

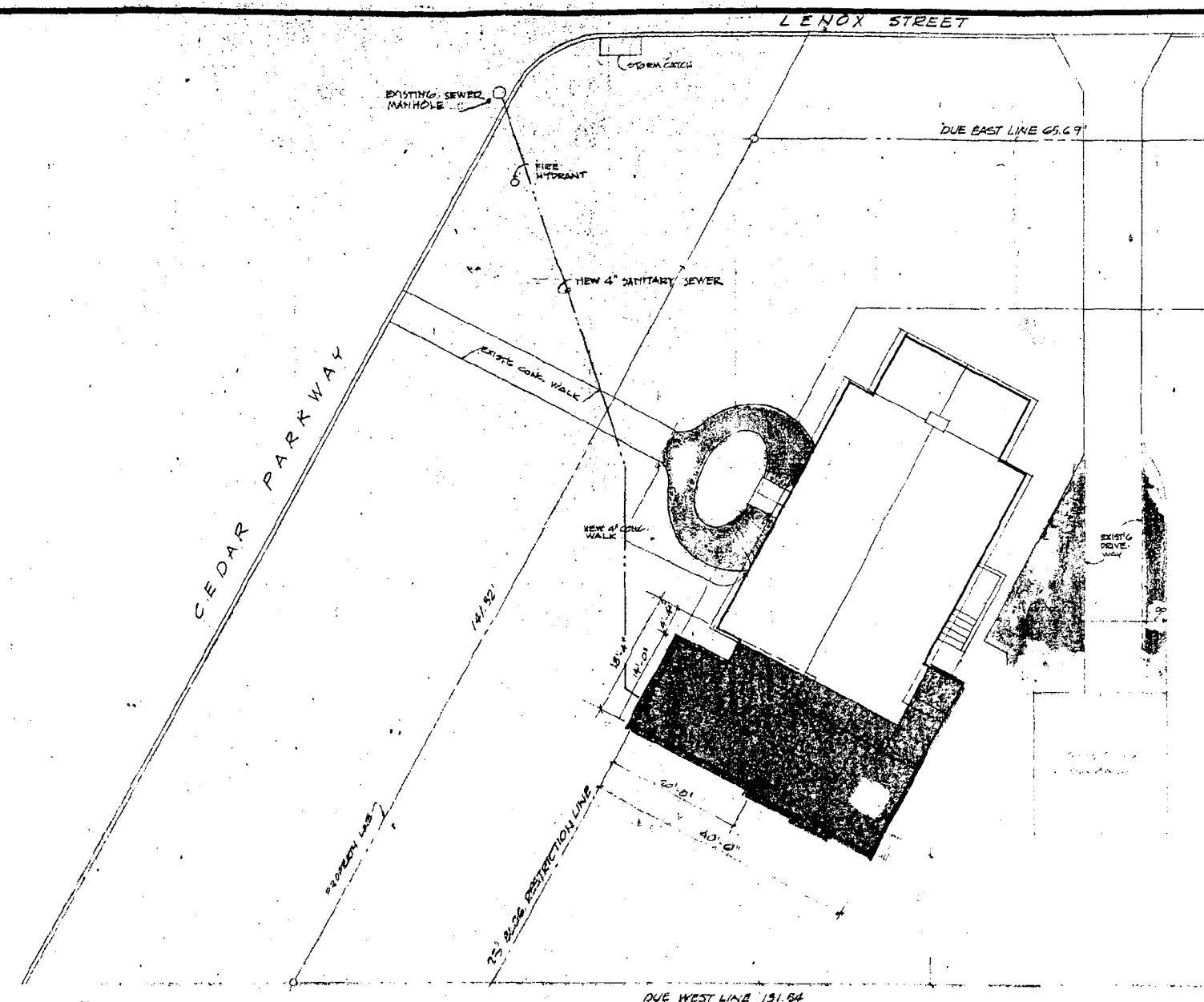
PRELIM. CONSULT: 5921 Cedar Parkway<sup>M/P</sup>  
(Chevy Chase Village Historic District)

35/13-99Z 5921 Cedar Parkway  
(Chevy Chase Village HD)

**Robert**  
**ARCHITECT**  
 2609 P Street  
 Washington, D.C. 20007 67-6866

CERTIFICATION  
 APPROVALS  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_  
 GENERAL NOTES

**HAYNES ADDITION**  
 1974 - R. Haynes



**Construction Notes**

**Site Plan** SCALE: 1" = 10'

**FILL:** EARTH FILL TO BE COMPACTED IN 6" LAYERS.  
**FOOTINGS:** ALL WALL FOOTINGS SHALL BE 1 1/2" S MIX. WALL FOOTINGS SHALL PROJECT 6" EACH SIDE OF WALL AND BE 12" THICK. EXTERIOR WALL FOOTINGS SHALL BE 2'-0" BELOW FINISHED GRADE.  
**MASONRY:** BRICK WALLS SHALL HAVE CINDER BLOCK BACKING BONDSD THRU WALL WITH A HEADER COURSE EVERY TWO COURSES OF BACK-UP BEARING UNDER BEAMS SHALL BE SOLID BRICK. PROVIDE THREE COURSES OF BRICK UNDER JOISTS AND PLATE FOR BUILDING. INSTALL SIGAL CRAFT THRU WALL 2 COURSES ABOVE GRADE. PARSE EXTERIOR WALLS BELOW GRADE W/ 3/4" VP CEMENT MORTAR. DAMPPROOF EXTERIOR AND INTERIOR WALLS BELOW GRADE.  
**FRAMING:** ALL JOISTS AND RAFTERS AS SHOWN ON PLANS TO BE PACIFIC K.D. DOUGLASS FIR OR BETTER. ALL STUD PARTITIONS TO BE 2 1/4" @ 16" O.C. DOUBLE 2"x4" AT ALL OPENINGS AND BRACED AT CENTER AND FIRESTOPPED. JOISTS SHALL BE BRIDGED AT MINIMUM OF 8'-0". FIRECUT ALL JOISTS PROJECTING INTO MASONRY. ALL LUMBER LESS THAN 2" ABOVE GRADE TO BE IMPREGNATED WITH AN APPROVED PRESERVATIVE.  
**ANCHORS:** BEARING PLATES SHALL BE BOLTED TO MASONRY WITH 1/2" DIA. BOLTS, 18" LONG, 4'-0" O.C. ANCHOR JOISTS PROJECTED INTO MASONRY WITH 18" T ANCHORS, 4'-0" O.C. JOISTS PARALLEL TO WALL SHALL BE TIED ACROSS THESE JOISTS WITH ANCHORS.  
**ASSUMED SOIL VALUE & LOADS:** 6000 PSF LIVE LOADS: FLOOR 40 PSF ROOF 30 PSF

ALLOWANCES: ELECTRIC LIGHT FIXTURES - \$600.00  
 FINISH HARDWARE - \$250.00  
 KITCHEN EQUIPMENT - EQUIPMENT, CABINETS & TOPS SUPPLIED BY OWNER  
 INSTALLATION OF ABOVE BY CONTRACTOR  
 STRUCTURAL STEEL - \$1500.00 (MATERIAL ONLY, I.E. COLUMNS, BEAMS.)  
 INSTALLATION INCLUDED IN BASE BID.

**LEGEND**

[Symbol]	EXISTING CONCRETE	[Symbol]	GRAVEL
[Symbol]	NEW ADDITION (SEE PLAN)	[Symbol]	SOIL
[Symbol]	CONCRETE	[Symbol]	ASPHEN'S BRICK
[Symbol]	BRICK	[Symbol]	INSULATION
[Symbol]	WOOD	[Symbol]	NO. 12 REBAR
[Symbol]	STYRENE (CONCRETE)		
[Symbol]	STONE (CONCRETE)		
[Symbol]	ASPH.		

**List of Drawings**

NO.	TITLE	NO.	TITLE
1	SITE PLAN	10	SECTIONS & DETAILS
2	FIRST FLOOR PLAN	11	
3	SECOND FLOOR PLAN	12	
4	BASMENT & THIRD FLOOR PLANS	13	
5	EAST & WEST BUILDING ELEVATIONS	14	
6	NORTH & SOUTH BUILDING ELEVATIONS	15	
7	INTERIOR ELEVATIONS		
8	BUILDING SECTIONS		
9	WALL SECTIONS		

ISSUED FOR CONSTRUCTION 2 JULY 1974  
 ISSUED FOR BIDDING 12 MAY 1974  
 FILE FOR PERMIT MAY 15, 1974  
 DATE

CLIENT: **Mr. & Mrs. James M. Haynes, Jr.**  
 5921 Cedar Parkway  
 Lot 5 - Block 39  
 Chevy Chase, Section 2  
 Montgomery Co., Md.

SHEET TITLE: **Site Plan**  
**EXISTING**  
 SCALE: 1" = 10'  
 SHEET NO. 1 OF 15

CERTIFICATION  
 APPROVALS  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

GENERAL NOTES

1974 Changes

- LEGEND (FOR CONTINUATION, SEE SHEET NO. 3)
- ⊕ SINGLE POLE SWITCH
  - ⊕⊕ ROTARY SWITCH
  - ⊕⊕⊕ THREE-WAY SWITCH
  - ⊕⊕⊕⊕ DUPLEX OUTLET SWITCHING PLATE
  - ⊕⊕⊕⊕⊕ CEILING FIXTURE
  - ⊕⊕⊕⊕⊕ RECESSED WALL WASH
  - ⊕⊕⊕⊕⊕ RECESSED HI-HATS
  - ⊕⊕⊕⊕⊕ WALL BRACKET
  - ⊕⊕⊕⊕⊕ TELEPHONE OUTLET
  - ⊕⊕⊕⊕⊕ SPECIAL OUTLET
  - ⊕⊕⊕⊕⊕ NITONE HEAT-VENTILATE MOD. 1965
  - ⊕⊕⊕⊕⊕ JAMM SWITCH
  - ⊕⊕⊕⊕⊕ DUPLEX FLOOR OUTLET
  - ⊕⊕⊕⊕⊕ WATER PROOF - EXTERIOR
  - ⊕⊕⊕⊕⊕ EXISTING SWITCH TO BE REMOVED OR RELOCATED
  - ⊕⊕⊕⊕⊕ EXISTING DUPLEX OUTLET TO BE REMOVED OR RELOCATED
  - ⊕⊕⊕⊕⊕ EXISTING CEILING FIXTURE TO BE REMOVED OR RELOCATED

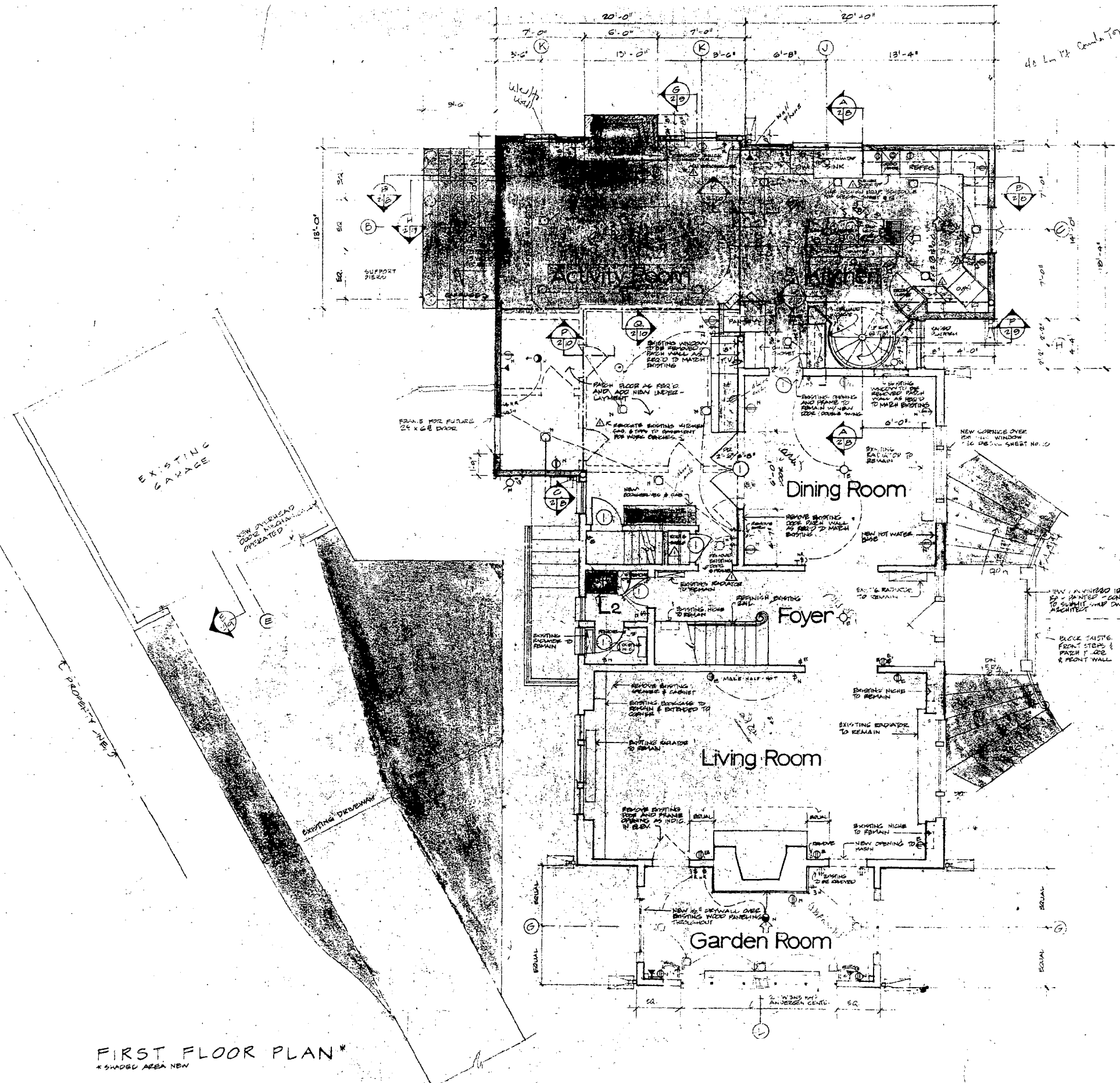
FOR CONSTRUCTION	12 JULY 1974
Δ ADDITION & OR EMISSIONS	30 MAY 1974
FOR BIDS	10 MAY 1974

ISSUED \_\_\_\_\_ DATE \_\_\_\_\_  
 CLIENT  
**Mr & Mrs James M. Haynes, Jr**  
 5921 Cedar Parkway  
 Lot 5, Block 39  
 Chevy Chase Section 2  
 Montgomery Co, Md

SHEET TITLE

First Floor Plan

SCALE 1/4" = 1'-0"  
 SHEET NO. 2 OF



FIRST FLOOR PLAN\*  
 \*SHADDED AREA NEW

**Robert S. Yale A.I.A.**  
**ARCHITECT & ASSOCIATES**  
 2609 P Street Northwest  
 Washington, D.C. 20007 337-6868

**CERTIFICATION APPROVALS**

Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

1974 Changes

**LEGEND** (SEE CONTINUATION, SEE SHEET NO. 2)

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL TO MATCH EXISTING
- ① DOOR TYPE (SEE SCHEDULE SHEET NO. 12)
- ② DOOR SIZE
- Ⓝ EXTERIOR OPENING DESIGNATION (SEE SCHEDULE ON SHEET NO. 12)
- ⓓ SECTION NO. SHOWN ON SHEET NO. CUT ON SHEET NO.
- ⓔ ELEVATIONS DESIGNATION
- ⓕ RADIATOR

FOR COMPLETION	12 JULY 1974
ADDITIONS & CORRECTIONS	30 MAY 1974
FOR BIDS	16 MAY 1974

**ISSUED** \_\_\_\_\_ **DATE** \_\_\_\_\_

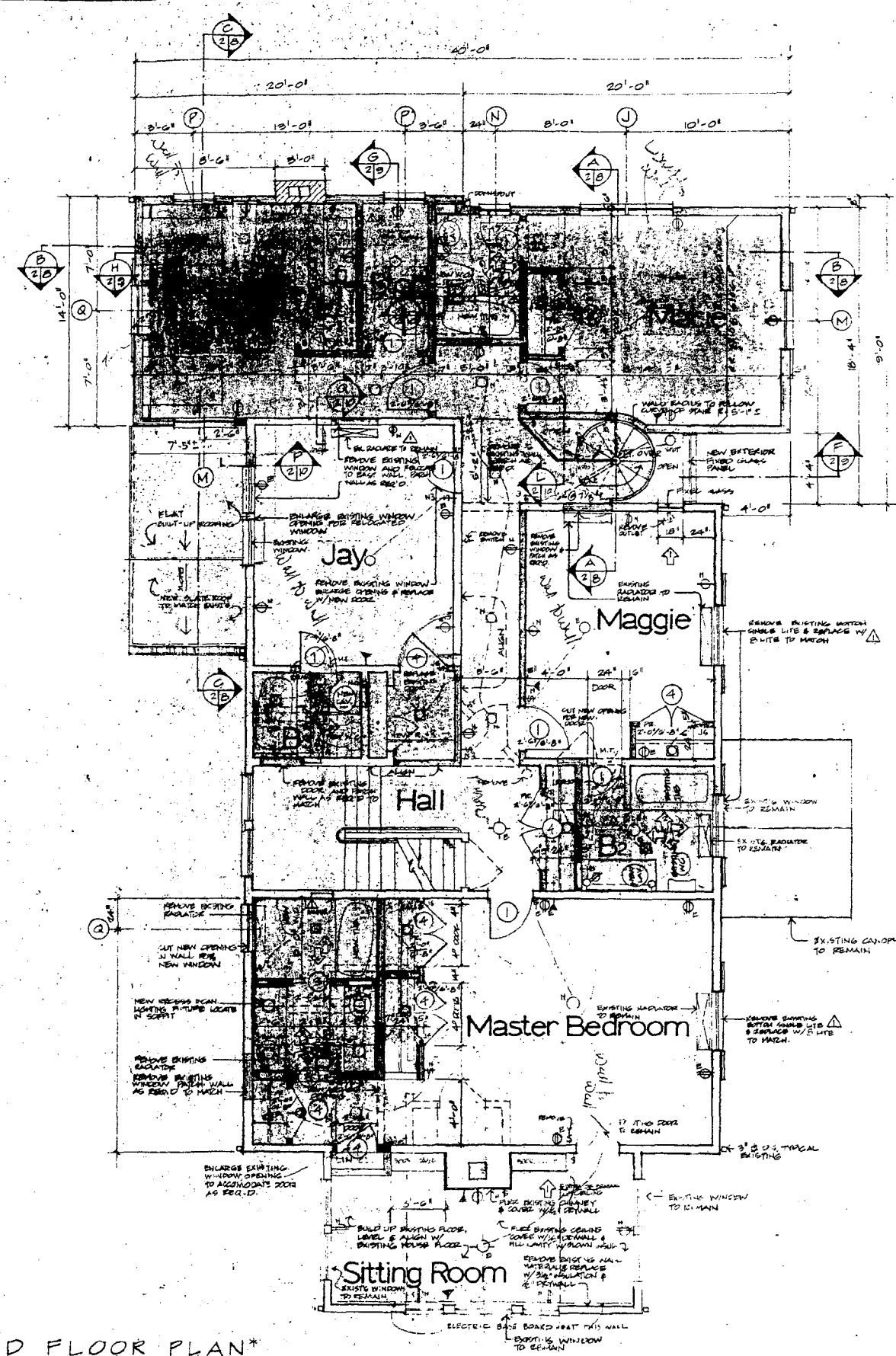
**Mr & Mrs James M. Haynes, Jr.**  
 5921 Cedar Parkway  
 Lot 5, Block 39  
 Chevy Chase, Section 2  
 Montgomery Co. Md.

SHEET TITLE

Second Floor Plan

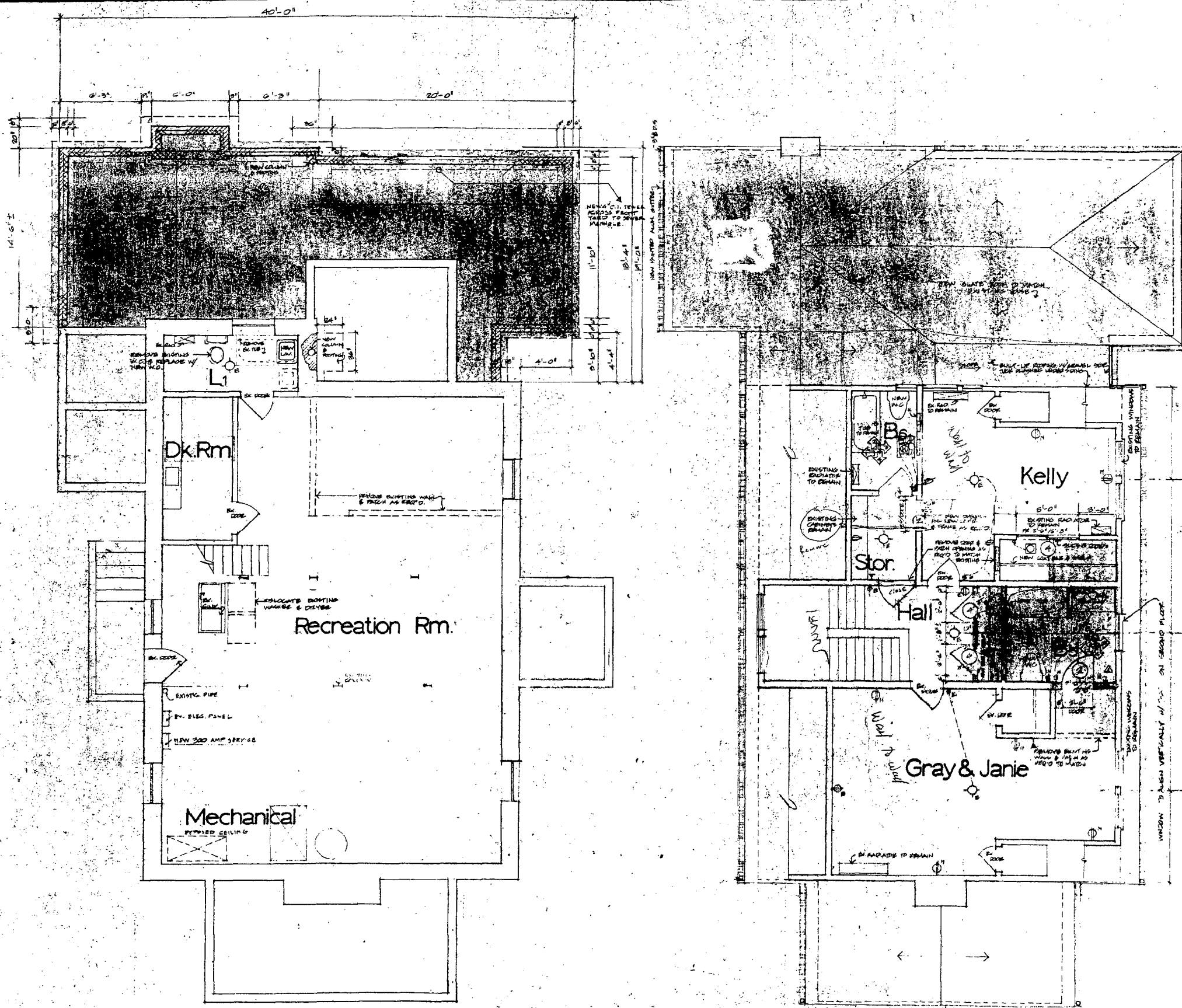
SCALE 1/4" = 1'-0"

SHEET NO. 3 OF 13



**SECOND FLOOR PLAN\***  
 \* SHADDED AREA NEW

**Robert S. Yale A.I.A.**  
**ARCHITECT & ASSOCIATES**  
 2609 P Street Northwest  
 Washington, D.C. 20007 337-6868



**BASEMENT PLAN\***  
 \* SHADED AREA NEW

**THIRD FLOOR PLAN\***  
 \* SHADED AREA NEW

**CERTIFICATION**  
**APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

1974  
 Changes

**LEGEND**

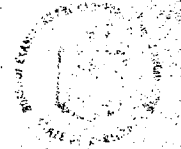
ISSUED	DATE
FOR CONSTRUCTION	12 JULY 1974
ADDITONS & DE. REVISIONS	30 MAY 1974
FOR BIDS	6 MAY 1974

**CLIENT**  
 Mr & Mrs  
 James M. Haynes, Jr.  
 5921 Cedar Parkway  
 Lot 5 - Block 39  
 Chevy Chase, Section 2  
 Montgomery Co., Md.

**SHEET TITLE**  
 Basement & Third  
 Floor Plans

**SCALE**  
 1/4" = 1'-0"

**SHEET NO.**  
 4  
 OF 13



**CERTIFICATION APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

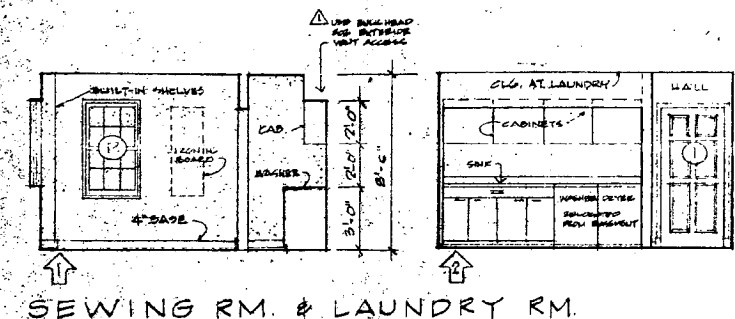
**LEGEND**

FOR CONSTRUCTION	12 JULY 1974
ADDITIONS & OR REVISIONS	30 MAY 1974
FOR BIDDING	16 MAY 1974
ISSUED	DATE

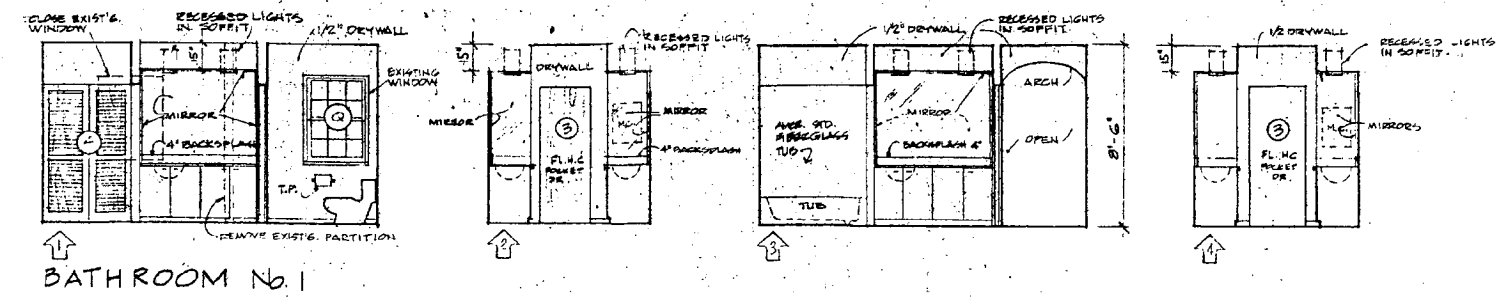
**Mrs. & Mrs. James M. Haynes, Jr.**  
 3921 Cedar Parkway  
 Lot 5, Block 39  
 Chevy Chase, Section 2  
 Montgomery Co., Md.

**SHEET TITLE**  
 Interior Elevations

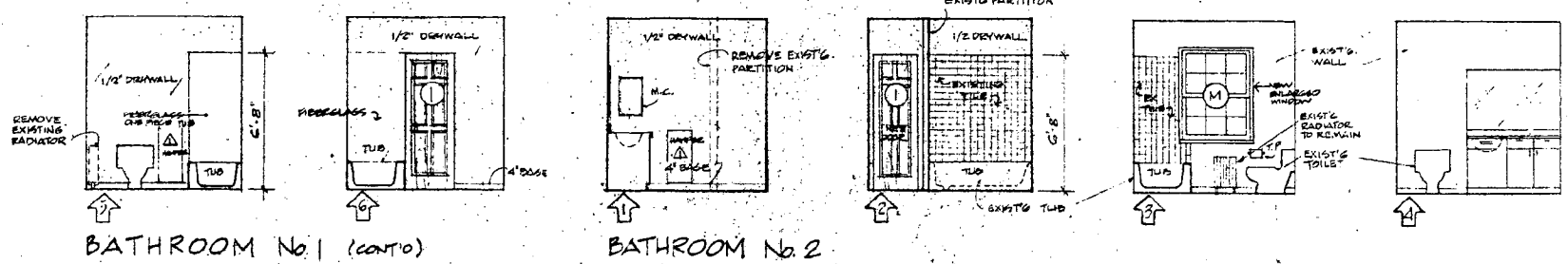
1974  
 Changes



SEWING RM. & LAUNDRY RM.

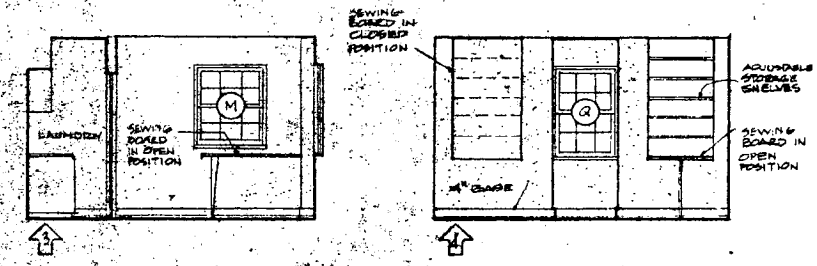


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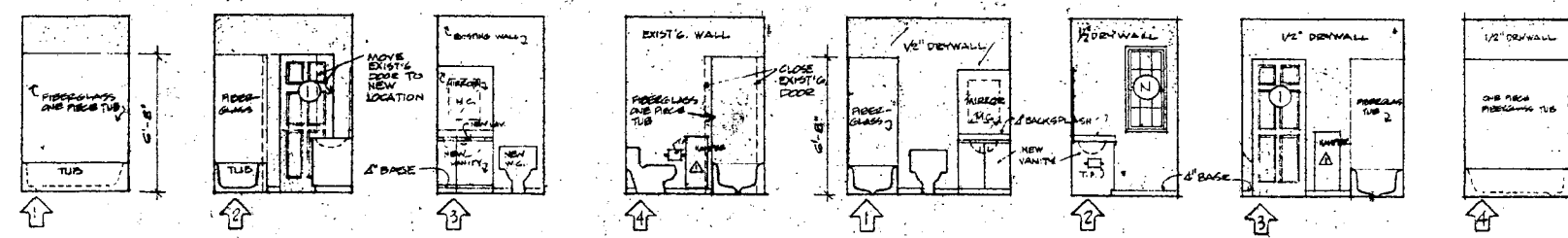


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BATHROOM No. 2

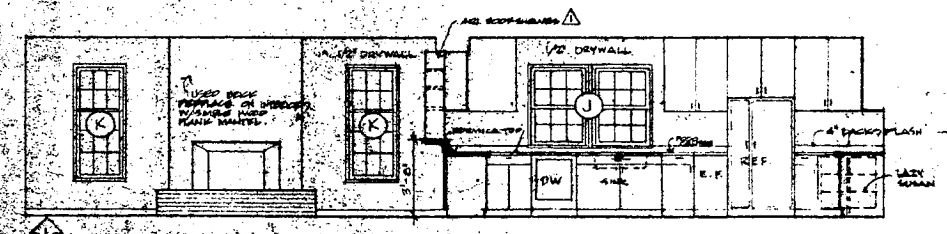


SEWING & LAUNDRY RM. (cont'd)

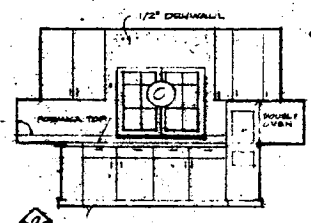


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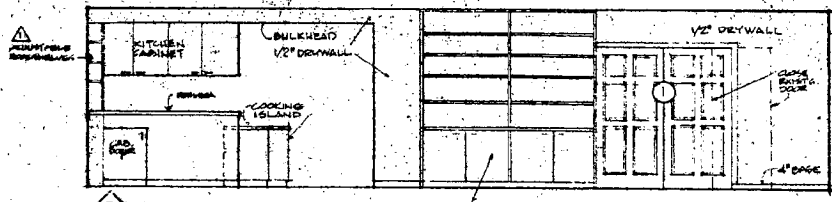
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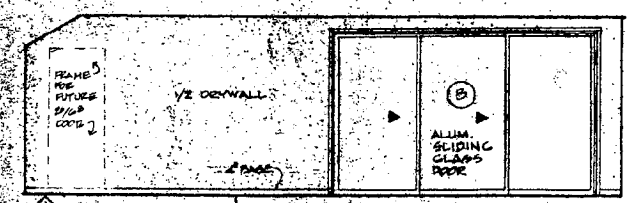
ACTIVITIES RM. & KITCHEN



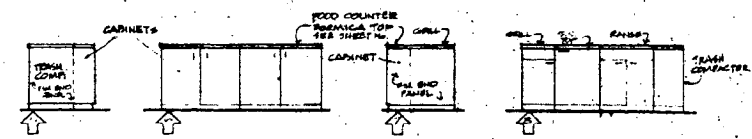
KITCHEN



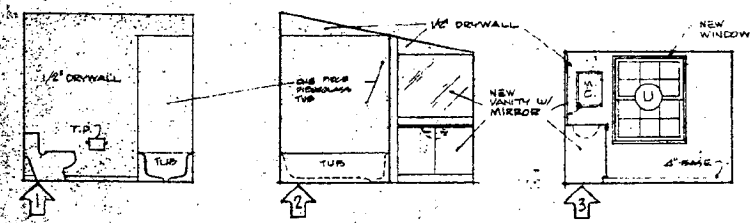
BUILT-IN WALL CABINET W/ ADJUSTABLE SHELVES



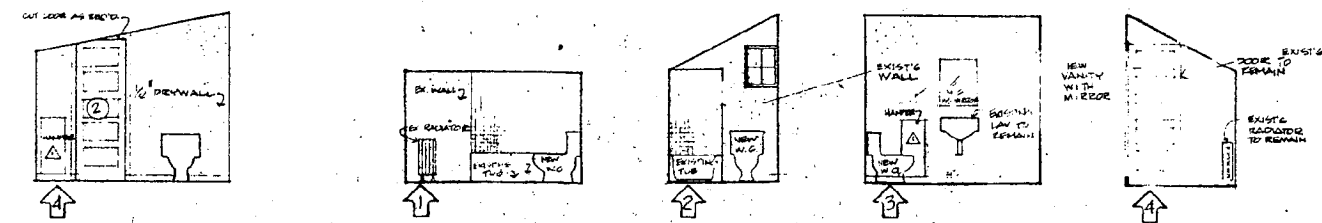
ACTIVITIES RM



COOKING ISLAND (SEE KITCHEN PLAN, SHEET NO. )

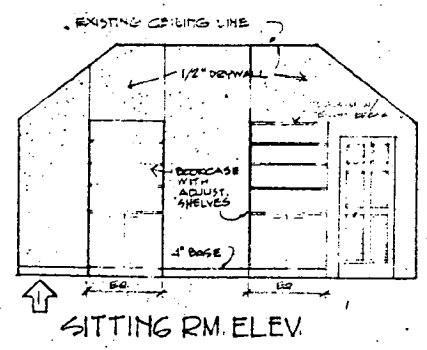
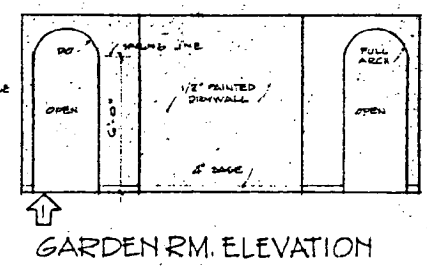
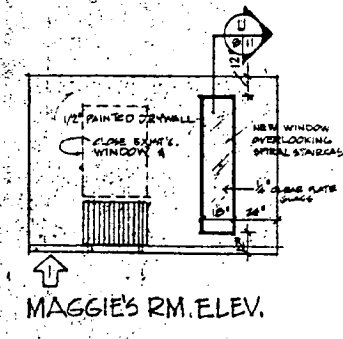
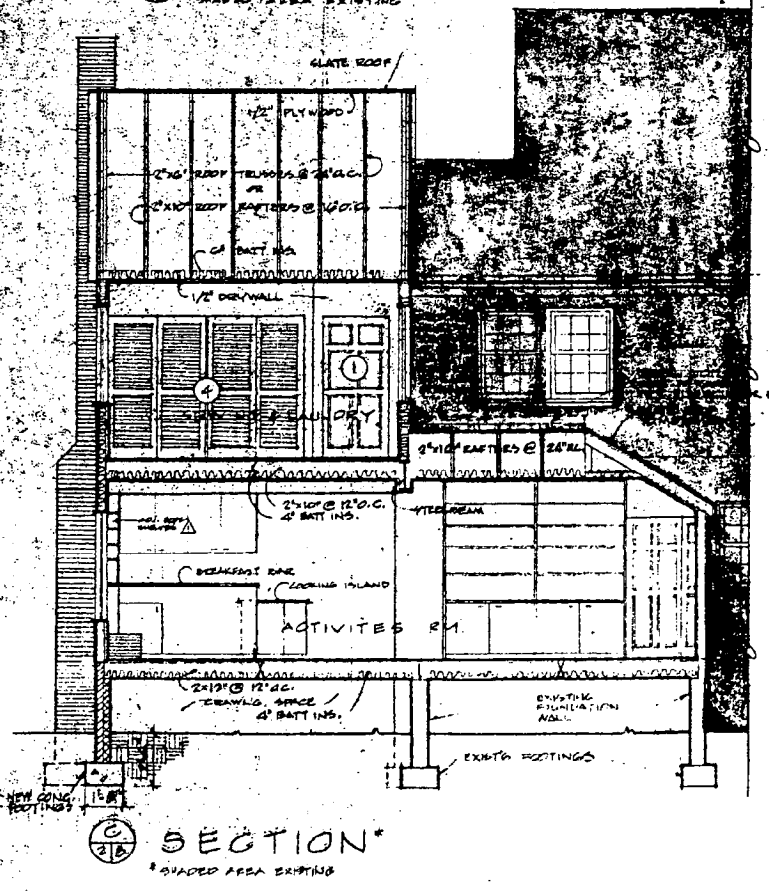
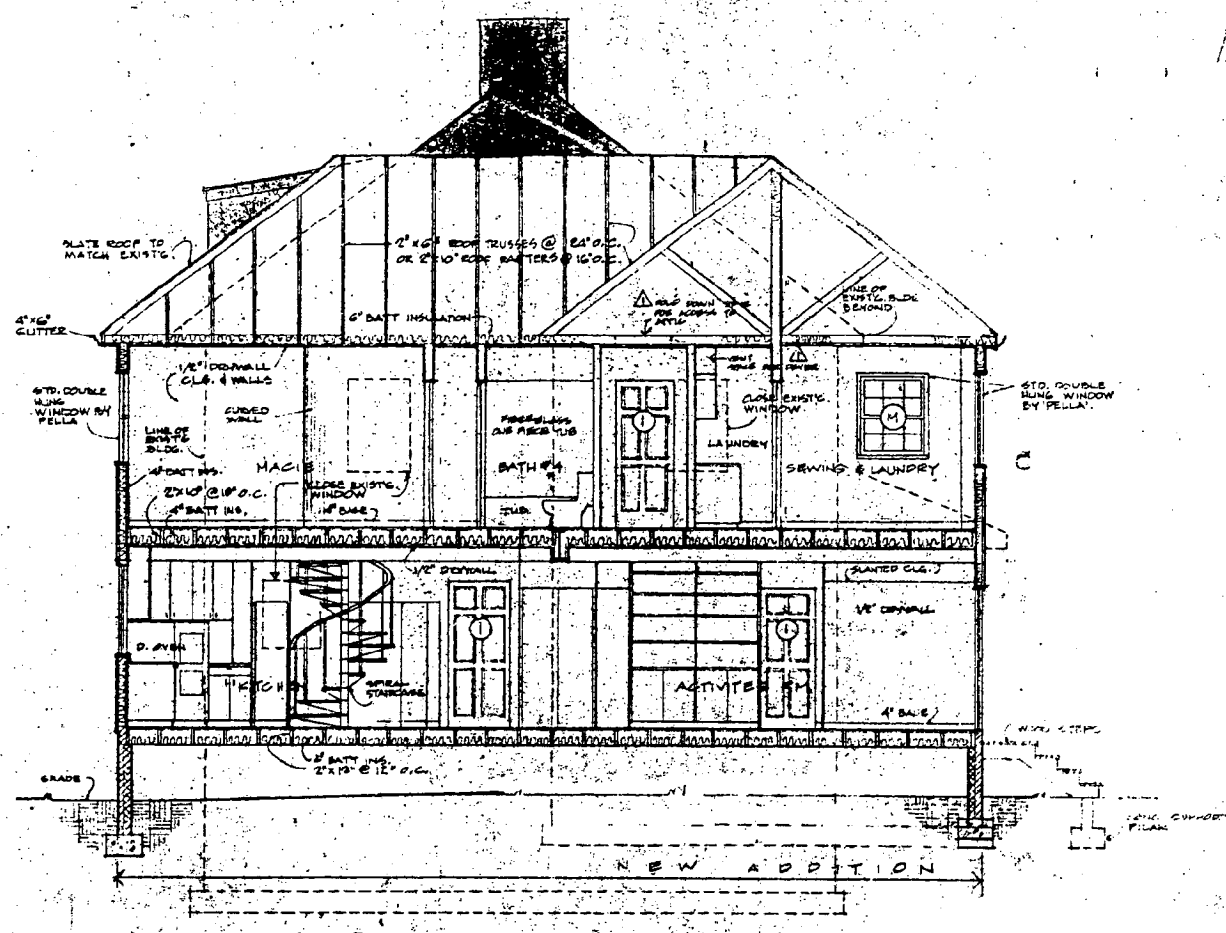
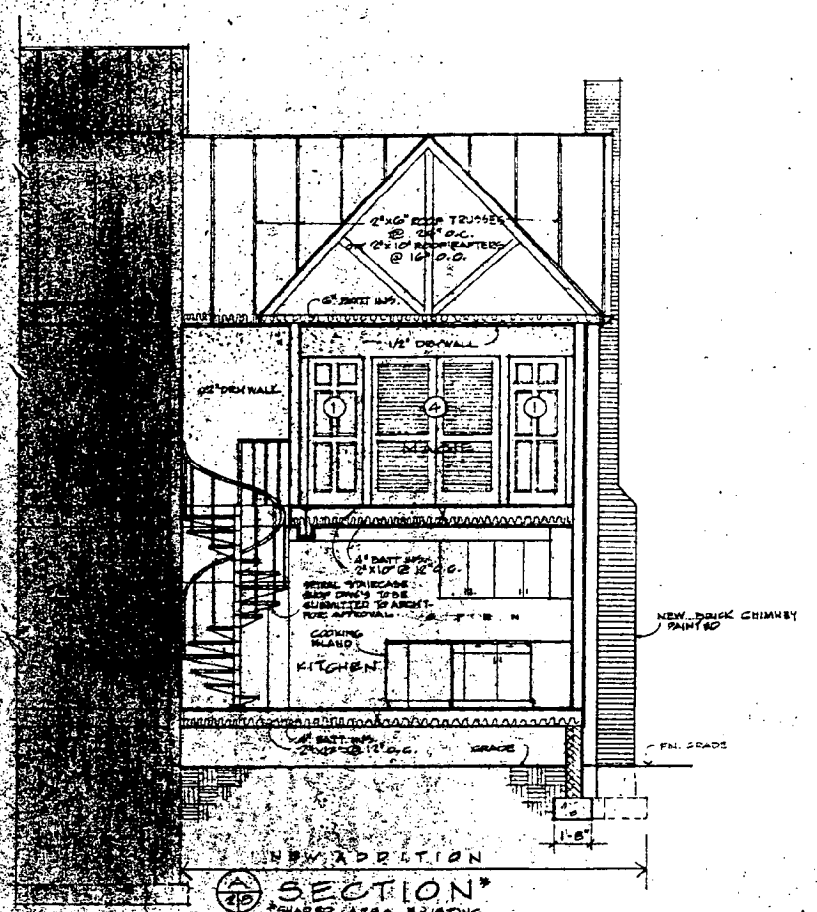


BATHROOM No. 5



BATHROOM No. 6

**Robert S. Yale A.I.A.**  
**ARCHITECT & ASSOCIATES**  
 2609 P Street Northwest  
 Washington, D.C. 20007 337-6868



**CERTIFICATION APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

**LEGEND**

FOR CONSTRUCTION	12 JULY 1974
REVISIONS & DE. ADDITIONS	30 MAY 1974
ISSUED FOR BIDDING	MAY 12, 1974
FILE FOR PERMIT	MAY 15, 1974

**ISSUED DATE**  
 Mr. & Mrs. James M. Haynes, Jr.  
 5921 Cedar Parkway  
 Lot 5 - Block 39  
 Chevy Chase Section 2  
 Montgomery Co., Md.

**SHEET TITLE**

**Building Sections**

**SCALE**  
 1/4" = 1'-0"  
**SHEET NO.**  
 8  
 OF 13

*1974 Changes*



**CERTIFICATION APPROVALS**

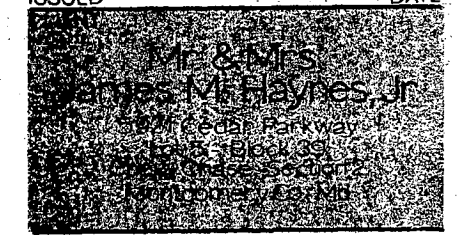
Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

1974  
 Changes

**LEGEND**

FOR CONSTRUCTION	12 JULY 1974
ISSUED FOR BIDDING	16 MAY 1974
ISSUED	DATE



SHEET TITLE

**Wall Sections**

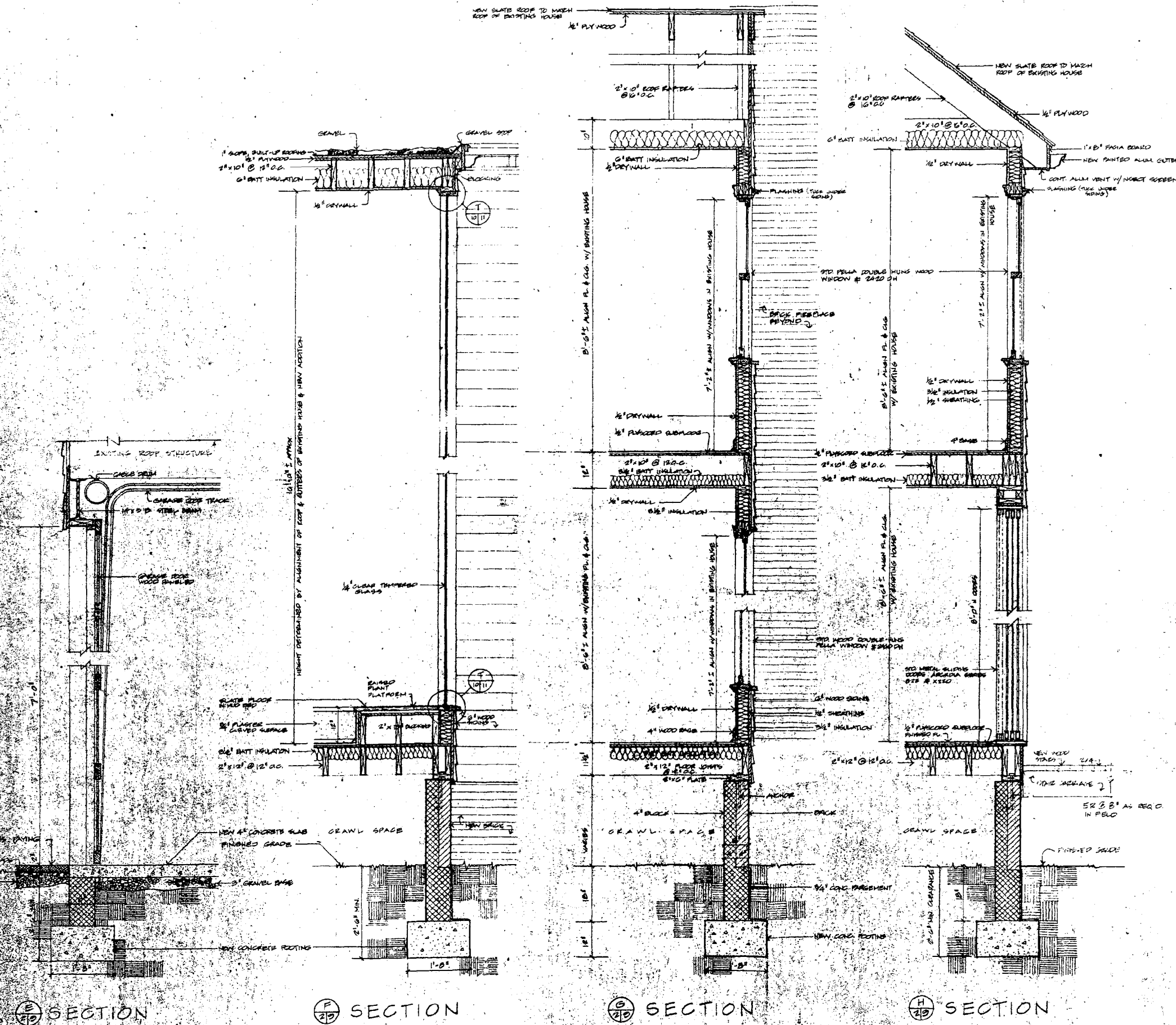
SCALE

3/4" = 1'-0"

SHEET NO.

9

OF 15



SECTION E

SECTION F

SECTION G

SECTION H





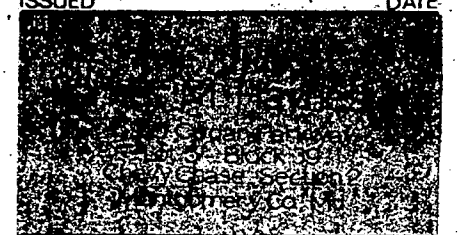
**CERTIFICATION APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

1974  
 Changes

**LEGEND**

PER CONSTRUCTION	12 JULY 1974
ISSUED FOR BIDDING	16 MAY 1974
ISSUED	DATE

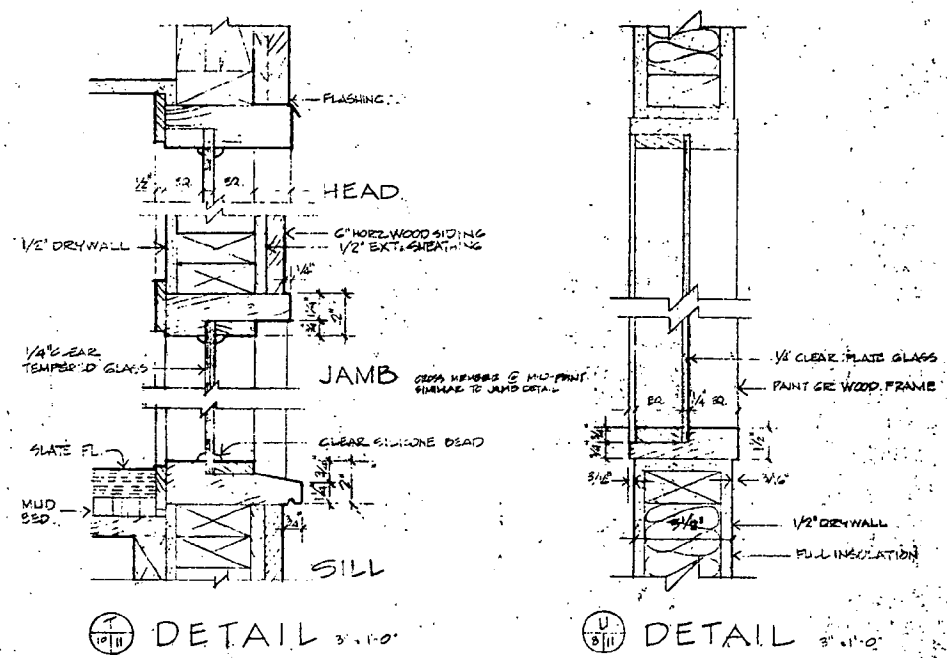


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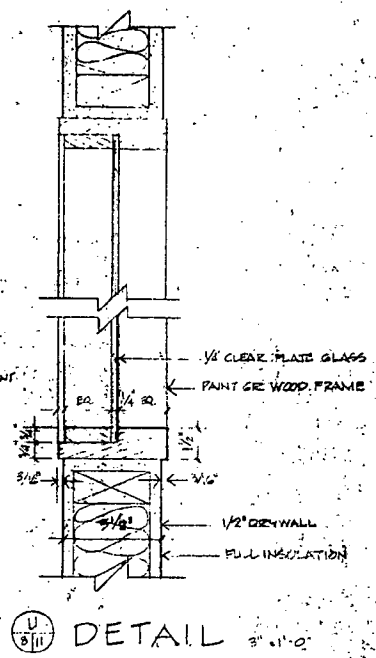
**Sections & Details**

**SCALE**  
 3/8" = 1'-0"  
 UNLESS NOTED OTHERWISE

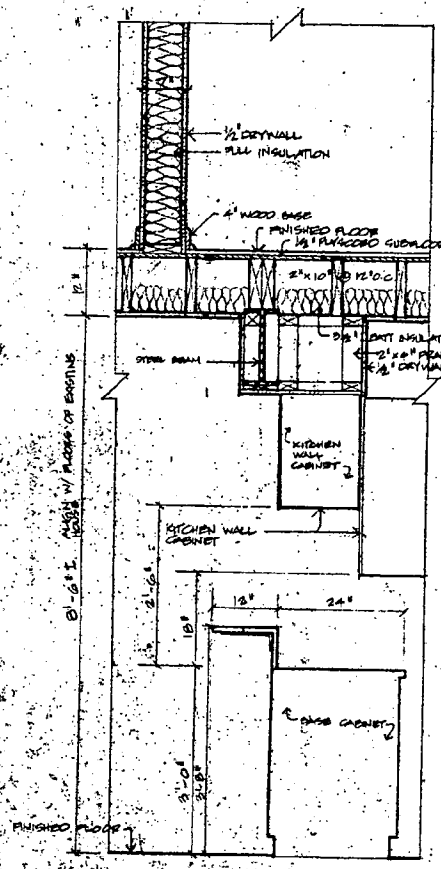
**SHEET NO.**  
 10  
 OF 13



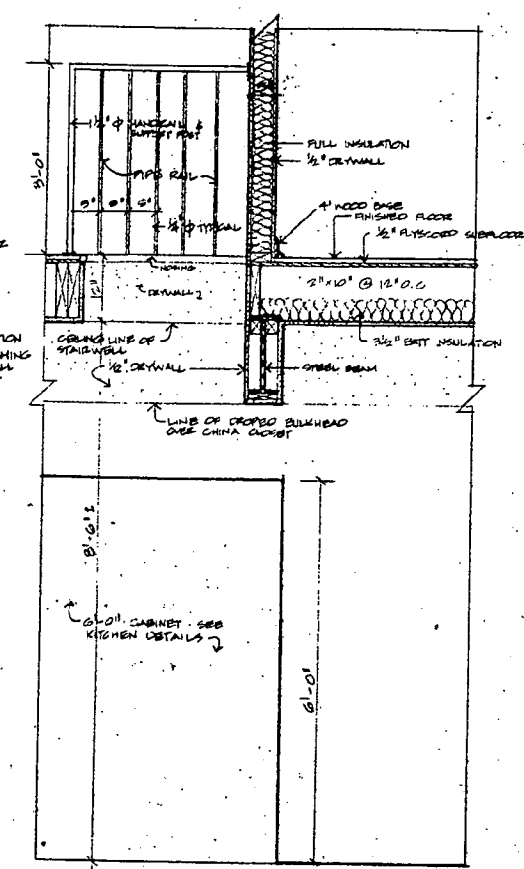
(I) DETAIL 3'-10"



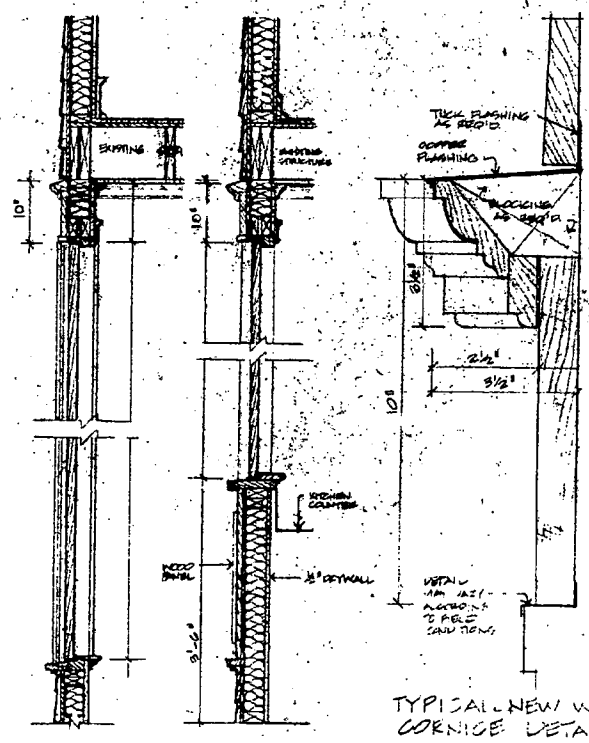
(II) DETAIL 3'-10"



(K) SECTION

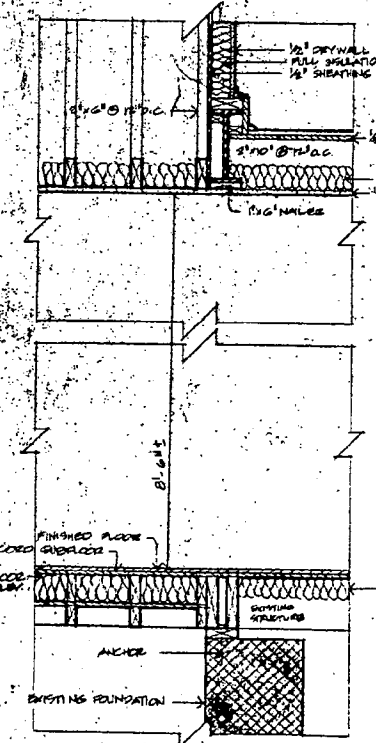


(L) SECTION

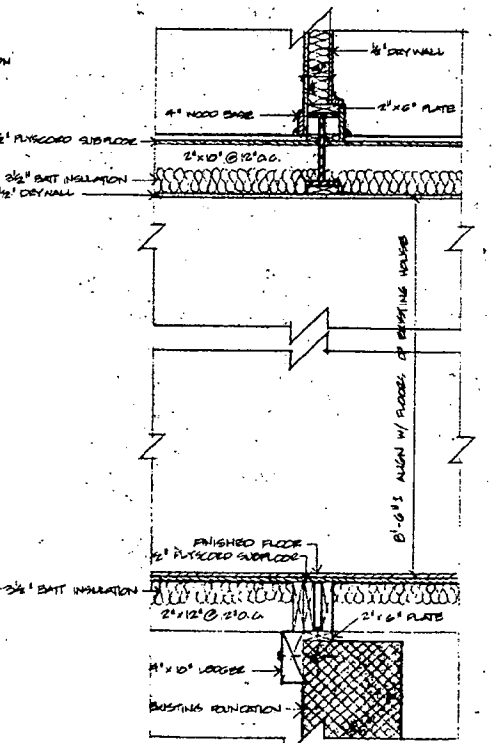


(M) SECTION

(O) DETAIL 3'-10"



(P) SECTION



(Q) SECTION



**CERTIFICATION APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

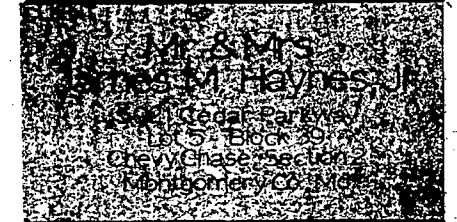
**GENERAL NOTES**

1974 Changes

**LEGEND**

FOR CONSTRUCTION 12 JULY 1974  
 ADDITIONS & REVISIONS 30 MAY 1974  
 ISSUED FOR BIDDING 16 MAY 1974

ISSUED DATE



SHEET TITLE  
**Schedules**

Finish Schedule							
ROOM	FLOOR	BASE	WAINSCOT	TRIM	WALL	CEILING	REMARKS
RECREATION RM.	NEW VINYL	ONE PIECE WOOD PAINT		CLAM SHELL	1/2" DRYWALL PAINT	1/2" DRYWALL PAINT	*FUR EXTERIOR WALLS ON TOP OF NEW WATERPROOFING
MECHANICAL RM.	EXISTING				EXISTING, EXPOSED	EXISTING, EXPOSED	
PARK RM.	DO				EXISTING, PAINTED	FUR, DRYWALL PAINT	
LAVATORY #1	PATCH OLD FLOOR				DO	DO	
GARDEN ROOM	EX. WOOD REFIN.	NEW 2 PIECE WOOD		TO MATCH 12" FLOOR	1/2" DRYWALL OVER EX. W.D.	1/2" DRYWALL	PATCH FLOOR @ OLD RADIATORS, PAINT ENTIRE ROOM.
LIVING RM.	△ CARPET (ONE ROOM) REMOVE				PATCH WALLS		DO
FOYER	△ DO						DO
LAVATORY #1	△ EXISTING				PATCH OLD VANITY		PAINT ENTIRE ROOM
DINING RM.	△ DO				PATCH WALLS PAPER OVER		PATCH FLOOR @ OLD RAD. PATCH WALLS @ NEW OPENINGS, PAINT ENTIRE RM.
KITCHEN	NEW TILE (KITCHEN) PATCH OLD (HALL) REMOVE (BED ROOM) PATCH (HALL) REMOVE (HALL) REMOVE (HALL) REMOVE	NEW 2 PIECE		DC-99	*PAPER OVER DRYWALL	1/2" DRYWALL	*PAPER PROVIDED BY OWNER PAINT ENTIRE ROOM.
ACTIVITY RM.		DO		DO	DO	DO	DO
MUD RM.	VINYL TILE	DO		DO	1/2" DRYWALL PAINTED	DO	DO
GARAGE	CONC.				EXPOSED STUDS	EXPOSED TRUSSES	
MAIN STAIRCASE	△ REFINISH EXISTING FLOOR			△ EXISTING BALUSTRADE W/ WOODEN RM. BRACKETS REMOVE			
SITTING RM.	BUILD-UP BY 1/2" PLYWOOD	NEW 2-PIECE		DC-99	FUR 1/2" DRYWALL PAINT	FUR 1/2" DRYWALL PAINT	PAINT ENTIRE ROOM
MASTER BEDROOM	EX. WOOD REFIN.				NEW WALLS 1/2" DRYWALL		DO
BATHROOM #1	GT IN BATH AREA EX. IN AREA	GT. EXISTING		DC-99	*PAPER OVER DRYWALL		*PAPER PROVIDED BY OWNER PAINT ENTIRE ROOM.
HALL	EX. WOOD REFIN.						PAINT ENTIRE ROOM
BATHROOM #2	EX. C.T. W/ GT. TO MATCH	EXISTING	EXISTING		*PAPER ABOVE C.T.		*PAPER PROVIDED BY OWNER PAINT ENTIRE ROOM.
MAGGIE	EX. PINE PATCH REFIN.	DO			NEW CLOS. 1/2" DRYWALL		DO
MAGIE	PLYWOOD	NEW 2-PIECE		DC-99	1/2" DRYWALL	1/2" DRYWALL	DO
BATHROOM #4	CER. TILE NEW	C.T.		DO	*PAPER OVER 1/2" DRYWALL	DO	DO
STORAGE	PLYWOOD	NEW 2-PIECE		DO	1/2" DRYWALL		PAINT ENTIRE ROOM
SEWING RM.	PLYWOOD	DO		DO	DO	DO	*NOTE SLOPE
JAY	EX. PINE PATCH REFIN.	EXISTING					PAINT ENTIRE ROOM
BATHROOM #3	CER. TILE NEW	C.T.		DC-99	*PAPER OVER 1/2" DRYWALL		*PAPER PROVIDED BY OWNER PAINT ENTIRE ROOM.
GRAY & JANIE	EX. PINE REFIN.						PAINT ENTIRE ROOM
BATHROOM #5	CER. TILE NEW	C.T. NEW		DC-99	1/2" DRYWALL	1/2" DRYWALL	DO
HALL	EX. PINE REFIN.						DO
KELLY	DO						DO
BATHROOM #6	CER. TILE NEW		NEW GT. IN TUB AREA				DO
STORAGE	EX. PINE	NEW 2-PIECE		DC-99	1/2" DRYWALL	EXISTING, PATCH	DO

Exterior Openings Schedule	
SYMBOL	DESCRIPTION
A	
B	ARCADA SLIDING GLASS DOORS, SERIES 820 MULTI-SLIDING 2 SLIDING, 11'0" W X 8'-0" H #B22 OR 22 11' INSULATING GLASS
C	ANDERSON PAINTED CASEMENT WINDOWS #W2N3
D	
E	EXISTING SILE - WOOD FINISHED (GRADE LEVEL PAINTED) OVER EX. TYPE SUPPLY MANUF. & SPEC. FOR APPROVAL OF ARCHITECT MEAN OPERATED
F	
G	ANDERSON PAINTED CASEMENT WINDOWS #W2N3
H	3/8" THICK CLEAR EMBO GLASS, SEE DETAIL SHEET
J	PELLA WOOD DOUBLE-HUNG WINDOW # 2820 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
K	PELLA WOOD DOUBLE-HUNG WINDOW # 2420 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
L	ANDERSON PAINTED CASEMENT WINDOWS #W3N5 X 2
M	PELLA WOOD DOUBLE-HUNG WINDOW # 3620 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
N	PELLA WOOD DOUBLE-HUNG WINDOW # 3020 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
P	PELLA WOOD DOUBLE-HUNG WINDOW # 2420 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
Q	PELLA WOOD DOUBLE-HUNG WINDOW # 2820 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL
R	
S	
T	
U	PELLA WOOD DOUBLE-HUNG WINDOW # 3620 OH W/HALF SCREEN & SINGLE GLAZING OR APPROVED EQUAL

Interior Openings Schedule			
①	②	③	④
PAINT GRADE WEED & PANEL EDGE	PAINT GRADE WEED & PANEL EDGE	PAINT GRADE WEED FLUSH YELLOW GRASS	PAINT GRADE WEED FULL LAWNSEED GRASS

Kitchen Equipment Schedule	
EQUIPMENT	DESCRIPTION
OVEN	5 B. DOUBLE SELF-CLEANING #JK 20 27" + FLUSH EXHAUST FAN
RANGE	JENN AIR # 2300ERS
GRILL	JENN AIR # 2965 EGS
REFRIGERATOR	GENERAL ELECTRIC # TFP 24 RR
SINK	AMER. STD. TRIPLE CONCEPT # 60B2-267 W/AMER. STD. FAUCET # 4170.01G & SPRAY # 4170.02A
DISPOSER	IN-SINK-ERATOR MODEL # 107
COMPACTOR	KITCHEN AID 15" MODEL
DISH WASHER	KITCHEN AID SUPERBA # KDS-17
KONSON FOOD CENTER	W/STORAGE CABINET BELOW
HOT WATER FAUCET	KITCHEN AID KDH-110

Bathroom Equipment Schedule				
BATHROOM	BATH TUB	WATER CLOSET	LAVATORY	MISC.
BATHROOM 1	AMER. STD. FIBERGLAS # 2146-041 WHITE W/MOEN TRIM # 4735	AMERICAN STANDARD, ELONGATED COMPACT, WHITE 7052-041 W/VENT AWAY	* ONE PIECE - CORIAN DAWN BEIGE W/VANITY UNDER EA TOP	* TRIM - MOEN 4735 CLOTHES HAMPER BY KERRHAM # 992
BATHROOM 2	LEAVE EXISTING	LEAVE EXISTING	DO DAWN BEIGE	NEW TRIM AS ABOVE FOR LAV.
BATHROOM 3	AM. STD. FIBERGLAS 2146-041 W/MOEN TRIM # 4735 TRIM	AM. STD. ELONGATED COMPACT, WHITE 7052-041 W/VENT AWAY	* ONE PIECE - CORIAN (SPECIAL SHAPE) W/ DAWN BEIGE	* TRIM - MOEN 4735 TUB - WHITE CLOTHES HAMPER BY KERRHAM # 992
BATHROOM 4	AM. STD. FIBERGLAS 2146-033 DO - ON BALANCE WHITE	DO	DO	DO
BATHROOM 5	AM. STD. FIBERGLAS 2146-041 DO - ON BALANCE WHITE	DO	DO	DO
BATHROOM 6	EXISTING TUB	DO	EXISTING LAV.	DO TUB - WHITE
LAVATORY 1	NO TUB	AM. STD. FACET, WHITE	AM. STD. PENNYN, WHITE, W/7119.01B AQUARIAN	
LAVATORY 2	NO TUB	LEAVE EXISTING	* ONE PIECE - CORIAN, W/VANITY, DAWN BEIGE	* TRIM - MOEN 4735



**Robert S. Yale A.I.A.**  
**ARCHITECT & ASSOCIATES**  
 2609 P Street Northwest  
 Washington, D.C. 20007 337-6868



**CERTIFICATION APPROVALS**  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_

**GENERAL NOTES**

EQUIPMENT SCHEDULE						
SYSTEM	TONS	CFM	E.A.P.	HP	COND. UNIT	COMPRESSOR
FIRST FLOOR	5	1,800	.45	1/2"	1/5"	24A-220V.1P
BASEMENT	5	2,400	.60	1/2"	1/5"	38A-220V.1P
SECOND FLOOR	5	2,400	.60	1/2"	1/5"	38A-220V.1P
ATTIC						

UNITS BASED ON 95° AMBIENT CRANKCASE HEATER. U.L. LABEL UNITS WITH LOW VELOCITY FILTERS PROVIDE FREON LINES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER. ELECTRIC COILS IN DUCT SHALL HAVE STATIC SEMPER TO PREVENT OPERATION IF FAN IS OFF.

**LEGEND**

*Changes  
 1074*

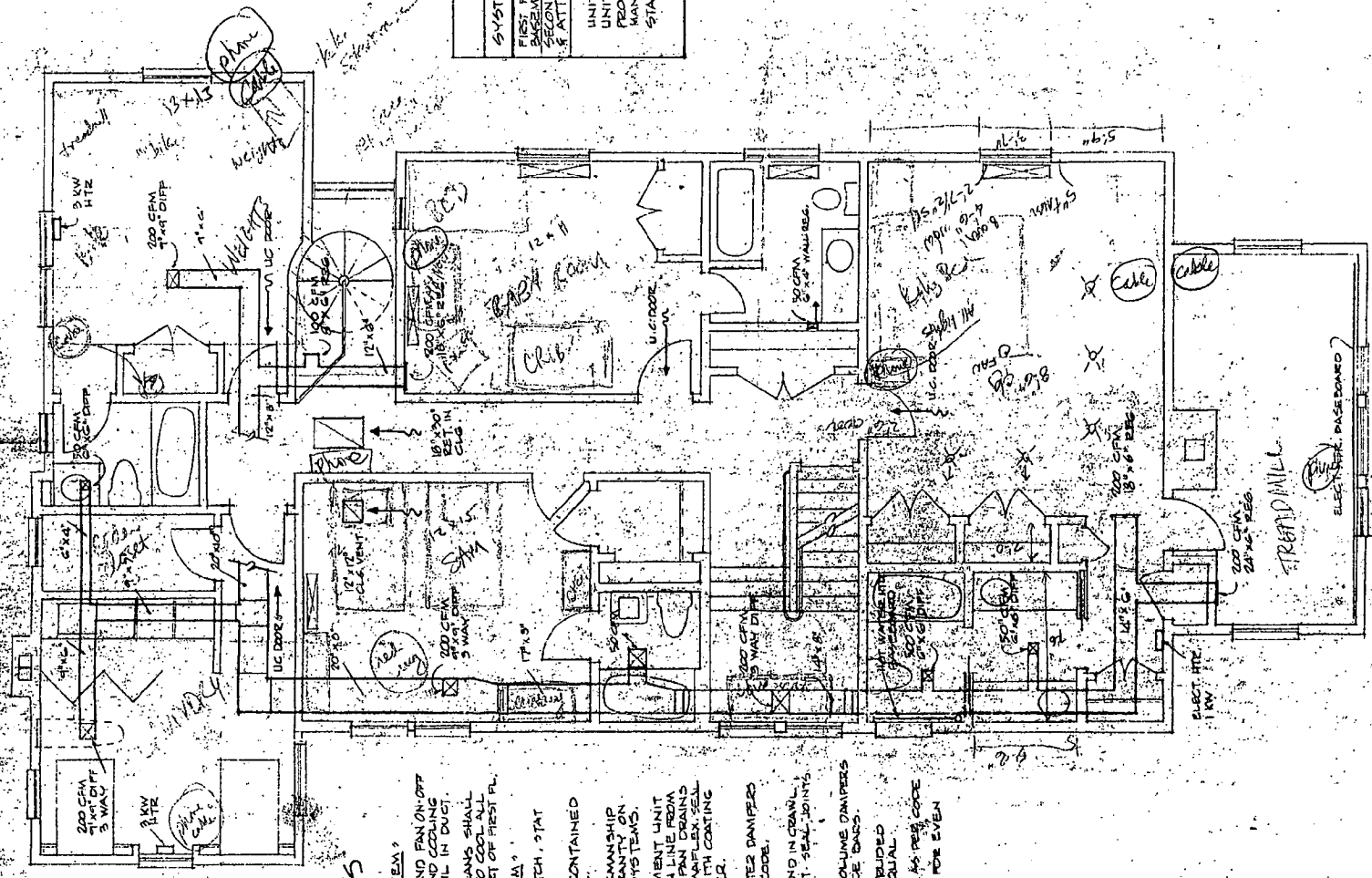
ISSUED	DATE
FOR CONSTRUCTION	

**Mrs. J. Haynes, Jr.**  
 1115 Parkway  
 Block 39  
 Capitol Hill, Wash. D.C. 20542  
 Telephone: 337-1102  
 1115 Parkway, N.W.

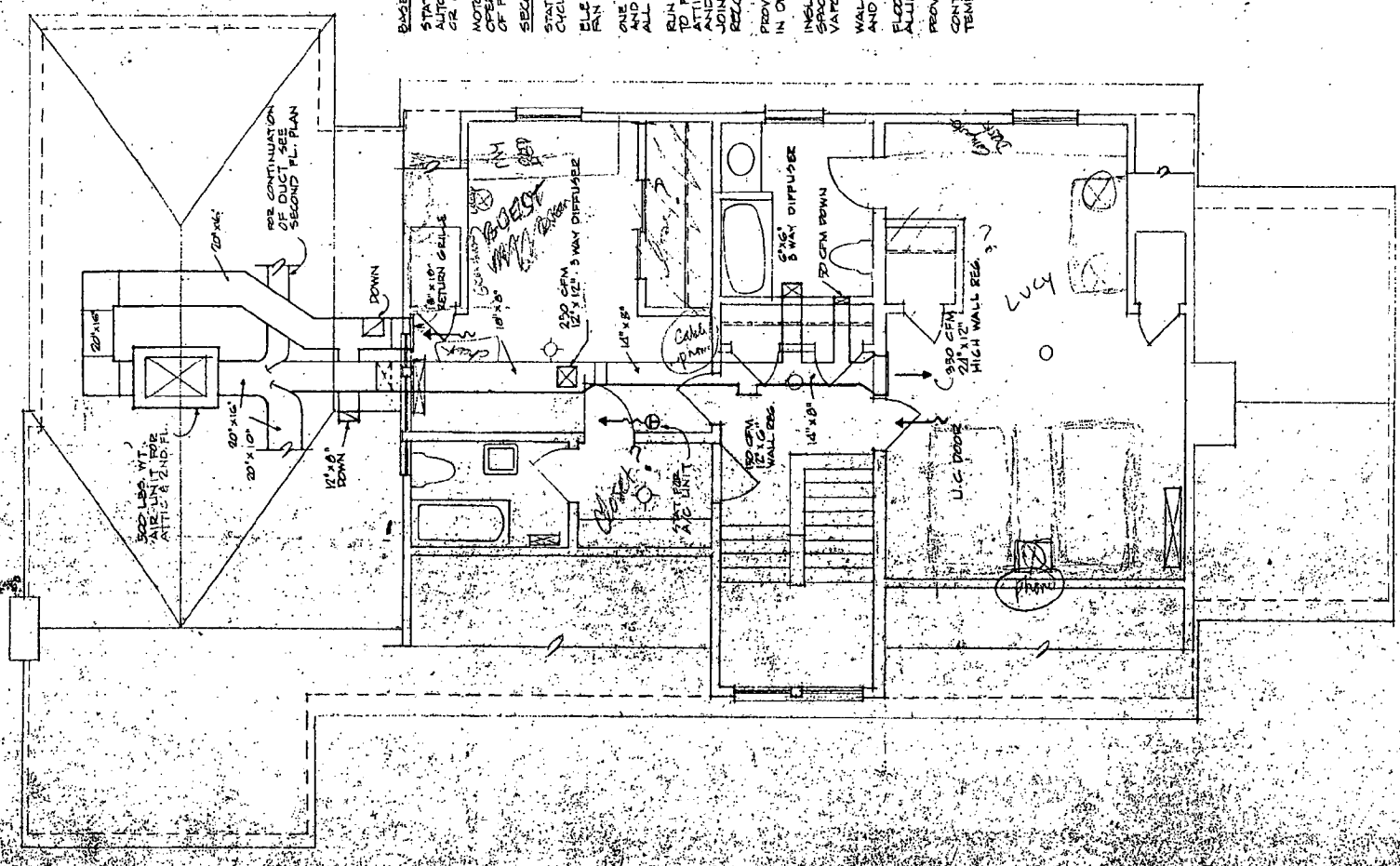
SHEET TITLE

Mechanical Plan

SCALE 1/4" = 1'-0"  
 SHEET NO. 13  
 OF 13



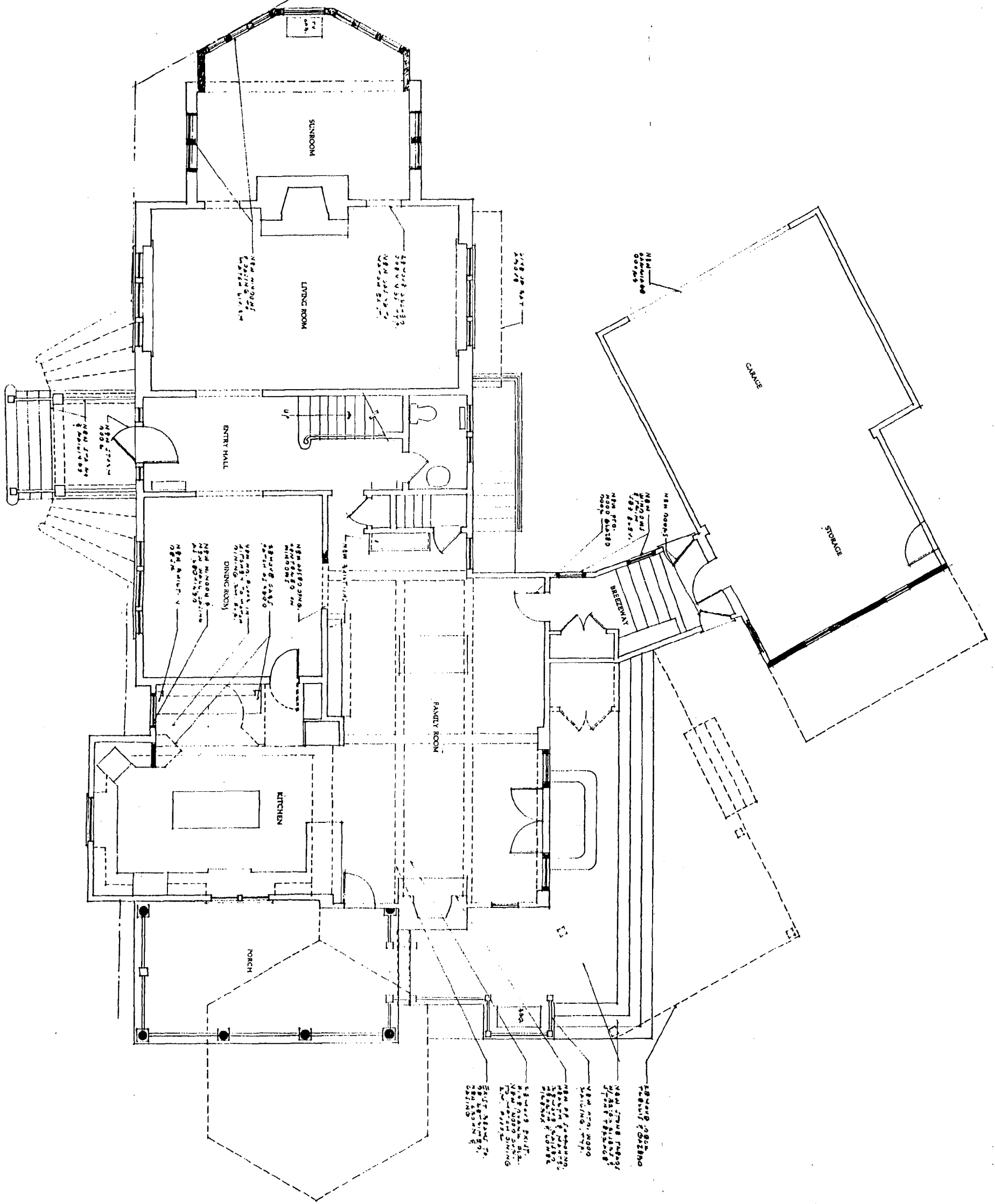
SECOND FLOOR PLAN



ATTIC PLAN

**CONTROLS**

**BASEMENT AND FIRST FLOOR SYSTEMS**  
 START FOR UNIT WITH HEAT-COOL AND FAN ON-OFF  
 AIR CYCLES FAN AND ELECTRIC COIL IN DUCT.  
 MOTORIZED DAMPERS NOTED ON PLANS SHALL  
 OPERATE HEAT-COOL SWITCH TO COOL ALL  
 OF FIRST FLOOR BUT HEAT ONLY PART OF FIRST FL.  
**SECOND FLOOR AND ATTIC SYSTEMS**  
 START WITH FAN ON-OFF AUTO SWITCH, START  
 CYCLES FAN & COOLING.  
**ELECTRIC HEATERS WITH SELF CONTAINED  
 FAN AND DRY UNIT U.L. LABEL.**  
 ONE YEAR WARRANTY ON ALL WORKMANSHIP  
 AND MATERIALS BUT 5 YEAR WARRANTY ON  
 ALL HERMETIC REFRIGERATION SYSTEMS.  
 RUN 1" FAN DRAIN LINE FROM BASEMENT UNIT  
 TO FLOOR DRAIN. RUN 1" FAN DRAIN LINE FROM  
 ATTIC UNIT TO GRADE. INSULATE FAN DRAIN  
 AND SUCTON LINES WITH 1/2" GUM-AR-FLX. SEAL  
 JOINTS WITH 1/2" GUM-AR-FLX. WITH CONTING  
 RECOMMENDED BY MANUFACTURER.  
 PROVIDE TURNING VANES AND SPRITTED DAMPERS  
 IN DUCTS. ALL WORK SHALL MEET CODE.  
 INSULATE DUCTWORK IN ATTIC AND IN DRAIN-  
 SPACE WITH 1" FIBERGLASS BUNKET-SEAL JOINTS.  
 VAPOR TIGHT.  
 WALL REGISTERS SHALL HAVE VOLUME DAMPERS  
 AND ADJUSTABLE HORIZONTAL FACE DAMPS.  
 FLOOR REGISTERS SHALL BE EXTRUDED  
 ALUMINUM REGISTERS #1000 OR EQUAL.  
 PROVIDE BATH AND KITCHEN RAYS AS PER CODE  
 CONTRACTOR SHALL BALANCE AIR FOR EVEN  
 TEMPERATURES.



APPROVED  
 Montgomery County  
 Historic Preservation Commission

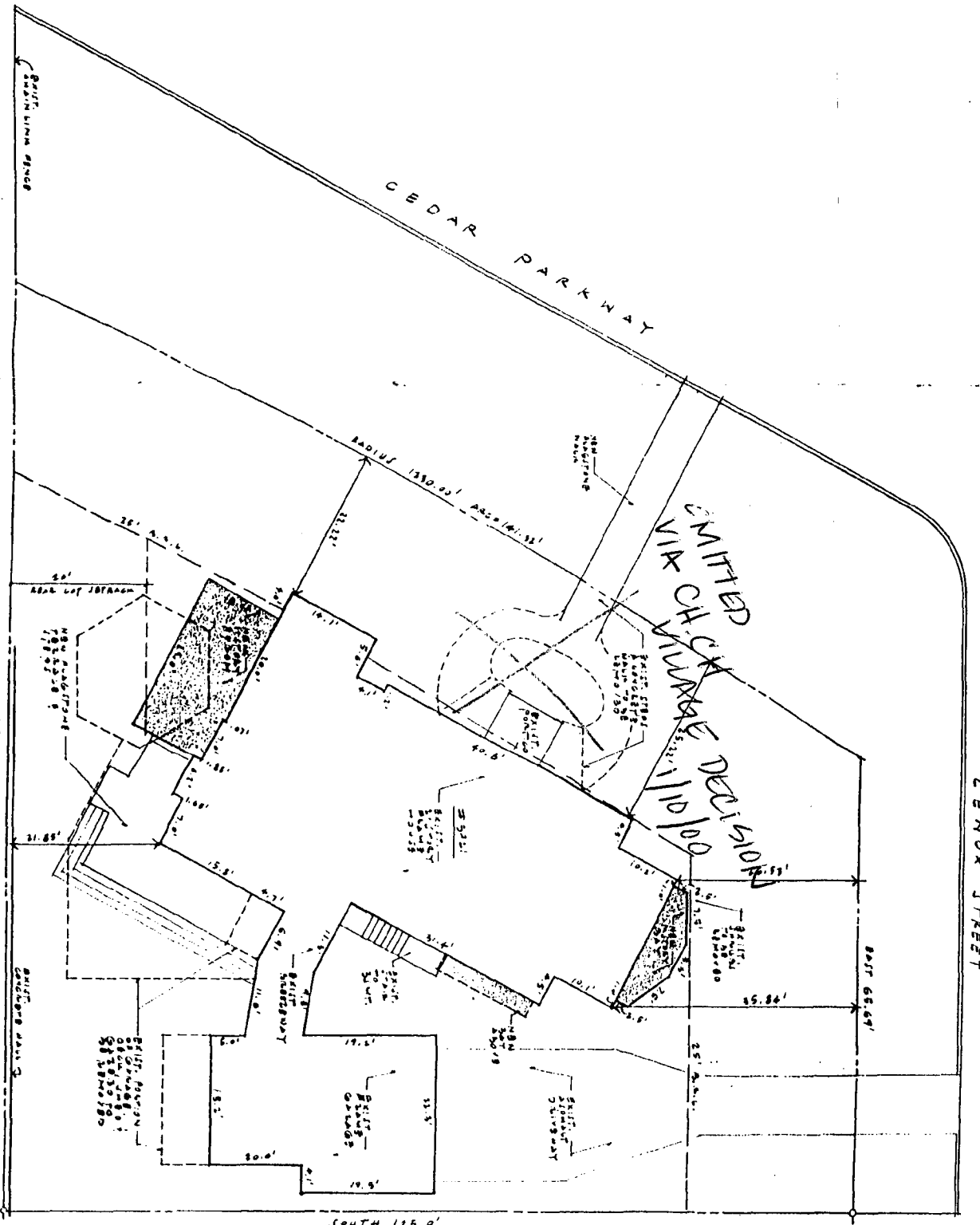
*[Signature]*  
 11/10/09

1	PROPOSED FIRST FLOOR PLAN 1/4" = 1'-0"	08-15-11 PE-JDE L PC-JDE P DB-DAV O	<b>POWELL RESIDENCE</b> 5921 CEDAR PARKWAY CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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Site information is taken from site survey dated 17 June 1998, prepared by Station, Inc. of Rockville, MD.

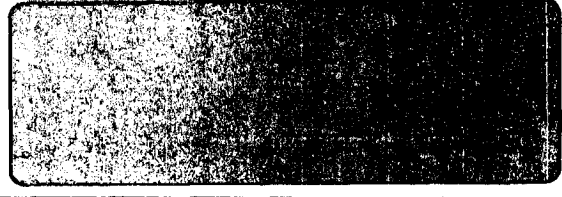
**ZONING SUMMARY**

Lot Description: Lot 5, Block 29, Section 2, Chevy Chase, Maryland  
 Plat Book 2, Page Number 106  
 Lot Area: 12,518 square feet total  
 Map/Zone/County: R-40  
 Required Setbacks:  
 Front: 35 ft  
 3 ft protection allowed for porches  
 9 ft protection allowed for uncovered terraces, stoops  
 Side: 8 ft minimum, 18 ft total  
 Rear: 20 ft  
 Building Height: 35 ft maximum  
 Lot Coverage: 35% maximum  
 Notes: Site plan reviewed by City of Chevy Chase & Montgomery County Zoning on 8/13/99. Note for use determined as line that is West, 131.54'.  
 Yields of Chevy Chase:  
 Required Setbacks:  
 Front: 25 feet  
 Side: 7 feet minimum  
 10 feet to existing dwellings.

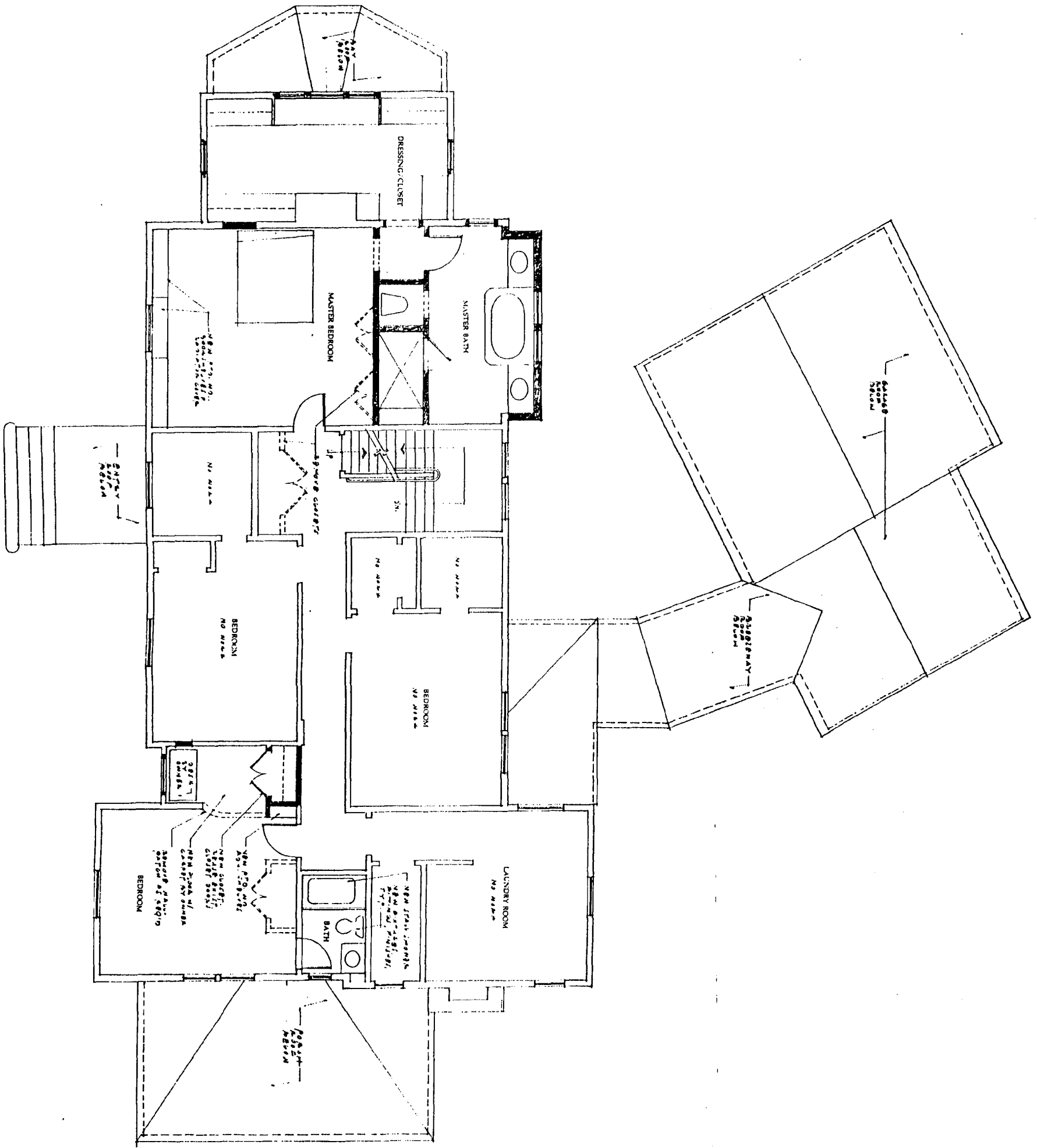


1 SITE PLAN  
 12 x 18" 09

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/18/09

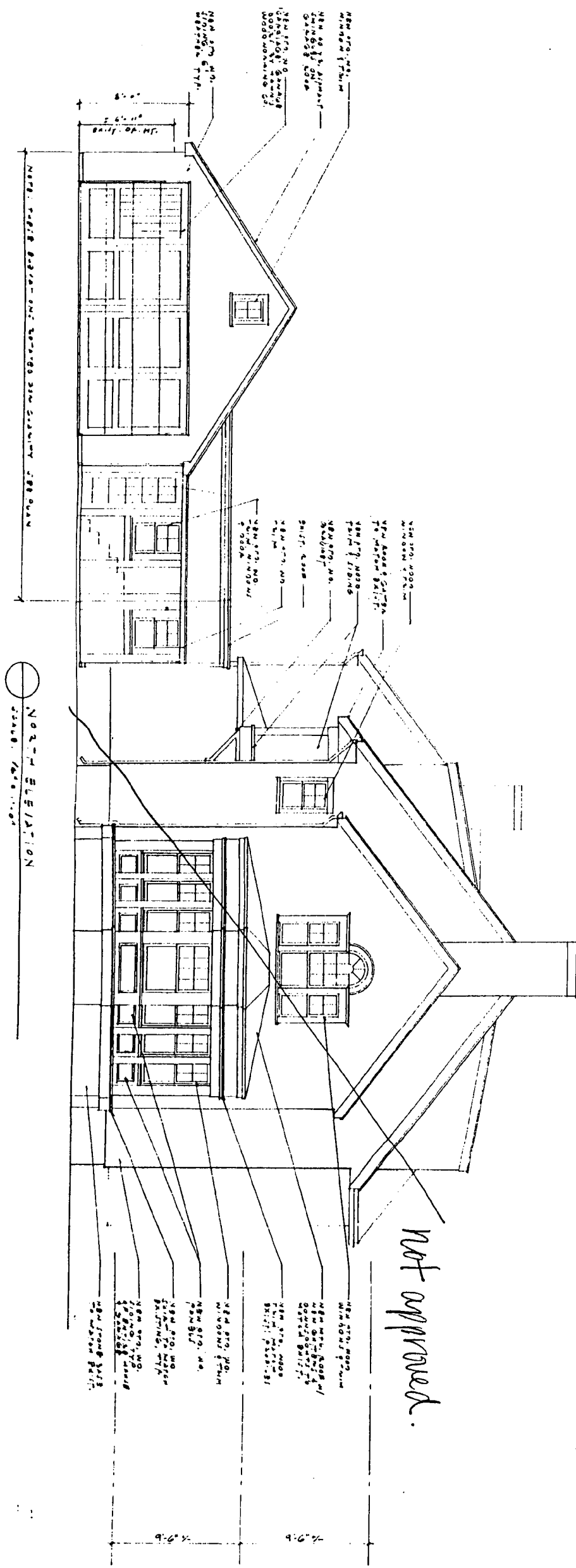


SD 1	PROPOSED SITE PLAN 1" = 10'-0"	11 307 98	<b>POWELL RESIDENCE</b> 5921 CEDAR PARKWAY CHEVY CHASE MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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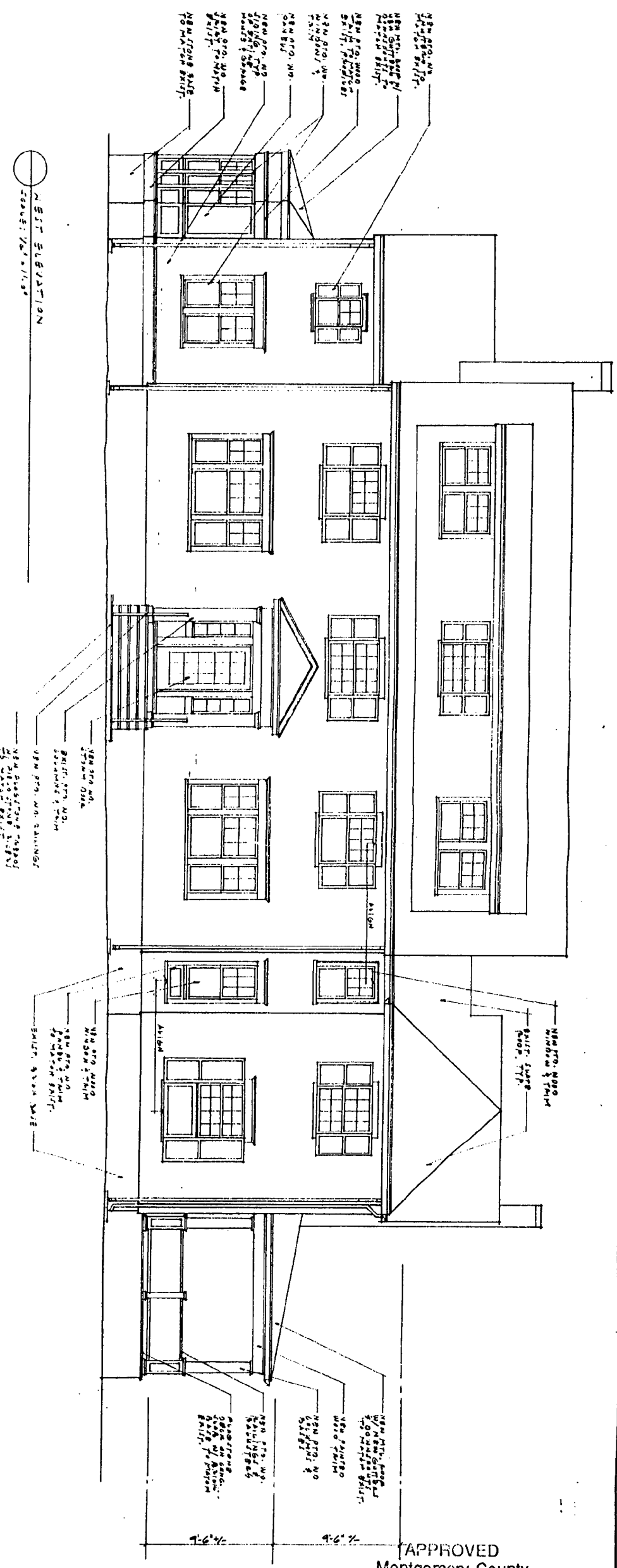
APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*  
 11/10/09



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

*not approved.*



EAST ELEVATION  
SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
11/18/99







ALTERNATE NORTH ELEVATION

SCALE: 1/4" = 1'-0"

POWELL RESIDENCE

5921 CEDAR PARKWAY

CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS

5630 CONNECTICUT AVE., NW

WASHINGTON, DC 20015

APPROVED 10.27.99  
Montgomery County  
Historic Preservation Commission

*[Signature]* 11/18/99  
①



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 11/18/99

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

13513-0992

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

\_\_\_\_ Approved \_\_\_\_\_ Denied

X Approved with Conditions: ① THE ALTERNATE NORTH ELEVATION DESIGN IS USED.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

applicant: JEROME FOWELL AND ELISSA LEONARD

address: 5021 CEDAR PARKWAY, CHEVY CHASE

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than 90 weeks following completion of work.



RE TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: NANCY MCCARREN

Daytime Phone No.: 202.966.6266

Tax Account No.: 07 00457201

Name of Property Owner: VEROME POWELL/ELISSA LEONARD Daytime Phone No.: 301.656.3760

Address: 5921 CEDAR PARKWAY CHEVY CHASE, MD 20815-4250  
Street Number City Street Zip Code

Contractor: TO BE SELECTED Phone No.: -

Contractor Registration No.: -

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202.966.6266

**LOCATION OF BUILDING/PREMISE**

use Number: 5921 Street: CEDAR PARKWAY  
Town/City: CHEVY CHASE, MD Nearest Cross Street: LENOX  
Lot: 5 Block: 39 Subdivision: CHEVY CHASE VILLAGE  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: INT. RENOVATION,

1B. Construction cost estimate: \$ 400,000 PINISHED

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEN/OADITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephen Muse, FAIA  
MUSE ARCHITECTS  
Signature of owner or authorized agent

11 OCTOBER 1999  
Date

Approved: w/conditions

[Signature]  
For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 11/18/99

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING CENTER HALL HOUSE WAS CONSTRUCTED IN 1932 AND  
RENOVATED AND ADDED TO IN 1974.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT ADDS A ONE-STORY PAV TO THE NORTH SIDE OF THE HOUSE AND  
RESTORES THE STOPS AT THE FRONT PORCH TO THEIR ORIGINAL CONFIGURATION.  
WHERE WINDOWS ARE CHANGED OR ADDED THEY ARE TO BE MORE  
CONSISTENT WITH THE ORIGINAL NEIGHBOR. THE VINYL SIDING IS TO BE  
REMOVED AND THE ORIGINAL WOOD SIDING RESTORED OR REPLACED.  
THE JOBS ALSO INCLUDES REMOVING THE GAZEBO AND WOOD DECK AND  
REPLACING IT WITH A COVERED PORCH AND NEW STONE TERRACE. THE  
GARAGE WILL BE CUT BACK TO ALLOW FOR A MORE GRACIOUS REAR YARD.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

M U S E   A R C H I T E C T S

Stephen Muse FAIA  
*Principal*

Jeffery Broadhurst AIA  
William Kirwan AIA  
*Associates*

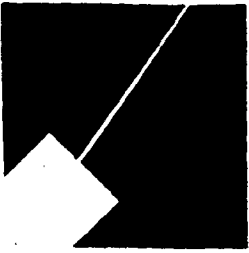
POWELL RESIDENCE  
5921 Cedar Parkway  
Chevy Chase, MD 20815  
Lot 5  
Block 39  
Section No. 2

LIST OF ADJOINING PROPERTY OWNERS

Address	Owner
33 West Kirke Street Chevy Chase, MD 20815	Charles A. & H.H. Hobbs
31 West Kirke Street Chevy Chase, MD 20815	William R. Dooley & Marion C. Blakey
29 West Kirke Street Chevy Chase, MD 20815	Mary A. Tuohey
20 Magnolia Parkway Chevy Chase, MD 20815	Scott W. & C.A. Muller
37 West Lenox Street Chevy Chase, MD 20815	Lee M. Petty
43 West Lenox Street Chevy Chase, MD 20815	Cary M. Euwer Jr. 1751 Pinnacle Dr. Ste.550 McLean, VA 22102-3833
5918 Cedar Parkway Chevy Chase, MD 20815	Lawrence B. & D.S. Gibbs
5914 Cedar Parkway Chevy Chase, MD 20815	John H. Montgomery

Information obtained at [www.dat.state.md.us](http://www.dat.state.md.us) on 8 October 1999.  
State Department of Assessments and Taxation

M-NCPPC



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 11/18/99

MEMORANDUM

**TO: Historic Area Work Permit Applicants**

**FROM: Gwen Wright, Coordinator  
Historic Preservation Section**

**SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits**

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 11/18/99

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC

MICHELE NARU, HISTORIC PRESERVATION PLANNER (M)  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

---

The Historic Preservation Commission reviewed this project on 11/17/99  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G:\wp\laphawp.ltr



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 5921 Cedar Parkway, Chevy Chase      **Meeting Date:** 11/17/99  
**Resource:** Chevy Chase Village Historic District      **Report Date:** 11/10/99  
**Review:** HAWP      **Public Notice:** 11/03/99  
**Case Number:** 35/13-99Z      **Tax Credit:** Partial  
**Applicant:** Jerome Powell and Elissa Leonard      **Staff:** Michele Naru  
(Stephen Muse, Agent)

**PROPOSAL:** Alterations to house.**RECOMMEND:** Approval.

Approved 11/17/99  
(Expedited)  
w/ NORTH ELEVATION  
ALTERNATE PLAN.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in Chevy Chase Village Historic District.  
**STYLE:** Colonial Revival Residence  
**DATE:** 1920

The original house was built in 1920 as a 2-1/2 story three bay dwelling. A single-bay northern extension with a second story sleeping porch was also part of the original footprint. The roof was ornamented with two wall dormers in the end bays. The house was built with a detached garage. In the 1950's the sleeping porch was enclosed. The major changes to the dwelling's original design occurred in 1974. These modifications include joining the two wall dormers on the third story to make a three bay dormer, constructing a southern two-bay extension, and changing the stair configuration on the front portico from a central stair to a curvilinear plan. After 1974, the garage was expanded, the connector was constructed between the house and the garage and the gazebo was added to the south elevation of the house.

**PROPOSAL:**

The applicant proposes to modify or reverse several of the changes made to the residence in 1974.

***General:***

1. Replace the aluminum siding with new 6" wood weatherboard siding or repair/replace where necessary if original siding is found underneath aluminum.
2. Replace in-kind roofing material and gutters. (No HAWP needed)

***West Elevation/Principal (Circle 11 & 13):***

1. Return the front portico steps to the original configuration. (Using flagstone treads with fieldstone risers to match existing) (Circle 9)
2. Remove plate glass from the breezeway on the southern extension (constructed in 1974) and install 6/1 wood sash windows. Infill with lapped siding.
3. Remove windows in the northern extension (enclosed in 1950). Replace the *out-of-period* first story window with a paired wood sash window to match existing first story windows on the main block. Replace the *out-of-period* second story window with a 6/1 wood sash window with paneled shutters to match existing windows on the second floor of the main block.

***North Elevation (Circle 12, 13 and 14):***

1. Install a one-story bay on the first story of the extension. Remove the *out-of-period* second story windows and replace with two, 6/1 sash windows with paneled shutters (Circle 14). This window configuration is preferred to the Palladian configuration. The Palladian window treatment is not appropriate on a house that is Colonial Revival/Craftsman in style. The Palladian window is generally reserved for Adamesque house types.
2. Modify the connector (c.1974) between the garage and main section to include all new windows. Install a new door on the connector.
3. Replace the garage doors (c.1974) with paneled garage doors (Circle 13). Install an operable sash window in the garage's gable.
4. Remove the original second story window on the main block and replace with a 6/1 wood sash window.

***East Elevation (Circle 11 & 15):***

1. Install a bump-out on the second floor at the rear (to enlarge master bedroom bath). The bump-out will be ornamented with brackets and trim to match existing (Circle 9 & 10).
2. Remove plate glass sliding doors and replace them with new French doors and transoms.
3. Remove windows on first and second stories of the northern extension. Replace *out-of-period* first-story, paired windows with paired 6/1 sash windows. The *original* second story windows will be replaced with new bump-out.

***South Elevation (Circle 9, 12 & 15):***

1. Remove the gazebo and replace it with a covered porch. Remove an *out-of-period* 6/9 sash window and install a divided light glazed door to allow access onto the covered porch.
2. Remove the wood deck and replace it with a new flagstone terrace with brick risers and stone treads.
3. Reduce garage size. (7' smaller at rear)

## **STAFF DISCUSSION**

The applicant should be commended on this proposed rehabilitation. The project will maintain the existing integrity of the building and its environment. The changes proposed by the applicant are within the historic district guidelines for alterations to a contributing resource. The project falls into these categories:

1. **Changes that remove out-of-period materials or design**

These include the removal of the aluminum siding, returning the front portico to its original design and the removal of the plate glass in the breezeway and replacing the glass with more compatible sash windows. Where the original design or material can be determined, the project can be approved and would qualify for a tax credit. In the case of the siding, it has not been ascertained whether shingle or lapped wood siding was originally in place, but either would be an improvement over aluminum. The applicants will be repairing and replacing in-kind any existing wood siding underneath the aluminum siding.

2. **Changes that remove original materials and for which new design or materials are proposed.**

Original work from outside the periods of significance for the historic district, such as from the 1974 project, could be removed or otherwise modified.

Window replacement that is visible from the public right-of-way should be subject to moderate scrutiny. The windows on the west elevation's northern extension were installed in 1950 when the sleeping porch was enclosed. These windows could be removed if the replacement window is compatible with the historic fabric of the original structure.

The replacement of an original window, (such as the proposed removal of the 2<sup>nd</sup> story window on the main block of the north elevation and the original second story windows on the rear east elevation), if it is not viewed from the public right-of-way, is subject to lenient scrutiny and can be approved.

Staff would recommend that the applicant store the original windows on site for a potential later use.

3. **New additions to the house.**

The new-covered porch addition should be subject to moderate scrutiny if they are visible from the public right-of-way. The addition should be approved if the new addition will be compatible with the historic materials, features, size, scale and proportion, and massing. The bumpout on the second story, although somewhat visible from the street, should be given lenient scrutiny. The addition should be compatible in terms of massing and scale.

4. **Changes to out-of-period additions.**

These changes include the installation of French doors on the rear of the southern extension, the removal of the wood deck and the modifications to the doors and windows on the rear connector. These modifications are not visible from the public right-of-way and should be given lenient scrutiny. Lenient scrutiny dictates that the changes should be compatible with the surrounding environment and with the scale and massing of the existing structure.

5. **Changes to garages and accessory buildings.**

The reduction of the garage size, should be subject to lenient scrutiny but should be compatible with the main building.

The **Chevy Chase Village LAP** had not responded at the time this report was prepared.

**STAFF RECOMMENDATION**

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #6 & #10:

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits**, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arranges for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY MCCARREN

Daytime Phone No.: 202.966.6266

Tax Account No.: 07 00457201

Name of Property Owner: GEROME POWELL/ELISSA LEONARD Daytime Phone No.: 301.656.3760

Address: 5921 CEDAR PARKWAY CHEVY CHASE, MD 20815-4250  
Street Number City State Zip Code

Contractor: TO BE SELECTED

Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202.966.6266

**LOCATION OF BUILDING/PREMISE**

Use Number: 5921 Street: CEDAR PARKWAY

Town/City: CHEVY CHASE, MD Nearest Cross Street: LENOX

Lot: 5 Block: 39 Subdivision: CHEVY CHASE VILLAGE

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |                                    |  |  |  |                                    |   |   |                               |                               |
|------------------------------------|--|--|--|------------------------------------|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition                           | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove                                  | <input type="checkbox"/> Single Family    |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input checked="" type="checkbox"/> Other: <u>INT. RENOVATION, FINISHES</u> |   |                               |                               |

1B. Construction cost estimate: \$ 400,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**RT THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line       Entirely on land of owner       On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

STEPHEN MUSE FAIA  
MUSE ARCHITECTS  
 Signature of owner or authorized agent

11 OCTOBER 1999.  
 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING CENTER HALL HOUSE WAS CONSTRUCTED IN 1932 AND  
RENOVATED AND ADDED TO IN 1974.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT ADDS A ONE-STORY BAY TO THE NORTH SIDE OF THE HOUSE AND  
RESTORES THE STEPS AT THE FRONT PORCH TO THEIR ORIGINAL CONFIGURATION.  
WHERE WINDOWS ARE CHANGED ON ADDED THEY ARE TO BE MORE  
CONSISTENT WITH THE ORIGINAL RESIDENCE. THE VINYL SIDING IS TO BE  
REMOVED AND THE ORIGINAL WOOD SIDING RESTORED OR REPLACED.  
THE SCOPE ALSO INCLUDES REMOVING THE GAZEBO AND WOOD DECK AND  
REPLACING IT WITH A COVERED PORCH AND NEW STONE TERRACE. THE  
GARAGE WILL BE CUT BACK TO ALLOW FOR A MORE GRACIOUS REAR YARD.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6

M U S E   A R C H I T E C T S

Stephen Muse FAIA  
*Principal*

Jeffery Broadhurst AIA  
William Kirwan AIA  
*Associates*

POWELL RESIDENCE  
5921 Cedar Parkway  
Chevy Chase, MD 20815  
Lot 5  
Block 39  
Section No. 2

LIST OF ADJOINING PROPERTY OWNERS

Address	Owner
33 West Kirke Street Chevy Chase, MD 20815	Charles A. & H.H. Hobbs
31 West Kirke Street Chevy Chase, MD 20815	William R. Dooley & Marion C. Blakey
29 West Kirke Street Chevy Chase, MD 20815	Mary A. Tuohey
20 Magnolia Parkway Chevy Chase, MD 20815	Scott W. & C.A. Muller
37 West Lenox Street Chevy Chase, MD 20815	Lee M. Petty
43 West Lenox Street Chevy Chase, MD 20815	Cary M. Euwer Jr. 1751 Pinnacle Dr. Ste.550 McLean, VA 22102-3833
5918 Cedar Parkway Chevy Chase, MD 20815	Lawrence B. & D.S. Gibbs
5914 Cedar Parkway Chevy Chase, MD 20815	John H. Montgomery

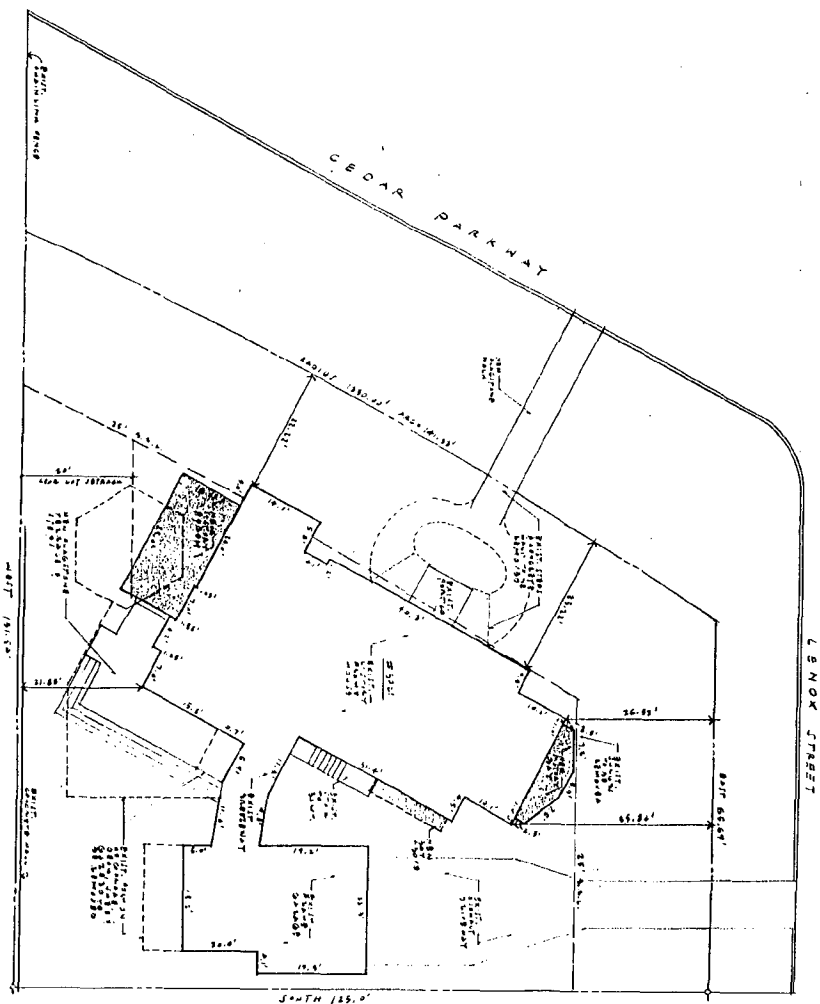
Information obtained at [www.dat.state.md.us](http://www.dat.state.md.us) on 8 October 1999.  
State Department of Assessments and Taxation

This information is taken from the survey dated June 17, 1968, prepared by  
 Nelson, Inc. of Bethesda, MD.

**ZONING SUMMARY**

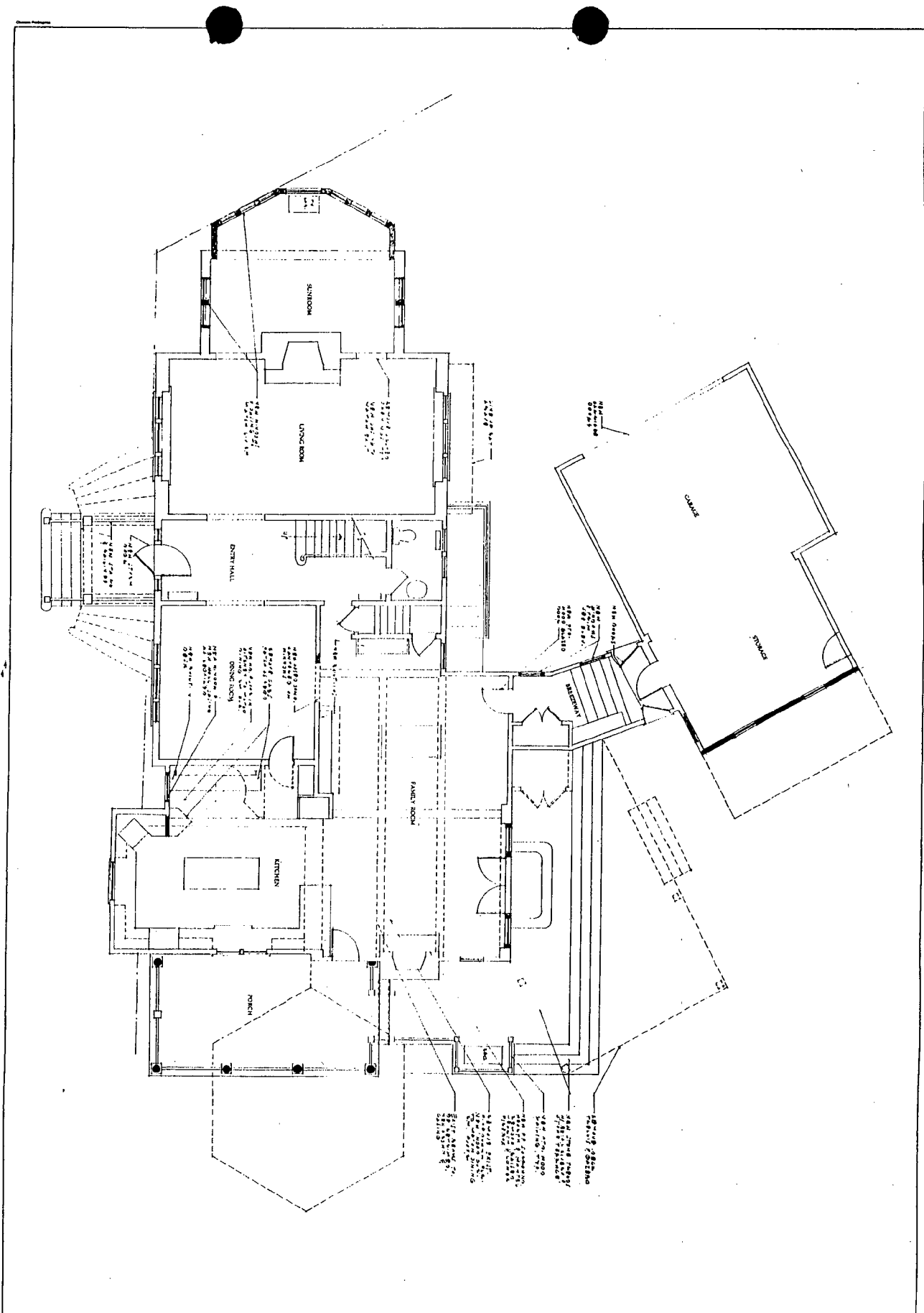
**Lot Description:** Lot 4, Block 26, Section 2, Chevy Chase, Maryland  
 Lot Area: 12,218 square feet total  
**Map/Record/Case:** R-40  
**Required Setback:** Front: 20 feet  
 Side: 5 feet  
 Rear: 20 feet  
**Building Height:** 20 feet maximum  
**Lot Coverage:** 25% maximum  
**Notes:** Setback removed by Deeds Book 8, Montgomery County Deeds on  
 4/13/68. Note for the development as filed in Vol. 121, 121A  
**TABLE OF DISTANCES:**  
 From: 20 feet  
 To: 20 feet  
 Scale: 1" = 20 feet  
 1/8" = 2 feet

1 LITE PLAN  
 23) 1" = 10' 0"



SD 1		<p>PROPOSED SITE PLAN          1" = 10' 0"</p>	<p>11 55' 00"          11 55' 00"</p> <p><b>POWELL RESIDENCE</b>          5630 CONNECTICUT AVENUE NW          CHEVY CHASE, MARYLAND 20815</p>	<p><b>MUSE ARCHITECTS</b>          5630 Connecticut Avenue NW          Washington DC 20015          Phone: 202 966 6266          Facsimile: 202 966 8666</p>
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1

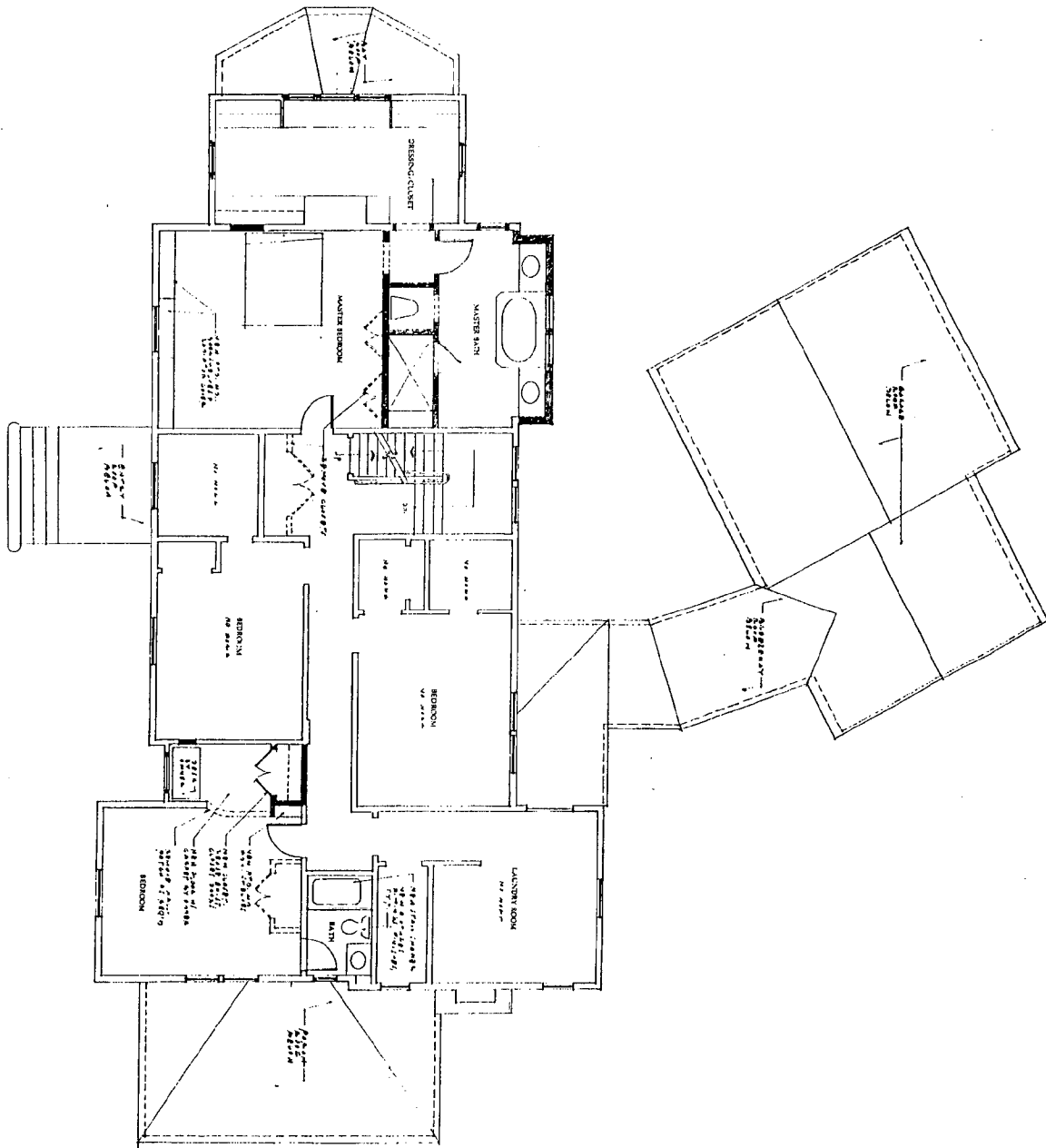
9


PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

DATE: 10/15/03  
DRAWN BY: [Name]

**POWELL RESIDENCE**  
SOUTH PARK PARKWAY  
CHRYSLER, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW  
Washington DC 20015  
Phone: 202.966.0266  
Facsimile: 202.966.9666



2		<p>PROPOSED SECOND FLOOR PLAN 1/4" = 1'-0"</p>	<p>6' x 10' x 12' 7' x 10' x 12' 7' x 10' x 12'</p>	<p><b>POWELL RESIDENCE</b> 3014 STAR PARKWAY CROFTSVILLE, MARYLAND 21035</p>	<p><b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666</p>
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**Robert S. Yale A.I.A.**  
**ARCHITECT & ASSOCIATES**  
 2809 P Street Northwest  
 Washington, D.C. 20007 337-6868



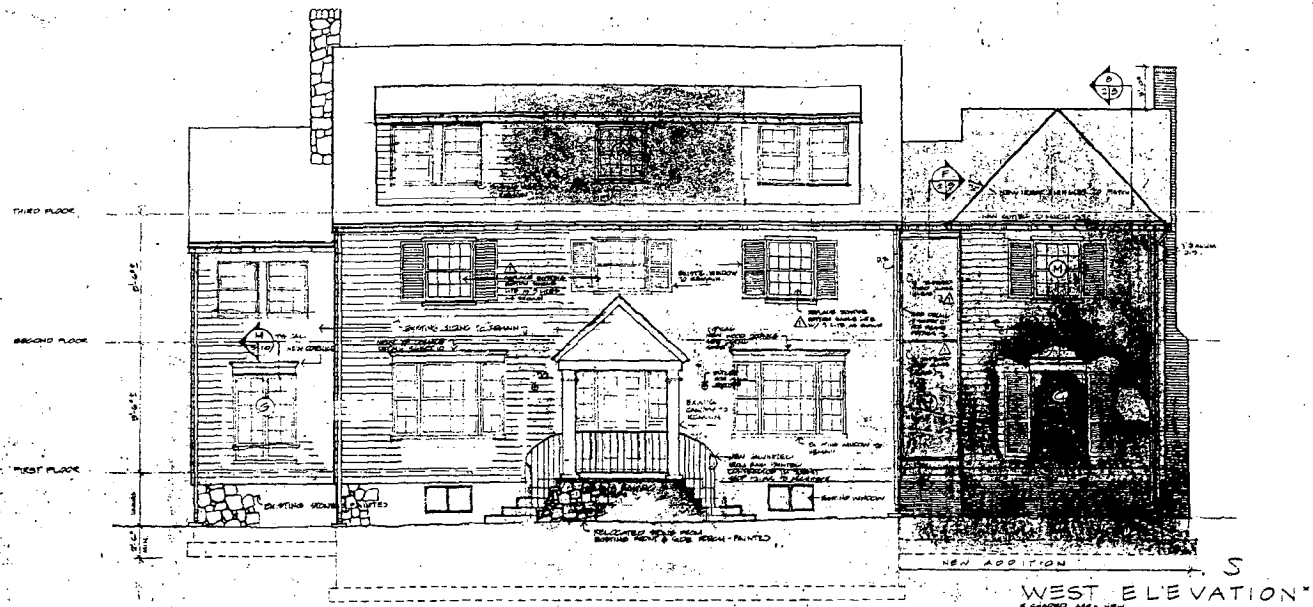
CERTIFICATION  
 APPROVALS  
 Architect \_\_\_\_\_  
 Client \_\_\_\_\_  
 Contractor \_\_\_\_\_  
 GENERAL NOTES

1974  
 changes

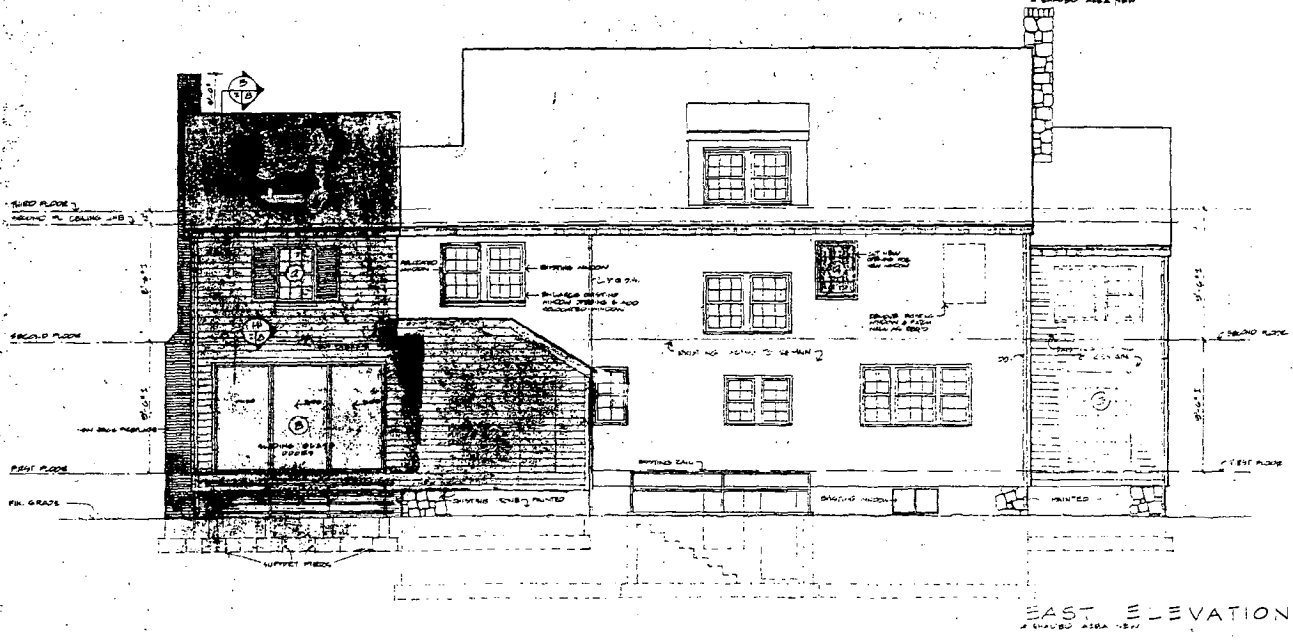
LEGEND  
 EXISTING  
 CONDITIONS

ISSUED	DATE
CLIENT	
Mr. & Mrs. James M. Haynes, Jr. 626 Cedar Parkway Apt. 52 - Block 39 Chevy Chase, Section 2 Montgomery Co., Md.	

SHEET TITLE  
 East & West Building Elevations (11)  
 SCALE 1/8" = 1'-0"  
 SHEET NO. 5 OF

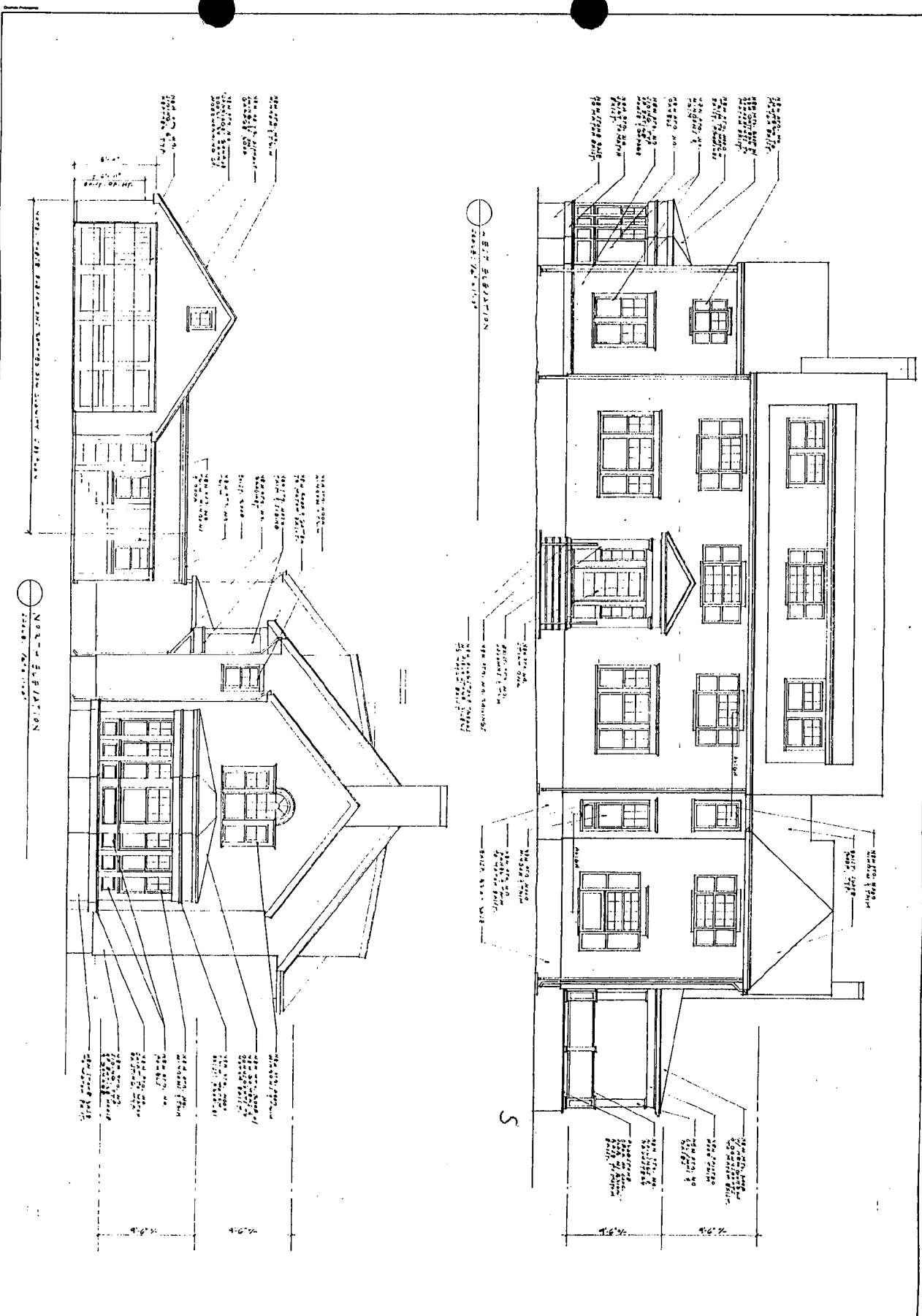


WEST ELEVATION  
 A SHADY AREA - NEW



EAST ELEVATION  
 A SHADY AREA - NEW







ALTERNATE NORTH ELEVATION

SCALE: 1/4" = 1'-0"

POWELL RESIDENCE

592 CEDAR PARKWAY

CHEVY CHASE, MARYLAND 20815

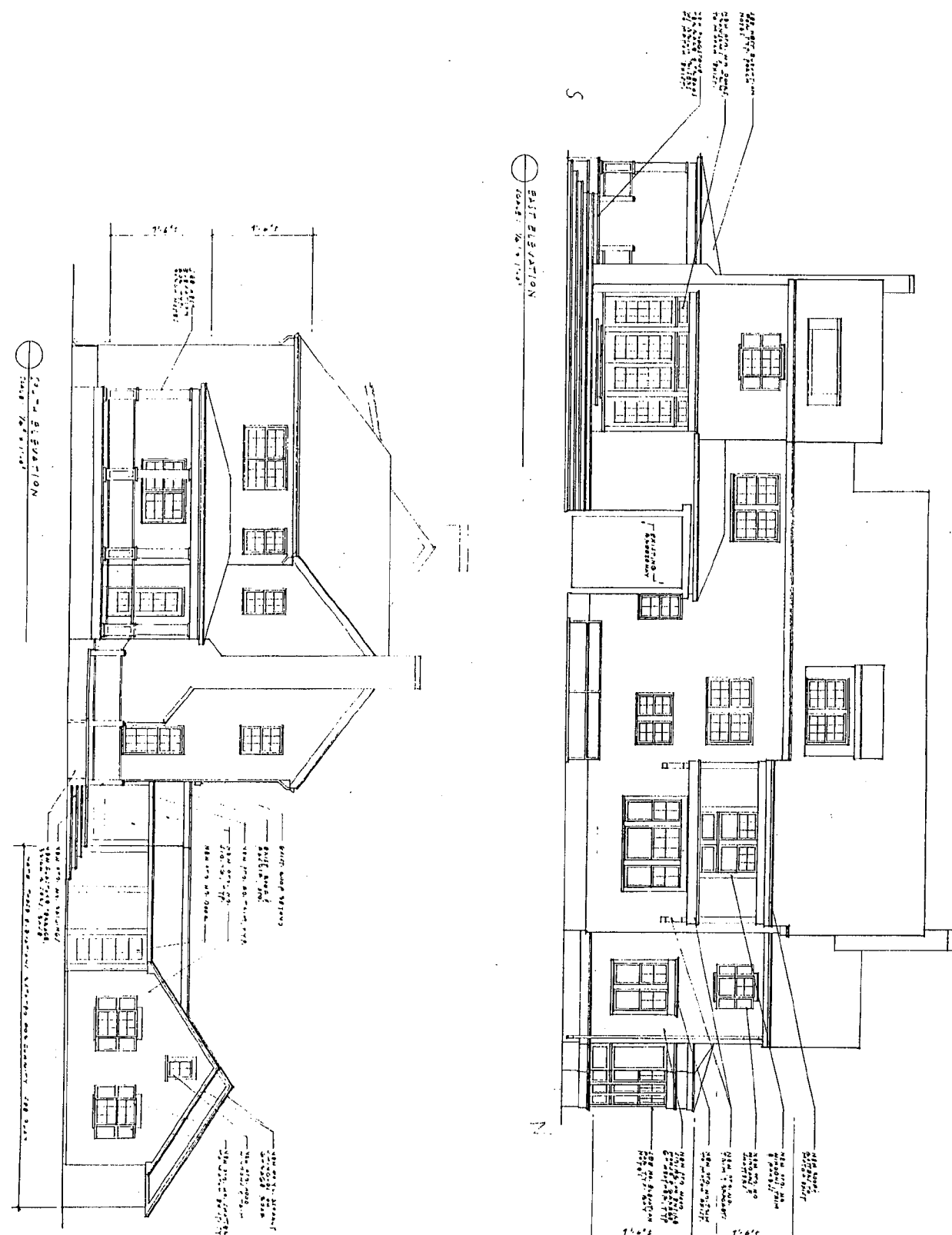
MUSE ARCHITECTS

800 CONNECTICUT AVE., NW

WASHINGTON, D.C. 20013

10.27.99

4



4

15

SMITHSONIAN INSTITUTION  
 1000 16th St NW  
 Washington, DC 20036

0.0000  
 4.0000  
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 1.0000

**POWELL RESIDENCE**

WILLIAM FARAWAY  
 CHELSEA HOUSE, BIRMINGHAM 2ND FL

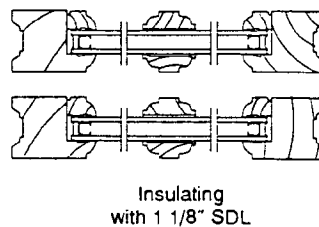
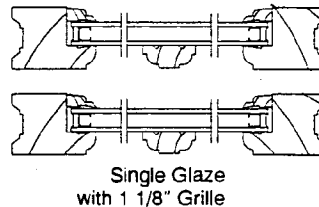
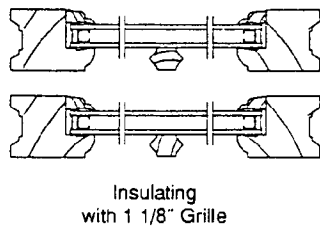
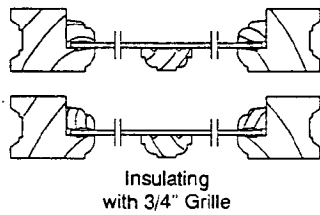
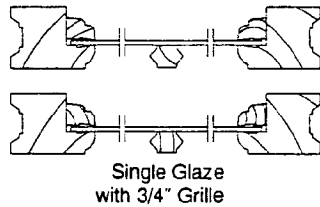
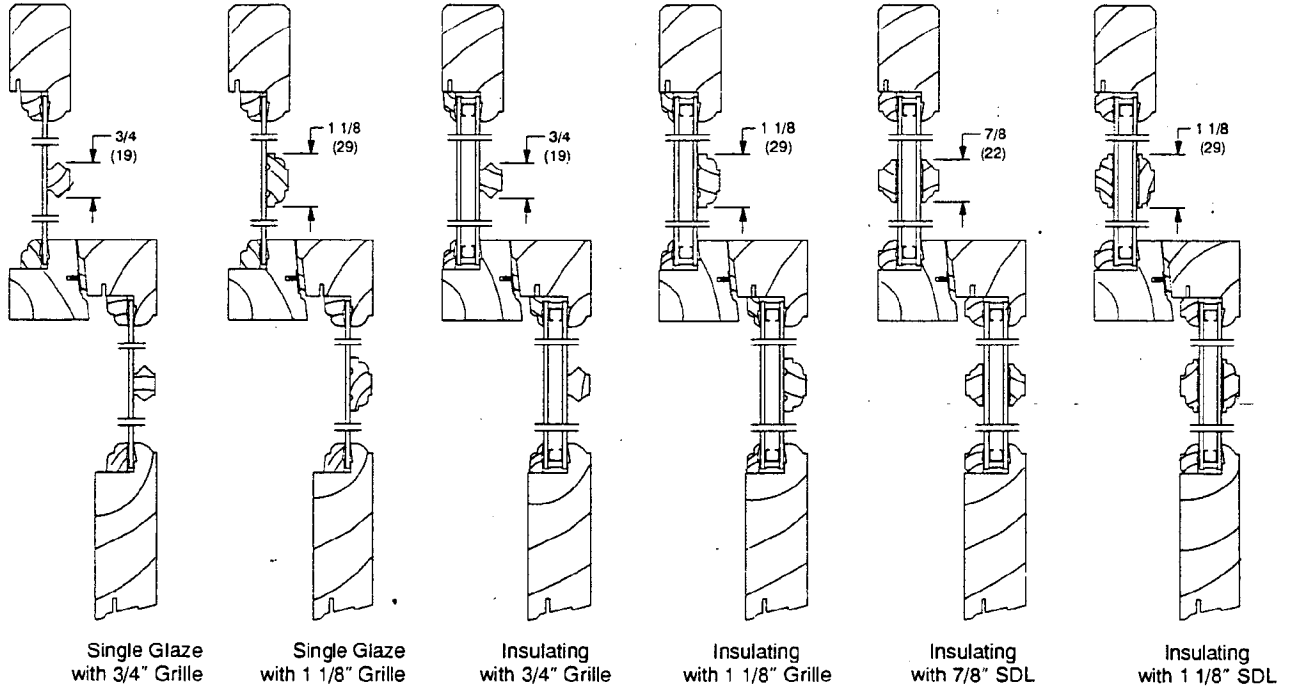
**MUSE ARCHITECTS**

5630 Connecticut Avenue NW  
 Phone: 202.966.6766  
 Washington DC 20015  
 Fax: 202.966.9666

# WOOD DOUBLE HUNG

## GLAZING OPTIONS

SCALE: 3" = 1' 0"





# WOOD DOUBLE HUNG

## SPECIFICATIONS



**Frame:** Finger jointed edge-glued pine head and side jambs with clear interior liners. Finger jointed [clear] sill. Kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1 1/16 inch (17 mm) head jambs and side jambs, and 1-3/16 inches (30 mm) sills. Frame Width: 4-9/16 inches (116 mm).

**Sash:** Clear pine kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Sash Thickness: 1-5/16 inches (33 mm) for double hungs; 1-3/16 inches (30 mm), 1-23/32 inches (44 mm) or 2-7/16 inches (62 mm) for picture units. Corners slot and tenoned.

### Finish:

- A. Exterior: [Treated bare wood] [Latex prime coat, White]
- B. Interior: [Treated bare wood] [Latex prime coat, White].

### Hardware:

- A. Balancing System: Coil spring block and tackle system with nylon cord and fiber filled nylon clutch.
- B. Track: Vinyl extrusion. Color: [Beige] [White].
- C. Lock: High pressure zinc die-cast cam lock and keeper. Two locks on series 36 and wider. Finish: [Phosphate coated and electrostatically painted [Bronze] [White] baked enamel] [Plated brass].
- D. Sash Lift: [None] [High Pressure Zinc Die-Cast with finish matching lock].

**Weatherstripping:** Continuous, leaf-type weatherstrip on head jamb part stop which seals against top sash. Dual durometer double leaf at check rail. Bulb type dual durometer weatherstripping at bottom rail. Leaf type weatherstrip at vinyl hardware track.

**Jamb Extensions:** Available for various wall thicknesses. Factory installed.

**Screens:** Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].

**Removable Grilles:** [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

- A. Pattern: [Rectangular] [Custom Lite Layout].

**Authentic Divided Lites (ADL):** [7/8 inch (22 mm) single glaze pine muntin] [1-7/16 inches (37 mm) insulating glass pine muntin for double hungs and 1-3/8 sash picture units] [1-11/16 inches (43 mm) insulating glass pine muntin for 1-3/4 sash picture units].

- A. Pattern: [Rectangular] [Diamond (available on single glazed units only; lite cuts subject to approval of Marvin Windows & Doors)] [Custom Lite Layout].

**Simulated Divided Lites (SDL):** [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [\*Internal Spacer].

- A. Pattern: [Rectangular] [Custom Lite Layout].

**Glazing:** Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

### A. Glazing Method:

1. Single Glazed
2. Single Glazed with Energy Panel
3. Single Glazed with Authentic Divided Lites
4. Single Glazed with Authentic Divided Lites and Energy Panel
5. Insulating Glass [Altitude Adjusted]
6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]

### B. Glass Type:

1. Clear
2. Bronze
3. Gray
4. Solarcool Bronze
5. Low E II
6. Hardcoat Low E II (Energy Panels only)

(17)

# WOOD DOUBLE HUNG

## SPECIFICATIONS



7. Low E II with Argon
8. Tempered
9. Laminated
10. Obscure

C. Glazing Seal: Silicone bedding. Removable exterior stops.

### Accessories and Trim:

#### A. Installation Accessories:

1. Aluminum Drip Cap: Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].
2. Sash Retainer Plates: Finish: [White] [Bronze].
3. Installation Brackets: [6-3/8 inches (162 mm)] [9-3/8 inches (238 mm)] [15-3/8 inch (390)] interior brackets]. [Exterior brackets].
4. Masonry Brackets: Size: [6 inch (152 mm)] [10 inch (254 mm)].

#### B. Exterior Wood Mouldings:

1. Profile: [Brick mould] [Flat] [Stucco Brick mould] [Stucco Flat][\_\_\_\_\_].

### Combination Storm Sash and Screen:

- A. Frame: Finger jointed [clear] pine kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1-1/16 inches (27 mm). Rigid track utilized to hold storm and screen panels.
- B. Finish: [Treated bare wood] [Latex prime coat, White]
- C. Hardware: Spring loaded locking pins to hold movable storm panel in position. Heavy metal clips to lock upper and lower storm panels together. Turn latches hold non-movable storm and screen panels.
- D. Weatherstripping: Dual durometer weatherstrip on center cross rail seals against operating panel in closed position.
- E. Storm Panel: Select quality glass in aluminum frames. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].
- F. Screen Panel: 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].

**Wood Storm Sash:** Select quality glass in clear pine sash. Top Rail and Stiles: 2-1/8 inches (54 mm) wide. Bottom Rail: 4-1/16 inches (103 mm) wide. Sash Thickness: 1-3/32 inches (28 mm).

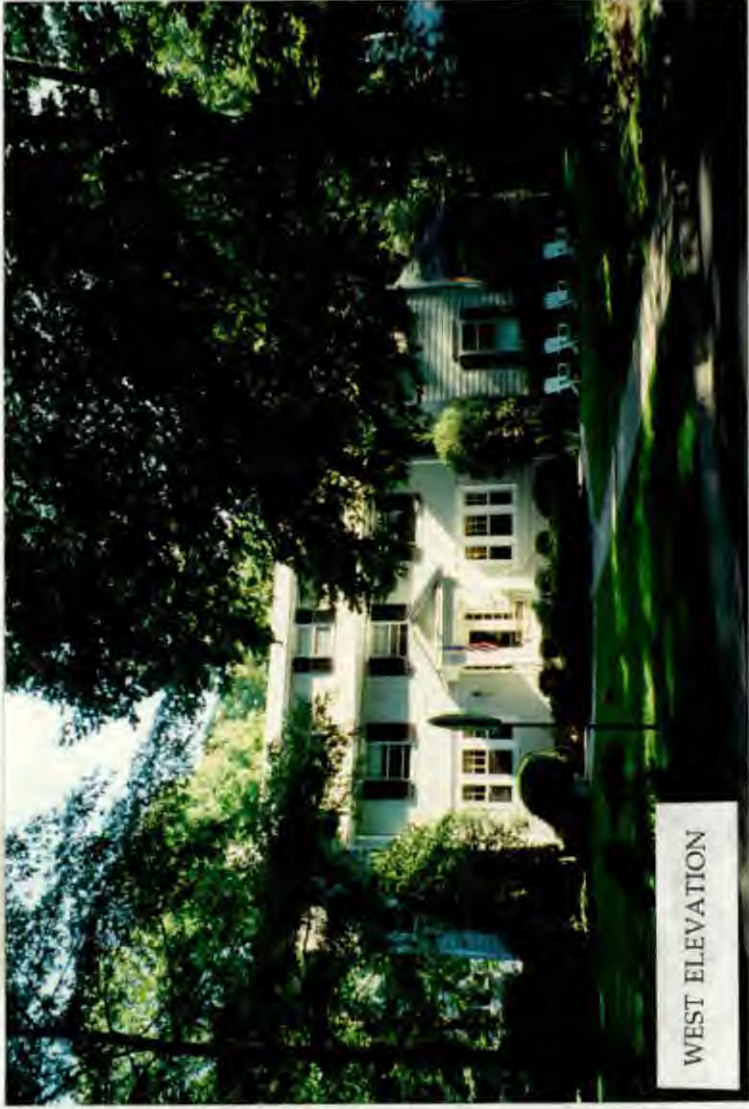
- A. Finish: [Treated bare wood] [Latex prime coat, White].

**Wood Screen:** Clear pine sash. Top Rail and Stiles: 1-13/16 inches (46 mm) wide. Bottom Rail: 3-15/16 inches (90 mm) wide. 18 by 16 mesh. Screen cloth: [Bright aluminum wire] [Charcoal aluminum wire] [Black aluminum wire] [Bright bronze wire] [Charcoal fiberglass]. Sash Thickness: 1-3/32 inches (28 mm).

- A. Finish [Treated bare wood] [Latex prime coat, White].

\* Internal spacer bars are available for units with simulated divided lite (SDL). Consult your Marvin representative for details.

18



9





NORTH ELEVATION



NORTHWEST ELEVATION

3



SOUTHWEST ELEVATION OF PORTICO



WEST ELEVATION @ KITCHEN

④



EAST ELEVATION @ LIVING RM./MASTER BATH



EAST ELEVATION @ SUN ROOM

6



SOUTHWEST ELEVATION



EAST ELEVATION @ FAMILY ROOM

5





NORTH GARAGE ELEVATION



NORTH BREEZEWAY ELEVATION



SOUTH GARAGE ELEVATION



SOUTH BREEZEWAY ELEVATION

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 5921 Cedar Parkway, Chevy Chase	<b>Meeting Date:</b> 10/27/99
<b>Resource:</b> Chevy Chase Village Historic District	<b>Report Date:</b> 10/19/99
<b>Case Number:</b> Not applicable	<b>Public Notice:</b> 10/12/99
<b>Review:</b> Preliminary Consultation	<b>Tax Credit:</b> Partial
<b>Applicant:</b> Elissa & Jay Powell (Nancy McCarren, Architect)	<b>Staff:</b> Perry Kephart

**PROPOSAL:** Alterations**RECOMMEND:** Proceed to HAWP**BACKGROUND**

**Date:** 1920  
**Style:** Colonial Revival Residence, with Craftsman influence.  
**Significance:** Contributing Resource in the Chevy Chase Village Historic District.

**PROPOSAL**

The applicant proposes to:

1. Modify or reverse the changes made to the residence in 1974, including a) out-of-period windows on the north facade facing West Lenox (1<sup>st</sup> floor) and on the front facade facing Cedar Parkway, b) replace garage doors, c) modify the connector between the garage and main section, d) return the front portico to the original configuration.
2. Remove a second-story window on the north facade and replace it with a double-glazed Palladian Style window.
3. Install a bump-out on the second floor at the rear.
4. Replace the aluminum siding with lapped wood siding.
5. Remove the connecting section of the shed roof dormer on the front facade.

**STAFF DISCUSSION**

The changes proposed by the applicant are within the historic district guidelines for alterations to a contributing resource. Staff suggested that the applicant bring the project to the

HPC for a preliminary consultation as several of the changes are on elevations that face two main streets of the district. Basically, the project falls into three categories:

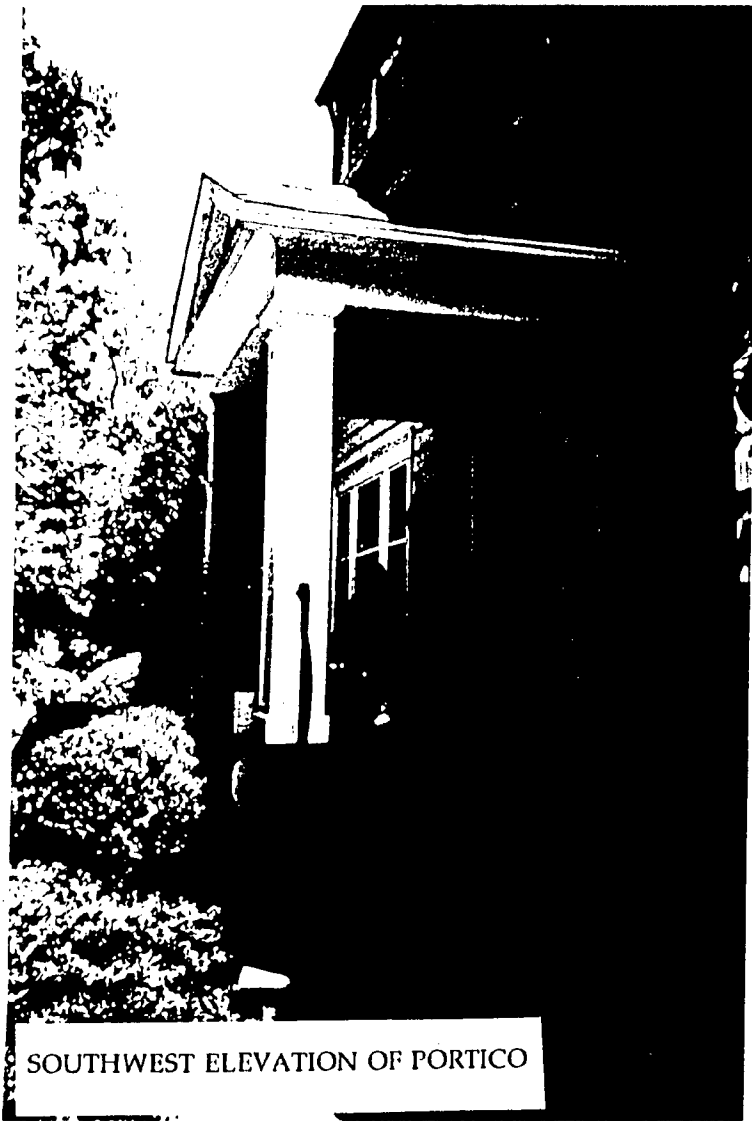
1. *Changes that remove out-of-period materials or design* such as the removal of aluminum siding, the center section of the shed roof dormer. Where the original design or material can be determined, the project can be approved and would qualify for a tax credit. In the case of the siding, it has not been ascertained whether shingle or lapped wood siding was originally in place, but either would be an improvement over aluminum. Returning the front portico to its original design would also fall into this category.
2. *Changes that remove original materials and for which new design or materials must be approved. Original work from outside the periods of significance for the historic district*, such as from the 1974 project, could be removed or otherwise modified. *Changes to features that are original to the historic building*, such as the proposed change of the 2<sup>nd</sup> story window on the north elevation are more problematic. The replacement of an original window that is in good condition is not generally approved on a streetscape facade. In addition, the introduction of a new style of window, a Palladian configuration, on a house that is architecturally closer in style to Craftsman, should be considered an issue to be resolved before approval is given.
3. *New additions to the house* such as the bumpout on the second story at the rear, although somewhat visible from the street, are on a contributing resource and should be given lenient scrutiny.

#### **STAFF RECOMMENDATION**

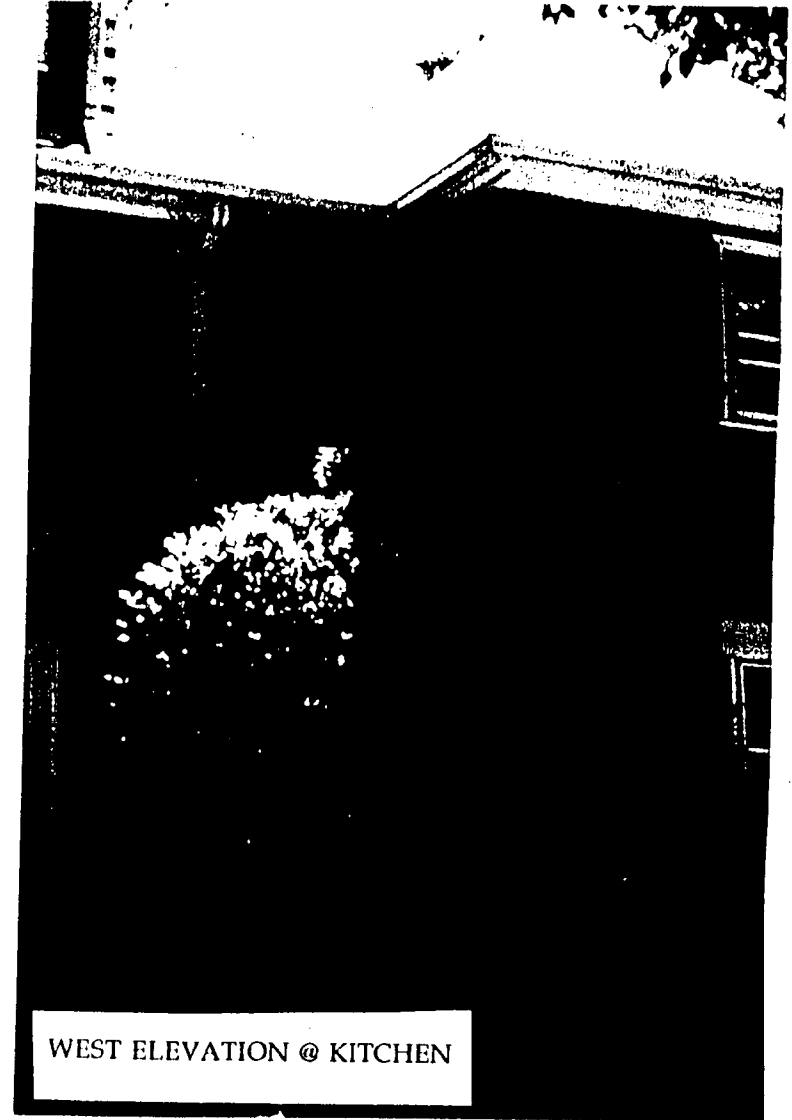
Staff recommends that the applicant discuss the issues with the HPC and then proceed to a Historic Area Work Permit.



3

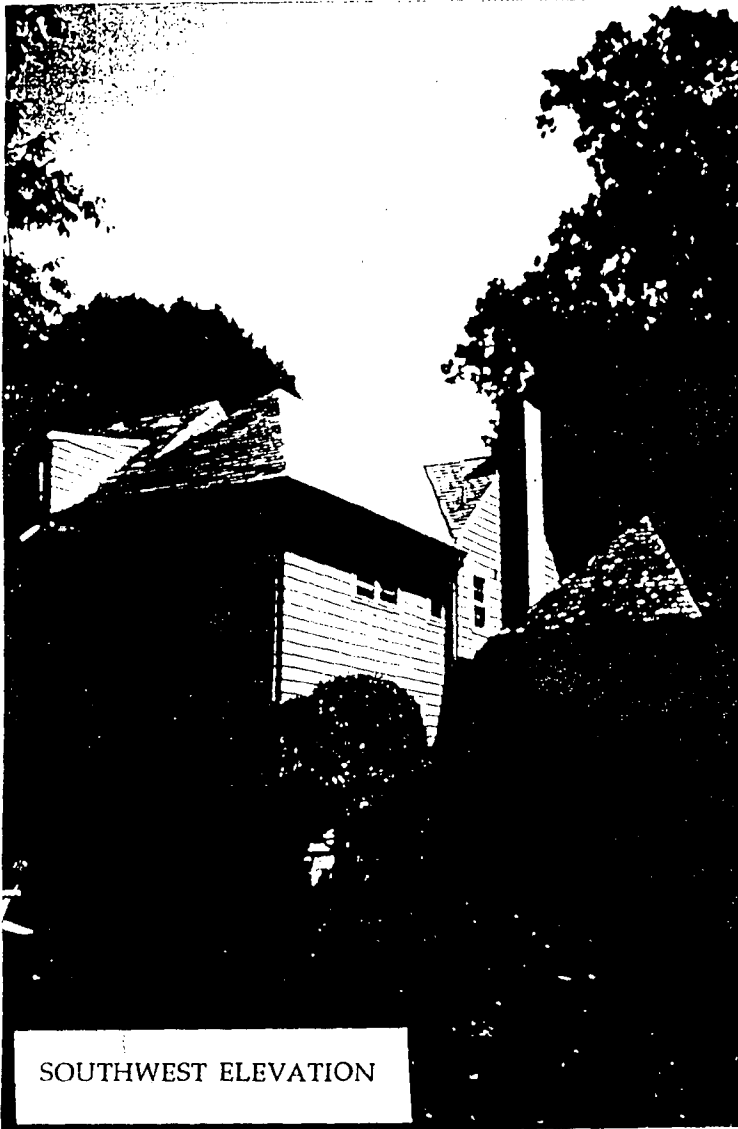


SOUTHWEST ELEVATION OF PORTICO

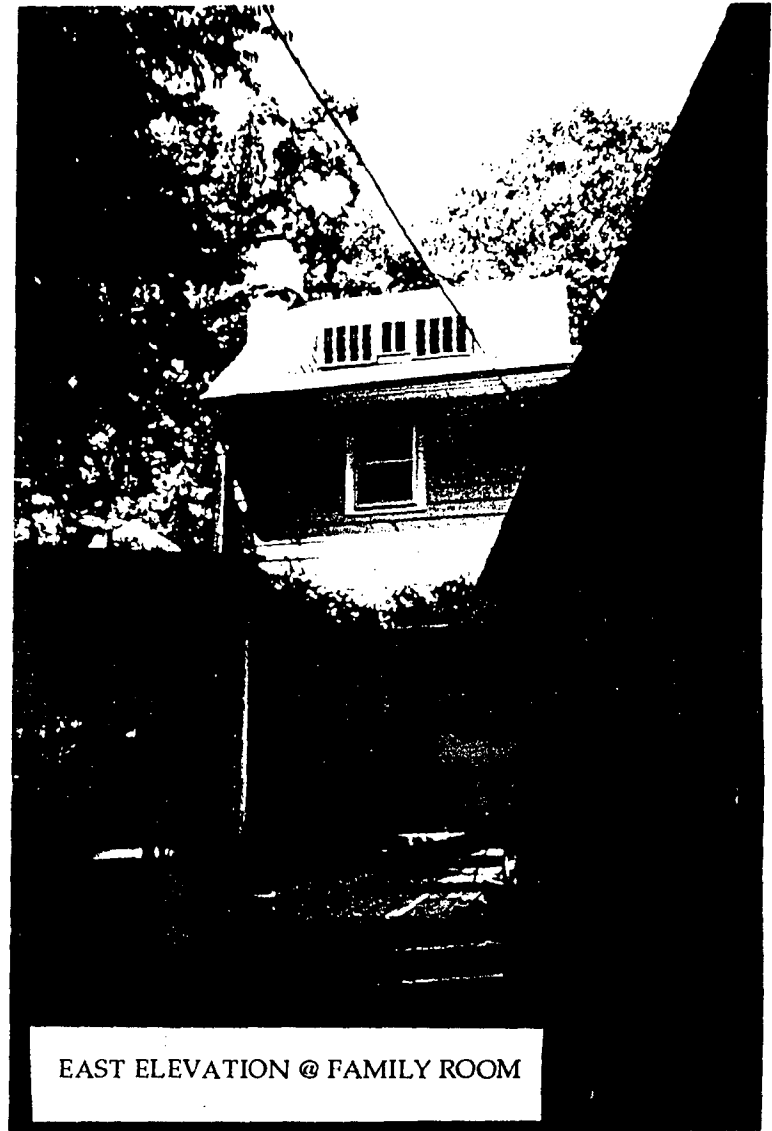


WEST ELEVATION @ KITCHEN

17

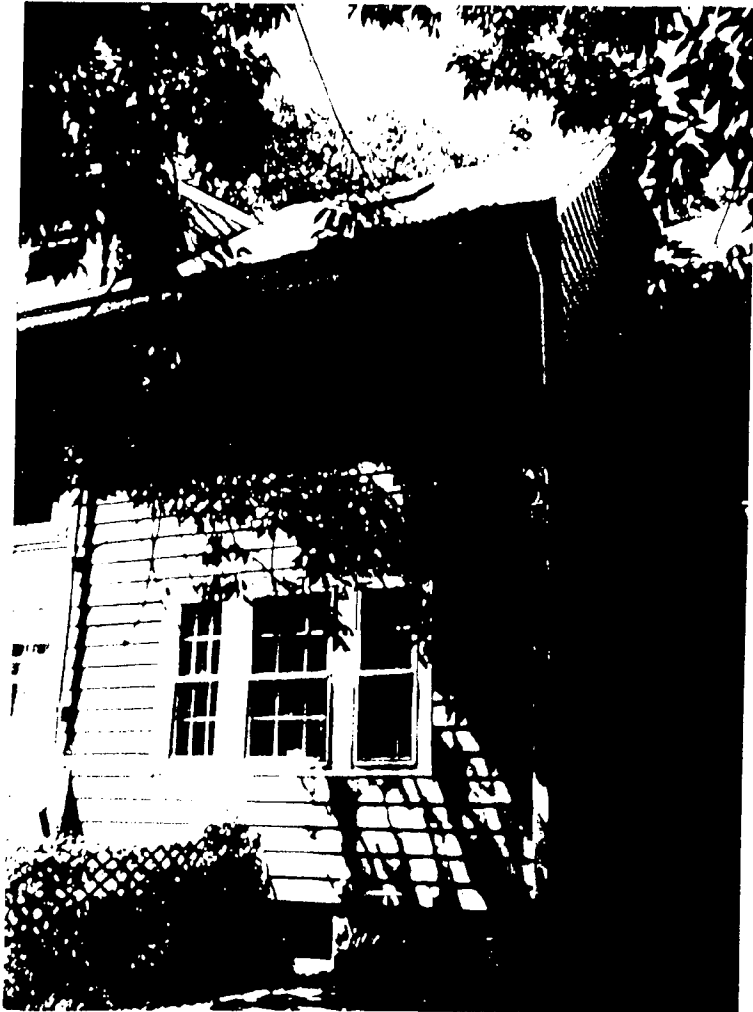


SOUTHWEST ELEVATION



EAST ELEVATION @ FAMILY ROOM

5



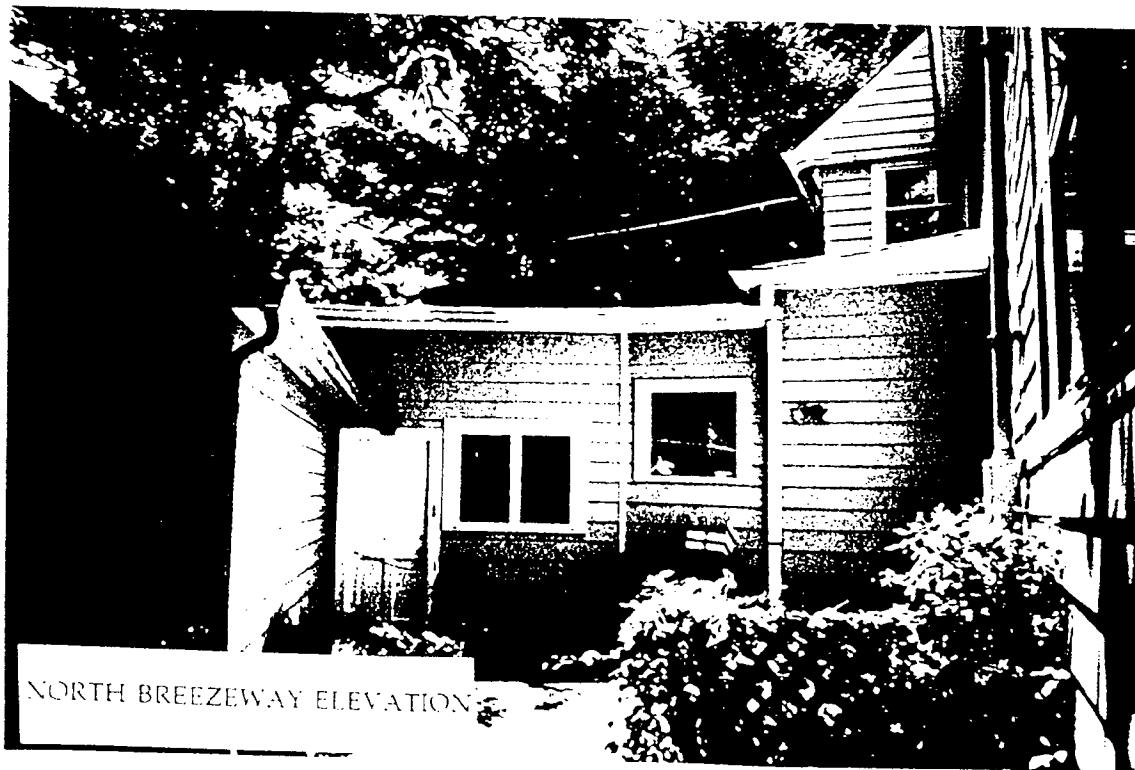
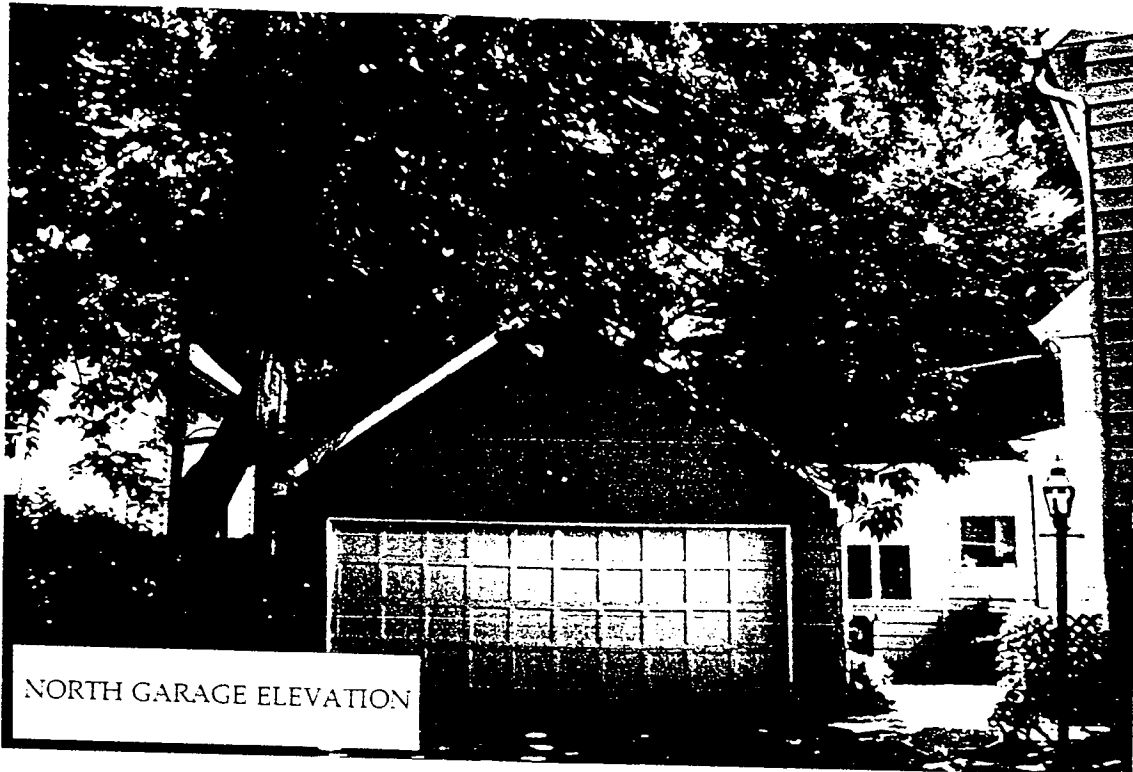
EAST ELEVATION @ LIVING RM./MASTER BATH



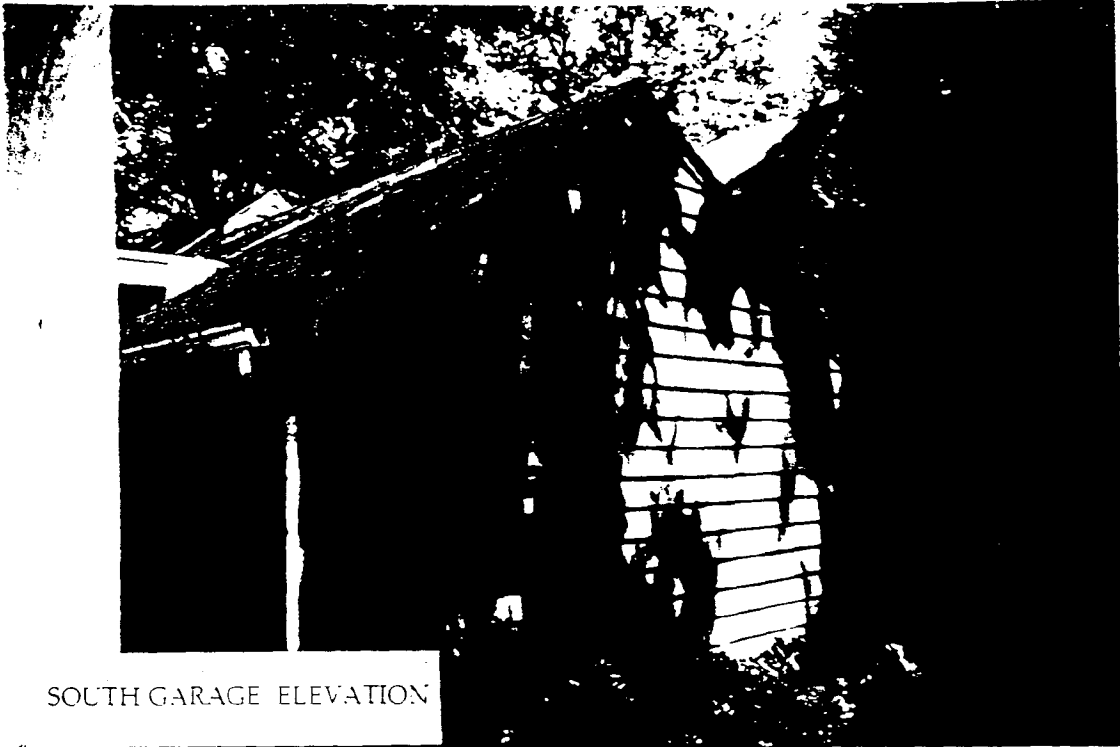
EAST ELEVATION @ SUN ROOM

5





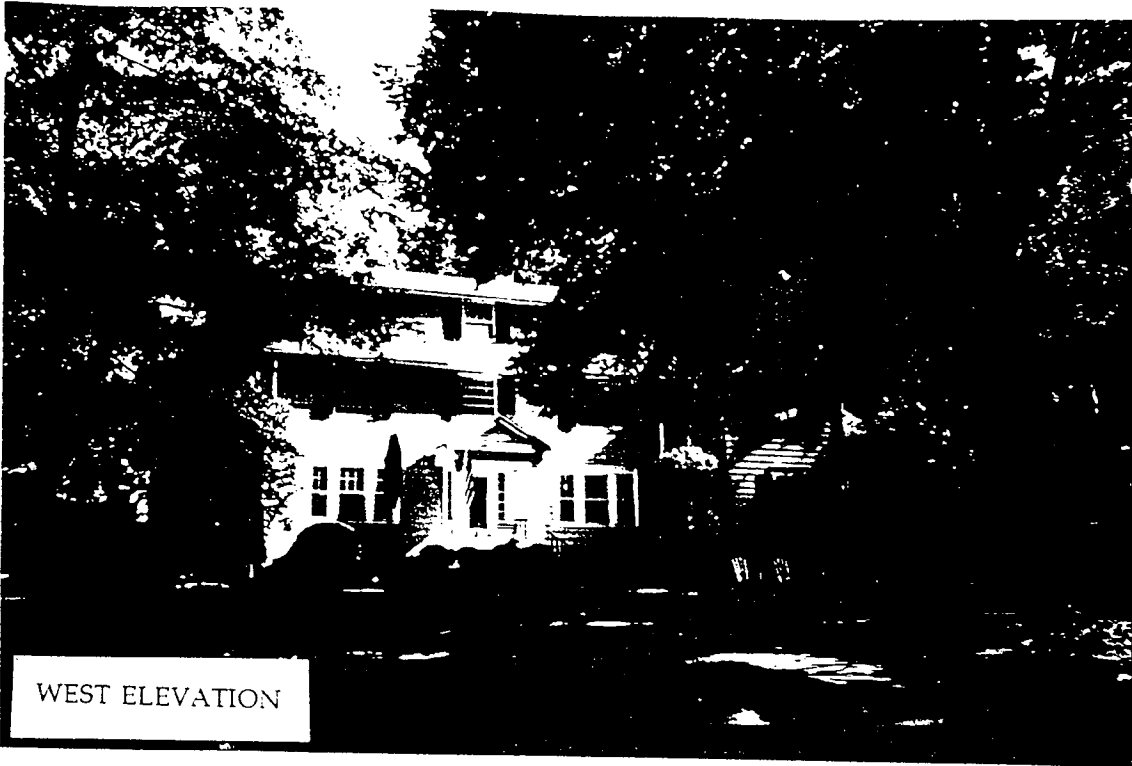
7



SOUTH GARAGE ELEVATION



SOUTH BREEZEWAY ELEVATION

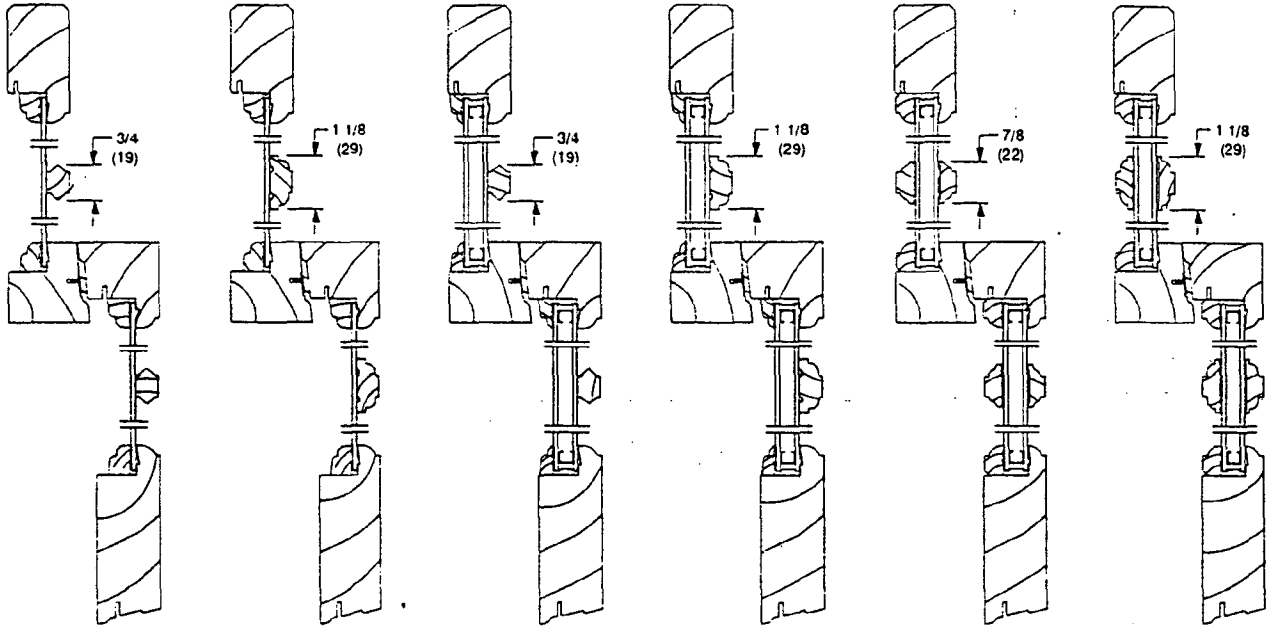




# WOOD DOUBLE HUNG

## GLAZING OPTIONS

SCALE: 3" = 1' 0"



Single Glaze  
with 3/4" Grille

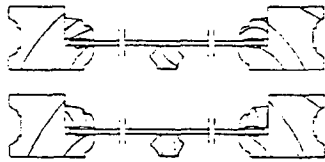
Single Glaze  
with 1 1/8" Grille

Insulating  
with 3/4" Grille

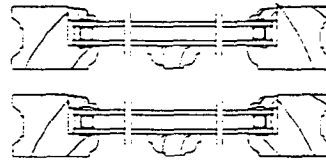
Insulating  
with 1 1/8" Grille

Insulating  
with 7/8" SDL

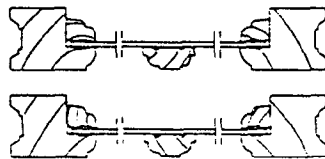
Insulating  
with 1 1/8" SDL



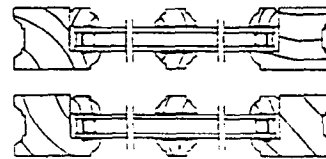
Single Glaze  
with 3/4" Grille



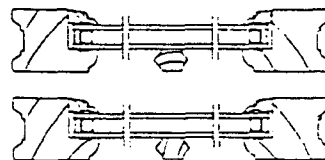
Single Glaze  
with 1 1/8" Grille



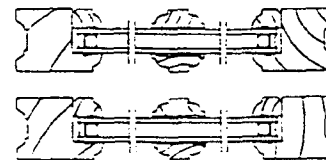
Insulating  
with 3/4" Grille



Insulating  
with 7/8" SDL



Insulating  
with 1 1/8" Grille



Insulating  
with 1 1/8" SDL

16

**Frame:** Finger jointed edge-glued pine head and side jambs with clear interior liners. Finger jointed [clear] sill. Kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1 1/16 inch (17 mm) head jambs and side jambs, and 1-3/16 inches (30 mm) sills. Frame Width: 4-9/16 inches (116 mm).

**Sash:** Clear pine kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Sash Thickness: 1-5/16 inches (33 mm) for double hungs; 1-3/16 inches (30 mm), 1-23/32 inches (44 mm) or 2-7/16 inches (62 mm) for picture units. Corners slot and tenoned.

### Finish:

- A. Exterior: [Treated bare wood] [Latex prime coat, White]
- B. Interior: [Treated bare wood] [Latex prime coat, White].

### Hardware:

- A. Balancing System: Coil spring block and tackle system with nylon cord and fiber filled nylon clutch.
- B. Track: Vinyl extrusion. Color: [Beige] [White].
- C. Lock: High pressure zinc die-cast cam lock and keeper. Two locks on series 36 and wider. Finish: [Phosphate coated and electrostatically painted [Bronze] [White] baked enamel] [Plated brass].
- D. Sash Lift: [None] [High Pressure Zinc Die-Cast with finish matching lock].

**Weatherstripping:** Continuous, leaf-type weatherstrip on head jamb part stop which seals against top sash. Dual durometer double leaf at check rail. Bulb type dual durometer weatherstripping at bottom rail. Leaf type weatherstrip at vinyl hardware track.

**Jamb Extensions:** Available for various wall thicknesses. Factory installed.

**Screens:** Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].

**Removable Grilles:** [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

- A. Pattern: [Rectangular] [Custom Lite Layout].

**Authentic Divided Lites (ADL):** [7/8 inch (22 mm) single glaze pine muntin] [1-7/16 inches (37 mm) insulating glass pine muntin for double hungs and 1-3/8 sash picture units] [1-11/16 inches (43 mm) insulating glass pine muntin for 1-3/4 sash picture units].

- A. Pattern: [Rectangular] [Diamond (available on single glazed units only; lite cuts subject to approval of Marvin Windows & Doors)] [Custom Lite Layout].

**Simulated Divided Lites (SDL):** [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [\*Internal Spacer].

- A. Pattern: [Rectangular] [Custom Lite Layout].

**Glazing:** Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

### A. Glazing Method:

1. Single Glazed
2. Single Glazed with Energy Panel
3. Single Glazed with Authentic Divided Lites
4. Single Glazed with Authentic Divided Lites and Energy Panel
5. Insulating Glass [Altitude Adjusted]
6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]

### B. Glass Type:

1. Clear
2. Bronze
3. Gray
4. Solarcool Bronze
5. Low E II
6. Hardcoat Low E II (Energy Panels only)

7. Low E II with Argon
8. Tempered
9. Laminated
10. Obscure

C. Glazing Seal: Silicone bedding. Removable exterior stops.

### Accessories and Trim:

#### A. Installation Accessories:

1. Aluminum Drip Cap: Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].
2. Sash Retainer Plates: Finish: [White] [Bronze].
3. Installation Brackets: [6-3/8 inches (162 mm)] [9-3/8 inches (238 mm)] [15-3/8 inch (390)] interior brackets]. [Exterior brackets].
4. Masonry Brackets: Size: [6 inch (152 mm)] [10 inch (254 mm)].

#### B. Exterior Wood Mouldings:

1. Profile: [Brick mould] [Flat] [Stucco Brick mould] [Stucco Flat][\_\_\_\_\_].

### Combination Storm Sash and Screen:

- A. Frame: Finger jointed [clear] pine kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1-1/16 inches (27 mm). Rigid track utilized to hold storm and screen panels.
- B. Finish: [Treated bare wood] [Latex prime coat, White]
- C. Hardware: Spring loaded locking pins to hold movable storm panel in position. Heavy metal clips to lock upper and lower storm panels together. Turn latches hold non-movable storm and screen panels.
- D. Weatherstripping: Dual durometer weatherstrip on center cross rail seals against operating panel in closed position.
- E. Storm Panel: Select quality glass in aluminum frames. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].
- F. Screen Panel: 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Frame Finish: [White] [Bahama Brown] [Pebble Gray] [Bronze].

**Wood Storm Sash:** Select quality glass in clear pine sash. Top Rail and Stiles: 2-1/8 inches (54 mm) wide. Bottom Rail: 4-1/16 inches (103 mm) wide. Sash Thickness: 1-3/32 inches (28 mm).

A. Finish: [Treated bare wood] [Latex prime coat, White].

**Wood Screen:** Clear pine sash. Top Rail and Stiles: 1-13/16 inches (46 mm) wide. Bottom Rail: 3-15/16 inches (90 mm) wide. 18 by 16 mesh. Screen cloth: [Bright aluminum wire] [Charcoal aluminum wire] [Black aluminum wire] [Bright bronze wire] [Charcoal fiberglass]. Sash Thickness: 1-3/32 inches (28 mm).

A. Finish [Treated bare wood] [Latex prime coat, White].

- \* Internal spacer bars are available for units with simulated divided lite (SDL). Consult your Marvin representative for details.

M U S E   A R C H I T E C T S

Stephen Muse FALA  
*Principal*

Jeffery Broadhurst AIA  
William Kirwan AIA  
*Associates*

POWELL RESIDENCE  
5921 Cedar Parkway  
Chevy Chase, MD 20815  
Lot 5  
Block 39  
Section No. 2

LIST OF ADJOINING PROPERTY OWNERS

Address	Owner
33 West Kirke Street Chevy Chase, MD 20815	Charles A. & H.H. Hobbs
31 West Kirke Street Chevy Chase, MD 20815	William R. Dooley & Marion C. Blakey
29 West Kirke Street Chevy Chase, MD 20815	Mary A. Tuohey
20 Magnolia Parkway Chevy Chase, MD 20815	Scott W. & C.A. Muller
37 West Lenox Street Chevy Chase, MD 20815	Lee M. Petty
43 West Lenox Street Chevy Chase, MD 20815	Cary M. Euwer Jr. 1751 Pinnacle Dr. Ste.550 McLean, VA 22102-3833
5918 Cedar Parkway Chevy Chase, MD 20815	Lawrence B. & D.S. Gibbs
5914 Cedar Parkway Chevy Chase, MD 20815	John H. Montgomery

Information obtained at [www.dat.state.md.us](http://www.dat.state.md.us) on 8 October 1999.  
State Department of Assessments and Taxation