville, Maryland 20850 (301) 217-6370

# Historic Preservation Commission (301) 495-4570

### **APPLICATION FOR** HISTORIC AREA WORK PERMIT

	CONTACT PERSON Dana Sho	2 , 232-2400
TAX ACCOUNT # 416781	DAYTIME TELEPHONE NO	2 ) 202-2400
		1652-9188
NAME OF PROPERTY OWNER Audubon Naturalist Society	DAYTIME TELEPHONE NO	
ADDRESS 8940 Jones Mill Road, Chevy Chase, MD		20815
CONTRACTOR Not yet Determined	STATE	ZIP COD
CONTRACTOR REGISTRATION NUMBER	TELEPHONE NO	,
AGENT FOR OWNER Weinstein Associates - Dana Shor	1 20	2 ) 232–2400
AGENT FOR OWNER	DATIME TELEPHONE NO	
LOCATION OF BUILDING/PREMISE		
HOUSE NUMBER 8940 STREET Jones Mil	I Road	
TOWN/CITY Chevy Chase	NEAREST CROSS STREET Brain	ev Drive /JONES PO
500	NEAREST CROSS STREET	- FOAD
508 DIVISION	<u> </u>	
LIBER Map HP FOLIO PARCEL P774		
PART ONE: TYPE OF PERMIT ACTION AND USE		
Construct Extend Alter/Renovate Repair Move Porch	EALL APPLICABLE: A/C  Deck Fireplace Shed  Wall (complete Section 4) Single Family	Solar Woodburning S Other TEPBACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ IB. CONSTRUCTION COST ESTIMATE \$ 61,000.00  IC. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #	Solar Woodburning S
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P	Deck Fireplace Shed Wall (complete Section 4) Single Family ERMIT SEE PERMIT #	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000,00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN  2A. TYPE OF SEWAGE DISPOSAL 01 (*) WSSC 02 ( )	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ IB. CONSTRUCTION COST ESTIMATE \$ 61,000.00  IC. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN PART TYPE OF SEWAGE DISPOSAL 01 (*) WSSC 02 ( )  RB. TYPE OF WATER SUPPLY 01 (*) WSSC 02 ( )	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 18. CONSTRUCTION COST ESTIMATE \$ 61,000,00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN 2A. TYPE OF SEWAGE DISPOSAL 01 (*) WSSC 02 ( )  2B. TYPE OF WATER SUPPLY 01 (*) WSSC 02 ( )  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN 2A. TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02 (1)  2B. TYPE OF WATER SUPPLY 01 (1) WSSC 02 (1)  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING 3A. HEIGHT	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ IB. CONSTRUCTION COST ESTIMATE \$ 61,000,00  IC. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN PART TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02 (1) PART THREE: COMPLETE ONLY FOR FENCE/RETAINING	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER  WALL  CONSTRUCTED ON ONE OF THE FOLI	Solar Woodburning S Other TEPPACE
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN 2A. TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02 (1)  2B. TYPE OF WATER SUPPLY 01 (1) WSSC 02 (1)  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING 3A. HEIGHT	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER  WALL  CONSTRUCTED ON ONE OF THE FOLIONER  WHERE On public right of washing to the second seco	Solar Woodburning S Other TEPRACE  Other COMMING LOCATIONS:
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000,00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN 2A. TYPE OF SEWAGE DISPOSAL 01 (*) WSSC 02 ( )  2B. TYPE OF WATER SUPPLY 01 (*) WSSC 02 ( )  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING 3A. HEIGHT	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER  WALL  CONSTRUCTED ON ONE OF THE FOLION  WITH COMPLETED ON ONE OF THE FOLION  W	Solar Woodburning S Other TEPPACE  Other TEPPACE  OWING LOCATIONS:  Pay/easement
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN  2A. TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02 (1)  2B. TYPE OF WATER SUPPLY 01 (1/WSSC 02 (1))  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING  3A. HEIGHT	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER  WALL  CONSTRUCTED ON ONE OF THE FOLITY  WITH CONTROL OF THE FOLITY  WITH CONTROL OF THE POLITY  WITH	Other TEPBACE Other TEPBACE  OWING LOCATIONS:  COVING LOCATIONS:
Construct Extend Alter/Renovate Repair Move Porch Wreck/Raze Install Revocable Revision Fence/ 1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE P PART TWO: COMPLETE FOR NEW CONSTRUCTION AN  2A. TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02 (1)  2B. TYPE OF WATER SUPPLY 01 (1/WSSC 02 (1))  PART THREE: COMPLETE ONLY FOR FENCE/RETAINING  3A. HEIGHT	Deck Fireplace Shed  Wall (complete Section 4) Single Family  ERMIT SEE PERMIT #  ID EXTEND/ADDITIONS  SEPTIC 03 ( ) OTHER  WELL 03 ( ) OTHER  WALL  CONSTRUCTED ON ONE OF THE FOLION  WITH COMPLETED ON ONE OF THE FOLION  W	Other TEPBACE Other TEPBACE  OWING LOCATIONS:  COVING LOCATIONS:

#### WRITTEN DESCRIPTION OF PROJECT

a.	Description of existing structure(s)	and environmental setting	, including	, their	historical	features	and
in .	significance:		*				

WOODEND A BEAUX ARTS COLONIAL LEVITAL MANGION

WHO DESIGNED BY JOHN PUSSELL POPE AND

BUILT IN 1928. IT IS LOCATED ON APPLOXITATEDY

ACRES OF OPENIAUN, WOODE, AND HEADON AREAS, WHICH

BERN LANDSCAPED FOL BIRDS AND OTHER WILDLIFF

b. General description of project and its effect on the historic resource(s), the environmental setting, and,

where applicable, the historic district:

A PAVED TERLACE WHICH WOULD EXTEND THE

EXISTING TERLACE IN ORDER TO ACCOMMODATE SEATING

FOR 150 PEOPLE DURING SPECIAL EVENTS, SUCH AS WEDDINGS.

THESE EVENTS, PROVIDE THE MAIN SOULCE OF REVENUE FOR THE

SITE PLAN UP WEEP OF THE PROPERTY.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical
  equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

2.

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. <u>Schematic construction plans</u>, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (lacades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

### 5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

### 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>all</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lol(s) or parcel(s) which lie directly across the street/highway from the parcel highway from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 10/26/95

### MEMORANDUM

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Marcus, Historic Preservation Coordinator

Design, Zoning, and Preservation Division

M-NCPPC

SUBJECT:

Historic Area Work Permit Application - Approval of

Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

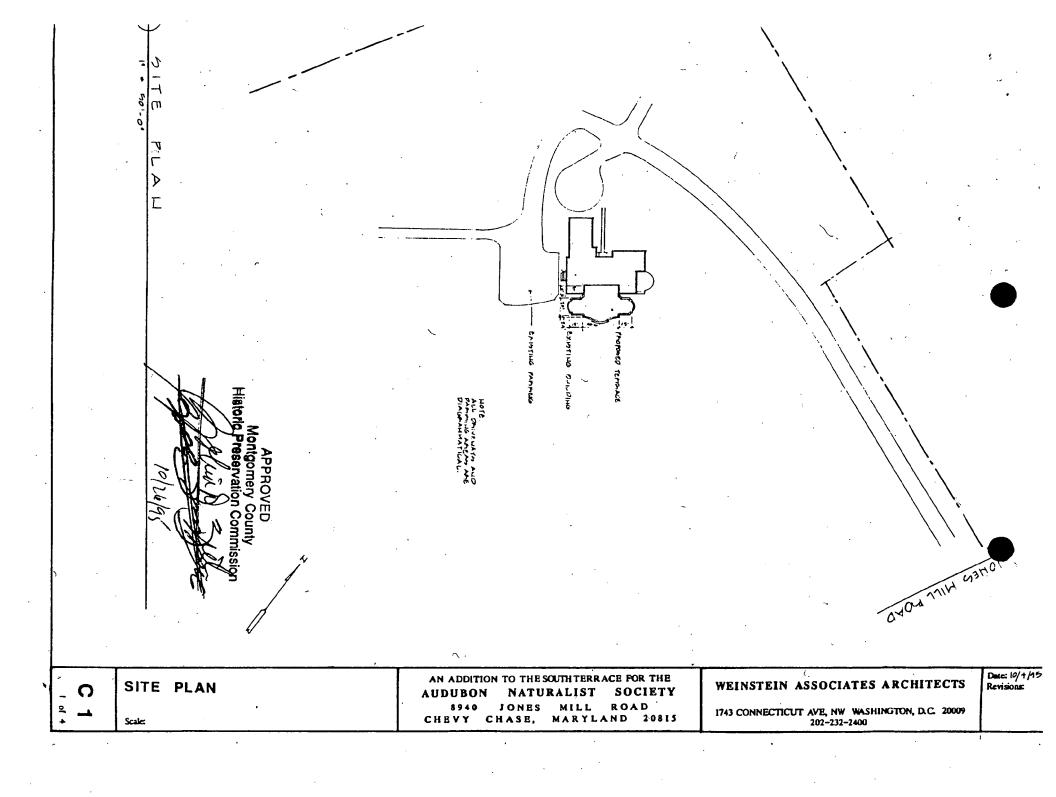
You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

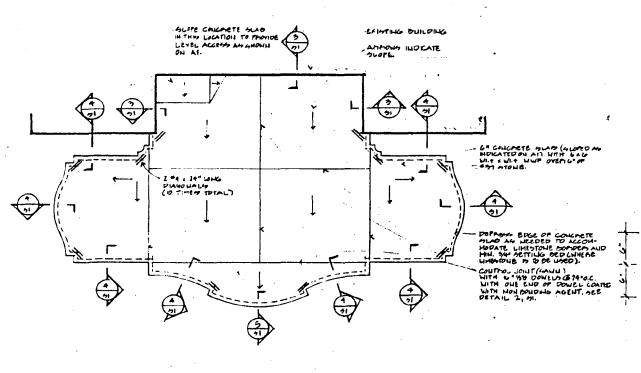
When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

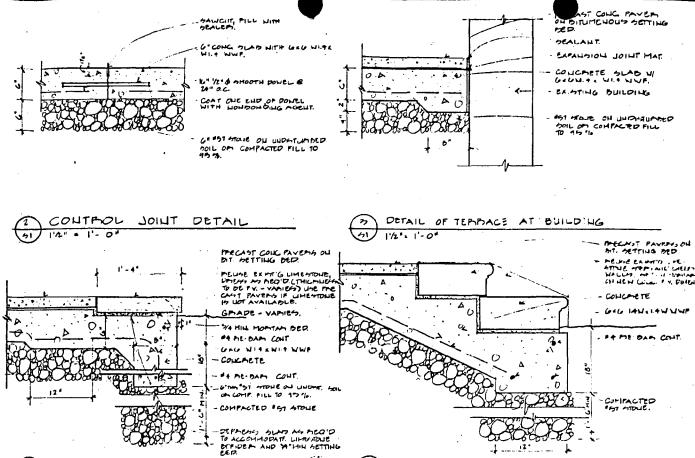
Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!





TEMBACE SLAB AND FOOTING



TEMPACE EDGE DETAIL

GENERAL NOTES

All concrete shall attain a 28 day strength of 3500 PSI.

DETAIL OF TEMPLACE AT STEPS

- 2. Reinforcing steef shall be ASTM A615 grade 60.
- Subsoil bearing pressure shall be 2000 PSF. Contractor shall prooffoll subgrade with loaded rubber tired dump truck. Undercut and replace soft or unstable subsoils. Proof rolling, compaction and soil bearing capacity shall be tested by a qualified soils engineer.
- Fill material shall be granular and shall be compacted to 95% of ASTM D698.
- Stone subbase shall be #57 stone compacted with a plate compactor.
- Control joints in concrete slab shall be sawcut into the slab within
   A to 8 hours of casting.

APPROVED
Montgomery County
Historic Preservation Commission

61

ASSOCIATES ARCHITECTS

WEINSTEIN

NW WASHINGTON, D.C. 232-2400

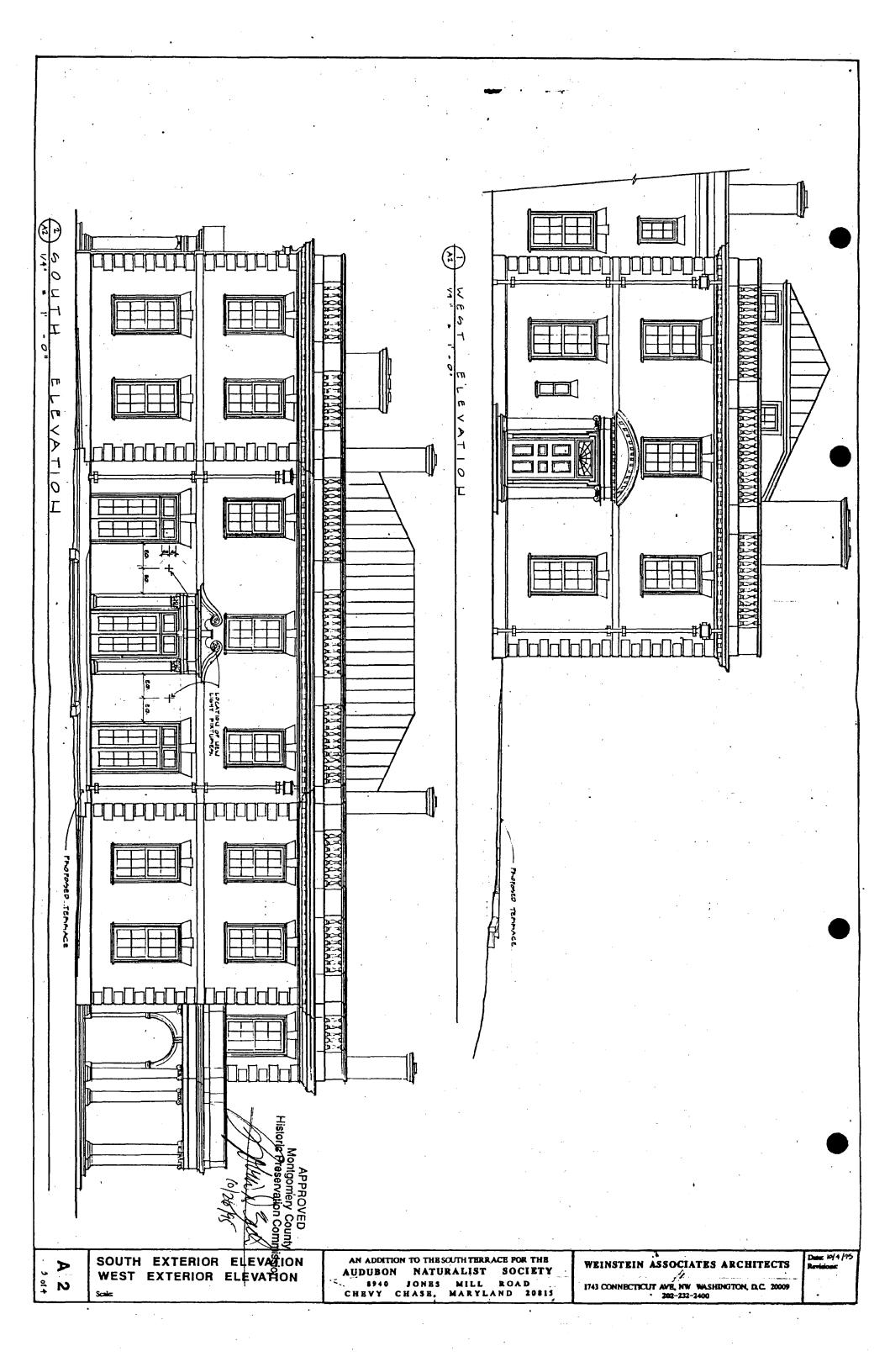
AVE.

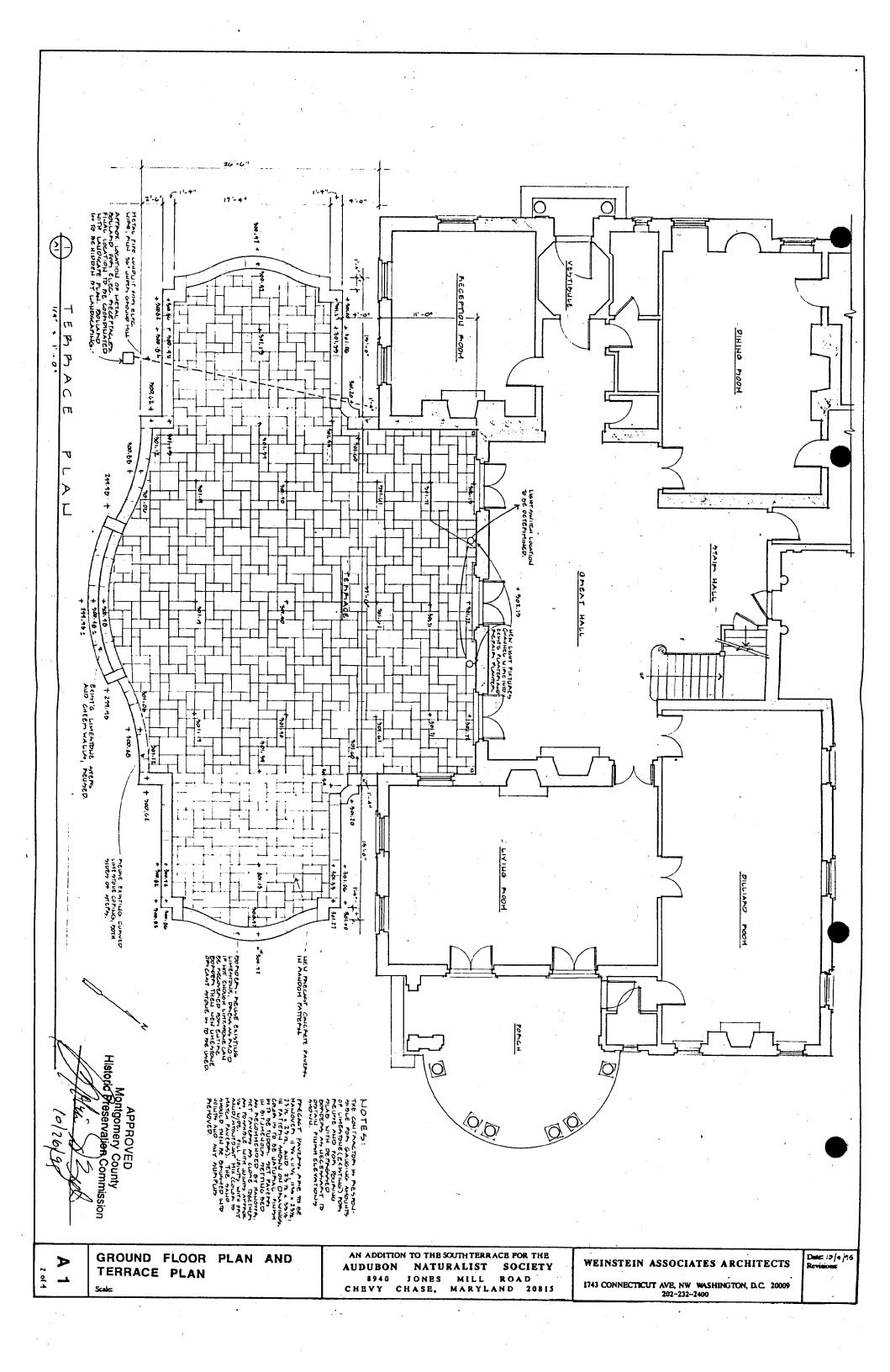
CONNECTICUT

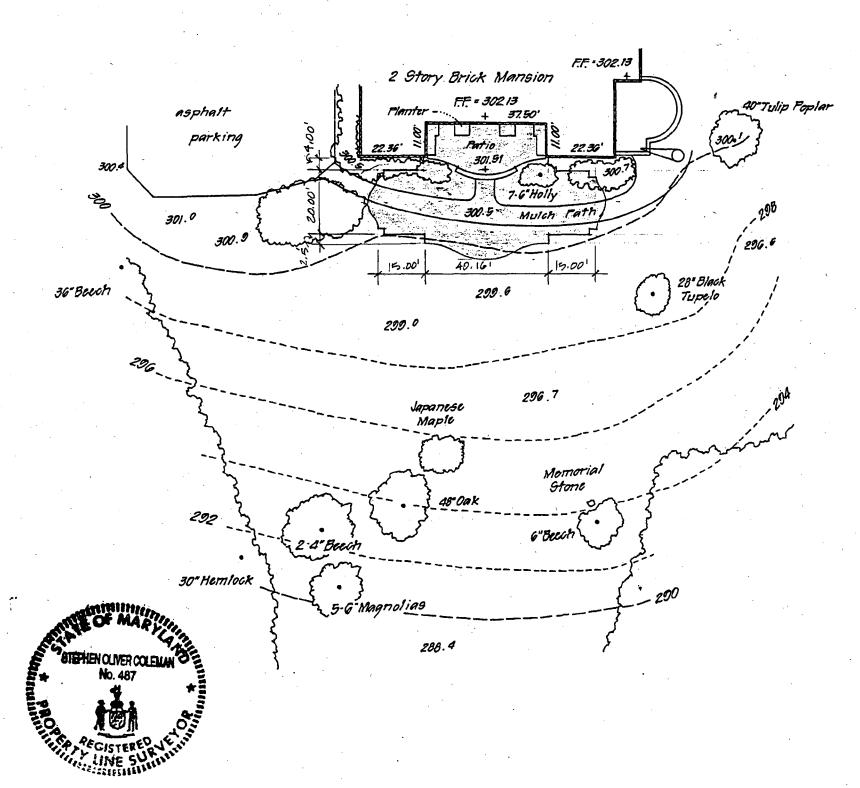
1743

AN ADDITION TO THE TERRACE FOR THE AUDUBON NATURALIST SOCIETY 1940 JONES WILL ROAD CHASE, MARYLAND 20815

4 00







State O. Coleman May 5, 1995

FIETHEN O. COLEMAN

Reg. Property Line Surveyor Md # 487

Benchmark 100 Step

Top of Top Step

Elevation 301.60

90alu: 1"= 30'

NOTEG:

This site appears on Tax Map No. HF561 as Farcel No. 774.

This site does not lie within a 100 Year Flood Plain

according to National Flood Insurance Fort Man

according to National Flood Insurance Rate Map, Community Fanel No. 240040 0175-6 dated Aug. 1, 1984.

TOPOGRAPHIC SURVEY WORKSHEET
AREA SOUTH OF EXISTING MANSION

### AUDUBON NATURALIST SOCIETY

BETHESDA DISTRICT Nº 7
MONTGOMERY COUNTY, MARYLAND
P-95-002

APPROVED

Montgomery County

Historic Preservation Commission

STEPHEN O. COVEMAN, R.P.L.S.

LAND SURVEYING

0907 9TH STREET N.W. WASHINGTON, D.C. 20012

OWNER

Audubon Naturalist Society of Central Atlantic States, Inc. 8940 Jones Mill Road Chevy Chase, MD 20815

### **EXPEDITED HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 8940 Jones Mill Road Meeting Date: 10/25/95					
Resource: Woodend	Review: HAWP				
Case Number: 35/12-95A	Tax Credit: No				
Public Notice: 10/11/95	Report Date: 10/18/95				
Applicant: Audubon Naturalist Society	Staff: Robin D. Ziek				
PROPOSAL: Rebuild, enlarge terrace; add lights	RECOMMEND: APPROVAL				
DATE OF CONSTRUCTION: 1928					
SIGNIFICANCE: X Individual Master Plan Site Within a Master Plan Historic I Outstanding Resource Contributing Resource Non-Contributing/Out-of					
ARCHITECTURAL DESCRIPTION: This Beaux Arts Codesigned by John Russell Pope. It is a two-story brick build quoins, base molding, steps and terrace paving. The buildin central hall, opening out to a rear terrace and lawn.	ing, with limestone accents at the				
<b>PROPOSAL:</b> The applicant proposes to enlarge the rear terparties, which income helps to fund the Audubon Society at renovation would bring them into compliance with ADA by the terrace and along the paths around the house and to the paths expansion of the terrace out into the rear lawn. The exist would be reused. They would salvage as many of the limest reuse them for the expand limestone edge. The new pavers, be of a similar color to the existing limestone paving, and we the existing terrace paving.	Woodend. In addition, the providing access to the hall from parking lot. The proposal includes sting steps and limestone edge tone pavers as possible in order to which would be concrete, would				
The applicant would install two exterior lights on the (see on circles 10, 11). The applicant has submitted two typ approve the general direction of the lamp design. If the HPC work closely with staff to chose a lamp which is close in design.	es of lamps, and asks the HPC to C so directs, the applicant would				
RECOMMENDATION: X Approval Approval with condition	s:				
Approval is based on the following criteria from Chapter 24.2 Code, Section 8(b): The commission shall instruct the direct permit subject to such conditions as are found to be necessar purposes and requirements of this chapter, if it finds that:	tor to issue a permit, or issue a				
1. The proposal will not substantially alter the exterinistoric resource within an historic district; or	or features of an historic site, or				
2. The proposal is compatible in character and nature ical, architectural or cultural features of the historic s which an historic resource is located and would not b achievement of the purposes of this chapter.	ite, or the historic district in				

# APPLICATION OR HISTORIC AREA WORK PERMIT

1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTI  PART TWO: COMPLETE FOR NEW CONSTRUCTION  2A. TYPE OF SEWAGE DISPOSAL 01 (1) WSSC 02	ENCE/Wall (complete Section 4) Sin	ngle Family Other	TEPBACE
Wreck/Raze Install Revocable Revision Feb.  1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTOR PART TWO: COMPLETE FOR NEW CONSTRUCTION	ence/Wall (complete Section 4) Sir	ngle Family Other	TEPBACE
Wreck/Raze Install Revocable Revision Fe  1B. CONSTRUCTION COST ESTIMATE \$ 61,000.00  1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTOR	ence/Wall (complete Section 4) Sir	ngle Family Other	TEPBACE
Wreck/Raze Install Revocable Revision For 1B. CONSTRUCTION COST ESTIMATE \$ 61,000,00	ence/Wall (complete Section 4) Sir	ngle Family Other	TEPBACE
Wreck/Raze Install Revocable Revision For 1B. CONSTRUCTION COST ESTIMATE \$ 61,000,00	ence/Wall (complete Section 4) Sir	ngle Family Other	TEPBACE
Wreck/Raze Install Revocable Revision Fo	•		Woodburning Stove TEPらACE
	•		Woodburning Stove
Construct Extend Alter/Renovate Repair Move Po	orch Deck Fireplace	Shed Solar	Woodburning Stove
- ·			
1A. CIRCLE ALL APPLICABLE: C	IRCLE ALL APPLICABLE:	A/C Slat	Room Addition
PART ONE: TYPE OF PERMIT ACTION AND USE			
LIBER FOLIO PARCEL			
LOTBLOCKSUBDIVISION			
TOWN/CITY Cheery Chase	NEAREST CROSS STREE	T	FOAD
	NEAREST CROSS STREE	Bralev Driv	Ve LONES BRI
HOUSE NUMBER 8940 STREET Jones	Mill Road		
AGENT FOR OWNER Weinstein Associates - Dana S		o. <u>(202)232</u> -	-2400
CONTRACTOR CONTRACTOR REGISTRATION NUMBI			·
CONTRACTOR Not yet Setermined	STATE	<b>)</b>	ZIP CODE
ADDRESS 8940 Jones Mill Road, Chevy Chase,			20815
NAME OF PROPERTY OWNER Audubon Naturalist Soci	ety_ DAYTIME TELEPHONE N	o. <u> (301-) 652</u> -	-9188
	and the second s		***
TAX ACCOUNT #416781	DAYTIME TELEPHONE N		

### THE TULLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

### 1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

WAS DESIGNED BY JOHN CUSSELL POPE AND

BUILT IN 1928. IT IS LOCATED ON APPROXIMATEDY

ACRES OF OPEN LAWN, WOODS, AND MERDOW AREAS, WHICH

b. General description of project and its effect on the historic resource(s), the environmental setting, and,

where applicable, the historic district:

A PAVED TERFACE WHICH WOULD EXTEND THE

EXISTING TERFACE IN DRDER TO ACCOMMODATE SEPTIME

FOR 150 PEOPLE DULING SPECIAL EVENTS, SUCH AS WEDDINGS.

THESE EVENTS PROVIDE THE MAIN SOURCE OF REVENUE FOR THE

SITE PLAN UP KEEP OF THE PROPERTY.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

### 3. PLANS AND ELEVATIONS

2.

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. <u>Schematic construction plans</u>, with marked dimensions, indicating location, size and general type of ,walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

### 4. MATERIALS SPECIFICATIONS

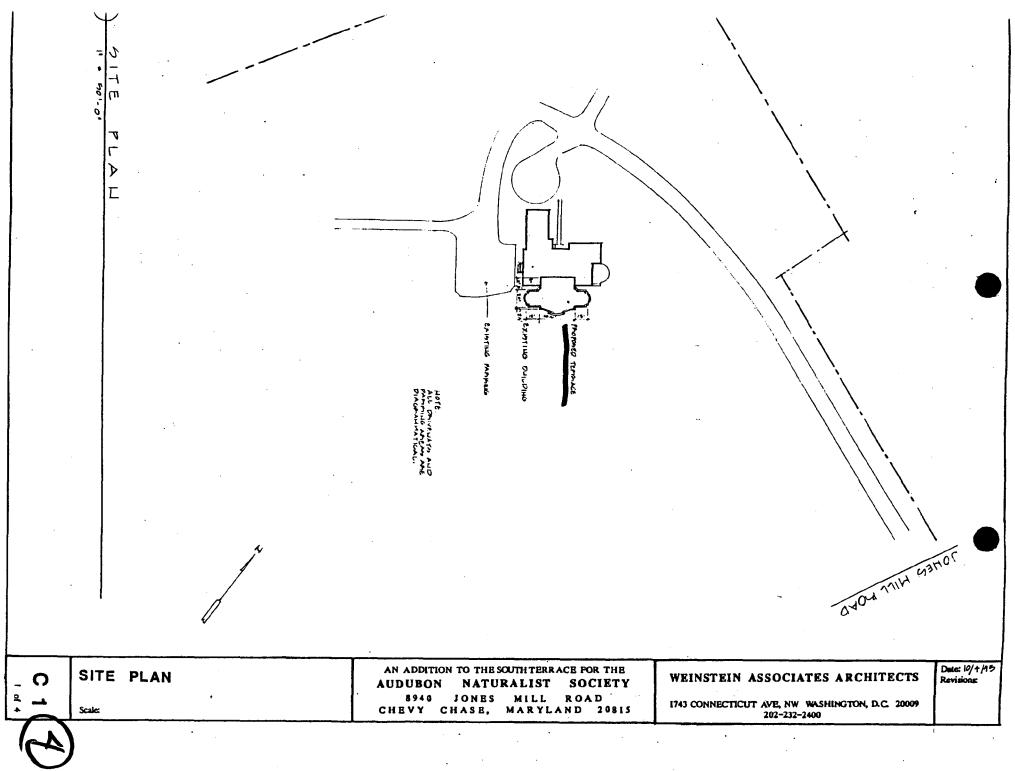
General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

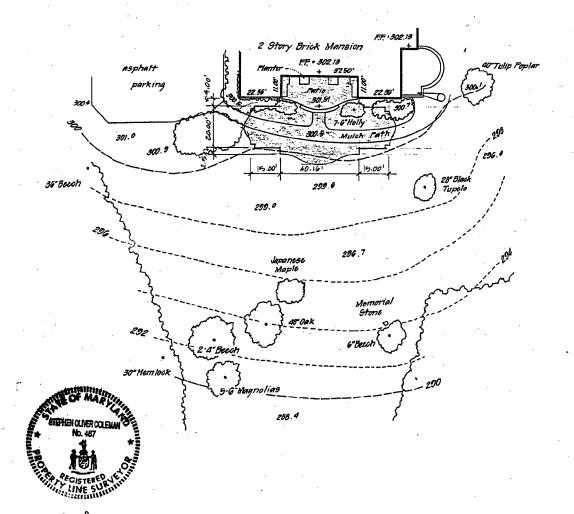
### 5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

### 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location,





STEPHEN O. COLEMAN

Reg. Property Line Surveyor Md # 487

Benchmark 100 Step

Elevation 301.00

NOTES

This site appears on Tax Map No. HF 501 as Farcel No. 774.
This site does not lie within a 100 Year Flood Flain

This site does not lie within a 100 Year Flood Flain according to National Flood Insurance Rate Map, Community Fanel No. 240049 0175-6 dated Aug. 1, 1984.

TOPOGRAPHIC GURVEY WORKSHEET AREA SOUTH OF EXISTING MANSION

### AUDUBON NATURALIST SOCIETY

BETHESDA DISTRICT Nº 7
MONTGOMERY COUNTY, MARYLAND
P-95-002

OWNER

Audubon Naturalist Society of Certral Atlantic States, Inc. 8940 Jones Mill Road Grery Chase, MD 20815 STEPHEN O. GOLEMAN, R.P.L.S.

LAND GURVEYING

0007 5TH STREET M.W.

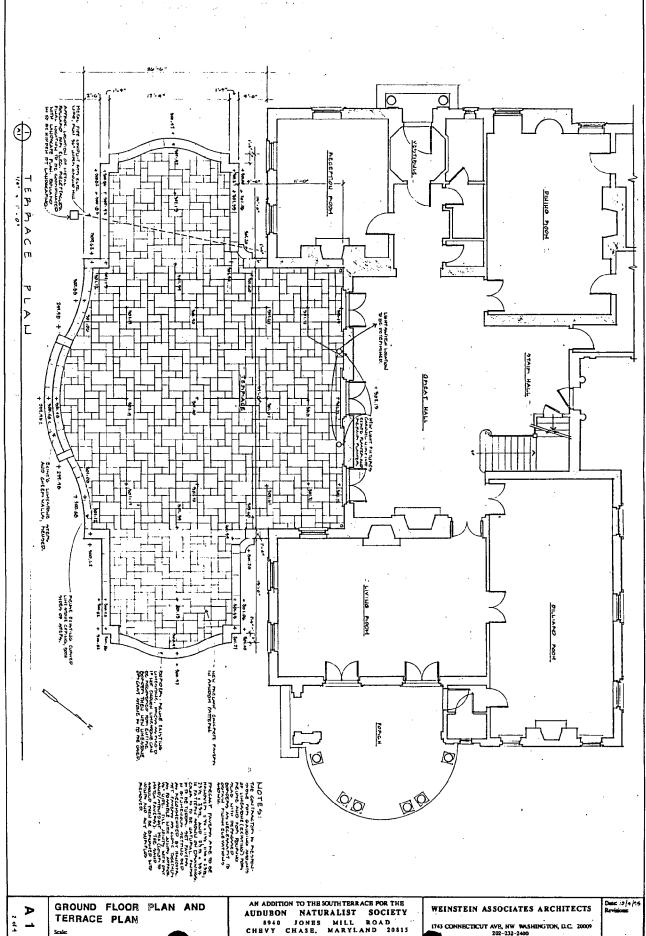
WASHINGTON, DG. 20012

TERRACE EXISTING アトタロ E×19TI山の AN ADDITION TO THE SOUTHTERRACE FOR THE AUDUBON NATURALIST SOCIETY 8940 JONES MILL ROAD CHEVY CHASE, MARYLAND 39813 GROUND FLOOR PLAN AND TERRACE PLAN EXISTING 0 1743 CONNECTICUT AVE, NW WASHINGTON, ILC 20009 202-222-2400

4



PROPOSED



ى م. 2 ك SOUTH EXTERIOR ELEVATION WEST EXTERIOR ELEVATION

AN ADDITION TO THESOUTH TERRACE FOR THE AUDUBON NATURALIST SOCIETY 8940 JONES MILL ROAD CHEVY CHASE, MARYLAND 20015

WEINSTEIN ASSOCIATES ARCHITECTS

PROPRIETICUT AND NW WASHINGTON, D.C. 20009

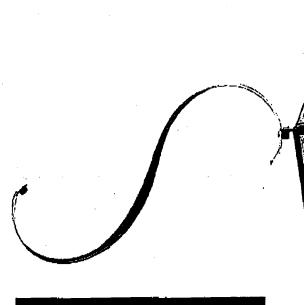
202-132-3400

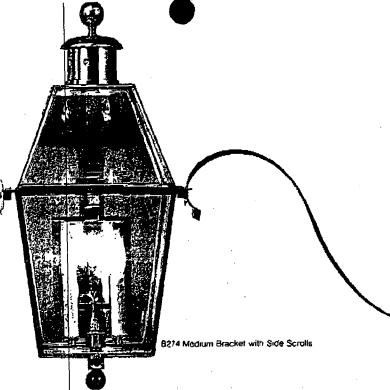
Date: 10/4/15 Revisions:

SUAB AND FOOTING ANTON HORATE EDGE DETAIL JOINT DETAIL COAT OUR EUR OF POWER TH' OC STOOTH POWEL & graph and conference filt to שנים ששון, SAMOIT, PILE NITH DETAIL OF TERBACE AT BUILDING Control joints in concrete sleb shall be sewcut into the sleb within 4 to 6 hours of casting. Fill material shall be granular and shall be compacted to  $98\,\%$  of ASTM D698. All concrete shell attain a 28 day strength of 3500 PSI. Stone subbase shall be #57 stone compected with a plate . orcing steel shall be ASTM A615 grade 60. ANT ARME ON UNCHAUNCED FILE SAFAUSION JOINT MAD AM ADDITION TO THE TERRACE FOR THE AUDUBON NATURALIST SOCIETY 8940 JONES MILL ROAD CHEVY CHASE, MARYLAND 20113 WEINSTEIN ASSOCIATES ARCHITECTS  $\bar{\imath}$ \* 00 \* 1

16:50









8275 Medium Bracket

## Windsor Lights

### CHANNEL CONSTRUCTION

Of English origin, these impressive lanterns possess an ageless classic beauty of their own. Available in hanging, wall bracket or post styles, each Windsor Light is distinguished by Heritage's skill-intensive channel construction (see page 3).

Unique to the Windsor is its distinctive appearance from a side perspective, a view that fully reveals its classical lines. The specially designed bracket for the Windsor is unlike any other bracket we make. Also note the 1/8" thick "apron" that extends beyond the lantern's side. While decorative, the apron adds unusual strength to the entire fixture. The Windsor is particularly striking above an entrance when installed with our optional side brackets. Their gracious curves lend a true sense of royalty!

"I was so impressed when I first saw a Windsor! I couldn't believe that anyone today would still have the exceptional skill, to say nothing of the time required..." Madison, Virginia

POST

No.	Melals	Size	H.	W	DS.
P450	C.B	Med	25	121/2	30
P451	C.B	Lg	281/5	14	35
P452	C.6	"Ex Ļ	4312	181/2	TR

(All sizes have 4 lights, candelabra sockets up to 60W each.) \*(Includes brass cradle crafted especially for this light.)

	HOCKE!				
	No.	Metals	Н	W	lbs
1	W160	CB	18"	A.	1

(Candelabra sockets, up to 60W each )

1	HANGIN

№.	Metals	Size	Description	н	W	lbs.
H393	C.B	Sm	2 LL	\$0	9	25
49EH	C.B	Med	2 Lt	_ 22	10%	31
H395	C.B	Lg	4-Lt	27	14	TR

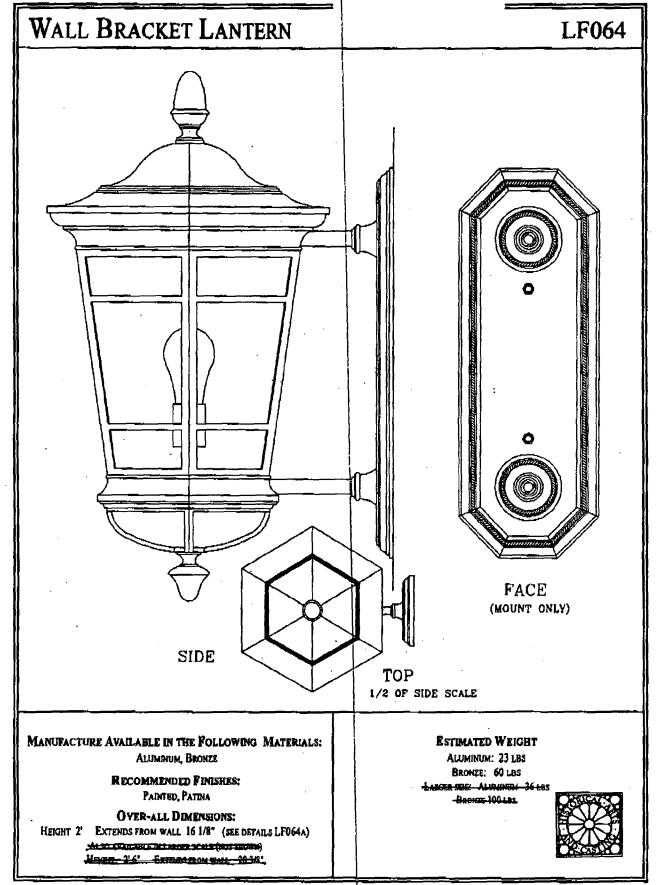
(Candelabra sockets, up to 60W each.) (Comes with 12" of chain and canopy, not included in height measurement.)

#### BRACKETS

۰	-10							
	Metais	Size	Description	H	W	E	М	lbş.
	C,B	Sm	2 L:	20	9	121/2	13%	25
	C.B	Şm	w/Scratia	20	43	121/2	131/4	26
	C.B	Med	2  .1	22	10%	141/2	131/2	34
	C.8	Med	w/Scrolls	22	4614	14%	131/	35
	C,B	La	4 LI	27	14	17	19	TA
	С,8	Ļg	w/Scrolis	27	52	17	19	TR
		Lo Lo	4 LI	27	14	17 17	_	19

(Candelabra sockets, up to 60W each.)





NORTH CHEVY CHASE SWIMMING 3 CAMPBELL COURT KENSINGTON, MD 20895

POBERT DESIMONES LESLIE UNGERLEIDER 8828 BRIERLY BOAD CHEUY CHASE, MO 20815

THOMAS EX BG CORBIN 8826 BAERLY BOAD CHEUY CHASE, MD 20815

JOSEPH E & CF PULLEN 8814 BRIEBLY BOAD CHEVY CHASE, MD 2081S

PAUL C HIMBELLS ELISA L KLEIN 8908 BRIERLY BOAD CHEVY CHASE, MO 2081S DELFIN SigHA GO 8912 BRIERLY PROAD CHEUY CHASE, MD 20815

ANTHONY J JR & MA FROLICH 8918 BRIERLY BOAD CHELY CHASE, MD 20815 JOHN SE ME MCKEON 8922 BRIEBLY BOAD CHEUY CHASE, MD 20815

PAUL F& JA GAVAGHAN 9103 BRIERLY POAD CHEUY CHASE, MD 20815

EDWARD & G. MELIZ 9109 BRIERLY BOAD CHEVY CHASE, Mp 20815 DAVID JE BEVERLY HYDE 9105 BRIERLY BOAD CHEDY CHASE, MD 20815

GRUAPST & F EIZENSTAT 9107 BRIERLY POAD CHEVY CHAZE, MD 20315

THEODORE S & BPS SCHATZ 9109 BRIERLY BOAD CHEUY CHASE, MD 20815

CHARLES M KOGOD &

MARIES M KOGOD &

PARIET ROAD

CHEVY CAASE, MD 20815

WILLIAM Dig AD BONERS
9113 BRIEFLY BOAD
CHEVY CHASE, MD 20315

CHARLES M KOGOD &
KABSEN L. SOLTES
9111 BENEALY BOAD
CHEUY CHASE, MD 20815

STEPHEN A'S JAN DRAKE 9012 BRIEFLY FROAD CHEWY CHARE, MD 20315

BRET & AM KELLER 9018 BRIEBLY POAD CHEUY CHASE, MD 20815

JOHN B'& MC WARFIELD 9010 BRIEBLY BOAD CHEUY CHASE, MD 20815

JOSEPH E & HELEN E KELLY 9006 BRIEBLY POAD CHEUY CHASE, MD 20815 ROBERT F. KAREIMEYERS 9002 BRIERLY POAD CHEVY CHASE, MD 20815

BANCE Sig OT PREBLE 9000 LE VELLE DRIVE CHEVY CHASE, MO 20815

JANET BUTSCH BEDOCTRUST 9001 LE VELLE DRIVE CHEUY CHASE, MD ZOBIS STUART A & CA GAUBHAN. 9002 LE VELLE DAIVE CHEVY CHASE, MD 20315

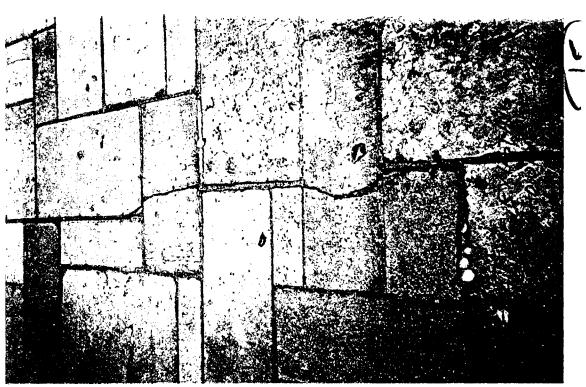
WILLIAM P& BA PANTON 3213 WOODHOUDW DRIVE CHEVY CHASE, MD 20815

TIMOTHY O & HL LIPMANI 3214 WOODHOUDW DRIDE CHEVY CHASE, MD 20815

HOWARD LG KR BOSENBERG 8816 ALTIMONIT LANE CHEVY CHASE, MD 20815 THOMAS A & KM GILDAY
3211 FLUSHILL MEADOW TERRACE
CHEUY CHASE, MD 20815

SCOTT SMITH COMPANY 300 M N. STONE STREET AUE. POCKVILLE, MD 20350 PETER PS MATHERS &
PATTI L MITCHELL
3213 FLUSHING MEADOW TELL
CHEVY CHASE, MD 20815







Architecture Urban Design Interiors

Fax Transmittal

### Weinstein Associates Architects

1743 Connecticut Avenue, NW, Washington, DC 20009 202.232.2400 Fox 202.328.7034

Date: 12 OCTOBERS 1995
TO: POBIN ZIER 301-495-1307
From: DANA SHOPT
Det NA - ATOMA
Project: WOODEND - AUDUBON NATURAUST
SOCIETY
No. of pages including cover:
FIXTURES # SHOWING THE TYPE
OF LIGHT WE ABE CONSIDERING.
THE FIXTURE WOULD BE BRONZE OF
PORAGE WITH CLEAR GLASS.
PLEASE CALL WITH ANY QUESTIONS.
DANA SHORT
JOHNA JORI



