

35/13-00E 6000 Connecticut Ave
(Chevy Chase Village HD)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4-12-00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *gwr*
Historic Preservation

SUBJECT: Historic Area Work Permit - *DPS #*
HPC # 35/13-00E

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

*** and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Mr & Mrs Jonathan Colby

Address: 6000 Connecticut Ave Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD COLEMAN
Daytime Phone No.: 202-332-1200

Tax Account No.:
Name of Property Owner: MR. & MRS. JONATHAN COLBY Daytime Phone No.: 301/654-8341
Address: 6000 CONNECTICUT AVE. CHEVY CHASE MD 20815
Street Number City Street Zip Code
Contractor: O'NEILL DEVELOPMENT Phone No.: 301-840-9310
Contractor Registration No.: 864
Agent for Owner: DAVID JONES, ARCHITECTS Daytime Phone No.: 202-332-1200

LOCATION OF BUILDING/PREMISE

House Number: 6000 Street: CONNECTICUT AVENUE
Town/City: CHEVY CHASE Nearest Cross Street: LENOX STREET
Lot: 10 Block: 43 Subdivision: CHEVY CHASE - SECTION 2
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[checked] Construct [] Extend [checked] Alter/Renovate [] A/C [] Slab [checked] Room Addition [checked] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [checked] Single Family
[] Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
1B. Construction cost estimate: \$ 100,000
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [checked] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [checked] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard Coleman Signature of owner or authorized agent
3-20-00 Date

Approved: [checked] For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date: 4-12-00
Application/Permit No.: 2142331 Date Filed: 3/21/2000 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CHEVY CHASE HISTORIC DISTRICT

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT INVOLVES ENCLOSING AN EXISTING PORCH AT THE REAR OF THE HOUSE & REMOVING A SMALL PORCHES ADDITION. A NEW ENTRY W/PORCH IS TO BE ADDED TO THE SIDE OF THE HOUSE AND A NEW BAY WINDOW IS TO BE ADDED TO THE REAR WALL. TWO WINDOWS (CIRCA 1960) ARE TO BE REPLACED ON FRONT OF HOUSE TO MATCH ORIGINAL WINDOWS.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

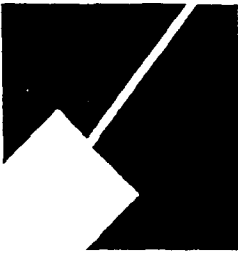
DATE: 4-12-2000
TO: Local Advisory Panel/Town Government
FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner
SUBJECT: Historic Area Work Permit Application - HPC Decision

(C-110-3513-00E) - approved

The Historic Preservation Commission reviewed this project on April 12, 2000
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4-12-00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *[Signature]*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

35/13-00E

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

ADJACENT AND CONFRONTING PROPERTY OWNERS – 6000 Connecticut Avenue

#2 West Melrose Street, Chevy Chase, MD 20815

#3 West Lenox Street, Chevy Chase, MD 20815

Post Office
5910 Connecticut Avenue, Chevy Chase, MD 20815

#1 East Lenox Street, Chevy Chase, MD 20815

#2 East Melrose Street, Chevy Chase, MD 20815

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 6000 Connecticut Avenue, Chevy Chase **Meeting Date:** 04/12/00
Applicant: Mr. & Mr. Jonathan Colby **Report Date:** 04/05/00
(David Jones Architects - Richard Coleman)
Resource: Chevy Chase Village Historic District **Public Notice:** 03/29/00
Review: HAWP **Tax Credit:** None
Case Number: 35/13-00E **Staff:** Perry Kephart
PROPOSAL: Porch Alteration, Window Replacement **RECOMMEND:** Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Outstanding Resource
STYLE: Colonial Revival
DATE: 1903

The 2 ½ story, side-gable residence has multiple architectural features including a cross-gable on the right front facade with out-of period replacement windows on the first level. At the back corner of the main section is a pocket porch. In the rear cross gable there is a one-story enclosed porch set into the ell.

PROPOSAL

The applicant proposes to:

1. Remove the out-of-period front and side windows on the first floor of the right front cross gable. Replace the front windows with paired 12/1 windows on the front (east) facade and wall in the window opening on the side (north) facade.
2. Enclose the existing rear porch and construct a rear entry porch and mudroom on the north facade with steps leading out to a rear terrace.
3. Install a square bay window in the west facade next to the new porch to replace an out-of-period window. The hipped roof bay is to have composition shingle roofing to match the existing.
4. Install a paved terrace in the rear ell of the building.
5. Remove the enclosed one-story porch and replace it with a door leading into the center hall of the residence and with a small open porch with steps leading down to the terrace. The porch and steps are to have a painted wood railing.

STAFF DISCUSSION

The proposed alterations to out-of-period features in the front facade, and at the rear of the house are within the guidelines of the historic district both as to design and materials, and as to alterations of an outstanding resource.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: RICHARD COLEMAN

Daytime Phone No.: 202-332-1200

Tax Account No.: _____

Name of Property Owner: MR. & MRS. JONATHAN COLBY Daytime Phone No.: 301/654-8341

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Contractor: O'NEILL DEVELOPMENT Phone No.: 301-840-9310

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Lot: 10 Block: 43 Subdivision: CHEVY CHASE - SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

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PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

N/A.

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard Coleman
Signature of owner or authorized agent

3-20-00
Date

3

Approved: _____ For Chairperson, Historic Preservation Commission

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6. TREE SURVEY



ADJACENT AND CONFRONTING PROPERTY OWNERS – 6000 Connecticut Avenue

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#3 West Lenox Street, Chevy Chase, MD 20815

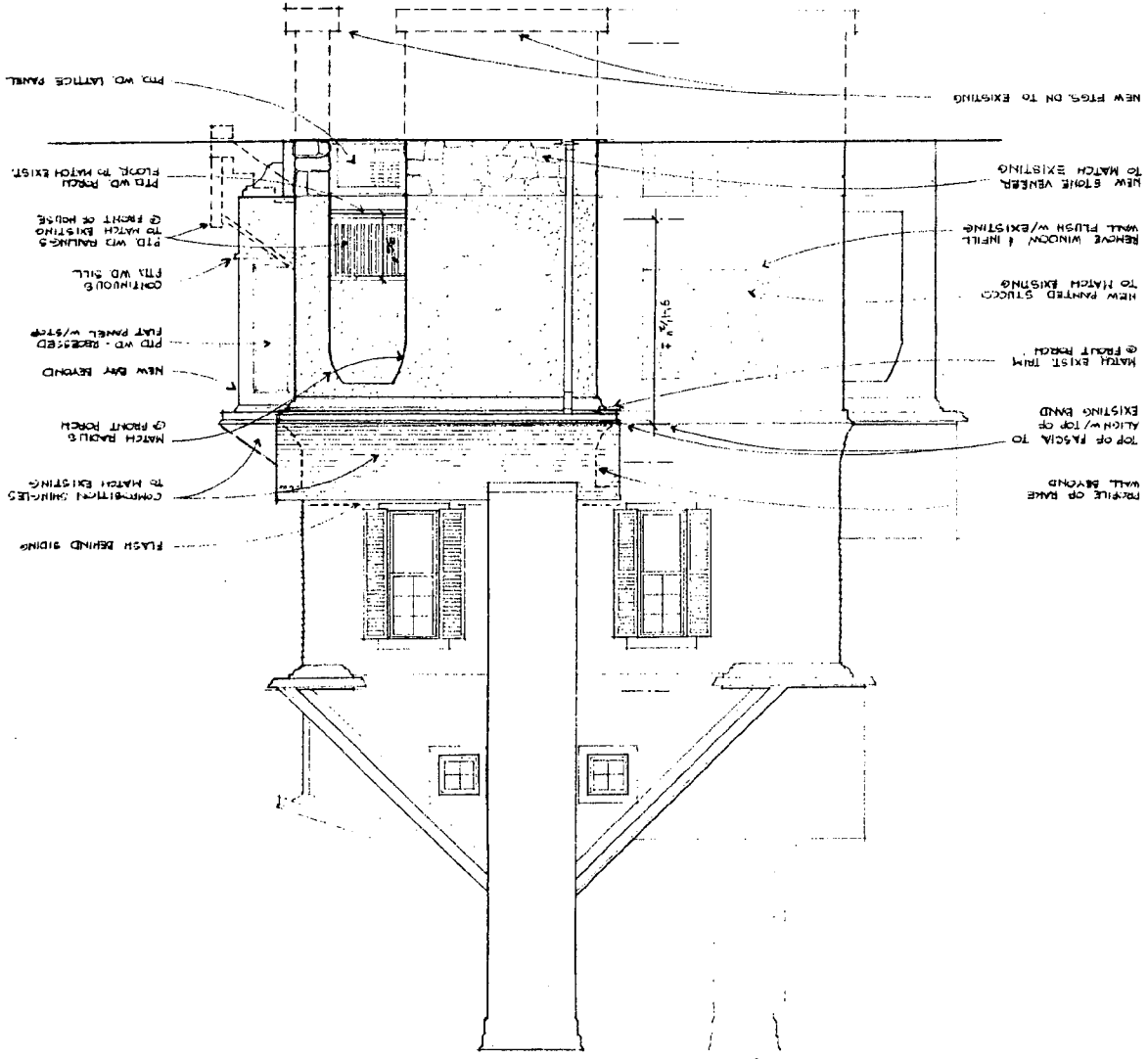
Post Office
5910 Connecticut Avenue, Chevy Chase, MD 20815

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#2 East Melrose Street, Chevy Chase, MD 20815

2

1 NORTH ELEVATION (PARTIAL)
SCALE: 1/4" = 1'-0"



COLBY RESIDENCE
6000 CONNECTICUT AVENUE

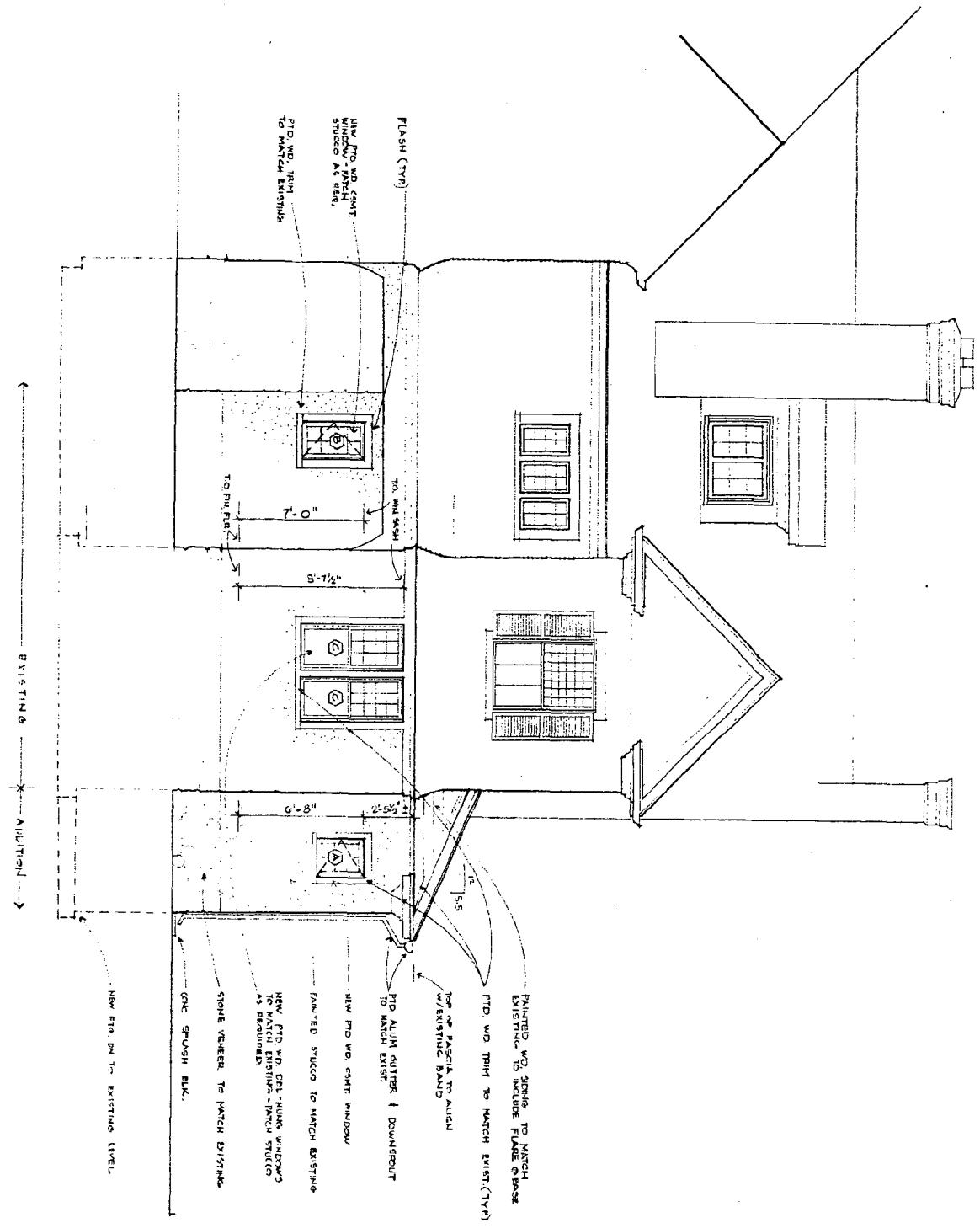
NORTH ELEVATION

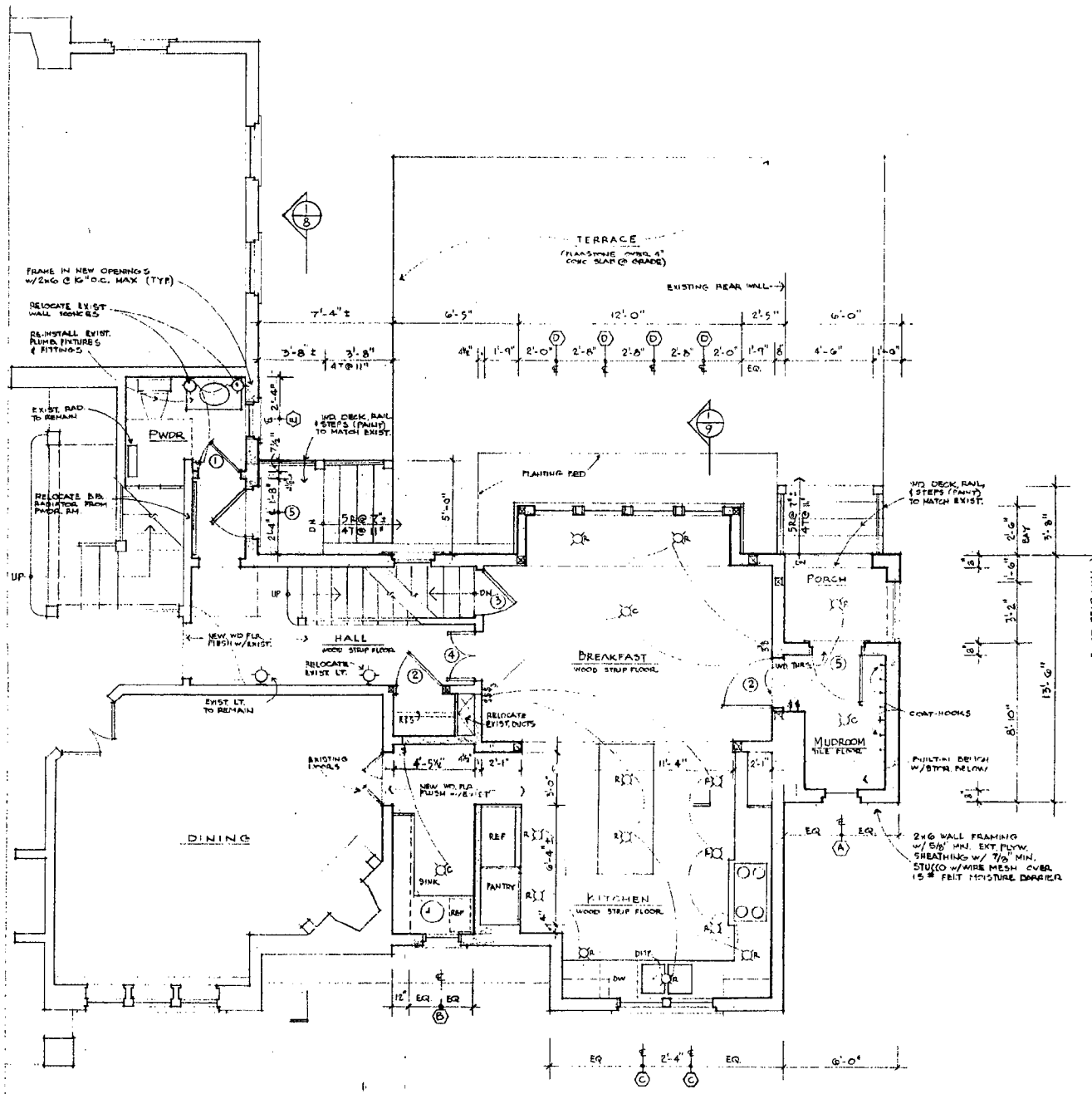
DATE: 08/11/11

DAVID JONES ARCHITECTS
1100 OAKWOOD TRAIL, SUITE 100, WESTPORT, CT 06896
TEL: 860.426.1200 FAX: 860.426.1201

80

1 EAST ELEVATION (PARTIAL)
5 SCALE: 1/4" = 1'-0"





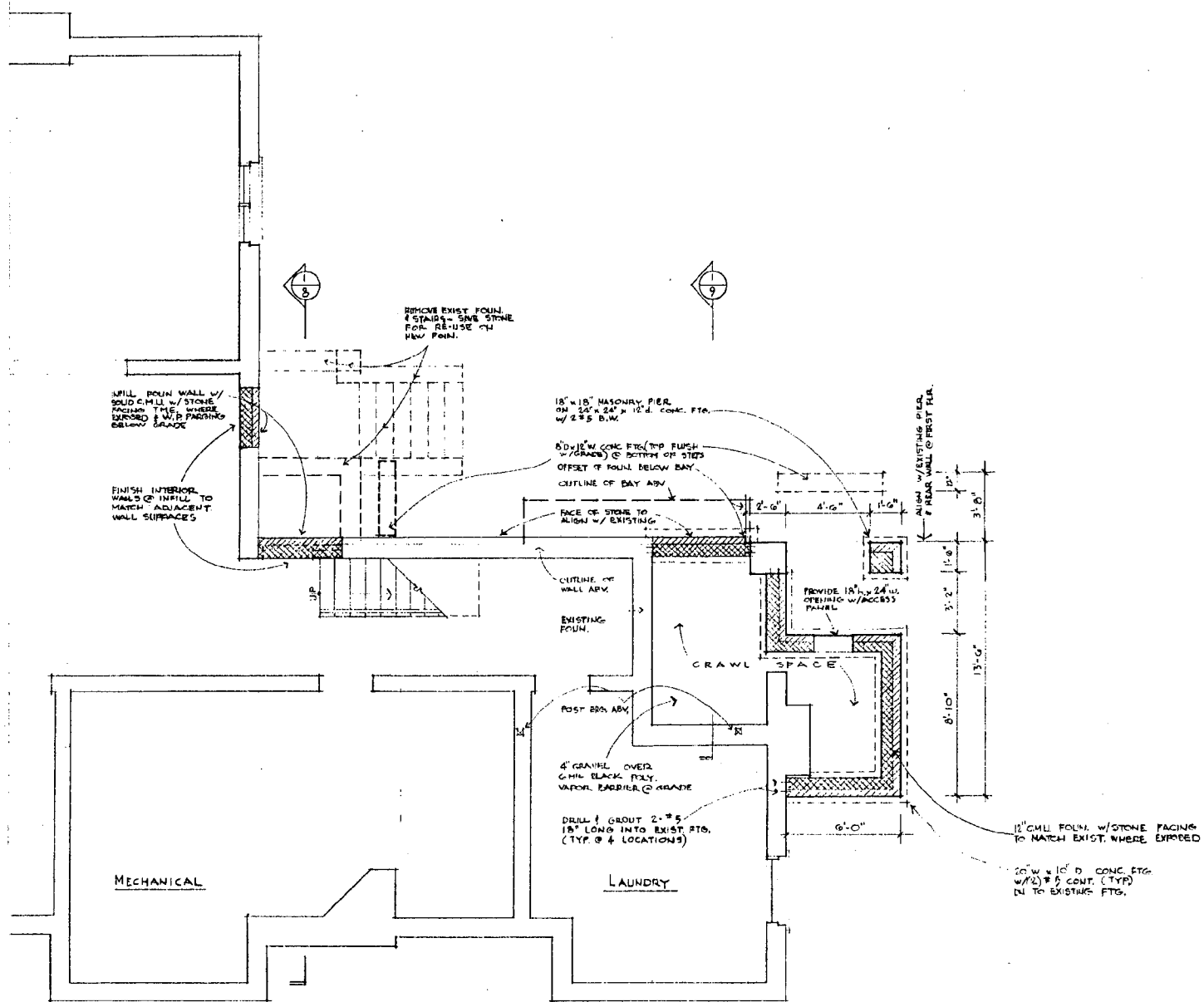
NOTE: SHADED AREAS DENOTE
NEW CONSTRUCTION
NOTE: CONTRACTOR TO PROVIDE
ELEC. OUTLETS PER CODE.

1
4
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIGHTING FIXTURES

	RECESSED DOWNLIGHT
	CEILING MOUNTED T.B.S.

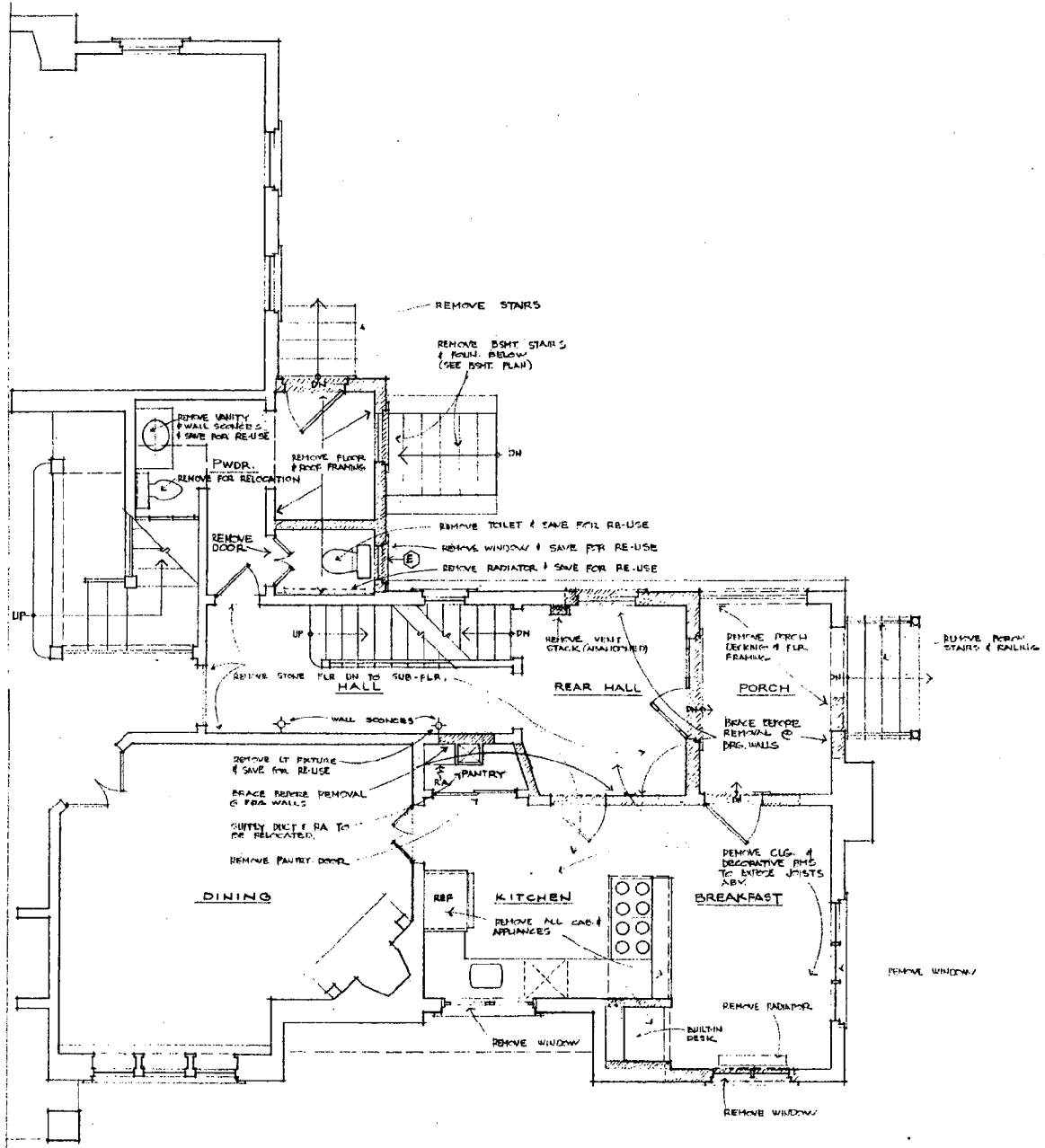
10



NOTE: SHADED AREAS DENOTE NEW CONSTRUCTION

1-3 BASEMENT / FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

10



NOTE: HATCHED AREAS DENOTE WALL REMOVAL

1 FIRST FLOOR - REMOVAL PLAN
2 SCALE: 1/8" = 1'-0"

	SASH OPENING	TYPE	REMARKS
(A)	2'-0" w x 2'-8" h	WD / CASEMENT OPERABLE / TOL	SEE ELEVATIONS FOR MUNTIN PATTERN
(B)	2'-0" w x 3'-4" h	" " " " " "	" " " " " "
(C)	2'-4" w x 3'-2" h	WD / DBL HUNG OPERABLE / TOL	" " " " " "
(D)	2'-4" w x 3'-10" h	" " " " " "	" " " " " "
(E)	EXISTING	" " " " " "	RELOCATE PER PLAN

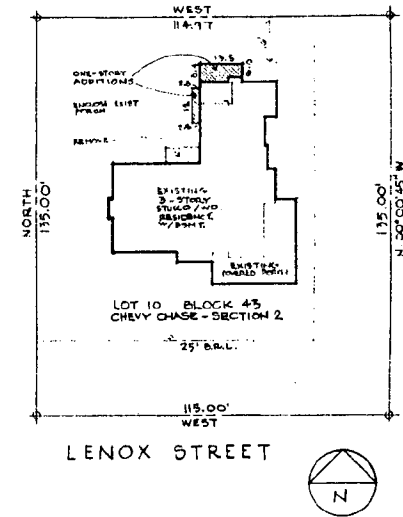
NOTE: NEW DEL. HUNG UNITS TO MATCH EXISTING WINDOW DETAILS

2 WINDOW SCHEDULE
NO SCALE

	SIZE	TYPE	REMARKS
(1)	2'-4" w x 6'-8" h	INTERIOR SWING WD. / PANEL	SEE PLAN FOR SWING
(2)	2'-8" w x 6'-8" h	" " " " " "	" " " " " "
(3)	SIZE TO FIT EXISTING OPN'G.	" " " " " "	" " " " " "
(4)	" " " " " "	" " " " " "	" " " " " "
(5)	2'-8" w x 6'-8" h	EXTERIOR SWING WD. / GLASS / TOL	SEE PLAN FOR SWING SEE ELEV. FOR STYLE

NOTE: NEW DOORS TO MATCH EXISTING DOOR PANELS & DETAILS

3 DOOR SCHEDULE
NO SCALE



4 SITE PLAN
SCALE: 1" = 30'-0"

GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF	20 PSF
LIVING AREAS	40 PSF
BEDROOM AREAS	30 PSF

A MINIMUM OF 10 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 3000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE, WHERE REQUIRED. STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D958.

STRUCTURAL NOTES

NO SCALE

D. AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2#5 BARS X 1'-8" LONG INTO EXISTING FOOTING

3 DEMOLITION

A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. RETAIN THE SERVICES OF A QUALIFIED SPECIALTY ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. SUBMIT DRAWINGS FOR RECORD ONLY.

B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

C. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

4 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (FCI) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE Poured IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS: - FOOTINGS 3" (BOTTOM)

5 MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FTD LOAD-BEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 18" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.

B. UNITS FOR MASONRY WALLS SHALL BE AS FOLLOWS. PROVIDE 1 ANGLE FOR EACH A" OF WALL THICKNESS AS FOLLOWS:

OPENINGS TO 3'-0": 3-1/2" x 3-1/2" x 1/4"
3'-1" TO 5'-0": 4" x 3-1/2" x 5/16" LVL
5'-1" TO 8'-0": 5" x 3-1/2" x 5/16" LVL
LVL - LONG LEG VERTICAL

C. ALL EXPANSION BOLTS OR STEEL ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTER AND IN MASONRY.

9 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

MINIMUM STRESS "F_b" = 840 PSI FOR SINGLE MEMBER USE
HORIZONTAL SHEAR "F_v" = 70 PSI
COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 405 PSI
COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,150 PSI
MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR ISOUTH-FACE IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NGLA.

B. ALL EXTERIOR FRAMING LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):

BENDING STRESS "F_b" = 975 PSI FOR SINGLE MEMBER USE
HORIZONTAL SHEAR "F_v" = 50 PSI
COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 585 PSI
COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,450 PSI
MODULUS OF ELASTICITY "E" = 1,800,000 PSI

C. PLYWOOD LAMINATED (MICROCLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

BENDING STRESS "F_b" = 2400 PSI
HORIZONTAL SHEAR "F_v" = 220 PSI
MODULUS OF ELASTICITY "E" = 1,800,000 PSI

D. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

E. PREFAB JOIST AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION.

F. ALL WALL STUDS SHALL BE 5PP STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 825 PSI
BENDING STRESS "F_b" = 725 PSI FOR SINGLE MEMBER
MODULUS OF ELASTICITY "E" = 1,200,000 PSI

G. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALL SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

H. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

I. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATE AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

J. ALL ROOF RAFTERS AND SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 1/8 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

7 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED 4X10-10 FLOOR, TONGUE AND GROOVE PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10# NAILS AT 8 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. EXTERIOR WALL SHEATHING SHALL BE 19/32 (5/8) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8# NAILS AT 8 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

C. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24-0 OR BETTER. FASTEN PANELS TO FRAMING WITH 10# NAILS AT 8 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACED UNTIL PERMANENTLY APPLIED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE OUPING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

CONNECTICUT AVENUE

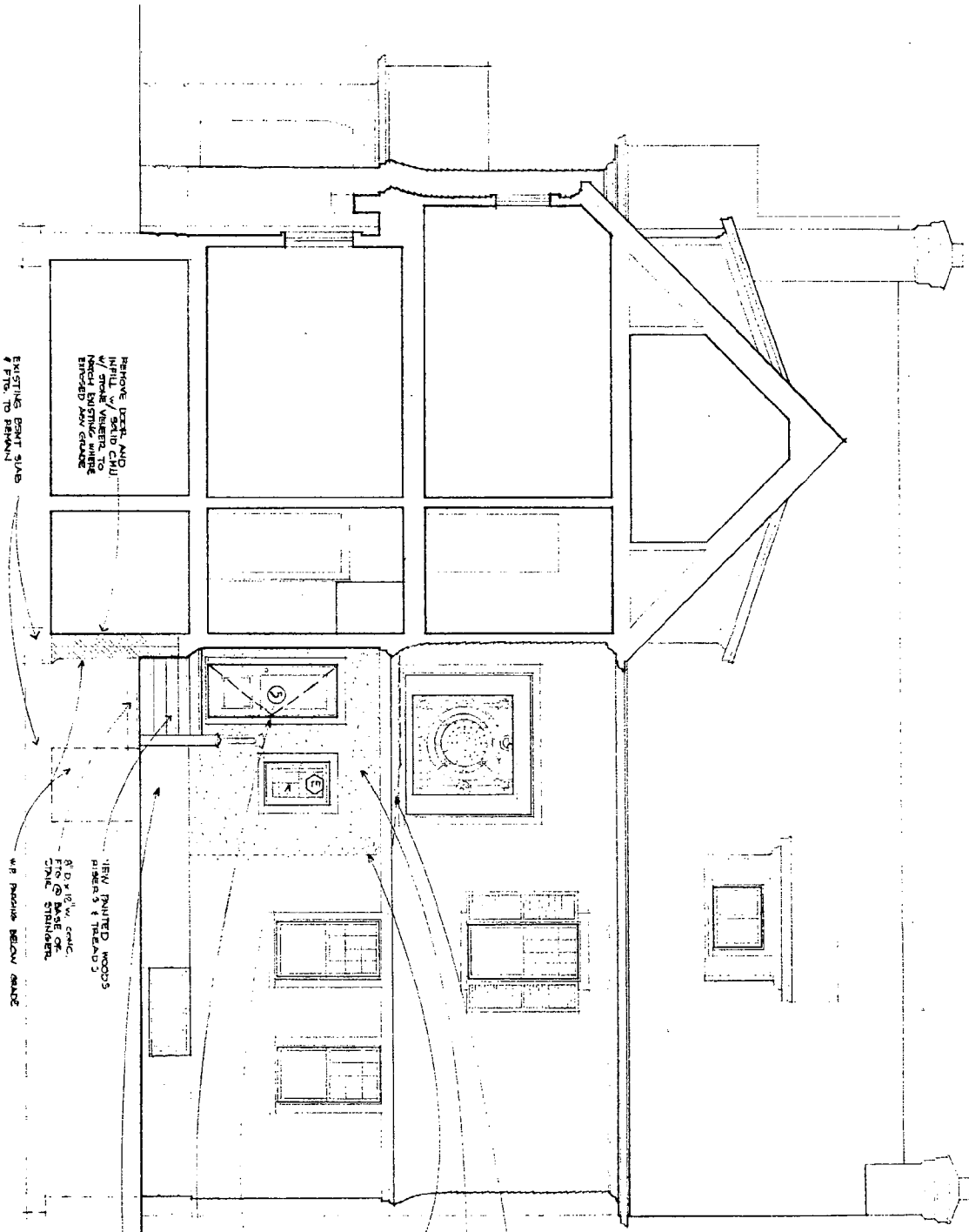
DAVID JONES ARCHITECTS
1710 CONNECTICUT AVE. NW WASHINGTON, DC 20007-3512, USA

Date: 7-17-06

NOTES & SCHEDULES
SITE PLAN

COLBY RESIDENCE
6000 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815

13



REMOVE DECK AND
WHILE WORKING
MATCH EXISTING WHERE
ENCOUNTERED ABOVE GRADE

EXISTING POOR SLAB
& FTR. TO REMOVE

NEW PAINTED WOODS
RISERS & TREADS
R12 x 12 w/ grade
CPNLS STRIPDOWN
w/ R. PROVIDE BELOW GRADE

NEW MATCH VERTICAL
WOOD MATCH EXISTING
NEW GRADE

RELOCATE EXIST. WIND. W/
NEW TRIM TO MATCH EXIST.

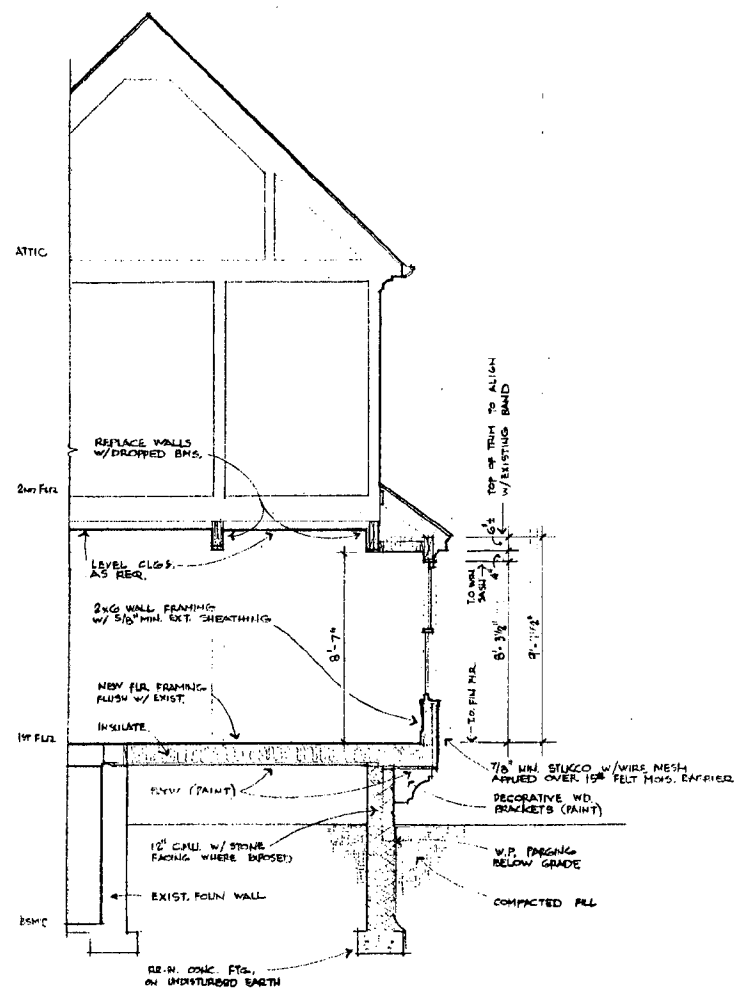
RELOCATE EXIST. WIND. W/
NEW TRIM TO MATCH EXIST.

REMOVE SUPPORT ON TO
BASEMENT LEVEL

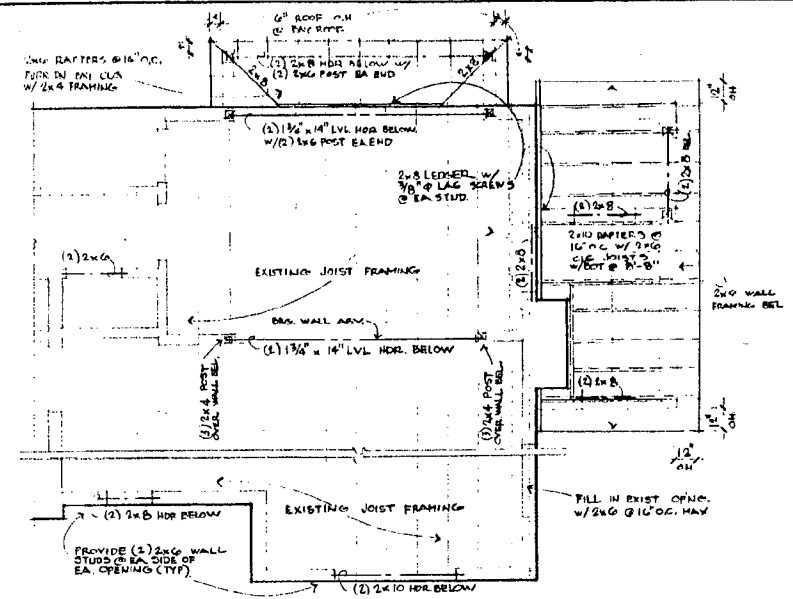
PAINTED WOOD TRIM & STUCCO
TO MATCH EXIST. N.C.

PAINTED WOOD SIDING TO MATCH
EXISTING - STYGGED JOINTS
w/ EXISTING

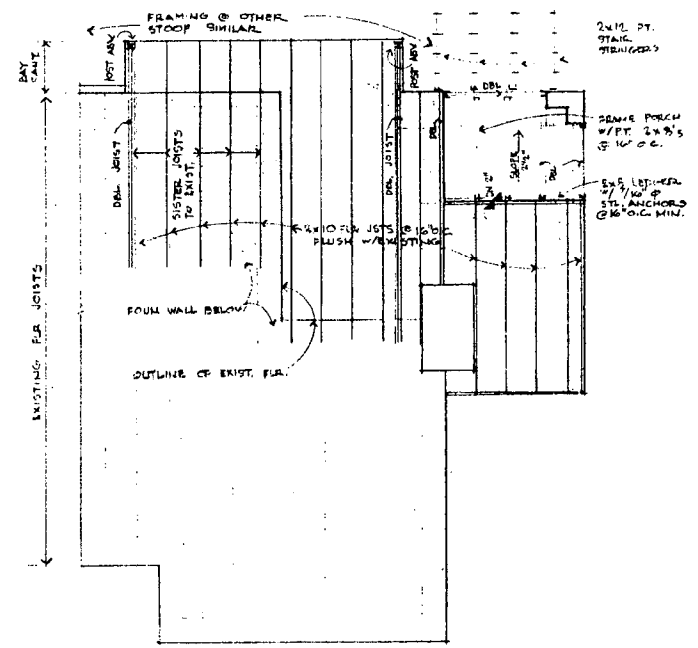
1 NORTH ELEVATION w/ SECTION
SCALE: 1/8" = 1'-0"



1 SECTION (PARTIAL)
SCALE: 1/4" = 1'-0"



2 SECOND FLR/LOWER ROOF FRAMING PLAN
NOT TO SCALE



3 FIRST FLR FRAMING PLAN
SCALE: 1/4" = 1'-0"

14



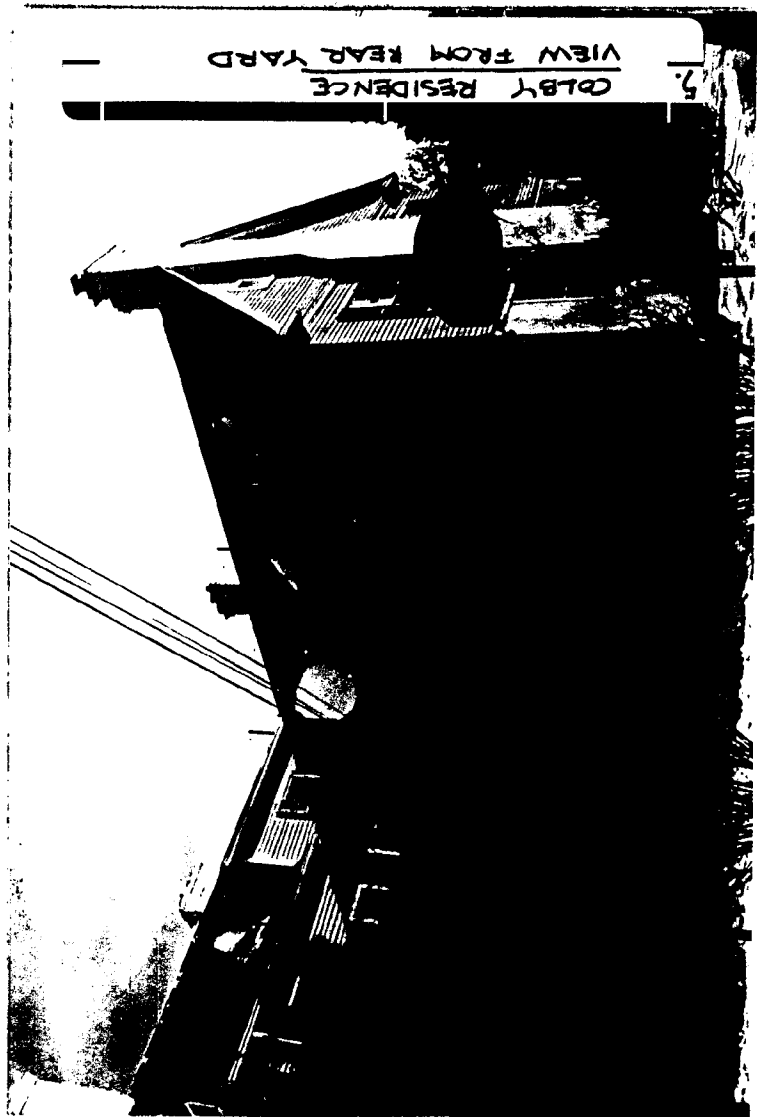
1. COLBY RESIDENCE
VIEW FROM CONNECTICUT AVE.



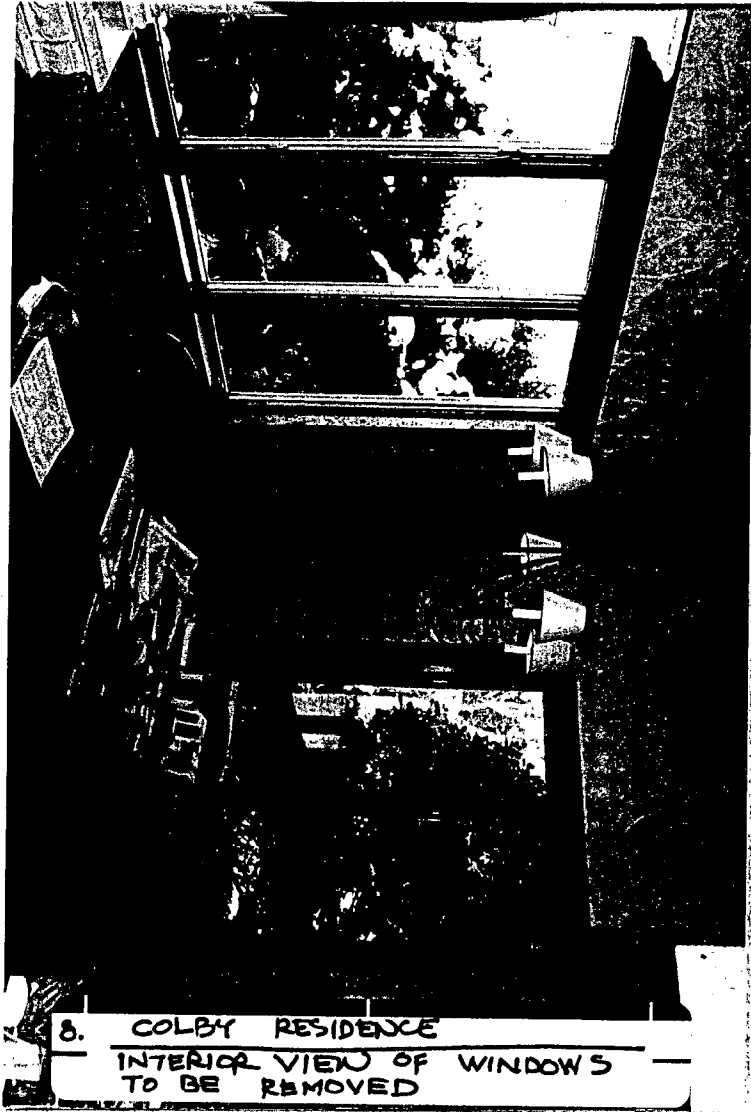
2. COLBY RESIDENCE
EXISTING KITCHEN WINDOWS



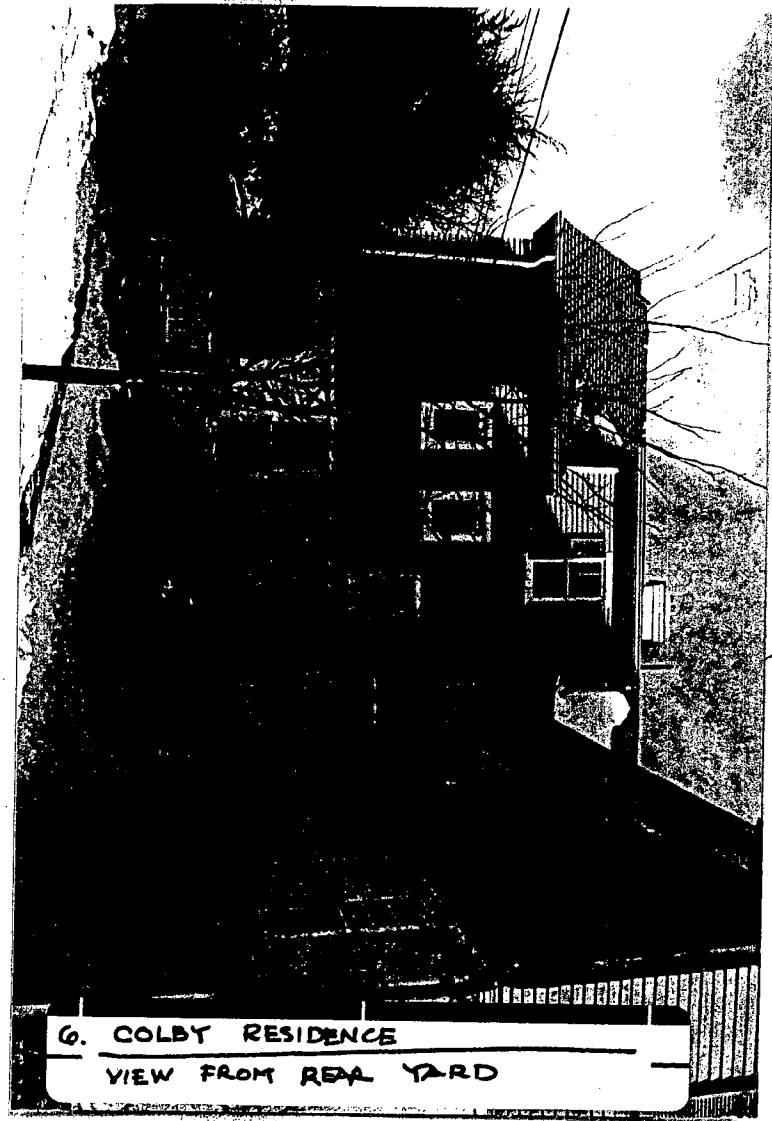
COLBY RESIDENCE
EXISTING BACK PORCH VIEWED
FROM SIDE YARD



6

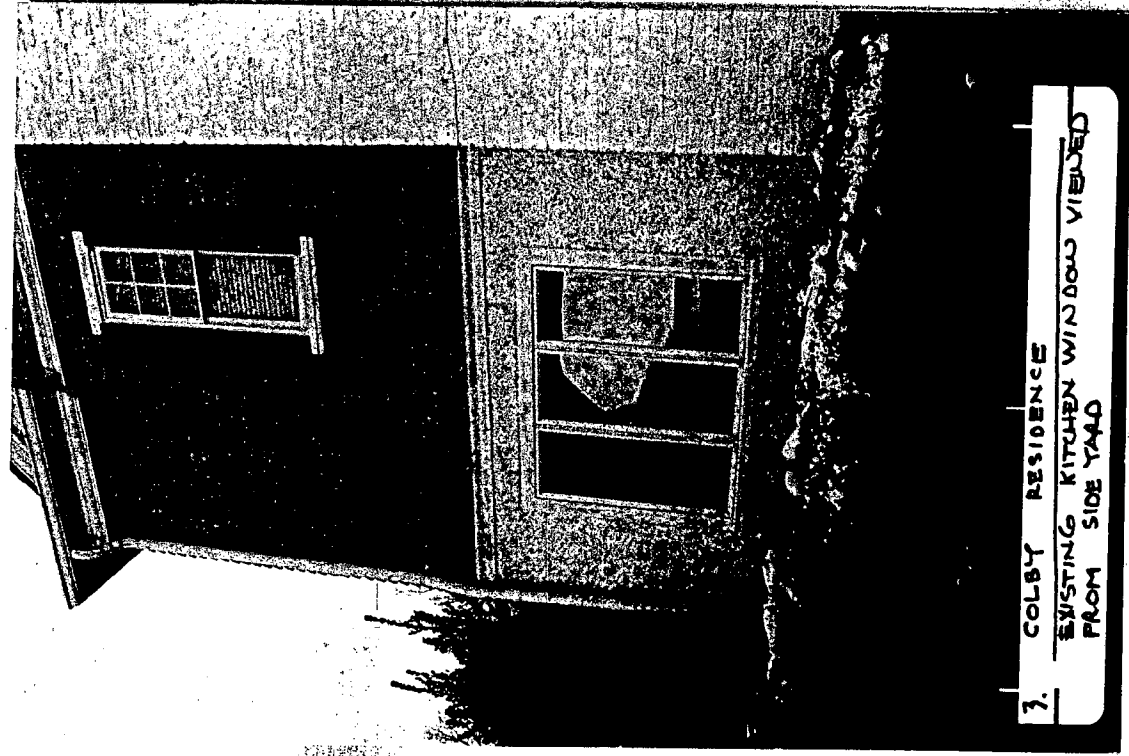


8. COLBY RESIDENCE
INTERIOR VIEW OF WINDOWS
TO BE REMOVED



6. COLBY RESIDENCE
VIEW FROM REAR YARD

17



3. COLBY RESIDENCE
EXISTING KITCHEN WINDOW VIEWED
FROM SIDE YARD

	GLASS OPENING	TYPE	REMARKS
(A)	2'-0" w. x 2'-8" h.	WD./CASEMENT OPERABLE /TDL	SEE ELEVATIONS FOR MUNTIN PATTERN
(B)	2'-0" w. x 3'-4" h.	" "	" "
(C)	2'-4" w. x 5'-2" h.	WD./DEL HUNG OPERABLE /TDL	" "
(D)	2'-4" w. x 5'-10" h.	" "	" "
(E)	EXISTING	" "	RELOCATE PER PLAN

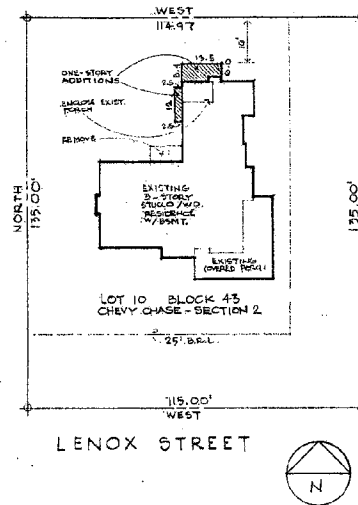
NOTE: NEW DEL HUNG UNITS TO MATCH EXISTING WINDOW DETAILS

2 WINDOW SCHEDULE
NO SCALE

	SIZE	TYPE	REMARKS
(1)	2'-4" w. x 6'-8" h.	INTERIOR SWING WD./PANEL	SEE PLAN FOR SWING
(2)	2'-8" w. x 6'-8" h.	" "	" "
(3)	SIZE TO FIT EXISTING OPNG.	" "	" "
(4)	" "	" PAIR	" "
(5)	2'-8" w. x 6'-8" h.	EXTERIOR SWING WD./GLASS/TDL	SEE PLAN FOR SWING SEE ELEV FOR STYLE

NOTE: NEW DOORS TO MATCH EXISTING DOOR PANELS & DETAILS

3 DOOR SCHEDULE
NO SCALE



4 SITE PLAN
SCALE: 1/8" = 30'-0"

1 GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF	30 PSF
LIVING AREAS	40 PSF
BEDROOM AREAS	30 PSF

A MINIMUM OF 10 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH EXTERIOR GRADE, WHERE REQUIRED. STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELDIN BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUD, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MASS DENSITY AS DETERMINED BY ASTM D698

3 STRUCTURAL NOTES
NO SCALE

D. AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2#5 BARS X 1'-6" LONG INTO EXISTING FOOTING.

3 DEMOLITION

A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. RETAIN THE SERVICES OF A QUALIFIED SPECIALTY ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. SUBMIT DRAWINGS FOR RECORD ONLY.

B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

C. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

4 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'_c) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
- FOOTINGS 3" BOTTOM

5 MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC. C-90 FOR LOAD-BEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 18" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:
OPENINGS TO 3'-0" 3-1/2" X 3-1/2" X 4"
3-1/2" TO 5'-0" 4" X 3-1/2" X 5/8"
5'-0" TO 8'-0" 5" X 3-1/2" X 5/8"
8'-0" TO LONG LEG VERTICAL

C. ALL EXPANSION JOINTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTED SOLID MASONRY.

6 WOOD

A. ALL FRAMING LUMBER SHALL BE MEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
- BENDING STRESS "F_b" = 880 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 70 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 405 PSI
- COMPRESSION PARALLEL TO GRAIN "F_c11" = 1,150 PSI
- MODULUS OF ELASTICITY "E" = 1,900,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NGLA.

B. ALL EXTERIOR FRAMING LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES BASED ON 2X12 LUMBER:
- BENDING STRESS "F_b" = 975 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 90 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 585 PSI
- COMPRESSION PARALLEL TO GRAIN "F_c11" = 1,450 PSI
- MODULUS OF ELASTICITY "E" = 1,600,000 PSI

C. PLYWOOD LAMINATED (MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
- BENDING STRESS "F_b" = 2400 PSI
- HORIZONTAL SHEAR "F_v" = 220 PSI
- MODULUS OF ELASTICITY "E" = 1,900,000 PSI

D. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

E. PREFAB JOIST AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION.

F. ALL WALL STUDS SHALL BE SFR S10 GRADE DR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
- COMPRESSION PARALLEL TO GRAIN "F_c11" = 625 PSI
- BENDING STRESS "F_b" = 725 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY "E" = 1,200,000 PSI

G. ALL PREFRANCING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALL SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

H. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

I. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRACING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

J. ALL ROOF RAFTERS AND SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 16 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOAD UNLESS SHOWN OTHERWISE ON DRAWINGS.

7 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURDI-FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

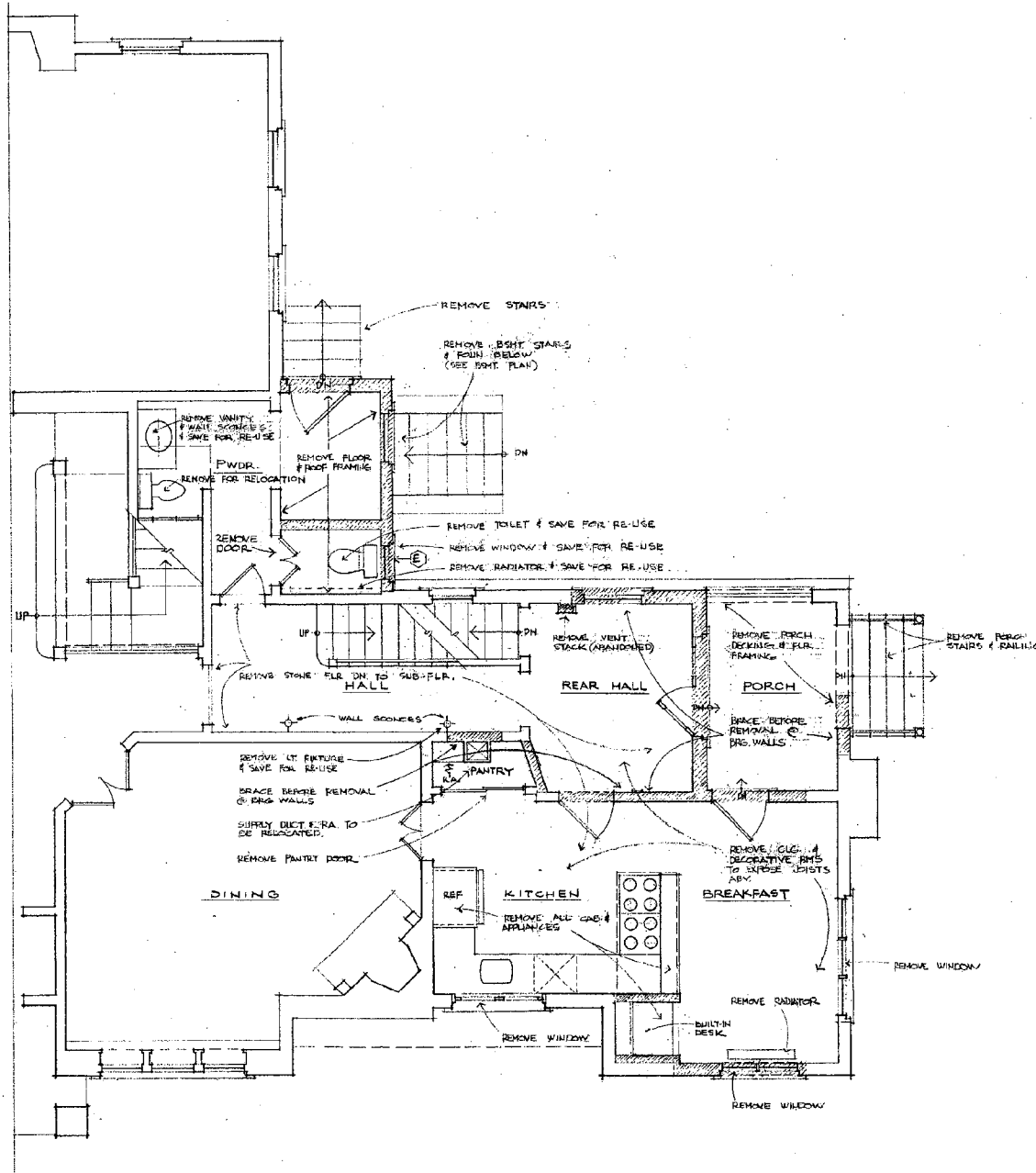
B. EXTERIOR WALL SHEATHING SHALL BE 19/32 (5/8) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

C. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 240 OR BETTER. FASTEN PANELS TO TRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

DAVID JONES ARCHITECTS
 1330 CONNECTICUT AVE. NW WASHINGTON, DC 20004-2021-1700
 Date: 3-17-00
 NOTES & SCHEDULES
 SITE PLAN
 COLBY RESIDENCE
 6000 CONNECTICUT AVENUE
 CHEVY CHASE, MD 20815
 CONNECTICUT AVENUE

5-11-00



NOTE: HATCHED AREAS DENOTE WALL REMOVAL

1 FIRST FLOOR - REMOVAL PLAN
2 SCALE: 1/4" = 1'-0"

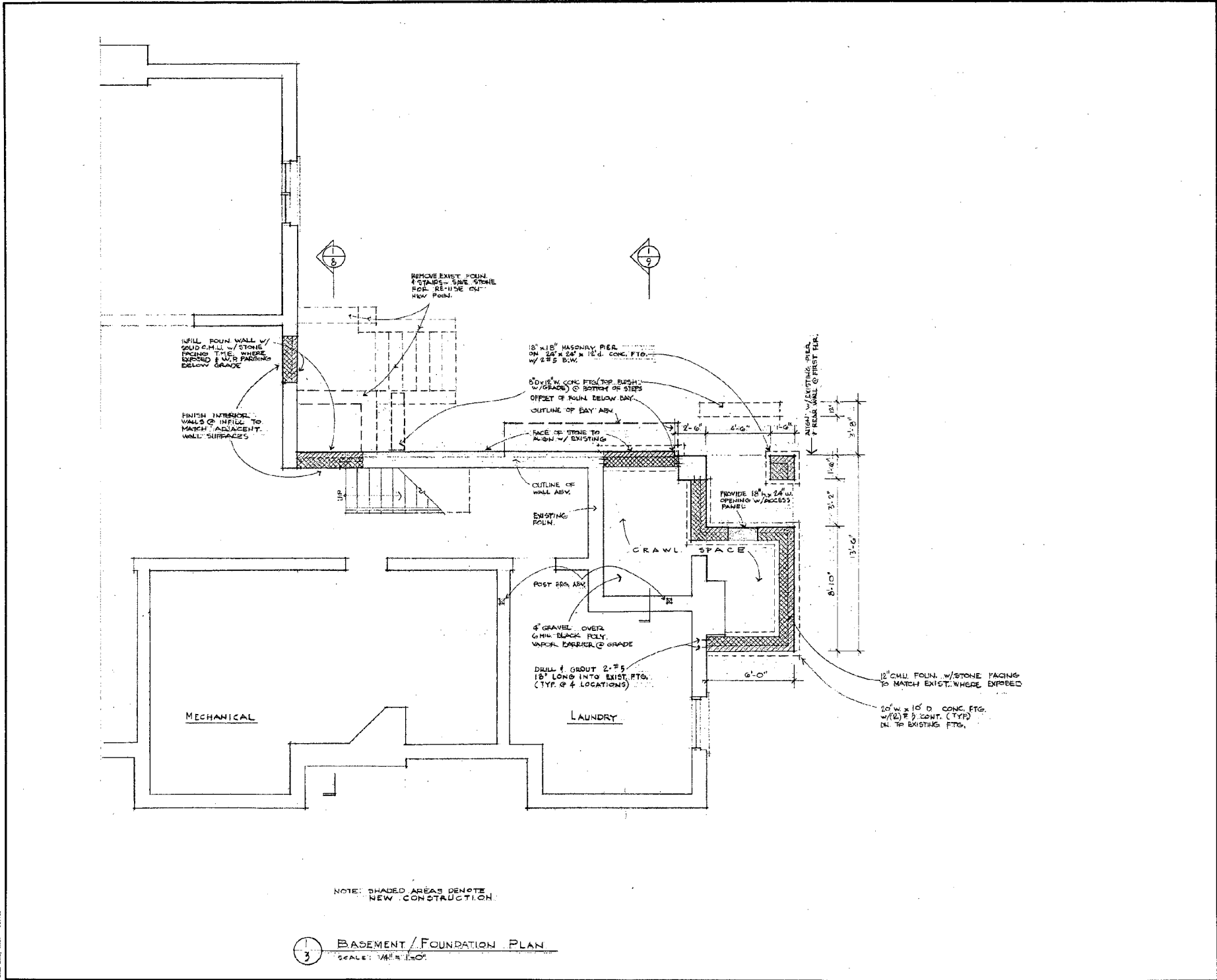
DAVID JONES ARCHITECTS
179 CONNECTICUT AVE., NW WASHINGTON, DC 20005-3211-106

Date:
7-17-00

REMOVAL PLAN

COLBY RESIDENCE
6000 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815

2



NOTE: SHADED AREAS DENOTE NEW CONSTRUCTION.

3 BASEMENT / FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

D&D ARCH. INC. 05/15/05

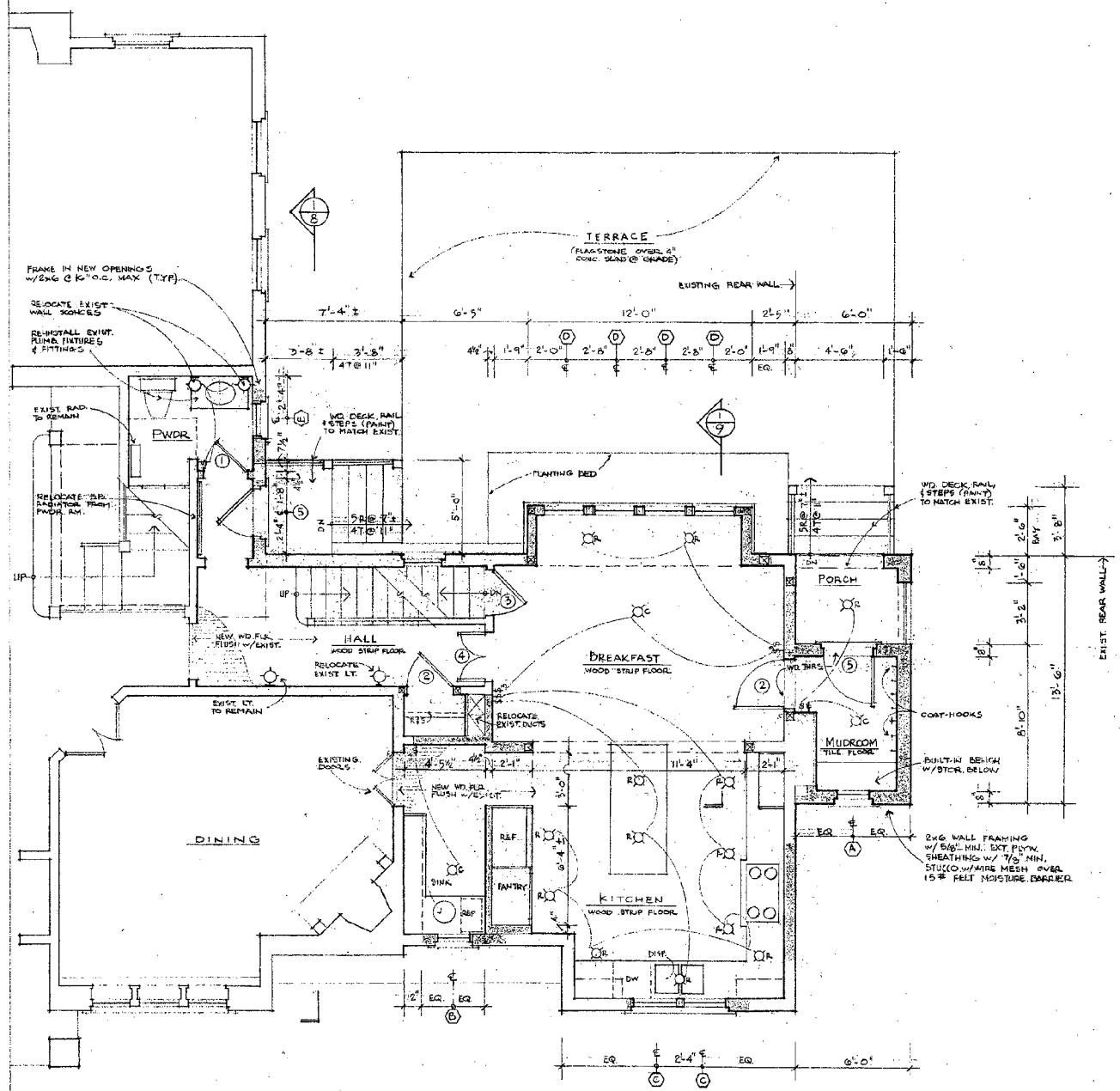
DAVID JONES ARCHITECTS
1739 CONNECTICUT AVE. NW WASHINGTON, DC 20007-3023 202-332-1000

Date:
3.17.00

Basement / Foundation Plan

COLBY RESIDENCE
6000 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815

3



FRAME IN NEW OPENINGS
W/2x6 @ 16" o.c. MAX (TYP)

RELOCATE EXIST.
WALL SCHEDULES

REINSTALL EXIST.
PLUMB. FIXTURES
& FITTINGS

EXIST. BATH
TO REMAIN

P.W.D.R.

RELOCATE EXIST.
RADIATOR FROM
P.W.D.R. RM.

UP

NEW W.D. F.L.
FLOOR W/EXIST.

HALL
WOOD STRIP FLOOR

RELOCATE
EXIST. LT.

EXIST. LT.
TO REMAIN

EXISTING
DOORS

DINING

NEW W.D. F.L.
FLOOR W/EXIST.

ENTRY

KITCHEN
WOOD STRIP FLOOR

REF.

DISH.

DW.

EG.

EG.

EG.

EG.

EG.

NOTE: SHADED AREAS DENOTE
NEW CONSTRUCTION

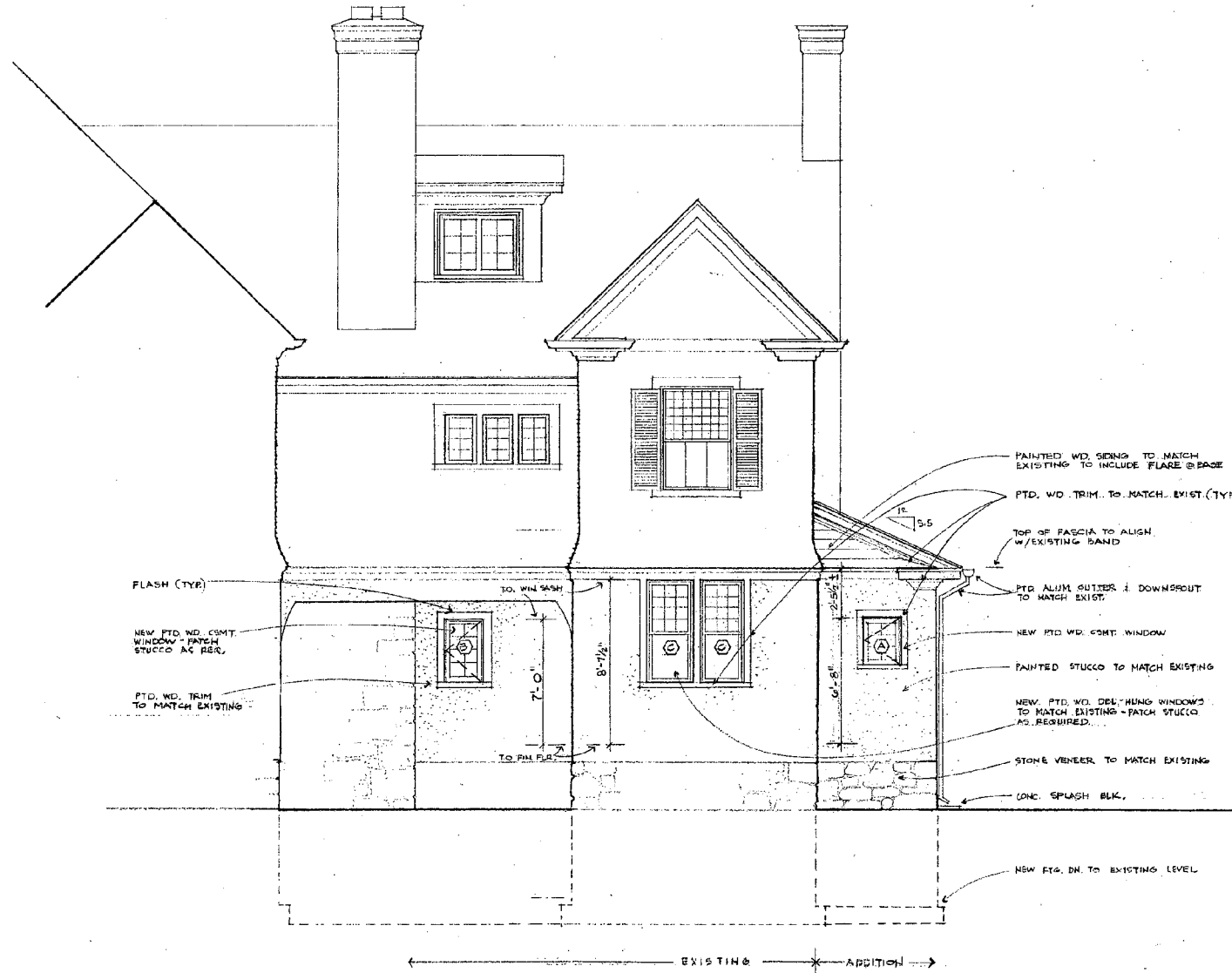
NOTE: CONTRACTOR TO PROVIDE
ELEC. OUTLETS PER CODE.

1
4 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIGHTING FIXTURES

	RECESSED DOWNLIGHT
	CEILING MOUNTED T.B.S.

CD ONE, INC. 01/14



1 EAST ELEVATION (PARTIAL)
 5 SCALE: 1/4" = 1'-0"

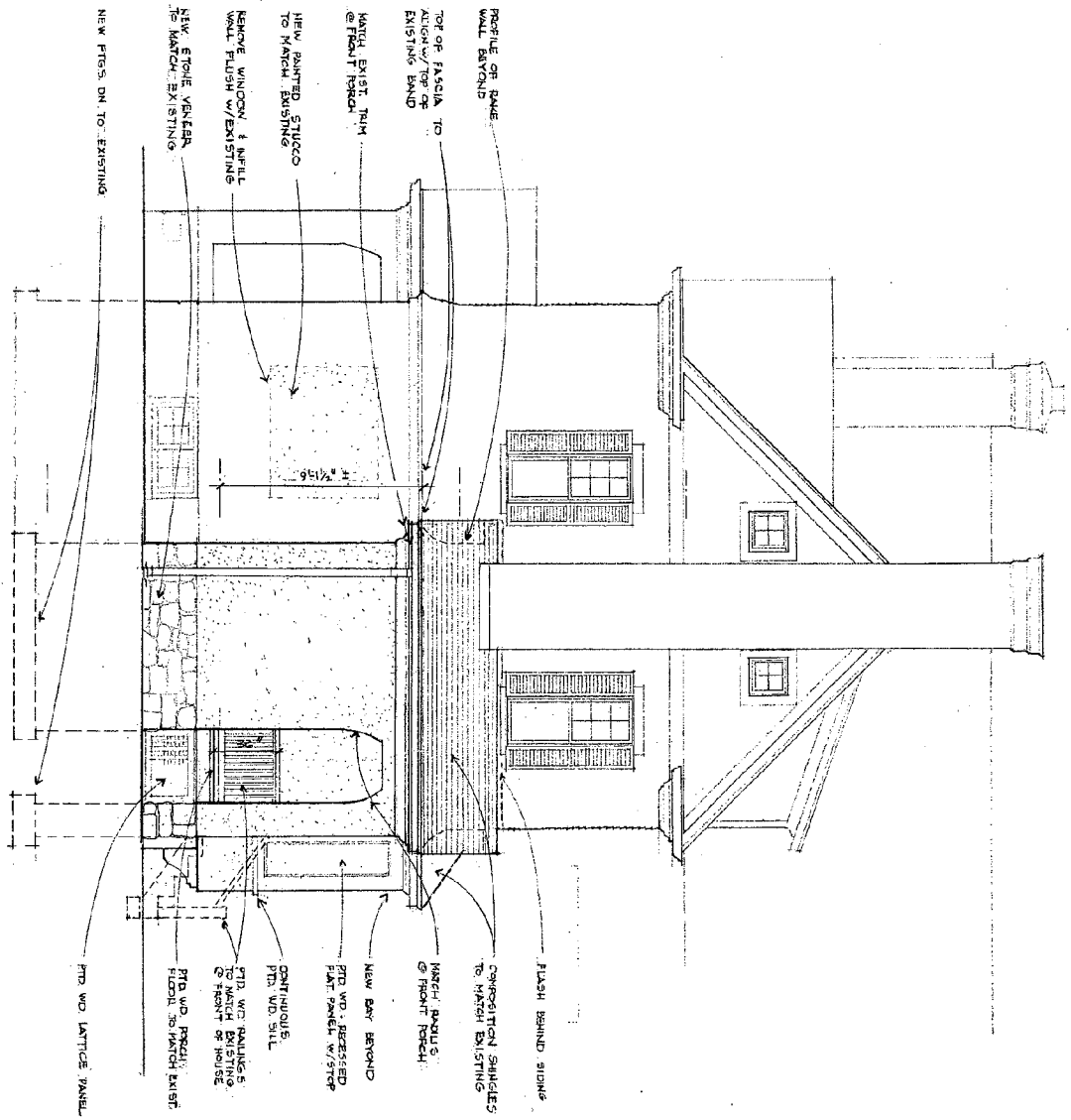
DAVID JONES ARCHITECTS
 1718 CONNECTICUT AVE., NW WASHINGTON, DC 20009-3012-1700

Date:
 7-17-00

EAST ELEVATION (PARTIAL)

COLBY RESIDENCE
 6000 CONNECTICUT AVENUE
 CHEVY CHASE, MD 20815

1 NORTH ELEVATION (PARTIAL)
 6 SCALE: 1/4" = 1'-0"



6	COLBY RESIDENCE 6000 CONNECTICUT AVENUE CHEVY CHASE, MD 20815	NORTH ELEVATION	Date: 7-17-00	DAVID JONES ARCHITECTS 1739 CONNECTICUT AVE., NW WASHINGTON, DC 20009 202-332-1200
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1 NORTH ELEVATION w/ SECTION
 8 SCALE: 1/4" = 1'-0"

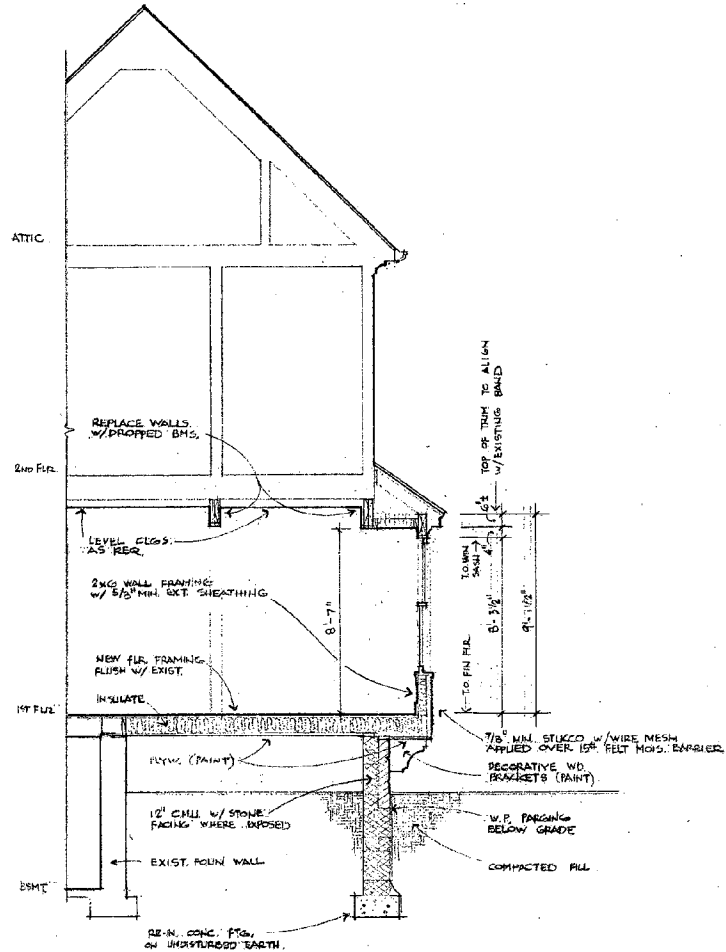
DAVID JONES ARCHITECTS
 179 CONNECTICUT AVE. NW WASHINGTON, DC 20009-192-331-1209

Date:
 3-17-00

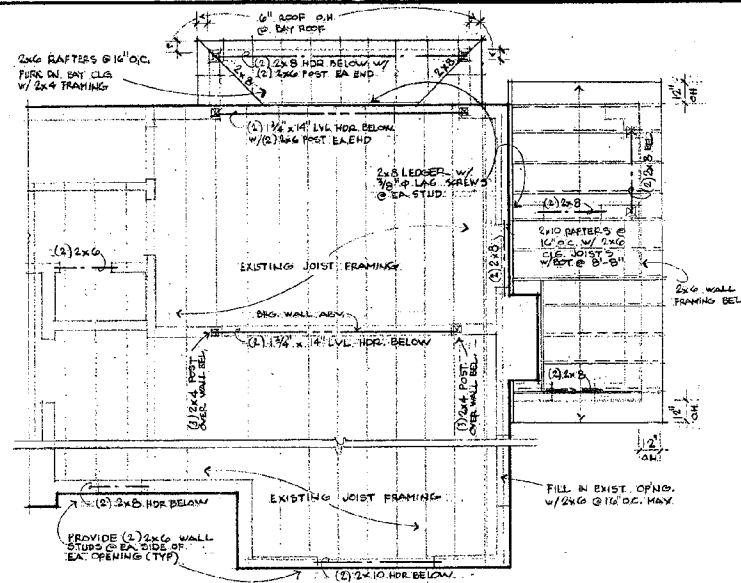
NORTH ELEVATION (PARTIAL)

COLBY RESIDENCE
 6000 CONNECTICUT AVENUE
 CHEVY CHASE, MD 20815

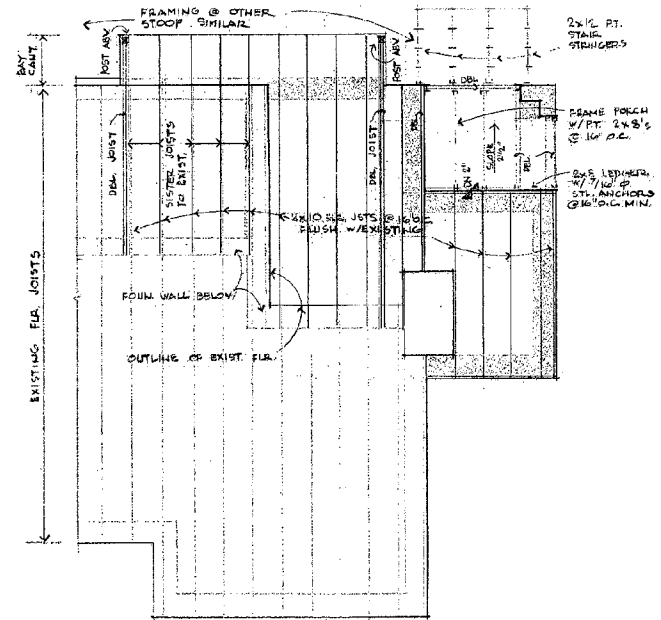
CAD ONE INC. 01/02



1 SECTION (PARTIAL)
SCALE: 1/4" = 1'-0"



2 SECOND FLR./LOWER ROOF FRAMING PLAN
9 NOT TO SCALE



3 FIRST FLR FRAMING PLAN
9 SCALE: 1/4" = 1'-0"

Date: 4/12/00

Sender: "Bourke Tom" <tom.bourke@whihomes.com>

To: HPC fax <IMCEAFAX-301-563-3412@weyerhaeuser.com>, KEPHART, "Naru Michele (M-NCPPC)" <narum@smtplink.mncppc.state.md.us>, Wright, Ziek

cc: 'Jerry Schiro' <jms@erols.com>, "Elliott Bob" <bob-elliott@worldnet.att.com>, "Feldman Gail" <Gailivy@aol.com>, Jacobs c/o angela mcfuckenfuss <cfmuck@erols.com>, "Marsh Joan" <r.marshes@erols.com>, "Stephens Betsy" <bstephens@ibm.net>, "Wellington Peter" <pwellington@steptoe.com>

Priority: Normal

Subject: CCV LAP Comments Wednesday 4/12 hearing

> Chevy Chase Village, Local Advisory Panel Comments for HPC Hearing April
> 12, 2000

>

> The following are the comments of the LAP on these Historic Area Work

> Permit Applications:

>

> Colby residence, 6000 Connecticut Ave:

> Outstanding resource,

> Porch Alteration, window replacement

> Staff recommendation: Approval

>

> The LAP concurs with the staff recommendation to approve without

> conditions. The addition appears to be well thought-out, and the removal

> of out-of-period prior work is to be commended

>

> Ruesch residence, 1 Primrose St:

> Outstanding resource

> Rear addition

> Staff recommendation: Approval.

>

> The LAP concurs with the staff recommendation for approval without

> conditions.

> The addition is well-designed and sits far back from Primrose St;

> therefore it has no significant impact on the streetscape. The LAP fully

> agrees with the approval.

>

> West residence, 5912 Cedar Parkway

> Contributing resource

> Alterations and addition (to side of house)

> Staff recommendation: Approval with conditions

>

> The LAP concurs with the approval of the proposed work. The addition at

> the side is set back from the front façade even more than the existing

> addition on the other side of the front elevation. Staff conditions for

> painted trim and tree-save measures are entirely reasonable. Several

> members of the LAP expressed concern for the trees to be removed or

> endangered by the new driveway construction. We believe this issue is

> already sufficiently covered by the Village permit review process, but the

> applicant should be reminded that approval from the Village will be

> required: The Village Building Code states, Section 8-17: " Unless a

> special permit has been obtained from the Board of Managers, no permit

> shall be issued for the construction of any improvement which may

> reasonably be expected to injure a tree of any size on an abutting or

> nearby property, unless the owner of such property grants written

> permission; or the removal of which is regulated by Chapter 17."

>

> The staff also requires that all new windows be wood with true divided

> light construction. The LAP would generally agree with this for the

> street elevation, but suggests if the resident so requests, that

> flexibility be allowed for windows facing the side and rear of the house.
> The Local Guidelines call for lenient scrutiny in such situations, and the
> LAP feels that this flexibility should be provided if desired by the
> applicant.

>
> Respectfully Submitted for the Panel by
> Thomas K. Bourke
> Chairman

>
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COLBY RESIDENCE

EXISTING-PHOTOS
FOR HPC REVIEW

DAVID JONES ARCHITECTS

1739 CONNECTICUT AVENUE, NW • WASHINGTON, DC 20009



7. COLBY RESIDENCE
VIEW FROM LENOX STREET



5. COLBY RESIDENCE
VIEW FROM REAR YARD







3. COLBY RESIDENCE
EXISTING KITCHEN WINDOW VIEWED
FROM SIDE YARD



2. COLBY RESIDENCE
EXISTING KITCHEN WINDOWS



1. COLBY RESIDENCE
VIEW FROM CONNECTICUT AVE.

