

35/13-00V 11 Hesketh Street
(Chevy Chase Village Historic Dist.)

5

(=)

indicates Neighbors beside & Across

Address	Last Name	First Name (s)	Spouse's Name	Home Phones	Office/Fax Phones
5621 Grove Street	Hirsch	Helenann Philip	Recht	913-0611	
5625 Grove Street	Adams	Bailey C. Anne H. (Andi)		718-2626	(301) 215-7500 (202) 457-7333
2 Hesketh Street	Wenner	Adam Abigail K.		654-2149	
3 Hesketh Street	Jeurling	Lars A. Ellen C.	Donahue	656-0193 656-0194	(202) 458-9003
4 Hesketh Street	Hickey	James J. Darlene		656-3824	
5 Hesketh Street	Gudis	Jerry M. Annie G.		652-2168	(301) 251-4102
6 Hesketh Street	Dickson	R. Bruce Linda J.		951-6186	
7 Hesketh Street	Bath	D. Blake Sydney B.		654-3123	(202) 452-4732
8 Hesketh Street	Reicher	Dan W. Carole L.	Parker	652-2589 652-3048	(202) 586-9220 (703) 604-0572
✓ 9 Hesketh Street	Weiss	Randy Laura		907-9165	(202) 879-4915
10 Hesketh Street	Price	Wesley Barbara		986-1255	(301) 652-7700
11 Hesketh Street <i>Residents</i>	Ruppert	Carl Antoinette		654-4478	(301) 652-9722
✓ 12 Hesketh Street	Windham	Robert E. Dorothy C.		654-8737	
✓ 14 Hesketh Street	Cushing	David J. Julie	Chapman	657-9275	(202) 663-7925 (301) 654-8650
✓ 15 Hesketh Street	Waterman	Dr. Daniel H. Deborah H.		654-5029	
✓ 16 Hesketh Street	Fishman	Richard P. Dina R.	Lassow	654-2733	(202) 371-6626
17 Hesketh Street	Schurman	Joseph R. Evelyn I.		656-7818	
18 Hesketh Street	Linder	Perry Judy		718-0549	(301) 654-2498
20 Hesketh Street	Dugan	John Beth	Carl A. Ruppert & Associates Architects	986-0273	(202) 662-5415
21 Hesketh Street	Lewis	Eric Elise	Hoffman	718-8179	(202) 833-8900 (202) 429-3635

RECEIVED

SEP 1 - 2000

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indicates Neighbors to Rear.

Address	Last Name	First Name (s)	Spouse's Name	Home Phones	Office/Fax Phones
4 West Irving Street	Howard	Thomas L. Ann D.		986-5778	
5 West Irving Street	Sneider	Joel Jilann		718-9373	
8 West Irving Street	Grace	William S. Jr. Valerie		652-1584	
9 West Irving Street	Bissinger	Frederick L. Barbara S.		657-8373	
11 West Irving Street	Bralove	David H. Jill T.		913-5713	
12 West Irving Street	Fistere	Michael S. Nancy	Orvis	656-8582	(703) 681-3918
13 West Irving Street	Dudley	Henry A.		654-4763	
14 West Irving Street	Cutter	Lynn		654-8920	
15 West Irving Street	Dupuy	Christopher Diane		Unlisted	
16 West Irving Street	Grant	John P. Marea E.	Hartziolos	652-4169	(202) 458-5779 (202) 522-0367
17 West Irving Street	Elliot	Robert H. Judith C.		652-6910	
18 West Irving Street	Meisel	James A. Julia A.	Dahlberg	907-6816	
20 West Irving Street	Somervell	James A. Kristin H.		652-4307	
22 West Irving Street	Fitzpatrick	Georgia M.		652-5734	
23 West Irving Street	Nicholson	Leonard L. Margaret L.		657-2958	
24 West Irving Street	Williams	David F. Cary K.		931-0887	(202) 452-3295
25 West Irving Street	Wimsatt	James McS. Margaret S.		652-5368 652-7574	
26 West Irving Street	Long	Dr. John A. Valarie		654-5421	
27 West Irving Street	Kainer	Jacob Ruth		654-3702	
28 West Irving Street	Ingram	Gregory K. Elizabeth S.		986-9024	

RECEIVED

SEP - 2000

Carl A. Ruppert
& Associates, Architects

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M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-13-00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

NPC # 35/13-00V & DPS 227375

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

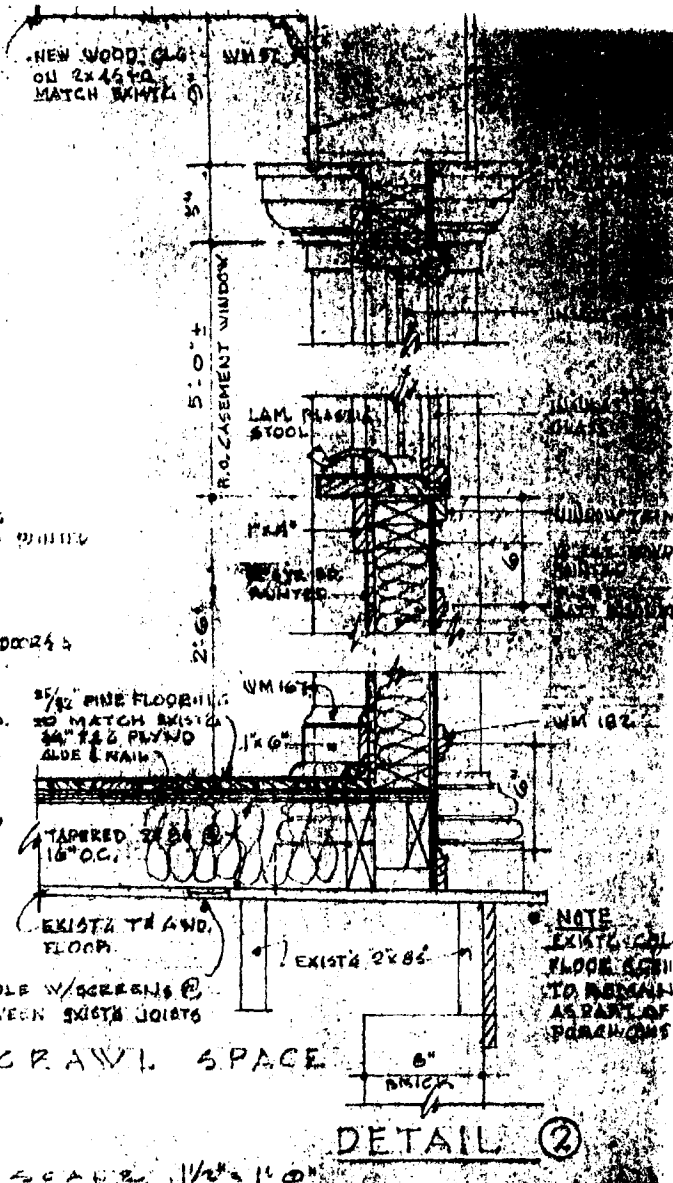
c:\hawpr.wpd

NOTES

CONTRACTOR
 OR SHALL BE RESPONSIBLE FOR COORDINATION OF
 BETWEEN THE DIFFERENT TRADES. ALL OPENINGS,
 BOX OUTS, ETC. SHALL BE SUBMITTED FOR ARCHITECT/
 APPROVAL.
CONDITIONS
 ALL WORKING CONDITIONS SHALL BE VERIFIED BY THE
 CONTRACTOR AND ANY DISCREPANCIES WITH THE CONTRACT
 CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE
 ARCHITECT FOR RESOLUTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 1996
 INTERNATIONAL BUILDING CODE, THE 1992 CABO ONE AND
 MODEL HOUSING DWELLING CODE, AND ALL LOCAL CODES.

LIVE LOADS ARE:
 DECK.....PER BOCA 1996 FOR DRIFTING
 (30 PSF MIN.)
 INTERIOR ROOMS.....40 PSF

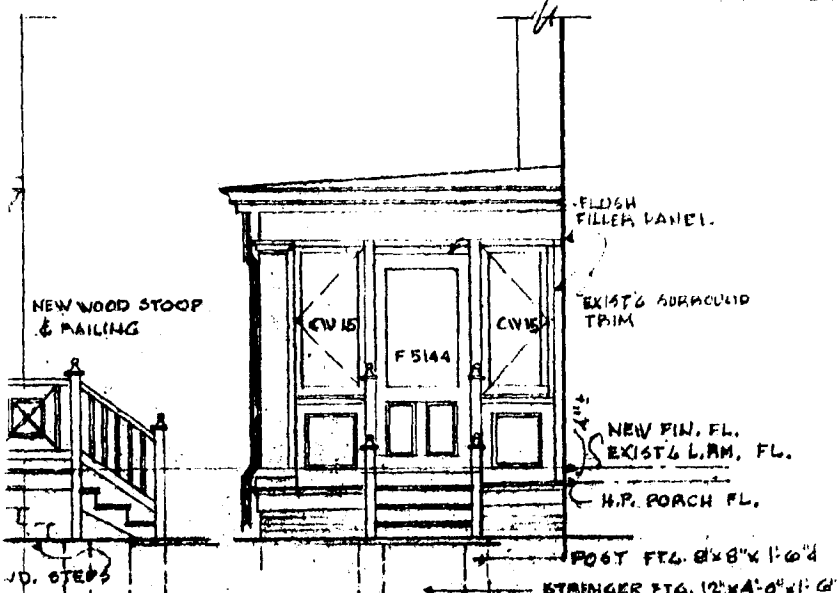
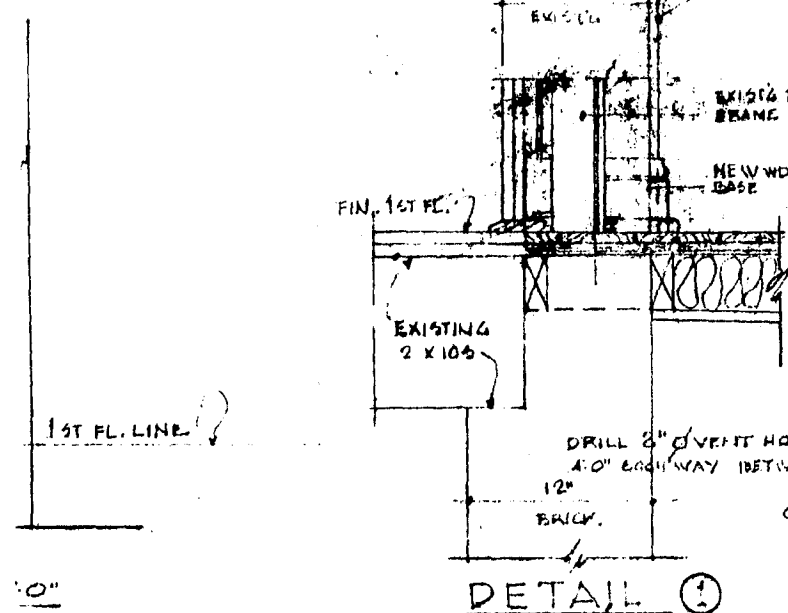


NOTE
 EXISTING FLOOR SHALL
 BE REFINISHED
 AS PART OF
 WORK

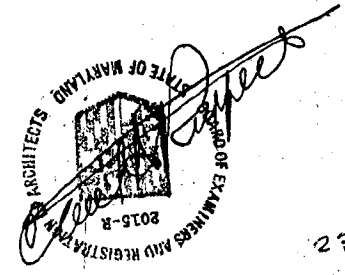
DETAIL 1

DETAIL 2

SCALE: 1/2" = 1'-0"

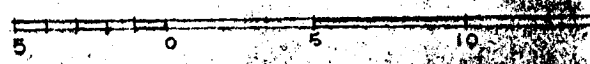


REAR NORTH



23 Aug 00

GRAPHIC SCALE

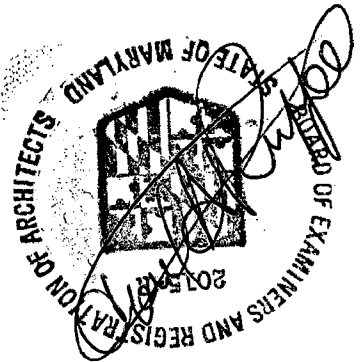


PORCH ENCLOSURE
C.A. RUPPERT REGISTERED ARCHITECT
 11 HASKETH ST. CHEVY CHASE, MD 20841

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

C.A. RUPPERT & ASSOCIATES, ARCHITECTS
 P.O. BOX 18837, CHEVY CHASE, MD 20841
 PHONE: 301-658-8728 FAX: 301-658-8728

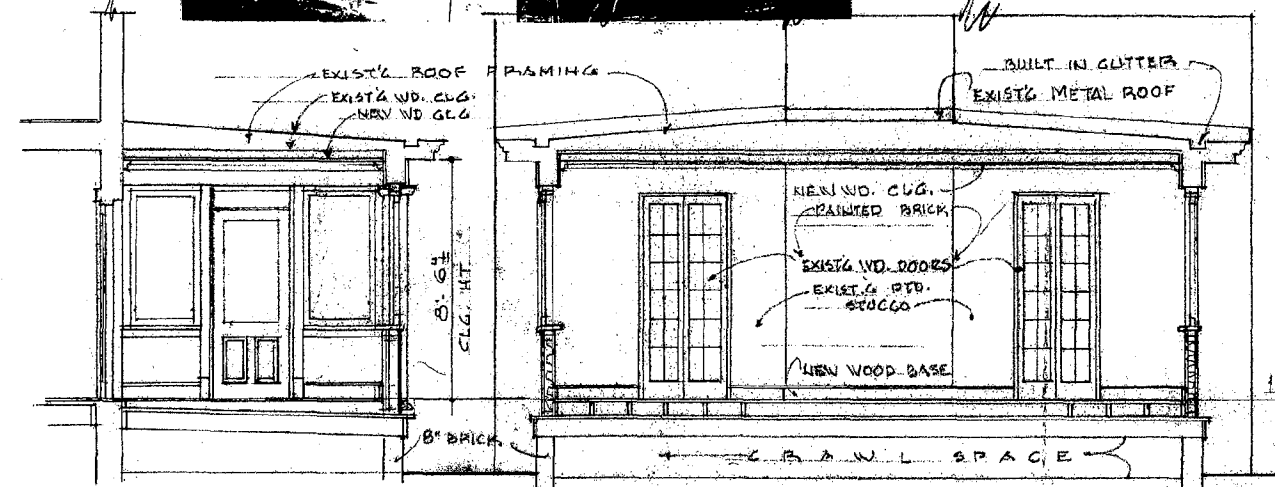
PORCH RENOVATION



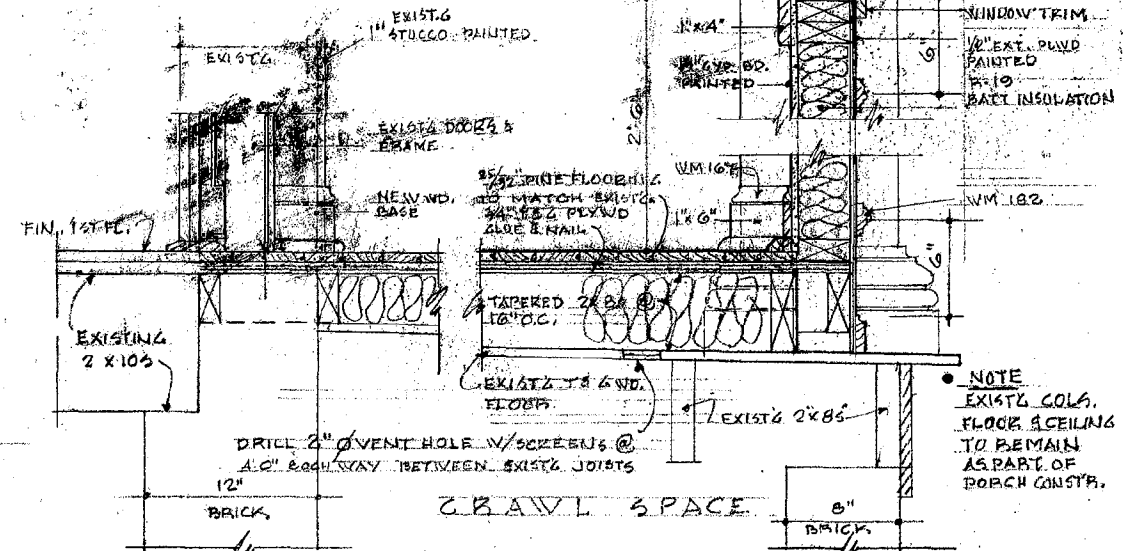
EXISTING

CONSTRUCTION NOTES

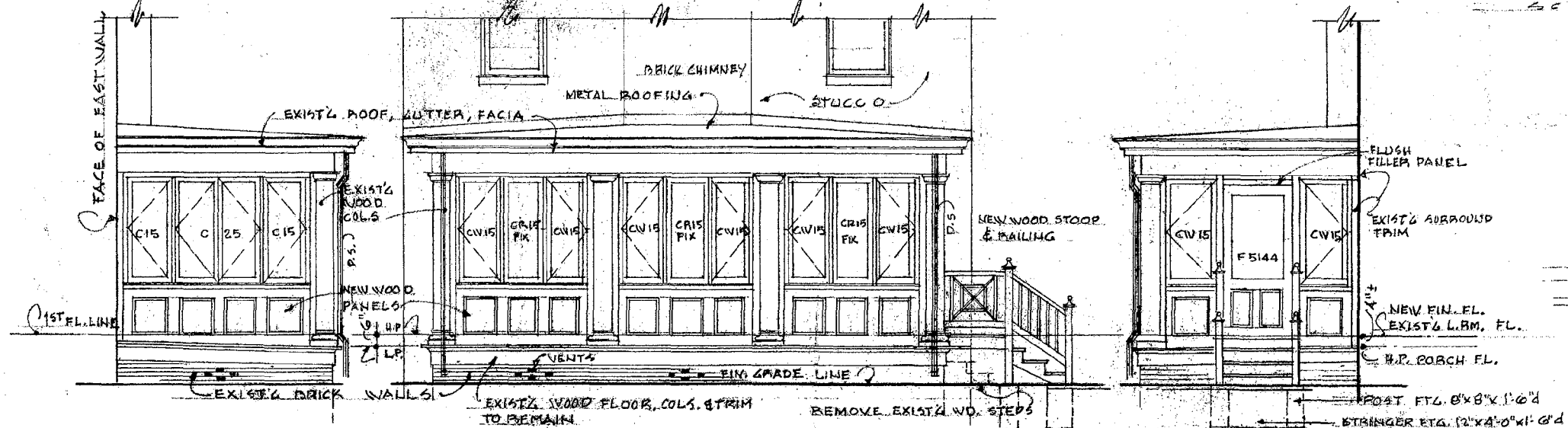
- COORDINATION**
CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK BETWEEN THE DIFFERENT TRADES. ALL OPENINGS, HOLES, BOX OUTS, ETC. SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER APPROVAL.
- EXISTING CONDITIONS**
ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
- CODES**
DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 1996 BOCA NATIONAL BUILDING CODE, THE 1992 CABO ONE AND TWO FAMILY DWELLING CODE, AND ALL LOCAL CODES.
- LOADS**
DESIGN LIVE LOADS ARE:
ROOF.....PER BOCA 1996 FOR DRIFTING (30 PSF MIN)
INTERIOR ROOMS.....40 PSF



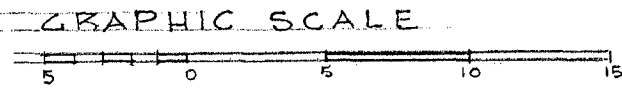
SECTION "A" SECTION "B" SCALE 1/4" = 1'-0"



DETAIL 1 DETAIL 2 SCALE 1/2" = 1'-0"



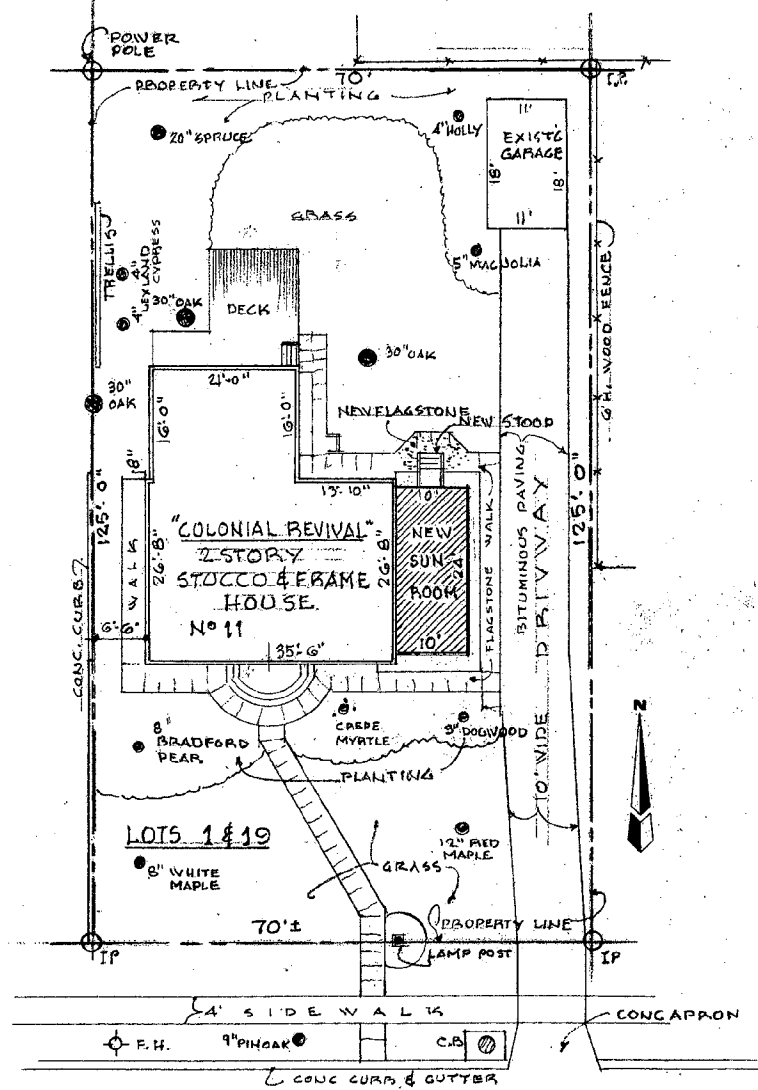
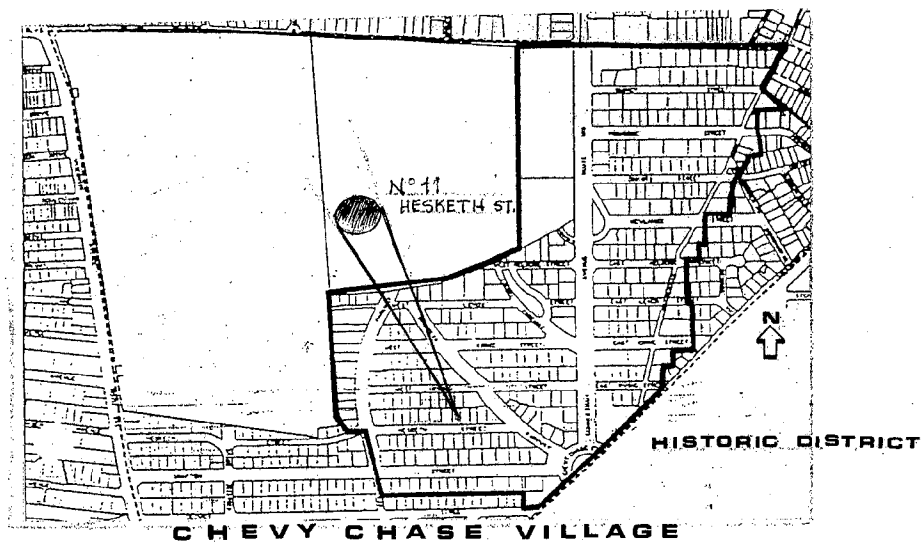
FRONT SOUTH EAST SIDE ELEVATION REAR NORTH SCALE 1/4" = 1'-0"



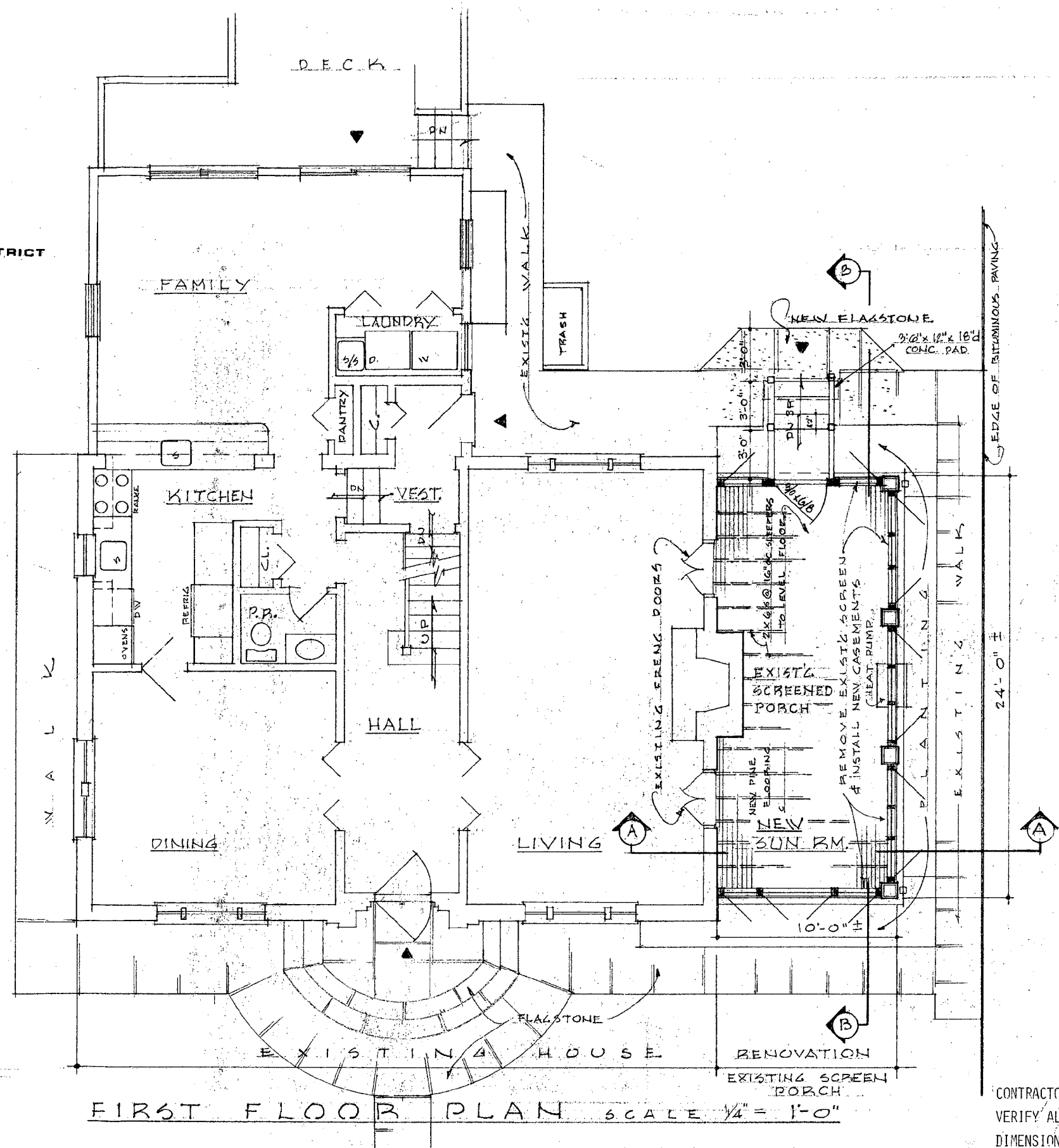
PORCH ENCLOSURE
C.A. RUPPERT RESIDENCE
11 HESKETH ST. CALCH, MD. 20815

CONTRACTOR
VERIFY ALL
DIMENSIONS

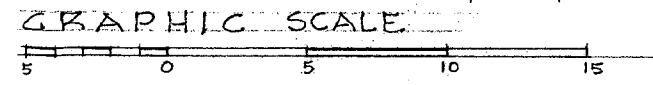
CARL A. RUPPERT & ASSOCIATES, ARCHITECTS
P.O. BOX 15637, CHEVY CHASE, MD. 20825
PHONE: 301-652-9722 FAX: 301-652-9723



HESKETH ST.
 SITE PLAN SCALE 1/16" = 1'-0"
 PARTS OF LOTS 1 & 19 BLOCK 29
 CHEVY CHASE VILLAGE, MD. 20815
 PORCH ENCLOSURE
 C.A. RUPPERT RESIDENCE
 11 HESKETH ST., CH, CH, MD. 20815



FIRST FLOOR PLAN SCALE 1/4" = 1'-0"



CARL A. RUPPERT & ASSOCIATES, ARCHITECTS
 P.O. BOX 15637, CHEVY CHASE, MD. 20825
 PHONE: 301-652-9722 FAX: 301-652-9723

CONTRACTOR:
 VERIFY ALL
 DIMENSIONS

GENERAL NOTES

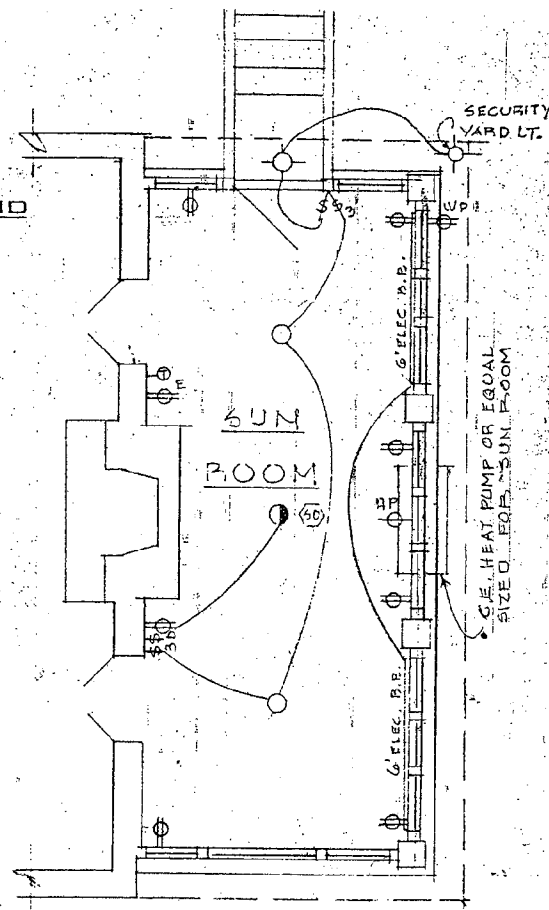
1. THE DRAWINGS AND SPECIFICATIONS HEREIN PROVIDE GRAPHIC AND WRITTEN REQUIREMENTS FOR EXECUTION OF THE WORK BY THE CONTRACTOR. THEY ARE INTENDED TO BE USED TOGETHER AND SHALL HAVE EQUAL FORCE. ANY DISCREPANCIES BETWEEN THEM SHALL BE REPORTED TO THE ARCHITECT BEFORE COMMENCING WORK.
2. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF MASONRY, OR STRUCTURAL MEMBER, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK AS DRAWN AND SPECIFIED IN THE CONTRACT DOCUMENTS, AND SHALL BE LIABLE FOR ANY UNAPPROVED DEVIATION FROM THE DRAWINGS AND SPECIFICATIONS THEREIN. ANY PLANNED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO IMPLEMENTATION, AND SHALL BE UNDERTAKEN ONLY WITH THE WRITTEN CONSENT OF THE ARCHITECT.
4. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY AND CONTROL OVER CONSTRUCTION MEANS METHODS, TECHNIQUES, SEQUENCES AND COORDINATION OF ALL PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO COMMENCING WORK TO TAKE FIELD MEASUREMENTS AND VERIFY FIELD DIMENSIONS FOR HORIZONTAL AND VERTICAL CONTROL, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
6. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO THE LIMITS OF THE PROJECT SITE AS DESCRIBED ON THE DRAWINGS, AND SHALL PROTECT ADJOINING PROPERTY FROM DAMAGE.
7. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH APPLICABLE CODES OF MONTGOMERY COUNTY.

8. THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES. AFTER COMPLETION OF THE CONTRACT AND BEFORE RECEIVING FINAL PAYMENT, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS, EQUIPMENT AND EXCESS MATERIALS. THE BUILDING AND GROUNDS SHALL BE LEFT IN PERFECTLY CLEAN CONDITION.
9. THE CONTRACTOR SHALL STORE MATERIALS IN A SAFE AND DRY LOCATION AND SHALL BE RESPONSIBLE FOR PROTECTING EQUIPMENT, MATERIALS, AND PARTIALLY OR FULLY COMPLETED WORK OF ALL TRADES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECT.
11. ALL SPECIFIED PRODUCTS AND SYSTEMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS INCLUDING, BUT NOT LIMITED TO, INSTRUCTIONS REGARDING PREPARATION OF SUBSTRATES AND ADJOINING CONSTRUCTION, WEATHER CONDITIONS, AND PROTECTION AFTER INSTALLATION.

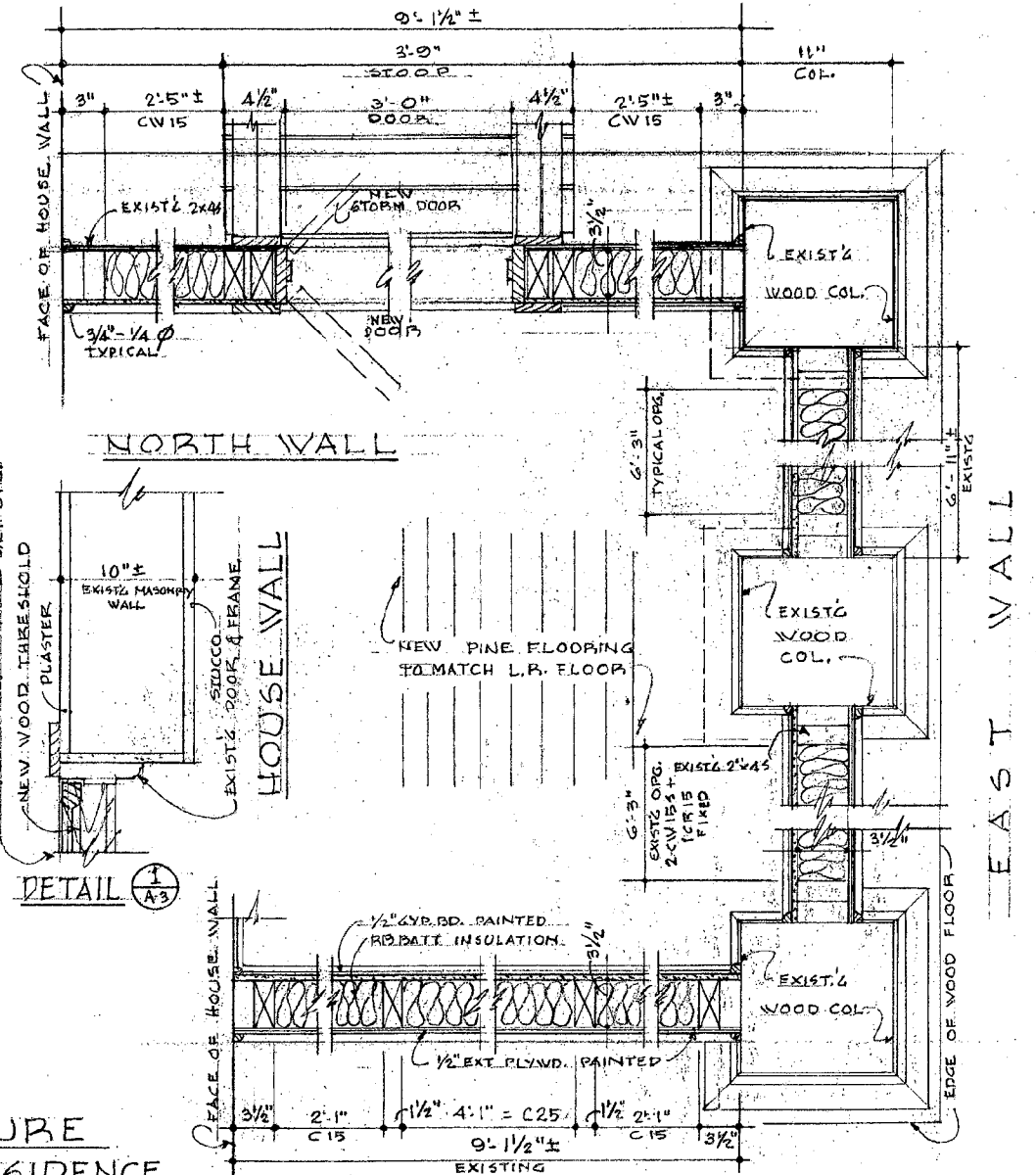
12. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE AND ELECTRICAL SYSTEM.
13. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT THE FINAL SELECTION OF HARDWARE, FIXTURES AND ACCESSORIES NOT SPECIFIED. THE CONTRACTOR SHALL FURNISH AND INSTALL THESE ITEMS AS PART OF HIS CONTRACT.
14. THE CONTRACTOR SHALL GUARANTEE, FOR THE PERIOD OF ONE YEAR AFTER THE DATE OF COMPLETION AND FINAL ACCEPTANCE BY THE OWNER, ALL WORKMANSHIP AND MATERIALS, AND SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER, ANY PART THEREOF WHICH MAY BECOME DEFECTIVE.
15. ALL EQUIPMENT WARRANTIES AND MAINTENANCE MANUALS SHALL BE GIVEN TO THE OWNER. WARRANTY PERIOD SHALL BEGIN UPON COMPLETION OF WORK.
16. THE OWNER WILL FILE AND THE CONTRACTOR WILL PAY FOR ALL THE PERMITS, ETC.

ELECTRICAL LEGEND

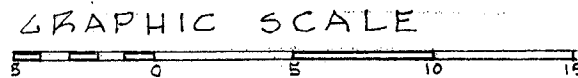
- CEILING FIXTURE (CAN TYPE)
- CEILING FIXTURE - SURFACE MOUNTED
- WALL MOUNTED FIXTURE
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- DIMMER CONTROL SWITCH
- DUPLEX RECEPTACLE
- SINGLE RECEPTACLE FOR APPLIANCES WITH LETTER DESIGNATION
- WEATHERPROOF DUPLEX RECEPTACLE
- SMOKE DETECTOR
- ELECTRIC THERMOSTAT
- TV ANTENNA OUTLET
- WALL WASHER



ELECTRICAL DIAGRAM



**PORCH ENCLOSURE
C.A. RUPPERT RESIDENCE
11 HESKETH ST. CH. CH., MD. 20815**



CARL A. RUPPERT & ASSOCIATES, ARCHITECTS
P.O. BOX 15637 CHEVY CHASE, MD. 20825
PHONE: 301-652-9722 FAX: 301-652-9723

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two Story RESIDENCE Colonial Revival House
with EAST SIDE EXISTING SCREEN PORCH.
Structure will be kept in YACKS SEE 1945
Photo at time of RUPPELT FAMILY PURCHASE.
Exterior is Painted White Stucco, WOOD PORCH &
TRIM. LOT IS WELL LANDSCAPED & IN GOOD REPAIR.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ENCLOSE W/WINDOWS & LOW WALL (FRAME) TO CONVERT PORCH
TO SUN ROOM FOR 2 SENIOR CITIZENS LIVING ON PREMISE SINCE
1962. RENOVATION LEAVE EXISTING STRUCTURE FULLY INTACT
AND REVERSIBLE IF NECESSARY. PROVIDE HABITABLE SPACE FOR
CONVEYING PERSON. SEE DETAILS ON DWGS & PHOTOS

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-13-00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation 

SUBJECT: Historic Area Work Permit
HPC # 35/13-00V & DPS 227375

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Carl & Antoinette Ruppert

Address: 11 Hesketh St Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	11 Hesketh Street, Chevy Chase	Meeting Date:	09/11/00
Applicant:	Carl & Antoinette Ruppert	Report Date:	09/06/00
Resource:	Chevy Chase Village Historic District	Public Notice:	08/30/00
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-00V	Staff:	Perry Kephart
PROPOSAL:	Enclose Porch	RECOMMEND:	Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1885-1916 (before 1912)

The two-story residence is a stucco, 3 bay, frame structure with a center front portico, and a slate roof. The house has tripartite, double-hung windows on the first level. On the right side of the house is a one-story, 10x24 wood-framed screened porch.

PROPOSAL

The applicant proposes to enclose the existing screened porch on the right side of the historic resource. The columns, metal roof, gutters and fascia would be retained. The existing wood panels below the screen panels would be reproduced in kind as the supporting walls for new fixed and operable, single-light, double-glazed, casement windows framed into the screened openings. A storm door and a wood and glass door with a stoop and three steps leading down to grade are proposed in the back wall.

STAFF DISCUSSION

The modification of an existing screened side porch is a reasonable solution to the need for more living space on the first floor of the residence. The proposed alterations are within the existing footprint and are designed to change the design of the porch as little as possible. The overall project is well within the guidelines of the historic district for changes to a contributing resource.

It should be noted that the portion of the work that includes rehabilitation of the existing roof, gutters, fascia, framing, columns of the porch and the exterior windows and surfaces of the main house will qualify for historic preservation tax credits.

STAFF RECOMMENDATION

①

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: CARL RUPPERT
Daytime Phone No.: 301 654 4478

Tax Account No.:
Name of Property Owner: Carl & Antoinette Ruppert Daytime Phone No.: 301 652 9722
Address: 11 CHEVY CHASE, MD. 20815
Contractor: NOT SELECTED Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 11 Street: HESKETH
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY
Lots: 1 & 19 Block: 29 Subdivision: CHEVY CHASE VILLAGE
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [] Extend [x] Alter/Renovate [x] A/C [] Slab [x] Room Addition [x] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [x] Single Family
[x] Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
1B. Construction cost estimate: \$
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 [] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Carl Ruppert Date: 23 Aug 00

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 227375 Date Filed: Date Issued:

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story RESIDENCE Colonial REVIVAL HOUSE
with EAST SIDE EXISTING SCREEN PORCH.
Structure will be kept in YACKS SEE 1945
Photo AT TIME OF RUPPELT FAMILY PURCHASE
Exteriors is Painted White Stucco, WOOD PORCH &
TRIM. LOT IS WELL LANDSCAPED & IN GOOD REPAIR.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ENCLOSE w/WINDOWS & LOW WALL (FRAME) TO CONVERT PORCH
TO SUN ROOM FOR 2 SENIOR CITIZENS LIVING ON PREMISE SINCE
1962. RENOVATION LEAVE EXISTING STRUCTURE FULLY INTACT
and REVERSIBLE IF NECESSARY. PROVIDE HABITABLE SPACE FOR
CONVEYING PERSON. SEE DETAILS ON DWGS & PHOTOS

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

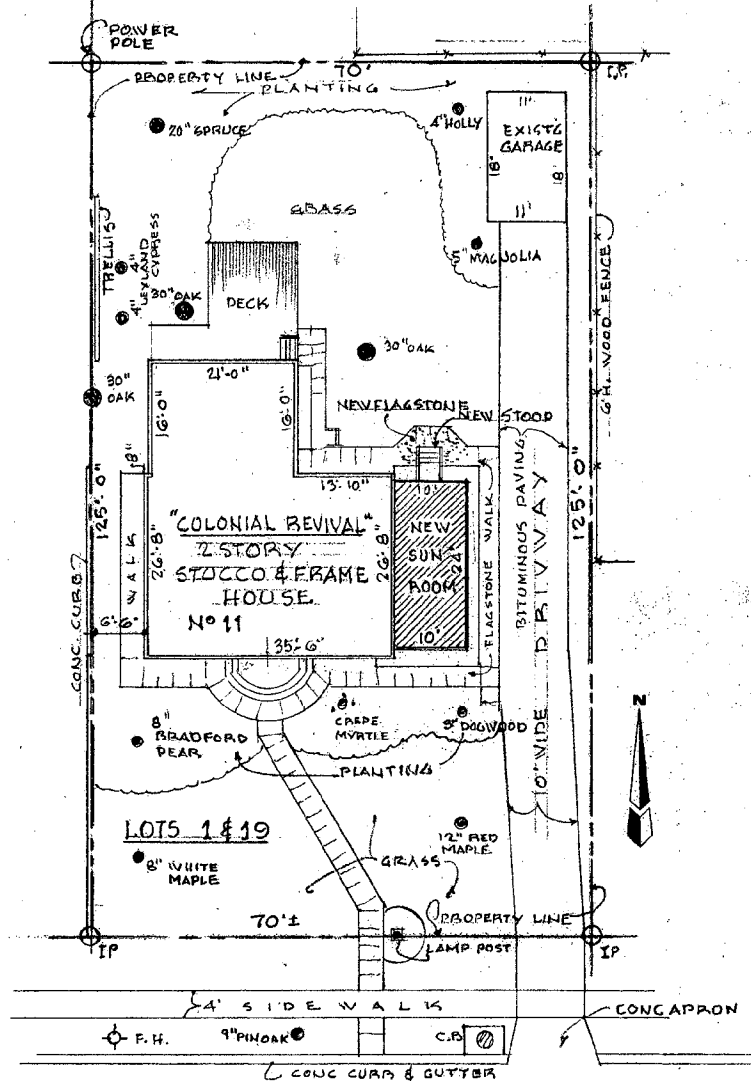
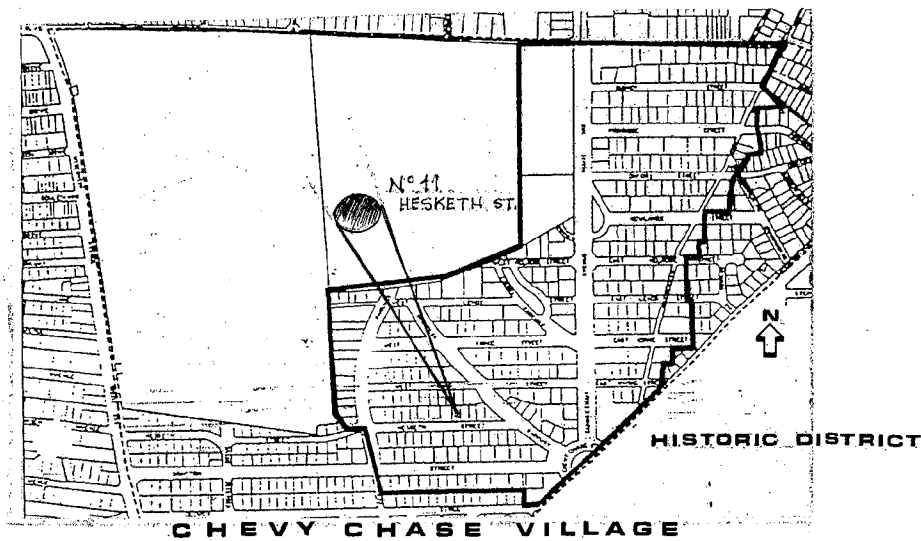
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

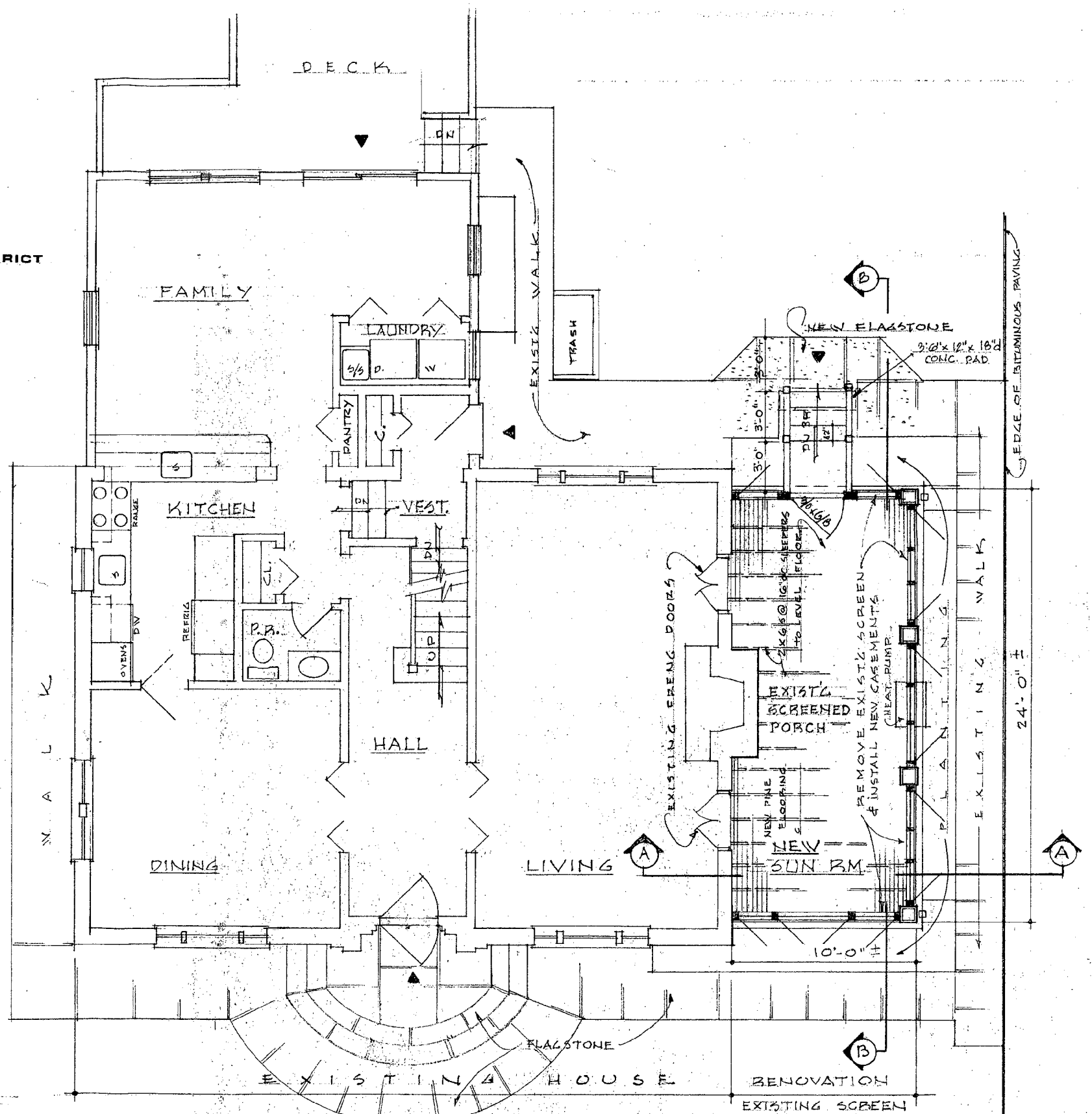
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

4

Do Not Reduce



HESKETH ST.
SITE PLAN SCALE 1/16" = 1'-0"
PARTS OF LOTS 1 & 19 BLOCK 29
CHEVY CHASE VILLAGE, MD. 20815
PORCH ENCLOSURE
C.A. RUPPERT RESIDENCE
11 HESKETH ST. CH. CH., MD. 20815



FIRST FLOOR PLAN SCALE 1/4" = 1'-0"
GRAPHIC SCALE
5 0 5 10 15
CONTRACTOR: VERIFY ALL DIMENSIONS

CARL A. RUPPERT & ASSOCIATES, ARCHITECTS
P.O. BOX 15837, CHEVY CHASE, MD. 20825
PHONE: 301-652-9722 FAX: 301-652-9723

GENERAL NOTES

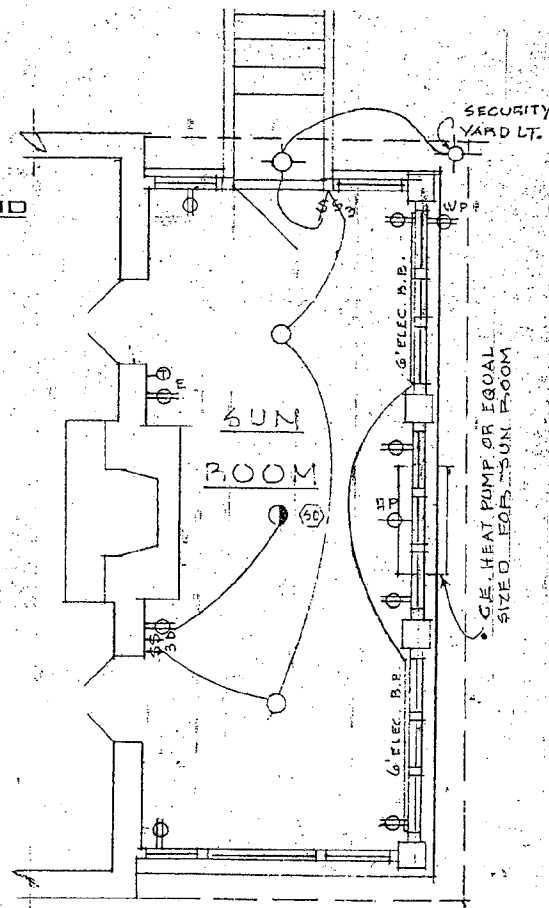
1. THE DRAWINGS AND SPECIFICATIONS HEREIN PROVIDE GRAPHIC AND WRITTEN REQUIREMENTS FOR EXECUTION OF THE WORK BY THE CONTRACTOR. THEY ARE INTENDED TO BE USED TOGETHER AND SHALL HAVE EQUAL FORCE. ANY DISCREPANCIES BETWEEN THEM SHALL BE REPORTED TO THE ARCHITECT BEFORE COMMENCING WORK.
2. ALL DIMENSIONS ARE TO FACE OF STUDS, FACE OF MASONRY, OR STRUCTURAL MEMBER, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK AS DRAWN AND SPECIFIED IN THE CONTRACT DOCUMENTS, AND SHALL BE LIABLE FOR ANY UNAPPROVED DEVIATION FROM THE DRAWINGS AND SPECIFICATIONS THEREIN. ANY PLANNED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO IMPLEMENTATION, AND SHALL BE UNDERTAKEN ONLY WITH THE WRITTEN CONSENT OF THE ARCHITECT.
4. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY AND CONTROL OVER CONSTRUCTION MEANS METHODS, TECHNIQUES, SEQUENCES AND COORDINATION OF ALL PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO COMMENCING WORK TO TAKE FIELD MEASUREMENTS AND VERIFY FIELD DIMENSIONS FOR HORIZONTAL AND VERTICAL CONTROL, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
6. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO THE LIMITS OF THE PROJECT SITE AS DESCRIBED ON THE DRAWINGS, AND SHALL PROTECT ADJOINING PROPERTY FROM DAMAGE.
7. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH APPLICABLE CODES OF MONTGOMERY COUNTY.

8. THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES. AFTER COMPLETION OF THE CONTRACT AND BEFORE RECEIVING FINAL PAYMENT, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS, EQUIPMENT AND EXCESS MATERIALS. THE BUILDING AND GROUNDS SHALL BE LEFT IN PERFECTLY CLEAN CONDITION.
9. THE CONTRACTOR SHALL STORE MATERIALS IN A SAFE AND DRY LOCATION AND SHALL BE RESPONSIBLE FOR PROTECTING EQUIPMENT, MATERIALS, AND PARTIALLY OR FULLY COMPLETED WORK OF ALL TRADES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECT.
11. ALL SPECIFIED PRODUCTS AND SYSTEMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS INCLUDING, BUT NOT LIMITED TO, INSTRUCTIONS REGARDING PREPARATION OF SUBSTRATES AND ADJOINING CONSTRUCTION, WEATHER CONDITIONS, AND PROTECTION AFTER INSTALLATION.

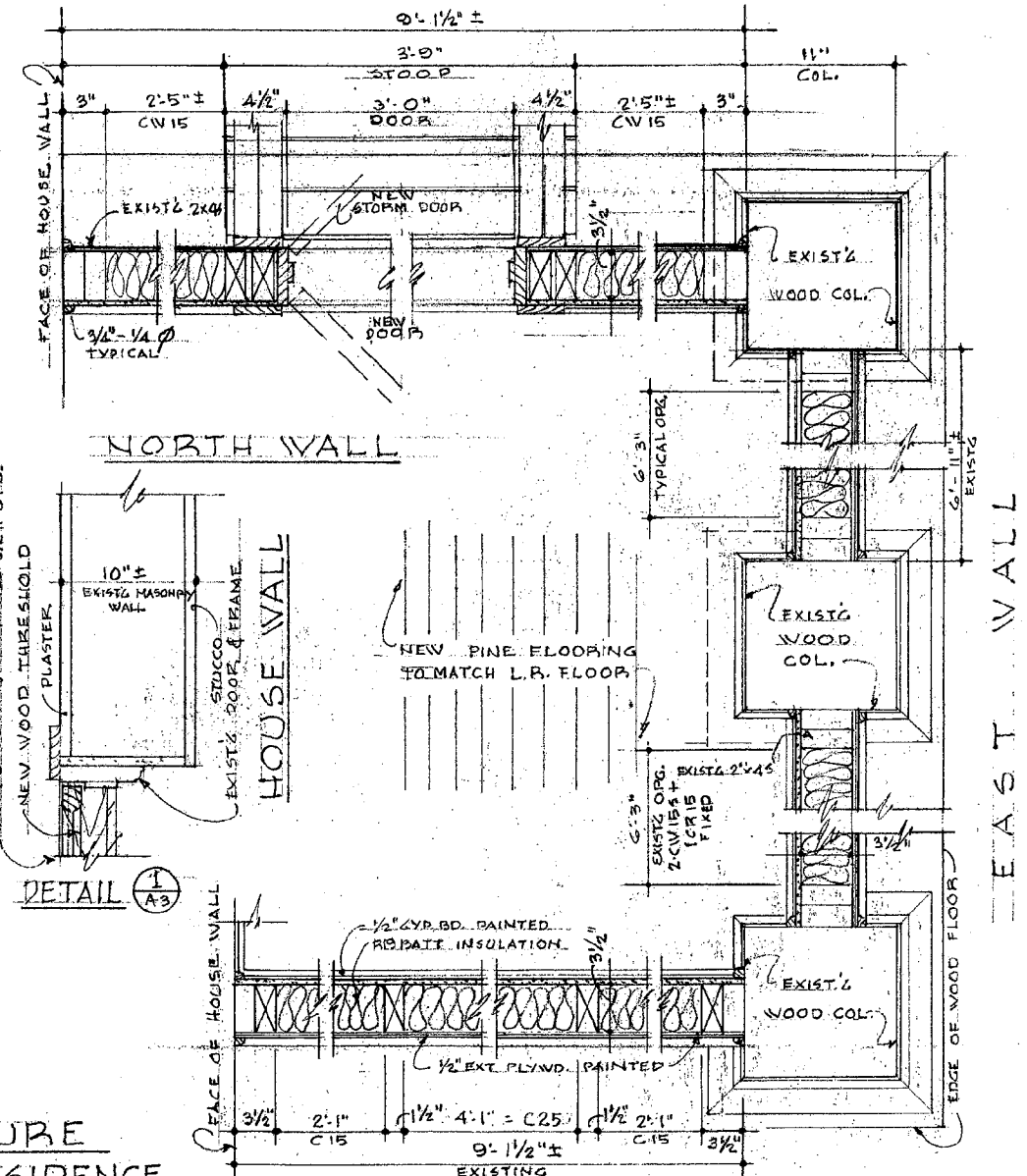
12. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT FOR A COMPLETE AND ELECTRICAL SYSTEM.
13. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT THE FINAL SELECTION OF HARDWARE, FIXTURES AND ACCESSORIES NOT SPECIFIED. THE CONTRACTOR SHALL FURNISH AND INSTALL THESE ITEMS AS PART OF HIS CONTRACT.
14. THE CONTRACTOR SHALL GUARANTEE, FOR THE PERIOD OF ONE YEAR AFTER THE DATE OF COMPLETION AND FINAL ACCEPTANCE BY THE OWNER, ALL WORKMANSHIP AND MATERIALS, AND SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER ANY PART THEREOF WHICH MAY BECOME DEFECTIVE.
15. ALL EQUIPMENT WARRANTIES AND MAINTENANCE MANUALS SHALL BE GIVEN TO THE OWNER. WARRANTY PERIOD SHALL BEGIN UPON COMPLETION OF WORK.
16. THE OWNER WILL FILE AND THE CONTRACTOR WILL PAY FOR ALL THE PERMITS, ETC.

ELECTRICAL LEGEND

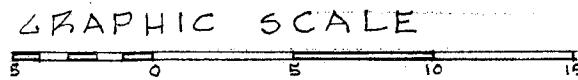
- CEILING FIXTURE - CAN TYPE
- CEILING FIXTURE - SURFACE MOUNTED
- WALL MOUNTED FIXTURE
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- DINNER CONTROL SWITCH
- DUPLEX RECEPTACLE
- SINGLE RECEPTACLE FOR APPLIANCES WITH LETTER DESIGNATION
- WEATHERPROOF DUPLEX RECEPTACLE
- SMOKE DETECTOR
- ELECTRIC THERMOSTAT
- TV ANTENNA OUTLET
- WALL WASHER



ELECTRICAL DIAGRAM



**PORCH ENCLOSURE
C.A. RUPPERT RESIDENCE
11 HESKETH ST. CH. CH., MD. 20815**



**SOUTH WALL
SCALE: 1/2" = 1'-0"**

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PHONE: 301-652-9722 FAX: 301-652-9723

MAIN FRONT ENTRANCE



11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815
PARTS OF LOTS #1 & 19, BLOCK 29

SOUTH FACADE



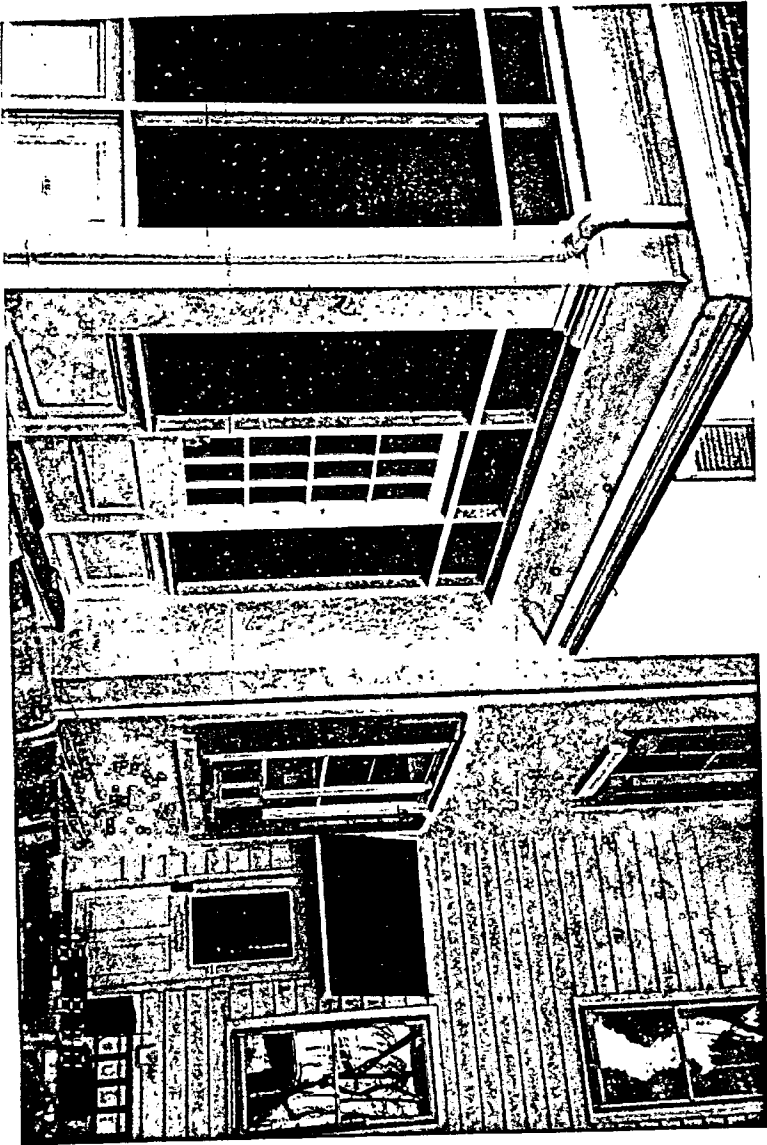
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11 HESKETH STREET, CHEVY CHASE, MARYLAND, 20815
 PARTS OF LOTS #1 & 19, BLOCK 29

8

NORTH SIDE OF PORCH



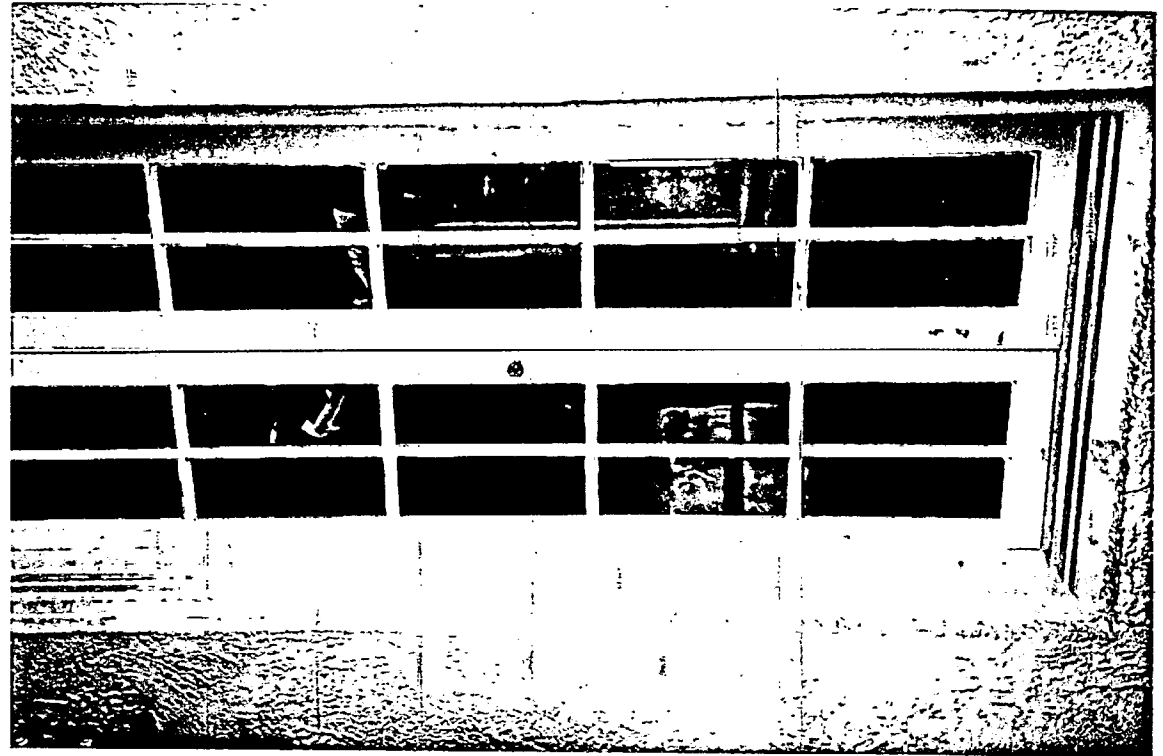
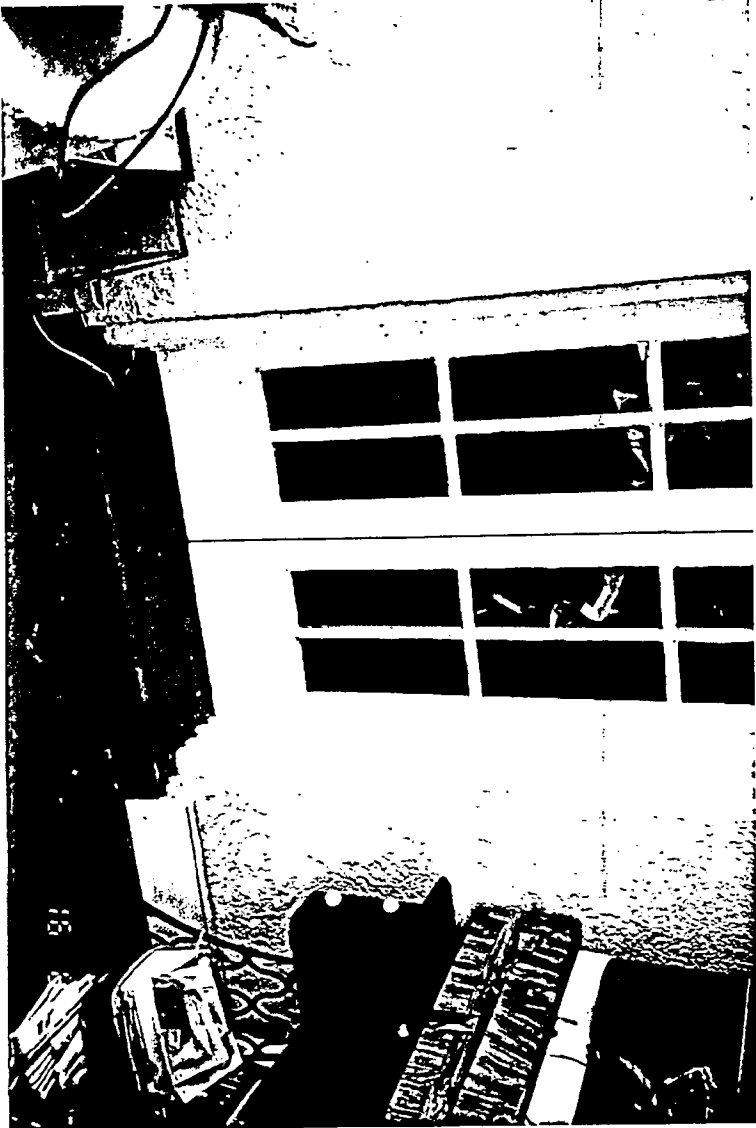
EAST FACADE OF PORCH



9

11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815
PARTS OF LOTS #1 & 19, BLOCK 29

INTERIOR STUCCO FINISH-&-DOOR SILL



INTERIOR FRENCH DOORS

11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815
PARTS OF LOTS #1 & 19, BLOCK 29

19



INTERIOR WOOD CEILING

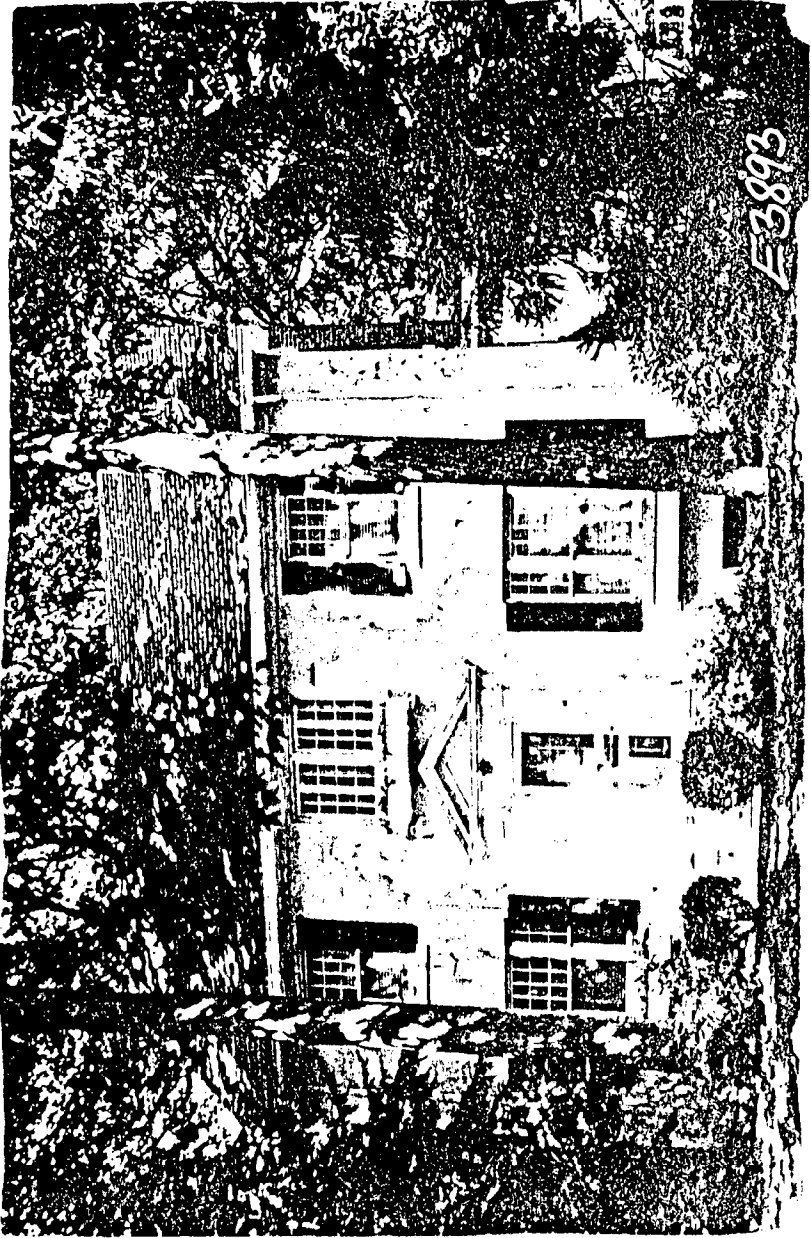


TYPICAL WOOD COLUMN CAP

(11)

11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815

PARTS OF LOTS #1 & 19, BLOCK 29



12

Hesketh St., Ch. Ch., Md. \$36,000 MLS No E-38

1ST FLOOR:		2ND FLOOR:		EQUIPMENT:		Construction	
Liv. Rm.	Lge	Bedroom	4	X	Kitchen Stove	Type	Stucco Colonial
Din. Rm.	Lge	Baths	1	X	Refrigerator	Year Built	Older
Kitchen	Lge	Unfinished			Dishwasher	Porch	Side Scr
Pantry		Stairs Up	X		Disposal	Fireplace	L. Rm.
Bkfst. Nook	Lge	Scuttle Hole			Washer	Taxes \$	435.00
Bedroom		Attic			Shades	Possession	Immed.
Den	1			X	Venetian Blinds	Cash Asked \$	
Bath		GARAGE:			Storm Windows	Lot Size	
Util. Rm.		Car Capacity	1		Storm Doors	LoP	1 E Block
				X	Screens	Subdiv	Chevy Chase

bedrooms and bath on 3rd floor.
 CLEAR. Beaut. 7 bdrm. Colonial in heart of Ch. (C)
 Near Blessed Sacrement Church. Fp. in mas. bdrm. Ht
 sp. on 3rd fl. Formal din. rm. Trees in front &
 yard. Trem. breakfast rm. off kit. Could be den. V
 screened porch on side with 2 doors from liv. rm.
 ig onto it. Very close to Chevy Chase C.C.
 n office.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	11 Hesketh Street, Chevy Chase	Meeting Date:	09/11/00
Applicant:	Carl & Antoinette Ruppert	Report Date:	09/06/00
Resource:	Chevy Chase Village Historic District	Public Notice:	08/30/00
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-00V	Staff:	Perry Kephart
PROPOSAL:	Enclose Porch	RECOMMEND:	Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1885-1916 (before 1912)

The two-story residence is a stucco, 3 bay, frame structure with a center front portico, and a slate roof. The house has tripartite, double-hung windows on the first level. On the right side of the house is a one-story, 10x24 wood-framed screened porch.

PROPOSAL

The applicant proposes to enclose the existing screened porch on the right side of the historic resource. The columns, metal roof, gutters and fascia would be retained. The existing wood panels below the screen panels would be reproduced in kind as the supporting walls for new fixed and operable, single-light, double-glazed, casement windows framed into the screened openings. A storm door and a wood and glass door with a stoop and three steps leading down to grade are proposed in the back wall.

STAFF DISCUSSION

The modification of an existing screened side porch is a reasonable solution to the need for more living space on the first floor of the residence. The proposed alterations are within the existing footprint and are designed to change the design of the porch as little as possible. The overall project is well within the guidelines of the historic district for changes to a contributing resource.

It should be noted that the portion of the work that includes rehabilitation of the existing roof, gutters, fascia, framing, columns of the porch and the exterior windows and surfaces of the main house will qualify for historic preservation tax credits.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

09 Hsheth Chewy Chase 20815

15

14

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18

20

noted 9/1



CARL A. RUPPERT & ASSOCIATES, ARCHITECTS

FAX TRANSMITTAL

DATE: 1 Sept 00

TIME: 10 50 AM

FAX TO: 301 563 3412

TO: Perry Kephart % MNCPPC - Historic Division

FROM: Carl A. Ruppert

RE: 11 Hesketh St. Ch. Ch. Md. 20815

See Attached list of
Adjoining Neighbors to be
Alerted for Porch Enclosure
Project as per telephoned instructions.
Call Me if you have further Question

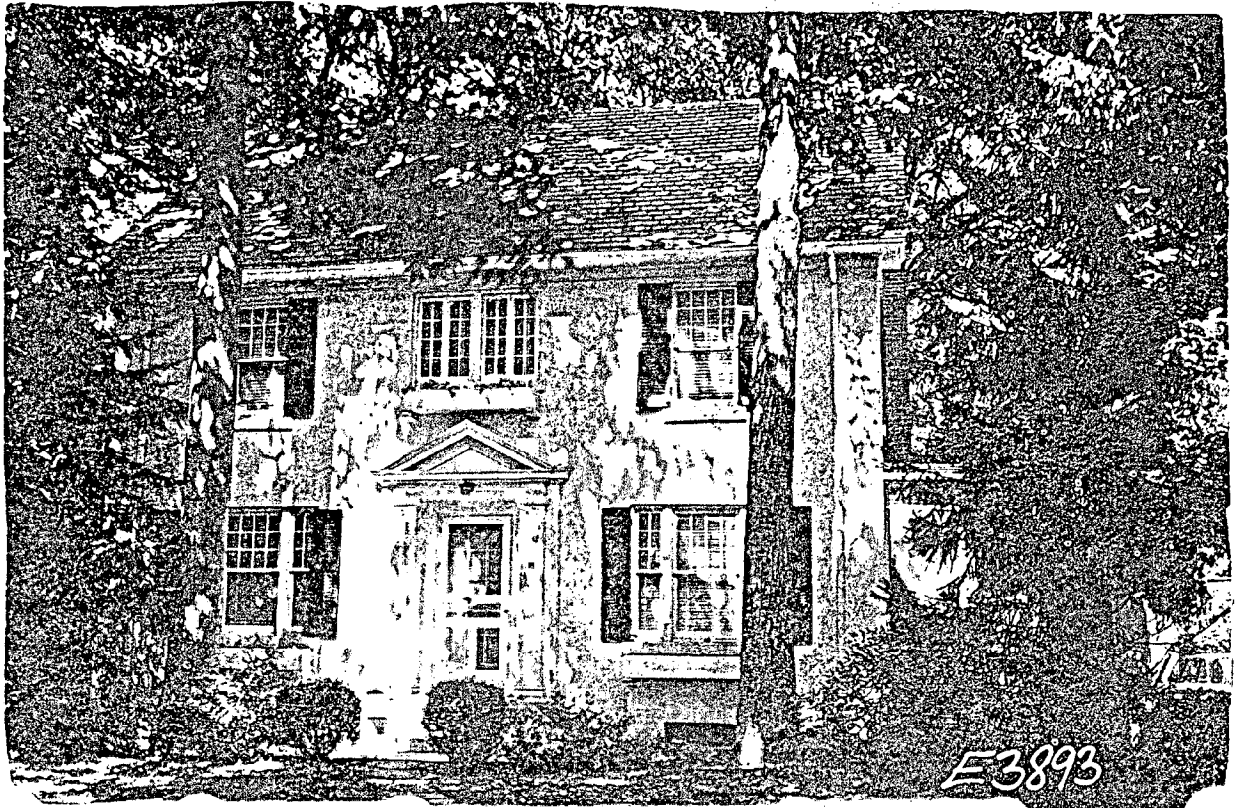
IN THE EVENT THAT THIS TRANSMISSION IS NOT CLEAR, KINDLY CONTACT US.

PAGES 3 INCLUDING THIS SHEET

NOTE

THANK YOU

Carl A. Ruppert



Hesketh St., Ch. Ch., Md. \$36,000 MLS No E-38

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PARTS OF LOTS #1 & 19, BLOCK 29



SOUTH FACADE

11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815
PARTS OF LOTS #1 & 19, BLOCK 29





EAST FACADE OF PORCH



NORTH SIDE OF PORCH

11 HESKETH STREET, CHEVY CHASE, MARYLAND 20815
PARTS OF LOTS #1 & 19, BLOCK 29

INTERIOR STUCCO FINISH-&-DOOR SILL



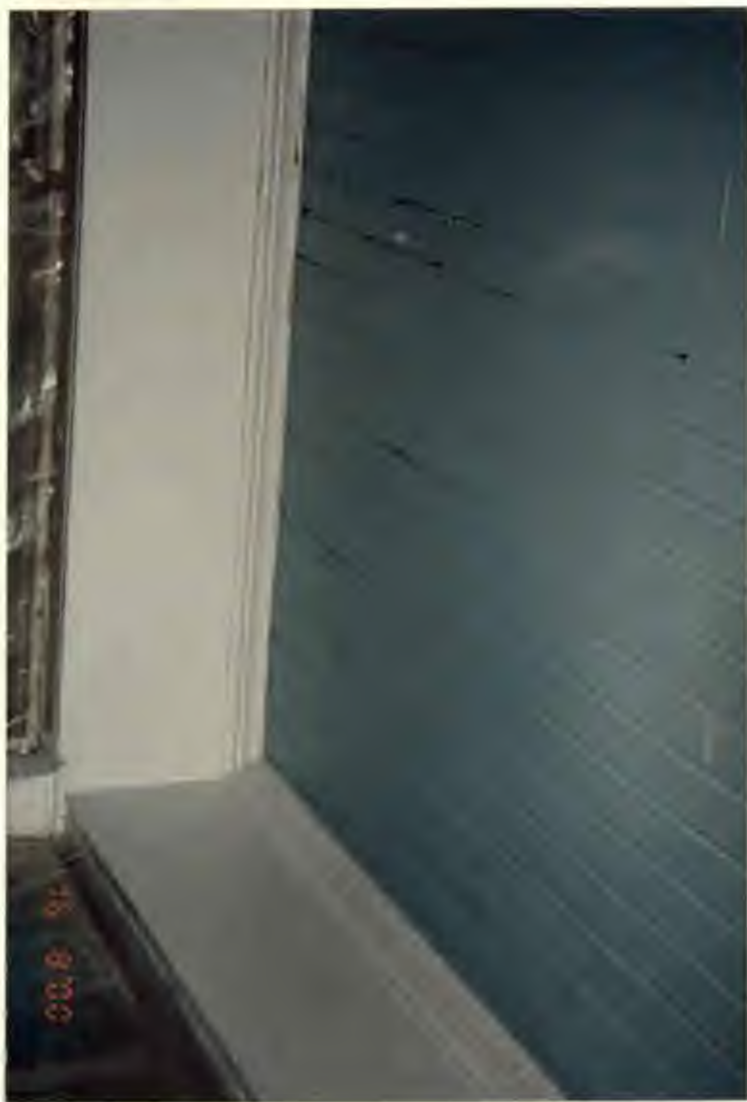
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TYPICAL WOOD COLUMN CAP



INTERIOR MOOD CEILING



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