

18/42-95A 16112 Barnesville Road
Drury-Austin House

1. Pres wants copies of my slides.

2. Send out HPC grant application.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 16112 Barnesville Road Meeting Date: 5/10/95
Boyd's

Resource: Drury-Austin House Review: HAWP

Case Number: 18/42-95A Tax Credit: Applicable

Public Notice: 4/26/95 Report Date: 5/3/95

Applicant: James S. and Margaret M. Coleman Staff: Robin D. Ziek

PROPOSAL: Rehabilitation of structure RECOMMEND: APPROVAL
w/ conditions

BACKGROUND

The Drury-Austin House is listed in the National Register of Historic Places. It is one of the few buildings left from the settlement period of western Montgomery County, and was built sometime after 1768 by Thomas Drury. In 1804 John Austin moved the log building c1200 feet to its present location. In the early 19th century, the 1-1/2 story frame addition was added to the log structure.

The current Owners have been working through the restoration of this structure for several years, including taking the necessary steps to have the Drury-Austin House listed in the National Register.

PROJECT DESCRIPTION: Foundation and sill replacement, regrading to prevent future damage from surface drainage, replacement of the missing rear wall, roof replacement, front porch reconstruction, and window fabrication [no original windows remain].

STAFF DISCUSSION

The Drury-Austin House has a designated environmental setting of .6 acres, which includes the house and the spring. The Colemans' property totals 30 acres and the Drury-Austin House sits within this acreage. They currently utilize the House as a workshop for Mrs. Coleman's spinning and dyeing activities. They have plans to operate a bed-and-breakfast business with the Drury-Austin House as a cottage. To that end, they are planning to install bathroom facilities in the small rear room (see proposed plan).

The Owners are approaching this project as a restoration project, and are using the 1912 photograph to help guide decisions. They intend to obtain new or used hand-hewn logs as replacement logs where deterioration warrants this action. In addition, they plan to maintain all sound siding in place, and repair to the greatest extent possible. They will special order siding as necessary to be milled to match the existing - german siding on the frame addition, and random-width board siding on the log portion. They will put on a wood shingle roof, as shown on the 1912 photograph.

- o Trumble suggests - apply for a local HPC grant for archaeological funding -
- o Get Jim Sorensen out to this site
- o Call El Oker & discuss w/ him - costs, etc.

①

One area which Staff believes merits further discussion relates to the proposed grading plan. The proposal calls for regrading/excavating to address the increased grade around the building and the lack of an adequate crawl space beneath building. With the existing high grade, wood sills are buried and the side door is exactly at grade. All of this brings the wood into close proximity with the soil, increasing water and insect damage. The proposed regrading, on the other hand, could result in the wholesale removal of the top 24" of soil under and around the House. Since most historic artifacts will be found within this matrix, the regrading will preclude future recovery of archaeological data relating to this structure. It is understood that the building was moved to this site in c1804, but this is still an early date for construction in Montgomery County.

There are different options which the Colemans could undertake to address this issue. It may be possible to determine "historic grade", so that materials above level would be considered non-historic and that could be removed without negating the archaeological potential of the site. Another way to proceed would be to sample the site to recover sufficient data to support an archaeological analysis of the site.

Because it is such a small site, the costs for data recovery may be limited. It may be possible to hire a professional archaeologist to manage the project and supervise volunteer excavators. The professional archaeologist would be responsible for writing up a final report and recommending conservation measures for the artifact collection.

STAFF RECOMMENDATION

Staff recommends approval of this proposal with the following conditions: all new windows will be wood, true-divided light; and the bid set drawings will be reviewed by Staff and stamped prior to submission at DEP.

Staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)3:

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located;

and with Standard 2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

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and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

We should write an draft endorsement,
get Orlando to draft endorsement

May 09 1995

New Projects
This Old House (WGBH)
125 Western Avenue
Boston, MA 02134

~~DRAFT~~

Dear Sir or Madam:

I'm writing today on behalf of my clients, James and Margaret Coleman, to propose the use of their renovation/restoration project for your winter 1996 production schedule.

The Colemans own the Drury-Austin House, a National Register property located on their 30-acre sheep farm near the historic town of Boyds, Maryland, just outside of Washington, D.C. in Montgomery County. They have resided on the property for some 15 years, having built a new home sympathetic in massing and detailing to the Drury-Austin House on the brow of a gentle ridge overlooking it.

The Drury-Austin House is a hewn log single pen structure built circa 1768 and moved 1300' to the current location in 1804, when a frame parlor and two ells were added. With the exception of a porch and a rootcellar added in the late 19th century, the house has remained much as it existed 180 years ago, and is the oldest known unimproved structure in Montgomery County.

It is our opinion that the house would be an exceptional candidate for your program. Its hewn log pedigree places it squarely within a building tradition whose origins in the mid-Atlantic states were adopted, adapted, and carried west and south over the course of the 19th century by waves of immigrants. It therefore represents a frequently found historic building type throughout the rural communities of a large region of the United States. The "log cabin" has a special, almost mythical place in American culture and an exploration of this cultural technology and its fascinating history through the vehicle of a *This Old House* renovation would, I believe, be a compelling subject for your audience. Moreover, as a unique building technology not native to the Northeast, the restoration of a typical mid-Atlantic hewn log house would significantly increase your fine program's breadth of scope.

Our renovation/restoration program includes a little bit of everything, all of which would be eminently germane to your audience. Some significant structural stabilization, repair, and reconstruction is required in the log pen; there will be some archeology involved in regrading the site appropriately for the building's long-term health; anticipated functions as a bed & breakfast and wool-spinning studio involve some new construction which has to be complimentary in character to the existing house; new heating, plumbing, and electrical systems are required (none currently exist save for limited electrical in the frame addition); reconstruction of an East Porch, evident in an 1912 photo of the house but no longer existing; and replacement of contemporary materials with historically accurate ones (windows, roofing).

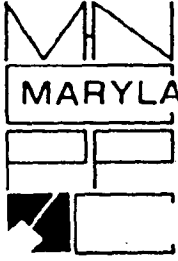
The costs of remote production might be creatively addressed in several ways; there are several contractors in Montgomery County who have quite extensive expertise with hewn-log construction, who might be utilized to staff and coordinate the construction activities on a day-to-day basis. The winters in the Washington Metropolitan area are much more conducive to construction than New England. Snow is uncommon, and rain generally poses the greatest threat to schedules and timing. Washington benefits from fast and frequent Metroliner access to Boston, and also boasts extensive airline shuttle service along the eastern metro corridor from three major airports.

The Colemans, my colleague Richard Chenoweth, and I would be most enthusiastic at the prospect of exploring our mutual opportunities further. We would be happy to provide more information regarding the project (construction documents are currently being completed), and to brainstorm ideas with you to overcome potential impediments and turn them into opportunities.

Please don't hesitate to call with questions or comments as you review this proposal. We look forward to hearing from you, and hope that we may welcome This Old House to the Free State to delve with us into the very special character, history, and mythology of the hewn log house.

Sincerely,

Mark S. Broyles AIA



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Design, Zoning, and Preservation Division
(301) 495-4570 (Telephone)

(301) 495-1307 (Fax Number)

TO: Marcia Miller FAX NUMBER: 410-987-4071

FROM: Robin Zek PHONE NUMBER: (301) 495-4570

DATE: 5/24/95

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 3

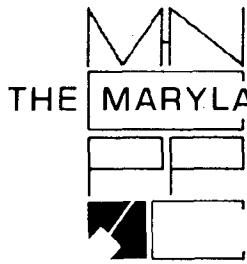
NOTE:

Site 18/42 16112 Barnesville Road

Here's a copy of the letter Owen wrote -

Thanks for your help. Call if any

questions - Robin



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

May 23, 1995

Russell Morash
Executive Producer
This Old House/WGBH
125 Western Avenue
Boston, MA 02134

Dear Mr. Morash:

I am writing, as the Historic Preservation Coordinator for Montgomery County, Maryland, to **strongly** support the idea of using the Drury-Austin House in Boyds, Maryland as a "This Old House" feature during the winter of 1996.

I understand that the owners of this National Register property and their architect have approached you about this project and I would like to recommend it to you for a number of reasons:

1. This house is **very** old and **very** well documented. The owners have done an extraordinary amount of research on the history of the building and understand its development. The house evolved over time and is very representative of an early, rural settler's cabin that expanded as the family grew and became more prosperous.
2. The architectural integrity of building is superb - it has been relatively unchanged for over 180 years. The challenge of the current project will be to retain that integrity, while allowing for additional use of the house.
3. Work on early log structures is a special craft and one that has not received a great deal of publicity. In Maryland, Virginia, and many other states (particularly in the south), there is a lot of current interest in restoring, renovating, and adaptively reusing log buildings.
4. There are a number of craftsmen in Montgomery County who have a nationally-recognized expertise in dealing with log structure. Some of these craftspeople have done major restoration projects for the National Trust for Historic Preservation. They would be major assets in developing and filming a feature on log building projects.

The Montgomery County Historic Preservation Office would be very willing to assist WGBH in any way if the Drury-Austin project is selected as a feature. We can put you in

touch with craftspeople and other useful resource people in the local preservation community, including staff from the state preservation office and the National Trust. In addition, we can provide background information, contextual data, etc.

I feel that a great opportunity exists here to do an unusual and informative segment for "This Old House" - I hope that you will give the idea every consideration. If you have any questions, please call me at (301)495-4570.

Sincerely,

A handwritten signature in cursive script that reads "Gwen L. Marcus". The signature is written in dark ink and is positioned above the typed name.

Gwen L. Marcus
Historic Preservation Coordinator

Pleasant Springs Farm 16112 Barnesville RD, Boyd, MD 20841 (301)972-3452

Douglas Duncan
Montgomery County Executive
101 Monroe ST
Rockville, MD 20850

Dear Mr. Duncan,

Although I am sure you get more than your fill of whining and complaining, I hope you will listen to one more angry, frustrated citizen. Thank you for your response on my previous letter on this subject; I took your advice and wrote to Elizabeth Davison.

The well and septic regulations of Montgomery County are truly unbearable. To review my complaint: my current septic field is approved for a 3-bedroom house. I have a 2-bedroom house. I wish to restore the historic log cabin on my farm and open a 1-bedroom bed and breakfast to pay for this work. The county council and historic preservation commission have been most supportive and helpful to me, assisting my successful efforts to permit this use in an agricultural zone. My architect drew up the plans and my contractor is standing by, ready to go.

However the well and septic regulations are standing in the way, impeding the progress of this new county small business. I am told I must have a new percolation test at \$245 for the application plus an additional \$335 for the permit. To accomplish this I will have to dig four holes, two 15-foot deep holes and two 4-foot ones...in a meadow of dogwood and tulip poplar. Although the well and septic men were sympathetic to this issue, my contractor, Bo Carlisle, said the trees cannot be avoided. As my previous percolation test, performed in the very same area, passed, this seems to me to be absolutely inane, superfluous and repetitive.

Should this new perc test pass, the regulators say I must dig a whole new septic field directly adjacent to the existing one. For \$3000. My restoration money will be nearly gone before I have a bit of restoration!

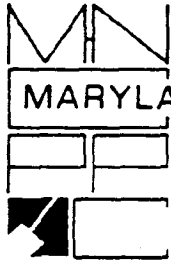
Does this make a whole lot of sense?

Thank you for your interest in the affairs of your constituents! I am so sorry I will miss seeing you at the Boyd picnic. However my shop will be open that day for our fall Yarn on the Farm tour. Please let me know if I can assist you in any way.

Sincerely,

Margaret M. Coleman

cc: Honorable Nancy Dacek and Neal Potter
Gwen Marcus and Robin Zeit, historic preservation commission
Hal Baker, agricultural advisory committee



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 5/11/95

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, ^{GM}Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

CONTACT PERSON MARGARET COLEMAN
 DAYTIME TELEPHONE NO. (301) 972-3452
 TAX ACCOUNT # 11-1-1992870
 NAME OF PROPERTY OWNER JAMES S & MARGARET M COLEMAN DAYTIME TELEPHONE NO. () SAME
 ADDRESS 16112 BARNESVILLE RD BOYDS MD 20841
CITY STATE ZIP CODE
 CONTRACTOR N/A TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. ()

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER SAME STREET _____
 TOWN/CITY _____ NEAREST CROSS STREET SUGAR RIDGE
 LOT _____ BLOCK _____ SUBDIVISION _____
 LIBER 5526 FOLIO 856 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other RESTORATION

CIRCLE ALL APPLICABLE: A/C Slab Room Addition ALTERATION Woodburning Stove Porch Deck Fireplace Shed Solar

1B. CONSTRUCTION COST ESTIMATE \$ _____
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.
Margaret M Coleman Signature of owner or authorized agent April 5, 1995 Date

APPROVED X W/conditions For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date 5/10/95
 APPLICATION/PERMIT NO. 9504140065 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 1/2 STORY, LOG & FRAME DWELLING. LOG PART DATES TO 1768, FRAME TO 1804. 30 ACRE FARM SURROUNDS STRUCTURE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ONE WALL FELL OFF THIS WALL TO BE REPLACED USING MATERIALS WHICH ARE IDENTICAL (OR AS CLOSE AS POSSIBLE) TO ORIGINAL. ADD SMALL BATHROOM IN SPACE ENCLOSED. NO EFFECT ON ENVIRONMENT.

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1. STABILIZE STRUCTURE. STOP ONGOING DEGRADATION. REPAIR EXISTING DAMAGE
2. MAKE STRUCTURE WEATHER-TIGHT USING APPROPRIATE HISTORIC MATERIALS
3. INCORPORATE BATH & SLEEPING QUARTERS FOR GUEST USE

8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

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Margaret M Coleman Signature of owner or authorized agent April 5, 1995 Date

APPROVED _____ For Chairperson, Historic Preservation Commission
DISAPPROVED _____ Signature _____ Date _____

3

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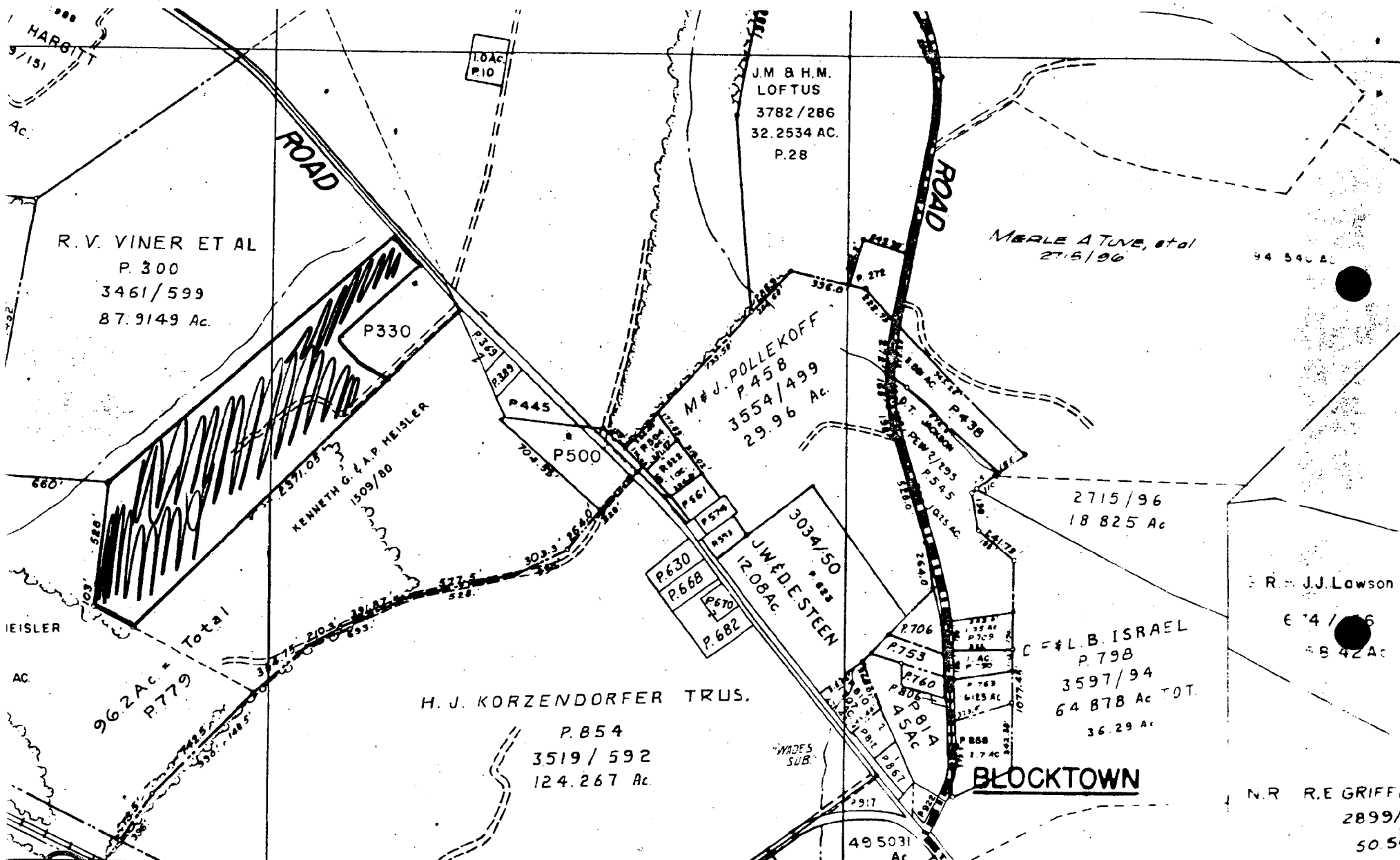
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5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

4



5

DRURY - AUSTIN HOUSE

Materials Specification

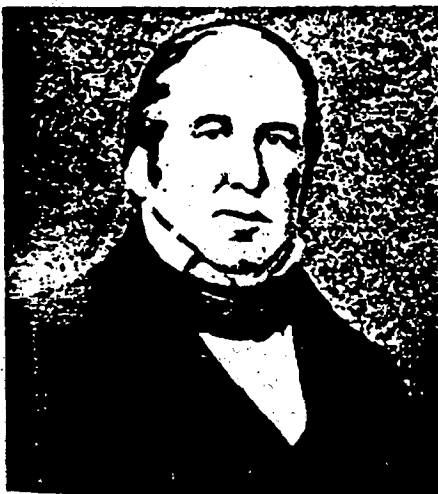
6. Tree Survey

SIZE: 14½ ft circumference

LOCATION: 30 feet EAST of **SOUTHEAST** corner
of house

SPECIES: ACER RUBRUM

14
O.S.



Leonard Hays (1759-1822), the son of Jeremiah Hays, founded the town of Barnesville along with William Barnes. Jeremiah Hays arrived in the area in 1774; 210 years later Barnesville is led by his great-great-granddaughter, Elizabeth Hays Tolbert, president of the Barnesville Town Council. Courtesy of Elizabeth Hays Tolbert

Pictured here is a typical home of the eighteenth-century Montgomery County settlers who worked hard to provide shelter and food for their families. The one-story log section (at left) was built circa 1768. Chestnut logs were cut from the surrounding forest, shingles split from native Virginia cedar, fieldstones gathered for the chimney, and wooden pegs cut and whittled. These local materials were collected and put together to create a house at little or no cost.

The frame part (at right) and the upper story are more elegant, and were built in 1804 with sawn pine siding. The porch and picket fence were added later, too. This photograph was taken in 1912 with the owners, Rhoda, Willey, and Edith Austin, in the foreground.

Water came from the spring, and electricity was never installed. The family grew its own potatoes, eggs, and apples for cider and vinegar; also, it raised its own turkeys and hogs. The cash crop was first

tobacco, and then wheat, which was carted to Darby's Mill in Bucklodge. Despite the intensive labor required to keep body and soul together, Rhoda Austin found time to grow flowers. The house is currently owned by the author and still has no plumbing or electricity. Courtesy of Malcolm Walters



The Austins stored milk, butter, and other perishables in this simple frame house, which was built over a spring, the family's sole source of water. Courtesy of Malcolm Walters

Montgomery County, Georgia History



ARCHITECTS 010

43 Ivy Drive
Star Spang, Maryland
20780
301-388-7314

RICHARD CHENOWETH
ARCHITECTURE

111 MOUNTAIN DRIVE
OLYBE TOWNSHIP, MD 20810
PHONE: 301-388-8888

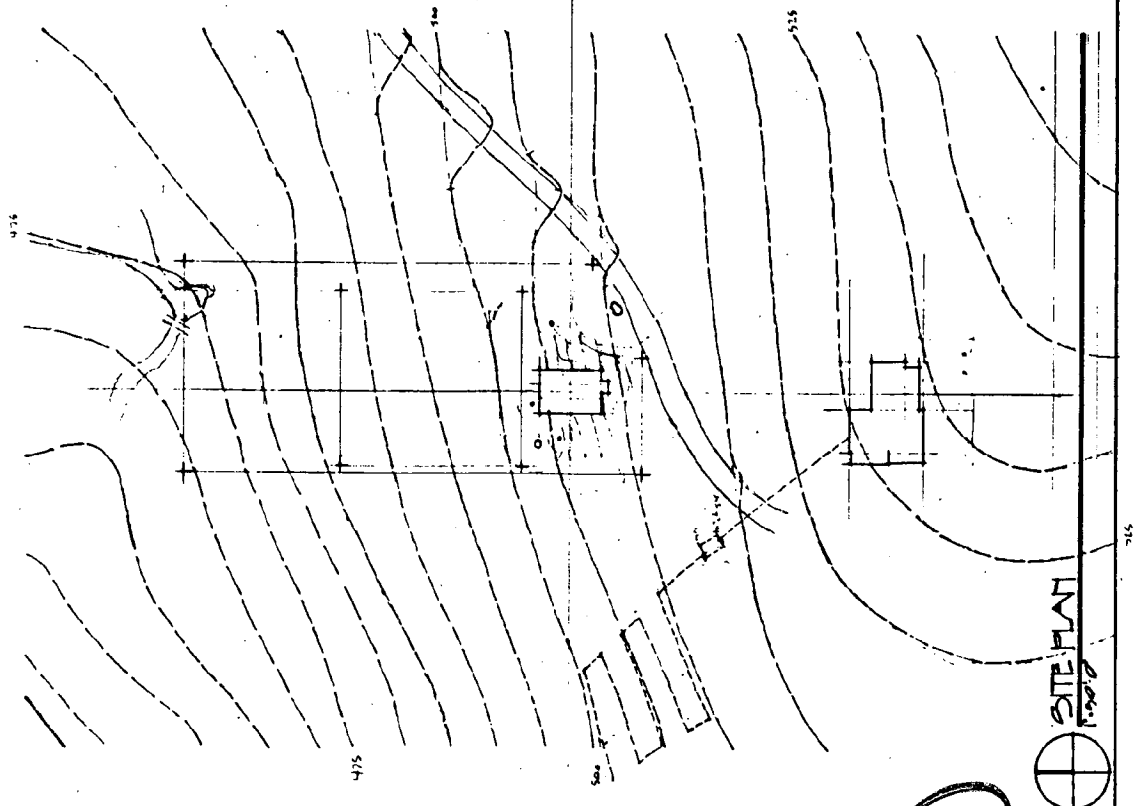
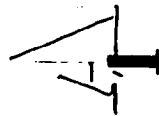
DRURY-AUSTIN HOUSE

Restoration and Alterations

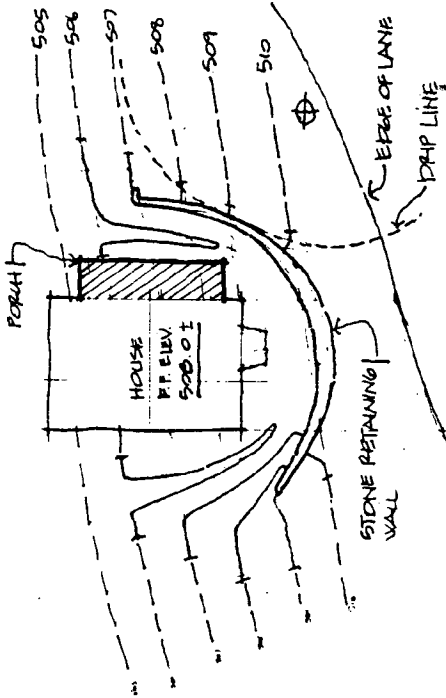
James and Margaret Collins
16113 Riverdale Road
Bryde, Maryland

SITE PLAN

7/00



SITE PLAN



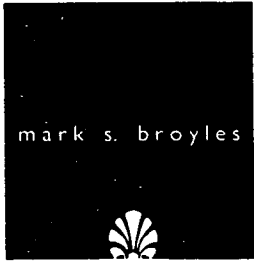
GRADING PLAN



18/42

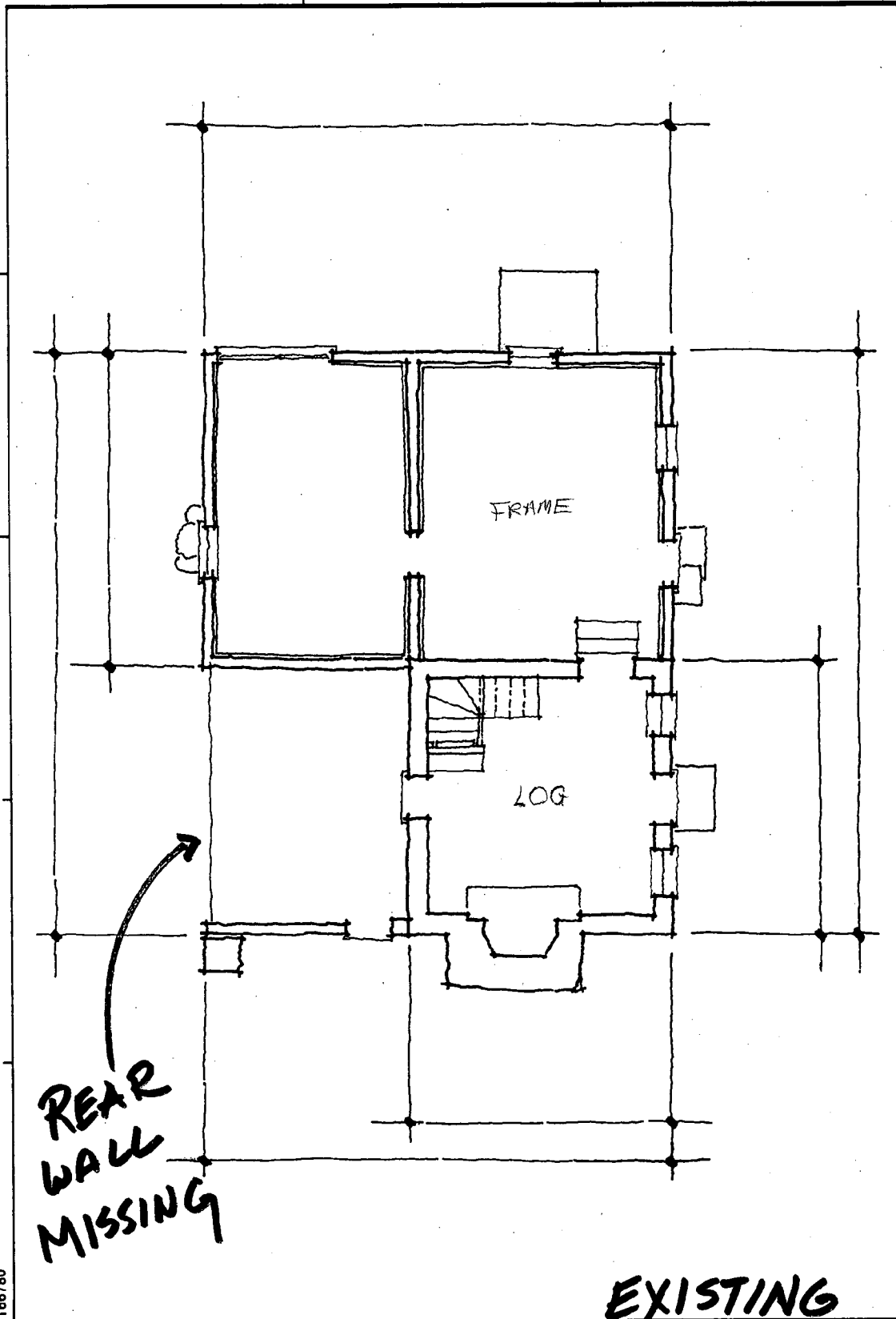
DRURY-AUSTIN HOUSE

01.04.95



architect aia

625 Ray Drive
Silver Spring, Maryland
20910
301 588 7524

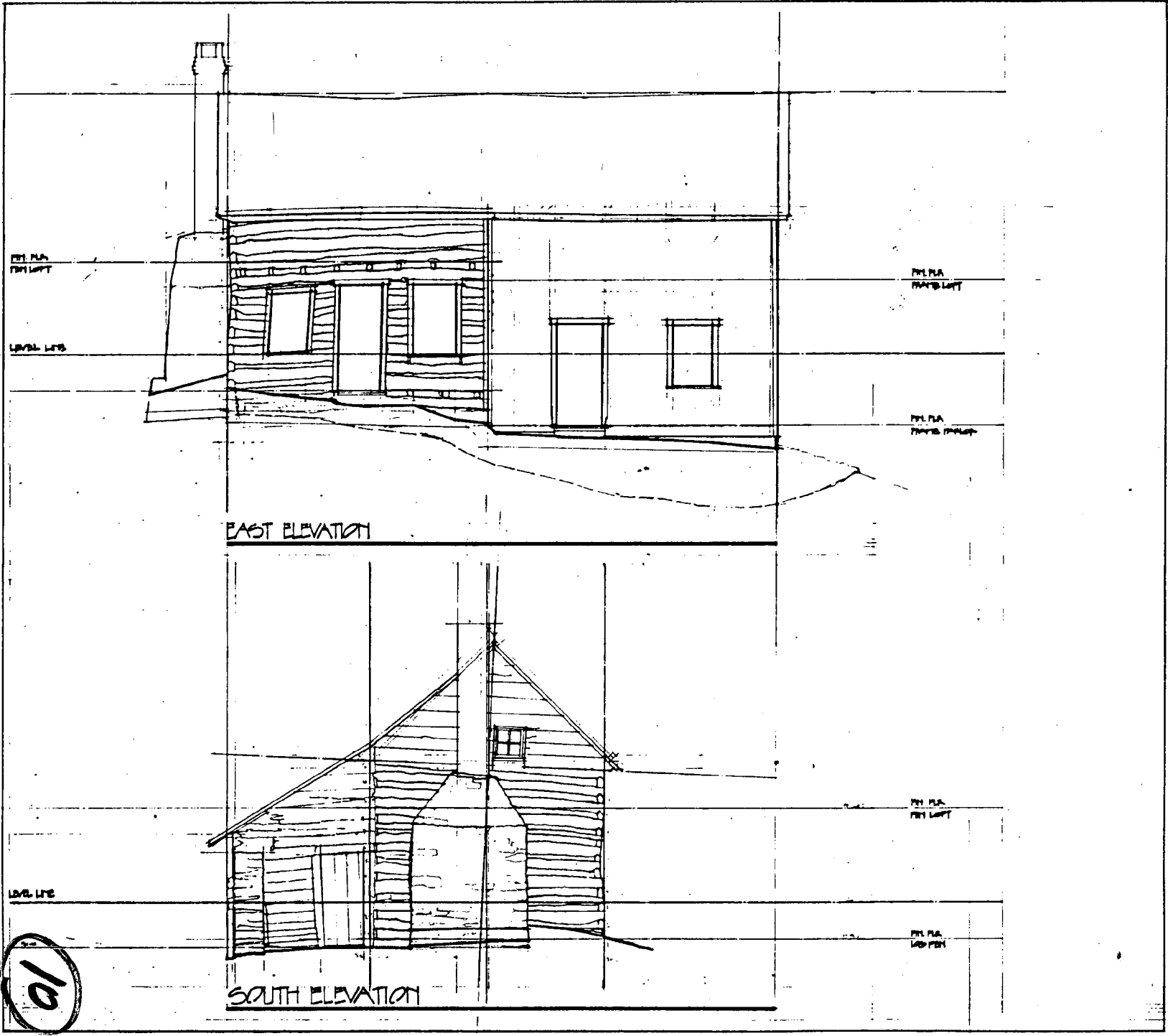


A vertical column of horizontal lines, likely a table or list, positioned to the right of the floor plan.

166780

TCA 301-565-3340

9



EAST ELEVATION

SOUTH ELEVATION

FIN. FLS
FIN. LFT

LVL. LRS

FIN. FLS
FIN. LFT

FIN. FLS
FIN. LFT

LVL. LTR

FIN. FLS
FIN. LFT

FIN. FLS
FIN. LFT

19



425 Ray Drive
Silver Spring, Maryland
20910
301 588 7524

RICHARD CHENOWETH
ARCHITECTS

210 MARGARET DRIVE
SILVER SPRING, MD 20910
PHONE: 301-588-0020

DRURY-AUSTIN
HOUSE

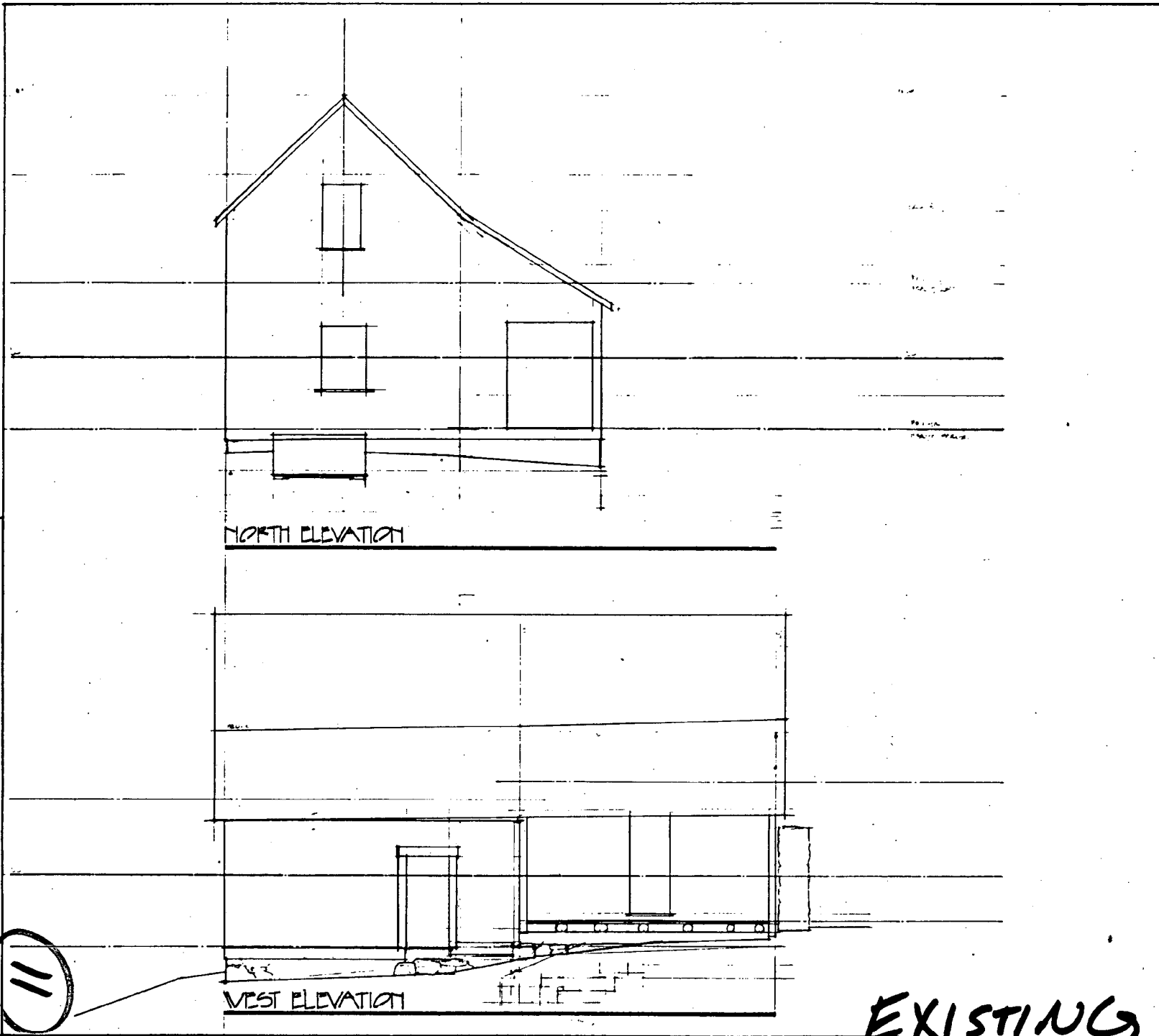
Restoration and Alterations
James and Margaret Coleman
11111 Barnsville Road
Boyle, Maryland

4.5.95

9501

EXISTING CONDITIONS

EXISTING



EXISTING



RICHARD CHENOWETH ARCHITECTURE

625 Ray Drive
Silver Spring, Maryland
20910
301 588 7524

**RICHARD CHENOWETH
ARCHITECTURE**

818 MARGARET DRIVE
SILVER SPRING, MD 20910
PHONE: 301-588-0088

**DRURY-AUSTIN
HOUSE**

Restoration and Alterations
James and Margaret Coleman
16112 Burnsville Road
Hydes, Maryland

4.5.95

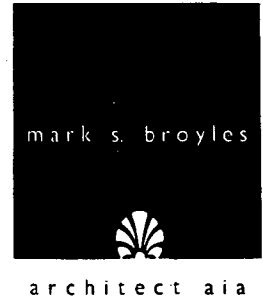
9501

EXISTING COND'S.

Drury-Austin House

Restoration and Alterations

James and Margaret Coleman
16112 Barnesville Road
Boys, Maryland



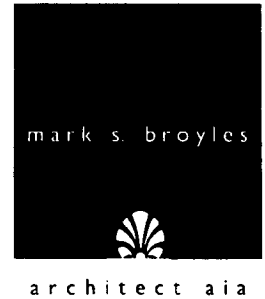
Historic Area Work Permit Documents

LEGEND

1. Regrade site around SE, S, and SW elevations to new lines as shown on elevations to establish new finish grade at 8" min. below all sill logs and untreated wood. Slope grade away from house at a min. 1/4" per foot. Provide new fieldstone retaining wall around uphill side of regraded area, outside of drip line of adjacent maple tree to the SE.
2. Raise SE corner of Log Pen to a position as close to level as structural creep in original logs will allow. Construct new continuous concrete footings under SE, S, and SW walls of house and lay new masonry foundation walls (faced with 6" tuck-pointed fieldstone to match existing) up to meet sill logs.
3. Replace disintegrated sill log at SE, S, and SW elevations with new sill log hand-hewn from oak heartwood (recycled preferable; new timber acceptable) to match dimensions and notching detail of original. Replace logs #1 and #2 as required at these elevations as full inspection and evaluation becomes feasible during site excavation.
4. Rechink and redaub all log joints affected during house-raising. Chinking shall use stone carefully removed from joints prior to jacking. Daubing formula shall conform to the options as recommended by the National Park Service in Preservation Brief #26. Joints shall be designed to present a slightly recessed, sloping and smooth face to the weather to shed water and prevent moisture infiltration.
5. New Sleeping Alcove and Bathroom shall be constructed within the existing structural volume of the Kitchen Ell. New exterior walls shall infill under existing rafter plate line, and shall consist of modern wood platform frame and joists supported by masonry foundations with fieldstone veneer to match that at Log Pen. Exterior shall be sided with heartpine weatherboard, unbeaded, in random exposure widths to match existing in evidence on S elevation and Log Pen gable. Existing siding on S elevation of Kitchen Ell shall be carefully removed, cleaned, and trimmed as required to be reinstalled in fabric of S wall. Siding shall be painted/finished to match existing siding on Frame portion.

Drury-Austin House

Restoration and Alterations



Historic Area Work Permit Documents

LEGEND

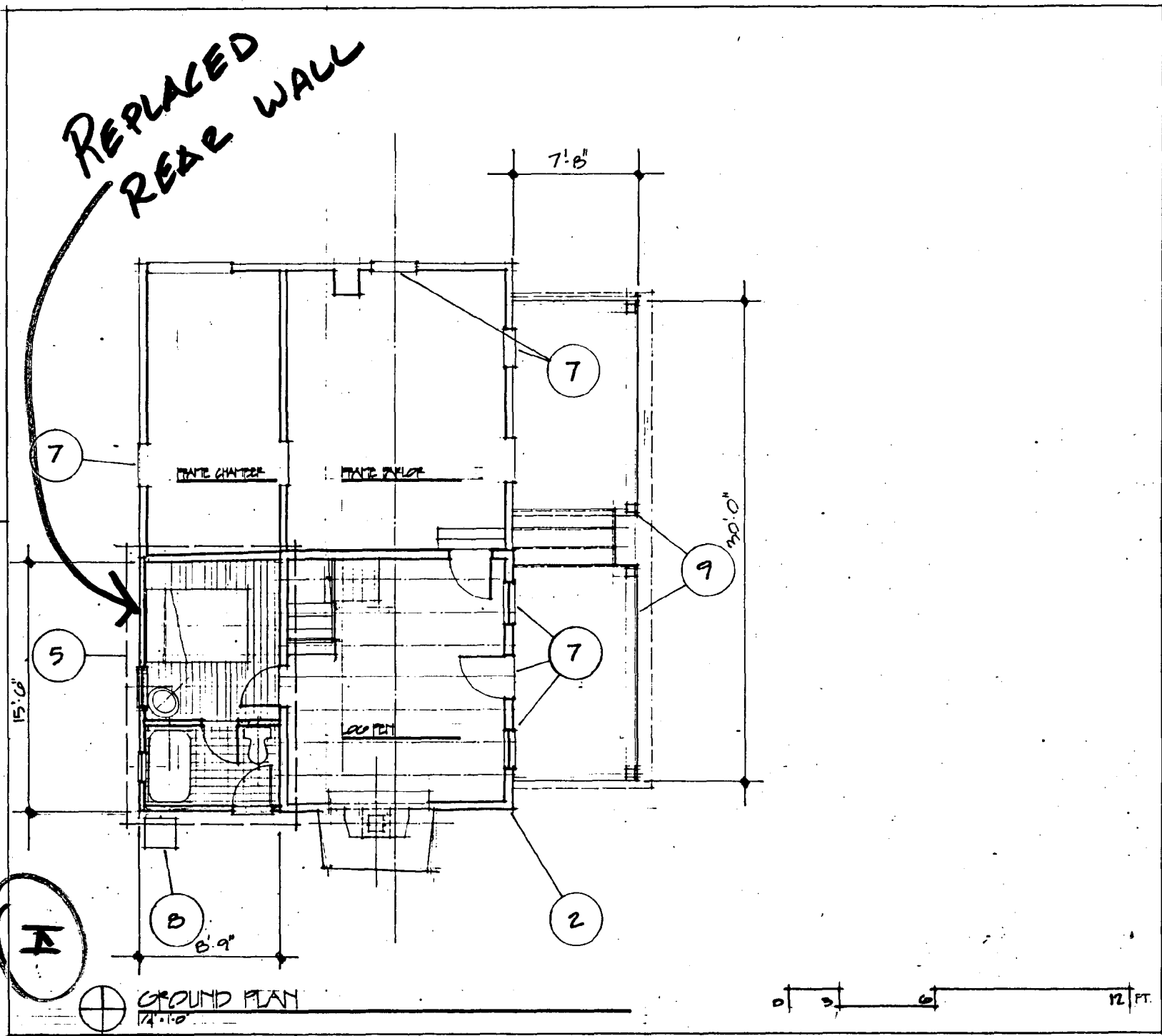
6. New roofing at Log Pen, Frame house, and Ells shall be 24", blue label, western red cedar shingles in pattern to match that in evidence on Frame House in 1912 photograph. 30" sidelapped shingles (as in evidence in 1912 photo) and white oak as a material substitution is desirable if available and economically feasible. New fascia and rake boards shall replace all existing, which are recent and show signs of deterioration. New roof shall be laid on new sheathing boards laid over 3/4" sleepers over existing sheathing to provide for insulation and ventilation between insulation and shingles.

7. New window sash shall be provided at Log Pen and Frame house windows. Since no original or historic windows exist, new sash shall be milled to patterns typical to the early 19th century. Windows shall be made operable and shall conform to the 6-over-6 glazing pattern common to the period. Wood-framed screen inserts shall be provided. New windows at the Sleeping Alcove and Bathroom shall match the reconditioned Log Pen windows in proportion, glazing pattern, molding profiles, and materials. All existing doors shall be carefully refurbished to swing easily and close snugly in their frames. All new hardware shall produce a visual effect as much in keeping with an early 19th century appearance as possible.

8. Existing chimney ruin at SW corner of Kitchen Ell shall be appropriately underpinned during regrading, repointed as necessary, and sealed with a sloping wood-roofed cap to prevent further deterioration.

9. East Porch shall be reconstructed using guidance provided by the 1912 photo and research of typical historic porch appendages to log structures in this region. Porch shall have open roof structure of heavy timber construction. Eave and rake boards shall be 5/4" yellow heart pine, similar to existing. Porch columns shall be 6" square sawn timbers, mortised into main beam. Porch decking shall be T&G heart pine over treated 2x dimension floor joists supported by fieldstone piers. Roofing shall be standing seam terne metal over 1x4 solid wood sheathing.

10. Existing German siding on Frame House shall be repaired and restored to weathertight condition. Care shall be taken to reuse as much original material as possible, leaving *in situ* well detailed and protected materials. Where new material is required for spot-patching, joints shall be scarfed and staggered, materials shall match existing, and coursing shall be aligned. Corner boards and water table shall be repaired and replaced to match existing sections.



ARCHITECTS

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Silver Spring, Maryland
20900
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ARCHITECTURE

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PHONE: 301-588-0210

DRURY-AUSTIN HOUSE

Restoration and Alterations

James and Margaret Coleman
16112 Barnersville Road
Boyle Maryland

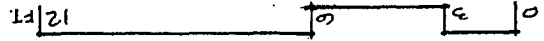
4-5-95

1991



PROPOSED

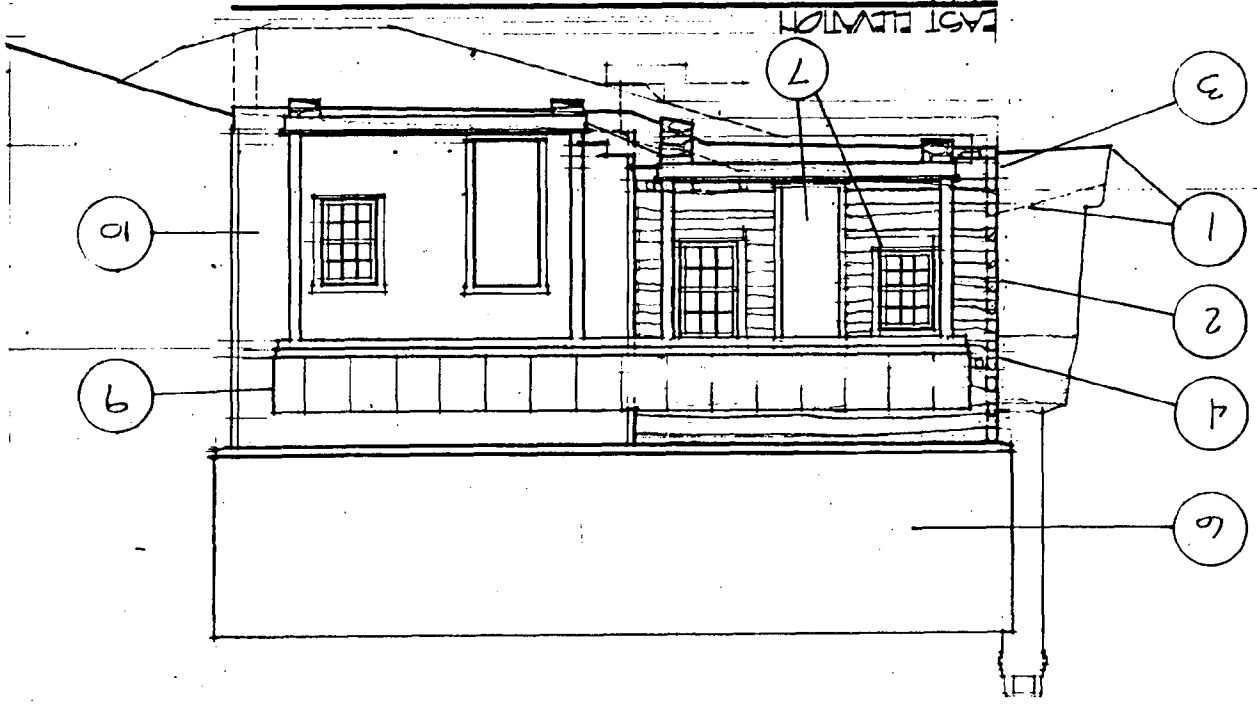
51



1964

4-5-95

EAST ELEVATION

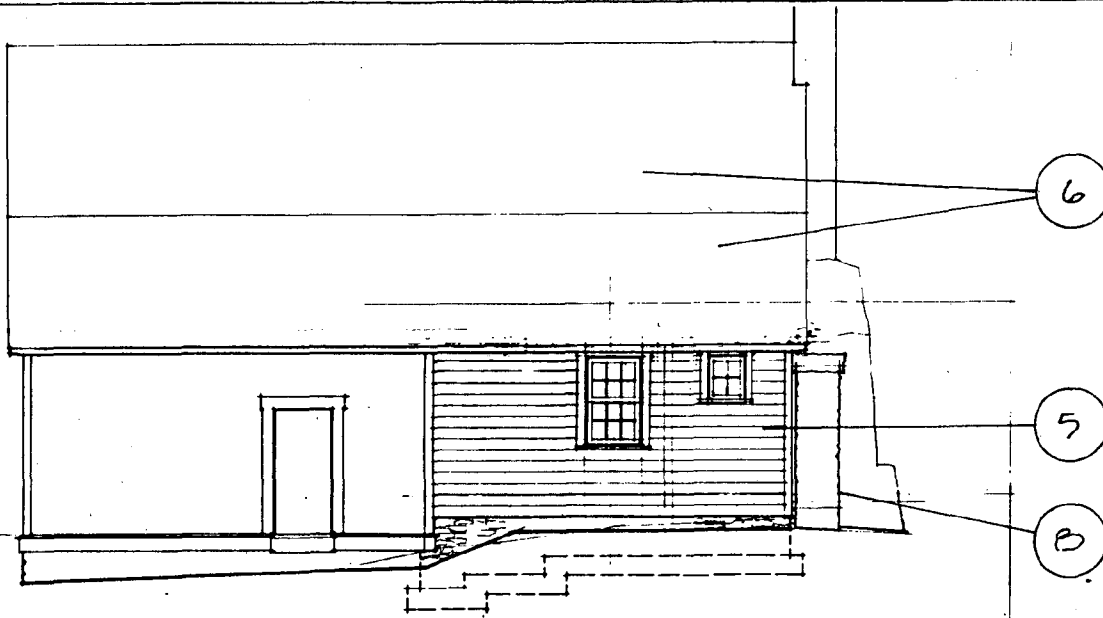


RICHARD CHENOWETH ARCHITECTS
423 Ray Drive
Silver Spring, MD 20910
PHONE: 301-588-0888

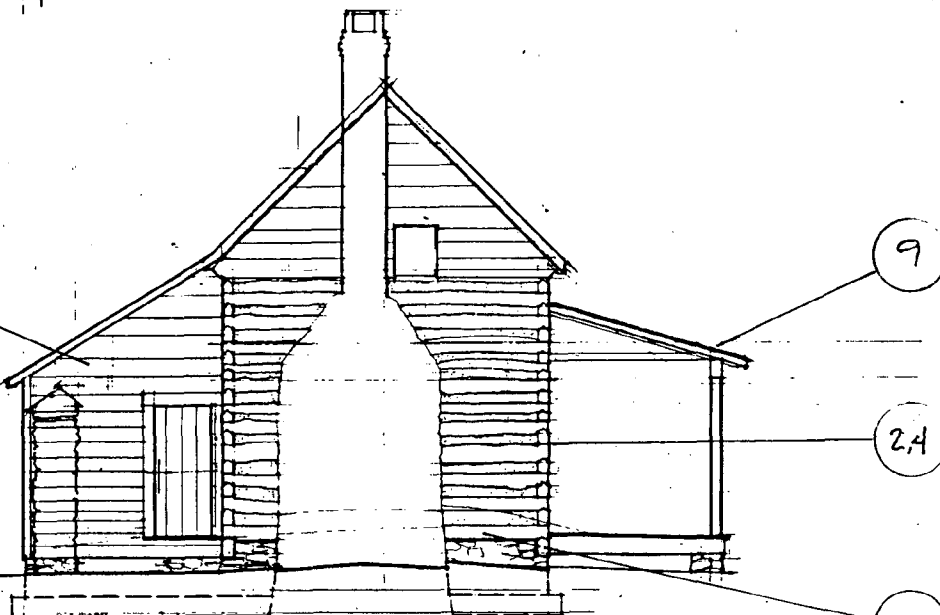
423 Ray Drive
Silver Spring, Maryland
301 588 7324

ARCHITECTS INC.





WEST ELEVATION



SOUTH ELEVATION

0 3 6 12 FT.

91



ARCHITECTURE AIA

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Silver Spring, Maryland
20901
301 588 7524

RICHARD CHENOWETH
ARCHITECTURE

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SILVER SPRING, MD 20910
PHONE: 301-588-0020

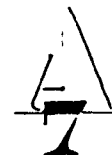
DRURY-AUSTIN
HOUSE

Restoration and Alterations

James and Mary
14112 Removille Road
Boyle Maryland

4-5-95

9501



DROPPED

DRURY, AUSTIN HOUSE
EXISTING CONDITIONS PHOTOS

4.5.95

mark s. broyles



architect aia

625 Ray Drive
Silver Spring, Maryland
20910
301 588 7524



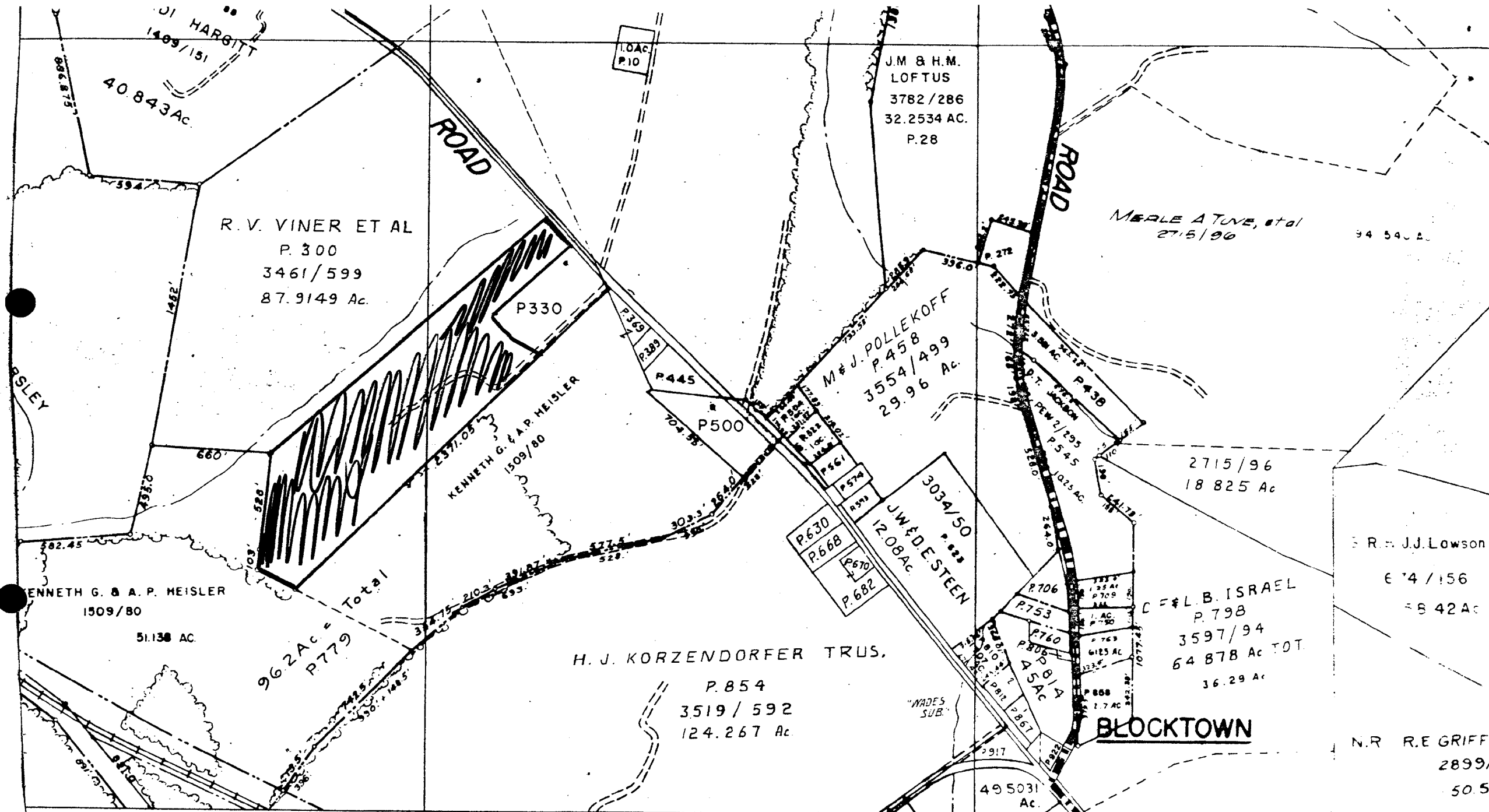
SOUTH ELEVATION



NORTH ELEVATION

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

JAMES S & MARGARET M COLEMAN
16117 BARNESVILLE RD
BOYDS MD 20841, OWNERS. PROPERTY
ENTIRELY SURROUNDS CABIN. CANNOT
BE SEEN BY ANY OTHER PROPERTY OWNER



DI HARBITT
1489/151

40.843 AC

1.0 AC
P.10

J.M. & H.M. LOFTUS
3782/286
32.2534 AC.
P.28

R.V. VINER ET AL
P. 300
3461/599
87.9149 Ac.

MERLE A TUNE, et al
2715/96

94.54 AC

P330

M & J. POLLEKOFF
P. 458
3554/499
29.96 AC

KENNETH G. & A.P. HEISLER
1509/80

P500

2715/96
18.825 AC

KENNETH G. & A.P. HEISLER
1509/80

51.138 AC

R. J. J. Lawson

674/156

8.42 AC

96.2 Ac - Total
P.779

H. J. KORZENDORFER TRUS.

P. 854
3519/592
124.267 Ac

J.W. & D. ESTEN
3034/50
12.08 AC

C & L. B. ISRAEL
P. 798
3597/94
64.878 AC TOT
36.29 AC

BLOCKTOWN

N.R. R. E. GRIFF

2899/

50.5

MARYLAND
HISTORICAL



TRUST

Office of Preservation Services

William Donald Schaefer
Governor

Jacqueline H. Rogers
Secretary, DHCD

May 4, 1995

James and Margaret Coleman
16112 Barnesville Road
Boys, MD 20841

Dear Mr. and Mrs. Coleman:

In response to the request received from Robin Ziek, Maryland National Capital Parks and Planning Commission, enclosed is the information for rehabilitation as per your request:

1. Summary of Direct and Indirect Financial Assistance Programs.
2. Form 502H, Maryland Subtraction for Preservation of Historic Property.
3. U.S. Dept. of the Interior, National Park Service, Historic Preservation Certification Application.

If we can be of further assistance or should you have any questions, please do not hesitate to call us.

Sincerely,

Linda C. Martin for
Sue Hartman, Administrative Aide

LCM/lcm
Enclosures
cc: Robin Ziek



EQUAL HOUSING
OPPORTUNITY

Division of Historical and Cultural Programs
100 Community Place • Crownsville, Maryland 21032 • (410) 514-7627/7628

The Maryland Department of Housing and Community Development (DHCD) pledges to foster
the letter and spirit of the law for achieving equal housing opportunity in Maryland.

