

35/54 8815 Hawkins Lane P
(Hawkins Lane Historic District)
35/54-97A 8815 Hawkins Lane
Chevy Chase (Hawkins Lane Historic Dst

Keep Cheryl Johnson on
mailing list of this case. -

(202) 225-7118 (w)

Called + left message re: obtaining
Cheryl's address for HAWP ~
Hawkins

Kim O'Connor.



HSU INTERNATIONAL GROUP

Ronald Hsu
Chairman

8805 Twincreek Ct.
Potomac, MD 20854 USA

Fax: (301) 299-3808



徐氏國際集團

徐 叔 沅
董 事 長

傳真: 美國(301) 299-3808

Waller Hsu

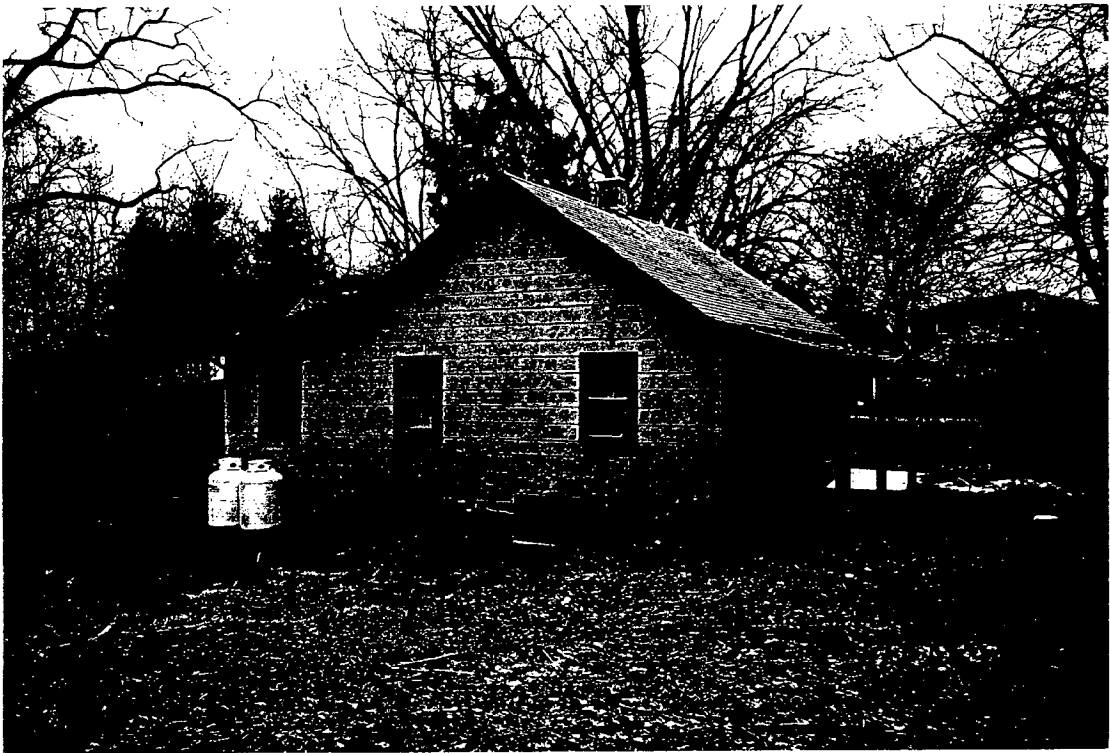
897-0600

Walter Asu
Preliminary

8/22/96



8815 Hawkins Lane



8815 Hawkins lane



8815 Hawkins Lane

December 23, 1997

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Sirs,

This letter serves as my acknowledgment that the drawings of the Hsu Residence Addition and Renovation, 8815 Hawkins Lane, Chevy Chase, MD submitted on this date to Perry Kephart, staff for the Historic Preservation Commission, for approval were inaccurate.

Approval of the plans by the HPC is being given subject to the following corrections:

1. The floor of the front porch of the rear addition is to be at the same elevation as that of the front porch of the existing structure.
2. There are to be steps leading from the door in the front facade of the rear addition to the floor of the rear addition front porch.
3. The railing shown on the front porch of the existing house is to be deleted.
4. The siding of the rear addition is to be lapped wood siding.

These corrections are to be considered as integral to the original plans and not as a revision. The plans are considered as not approved if corrections are not included.

Sincerely,

Walter Hsu

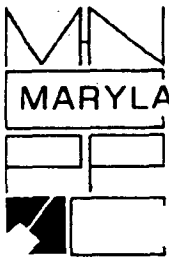
Walter Hsu for
Walter Hsu

**ATTACHMENT TO MEMORANDUM DATED OCTOBER 8, 1997 REGARDING THE
CONDITIONS FOR APPROVAL OF THE HISTORIC AREA WORK PERMIT FOR:**

Walter Hsu
8815 Hawkins Lane
Chevy Chase, MD

Conditions for Approval:

1. The difference in the levels of the front porches of the front and rear sections is to be NO MORE than 1'.
2. Wood siding is to be used on the new addition and the new garage.
3. The new windows are to be wood framed, 6/1 or 1/1, without snapin muntins.
4. The railing is to be omitted from the front porch of the old house.
5. The new porch is to have a railing with the design submitted to staff for approval and to include inset pickets and a simple railing design.
6. Shutters are not to be installed on the old or the new sections of the house.
7. A traditional sloped shoulder masonry chimney is to be used on the new addition.
8. The exterior of the lower floor of the new addition is to be of concrete (poured, block, or parged).
9. The rear section's (new addition's) dimensions are to be no larger than 36' wide by 28' deep, but in any case, the new addition is to have a footprint no larger than that of the old house.
10. **Applicant must submit detailed plans and drawings to be reviewed and signed by staff at HPC before issuance of any work or building permits.**



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 10-8-97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator *gmk*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

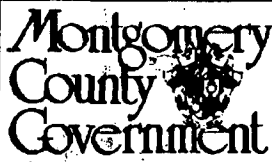
Approved with Conditions: 10 conditions: See attached text - especially #10.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Walter Hsu

Address: 8815 Hawkins Lane Chevy Chase

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

CONTACT PERSON WALTER HSU
 DAYTIME TELEPHONE NO. (301) 897-0600
 TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER Ronald Hsu et al DAYTIME TELEPHONE NO. (301) 299-3266
 ADDRESS 6404 Winnepeg Pl. Bethesda, MD. 20817
CITY STATE ZIP CODE
 CONTRACTOR Self TELEPHONE NO. (301) 897-0600
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER WALTER HSU DAYTIME TELEPHONE NO. (301) 897-0600

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 8815 STREET HAWKINS Lane
 TOWN/CITY C.C. NEAREST CROSS STREET Jones Bridge Rd.
 LOT _____ BLOCK _____ SUBDIVISION Clear Drinking
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 * Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 60,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 (WSSC) 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 (WSSC) 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent _____ Date 9/19/97

APPROVED W/conditions For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date 10-8-97

APPLICATION/PERMIT NO: 9709190062 DATE FILED: 9/19/97 DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

#35/54 HAWKINS LANE H.D.

House & Parcel Number	Set- back (feet)
-----------------------------	------------------------

Hawkins Lane

8806 (P892)	12
8807 (P866)	15
8810 (P891)	24
vac. (P865)	
8812 (P890)	30
8815 (P864)	20
8816 (P838)	15
8818 (P837)	20
vac. (P811)	
8822 (P784)	20
8823 (N810)	25
8825 (N809)	25
vac. (P788)	
8827 (N808)	25
8829 (N757)	25

~~8813~~

~~8817~~

Jones Bridge Road

4201 (P945)	40
4117 (P919)	25
vac. (P916)	
4113 (P863)	40

8823 Hawkins Lane
Chevy Chase, Md. 20815
October 8, 1997

Montgomery County Historic
Preservation Commission
8787 Georgia Avenue
Silver Spring, Md. 20910

Dear Commission Members:

I have owned my house at 8823 Hawkins Lane since 1983 and have lived in it for five years (a daughter lived there earlier for two years). I went through the process of forming a group to represent the community residents and seeking designation as an historic district to save the community.

I have independently reviewed Walter's proposal for the remodeling of 8815, "Dogpatch," as it was known then. I am pleased that he is going to add on rather than replace the house, but I have a few reservations about this second remodeling plan. First, the addition will increase the footpad of the original house by 98%. When this Commission designated the lane as an historic district, you permitted four new houses to be developed. I am not sure the original intent was to essentially double the footpad of 8815.

Second, the current depth of 8815 is 42 feet; the proposed depth will be 70 feet when an additional 28 feet are added to the back. This is 26 feet deeper than either 8813 or 8817 or any other house in the historic district; it will extend 8815 back as far as the back of 8817's garage. Fortunately, I live two houses away, so I will not be much affected since my elevation is higher.

Third, the original house width of 28 feet will become 48 feet, taking into consideration the 18 foot overlap proposed in this plan. (Walter's first plan's 36 feet wide addition has been changed to 38 feet.) 8815 will be wider than any other house on this east side of Hawkins Lane. (8810, on the west side, is 48 feet.) When this commission considered the original development plans for Hawkins Lane after it had been made an historic district--plans proposed by the developer before Walter Hsu--it took into consideration the profile of houses on the east side of the lane and decided that the 58 foot wide houses proposed then for 8813 and 8817 were not in scale with the existing houses. It seems to me that the proposed 48 foot wide house, even if 20 feet of it are set back, is still not in scale with the profile.

Please consider my three interrelated points in discussing 8815: 1) increase in the footpad, 2) depth, and 3) visible width. I would have discussed this with Walter if I had not been away for a month and reviewed the plans earlier.

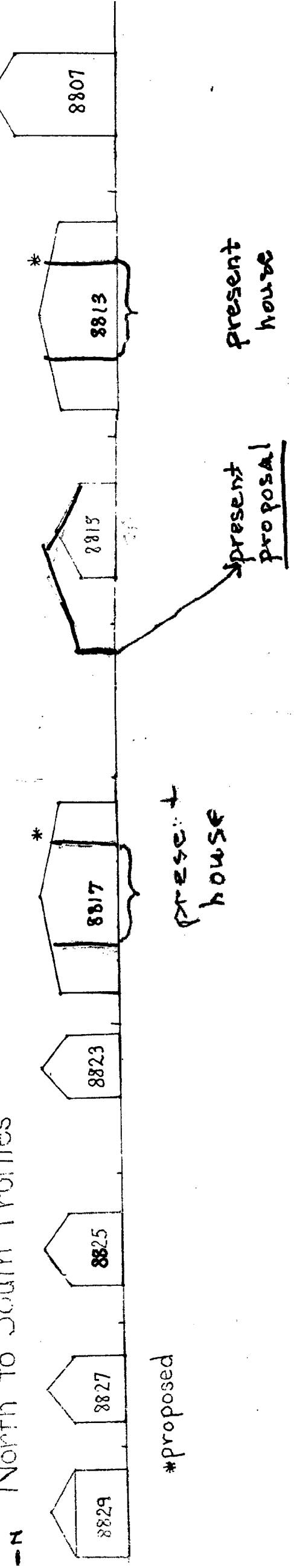
Sincerely,

Barbara Glancy
Barbara Glancy

Hawkins Lane Houses' Width & Height
North to South Profiles

East Side of Lane

West Side



Development of Hawkins Lane Historic Neighborhood -- East Side of Lane
Relevant Statistics

BUILDING (PARCEL)	BLDG. HGHT.	NO. OF FLRS.*	FLR.1 SQ.FT.	LOT SIZE	PCT.* OF LOT SIZE	LOT WIDTH	BLDG. WIDTH	BUILDING (PARCEL)	BLDG. HGHT.	NO. OF FLRS.*	FLR.1 SQ.FT.	LOT SIZE	PCT.* OF LOT SIZE	LOT WIDTH	BLDG. WIDTH
8807(P866)	40?	2	1100	9969	0.11	60	25	44-8806(P892)	25	2	700	4636	0.15	73	25
8813(P865)	25?	1.5	2267	9902	0.23	76	20	8810(P891)	20	1	1385	5607	0.25	90	48
8815(P864)	20	1	950	13235	0.07	113	20	8812(P890)	20	1	1050	5739	0.18	75	24
8817(P811)	25?	1.5	2450	8548	0.29	75	24	8816(P838)	24	1	865	6398	0.14	75	37
8823(N810)	25	1.5	450	4575	0.09	44	20	8818(P837)	20	1	900	7175	0.13	110	28
8825(N809)	25	1	450	4753	0.09	44	20	8822(P784)	20	1	900	7134	0.13	80	28
8827(N808)	25	1	450	4670	0.09	44	20								
8829(N757)	25	1.5	650**	4734	0.14	44	30								
			675		.11		24								

original: 1993 or 1994
modifications 10/8/94 by BG

*Number of floors at or above entry level.
**Sq. ft. of area/pct. of lot includes attached garage.

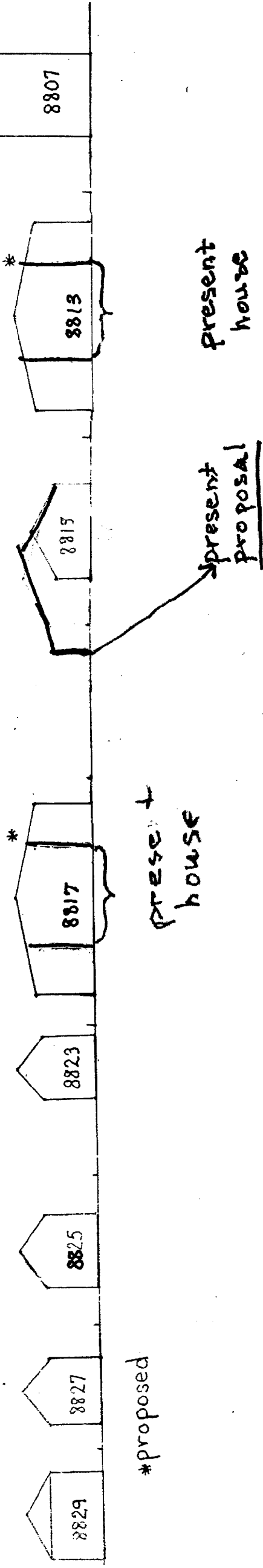
NOTE: Most of the figures come from Hawkins Lane Guidelines, except where there were errors, or proposed plans. Covered porches are counted as part of the house "foot pad."

Hawkins Lane Houses' Width & Height

North to South Profiles

East Side of Lane

West Side



Development of Hawkins Lane Historic Neighborhood -- East Side of Lane
Relevant Statistics

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8813 (P865)	25?	1.5	2267	9902	0.23	76	8810 (P891)	20	1	1385	5607	0.25	80
8815 (P864)	20	1	950	13235	0.07	113	8812 (P890)	20	1	1050	5739	0.18	75
8817 (P811)	25?	1.5	2450	8548	0.29	75	8816 (P838)	24	1	865	6398	0.14	75
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8825 (N809)	25	1	450	4753	0.09	44	8822 (P784)	20	1	900	7134	0.13	80
8827 (N808)	25	1	450	4670	0.09	44							
8829 (N757)	25	1.5	650**	4734	0.14	44							
			675		.11								

original: 1993 or 1994
modifications 10/8/94 by BG

*Number of floors at or above entry level.
**Sq. ft. of area/pct. of lot includes attached garage.

NOTE: Most of the figures come from Hawkins Lane Guidelines, except where there were errors, or proposed plans. Covered porches are counted as part of the house "foot pad."

Memorandum

To: Perry Kephart
From: Douglas Weil
Date: 8 October 1997

Re: Renovation and addition proposed for 8815 Hawkins Lane

The following comments are being submitted for consideration by the Historic Preservation Commission and follow-up on a conversation I had with Perry Kephart this morning.

I live with my wife, Diana, and son, Nathan, at 8816 Hawkins Lane. We purchased and moved into our house just over 3 months ago. 8815 Hawkins lane is the lot directly across the street from our house.

I want to reiterate that:

1. My wife and I are, in principal, supportive of Mr. Hsu's desire to renovate the property on 8815 Hawkins Lane. We believe that restoration of the current house is desirable and that including an addition is reasonable; and that,
2. While Diana and I did not live on the street when it was granted historic status, that we have an obligation to honor the history associated with the street.

We received a copy of the plans for the proposed work at 8815 last night, and have the following comments and questions:

1. The drawings for the plans are not particularly detailed. Making it difficult to fully appreciate what is being planned for the renovation/addition. For example, it is unclear where the proposed garage will be located and if the owners plan to move the driveway. As shown in the plans, there is a garage which is set off from the new construction by approximately 20 feet. However, the new construction appears to extend out 18-20 feet from the left side of the house (when facing 8815 from Hawkins Lane) – or, coming within a foot or two of the existing driveway. The garage could not be built on or at the end of the existing driveway and still be set off from the new construction. *It is our preference that the proposed garage be set off from the new addition as shown in the plans and not be constructed within a few feet of the addition, and believe that this is necessary to maintain the feeling of open space in neighborhood.*
2. More generally, the plans do not provide information regarding what will happen to the trees on the lot and the picket fence in front of the house. It is our understanding that Mr. Hsu has agreed that all trees on the lot will be maintained – we would like to know if this understanding is correct – and it is certainly our preference. It is also our preference that, if historically appropriate, that the fence be maintained;
3. The height of the garage is not readily apparent from the plans, though you mentioned in our conversation that you thought the height would be limited to 12 feet. Is this correct;
4. The document we have specifies that that maximum height for the house will be 25 feet. Is that as measured from the lowest point in the back of the house, or from the street? In other words, *will the highest point on the addition be no higher than the highest point on the existing structure, which would be our preference;*
5. Finally, while I understand that issues related to the construction (e.g., when the construction will occur, potential damage to the street from construction equipment, etc.) is not the responsibility of the Historic Commission, if it is possible to get some information on what we should anticipate from the builders, that would be appreciated.

height
garage
location
driveway
"

mulberry.

road (lane)
w/consideration)

PROPOSAL

Applicant proposes to:

1. Improve the drainage to divert runoff from the road and from adjacent properties away from the house site.
- ✓ 2. Retain the historic house at its current site. Repair the foundation and ~~elevate the resource about 18" to 24"~~ above its current sunken level.
3. Remove the artificial siding and restore the original wood lapped siding, replacing it in-kind as needed.
4. Replace the concrete floor of the front porch with a wood floor, add a railing and also add two wood steps, if needed to allow for the new elevation, but keep the configuration of the porch the same in all other respects.
5. Replace the roof in-kind with composite shingles.
6. Add wood, decorative shutters that are sized (that is, each shutter is half the width of the window) to fit the windows of the historic resource.
7. Remove the existing rear shed roof addition and replace it with an addition of the same dimension, but with a flatter roof slope to serve as a connection with a new rear section.
8. Build an offset, two story, wood sided rear addition. The addition would have a front porch with the same roof pitch as the existing front porch. The porch would also have a wood railing. The addition is proposed to be 28' deep by 38' wide (1,064 square feet). Windows are proposed to be double hung 6/6, of wood with integral muntins with shadow-bars. The windows are proposed to have shutters as described above. Doors are also to be of wood.

The addition is proposed not to exceed 25 feet in height such that the roof ridge will be at the same or lower elevation as the existing house and will utilize the drop in grade to have a "walk-out" living space on the lower level.
9. A square shouldered masonry chimney is proposed for the north facade.
10. Wood decks are proposed at the rear. One (approximately six feet wide) is shown cantilevered from the second story level of the new addition at the rear. The other is set into the ell on the south facade between the old and new sections.
11. Construct a one car garage (20' deep by 12' wide) at the same distance from Hawkins Lane as the new rear section. The garage is proposed to be wood framed

and sided, to have a composite shingle roof, and a wood overhead door.

11. Install a gravel driveway from the Lane to the garage. The location is not shown on the site plan.

STAFF DISCUSSION

Staff commends the applicant for the proposed restoration of the historic resource. For the most part, the proposal is sensitive to the prevailing characteristics of the historic district and follows the Hawkins Lane Guidelines. It is a simple design and does not overwhelm the lot or the streetscape.

The offset attachment of the proposed addition clearly differentiates the old section from the new. However, one major concern is that the main floor level of the new section appears to be substantially higher than the main floor level of the older section, although the roof heights are approximately the same. This gives the rear section the appearance of a disconnected appendage. There should be some consideration of coordinating the old and new sections more effectively - certainly by adjusting the floors levels to be close to the same, and perhaps by improving the connecting link between the old and new sections.

Staff would concur with the applicant's proposal to add more living space at the rear of the little house with the following modifications to the proposal:

1. The drawings (Circles 11 and 12) submitted by the applicant indicate that the main (second or upper) floor of the rear section is level with the top of the railing for the porch on the front section. Staff is concerned that the main floor in the rear would then be three to four feet higher than that of the historic resource. The rear section, in staff's opinion, should be constructed such that the two sections are more nearly level. This may require excavation in order to lower the rear section.

2. The railing be omitted from the front porch of the historic resource. Although the configurations of hall and parlor houses vary widely, a railing on an at-grade front porch would not generally be used. Applicant has indicated to staff that there is no evidence of one on this house. The use of a railing on the elevated front porch of the rear section is appropriate. The specific design could be submitted for staff approval, but should include inset pickets and a simple railing design and be painted or treated to match the posts of the existing front porch.

3. Unless there is evidence of shutters having been used on the old house, staff would suggest that shutters not be installed on the old or new house as being out of character with the simple design of the historic resource.

4. A contemporary chimney design such as has been proposed by the applicant is not, in staff's opinion, in keeping with the age of the old house. Staff would suggest that a more traditional sloped shoulder masonry chimney be used on the new addition.

5. Staff would also suggest that the exterior of the lower floor of the new addition be of concrete rather than wood sided to clearly demarcate the changes in grade that occur between the old and new sections.

6. Applicant has not indicated what footings are to be installed under the front porch of the old section. Staff would suggest that stone or brick pilings be used rather than a full footing.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** with conditions the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the following conditions:

1. The difference in the levels of the ^{front porches of} ~~main floors~~ of the front and rear sections is to be no more than one foot.
2. Wood siding will be used on the new addition and the new garage.
3. The new windows are to be wood-framed ~~etc~~ without snap-in muntins. 6/1 or 1/1
4. The railing be omitted from the front porch of the historic resource, but be used on the elevated front porch of the rear section. The specific design is to be submitted for staff approval, but should include inset pickets and a simple railing design and be painted or treated to match the posts of the existing front porch.
5. Shutters not be installed on the old or new house.
6. A traditional sloped shoulder masonry chimney be used on the new addition.
7. The exterior of the lower floor of the new addition be of concrete (poured, block or parged) rather than wood sided.
- ~~8. Stone or brick pilings be used rather than a full footing for the existing front porch.~~
9. The applicant must submit detailed plans and drawings, including the modifications recommended above, to be reviewed and signed off by staff, prior to filing for a building permit at the Department of Permitting Services.

8. Rear section's dimensions to be 36' x 28'

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

MB/ no EE 6-3
TT

MLP
HT

CONTACT PERSON WALTER HSUOK
DAYTIME TELEPHONE NO. (301) 897-0600

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Ronald Hsu et al DAYTIME TELEPHONE NO. (301) 299-3266

ADDRESS 6404 Winnepeg Ave Bethesda MD 20817
CITY STATE ZIP CODE

CONTRACTOR Self TELEPHONE NO. (301) 897-0600

CONTRACTOR REGISTRATION NUMBER _____

AGENT FOR OWNER WALTER Hsu DAYTIME TELEPHONE NO. (301) 897-0600

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 8815 STREET HAWKINS Lane

TOWN/CITY C.C. NEAREST CROSS STREET Jones Bridge Rd

LOT _____ BLOCK _____ SUBDIVISION Clear Drinking

LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE:
- | | | | | | | | | | | | |
|------------|---------|-----------------------|----------|---------------------------------|---------------|-------|-----------|------|-------|-------------------|--|
| Construct | Extend | <u>Alter/Renovate</u> | Repair | Move | Porch | Deck | Fireplace | Shed | Solar | Woodburning Stove | |
| Wreck/Raze | Install | Revocable | Revision | Fence/Wall (complete Section 4) | Single Family | Other | | | | | |
- CIRCLE ALL APPLICABLE: A/C Slab Room Addition

1B. CONSTRUCTION COST ESTIMATE \$ 60,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____

2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:

On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Walter Hsuok
Signature of owner or authorized agent

9/19/97
Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

(S)

OLIVER
TOLSON



8815 Hawkins lane

(6)

SPECIFICATION FOR 8815 HAWKINS LANE

These are the preliminary specifications for the project:

Original structure:

- ▶ The original home will be saved. We will gut the house from the inside.
- ▶ The decorative posts in front of the house will be reconditioned.
- ▶ The asbestos siding on the exterior of the house will be removed and the original wood siding will be repaired and painted.

Addition:

- ▶ The will be 28' x 38' and 1064 s/f footprint.
- ▶ The siding will match the original homes wood siding.
- ▶ Windows will be double hung wood windows.
- ▶ The structure will be 1 and half stories tall not to exceed 25 feet in height.
- ▶ The structure will utilize the fall in grade to create livable space in the lower level as viewed from the rear.
- ▶ The total lot coverage ratio will be 15%.
- ▶ Roofing material will be asphalt shingle to match existing.

ADDITION & RENOVATION

OF

HISTORICAL HOUSING

8815 HAWKINS LA

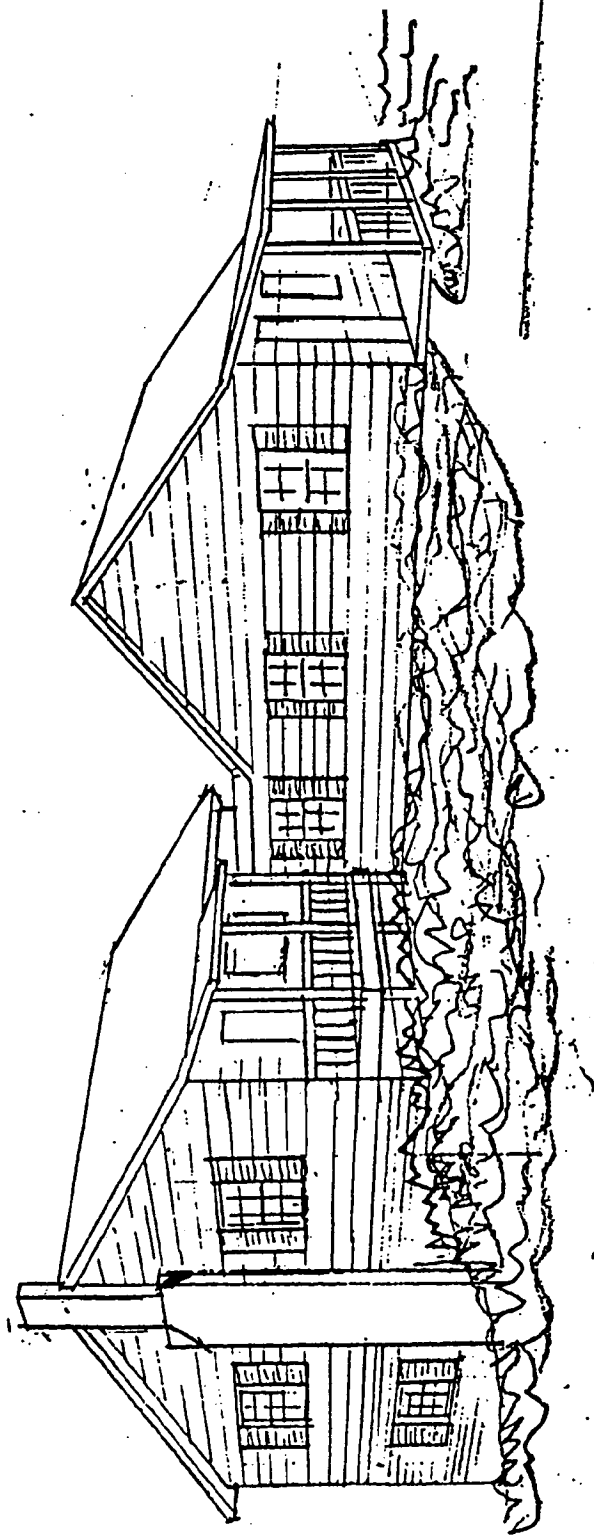
CHEVY CHASE, MD.

DESIGNED BY

HISU DEVELOPMENT CO.

REVISED
9.9.97

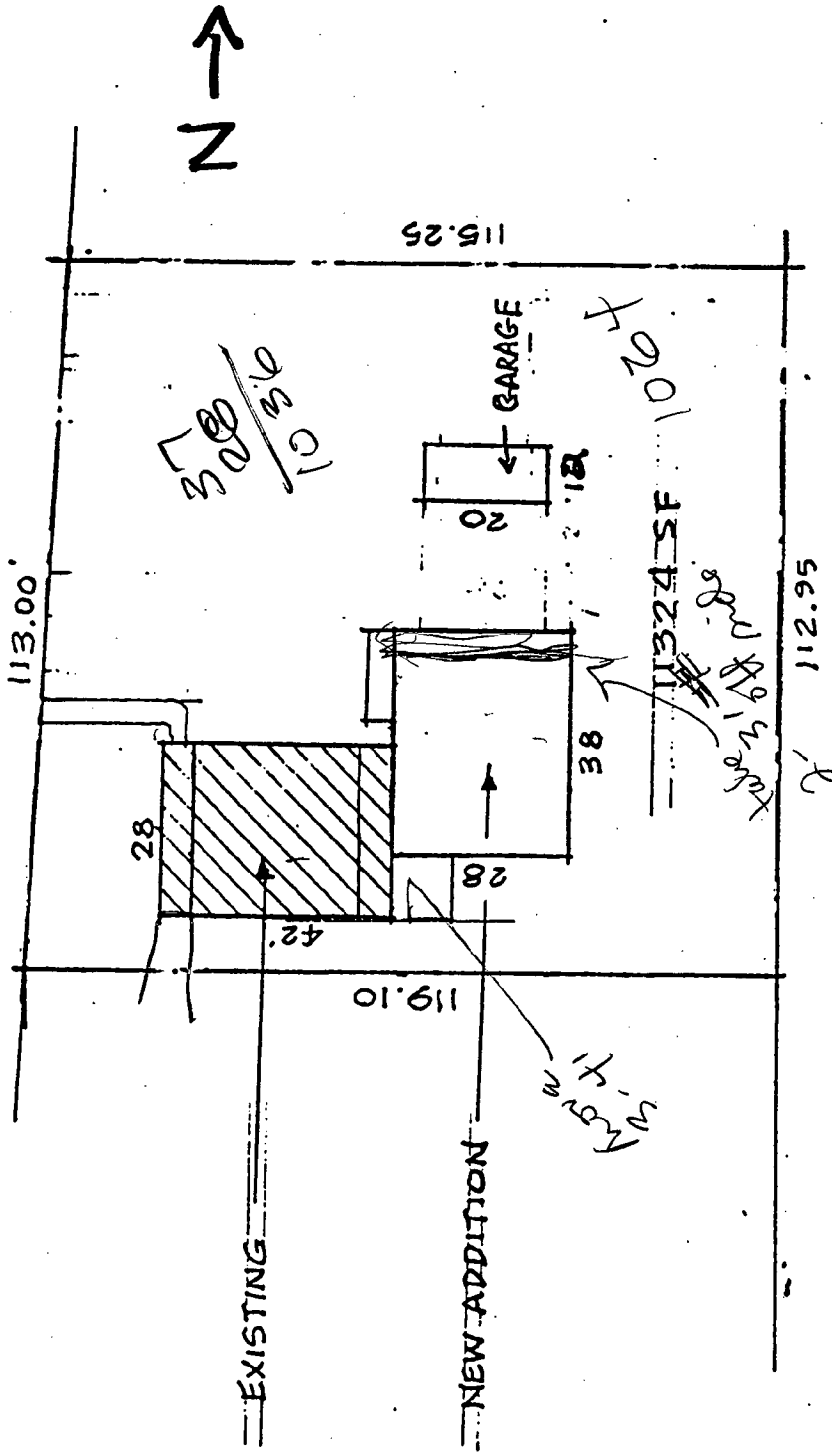
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P-1

9

HAWKINS LANE



SITE PLAN

SCALE: 1"=30'0"

$$\frac{10}{14} - 20$$

$$\frac{15}{34} - 15$$

P-2

10

- 1- R&R Compos-
- 2- ~~Handwritten scribble~~

3- ~~Handwritten scribble~~ Barbara Gentry BB23. - big

36
28

288
72

1008
35x28

28

280
70

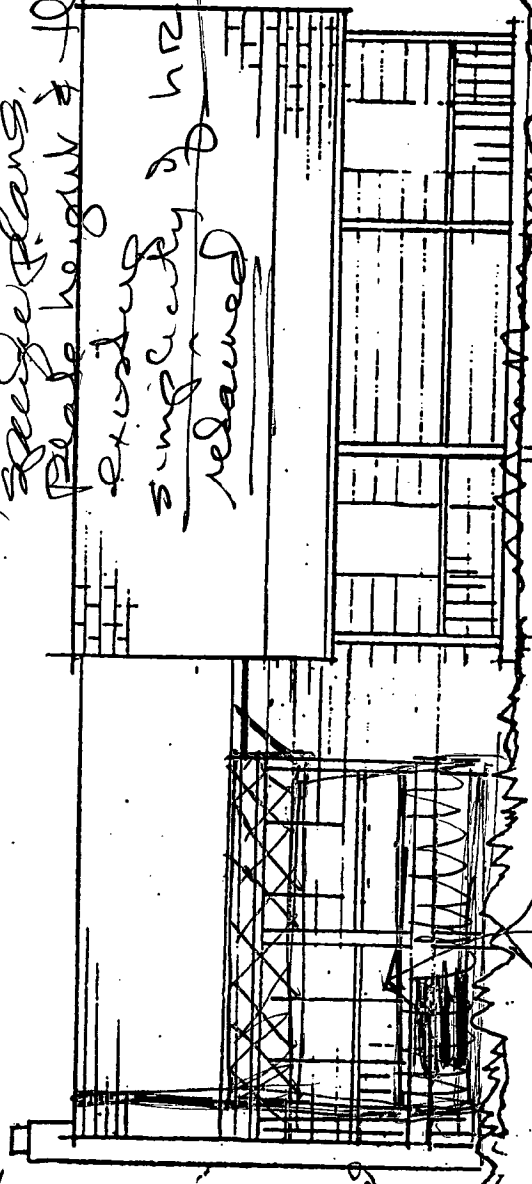
980 90
2' 10" height
1' 8" depth

adj. 1/2" R. on ch. floor.
adj. 1/2" year
rather 1/2" w/
keep floor
to pad
etc.

- 1) TT - integrate more
- 2) SS don't agree - like G but smaller dimension

deepest too wide
3) GK - ok but MUST HAVE

spigot flans.
Plate height & than
existing
simplicity of h2 bp
retained



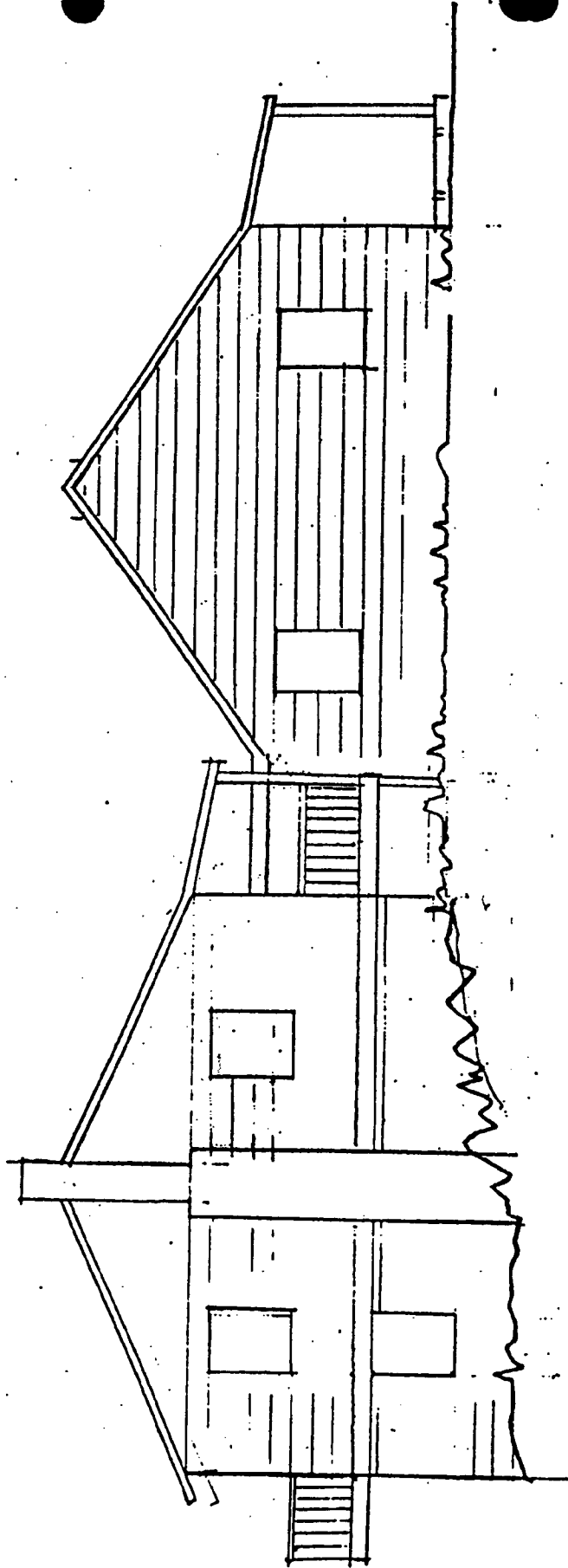
- 4) StB - conc re. Cont balcony

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

(West)

11



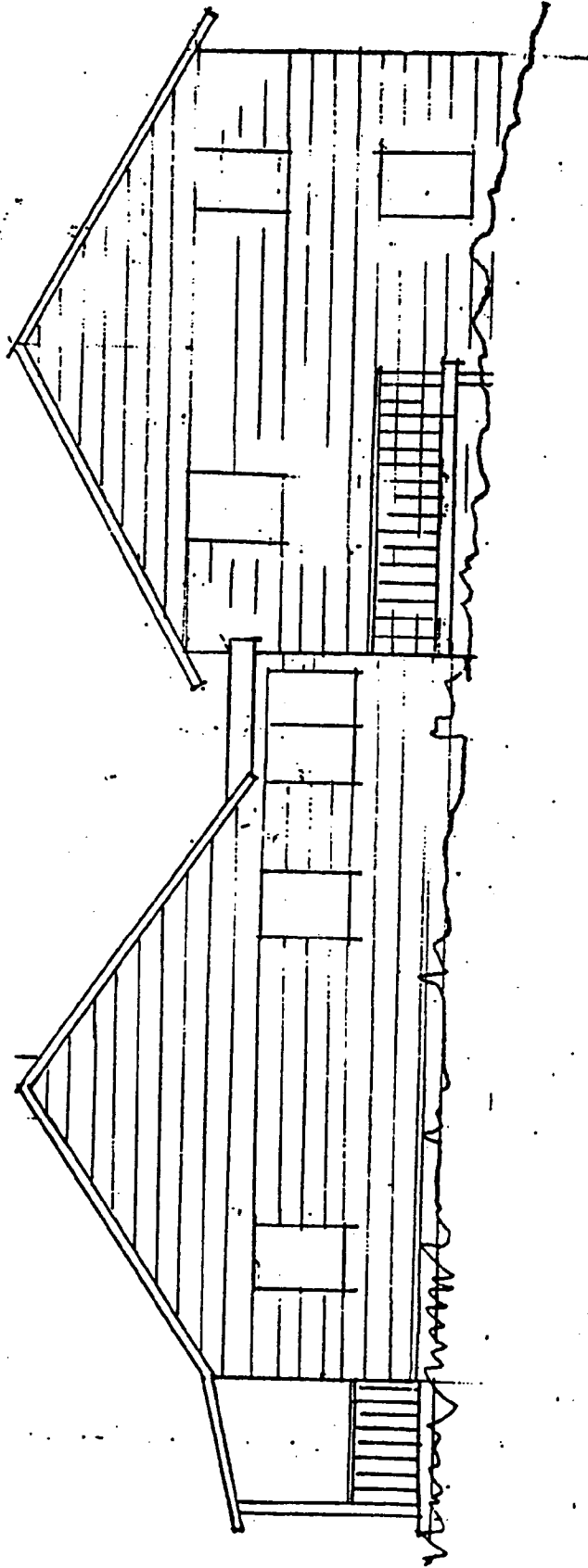
SIDE ELEVATION

SCALE: 1/8"=1'-0"

(North)

P-4

12



SIDE ELEVATION

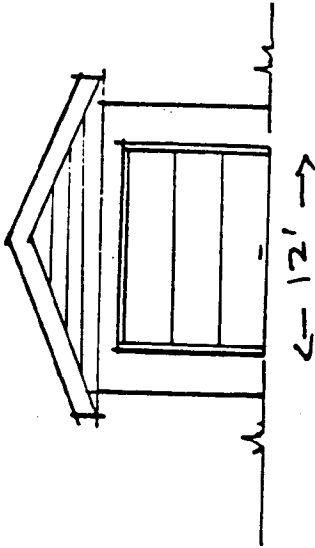
SCALE: 1/8" = 1'-0"

(South)

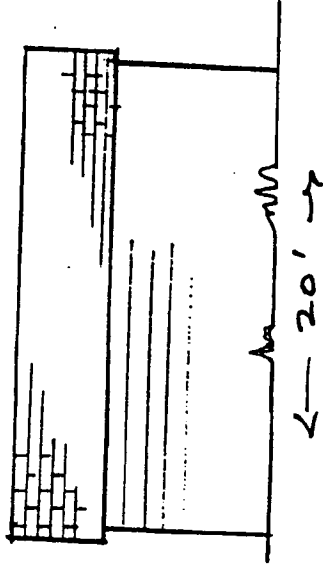
P-5

19

GARAGE



FRONT ELEV.
1/8" = 1'-0"



SIDE ELEV.
1/8" = 1'-0"

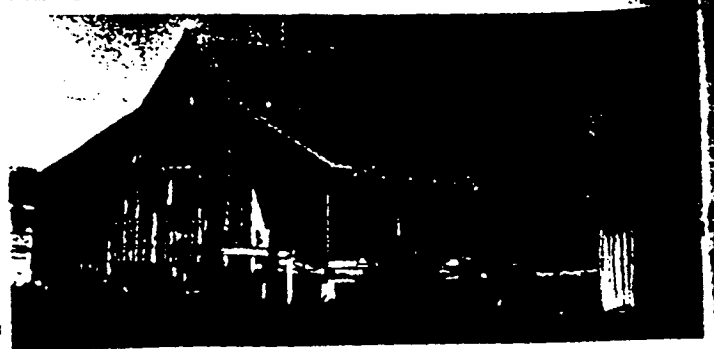
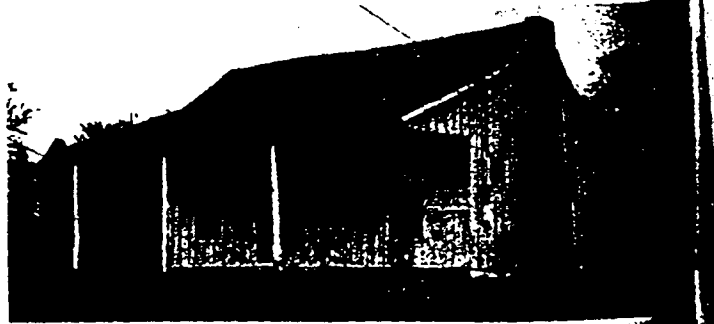
- wood framing & siding
- composite shingle roof
- one-car
- wood overhead door



the bo
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HALL-AND-PARLOR FAMILY

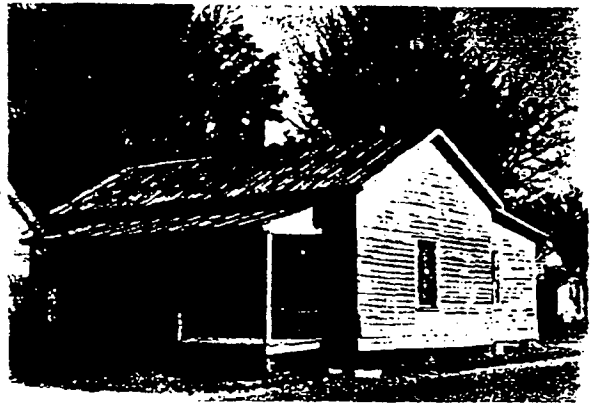
Simple side-gabled, hall-and-parlor houses (two rooms wide and one room deep) are a traditional British folk form which, when expanded by a front porch and rearward addition, became the dominant pre-railroad folk housing over much of the southeastern United States. Hall-and-parlor houses were first executed with heavy timber framing in the Tidewater South and then with hewn log walls over the vast Midland region. After the expansion of the railroad network this form, now executed with light framed walls, remained the dominant folk housing over much of the rural Southeast until well into the 20th century. This folk form is thus a persistent survivor which has shown relatively little change since colonial times. The principal variations in extended hall-and-parlor houses involve differing chimney placements, porch sizes, porch roof shapes, and differing patterns of rearward extensions for enlarging the interior space.



A Field Guide to
American Houses,
Virginia & Lee
McAlester

HALL-AND-PARLOR FAMILY

1. Gadsden County, Florida; late 19th century. Note the open shuttered window without a glass sash and the discontinuous siding on the rearward extension, added after the main house was built. Early hall-and-parlor houses had separate front doors leading to the two principal rooms, a pattern that survives in this example and those in figures 4, 5, and 8.
2. Carteret County, North Carolina; ca. 1898. The gabled entry porch is probably a later addition.
3. Smithfield, North Carolina; ca. 1910.
4. Smithfield, North Carolina; ca. 1910. Note the central chimney and ornamental front gable. A full rear wing replaced the traditional shed-roofed rearward extension on many later examples.
5. McAlester, Oklahoma; ca. 1890. Note the vertical, board-and-batten siding, which is less expensive than horizontal weatherboarding and is commonly seen on modest folk houses.
6. Salisbury, North Carolina; ca. 1900. Note the central chimney and double rearward extension.
7. Crocketville, South Carolina; ca. 1890. Front-porch rooms were often added to increase interior space.
8. New Roads, Louisiana, vicinity; late 19th century. Early example expanded by adding a room to the right of the original house. The metal roof, now covering both, is a later addition.
9. Lexington, Kentucky; ca. 1870. Dolan House. A one-and-one-half-story example on its way to becoming an I-house.



MASSED-PLAN, SIDE-GABLED FAMILY

Massed-plan (more than one room deep) folk houses were common in the pre-railroad era only in parts of the Northeast where the early New England building tradition developed roof-framing techniques for spanning large, two-room depths. With the expansion of the railroad this tradition evolved into the massed-plan versions of the gable-front and gable-front-and-wing families previously discussed. Light-weight lumber made widely available by the railroads permitted still simpler methods of light roof framing and these, in turn, led to other types of modest folk dwellings with two-room depths. These massed-plan houses, normally constructed with either side-gabled or pyramidal hipped roofs (see next section), had relatively large and flexible interior plans and thus slowly replaced the traditional one-room-deep hall-and-parlor and I-house forms.

Side-gabled folk houses with massed plans are usually one-story forms that vary principally in roof pitch and in the size and placement of porches. Earlier examples, particularly in the South, commonly had full-width, shed-roofed porches. From the front, these resemble their extended hall-and-parlor predecessors, but lack the latter's rearward extensions and resultant broken rear roof line. Examples from the 1930s and later commonly have only small entry porches, or no porch at all, probably in imitation of the then popular Cape Cod shape of the Colonial Revival style.



For a house hood know a box ident dome. Cal of the hunt soci you enal cons you to k dist hist Or bul bul her cha var ing fyx dep sul of clc do in in its w

17

MASSED-PLAN, SIDE-GABLED FAMILY

1. Yanceyville, North Carolina, vicinity; ca. 1930.
2. Rolla, Missouri; ca. 1920. Example inspired by the contemporary Craftsman movement.
3. Abbeville, Louisiana, vicinity; late 19th century. The larger house to the right illustrates an early tradition of massed-plan, side-gabled folk building brought to Louisiana by French Canadian (Acadian) immigrants with a knowledge of long-span roof-framing techniques. Such Louisiana houses are known as Creole Cottages; they normally have the front wall moved back to make an integral porch under the steep roofline. Note how it dwarfs the traditional linear-plan hall-and-parlor to the left.
4. Irwinville, Georgia, vicinity; ca. 1920. Board-and-batten example similar to traditional hall-and-parlor plan, but with full, two-room depth. Note the lack of a broken rear roofline to cover a rearward extension.
5. Burlington, North Dakota, vicinity; ca. 1940.
6. New Madrid County, Missouri; 1940.
7. Austin, Minnesota; 1935.



The purpose of the Historic Area Work Permit process is to ensure that alterations and/or new construction will be compatible with the existing appearance and character of the historic site or district. (See Appendix 2 for additional information on HAWPs).

The History of Hawkins Lane

County land records indicate that the site of the Hawkins Lane Historic District was once part of a 700 acre tract called "Clean Drinking", granted to Colonel John Courts in 1700 by Charles, Lord Baron of Baltimore. The tract was purchased by Charles Jones in 1750, and the association of Clean Drinking (which at one point included some 1400 acres) with the Jones family continued well into the twentieth century; it is memorialized in the names of two area streets, Jones Mill Road and Jones Bridge Road.

The first Hawkins to be associated with the property was a prosperous white farmer from Prince George's County named James Hawkins, who, in 1825, bought for \$10,000 ".....all that part of a tract of land called Clean Drinking, a total of 400 acres....." from Clement Smith, who had acquired the property from a descendant of Charles Jones.⁽¹⁾ In 1867 Hawkins' relatives sold approximately 93 acres of the tract to the Reverend John Hamilton Chew of Washington, D.C., a prominent Episcopalian minister. It was the Reverend Chew's widow, Sophia, who, in February of 1893, sold three acres of Clean Drinking for \$300 to James H. Hawkins, an ex-slave who had been employed (as a freedman) by her husband; the sale set the stage for the development of a small black community on the site.

Although a relationship has not been definitely established between the "white" and the "black" James Hawkins, the 1853 Montgomery County Slave Census lists a white farmer, James Hawkins, Jr. (probably the son of the James Hawkins who acquired the property in 1825) as owning two slaves named James. It is conceivable that the younger of the two was the James H. Hawkins who bought three acres of Clean Drinking in 1893. (See page 4 of the Hawkins Lane Historic District Inventory Form for additional information).

By 1897, Hawkins had erected a two-story frame house for himself at the southwest corner of what later became Hawkins Lane and Jones Bridge Road. The first residence built on the Lane, it was destroyed by fire in the early 1920's.

1. Montgomery County Land Records, Y/80

After James H. Hawkins' death in 1928, his property was (in accordance with his will) divided equally among his twelve children; the Lane and the adjoining section of Jones Bridge Road were soon populated with homes built by members of the Hawkins family for themselves or for relatives and friends.

It is clear that James H. Hawkins (a truck farmer and part-time Methodist preacher) was determined that his children would be property owners. As a recent study of black communities in Montgomery County observes:

"The ability to own land was one of the most valued privileges among blacks in Maryland. Land ownership represented status, opportunity for prosperity, and potential stability for future generations." (Model Resource Preservation Plan for Historic Black Communities: Haiti-Martin's Lane, Rockville, MD, Draft, Peerless Rockville Preservation, Ltd., July, 1988, p.19.)

The history of the district's association with the Hawkins' family is a lengthy one, continuing to the present. All but six of the houses on the Lane were built by the children of James H. Hawkins for their own use, and they remained in the family for many years. Two of the Hawkins Lane properties are still owned by members of the Hawkins family, and James Hawkins' granddaughter, octogenarian Ella Hawkins, occupies one of them. On Jones Bridge Road, several properties still remain in the Hawkins family, while others were not sold to "outsiders" until the mid-1970's.

Established by a black, with the majority of dwellings built by -- and for -- blacks, the Hawkins Lane Historic District remained a black residential enclave and "kinship community" for well over half a century, with the houses owned and occupied primarily by one family. Although the community is now racially mixed, a number of the properties are still black-owned and the Hawkins family is still represented in the district. And, in spite of changes in the racial composition of the district, it has retained the strong sense of community cohesiveness which was originally based on ties of kinship.

The district continues to be an important link to an earlier period in the county's history, and a tangible record of the efforts of the county's black citizens to establish themselves economically and socially.

the rural parts of the county. Characterized by strong vertical lines, a front-gabled metal-covered roof, and a front porch with turned and bracketed posts, few such structures remain in the Bethesda-Chevy Chase area. At the rear of this structure is a partially-demolished wood shed which is historically significant because it appears to date from the same early period as the house.

The remaining garages and sheds (primarily of wood or metal) are all of more recent vintage, dating from the mid-late twentieth century and (except in one case) detached and located at the rear of lots. The outbuildings contribute to the overall character of the district by creating a particular "pattern" of building placement and style (ie: detached rather than attached garages).

(See the historic district survey form, available at the HPC office, for building descriptions).

Buildings: Scale and Massing

Building scale is one of the most important factors in determining the character of the historic district. While a building's "size" can be defined as its dimensions in whole or in part, building "scale" is the size of a building "in proportion to" neighboring buildings, or to a passing pedestrian, or to its surroundings in general. That is, building scale is determined not by actual size but by how large it appears in relationship to people, other buildings, and the community.

Based on this definition, the buildings in the Hawkins Lane Historic District are decidedly "low-scale" or "small-scale" in appearance and are "in proportion" to their surroundings. Their small scale is important in contributing to the intimate, rural quality of the district.

Residents of the historic district are particularly concerned at the large scale of recent residential construction on the south side of Jones Bridge near Hawkins Lane. Incompatibly-scaled new construction in the district would destroy its visual character. It is extremely important, therefore, that scale be considered in planning for new construction and that new buildings be in scale with existing structures and the district as a whole.

Similarly, it is essential that additions to existing buildings or new construction be compatible in "massing" with existing structures and the district as a whole (massing can be defined as the "shape" or "form" of a building or its parts). Does the massing of an addition, for example, obscure or radically alter the form of the original structure or is a new building incompatible in massing with other buildings in the district? These are important considerations in planning for changes in the historic district.

Note that Historic Area Work Permits must be obtained for some types of exterior building work and for all new construction in the historic district. (See Appendix 2 for a more complete discussion of Historic Area Work Permits).

Guidelines:

Existing Buildings

- Exterior alterations and additions should be compatible in scale and massing and materials with existing buildings.
- The massing of a new addition should defer to and complement the massing of the existing structure, not obliterate or overwhelm it.
- Architectural elements which contribute to a building's character, including front porches, should be retained.
- Additions should be placed to the rear of existing buildings, whenever possible, to make them less obtrusive.
- Additions or alterations to existing outbuildings should follow the same guidelines as additions or alterations to residential structures, that is, they should be compatible with the existing structures in terms of scale, massing and materials.
- Where an outbuilding has particular historic significance because of its date of erection or other factors (as with the shed at the rear of 4113 Jones Bridge Road) every effort should be made to maintain and preserve it.

New Construction

- New construction should be compatible in scale, massing and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.
- New construction should take into account the vernacular character of existing structures and the wide variety of materials used.
- New garages should be detached in keeping with the prevailing style in the district.

22

- **Where a new outbuilding is erected, every effort should be made to ensure that it is compatible with residential buildings in terms of scale, massing, and materials.**

Siting and Setback

Building siting and setback are important because (as noted above) they help establish a "pattern" of buildings and open spaces in the historic district.

Historic district residences are sited to face the road, both on Hawkins Lane and Jones Bridge Road, an important consideration in planning the siting of new buildings. Outbuildings are generally sited at the rear of lots and garages are, in general, detached. Two exceptions to the latter are the built-in garages at the rear of 8818 and 8822 Hawkins Lane; neither garage is now used for its original purpose.

Distances between buildings on the west side of the Lane are generous, varying from approximately 23 to 60 feet. On the east side, the four small houses at the north end of the lane are approximately 20 feet apart, but large vacant lots currently separate the remaining structures on that side and on Jones Bridge Road east of Hawkins Lane.

Hawkins Lane setbacks range from 10 to 30 feet, with the average approximately 18 feet. On Jones Bridge Road, setbacks vary from approximately 25 to 40 feet.

Guidelines:

- **New construction should maintain the approximate setback and siting patterns established by existing buildings in the district, particularly those which are adjacent to or in close proximity to the new construction.**
- **Existing outbuilding siting patterns should be maintained, with new garages and other structures placed at the rear of lots.**
- **New construction should take the siting and setback of adjoining buildings into particular account.**

Landscaping

Landscaping in the historic district is informal, with most lots having small front lawns and a variety of foundation or boundary plantings.

Hawkins Lane Historic District Boundaries

#35/54

M.N.C.P. & P.C.

4.95 Ac.

3388/604

14.35 Ac.

P539

M.N.C.P. & P.C.

3388/604 6.69

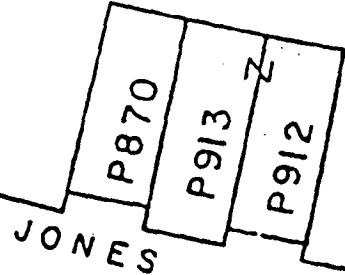
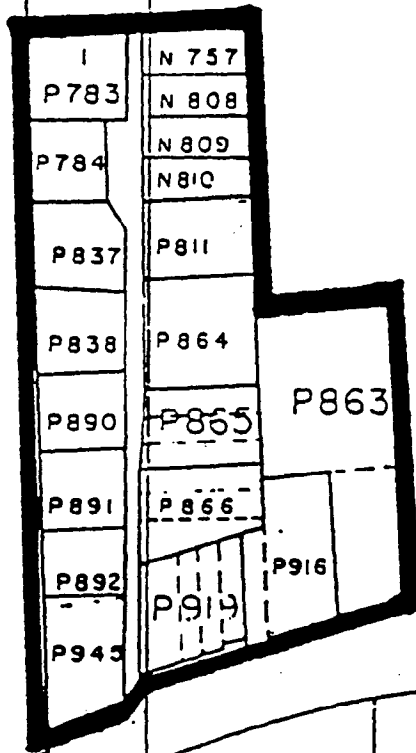
P695

M.N.C.P. & P.C.

3388/604

9.99 Ac.

P806



JONES BRIDGE

DIST.	CURRENT TO
7	7-1-90
13	7-1-90

HAWKINS LANE HISTORIC DISTRICT
CHEVY CHASE, MD 20815

TAX MAP



Outline of District

SCALE:

1"=200'



#35/54 HAWKINS LANE H.D.

House & Parcel Number	Set- back (feet)
-----------------------------	------------------------

Hawkins Lane

8806 (P892)	12
8807 (P866)	15
8810 (P891)	24
vac. (P865)	
8812 (P890)	30
8815 (P864)	20
8816 (P838)	15
8818 (P837)	20
vac. (P811)	
8822 (P784)	20
8823 (N810)	25
8825 (N809)	25
vac. (P783)	
8827 (N808)	25
8829 (N757)	25

8213

~~8217~~

Jones Bridge Road

4201 (P945)	40
4117 (P919)	25
vac. (P916)	
4113 (P863)	40

3. Return the house to its current site, elevated about 18" to 24" above the current level.
4. Remove the artificial siding and restore the original wood lapped siding, replacing it in-kind as needed.
5. Replace the concrete floor of the front porch with a wood floor, add a railing and also add two steps to allow for the new elevation, but keep the configuration of the porch the same in all other respects.
6. Build an offset one-and-a half story wood sided rear addition with an attachment at the site of the rear addition that would be substantially modified or removed and replaced. The addition would have a front porch with a flat roof, but otherwise match the historic front porch in design and materials. The addition is proposed to be 28' by 36' (1,008 square feet). Windows are proposed to be double hung wood. The addition is proposed not to exceed 25 feet in height and will utilize the drop in grade to have above ground living space on the lower level.
7. Attach a two car garage (20' x 20') to the left side of the new addition below the level of Hawkins Lane.
8. Install an asphalt paved driveway from the Lane down to the garage.

STAFF DISCUSSION

Staff commends the applicant for the proposed restoration of the historic resource. For the most part, the proposal is sensitive to the prevailing characteristics of the historic district and follows the Hawkins Lane Guidelines. Staff would concur with the applicant's proposal to add more living space at the rear of the little house with the following modifications to the proposal.

1. The offset attachment of the proposed addition clearly differentiates the old section from the new. Staff would suggest however, that the replacement roof of the back shed of the old section and the roof of the front porch on the new section not be flat. Staff understands that the angles are awkward to join, but would suggest moving the rear addition back to preserve the roof angles of the original structure and to allow more slope to the rear addition porch roof.

2. Attached garages and paved driveways are both not in keeping with the district, as stated in the guidelines, specifically:

- New garages should be detached in keeping with the prevailing style in the district.
- New driveways, parking areas, and walkways on Hawkins Lane and Jones Bridge Road should be compatible, in width, appearance and surface covering, with existing driveways, parking areas, and walkways
- The preferred driveway/parking area/walkway surfacing material on Hawkins Lane is gravel or dirt, since these materials are more compatible with the rural character of the district.

Staff would suggest that the plans for the garage and the driveway both be brought more into character with the district and would recommend deletion of the garage or construction of a detached single car garage. Any paving should be gravel.

2

3. In staff's opinion, the height of the roofline of the rear addition should be the same as or lower than that of the original structure. The historic resource is a diminutive building and both the scale and height of the new construction should be kept sufficiently modest such that the little house is not overwhelmed.

STAFF RECOMMENDATION

Staff would recommend that the applicant develop more detailed plans and drawings including the modifications recommended above and proceed to apply for a Historic Area Work Permit

- IT ~~1/11/83~~ 1/11/83
- 1) 39 sq ft. of area - should not be such a large addition - no larger.
 - 2) only have small inset - more ad. south
 - 3) garage & asphalt - only one on side @ far north gravel driveway pos.
 - 4) ok to tear down & rebuild preserve scale/slope - but not enlarge

R HSR - ok w/ staff suggestions see new sketch

- concrete foundation
- porch on pilings

SS - railing w/ top plate, inset

addition not bigger or taller than

1/11/83
1/11/83
1/11/83
1/11/83
1/11/83

ADDITION & RENOVATION

OF

HISTORICAL HOUSING

**8815 HAWKINS LA
CHEVY CHASE, MD.**

**DESIGNED BY
HSU DEVELOPMENT CO.**

SPECIFICATION FOR 8815 HAWKINS LANE

These are the preliminary specifications for the project:

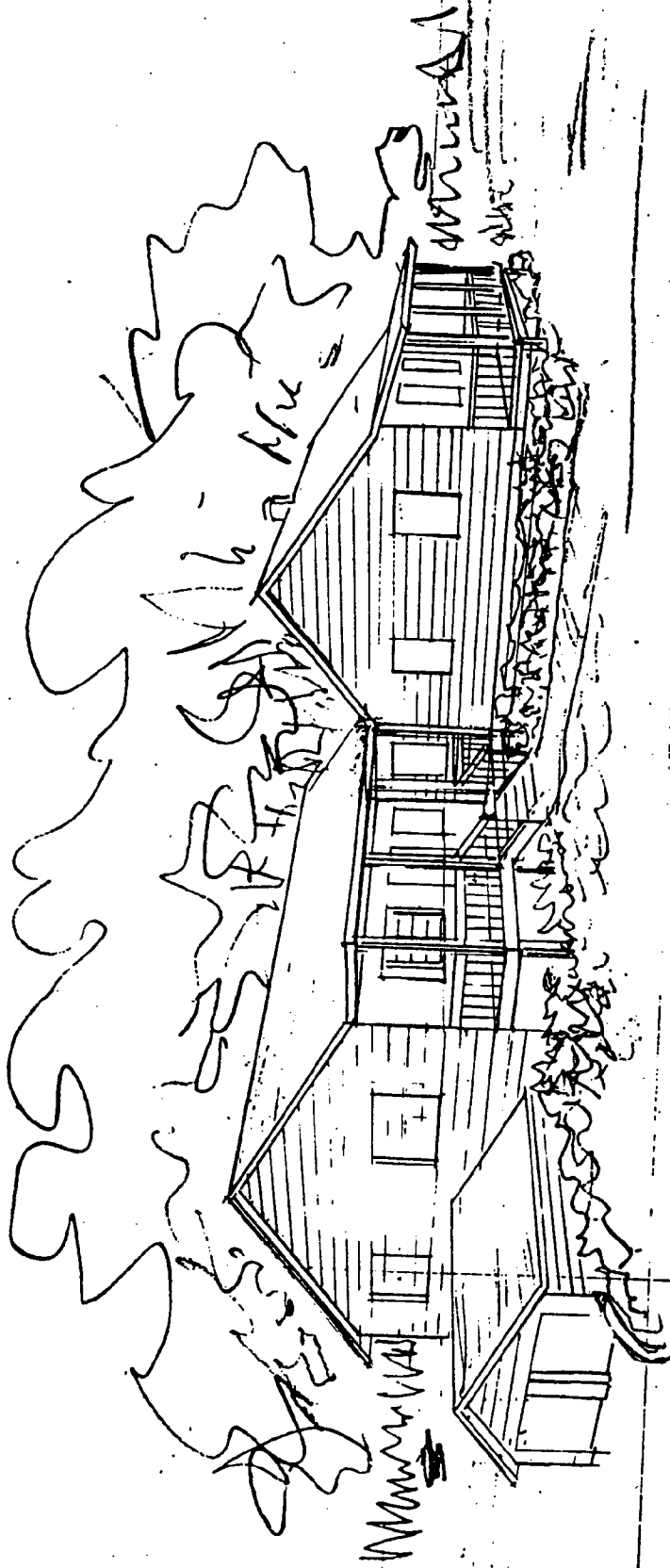
Original structure:

- ▶ **The original home will be saved. We will lift the house up and install new footers and foundation. The home will be lifted up from its original elevation by 2 feet. This will solve the water problem and bring the house to current building codes.**
- ▶ **The siding material of the home will be the original wood lap siding underneath the asbestos siding.**
- ▶ **The front porch which is concrete has cracked and settled severely. The new porch will be wood decking to match neighborhood front porches.**

Addition:

- ▶ **The will be 28' x 36' and 1008 square foot footprint.**
- ▶ **The siding will match the original homes wood siding.**
- ▶ **Windows will be double hung wood windows.**
- ▶ **The structure will be 1 and half stories tall not to exceed 25 feet in height.**
- ▶ **The structure will utilize the fall in grade to create livable space in the lower level as viewed from the rear.**
- ▶ **The total lot coverage ratio will be 15%.**
- ▶ **Roofing material will be asphalt shingle to match existing.**

5



Proposed

P-1

6

SSP front entry - shud stay on orig house -

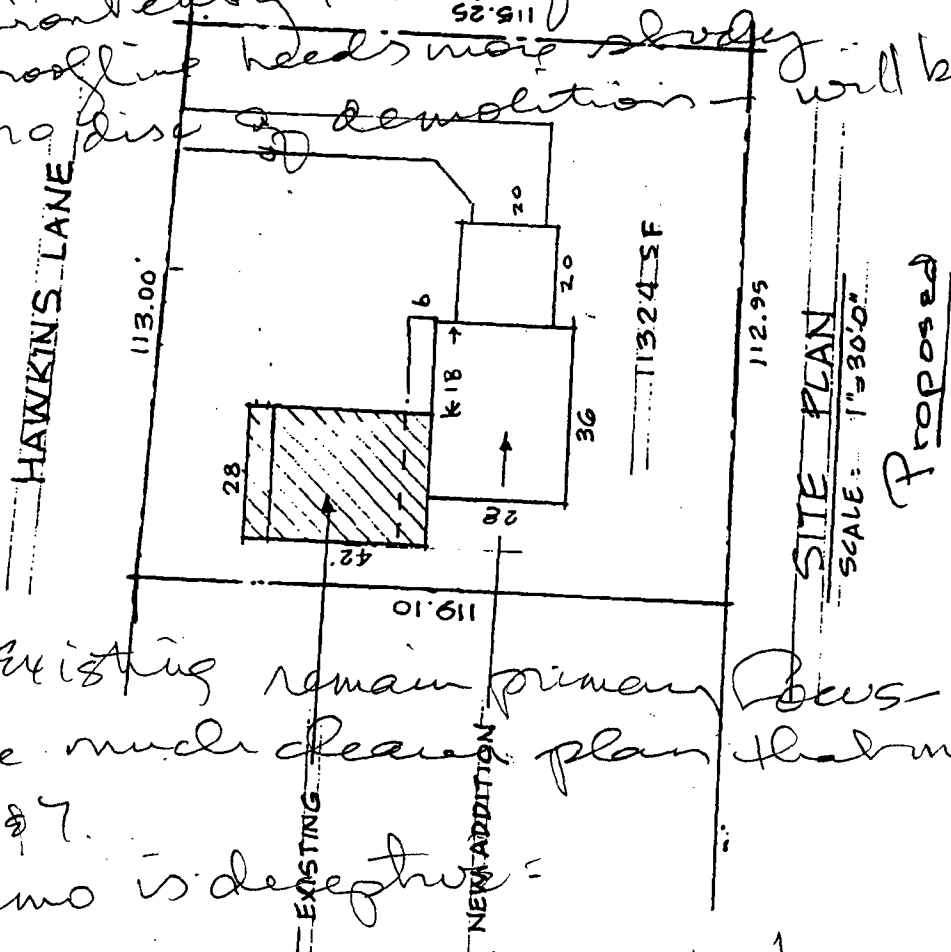
P.2

EE - no comment down is w or the same as, what you lean you put it up.

SS - materials important - ea use unique garage - detached 1 car. no demo - even w/ replica - entry on old bldg.

DH - ad not overwhelm hse. - g-d + 1c. dw - grav. needs proof of usage & only viable option goes over such.

Sp - Front entry + size of rear addition roofing needs more study. no disc of demolition - will be different.



ML - existing remain primary focus - see much clearer plan that match 6 & 7. demo is deeper.

the massing of addition too large - & garage - re demo - no consistent policy -

6k - sqd - study of same size - massing must. windows on side facade - 4 as shown is too much heightening effect. agree that demo replicas are not easy

7

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The first Hawkins to be associated with the property was a prosperous white farmer from Prince George's County named James Hawkins, who, in 1825, bought for \$10,000 ".....all that part of a tract of land called Clean Drinking, a total of 400 acres....." from Clement Smith, who had acquired the property from a descendant of Charles Jones.⁽¹⁾ In 1867 Hawkins' relatives sold approximately 93 acres of the tract to the Reverend John Hamilton Chew of Washington, D.C., a prominent Episcopalian minister. It was the Reverend Chew's widow, Sophia, who, in February of 1893, sold three acres of Clean Drinking for \$300 to James H. Hawkins, an ex-slave who had been employed (as a freedman) by her husband; the sale set the stage for the development of a small black community on the site.

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(See the historic district survey form, available at the HPC office, for building descriptions).

Buildings: Scale and Massing

Building scale is one of the most important factors in determining the character of the historic district. While a building's "size" can be defined as its dimensions in whole or in part, building "scale" is the size of a building "in proportion to" neighboring buildings, or to a passing pedestrian, or to its surroundings in general. That is, building scale is determined not by actual size but by how large it appears in relationship to people, other buildings, and the community.

Based on this definition, the buildings in the Hawkins Lane Historic District are decidedly "low-scale" or "small-scale" in appearance and are "in proportion" to their surroundings. Their small scale is important in contributing to the intimate, rural quality of the district.

Residents of the historic district are particularly concerned at the large scale of recent residential construction on the south side of Jones Bridge near Hawkins Lane. Incompatibly-scaled new construction in the district would destroy its visual character. It is extremely important, therefore, that scale be considered in planning for new construction and that new buildings be in scale with existing structures and the district as a whole.

Similarly, it is essential that additions to existing buildings or new construction be compatible in "massing" with existing structures and the district as a whole (massing can be defined as the "shape" or "form" of a building or its parts). Does the massing of an addition, for example, obscure or radically alter the form of the original structure or is a new building incompatible in massing with other buildings in the district? These are important considerations in planning for changes in the historic district.



Note that Historic Area Work Permits must be obtained for some types of exterior building work and for all new construction in the historic district. (See Appendix 2 for a more complete discussion of Historic Area Work Permits).

Guidelines:

Existing Buildings

- Exterior alterations and additions should be compatible in scale and massing and materials with existing buildings.
- The massing of a new addition should defer to and complement the massing of the existing structure, not obliterate or overwhelm it.
- Architectural elements which contribute to a building's character, including front porches, should be retained.
- Additions should be placed to the rear of existing buildings, whenever possible, to make them less obtrusive.
- Additions or alterations to existing outbuildings should follow the same guidelines as additions or alterations to residential structures, that is, they should be compatible with the existing structures in terms of scale, massing and materials.
- Where an outbuilding has particular historic significance because of its date of erection or other factors (as with the shed at the rear of 4113 Jones Bridge Road) every effort should be made to maintain and preserve it.

New Construction

- New construction should be compatible in scale, massing and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.
- New construction should take into account the vernacular character of existing structures and the wide variety of materials used.
- New garages should be detached in keeping with the prevailing style in the district.

11

- **Where a new outbuilding is erected, every effort should be made to ensure that it is compatible with residential buildings in terms of scale, massing, and materials.**

Siting and Setback

Building siting and setback are important because (as noted above) they help establish a "pattern" of buildings and open spaces in the historic district.

Historic district residences are sited to face the road, both on Hawkins Lane and Jones Bridge Road, an important consideration in planning the siting of new buildings. Outbuildings are generally sited at the rear of lots and garages are, in general, detached. Two exceptions to the latter are the built-in garages at the rear of 8818 and 8822 Hawkins Lane; neither garage is now used for its original purpose.

Distances between buildings on the west side of the Lane are generous, varying from approximately 23 to 60 feet. On the east side, the four small houses at the north end of the lane are approximately 20 feet apart, but large vacant lots currently separate the remaining structures on that side and on Jones Bridge Road east of Hawkins Lane.

Hawkins Lane setbacks range from 10 to 30 feet, with the average approximately 18 feet. On Jones Bridge Road, setbacks vary from approximately 25 to 40 feet.

Guidelines:

- **New construction should maintain the approximate setback and siting patterns established by existing buildings in the district, particularly those which are adjacent to or in close proximity to the new construction.**
- **Existing outbuilding siting patterns should be maintained, with new garages and other structures placed at the rear of lots.**
- **New construction should take the siting and setback of adjoining buildings into particular account.**

Landscaping

Landscaping in the historic district is informal, with most lots having small front lawns and a variety of foundation or boundary plantings.

Hawkins Lane Historic District Boundaries

#35/54

M.N.C.P.&P.C.

4.95 Ac.

3388/604

14.35 Ac.

P539

M.N.C.P.&P.C.

3388/604 6.69

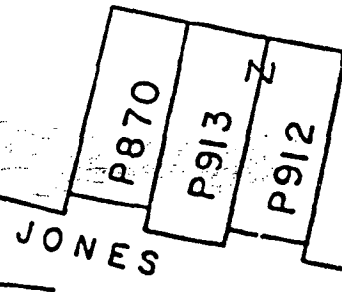
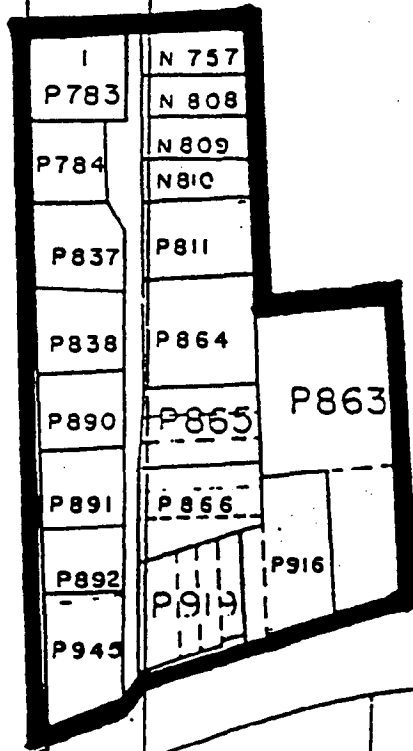
P695

M.N.C.P.&P.C.

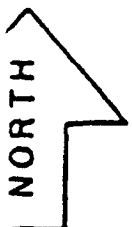
3388/604

9.99 Ac.

P806




JONES BRIDGE




DIST.	CURRENT TO
7	7-1-90
13	7-1-90

**HAWKINS LANE HISTORIC DISTRICT
CHEVY CHASE, MD 20815**


TAX MAP




Outline of District



SCALE: 1"=200'



N



13

Re-replaining house -

Camps - like idea of replica & not
jacking it up.
like design of prop addition



8815 Hawkins Lane

- 1) Citizens Association
 - 25' high.
 - wear $\frac{1}{2}$ tear in neighborhood
 - construction equipment
safety of children.
- 2) Robert Camps - 8817.

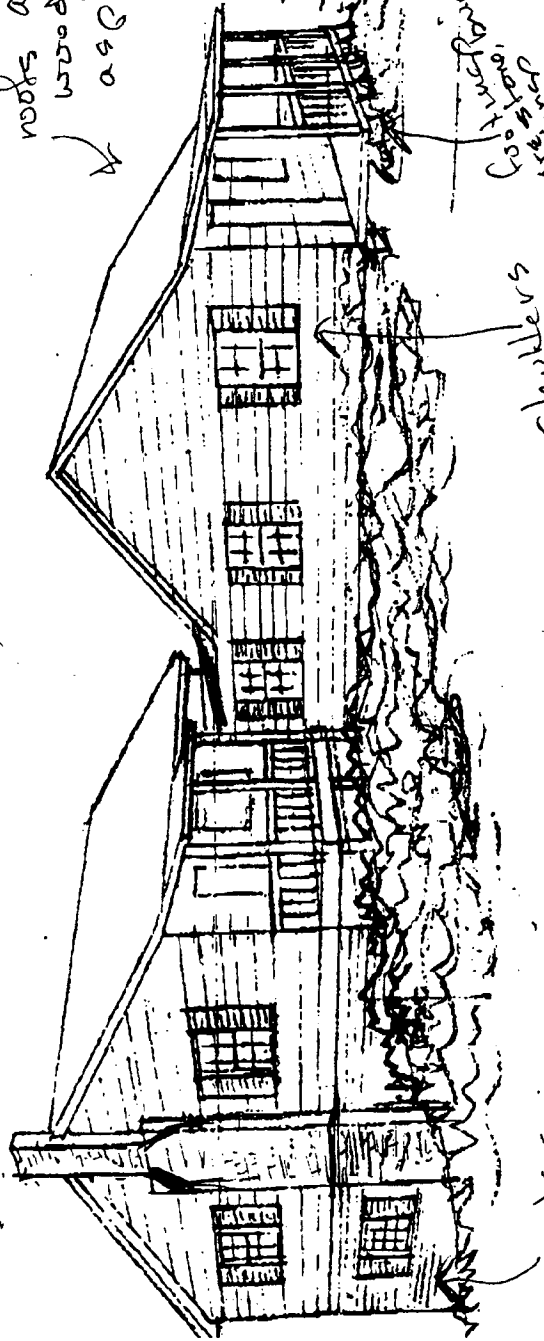
+301-2993808

RONALD HSU INTERIOR CO

P01

10:55

of Masonry (back) - See Qadsden County picture (1),
 or b) interior - See Salisbury, NC (6)
 or Brunswick, GA (4) -



roofs are seamed metal,
 wood shingle or
 asphalt shingle -
 (composite)

railing seen
 fairly often, but
 usually without
 pickets - when
 pickets used,

the design is very
 simple. Might
 consider leaving it
 at old house -
 although you will
 need it for new -

shutters
 occur only in
 Occasional
 Brunswick, NC (2)
 (see Carver's added
 in probably added)

concrete -
 dark color

no shutters
 changed things

Prepared For :
call Eric Murtagh 301-652-8971



8813 HAWKINS LN MC2188928

City/Town: Chevy Chase **Status:** ACTIVE **Postal Address:** CHEVY CHASE
List Price: \$339,900 **Total Taxes:** \$3,504 **Tax ID#:** 2960380
Advertised Subdivision: CHEVY CHASE **Legal Subdivision:** BETHESDA OUTSIDE
Lot Size: 9902 **Lot Acreage:** 0.23 **Age:** 3 **Lot/Block:** 5
Style: Bungalow **Type:** Detached **Townhouse Type:**
Elementary: NORTH CHEVY CHAS **Middle:** WESTLAND INTER. **High:** BETHESDA-CHEVY C
Main Entrance: Foyer **# of Lvl:** 3# of Fpl: 1
Other Rooms: Attic-Unfinished
Dining/Kitchen: Breakfast Room, Fam Rm Off Kit, Kit-Breakfast Bar, Kit/Country, Kit-Table Space, Sep Dining Rm
Windows/Doors: Dble Pane Wind, French Doors, Insulated Door(s), Six Panel Doors, Sliding Glass Dr
Walls/Ceilings: Cathedral Ceilings, 9'+ Ceilings **Security:** Electric Alarm, Fire Detect Sys, Monitored
Parking: Drwy/Off Str, Garage
Gar Type: Detached **# Spc:** 1
Transportation: Public Bus Svc, 1 mi-Metro Bus, 1 mi-subway **View/Exposure:** West
Exterior Construction: Wood
Roofing: Composite
Exterior Features: Balcony, Deck, Porch-front
Topography: Level **Handicap:** Other
Basement: Y **Basement Type:** Full **Basement Entrance:** Areawy/Cel Exit,
Outside Entrance, Rear Entrance

Prepared For :
call Eric Murtagh 301-652-8971

8813 HAWKINS LN MC2188928

Heating Fuel: Bottled Gas/Prop
Cooling Fuel: Electric
Hot Water: Bottled Gas
Metering:

Heating System: Forced Air
Cooling System: Central A/C
Water: Public
Sewer/Septic: Public Sewer

Total BR: 3	BR Main:	BR Upper1: 3	BR Upper2:	BR Lower1:	BR Lower2:
Total FB: 2	FB Main:	FB Upper1: 2	FB Upper2:	FB Lower1:	FB Lower2:
Total HB: 1	HB Main: 1	HB Upper1:	HB Upper2:	HB Lower1:	HB Lower2:

Fee Includes: Other

Community Amen: Jog/walk Path

Rules: Other

New Finance Types: Conventional, Sell Take 2/3 Wrp

Appliances: Cktp-Dwn Drft, Dishwasher, Disposal, Dryer, Exhaust Fan, Oven/Range-Electric, Refrigerator, Washer

Amenities: Attic-Strs Pull Dwn, Home Warranty, MBA/Sep Shwr, MBR-BA Full, Rough In BA, Walk-in Closet(s), Wood Floors, W/W Carpeting

Farm: N

Water Oriented: N

Vermont in Maryland-Welcome to this all wood Bungalow on a country lane (historic street). This home has expansive room space, high ceilings, and great closets. The lot is large, level and well landscaped. The lower level is ripe for more finished space if needed. Please be sure to visit North Ch.Ch. Park right behind the house. It's wonderful! Please call Eric Murtagh * Gerlach Real Estate 301-652-8971

Walter Hsu
4263 Howard Avenue
Kensington, Maryland 20895
Tel:(301) 897-0600
Fax:(301) 897-2722
August 14, 1997

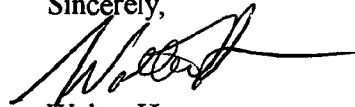
Ms. Perry Kephart
Historic Preservation Commission
Maryland Capital Park and Planning

Subject: 8815 Hawkins Lane

Dear Ms. Kephart:

We are writing you as an update to the progress of the 8815 Hawkins Lane. We are currently assessing the cost for the project and the logistical approach to performing the work as discussed. Also we have been approached by Meridian Homes as to the sale of the property. Please feel free to call me if you have any questions or comments. Look forward to talking to you soon. Thank you for your attention to the above matter.

Sincerely,



Walter Hsu

8/19. Spoke w/ Walt re necessity to move
ahead on restoration → gave him
Dean Fitzgerald & Doug Reed's names
to consult.

July 22, 1997

MEMORANDUM

TO: Historic Preservation Commission
FROM: Perry Kephart
RE: 8815 Hawkins Lane

Walter Hsu met with staff this morning to discuss his efforts to restore the house at 8815 Hawkins Lane. To recapitulate, the foundation of the house is seriously deteriorated and the house is settling such that cracks are appearing on the interior walls, the porch posts are displaced, the floors are uneven and there is termite damage, probably originating where the wood frame has sunken into the ground. Walter's plan was to jack up the house, remove the poorly built foundation, remedy the drainage problems that were exacerbating the foundation damage, and then replace and restore the house.

Walter has located a company that can jack up the house so that the foundation work can be done, but has been unable to hire a contractor or workmen who will work under the elevated structure. He is exploring other methods of replacing the foundation that minimize working directly beneath the house - such as installing exterior footings supporting steel or treated wood beams on which the house would be lowered.

If the foundation work cannot be done without taking down the house and then reconstructing it, he has asked if he might remove the exterior asbestos siding in order to inventory the original wood siding with the expectation that as much of the exterior materials of the house as possible will be saved and re-used. Staff is willing to give approval for removal of **ONLY** the asbestos siding as it would be required no matter what form the restoration takes, but would like the HPC to indicate if the siding removal should be the subject of a HAWP. Staff has encouraged Walter to continue to pursue other options than reconstruction. Staff also is not sure if retaining the siding would help to stabilize the structure while it is being raised and lowered - assuming that happens.

Walter Hsu
6404 Winnepeg Road
Bethesda, Maryland 20817
Tel:(301) 530-9500
Fax:(301) 530-2223
March 6, 1997


Ms. Perry Kephart
Historic Preservation Commission
Maryland Capital Park and Planning

Subject: 8815 Hawkins Lane

Dear Ms. Kephart:

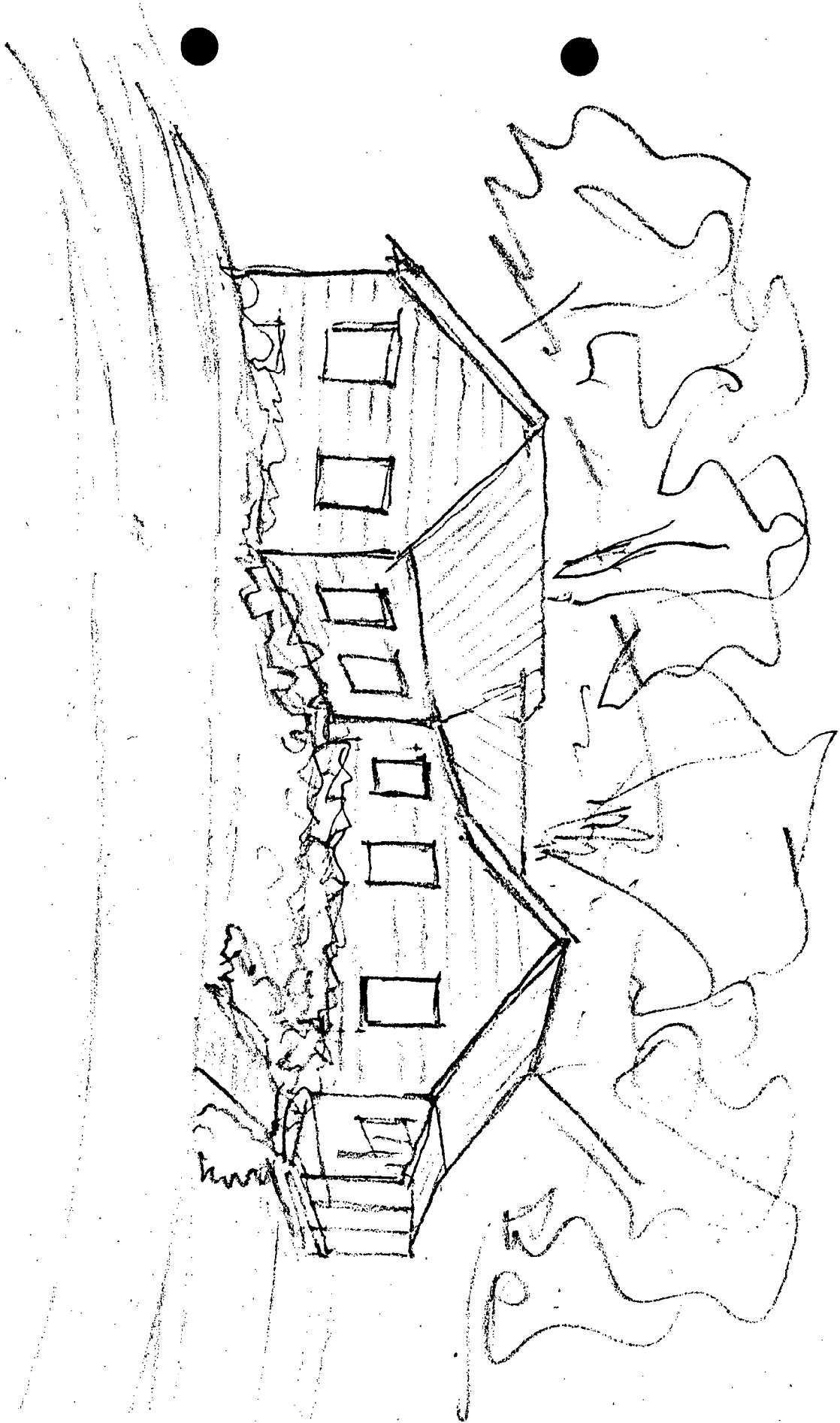
We have developed a preliminary drawing for your review. We will, as you requested lift the original home up and install a new foundation for the home. This will enable us to completely save the existing home while utilizing the space below. We are also requesting an addition for the rear. Please keep in mind that the lot coverage here is considered lower than the other properties on the lane. Also, this plan is preliminary and for your review and comments only. Thank you for your attention. We look forward to hearing from you.

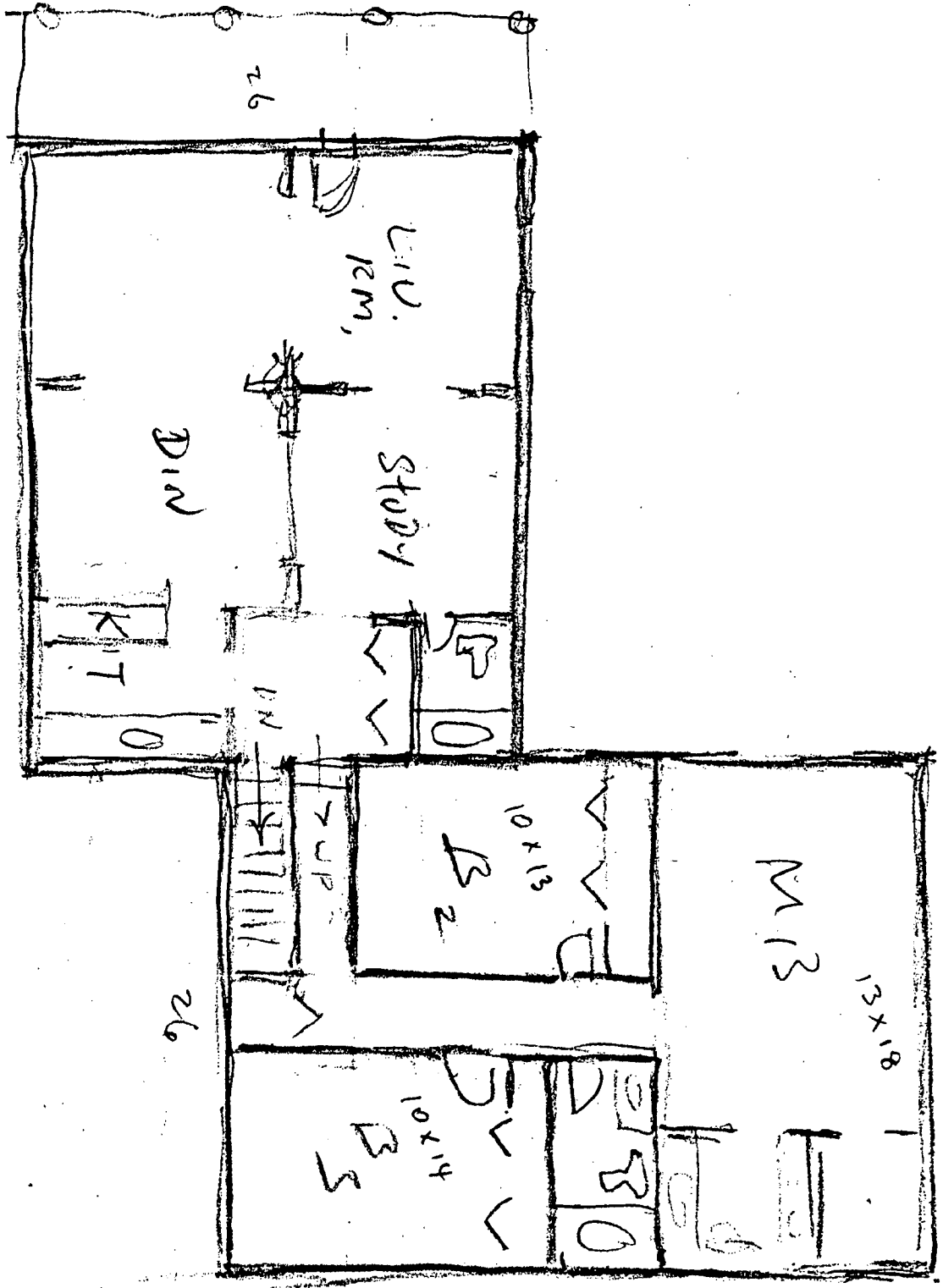
Sincerely,



Walter Hsu

May 28 - pc
wp. 4th.





32

832
 1152

 1984

36

26
 32

ATLANTIC ENGINEERS

95-90

11228 GEORGIA AVENUE, WHEATON, MARYLAND 20902
TELEPHONE: AREA CODE (301) 946-5300

Consulting Engineers

ALVIN R. SCHWAB, P.E.

December 15, 1995

Mr. Walter Hsu
6404 Winnepeg Road
Bethesda, MD 20817

SUBJECT: House at 8815 Hawkins Lane
Chevy Chase, Maryland

Dear Mr. Hsu:

On December 14 I inspected the subject property and have the following to report:

1) The foundation is in very bad condition. The original clay tile is cracked and crushed in many places and in addition the top course visible in the small cellar is laid crosswise. There have evidently been some attempts to reinforce the foundation with concrete block and this is also showing the stress and the lines between the concrete tile are in parallel, indicating that the wall itself has tipped outward.

2) The concrete slab on the front porch has cracked badly and has settled. This was apparently caused by settlement of the foundation material. The porch posts holding up the roof have displaced and cracked and the roof framing is in bad shape.

3) There are a number of joists visible in the cellar that are damaged and show insect infestation. It is reported that water runs into the basement and around the house and this is not surprising as the grading of the lot is very poor.

4) It is reported that the water line has ruptured and there is currently no water service into the house. Unfortunately, this cannot be remedied as the only access to this water line would be through a small crawl space.

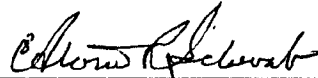
5) There are numerous cracks in the interior walls and this is further evidence of settlement.

6) The floor framing is in bad condition as mentioned above and it deflects severely under walking traffic.

7) In general the entire building is in very poor shape.

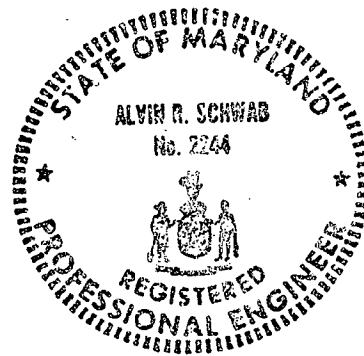
It will be impossible to remedy these conditions without removing and replacing the foundation and this, together with taking care of the other items mentioned above, would only be possible if the present house is demolished and rebuilt.

Very truly yours,



Alvin R. Schwab, P.E.

ARS:alt



Rec'd 11/4/96

Walter Hsu
6404 Winnepeg Road
Bethesda, Maryland 20817
Tel:(301) 530-9500
Fax:(301) 530-2223
October 22, 1995

Ms. Pat Parker
Historic Preservation Commission
Maryland Capital Park and Planning

Subject: 8815 Hawkins Lane

Dear Ms. Parker:

This letter is to serve as an update on the situation currently at 8815 Hawkins Lane. After our site visit to the property with you and Mr Joseph Brennaman and under your recommendation, we immediately contacted him and asked him if he was interested in purchasing the property or doing a joint venture with us. Mr. Brennaman said he was interested and that he would have to take some time to think about the project. I have called him regularly and have expressed an eagerness to work with him and vice versa. Mr. Brennaman has indicated to us that he is currently involved with another project in another historic district and that he was waiting for substantial completion of that project before beginning Hawkins Lane.

We understand that time is of the essence not only from the HPC perspective but also from our side. There are considerable carrying costs associated with the property, and at present the property is unlivable. I will continue to keep you posted. Please feel free to call me if you have any questions. Thank you for your attention to the above matter.

Sincerely,

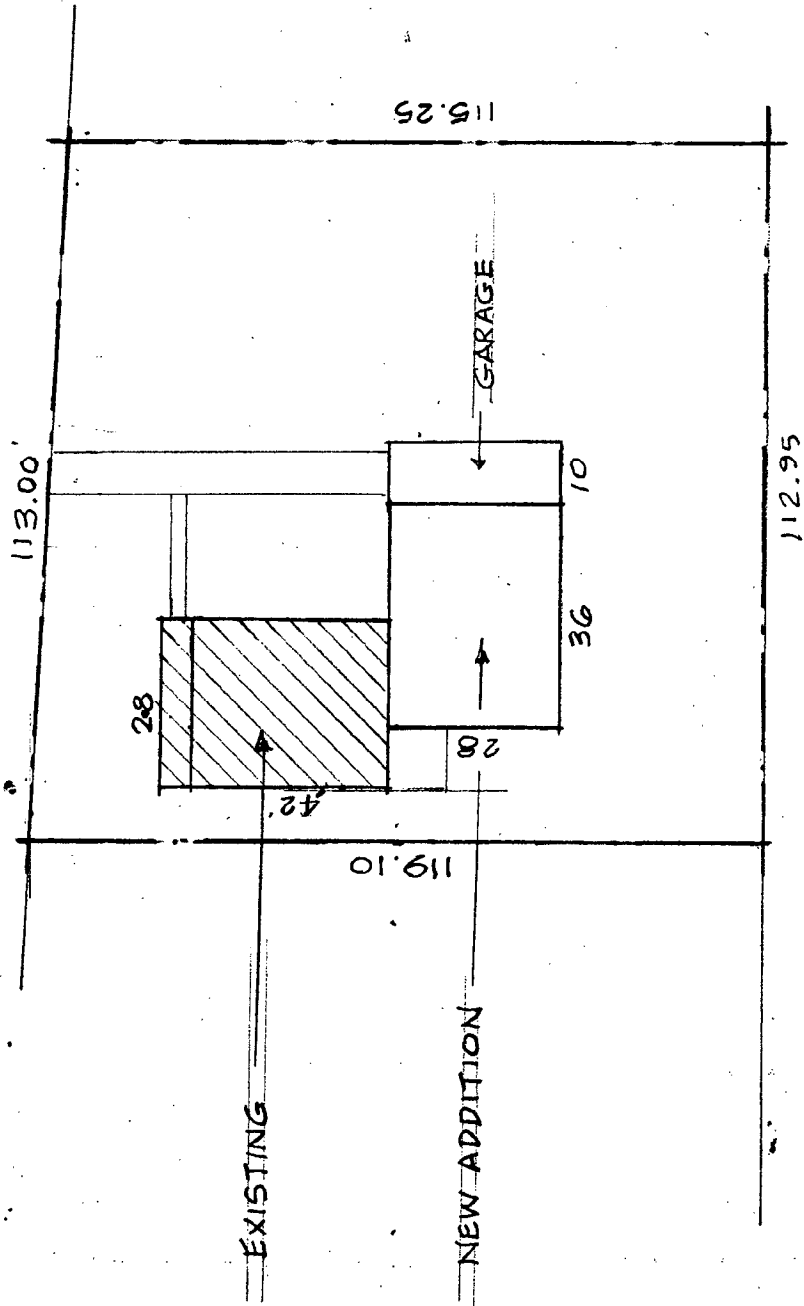


Walter Hsu



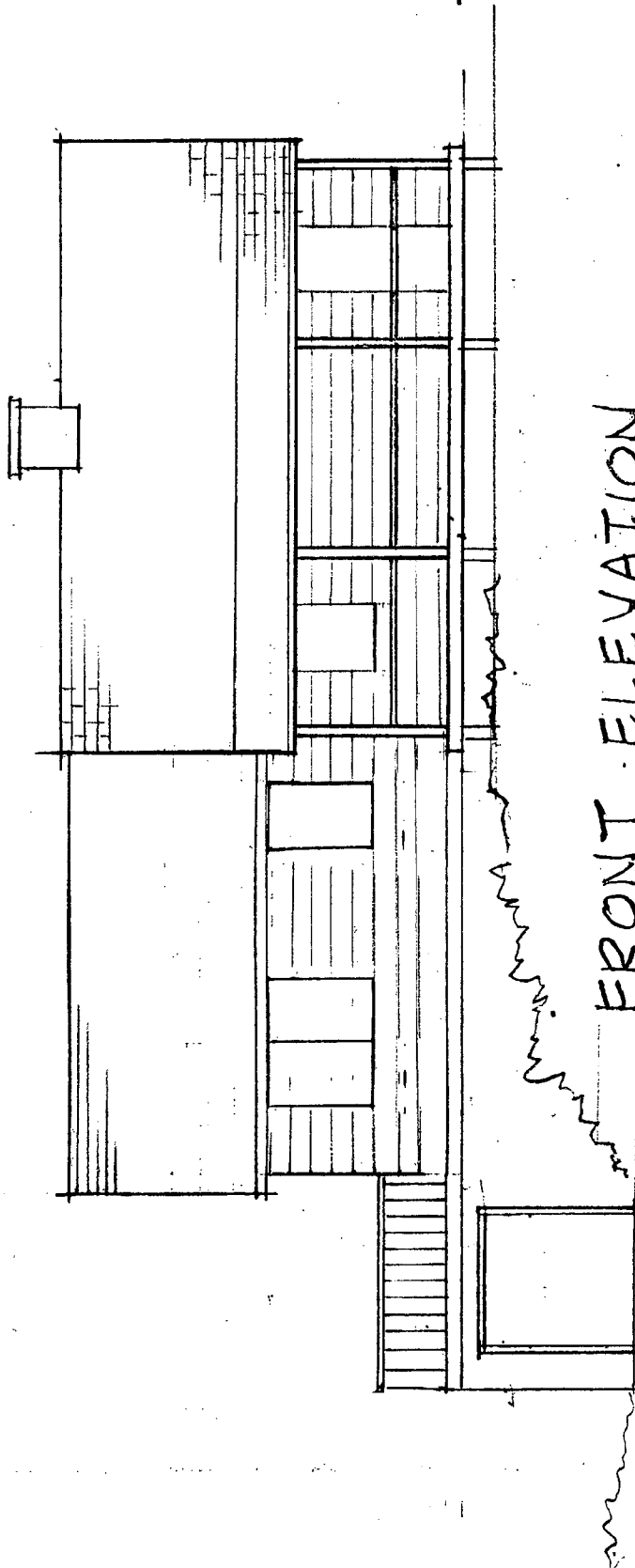
P-1

HAWKINS LANE



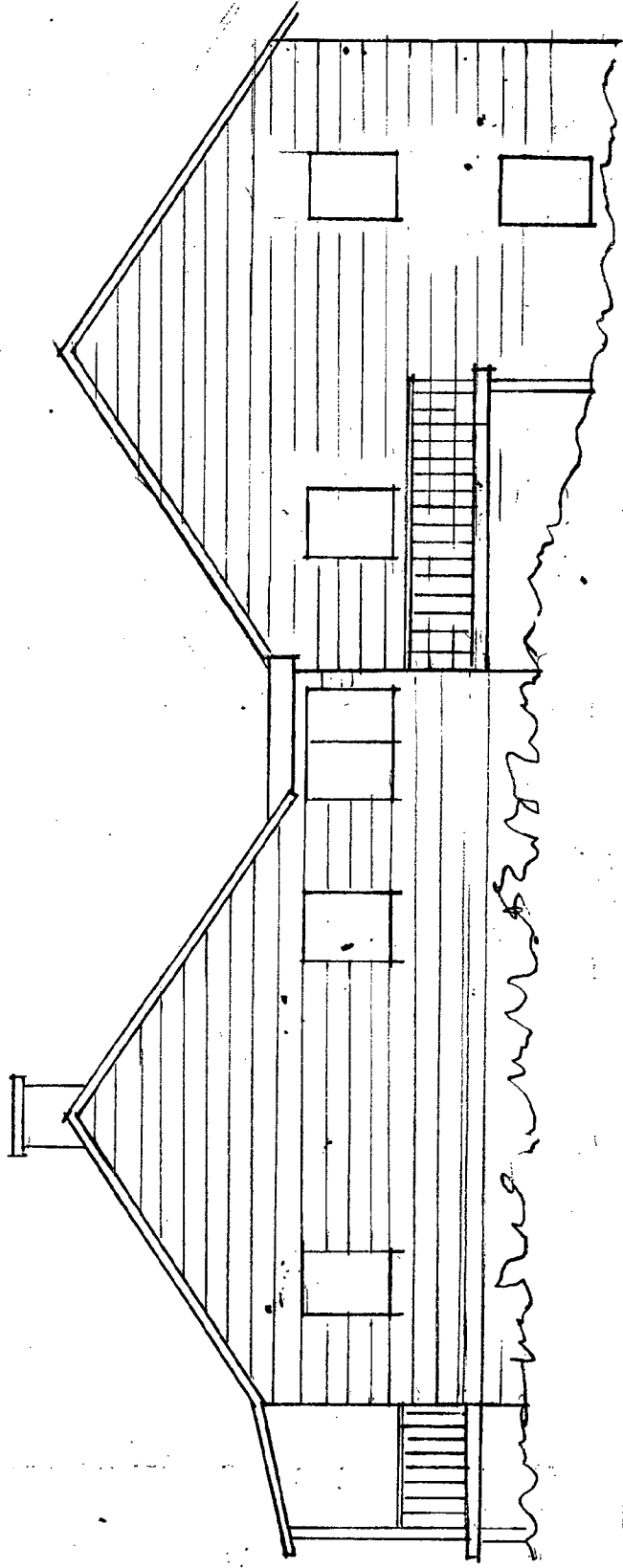
SITE PLAN

SCALE: 1"=30'0"



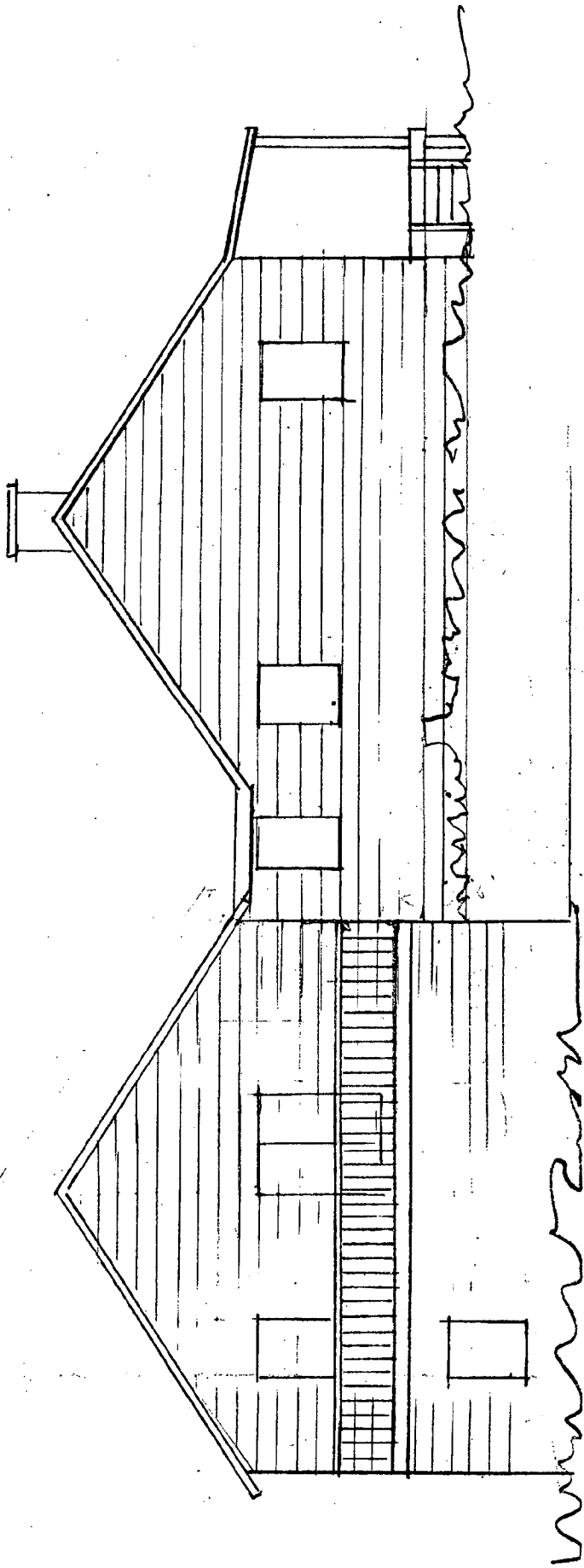
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



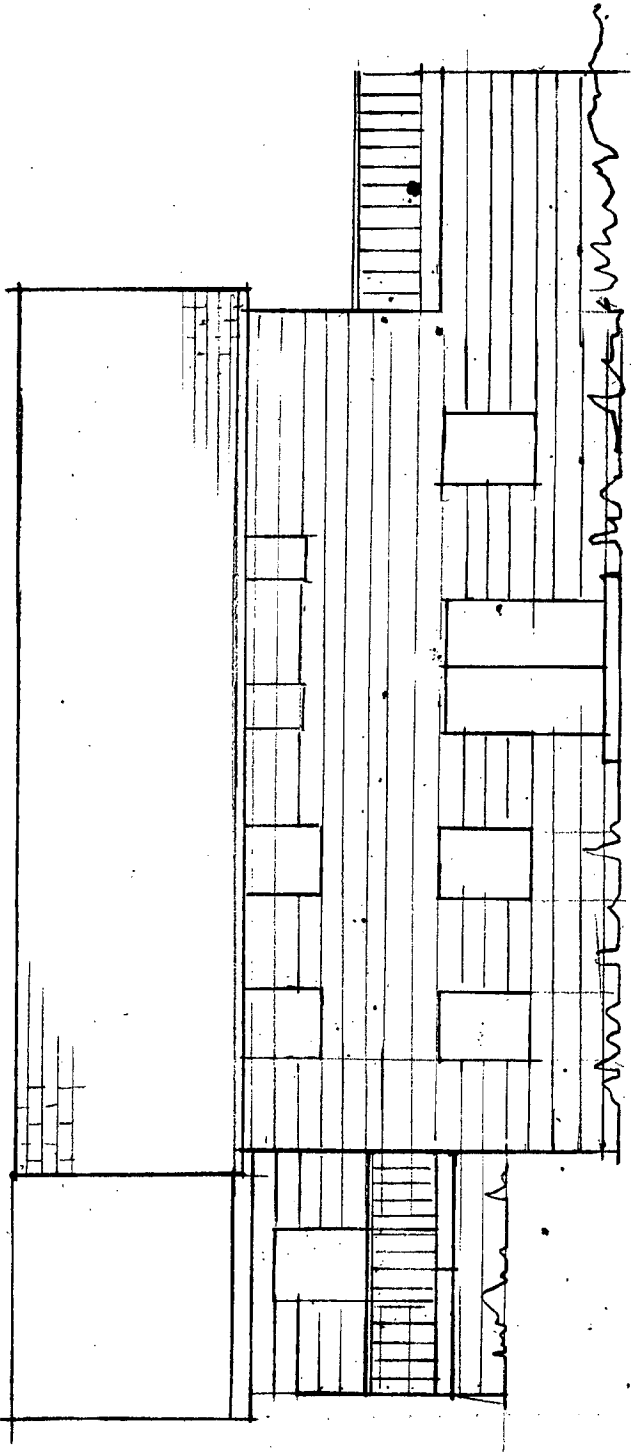
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

SPECIFICATION FOR 8815 HAWKINS LANE

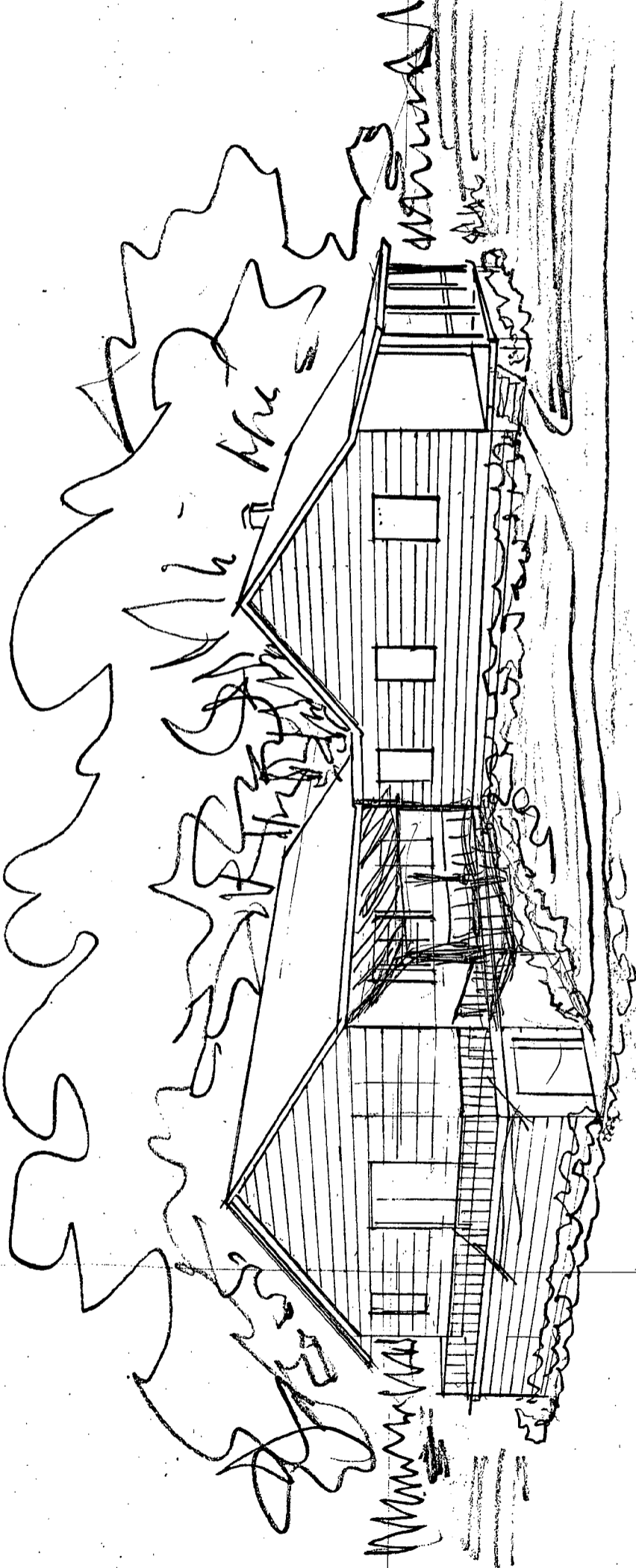
These are the preliminary specifications for the project:

Original structure:

- ▶ The original home will be saved. We will lift the house up and install new footers and foundation. The home will be lifted up from its original elevation by 2 feet. This will solve the water problem and bring the house to current building codes.
- ▶ The siding material of the home will be the original wood lap siding underneath the asbestos siding.
- ▶ The front porch which is concrete has cracked and settled severely. The new porch will be wood decking to match neighborhood front porches.

Addition:

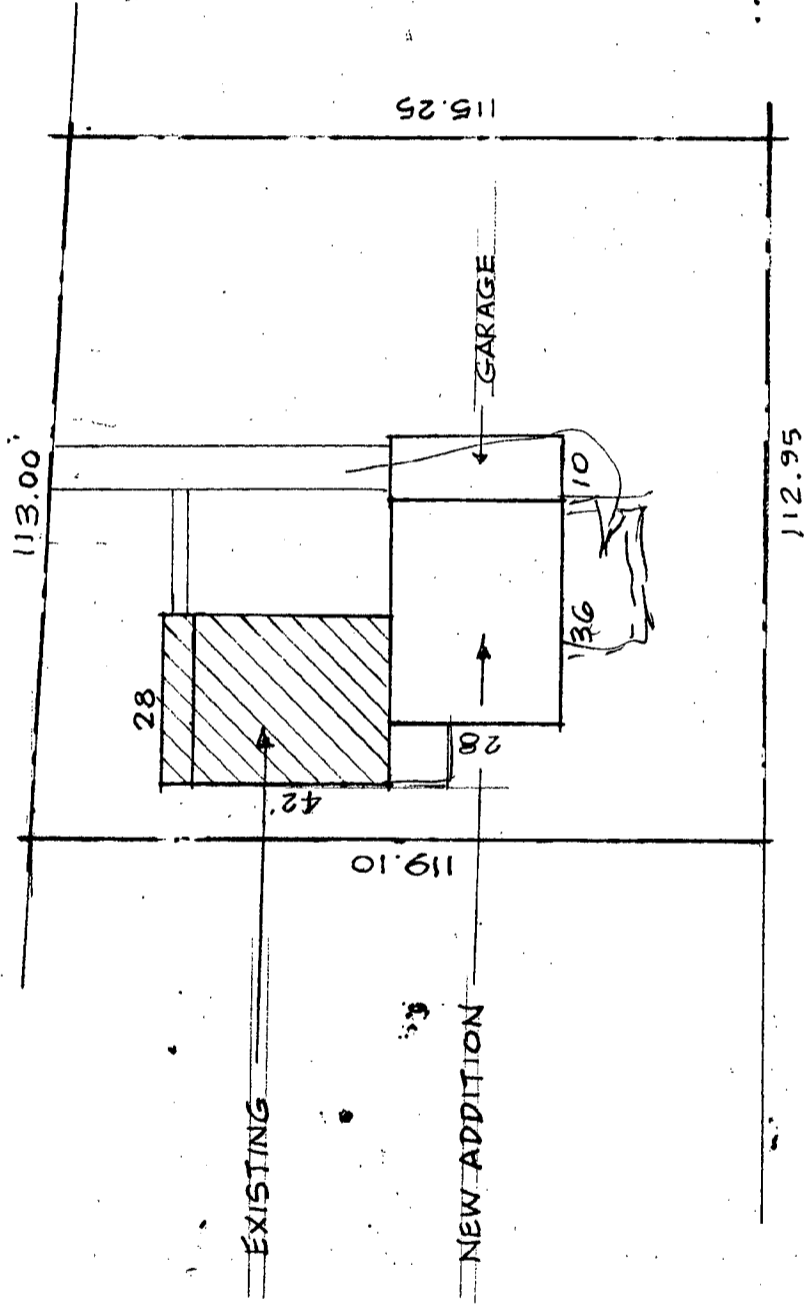
- ▶ The will be 28' x 36' and 1008 square foot footprint.
 - ▶ The siding will match the original homes wood siding.
 - ▶ Windows will be double hung wood windows.
 - ▶ The structure will be 1 and half stories tall not to exceed 25 feet in height.
 - ▶ The structure will utilize the fall in grade to create livable space in the lower level as viewed from the rear.
 - ▶ The total lot coverage ratio will be 15%.
 - ▶ Roofing material will be asphalt shingle to match existing.
-



P-1

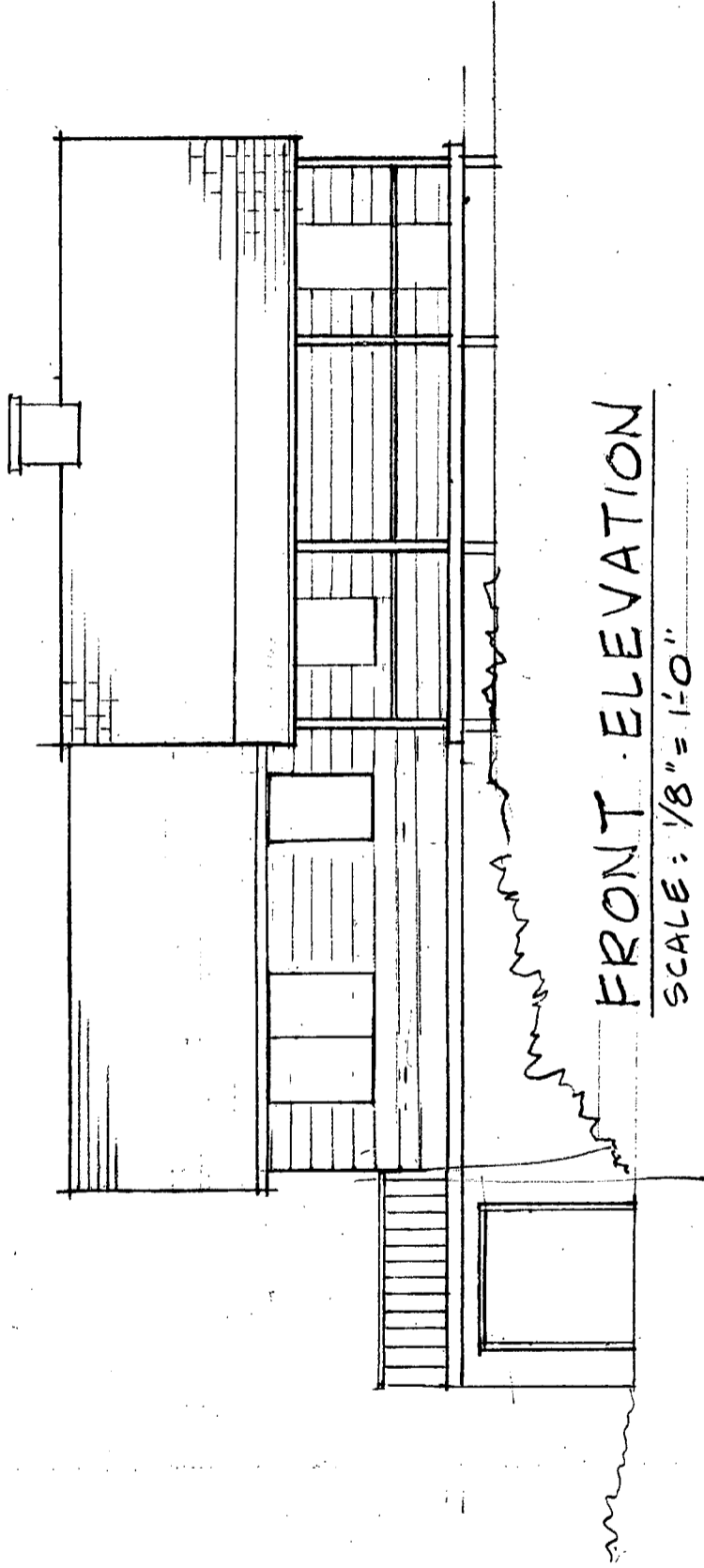


HAWKINS LANE



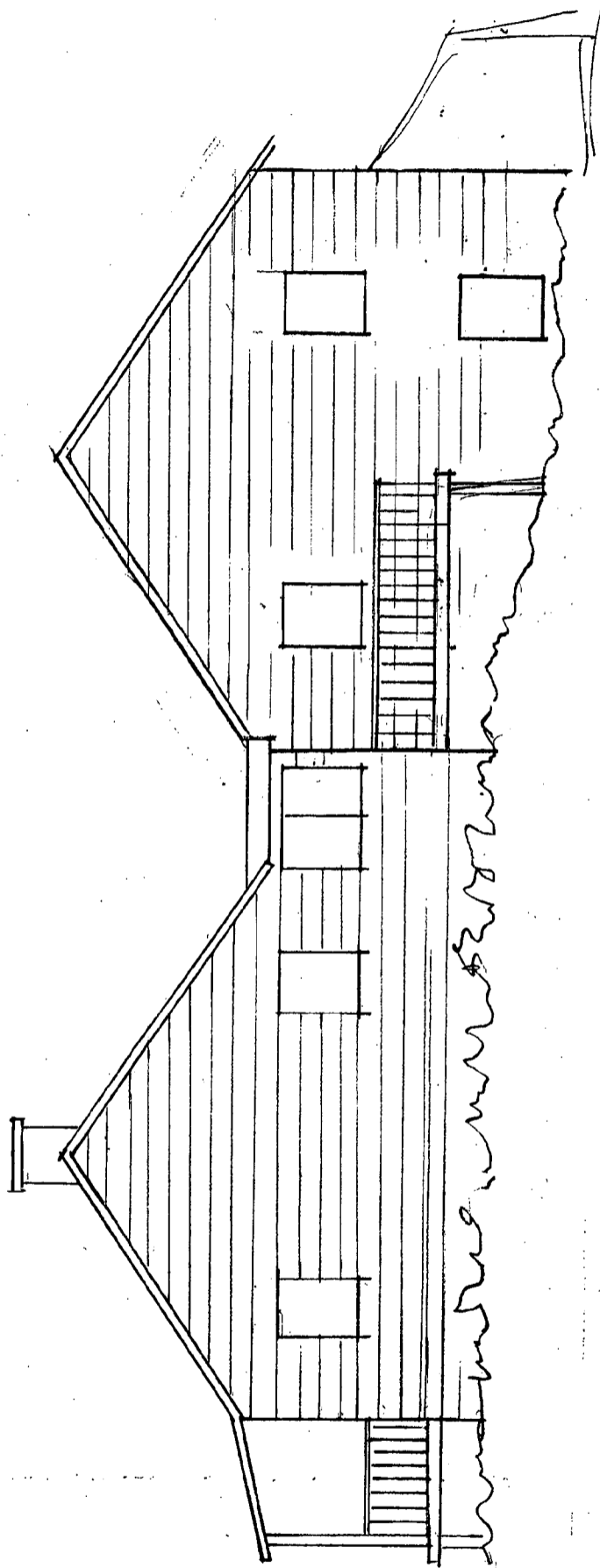
SITE PLAN

SCALE: 1"=30'0"



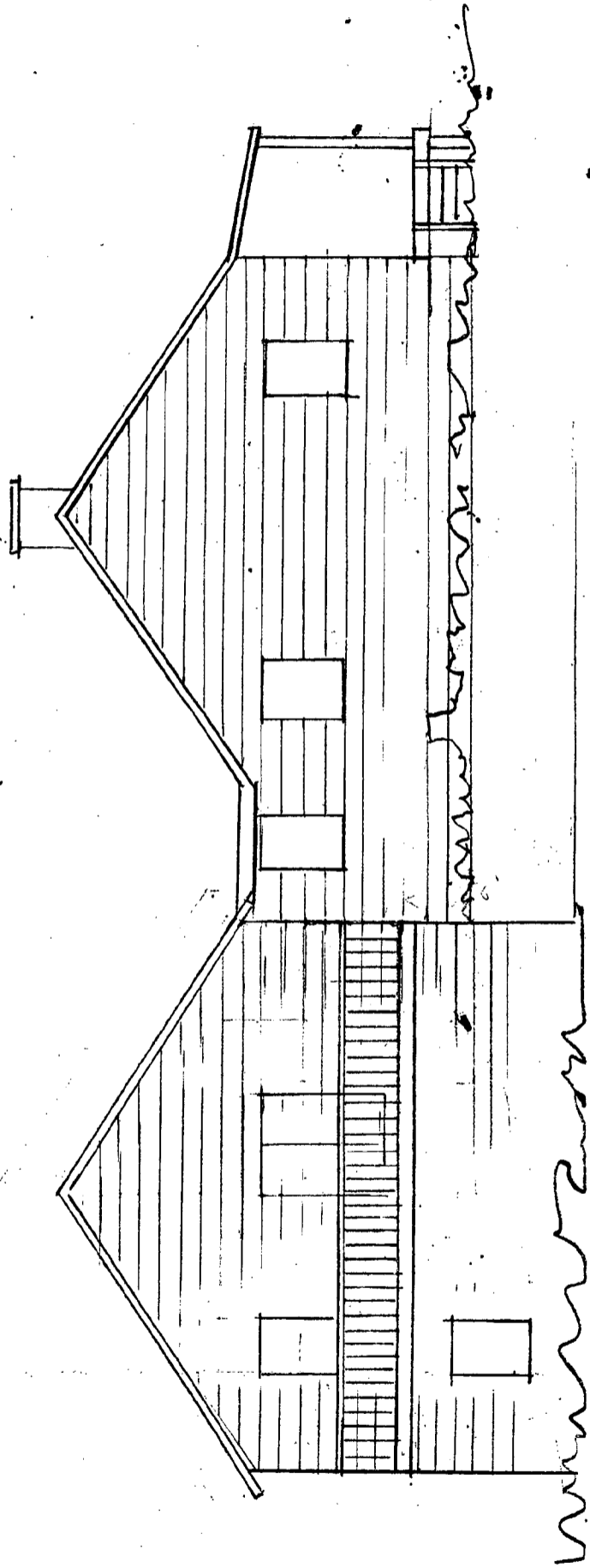
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



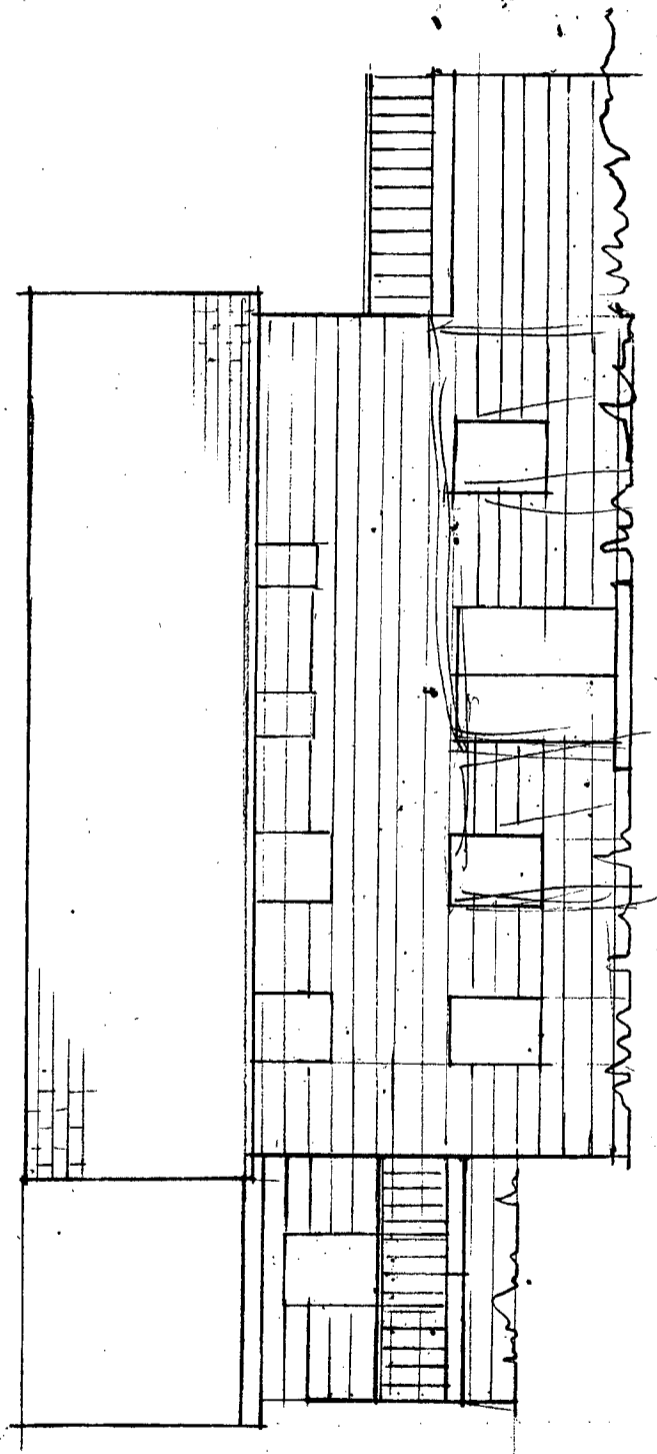
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



ADDITION & RENOVATION

OF

HISTORICAL HOUSING

8815 HAWKINS LA

CHEVY CHASE, MD.

DESIGNED BY

HISU DEVELOPMENT CO.

SPECIFICATION FOR 8815 HAWKINS LANE

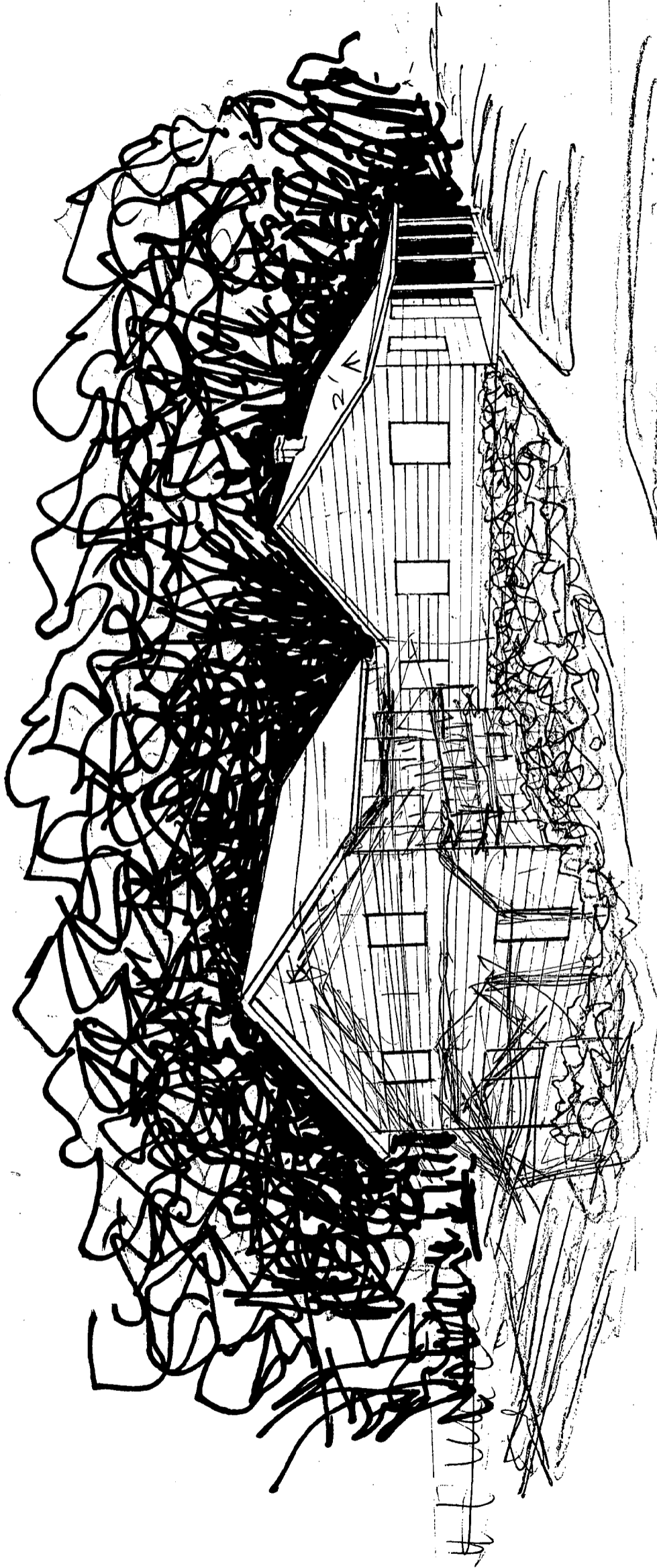
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Addition:

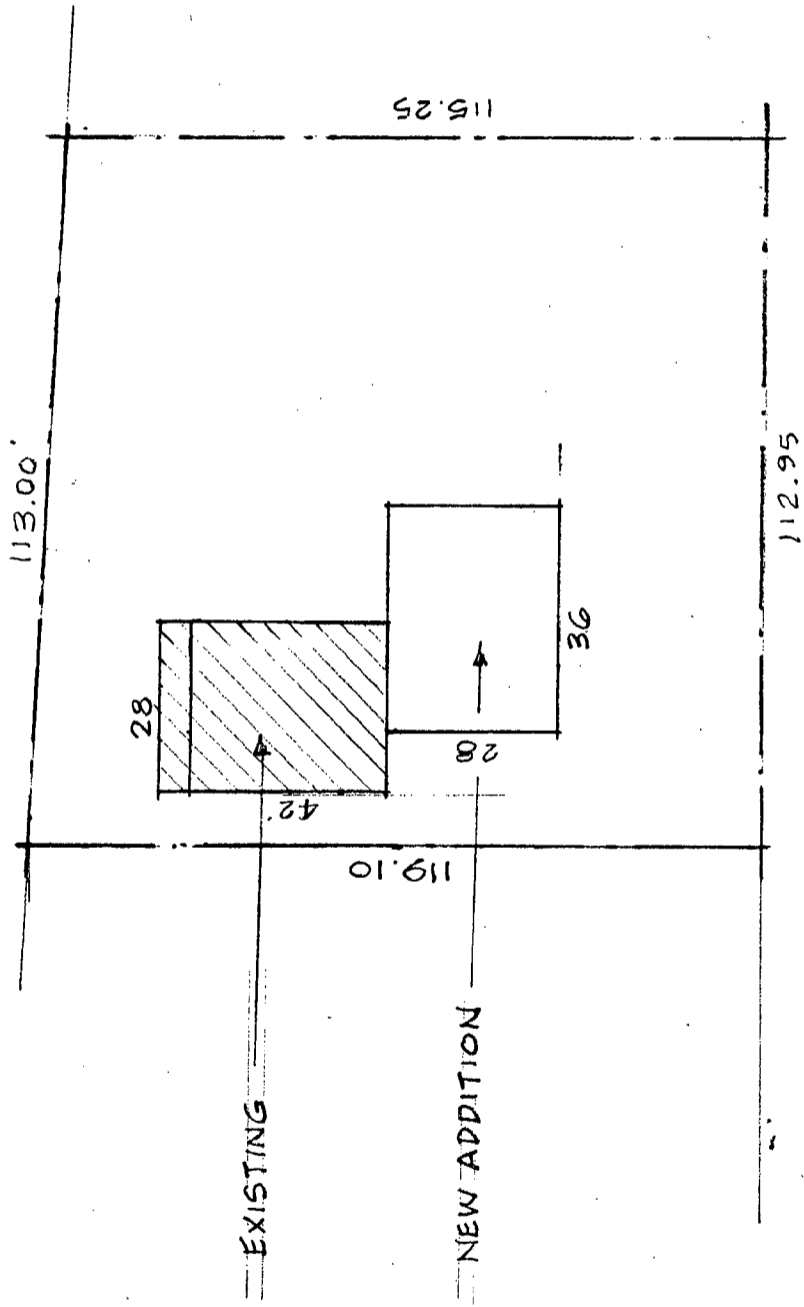
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- ▶ The structure will utilize the fall in grade to create livable space in the lower level as viewed from the rear.
- ▶ The total lot coverage ratio will be 15%.
- ▶ Roofing material will be asphalt shingle to match existing.



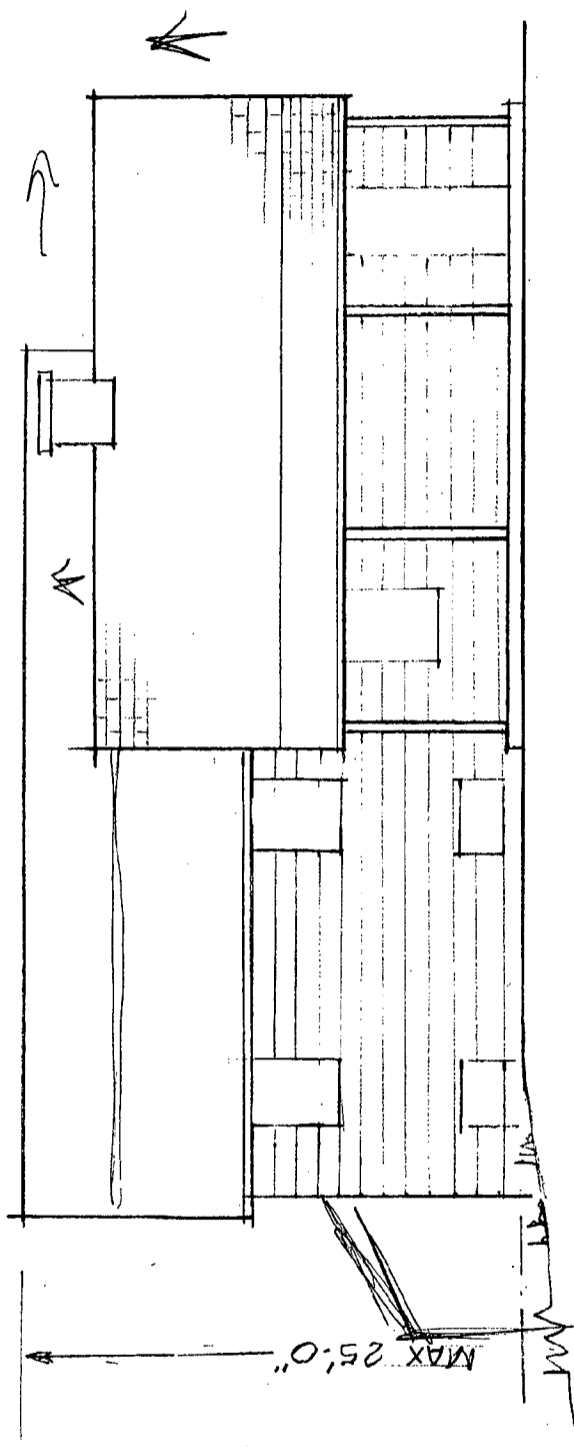
Ronald ABU 1997

spaces & driveway?

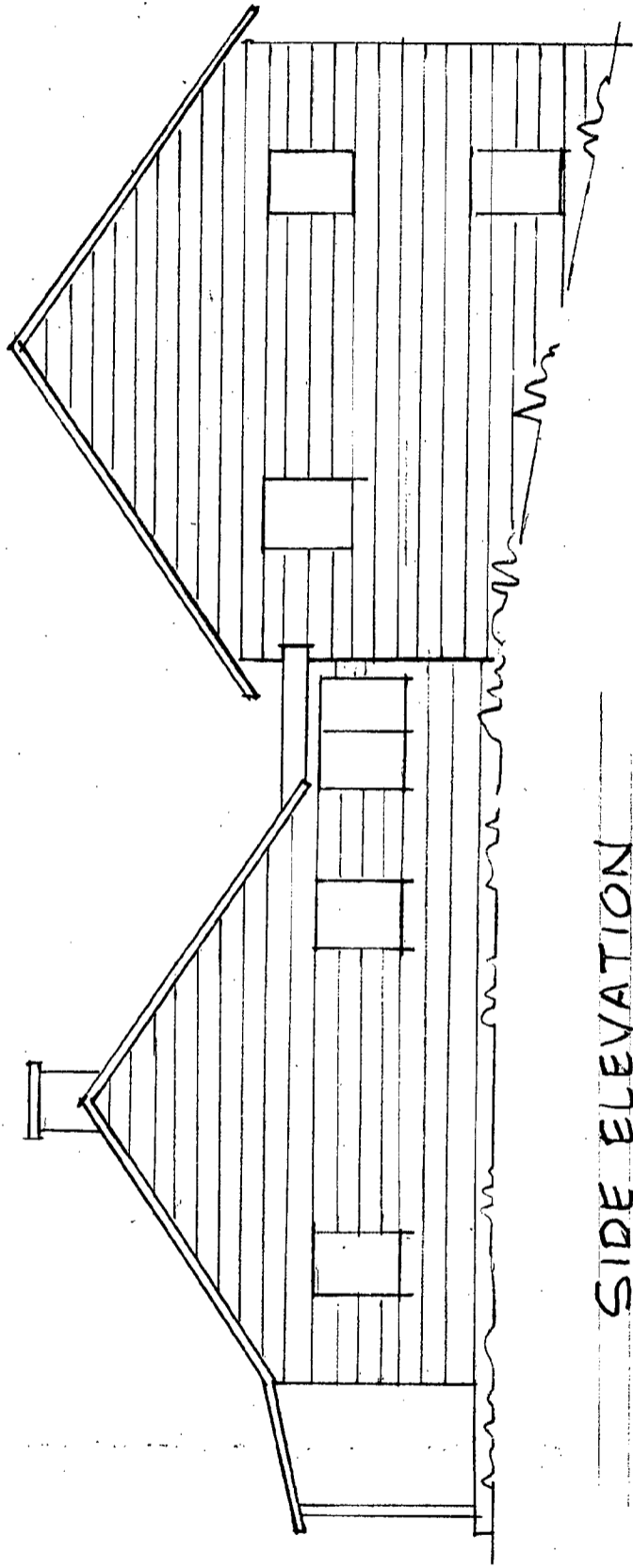
HAWKINS LANE



SITE PLAN
SCALE: 1"=30'-0"

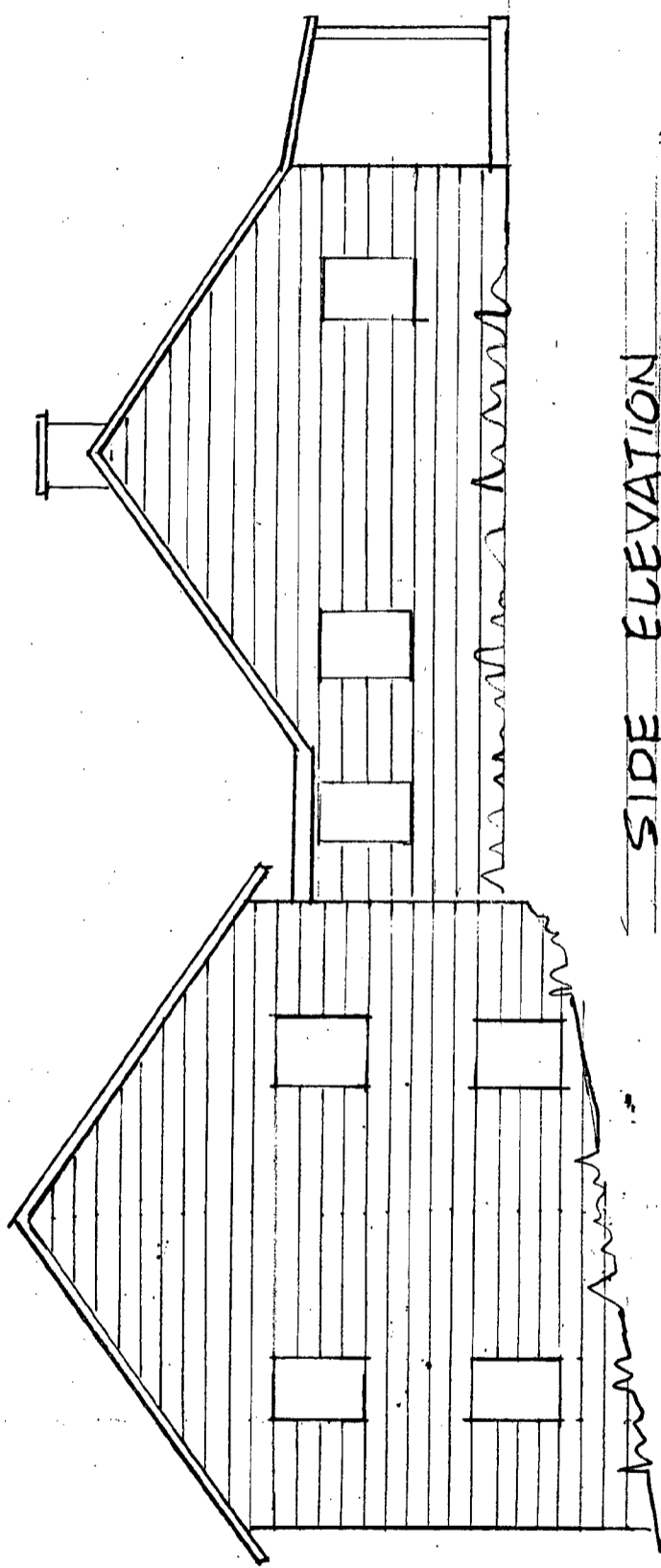


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

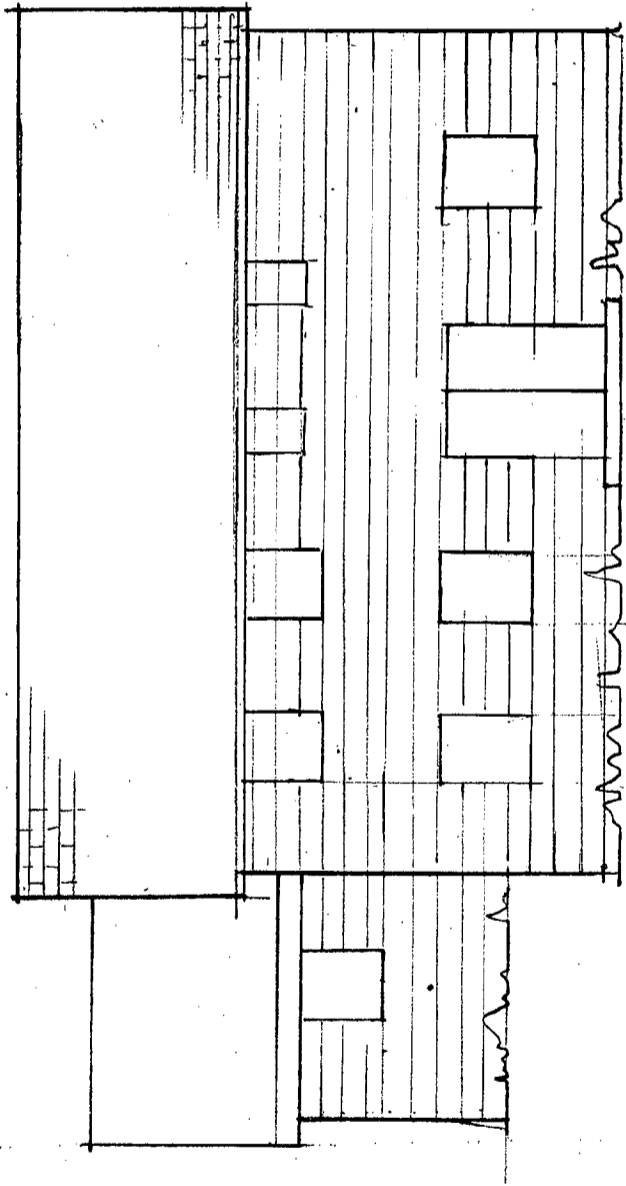


SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

6404 Winnepeg Road
Bethesda, MD 20817
April 25, 1996

Historic Preservation Commission
Maryland National Capitol Park & Planning Commission
Attn: Ms. Patricia Parker
8787 Georgia Avenue
Silver Spring, MD 20910-3760

Re: 8815 Hawkins Lane

Dear Ms. Parker:

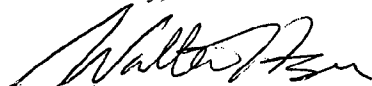
Since my preliminary meeting with the Historic Preservation Commission on March 27, 1996, I have been trying to work with you and the Commission to make a determination on the future plans for the above property. I appreciate the willingness of the Staff and the Commissioners in providing me with guidance and direction, but no plans or meetings have yet materialized.

We met on Friday, April 12th, at which time we concluded that it would be best to schedule a site visit by both the Commissioners and a Commission-recommended engineer. We then spoke again on Thursday, April 18th, at which time you said that such a visit would take place on either April 22nd, April 24th or April 25th. It is now April 25th, and no such visit has been scheduled. I have tried to contact you on several occasions, but I have yet to hear from the Commission staff.

I am writing today to express the urgency in scheduling an appointment with the Commission, as I am financially not in a position to wait indefinitely before proceeding with restoration of the property at Hawkins Lane.

Thank you for your time and I look forward to hearing from you.

Sincerely,


Walter Hsu

Walter Hsu
6404 Winnepeg Road
Bethesda, Maryland 20817
Tel:(301) 530-9500
Fax:(301) 530-2223
March 6, 1997


Ms. Perry Kephart
Historic Preservation Commission
Maryland Capital Park and Planning

Subject: 8815 Hawkins Lane

Dear Ms. Kephart:

This letter is to notify the HPC that Mr. Joe Brennaman has called and left a message on my answering machine on February 14, 1997, that he would not be interested in the project. As you are aware, Mr. Brennaman has expressed interest in the property. He was introduced to us by the HPC. Through our preliminary discussions, he had mentioned that he was interested in working with us and that a plan of moving the home onto another foundation would be a good solution to many of the problems that exist at the property. If you have any questions please feel free to call me.

Sincerely,


Walter Hsu

MEMORANDUM

TO: Chair, Historic Preservation Commission
HPC Commissioners

FROM: Patricia Parker, Preservation Planner *PP*.

SUBJECT: Follow-up Site Visit - Walter Hsu Property (8815 Hawkins Lane)

DATE: May 22, 1996

As a follow-up to an earlier preliminary consultation concerning appropriate planning for the renovation/restoration of 8815 Hawkins Lane, I asked Joe Brenneman to join Walter Hsu and me at the property today. Walter Hsu described problems that he was most concerned about as we inspected the exterior and interior.

Walter Hsu was advised that from our observations, the house was not irreparable. Framing is square, the roof needs replacement and site work needs to be done to abate water problems, some structural framing may need replacement or sistering and the foundation walls appeared to be in good condition. He was also advised that if he removed the existing asbestos siding to reveal the wood clapboard and paint the clapboard, he could be eligible for Montgomery County's Tax Credit Program. Structural work could take place and the house could be repaired inside-out.

Walter Hsu will continue discussions with Joe Brenneman and meet with HPC staff in the near future once he decides on an appropriate scope of work. Walter was reminded that demolition is only considered in cases in which a property is determined to be beyond repair. Joe Brenneman and I felt that this property was **not** beyond repair and that it could be restored. Staff would also be willing to consider review of a small rear addition when the property owner decides to file a HAWP for HPC review.

cc: Kim O'Connor, President
Hawkins Lane Historic District Committee

MEMORANDUM

TO: Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910

FROM: Kimberly M. O'Connor, 8807 Hawkins Lane
Hawkins Lane President
Victoria L. van Roden
Hawkins Lane Secretary

DATE: March 26, 1996

SUBJECT: 8815 Hawkins Lane, Dog Patch

I, Kimberly Mills O'Connor, notified the residents of the Hawkins Lane Historic District of the subject of the HPC meeting on March 27th. Some residents said that they would attend. For the residents that said they would not be able to attend, Victoria and I collected the following thoughts and opinions.

Mark and Anna Heffernan, Jones Bridge Road, said they would not be opposed to the demolition of Walter Hsu's house, if the county found that the structure was unsound, from an engineering standpoint. They said they were more interested in any future housing structure that is planned for this property.

Carey Hoobler, owns 8816 Hawkins Lane, said basically the same thing as the Heffernans.

Victoria van Roden and Carolyn Pilling, Jones Bridge Road, were of the same opinion as the Heffernans and also stated that they are very interested in reviewing any future plans for the Dog Patch Property prior to HPC approval and construction.

Al Jenkins, 8822 Hawkins Lane, said if the house isn't worth saving... tear it down and when a new house is built he would like to see it relocated north and farther back on the lot.

Jackie Fowler, 8810 Hawkins Lane, said she that her opinion, as always, is no changes. She also said that she would hate to see the house go as it was one of the original houses. Then she said that she realized that no changes was not really possible and if the foundation was really shot and it would be too difficult to fix it, she hoped that any replacement house would be scaled appropriately.

Tom Albrecht, 4117 Jones Bridge Road, was of the same opinion as the Heffernans, Carey Hoobler, Victoria van Roden and Carolyn Pilling.

Myself, Kim O'Connor, 8807 Hawkins Lane. I have a similar opinion as most of the other residents listed in this letter. I would also like to state that I have been in 8815, Dog Patch. I believe that the 8815, Dog Patch, is not stable or safe. The foundation is terra cotta tile block and in very bad shape. My Husband, Joe, a licensed Home Improvement Contractor, has been in the crawl space under the house and was worried about whether or not the house was going to fall in. The floors are bouncy and feel as if there isn't any thing supporting them. I think that if the HPC sends a structural engineer to look at the condition of the house, they will agree that it is not fixable. We, Joe and I, do not believe that the deteriorated foundation is a recent development but rather has been happening for years and years. We would like to see a replacement house set back and north as Al Jenkins stated to even off the distance between houses in the neighborhood. When we get further into this, I would like to see plans and perhaps help with ideas to bring back the feeling of Dog Patch in a new house.

I was unable to get ahold of Mrs Chambliss who owns 8812 Hawkins Lane.

I got no reply from residents at 8825, 8827, and 8829 Hawkins Lane or anyone else I have missed in this letter.

I was informed that Cheryl Johnson, 8806 Hawkins Lane, would either write her own letter or attend. I was informed that the Camps, 8817, the Shulmans, 8813, and Barbara Glancy, 8823 would attend the meeting so I did not collect opinions from them.

MEMORANDUM

TO: Montgomery Co. Historic Preservation

FROM: Victoria L. van Roden *VLR*
Hawkins Lane Secretary

DATE: March 25, 1996

SUBJECT: Dog Patch Property

The below Hawkins Lane residents (including myself) would not be opposed to the demolition of Walter Wsu's house, if the County found the structure unsound, from an engineering standpoint. Most residences are more interested in any future housing structure that is planned for this property. The Hawkins Lane community is very interested in reviewing any future plans for the Dog Patch property prior to Montgomery Co. approval and construction.

cc: Mark and Anna Heffernan *Jones Bndge*
Cary Hoobler *8816*
Carolyn Pilling

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8815 Hawkins Lane

Meeting Date: 3/27/96

Resource: Hawkins Lane Historic District

Preliminary Consultation

Case Number: N/A

Tax Credit: No

Public Notice: 3/13/96

Report Date: 3/20/96

Applicant: Walter Hsu

Staff: Patricia Parker

PROPOSAL: Demolition - partial or total/or alternatives

RECOMMEND: Further Study

The applicant comes before the HPC to discuss, as a preliminary matter, a proposal to demolish a primary contributing structure at 8815 Hawkins Lane in the Hawkins Lane Historic District. The applicant proposes to demolish the structure due to its deteriorating condition. But the applicant also requests that the HPC offer alternatives to this proposal, if demolition is not approvable. The applicant has included as part of his submittal, an engineer's report of the structural condition of the structure. The applicant has also provided commentary concerning improvements made to the property during his tenure.

The house is situated on the east side of Hawkins Lane, in the middle of the single block historic district set back approximately 15' off the road. The one-story structure is 20' high with a footprint of 950 square feet and occupies 7% of its lot. The lot is over 13,000 square feet with 133' of frontage.

In July, 1993, a proposal from a different applicant, a developer, was reviewed as a Preliminary Consultation by the HPC. It included a proposal to construct two new houses on unimproved property and to **restore the existing house at 8815 Hawkins Lane (Lot #864). The developer also proposed construction of a separate detached garage on this same lot and a new addition to the existing structure.** This specific proposal did not go forward; however, the current applicant ultimately did receive approval to construct two new houses - one of either side of 8815 Hawkins Lane. These houses have been built and are occupied.

The Hawkins Lane Historic District is a unique and important resource in Montgomery County. It is quiet, small in scale, of rural character, and located in an area heavily developed with a substantial number of large, expensive homes. Hawkins Lane is unpaved and the structures at either side of the lane are modest in both size and price. New construction is infill and recent to the district. Hawkins Lane was formerly the home of an all-black enclave, founded as a "kinship community" by former slave James H. Hawkins on three acres of land. Hawkins Lane is now home to a diverse group of homeowners.

STAFF DISCUSSION

Staff feels that the HPC should explore preservation options with the applicant as an alternative to a proposal for demolition. Staff does not feel that it could recommend that the applicant proceed to HAWP submission unless a proposal to restore the existing dwelling was put forth. In the past, the HPC has approved demolition of historic structures, but this has been done rarely and with great reluctance. In such cases, the HPC approved demolition because the structure was clearly beyond repair. Also in these cases, the issue of the amount of historic fabric that would remain after renovation was completed became an issue and a part of decisions concerning demolition.

The applicant states that the exterior walls are without insulation, the roof is leaking, main water lines are broken and the interior wood members suffer from moisture. Staff does not believe that these are insurmountable impediments to renovation and feels that, if the applicant were to leave the exterior in place and restore the house from the inside out, then a substantial amount of historic fabric would remain. The applicant could even proceed with replacing the roof with matching roofing materials without having to apply for a Historic Area Work Permit. Much of this type of work is also applicable for Montgomery County's Historic Preservation Tax Credit.

Unfortunately, the applicant has chosen to vacate the structure. Often, without tenancy in place, deterioration of a resource accelerates and the structure suffers from further deterioration.

The engineering report offered by the consultant, Atlantic Engineers, states that after inspection, he feels the foundation of the house is in poor condition. Further, that the condition of the house's foundation must be remedied in order to address many of the other problems. Staff feels that the foundation can be repaired by jacking the house up from its existing foundation and reconstructing it on a new foundation in the same location. (Guidelines for the Hawkins Lane Historic District state that relocation of existing structures is not compatible with the district. Therefore, removing the house from its foundation and placing it in another location on the site would not be an option.)

Staff also feels that there are solutions to the storm water problem described by the applicant other than demolishing the house. Changing the uneven topography of the land would be counterproductive to the retention of the rural character of the historic district. However, there may be an opportunity to utilize the area immediate to the lane for the purposes of providing a diversion of storm water. Also, it may be necessary to construct low retaining walls within the sideyard to divert storm water which may now cross the property.

Staff notes that as part of the applicant's list of improvements, the source of problems experienced at the foundation - poor drainage - was not addressed either through construction of diversionary measures for storm water management or through limited re-grading. Therefore, staff feels that the applicant has allowed deterioration to continue through and beyond his residency.

The district has already experienced some loss of openness due to new construction by this applicant on lots adjacent to this property. Staff would be hesitant to approve demolition of the resource because it would disturb existing rhythm of solids and voids along the streetscape. In addition, if the house were demolished, any new construction should be required to be equal to or less than the existing footprint of 950 square feet, so that the existing amount of open space is basically retained.

STAFF RECOMMENDATION

In summary, staff recommends that the Commission should **not** recommend that the applicant explore options involving the demolition of the structure - either limited or total demolition. But staff would recommend that the HPC discuss preservation and renovation options with the applicant. The Secretary of the Interior's Standards for Rehabilitation state that "...Deteriorated historic features shall be repaired rather than replaced...."

An addition to the existing house may be possible, but, any new construction should be situated behind the house. The character and fabric of the existing house should be altered as little as possible.

Walter Hsu
6404 Winnepeg Road
Bethesda, Maryland 20817
Tel:(301) 530-9500
Fax:(301) 530-2223
February 15, 1995

Ms. Pat Parker
Historic Preservation Commission
Maryland Capital Park and Planning

Subject: 8815 Hawkins Lane

Dear Ms. Parker:

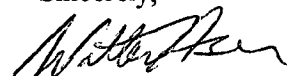
We respectfully request a preliminary hearing for the renovation or new construction of the existing structure at 8815 Hawkins Lane. Pursuant to your recommendation of obtaining a third party engineer, we hired Atlantic Engineers of Wheaton, Maryland to conduct a study of the property. Their findings are stated in the enclosed letter.

One of the major concern with the existing structure is that the foundation is need of major repair. We are asking for direction from the HPC staff as to the course of action to be taken. Below is a list of conditions that need to be corrected at the existing structure.

- No insulation in exterior walls.
- Siding is asbestos.
- Grading cannot be corrected, due to elevation of 1st floor.
- Roof is leaking and needs repair.
- Supply waterline is broken and cannot be repaired unless 1st floor removed. Currently there is a \$574.00 outstanding water bill due to the leak.
- Most all of interior wood as molded

Please be aware that the structure was in need of repair when I moved in. I was a resident at 8815 Hawkins Lane for over 2 years and moved out in August of 1995 due to unbearable conditions. During my stay at the property, I have tried my best to make it livable. I installed a new furnace, air conditioning unit and associated ductwork, painted, installed new carpet, foundation reinforcement work, a sump pump in the cellar is constantly operating, and many miscellaneous items, totalling more than \$13,000.00. If you have any questions or suggestions for the existing structure please feel free to call me. Thank you for your attention to this matter.

Sincerely,



Walter Hsu

ATLANTIC ENGINEERS

95-90

11228 GEORGIA AVENUE, WHEATON, MARYLAND 20902
TELEPHONE: AREA CODE (301) 946-5300

ALVIN R. SCHWAB, P.E.

Consulting Engineers

December 15, 1995

Mr. Walter Hsu
6404 Winnepeg Road
Bethesda, MD 20817

SUBJECT: House at 8815 Hawkins Lane
Chevy Chase, Maryland

Dear Mr. Hsu:

On December 14 I inspected the subject property and have the following to report:

1) The foundation is in very bad condition. The original clay tile is cracked and crushed in many places and in addition the top course visible in the small cellar is laid cross-wise. There have evidently been some attempts to reinforce the foundation with concrete block and this is also showing the stress and the lines between the concrete tile are in parallel, indicating that the wall itself has tipped outward.

2) The concrete slab on the front porch has cracked badly and has settled. This was apparently caused by settlement of the foundation material. The porch posts holding up the roof have displaced and cracked and the roof framing is in bad shape.

3) There are a number of joists visible in the cellar that are damaged and show insect infestation. It is reported that water runs into the basement and around the house and this is not surprising as the grading of the lot is very poor.

4) It is reported that the water line has ruptured and there is currently no water service into the house. Unfortunately, this cannot be remedied as the only access to this water line would be through a small crawl space.

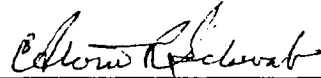
5) There are numerous cracks in the interior walls and this is further evidence of settlement.

6) The floor framing is in bad condition as mentioned above and it deflects severely under walking traffic.

7) In general the entire building is in very poor shape.

It will be impossible to remedy these conditions without removing and replacing the foundation and this, together with taking care of the other items mentioned above, would only be possible if the present house is demolished and rebuilt.

Very truly yours,



Alvin R. Schwab, P.E.

ARS:alt



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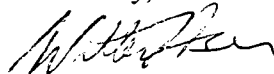
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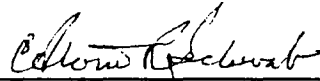
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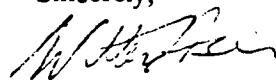
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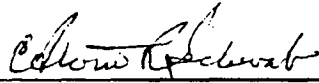
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