

19/11-94A 19212 Forest Brook Road
Master Plan Site #19/11

**THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION**

**8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20907**

*St. Angelo
Fox / Warren
19212 Four Seasons Rd.
Cermantown
Waring - Crawford Farm*

*HPC #19/11-94A
4/13/94*

















HOA - Management by:

Vanguard Management

Adm: Craig Wilson, Jr.

P.O. Box 39

Germentown, Md. 20875

(301) 540-8600

June 23, 1994

For any HPC case regarding the Waring-Crawford Farm, send notices to all the individuals listed on the attached sheets:

Gwen Marcus

SHEET (B)

LANIER/WITMER ASSOCIATES 224 N. Adams Street, Rockville, MD 20850

ADJOINING PROPERTY OWNERS

Date February 10, 1994

Job No. 91035

Job Name Gunner's Lake Village

Page No. 1

Subdivision Lot, Block or Parcel	Owner's Name & Address	Liber & Folio
<u>Gunner's Lake Village</u>		
Lot 14, Block H	William A. & S.J. Duckett 19214 Forest Brook Rd. Germantown, MD 20874	
Lot 16, Block H	Steven G. & D.J. Futrowski 11908 Rathbone Court Germantown, MD 20874	
Lot 17, Block H	Spencer C. & A.M. Hines 11906 Rathbone Court Germantown, MD 20874	
Lot 18, Block H	James W.&J.L. Quinn 11904 Rathbone Court Germantown, MD 20874	540-9696 (H)
Lot 19, Block H	Robert C. & A.T. Dickmann 11902 Rathbone Court Germantown, MD 20874	972-4291 (H) 417-1091 (W-DIRECT) 948-9870 (W)
Lot 20, Block H	Sharon L. Bramell 11900 Rathbone Court Germantown, MD 20874	
N 505	Carl F. Montuori 2440 Virginia Ave., #801 Washington, D.C. 20037	
Lot 11, Block G	T.D. & L.B. Kirker 19215 Forest Brook Road Germantown, MD 20874	
Lot 12, Block G	Amy C. Calfee 19213 Forest Brook Road Germantown, MD 20874	
Lot 13, Block G	James & D.T. Martinell 19211 Forest Brook Road Germantown, MD 20874	
	JOHN OXENDINE 19216 FOREST BROOK RD.	353-1254 (H)

John & Amie St. Angelo
19212 Forest Brooke Rd.
Germantown, MD 20874

Lanier/Witmer Associat
224 North Adams St.
Rockville, MD 20850

William A. & S.J. Duckett
19214 Forest Brook Rd.
Germantown, MD 20874

SHEET (A)

Steven G. & D.J. Futrowski
11908 Rathbone Court
Germantown, MD 20874

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Germantown, MD 20874

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19213 Forest Brook Rd.
Germantown, MD 20874

James & D.T. Martinell
19211 Forest Brook Rd.
Germantown, MD 20874

Waring Station HOA
Ira Salins, President
18827 Birdseye Dr.
Germantown, MD 20874

Martins Landing HOA
Lisa Flynn, President
18701 White Sands Drive
Germantown, MD 20874

Woodlake HOA
Kalwey Johnson, President
11713 Summer Oak Dr.
Germantown, MD 20874

C.P.C. of Gaithersburg
Brian Kildee
212 Summit Hall Rd.
Gaithersburg, MD 20877

Germantown Citizens Assn.
Dave Coolidge, President
P.O. Box 299
Germantown, MD 20875

Germantown Alliance, Inc.
James Hyatt, President
13220 Executive Park Terr
Germantown, MD 20874

Northern M.C. Alliance
Julius Cinque, Chair
223 Slidell Rd.
Boys, MD 20874

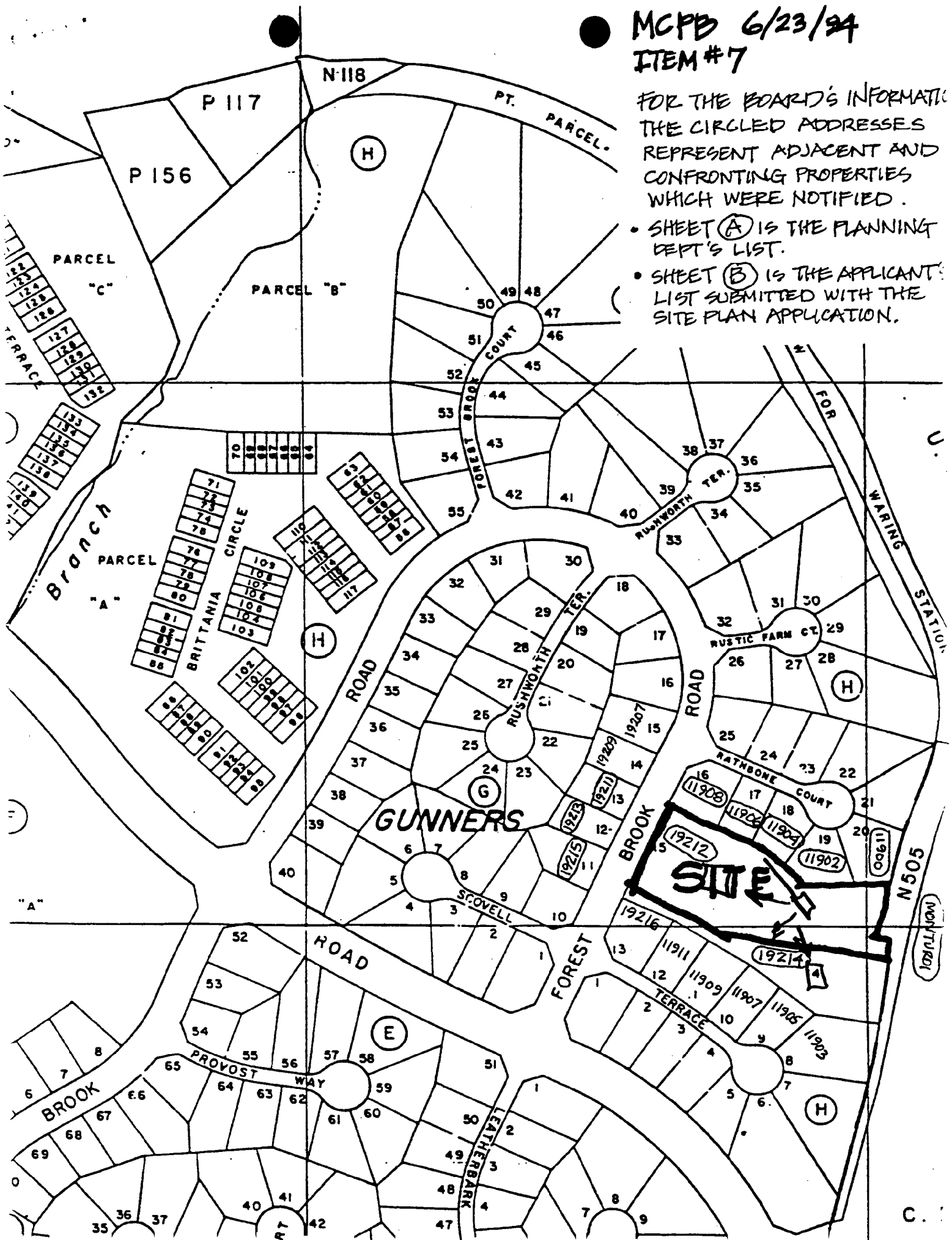
Sugarloaf Citizens Assn
Jane Hunter, President
P.O. Box 381
Barnesville, MD 20838

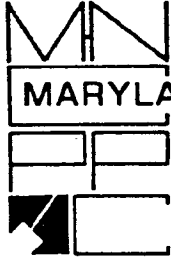
Citizens for the Up-
Co. Ron Wohl, President
14501 Antigone Drive
Gaithersburg, MD 20878

MCPB 6/23/94
ITEM #7

FOR THE BOARD'S INFORMATION
THE CIRCLED ADDRESSES
REPRESENT ADJACENT AND
CONFRONTING PROPERTIES
WHICH WERE NOTIFIED.

- SHEET (A) IS THE PLANNING DEPT'S LIST.
- SHEET (B) IS THE APPLICANT'S LIST SUBMITTED WITH THE SITE PLAN APPLICATION.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

DATE: June 9, 1994

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCDUNT # _____

NAME OF PROPERTY OWNER _____ TELEPHONE NO. _____
(Contract/Purchaser) (Include Area Code)

ADDRESS _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. _____
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number _____ Street _____

Town/City _____ Election District _____

Nearest Cross Street _____

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct <input checked="" type="checkbox"/>	Extend/Add <input type="checkbox"/>	Alter/Renovate <input type="checkbox"/>	Repair <input type="checkbox"/>	Circle One: A/C <input type="checkbox"/>	Slab <input type="checkbox"/>	Room Addition <input type="checkbox"/>
Wreck/Raze <input type="checkbox"/>	Move <input type="checkbox"/>	Install <input type="checkbox"/>	Revocable <input type="checkbox"/>	Porch <input type="checkbox"/>	Deck <input type="checkbox"/>	Fireplace <input type="checkbox"/>
			Revision <input type="checkbox"/>	Fence/Wall (complete Section 4) <input type="checkbox"/>	Shed <input type="checkbox"/>	Solar <input type="checkbox"/>
					Woodburning Stove <input type="checkbox"/>	Other _____ <input type="checkbox"/>

1B. CONSTRUCTION COSTS ESTIMATE \$ _____

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____

1E. IS THIS PROPERTY A HISTORICAL SITE? _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

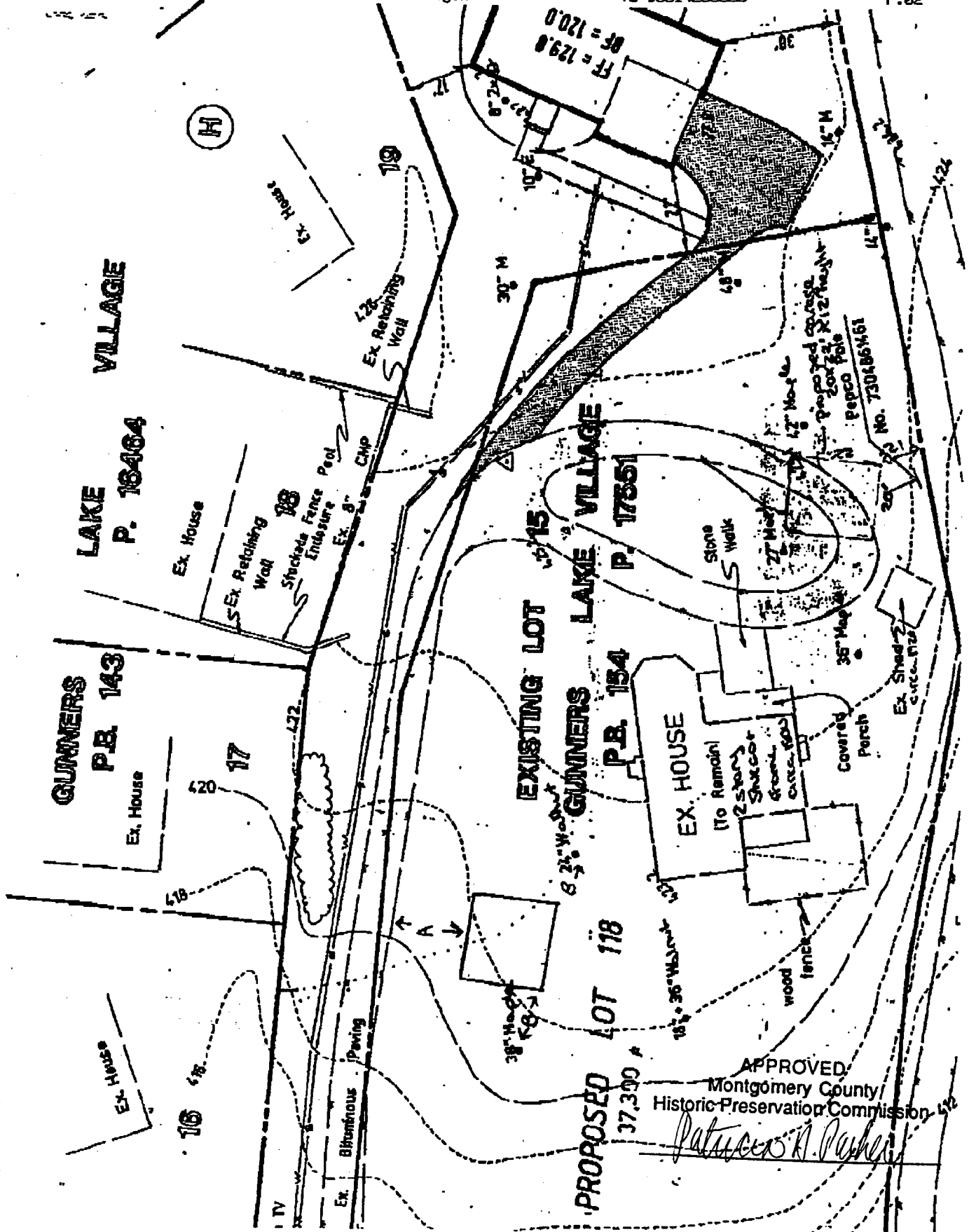
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission
DISAPPROVED _____ Signature Albert B. Randall Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____
DATE FILED: _____ PERMIT FEE: \$ _____
DATE ISSUED: _____ BALANCE \$ _____
OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



GUNNERS P.B. 143

LAKE VILLAGE P. 18464

EXISTING LOT 115

GUNNERS LAKE VILLAGE P. 17561

PROPOSED LOT 118 37,390

APPROVED
Montgomery County
Historic Preservation Commission

Patricia A. Parker

HISTORIC AREA WORK PERMITS CHECKLIST OF APPLICATION REQUIREMENTS

REQUIREMENTS	WRITTEN DESCRIPTION	PROJECT INTENT	PROJECT PLAN	TREE SURVEY	DESIGN FEATURES	FACADES	MATERIAL SPECIFICATIONS	PHOTOGRAPHS	PROPERTY OWNER ADDR.
	*	*	*	*	*	*	*	*	*
NEW CONSTRUCTION	*	*	*	*	*	*	*	*	*
ADDITIONS	*	*	*	*	*	*	*	*	*
PARTIAL/TOTAL DEMO.	*	*	*					*	*
DECKS/PORCHES	*	*	*		*	*	*	*	*
FENCES/WALLS	*	*	*				*	*	*
DRIVES/PARKING AREAS	*	*	*	*			*	*	*
MAJOR LANDSCAP./GRADING	*	*	*	*			*	*	*
TREE REMOVAL	*	*	*	*			*	*	*
SIDING/ROOFING CHANGES	*	*	*			*	*	*	*
WINDOW/DOOR CHANGES	*	*	*		*	*	*	*	*
MASONRY REPAIR/REPOINT	*	*	*			*	*	*	*
SIGNS	*	*	*			*	*	*	*

Please see attached instructions for further details regarding these application requirements.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing Structure is Crawford Farmhouse. Originally log cabin, two story frame dwelling constructed in the last quarter of the 19th century. Environmental Setting is approximately 1 acre, and includes many large, maple & walnut trees. Also there is a storage shed which was a meat house.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Proposed project is the construction of a 2 car detached garage. It's construction should actually enhance the original setting, giving the property a farm look. Originally there were many outbuildings, barns and there was actually one used for vehicles. The construction will look barn-like.

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

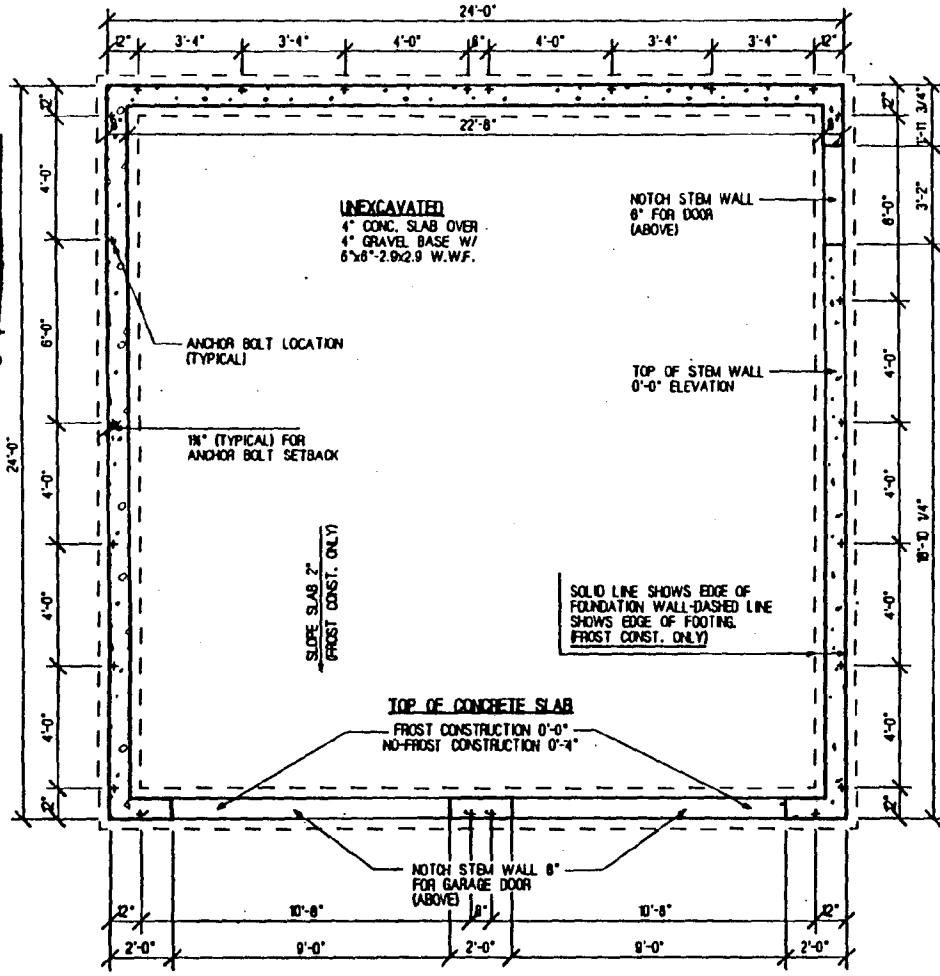
Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

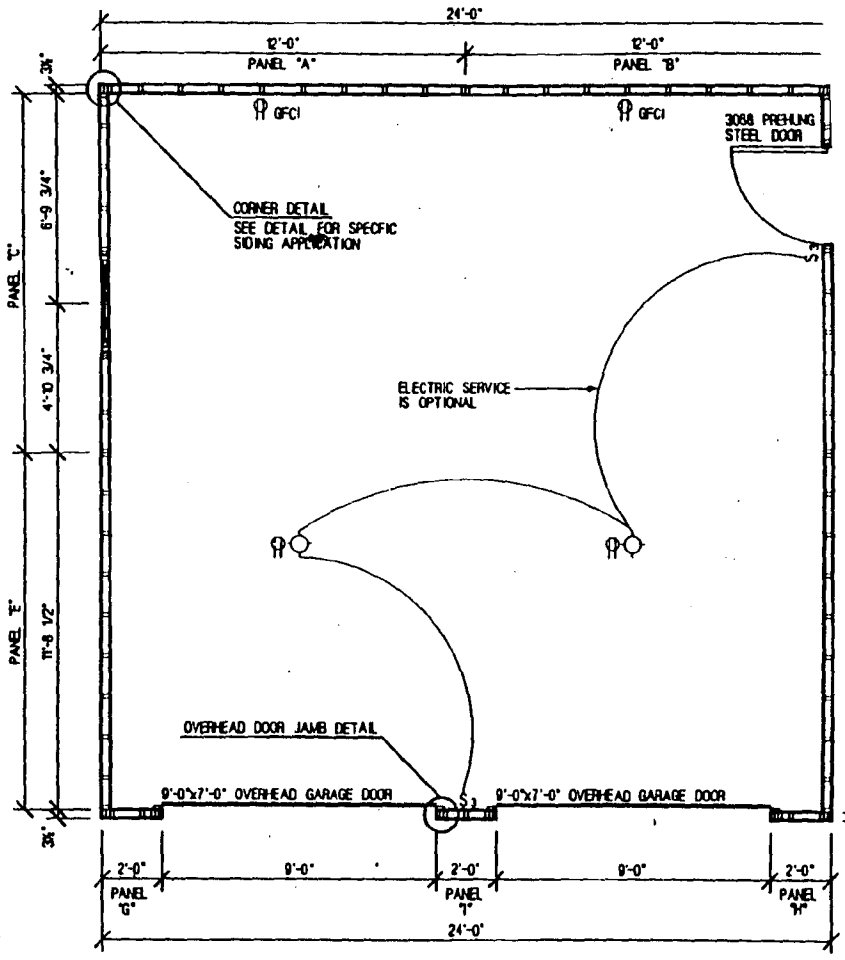
1. Name Tony Duckett
 Address 19214 Forest Brook Rd.
 City/Zip Germantown, MD 20874
2. Name Mr. • Mrs. John St. Angelo
 Address 11808 Morning Star
 City/Zip Germantown, MD 20876

CONSTRUCTION PLANS

APPROVED
Montgomery County
Preservation Commission
Patricia Parker

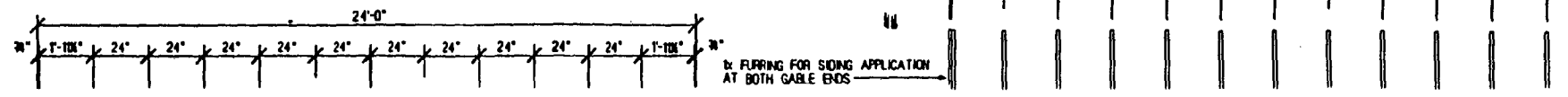


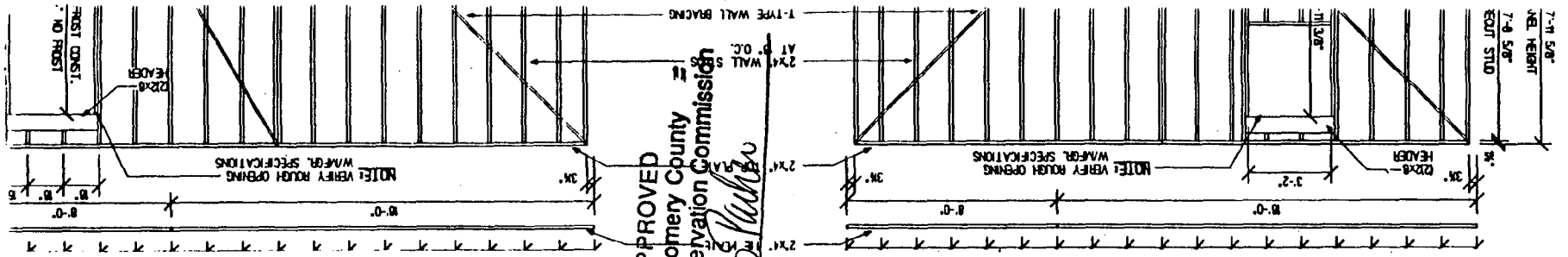
FOUNDATION PLAN SCALE: 1/4"=1'-0"
FROST CONSTRUCTION SHOWN



FLOOR PLAN SCALE: 1/4"=1'-0"
576 SQUARE FEET

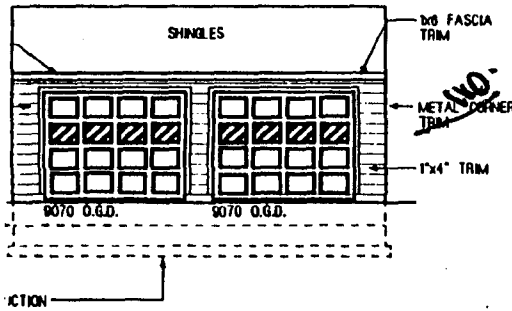
PANEL ELEVATIONS





APPROVED
 Montgomery County
 Historic Preservation Commission
Patricia Kuhn

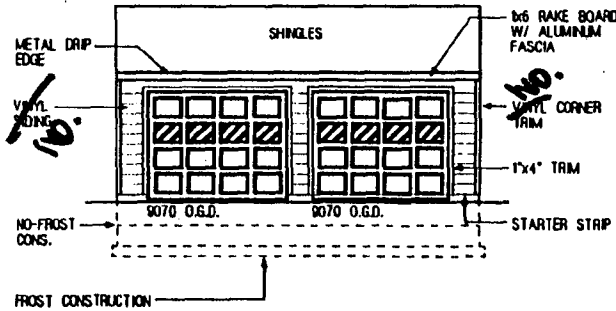
EXTERIOR ELEVATIONS



FRONT ELEVATION

BOARD SIDING

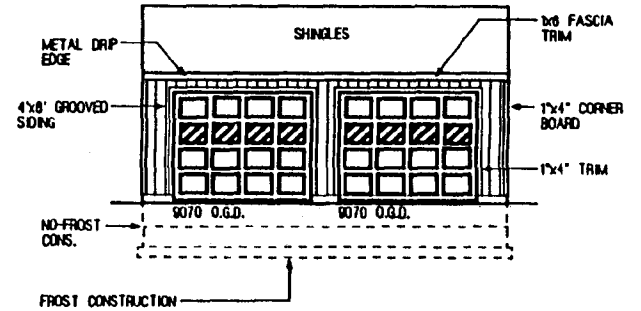
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FRONT ELEVATION

VINYL SIDING

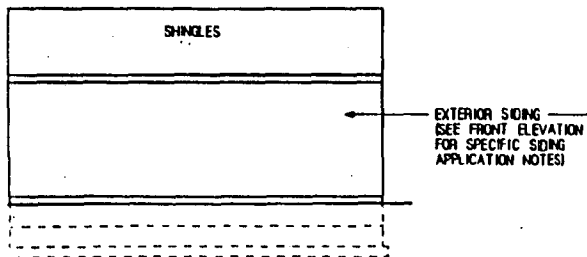
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FRONT ELEVATION

4x8\"/>

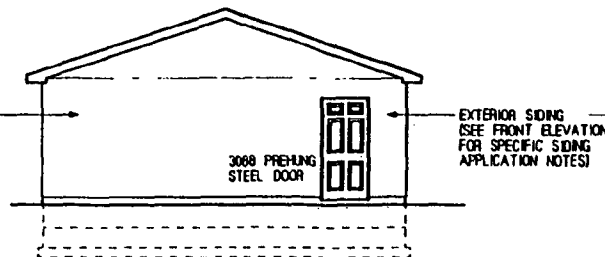
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REAR ELEVATION

4x8\"/>

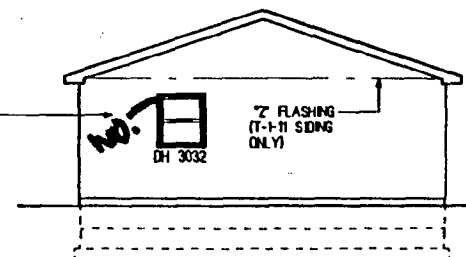
SCALE: 1/8"=1'-0"



RIGHT ELEVATION

4x8\"/>

SCALE: 1/8"=1'-0"

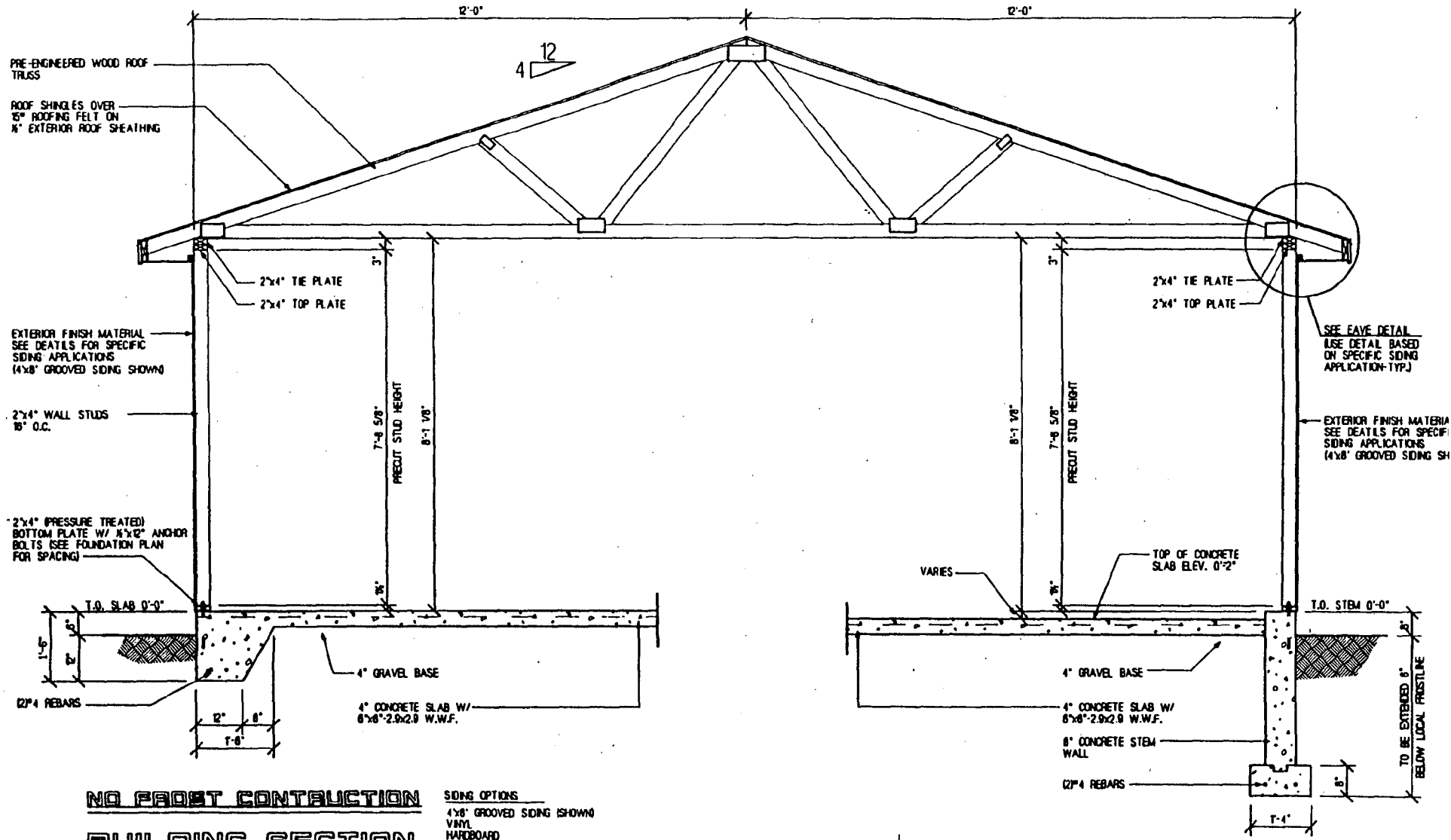


LEFT ELEVATION

4x8\"/>

SCALE: 1/8"=1'-0"

THE ARCHITECT, DESIGNER, OR OTHER PROFESSIONAL PERSONNEL PROVIDING ANY PROFESSIONAL AND/OR "ON-THE-SITE" CONSULTATION, SUPERVISION, AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCE IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS, B4 LUMBER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN OR BLUEPRINTS. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL ARCHITECT OR ENGINEER OF YOUR CHOICE, AND CHECK WITH YOUR LOCAL BUILDING OFFICIALS, PRIOR TO THE START OF ACTUAL CONSTRUCTION.



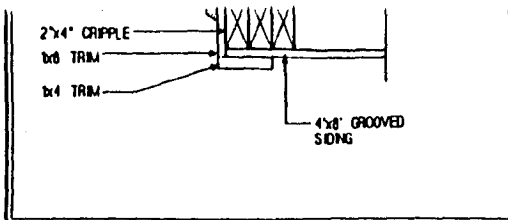
NO FROST CONSTRUCTION
BUILDING SECTION

SIDING OPTIONS
 1/2\" GROOVED SIDING SHOWN
 VINYL
 HARDBOARD

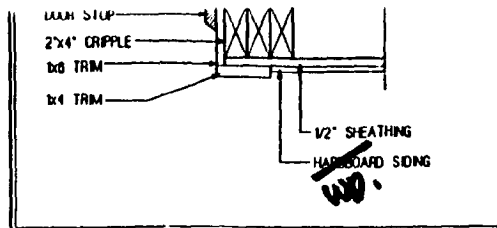
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FROST CONSTRUCTION G 11

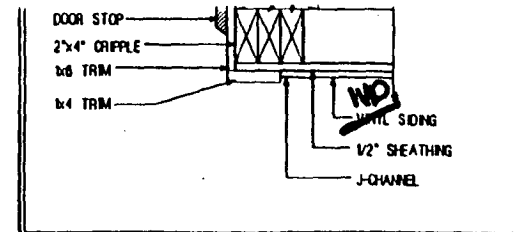
APPROVED
 Montgomery County
 Historic Preservation Commission
Patricia Puler



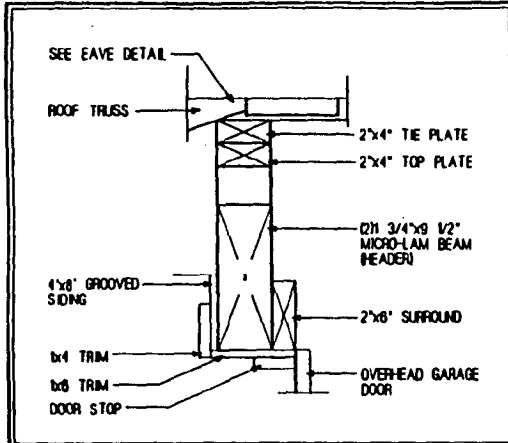
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SCALE: 1 1/2" = 1'-0"



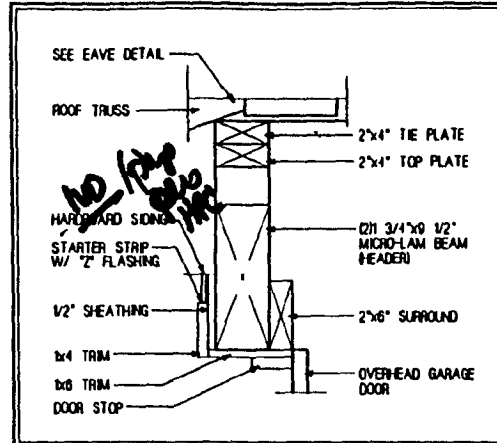
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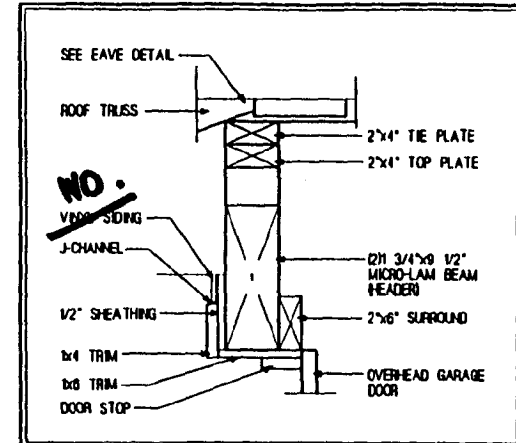
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SCALE: 1 1/2" = 1'-0"



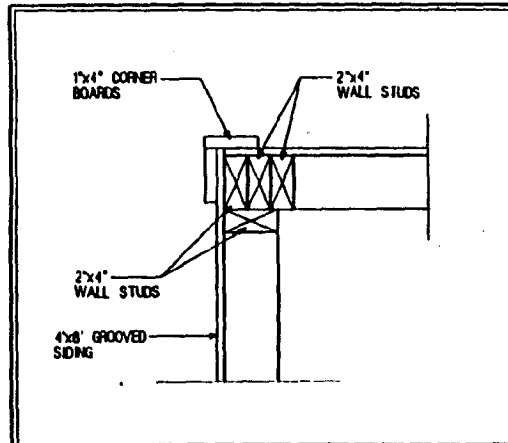
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SCALE: 1 1/2" = 1'-0"



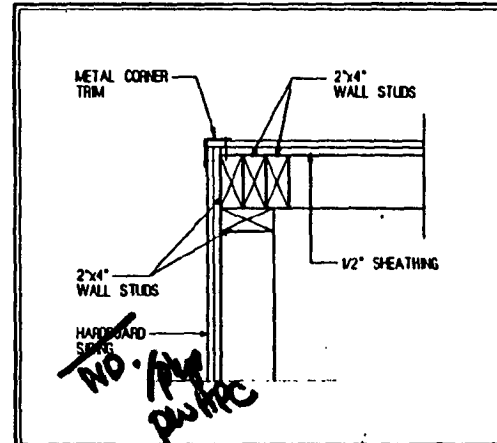
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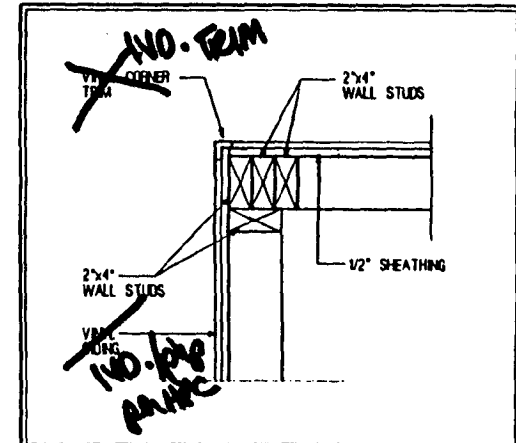
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

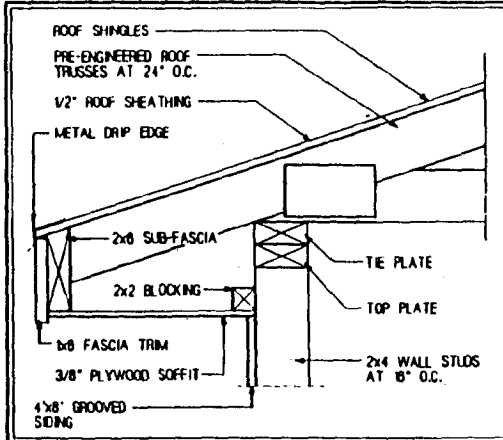


1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Patticia Fisher

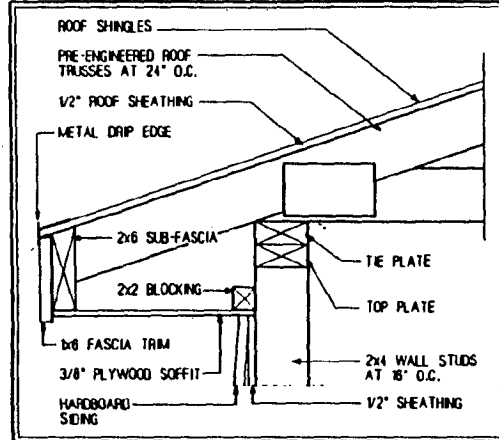
CONSTRUCTION DETAILS

GROOVED SIDING



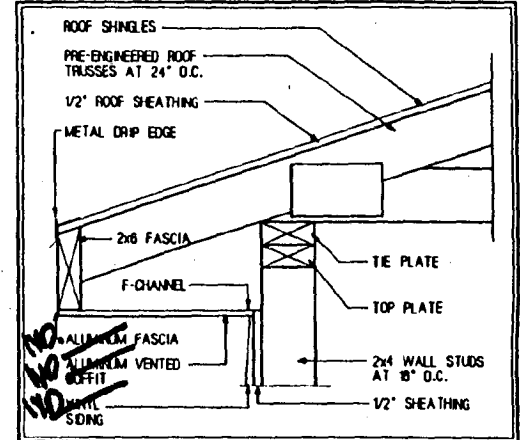
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SCALE: 1 1/2" = 1'-0"

HARDBOARD SIDING

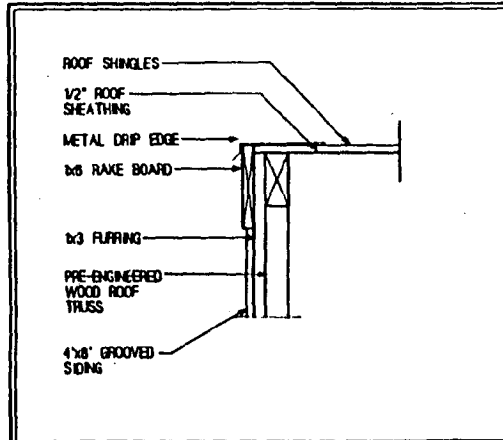


3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

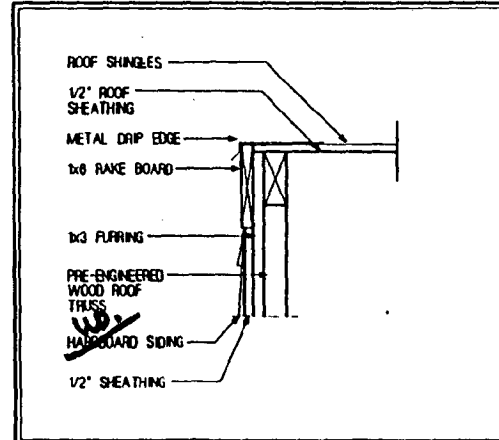
VINYL SIDING



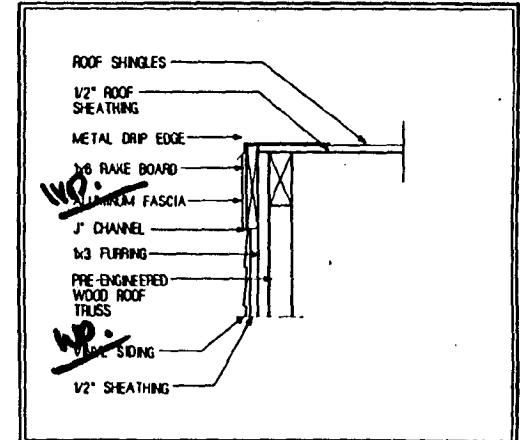
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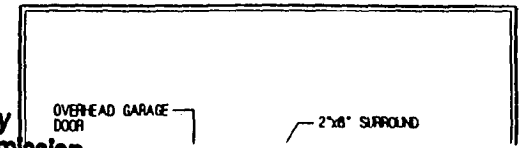
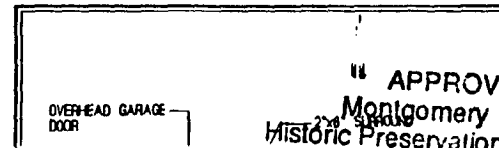
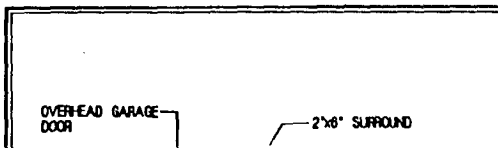
4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



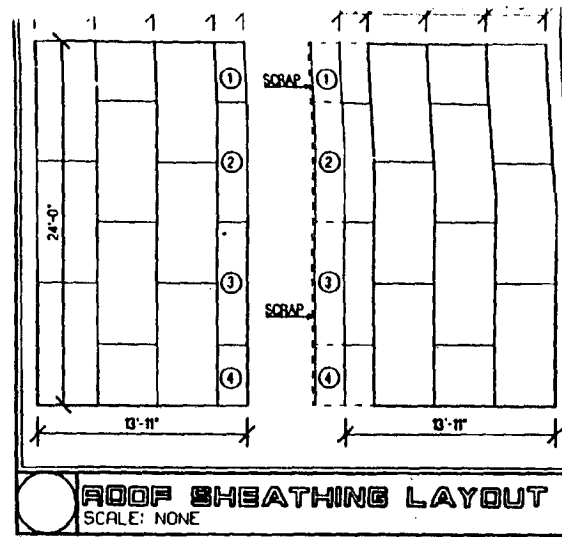
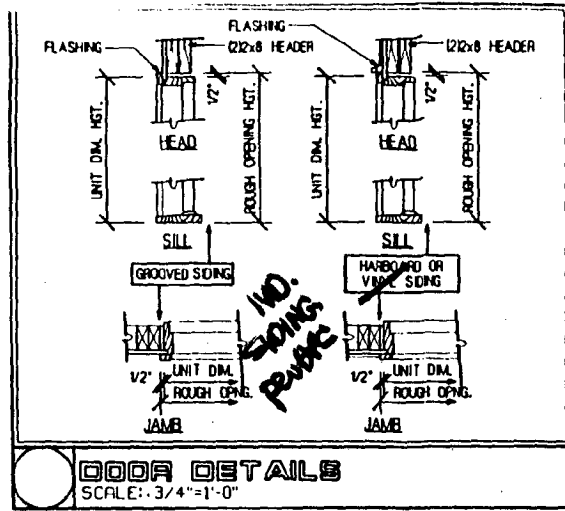
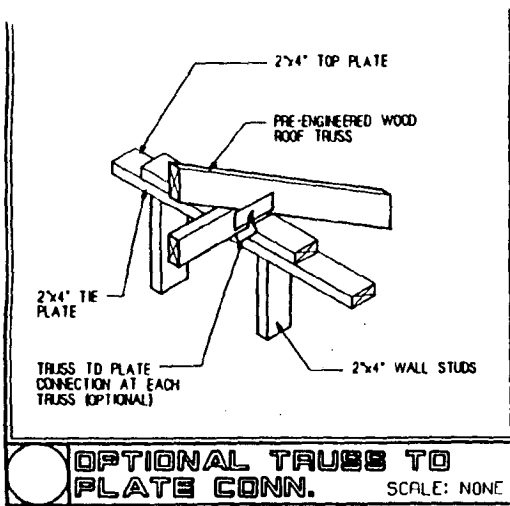
4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



" APPROVED
 Montgomery County
 Historic Preservation Commission
Reticio Nuber



14

APPROVED
 Montgomery County
 Historic Preservation Commission
Patricia Parker

84

24'X24' EAVE ENTRY GARAGE

\$5.84
50268

GROOVED SIDING	81025-99
VINYL	81028-99
HARDBOARD	81027-99

FRAMING PACKAGE 81079-99		
QUANTITY	SIZE	DESCRIPTION
1EA	2X4X8'	WALL PLATE TREATED
6EA	2X4X12'	WALL PLATE TREATED
92EA	2X4X92"*	PRE CUT STUDS & CRIPPLES
6EA	2X4X12'	TOP WALL PLATE
8EA	2X4X16'	TIE PLATE
2EA	2X8X8'	HEADER/SERVICE DOOR & WINDOW
4EA	1 1/2"X9' 2"X10'	MICRO-LAM/OVERHEAD DOOR CDX HEADER/SPACE
1EA	1/2"X4'X8'	OVERHEAD DOOR (SURROUND)
2EA	2X6X10'	OVERHEAD DOOR (SURROUND)
2EA	2X6X18'	DIAGONAL WIND BRACING
6EA	T-TYPE	HEAD JAMB/OVERHEAD DOOR TRIM
2EA	1X6X10'	LEG JAMB/OVERHEAD DOOR TRIM
201B	16D	COMMON NAILS COATED
101B	8D	COMMON NAILS COATED

ROOF PACKAGE 81019-99		
QUANTITY	SIZE	DESCRIPTION
13EA	24"X2"	PRE-ENGINEERED WOOD TRUSSES
8EA	2X4X12'	TRUSS BRACING
24EA	1X3X9'	TRUSS FURRING/GABLE ENDS
21EA	1/2"X4'X8'	CDX ROOF SHEATHING
2EA	15#	FELT PAPER
750	215#	FIBERGLASS SHINGLES
84EA	1/2"	H-CLIPS
14LB	1 1/2"	ROOF NAILS
11EA	10'	METAL DRIP EDGE

GROOVED SIDING PACKAGE 81020-99		
QUANTITY	SIZE	DESCRIPTION
27EA	4'X8'	GROOVED SIDING
4EA	1X6X14'	GABLE RAKE BOARD
4EA	2X6X12'	SUB FASCIA
2EA	1X8X12'	EAVE FASCIA
2EA	1X6X14'	EAVE FASCIA
2EA	1/2"X4'X8'	BC PLYWOOD/SOFFIT
2EA	2X4X12'	SOFFIT BLOCKING (RIPPED)
5EA	10'	METAL Z FLASHING
6EA	1X4X8'	CORNER BOARD
2EA	1X4X10'	OVERHEAD TRIM (HEAD)
2EA	1X4X18'	OVERHEAD TRIM (LEG)
10LB	8D	SIDING NAILS

VINYL SIDING PACKAGE 81021-99		
QUANTITY	SIZE	DESCRIPTION
27EA	1/2"X4'X8'	EXTERIOR SHEATHING BOARD
4EA	1X6X14'	GABLE RAKE BOARD
4EA	2X8X12'	SUB FASCIA
2EA	1X4X10'	OVERHEAD TRIM (HEAD)
2EA	1X4X18'	OVERHEAD TRIM (LEG)
850		VINYL SIDING
4EA		VINYL OUTSIDE CORNERS
9EA		STARTER STRIP
8EA		FINISH TRIM
18EA		VINYL "J" CHANNEL
4EA		ALUMINUM "F" CHANNEL
5EA		ALUMINUM VENTED SOFFIT
9EA		2" ALUMINUM FASCIA & RAKE
41B		2" ALUMINUM NAILS
1EA		BOX 1 1/2" ALUMINUM TRIM NAILS
16LB		1 1/2" SHEATHING NAILS

HARDBOARD SIDING PACKAGE 81022-99		
QUANTITY	SIZE	DESCRIPTION
27EA	1/2"X4'X8'	EXTERIOR SHEATHING BOARD
68EA	12'X16'	HORIZONTAL HARDBOARD SIDING
4EA	1X6X14'	GABLE RAKE BOARD
4EA	2X6X12'	SUB FASCIA
2EA	1X6X12'	EAVE FASCIA
2EA	1X6X14'	EAVE FASCIA
2EA	1/2"X4'X8'	BC PLYWOOD/SOFFIT
2EA	2X4X12'	SOFFIT BLOCKING (RIPPED)
3EA	10'	METAL Z FLASHING
40EA	12'	METAL CORNERS
2EA	1X4X10'	OVERHEAD TRIM (HEAD)
2EA	1X4X16'	OVERHEAD TRIM (LEG)
15LB	8D	SIDING NAILS
18LB		1 1/2" SHEATHING NAILS

DOOR AND WINDOW PACKAGE 81023-99		
QUANTITY	SIZE	DESCRIPTION
1EA	3032	DH WOOD WINDOW
1EA	3068	PH6 PANEL STEEL SERVICE DOOR
2EA	9'X7'	OVERHEAD WOOD GARAGE DOOR W/HARDWARE
52LF		DOOR STOP
1EA	2X4X16'	OVERHEAD DOOR HANGER MATERIAL
1EA		ENTRANCE LOCKSET
2LB		FINISH NAILS

NOTE: THE FOLLOWING MATERIALS NOT SUPPLIED BY 84 LUMBER. LISTED FOR CONVENIENCE ONLY.

FOUNDATION MATERIAL W/FROST LINE		
QUANTITY	SIZE	DESCRIPTION
14 CU YD		CONCRETE FOUNDATION & SLAB FLOOR
576 SF	6X6-2 9X2 9	WELDED WIRE FABRIC
200 LF	1/2" DIA	REINFORCING BAR
7 CU YD		GRAVEL FILL
23 EA	1/2" DIA X 12	ANCHOR BOLTS W/NUTS & WASHERS

FOUNDATION MATERIAL W/FROST LINE		
QUANTITY	SIZE	DESCRIPTION
4 CU YD		CONCRETE FOR FOOTING
8 CU YD		CONCRETE FOR FOUNDATION WALLS MAY VARY DUE TO LOCAL DEPTH REQUIREMENTS
7 CU YD		CONCRETE FOR FLOOR
576 SF	6X6-2 9X2 9	WELDED WIRE FABRIC
200 LF	1/2" DIA	REINFORCING BAR
7 CU YD		GRAVEL FILL
23 EA	1/2" DIA X 12	ANCHOR BOLTS W/NUTS & WASHERS

NAILING SCHEDULE		
Connection	Number and Size of Common Nail	How Nailed
Top plate to stud	2 16d	End nnd
Double studs	16d in 16" o.c.	Facenail
Built-up corner studs	16d in 24" o.c.	Facenail
Doubled top plates	16d in 16" o.c.	Facenail
Top plates, laps, and intersections	2 16d	Facenail
Continuous headers, 2 pieces along each edge	16d in 16" o.c.	Facenail
Continuous header to stud	4 8d	Toenail
Truss to plate	3 8d	Toenail
1" brace to each stud and plate	2 8d	Facenail
1 by 8 sheathing or less - each bearing	2 8d	Facenail
Wider than 1 by 8 sheathing, each bearing	3 8d	Facenail

CONSTRUCTION STEPS

PRE-CONSTRUCTION STEPS

- Carefully study this plan, reading all instructions before beginning construction on the garage. Check with local building officials regarding building codes, permits and frost conditions. If an independent contractor is pouring garage slab and foundation, skip Steps 3 through 10.
- Plan garage location to allow for any limitations on side, front and rear setbacks. Also allow enough room around the garage for easy entrance, exit and possible turn-around and for access to the side door. Check with local utilities for any underground services. Soil should be tested to insure that it meets design loads set forth in General Notes.

FOUNDATION STEPS

- Carefully stake out the foundation, squaring the corners by checking that the plan dimensions are to outside of concrete and face of studs.
- Note: Step 5 and Step 6 pertain to NO FROST construction, Steps 7 through 10 to FROST construction.
- For NO-FROST construction (see BUILDING SECTION of plan), dig trenches for footing of the monolithic pour. Build up foundation forms so that the top of form is 6" above original soil level. Remove approximately 2" of soil within area to provide 8" of space to top of form. Lay rebar in footing trenches. Have a building department official check trenches and concrete forms before pouring concrete.
- For NO-FROST construction, fill floor area with a minimum of 4" of gravel and compact to within 4" of top of form. Install W6-6-2 9x2 9 welded wire fabric over gravel fill, and pour concrete to thickness shown on BUILDING SECTION drawing. While pouring concrete, periodically lift welded wire fabric to insure its proper placement in the concrete slab, and set anchor bolts 1 1/2" in from edge of concrete on center points according to FOUNDATION PLAN and extend to at least 2" above top of concrete. Move on to Step 11.
- For FROST construction (see BUILDING SECTION of plan) check local codes for frost-line depth and dig footing trenches to a depth of 6" below frost line. Place rebar in trenches. Have local building official check location and depth of trenches before pouring footing concrete. Pour footing concrete and provide formed key in it by using a 2"x4" in the center of the concrete where it extends the length of the footing. Before concrete is completely set, remove 2"x4".

13. To attach metal "T-Type" wind bracing, first check that panels are square. Then position metal "T-Type" wind bracing at an angle from the outer corner of the panel top down to the bottom plate. Mark the position of the bracing on each stud. Use a circular power saw to cut into studs at each mark. Nail brace with two 8-penny nails at each stud and top and bottom plate. Repeat this step for all corners.

14. Repeat Step 12 and Step 13 for wall panels B, C and D (see LEFT SIDE, RIGHT SIDE and REAR FRAMING ELEVATIONS).

15. Note: regarding Panels C and D: Additional elevations are required to add the door openings shown in the LEFT and RIGHT SIDE ELEVATIONS. First, apply corner bracing. Second, nail 2"x4" jacks on each side of window and door openings. Third, cut 2"x10" headers to rough opening sizes shown on each panel. Lift headers into position, and nail to panel studs with 16-penny nails. Finally, install cripples as necessary. Nail into position using 10-penny nails.

16. When panel assembly is complete, the walls can be erected. Lift Panel A up, placing it in position over the anchor bolts. Brace the panel securely with a 2"x4" brace, tack-nailed to a ground stake. Place washer and nut onto anchor bolts and tighten down panel. Repeat for Panels B, C and D.

17. Repeat Step 12, Step 13 and Step 16 to assemble and erect panels E and F (see LEFT SIDE and RIGHT SIDE FRAMING ELEVATIONS).

18. As panels are erected, attach 2"x4" tie plates (see ELEVATIONS). Lap at corners as shown on FRAMING ELEVATIONS and nail plates together with 16-penny nails 9" on center.

19. Assemble and erect front wall panels G, H, and I using Steps 12, 13 and 18 (see FRONT FRAMING ELEVATION).

20. Nail 2"x4" cripples on each side of overhead door opening.

21. Cut 2"x10" garage door headers to 9'6" long. Lift headers into position to rest on cripples. Nail to panel studs with 16-penny nails.

22. Cut 2"x4" cripples and nail at 16" on center to top of garage door headers. Add top plate to the top of the cripples, level with the top.

23. Add 2"x4" tie plates to remaining wall panels. Nail 2"x4" garage door hardware surround to inside face of cripples.

PRE-ENGINEERED WOOD TRUSSES INSTALLATION STEPS

- Install pre-engineered wood trusses at 2' 0" centers as shown on the FRAMING ELEVATIONS.
- Then nail plate connectors to each truss and to the top plates as required. Use nails provided with truss package.

SIDING, SHEATHING & ROOFING INSTALLATION STEPS

- If you are using vinyl or hardboard siding follow Manufacturer's instructions for proper installation methods. (Skip to Step 28).
- If you are using 4" x 8" Grooved Siding proceed as follows: Start siding installation about 1/2" below top of foundation. Top edge can be nailed into 2"x4" tie plate at top of wall. Nail siding with 8-penny, non-corrosive siding or casing nails spaced 6" on center at panel edges and 12" on center at intermediate studs. Add Z flashing where indicated on ELEVATION drawings.
- Apply 1/2" sheathing over roof trusses starting at the bottom of the truss (see ROOF SHEATHING LAYOUT). Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same truss. Check plans carefully to determine how far roof sheathing should extend at truss ends. Apply 1" x 6" fascia and soffits as per the drawings.
- Apply roofing felt and roof shingles, following manufacturer's instructions. Extend shingles 1/2" beyond fascia. Trim excess portions of shingles from inside in order to maintain a neat appearance.

FINISHING STEPS

- Trim out door openings with jacks and casing, and trim eaves and all corners. Install side door and window.
- Install overhead garage door following manufacturer's instructions.
- Paint or stain siding and trim as desired following manufacturer's directions.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER John St Angelo TELEPHONE NO. 301 540 4214
(Contract/Purchaser) (Include Area Code)

ADDRESS 19212 Forest Brook Rd Germantown MD 20874
CITY STATE ZIP

CONTRACTOR Advantage Const TELEPHONE NO. 540-4-0114
CONTRACTOR REGISTRATION NUMBER 410455

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19212 Street Forest Brook Rd

Town/City Germantown Election District _____

Nearest Cross Street Working Station Rd

Lot 15 Block H Subdivision Crawford Farm

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: A/C	Slab	Room Addition	
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	Porch	Deck	Fireplace	
			<input type="checkbox"/> Revision	Fence/Wall (complete Section 4)	Shed	Solar	Woodburning Stove
						Other	<u>Garage</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 12000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Peplco

1E. IS THIS PROPERTY A HISTORICAL SITE? yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

John St Angelo Signature of owner or authorized agent (agent must have signature notarized on back) 3-14-90 Date

APPROVED Albert B Randall For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B Randall Date March 15 1990

APPLICATION/PERMIT NO: 940322009 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

DATE: April 13, 1994

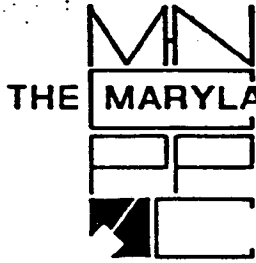
Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief
Division of Development Services and Regulation
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: April 15, 1994

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

 Approved

 Denied

 X Approved with Conditions: 1.) Garage structure to be relocated by a
curb off the driveway loop; the curb should match existing paving materials;
2.) No disturbance to the significant walnut and maple tree specimens;
3.) Siding shall be painted or stained wood clapboard or board & batten;
4.) Single window shall be wood with wood sash and trim.

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: John & Ami St. Angelo

Address: 19212 Faust Brook Road
Cermantown, Md. 20874

2x4 TOP PLATE

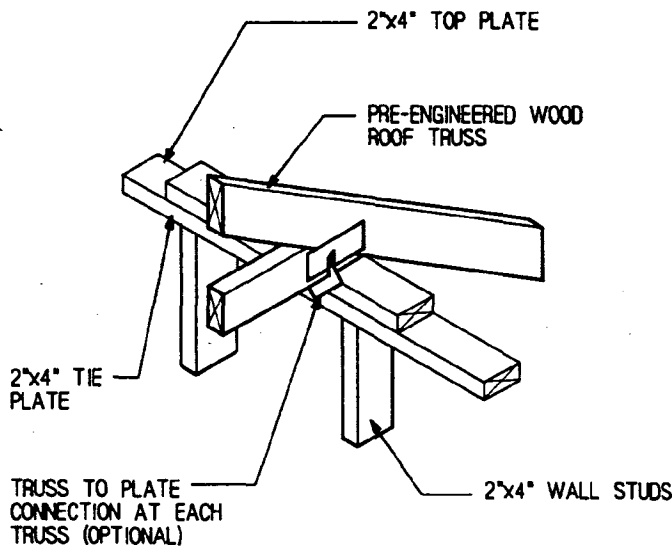
2x4 PRECUT WALL STUD AT 16" O.C.

T-TYPE WIND BRACING

2x4 TREATED BOTTOM PLATE

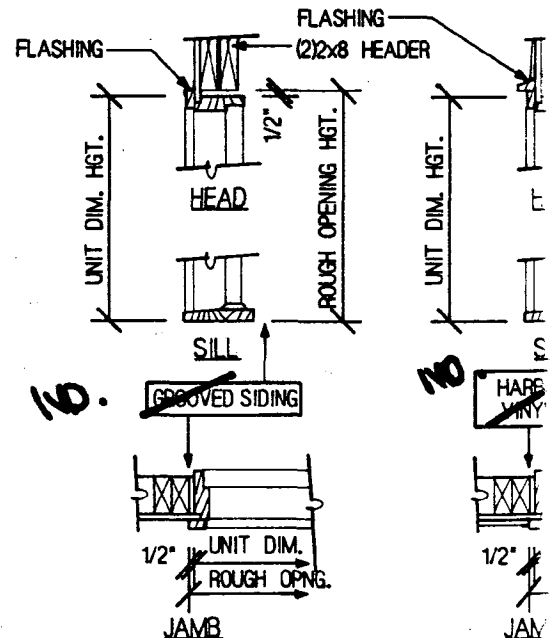
APPROVED
Montgomery County
Historic Preservation Commission
Patricia E. Hayes Parker

COMMON DETAILS AND SCHEDULE



OPTIONAL TRUSS TO PLATE CONN.

SCALE: NONE



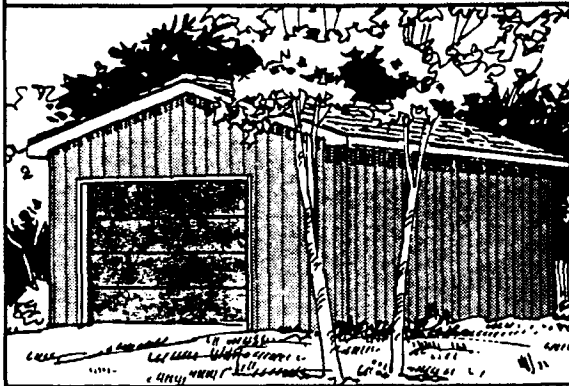
DOOR DETAILS

SCALE: 3/4"=1'-0"



GARAGES w/ RAFTERS

1 1/2 Car Garage

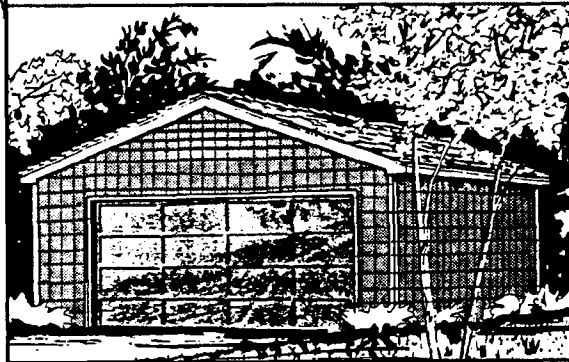


14'x22'

- 2"x6" Rafters
- One 7' Garage Door

Historic Preservation Commission
 Montgomery County
 7-10-06
 Patricia E. Acaya Slawson

2 Car Garage



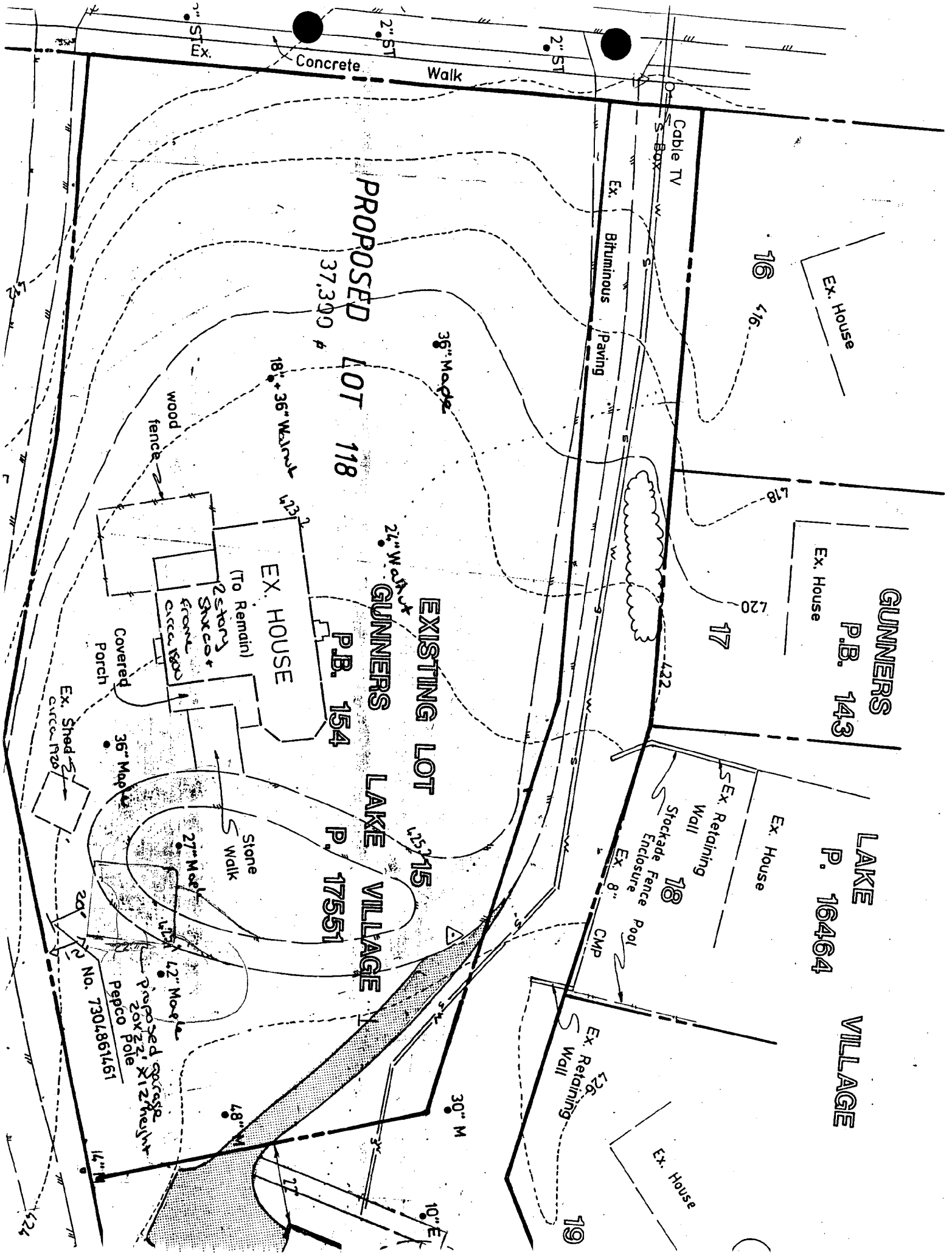
~~20'x22'~~
24'x24'

- 2"x8" Rafters
- double 9'x7' One 16'x7' Garage Door(s) /p/p

1 1/2 and 2-CAR GARAGE FEATURES

2"x4" Pressure Treated Bottom Plate	1/2" Roof Sheathing
2"x4" Pre-Cut Studs 16" on center	15# Felt Paper
Diagonal Corner Bracing	20 Year Shingles
	4'x8' Grooved Siding

* Styles May Vary



PROPOSED LOT 118
37,300 #

EXISTING LOT 154
P.B. 154
EXISTING LOT 17551
LAKE VILLAGE P. 17551

GUNNERS
P.B. 143
Ex. House

GUNNERS
P. 16464
Ex. House

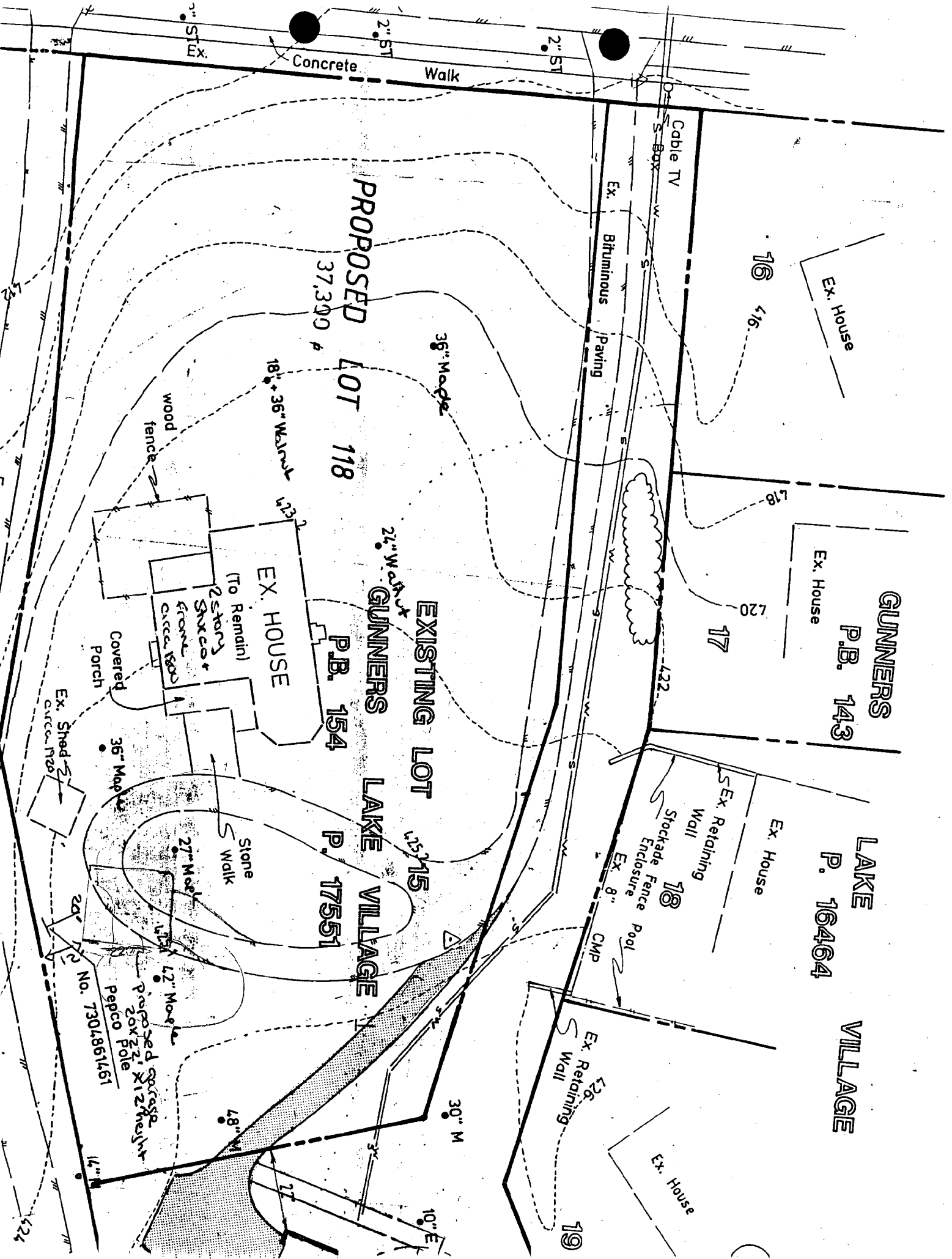
LAKE VILLAGE
P. 17551
Ex. House

Proposed access
20' x 22' X 12' height
Pepco Pole
No. 7304861451

EX. HOUSE
(To Remain)
2nd story
3 bedrooms
circ. 1800
Covered Porch
36" Maple
wood fence

EX. Retaining Wall
Stockade Fence Pool
Ex. 8" CMP
18

EX. Retaining Wall
19
Ex. House



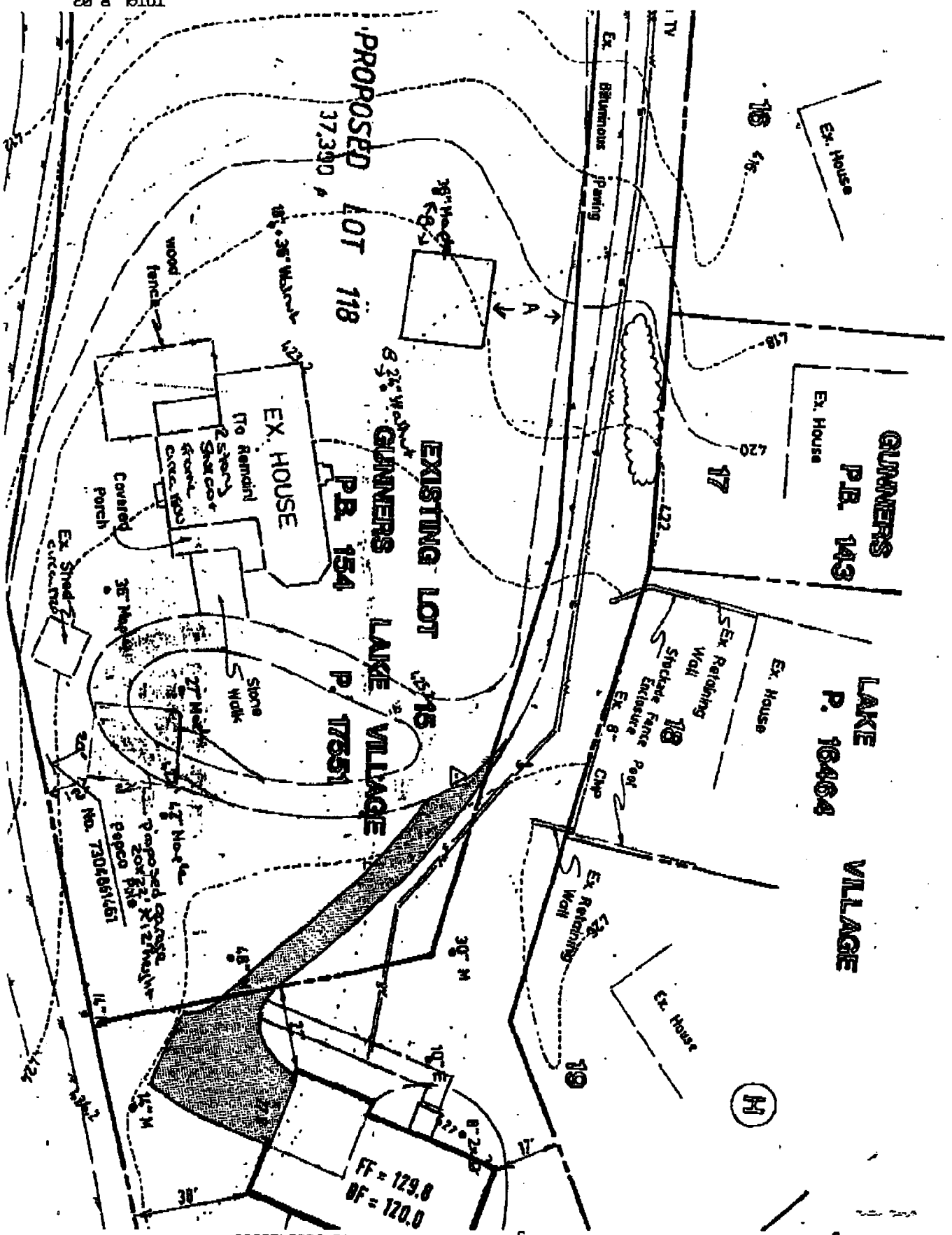


20301 Century Boulevard • Germantown, Maryland 20874

TELECOPY TRANSMITTAL SHEET

May 17, 1994

To:	Pat Parker
Company/Division:	Historic Preservation
FAX No.:	301-495-1307
Telephone No.:	301-495-4570
Number of Pages:	2 Incl. attached
<p>Dear Pat,</p> <p>This is the approximate position of the new proposed garage. It would be the same garage as approved previously, 20 x 24 ft and 12 ft high, and the same approved wood material. The garage would be located about 18 ft from the 25ft driveway property line (A). There is approximately 55 ft between the 24" Walnut and the 36" Maple tree. The garage being somewhat between the two trees will still leave about 12 ft. (B) on each side of garage. I feel like this will leave a lot of room for the roots of the tree because as we discussed on Monday, I would truly be very sad to lose any of our beautiful trees. Also, I feel this new location may be a better alternative for all concerned because it will not be obstructing anyone's immediate view and will be an enhancement to the farm-like setting we are trying to preserve.</p> <p>I took additional photos this weekend and I am picking them up tonight to bring to you tomorrow. Please let me know your thoughts and any other suggestions you may have. I appreciate your time and consideration.</p>	
Sender:	Leslie A. Warren
Telephone No.:	301-428-6152
Fax No.:	301-428-6885



TOTAL P. 02

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19212 Forest Brook Road	Meeting Date: 06/08/94
Resource: Waring-Crawford Farm, <u>Master Plan Site #19/11</u>	HAWP: New garage
Case Number: 19/11-94A REVISION	Tax Credit: No
Public Notice: 05/25/94	Report Date: 06/01/94
Applicant: Alex Fox & Leslie Warren	Staff: Patricia Parker
PROPOSAL: New garage	RECOMMEND: Approval w/condition

BACKGROUND

The applicants come before the HPC to request approval of a revision to an already approved HAWP application (See Staff Report dated 04/06/94). At the April 13, 1994 HPC meeting, the Commission approved the construction of a new 20' x 22' detached garage situated near the existing paved circular driveway at Master Plan Site #19/11, the Waring-Crawford Farm.

Since that HAWP review, the property was purchased by the applicants. The applicants would like the HPC to focus on this proposal to situate the garage at the rear of the historic house, approximately twelve feet from the existing asphalt driveway. The new garage would be located between a 36" maple tree and a 24" walnut tree. The applicants feel that this new location is necessary in order to avoid any undue stress to the 42" maple and the 27" maple in the front yard of the historic house.

The previously approved design and fenestration is unchanged. In fact, all other aspects of the proposed garage remain unchanged. The applicants understand that all previous conditions imposed by the HPC remain in force.

STAFF DISCUSSION

Staff finds this proposed new location acceptable and compatible with the historic property. This new positioning of the garage places it in the rear side yard of the historic property - instead of in the front yard. Backyard-front yard relationships of the cluster arrangement involving a future new house facing the historic property would be improved. That is, the front yard of the historic property is less cluttered.

As a general comment, staff would still strongly recommend that a row of mixed evergreen trees, varying in depth and forming a free-form edge, should be planted inside the perimeter to screen the historic property from the intensive sprawling suburbs.

The farm-like character of the property has been lost; but the new cluster arrangement to include a new house to face the historic house would benefit from landscape screening and the new proposed positioning of the garage.

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #2, and #9 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

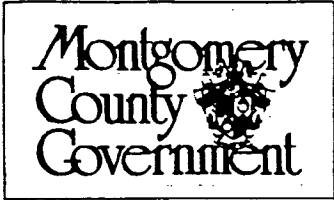
New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following condition:

- 1) There will be no disturbance to the significant walnut and maple tree specimens.

and with the general condition for all Historic Area Work Permits:

The applicant shall notify the Department of Environmental Protection (DEP) five days prior to commencing work and within two weeks after completion.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Mr. Alex Fox & Ms. Leslie Warren TELEPHONE NO. 301 540 3604
(Contract/Purchaser) (Include Area Code)

ADDRESS 19212 Forest Brook Rd. Germantown MD 20874
CITY STATE ZIP

CONTRACTOR Advantage Construction TELEPHONE NO. _____
CITY STATE ZIP

PLANS PREPARED BY _____ CONTRACTOR REGISTRATION NUMBER 40455 TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19212 Street Forest Brook Rd.

Town/City Germantown MD Election District _____

Nearest Cross Street Waring Station Rd.

Lot 15 Block H Subdivision Crawford Farm

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: A/C	Slab	Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input type="checkbox"/> Shed	<input type="checkbox"/> Solar	<input type="checkbox"/> Woodburning Stove
				Fence/Wall (complete Section 4) Other <u>garage</u>		

1B. CONSTRUCTION COSTS ESTIMATE \$ 12,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES, WARING-CRAWFORD FARM

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Leslie A. Warren
Signature of owner or authorized agent (agent must have signature notarized on back)

20 May 1994
Date

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing Structure is Crawford Farmhouse.

Originally log cabin, two story frame dwelling constructed in the last quarter of the 19th century. Environmental Setting is approximately 1 acre and includes many large maple & walnut trees. Also there is a storage shed which was a meat house.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Proposed project is the construction of a 2 car detached garage. It's construction should actually enhance the original setting, giving the property a farm look. Originally there were many outbuildings, barns and there was actually one used for vehicles. The construction will look barn-like.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- b. the relationship of this design to the existing resource(s):

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Tony Duckett
 Address 19214 Forest Brook Rd.
 City/Zip Germantown, MD 20874
2. Name Mr. * Mrs. John St. Angelo
 Address 11808 Morning Star
 City/Zip Germantown, MD 20876

3. Name Mr + Ms. James + DT. Martinell
Across Address 19211 Forest Brook Rd.
Street City/Zip Germantown, MD 20874

4. Name 19213 Forest Brook Rd.
Across Address Germantown, MD 20874
Street City/Zip Ms. Amy C. Calfee

5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

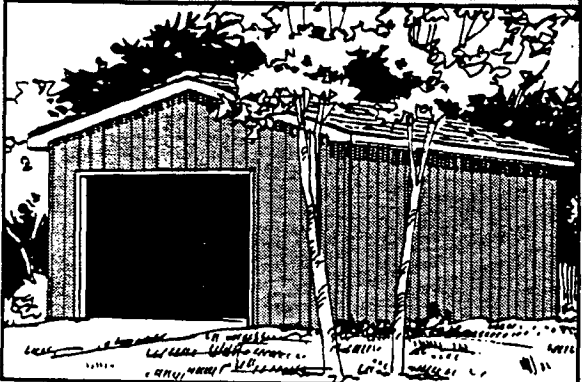
7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

84[®] GARAGES w/ RAFTERS

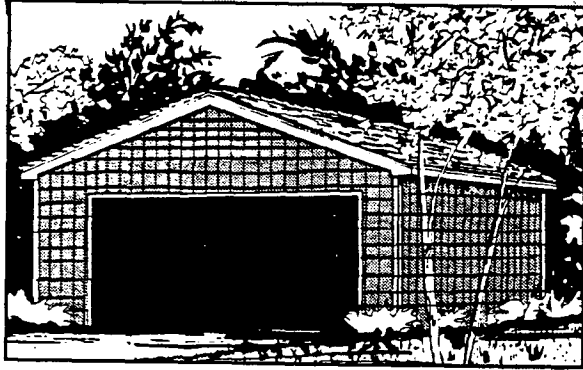
1 1/2 Car Garage



14'x22'

- 2"x6" Rafters
- One 9'x7' Garage Door*

2 Car Garage



~~20'x22'~~
~~24'x24'~~

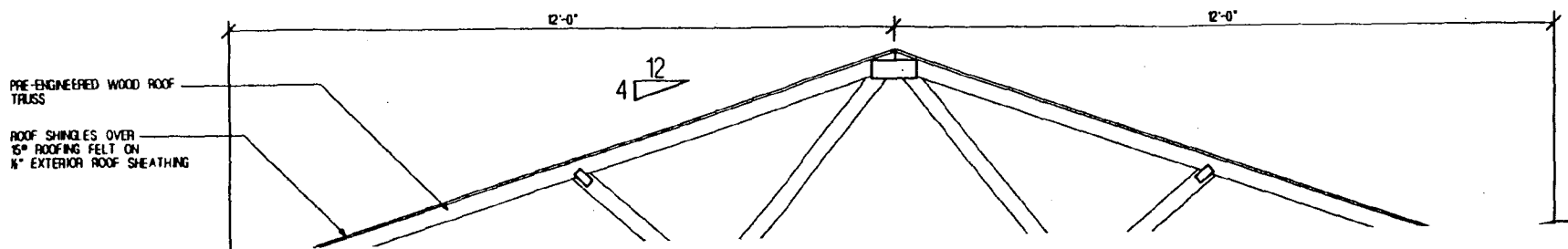
- 2"x8" Rafters
- Two 9'x7' Garage Doors*

1 1/2 and 2-CAR GARAGE FEATURES

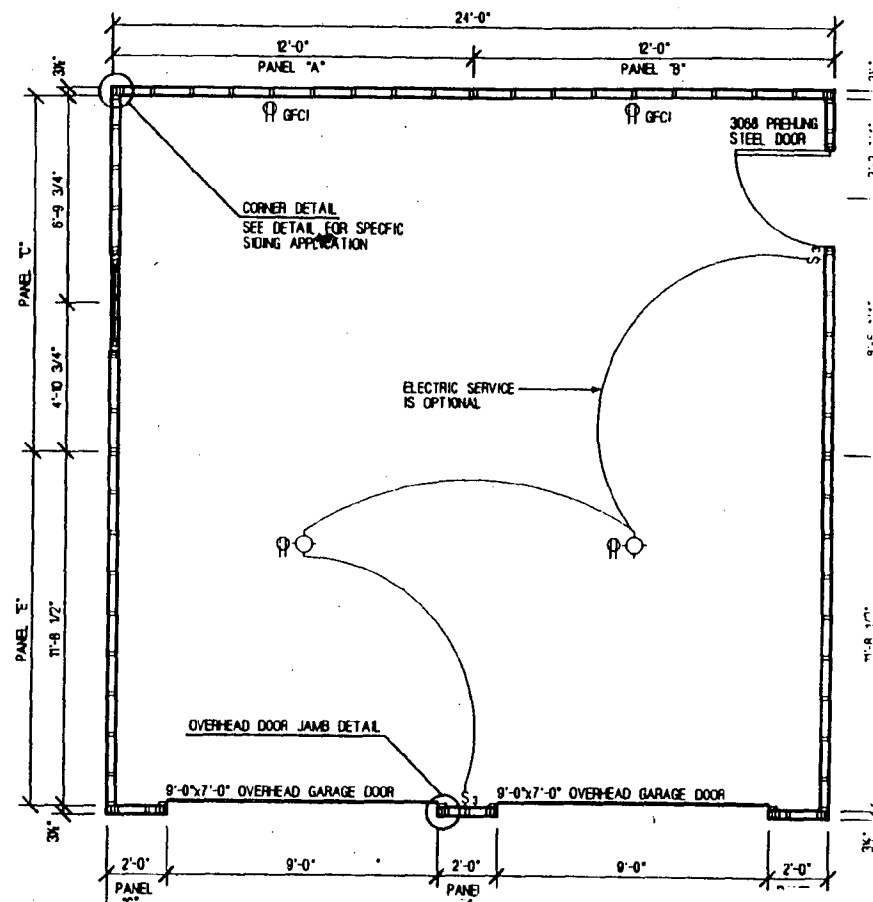
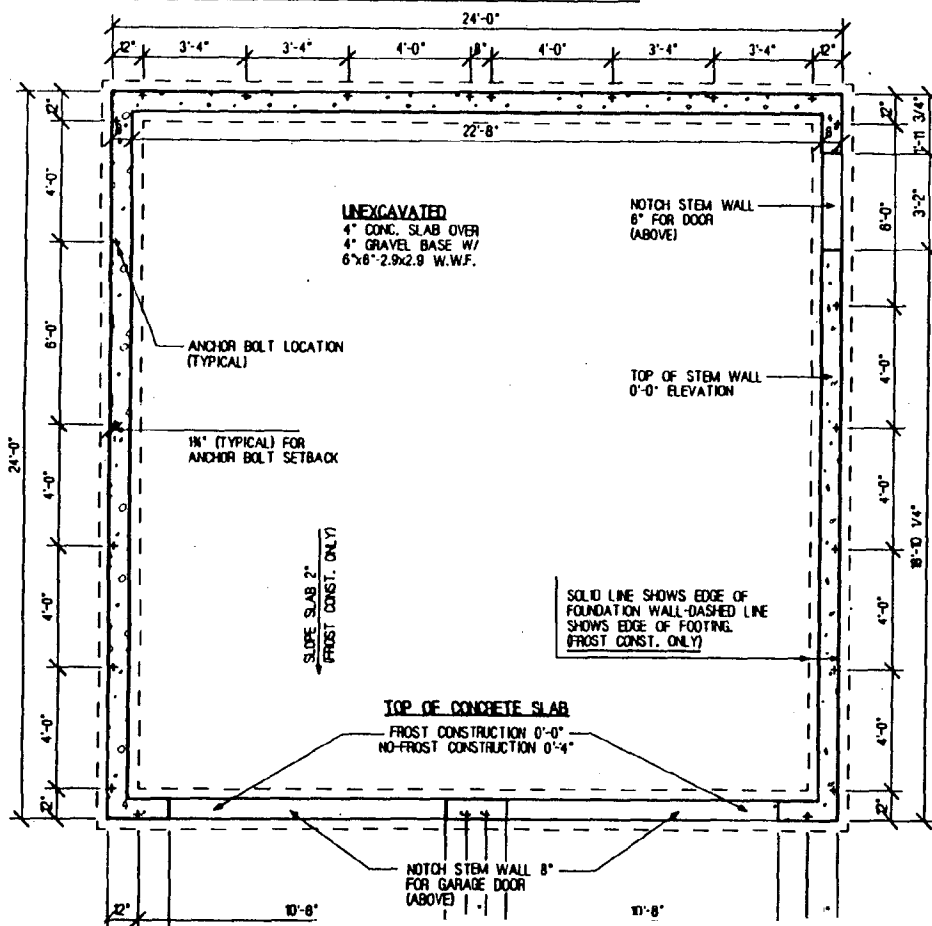
2"x4" Pressure Treated Bottom Plate	1/2" Roof Sheathing
2"x4" Pre-Cut Studs 16" on center	15# Felt Paper
Diagonal Corner	20 Year Shingles



HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-THE-SITE" CONSULTATION, SUPERVISION, AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCE IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS, B4 LUMBER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN OR BLUEPRINTS. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL ARCHITECT OR ENGINEER OF YOUR CHOICE, AND CHECK WITH YOUR LOCAL BUILDING OFFICIALS, PRIOR TO THE START OF ACTUAL CONSTRUCTION.

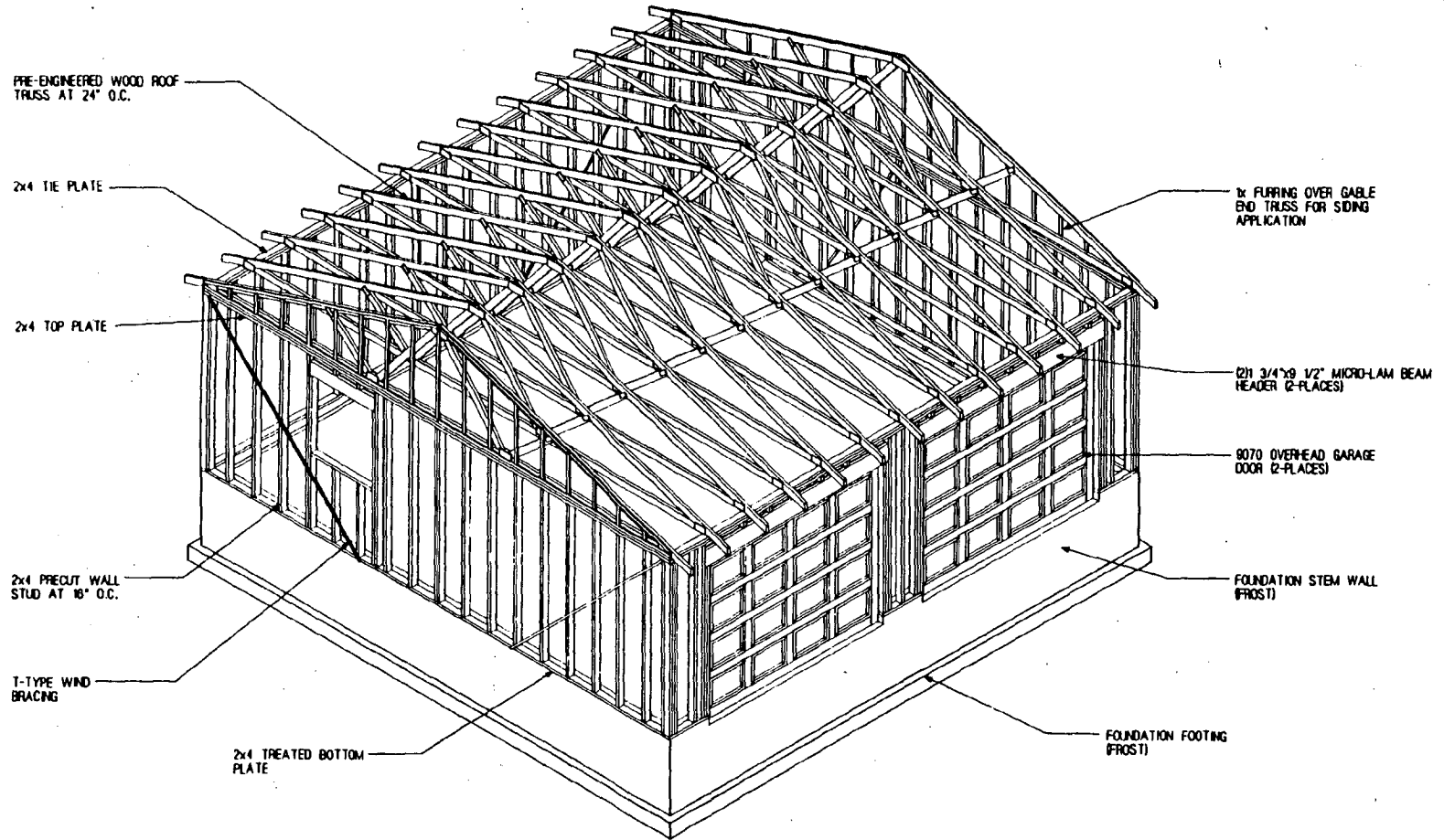


CONSTRUCTION PLANS

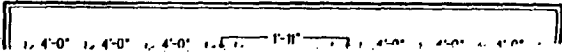


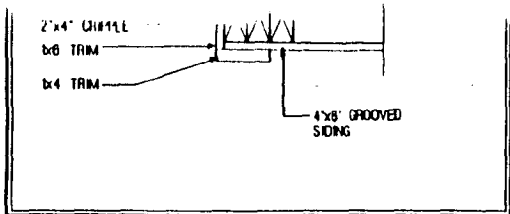
ISOMETRIC VIEWPOINT

NO SCALE

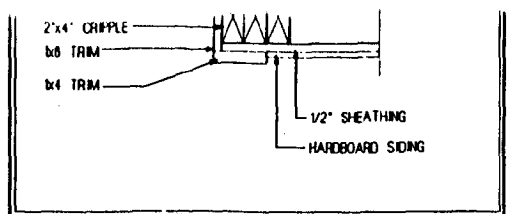


COMMON DETAILS AND SCHEDULES

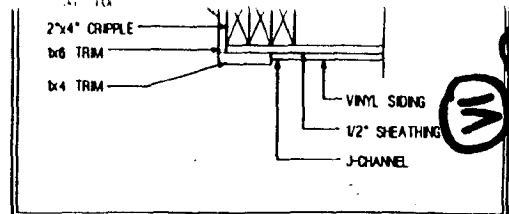




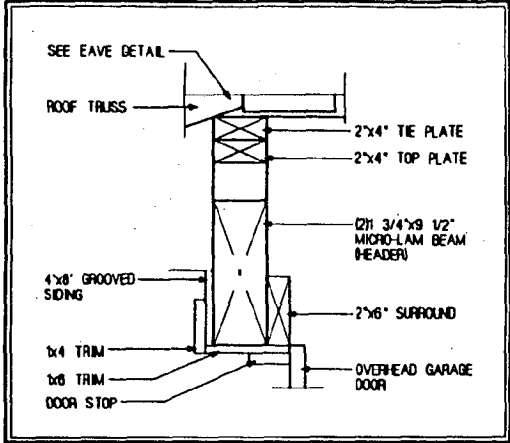
3 OVERHEAD DR. JAMB
SCALE: 1 1/2" = 1'-0"



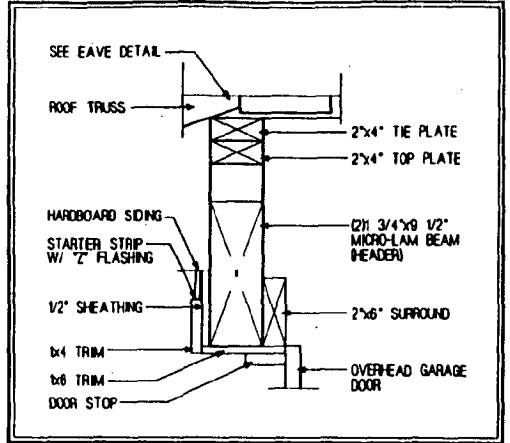
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SCALE: 1 1/2" = 1'-0"



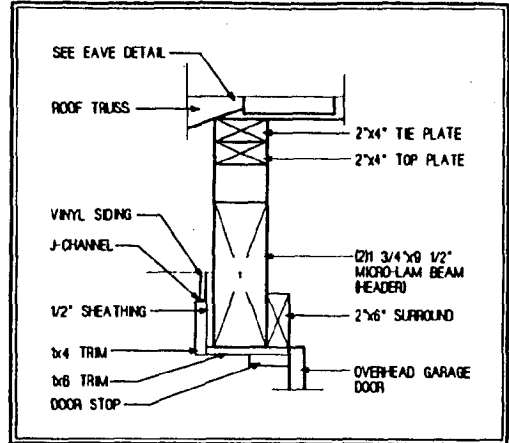
3 OVERHEAD DR. JAMB
SCALE: 1 1/2" = 1'-0"



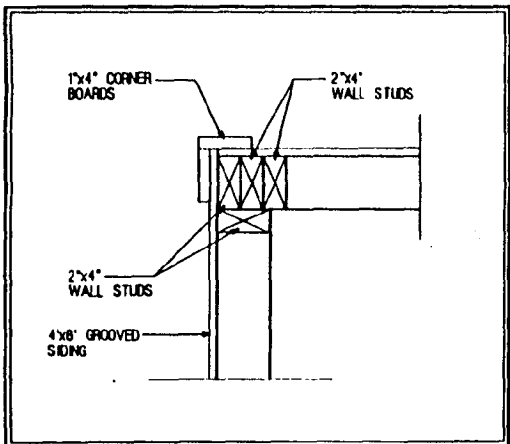
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



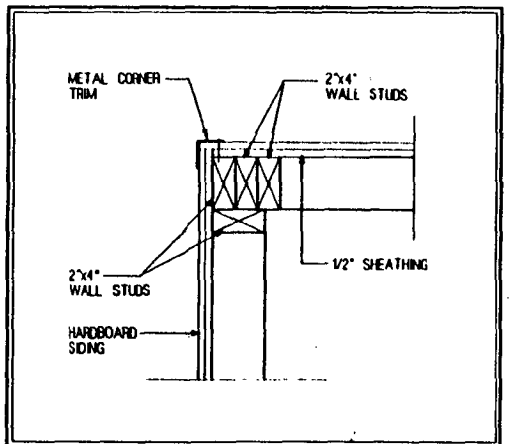
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



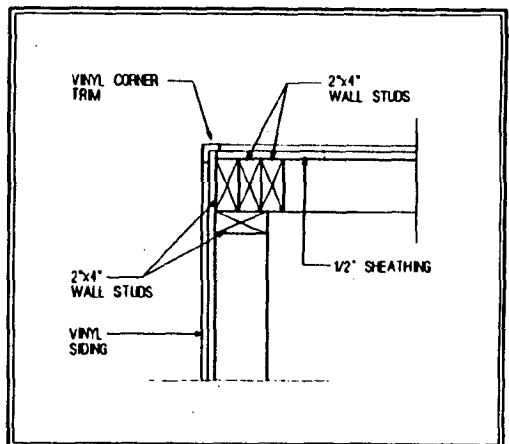
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

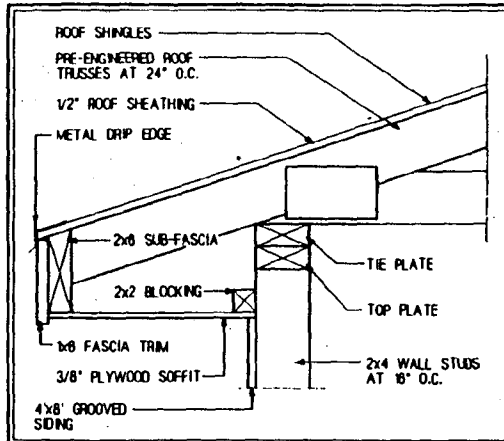


1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

CONSTRUCTION DETAILS

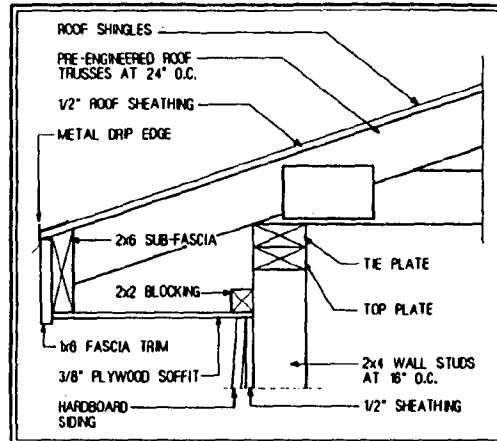


GROOVED SIDING



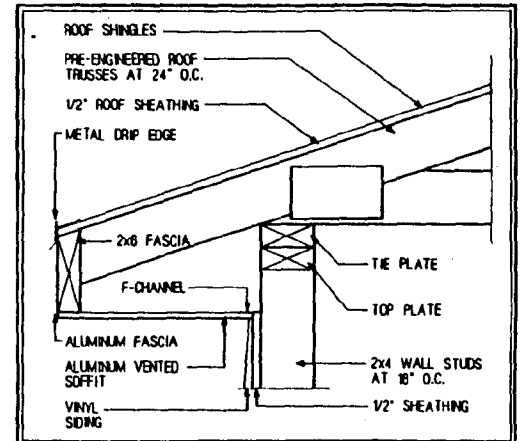
3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

HARDBOARD SIDING

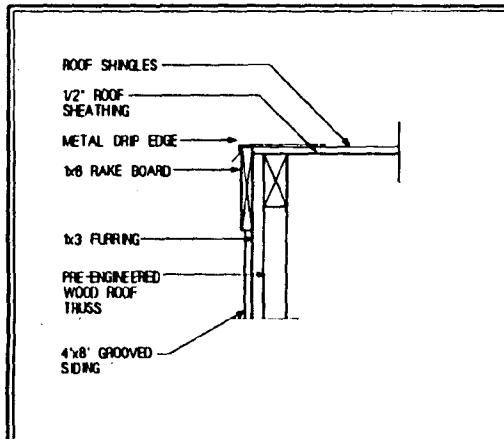


3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

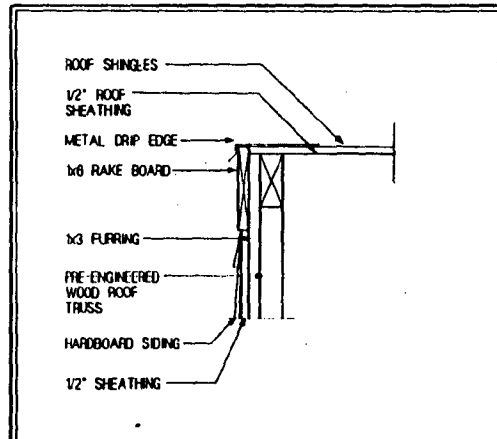
VINYL SIDING



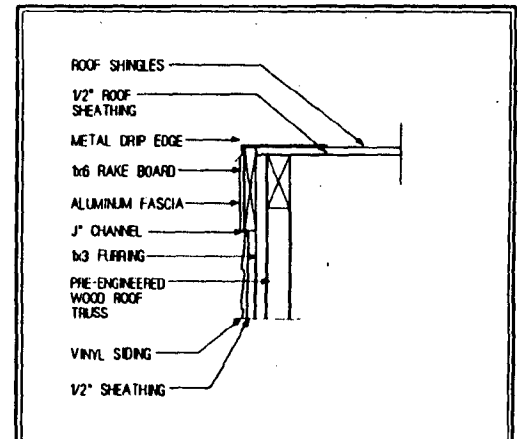
3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



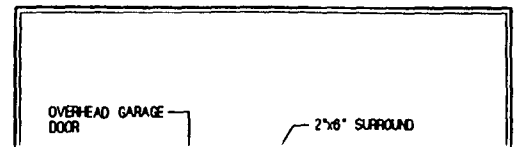
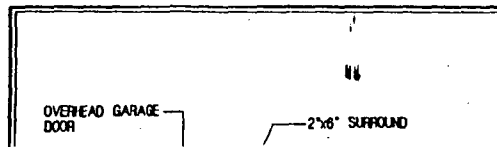
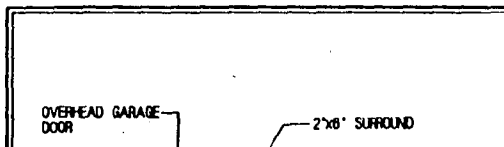
4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"

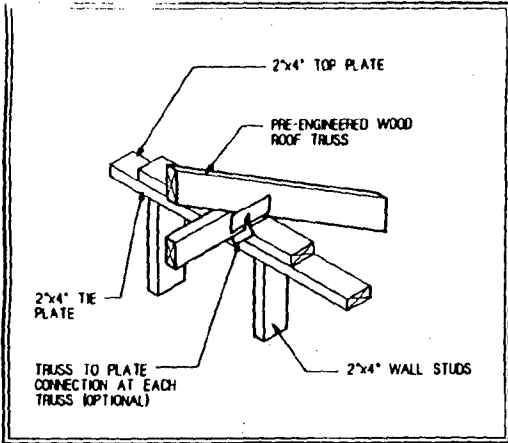


4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"

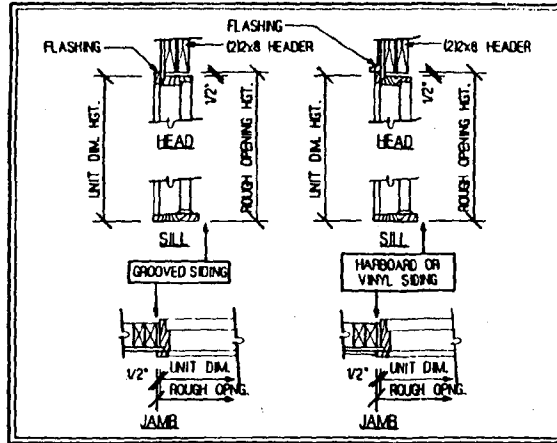


4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"

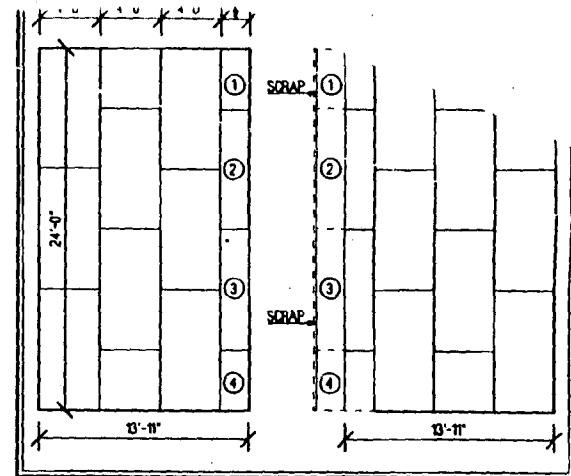




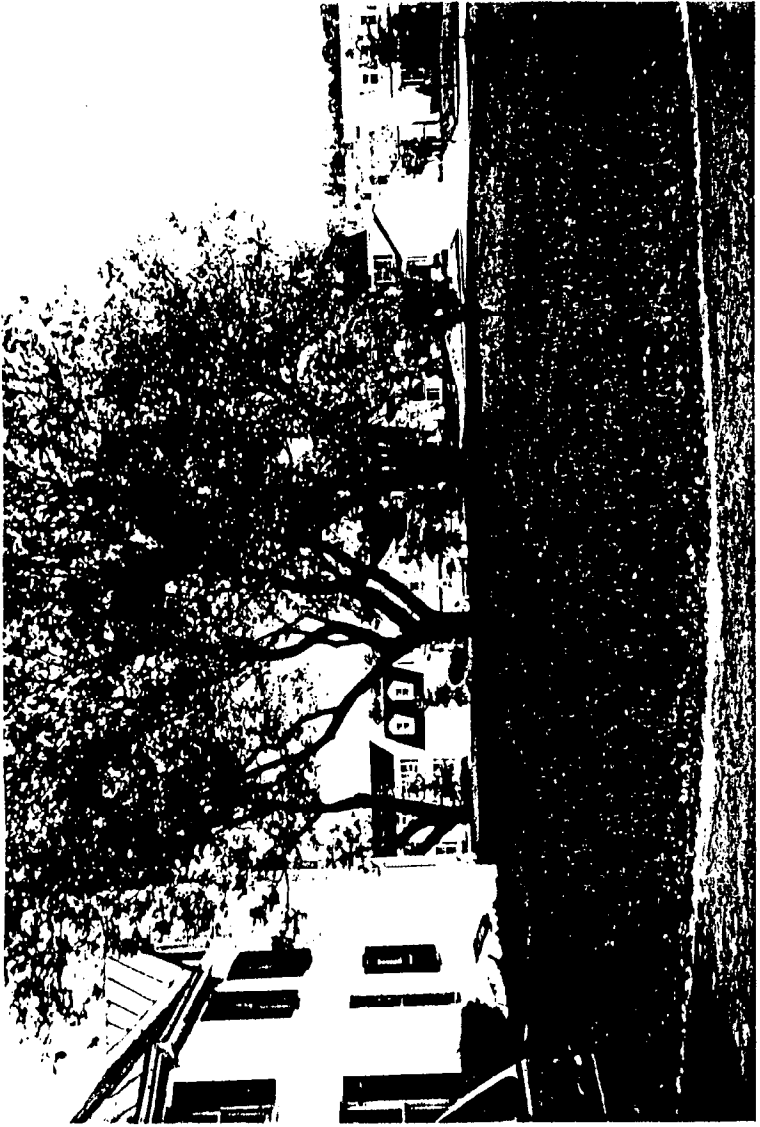
OPTIONAL TRUSS TO PLATE CONN. SCALE: NONE



DOOR DETAILS SCALE: 3/4"=1'-0"



ROOF SHEATHING LAYOUT SCALE: NONE







HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19212 Forest Brook Road	Meeting Date: 04/13/94
Resource: Waring-Crawford Farm, <u>Master Plan Site #19/11</u>	HAWP: New garage
Case Number: 19/11-94A	Tax Credit: No
Public Notice: 03/30/93	Report Date: 04/06/94
Applicant: John & Amie St. Angelo	Staff: Patricia Parker
PROPOSAL: New garage	RECOMMEND: Approval w/ conditions

BACKGROUND

The applicant proposes to build a new detached garage situated across the existing paved circular driveway at Master Plan Site #19/11, the Waring-Crawford Farm. The 20' x 22' garage would have double overhead doors and be of frame construction sheathed with vinyl siding, asphalt roofing shingles and vinyl corner trim. It would be 12 feet (one-story) in height. It would also have one window opening and one single 3'x 6'-8" door opening.

The Waring-Crawford Farm was the subject of a subdivision proposal discussed by the HPC on January 15, 1992. At that meeting, the HPC recommended approval of a Pre-Preliminary Plan #7-91051, Gunners Lake Village, to further divide the 1.7 acre environmental setting into two smaller parcels of 34,175 square feet and 31,000 square feet with several conditions (copy attached). The HPC retains design review over both lots - HAWP approval is still a requirement for any proposed exterior change to either lot. Unfortunately, the historic site suffers from surrounding intensive suburban single-family development which destroys its farm-like setting.

The main house, circa 1881, has many unique features - a front facade bay, a two-story tower with pyramidal roof and turned column posts with decorative brackets. The rear of the house faces the principal street entrance and the front of the house faces the circular drive and several large specimen trees.

STAFF DISCUSSION

Staff visited the site and feels that there are two important issues to be addressed in this proposal: (1) The location of

the proposed garage and (2) New screening for protection of the environmental setting and historic site.

Staff feels that the location of the proposed garage should be slightly changed. It should be slightly off from the loop of the driveway, accomplished by a new wye, and be closer to the property line, with necessary setback from utilities (see optional plan - page 16). Staff agrees with the applicant that the 18"-48" specimen walnut and maple trees should remain undisturbed.

Secondly, a row of mixed evergreen trees, varying in depth and forming a free-form edge, should be planted inside the northern and southern property lines to screen the historic property from the intensive sprawling suburbs. The farm-like character of the property has been lost; but the new cluster arrangement to include a new house to face the historic house would benefit from landscape screening.

The design of the garage, because of the reduced environmental setting and its proximity to the main house, is important. As such, the materials selected should be compatible - that is, painted wood clapboard siding instead of vinyl siding should be used. And painted wood should be used for corner boards and trim. The height and plan dimensions are appropriate for the intended use.

Staff agrees with the applicant that the window shown on the drawings may be 1/1 double hung; and the door may be pre-hung, panelled and made of steel. The door will face out to suburban development. However, the window would look into the environmental setting. As such, staff recommends that the window should be wood with wood sash and trim.

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #2, and #9 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size,

scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following conditions:

1) The garage structure should be relocated closer to the property line to the south and off the driveway loop. The wye off the driveway loop should match the existing paving materials.

2) There will be no disturbance to the significant walnut and maple tree specimens.

3) Siding should be painted wood clapboard with painted wood trim details.

4) The single window should be wood with wood sash and trim.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER John St Angelo TELEPHONE NO. 301 540 4214
(Contract/Purchaser) (Include Area Code)

ADDRESS 19212 Forest Brook Rd Germantown MD 20874
CITY STATE ZIP

CONTRACTOR Advantage Const TELEPHONE NO. 540-4214
CONTRACTOR REGISTRATION NUMBER 40455

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19212 Street Forest Brook Rd

Town/City Germantown Election District _____

Nearest Cross Street Waring Station Rd

Lot 15 Block 14 Subdivision Crawford Farm

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: A/C	Slab	Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input type="checkbox"/> Shed	<input type="checkbox"/> Solar	<input type="checkbox"/> Woodburning Stove
				Fence/Wall (complete Section 4) Other <u>Garage</u>		

1B. CONSTRUCTION COSTS ESTIMATE \$ 12000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Peplco

1E. IS THIS PROPERTY A HISTORICAL SITE? yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

John St Angelo _____ 3-14-94
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 940322009 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____



HISTORIC AREA WORK PERMITS CHECKLIST OF APPLICATION REQUIREMENTS

REQUIREMENTS	WRITTEN DESCRIPTION	PROJECT INTENT	PROJECT PLAN	TREE SURVEY	DESIGN FEATURES	FACADES	MATERIAL SPECIFICATIONS	PHOTOGRAPHS	PROPERTY OWNER ADDR.
	*	*	*	*	*	*	*	*	*
NEW CONSTRUCTION	*	*	*	*	*	*	*	*	*
ADDITIONS	*	*	*	*	*	*	*	*	*
PARTIAL/TOTAL DEMO.	*	*	*					*	*
DECKS/PORCHES	*	*	*		*	*	*	*	*
FENCES/WALLS	*	*	*				*	*	*
DRIVES/PARKING AREAS	*	*	*	*			*	*	*
MAJOR LANDSCAP./GRADING	*	*	*	*			*	*	*
TREE REMOVAL	*	*	*	*			*	*	*
SIDING/ROOFING CHANGES	*	*	*			*	*	*	*
WINDOW/DOOR CHANGES	*	*	*		*	*	*	*	*
MASONRY REPAIR/REPOINT	*	*	*			*	*	*	*
SIGNS	*	*	*			*	*	*	*

Please see attached instructions for further details regarding these application requirements.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is Crawford farm house Originally log cabin - later made Victorian. Environmental setting is approx 1 acre + includes several large Maple + walnut trees + a storage shed originally a meat house

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Proposed project is the construction of a 2 car detached garage. Its impact on the resource/setting should be minimal. The original setting contained two such structures as well as various other outbuildings

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
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8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Mr + Mrs. Futrowsky
Address 11908 Rathbone Ct
City/Zip Germentown MD 20874
2. Name Mr + Mrs Hines
Address 11906 Rathbone Ct
City/Zip Germentown MD 20874

5

H

GUNNERS
P.B. 143

LAKE
P. 16464

VILLAGE

Ex. House

Ex. House

Ex. House

Ex. House

16

17

18

19

ole TV
Box

Bituminous Paving

Ex. Retaining Wall
Stockade Fence Pool
Ex. 8" CMP

Ex. Retaining Wall

36" Maple

EXISTING LOT

GUNNERS
P.B. 154
LAKE VILLAGE
P. 17551

PROPOSED LOT 118
37,390 sq ft

24" Walnut

18" + 36" Walnut

EX. HOUSE

(To Remain)
2 story
Stucco
Frame
circa 1900

wood fence

Covered Porch

Stone Walk

27" Maple

36" Maple

42" Maple

Proposed garage
20x22' x 12' height
Pepco Pole

Ex. Shed
circa 1920

No. 7304861461

30" M

10" E

8" 2x2

FF = 129.8
BF = 120

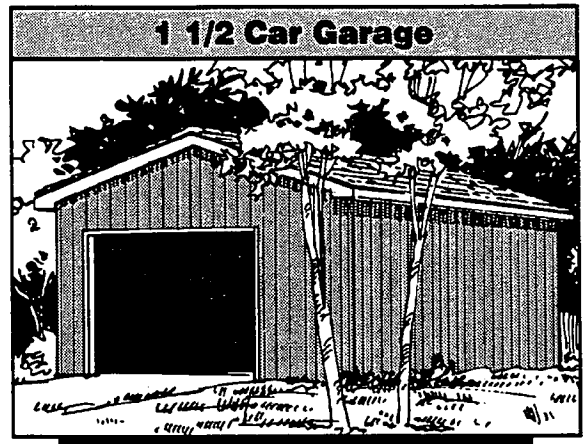
48" M

14" M

14" M

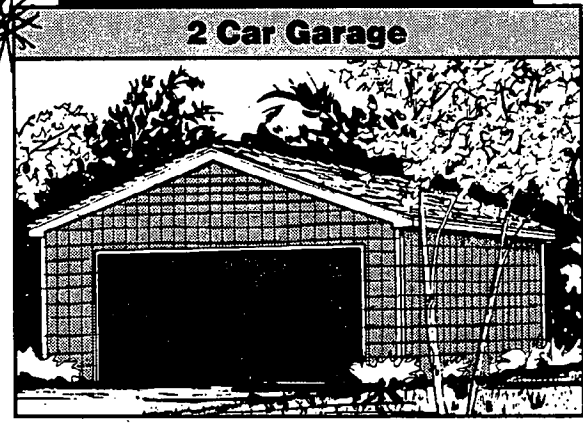
424

84[®] GARAGES w/ RAFTERS



14'x22'

- 2"x6" Rafters
- One 9'x7' Garage Door*



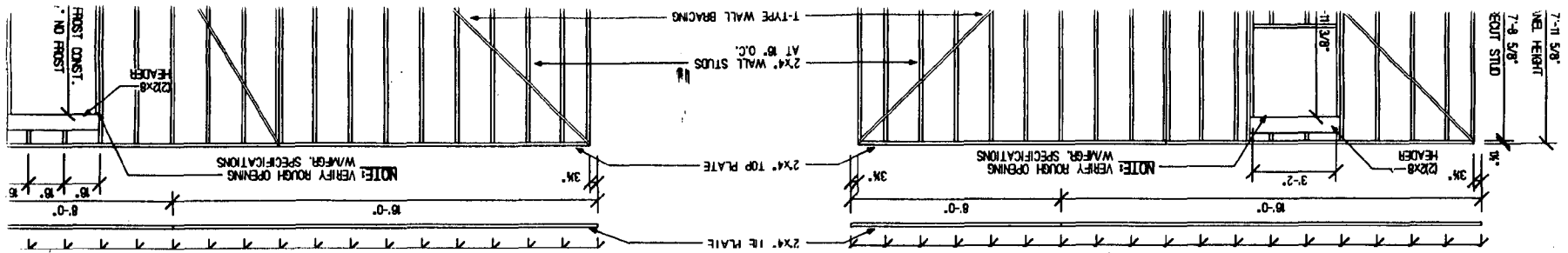
20'x22'
24'x24'

- 2"x8" Rafters
- *Two 9'x7'*
~~Two 9'x7'~~ Garage Door*

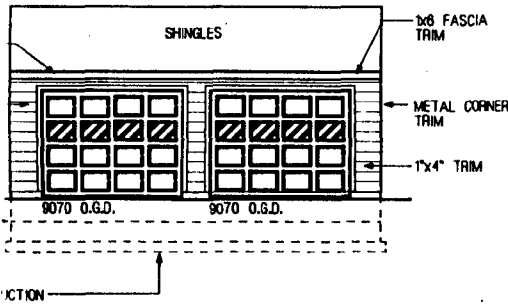
1 1/2 and 2-CAR GARAGE FEATURES

2"x4" Pressure Treated Bottom Plate	1/2" Roof Sheathing
2"x4" Pre-Cut Studs 16" on center	15# Felt Paper
Diagonal Corner	20 Year Shingles
	4'x8' Crowned Siding

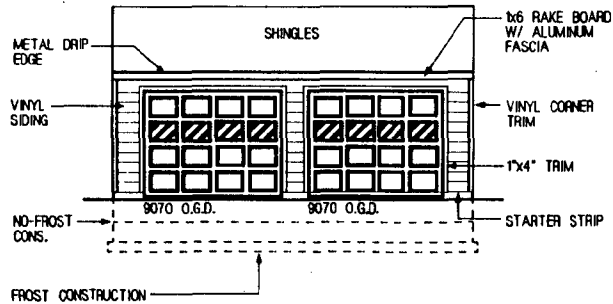




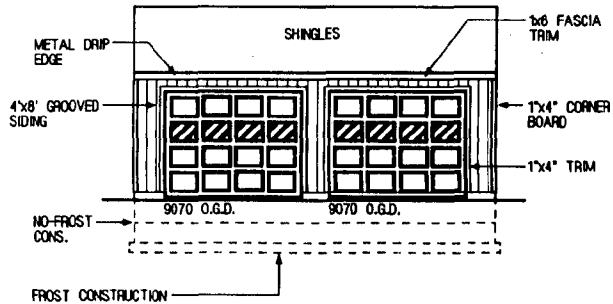
EXTERIOR ELEVATIONS



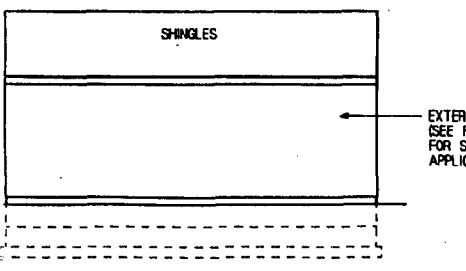
FRONT ELEVATION
BOARD SIDING SCALE: 1/8"=1'-0"



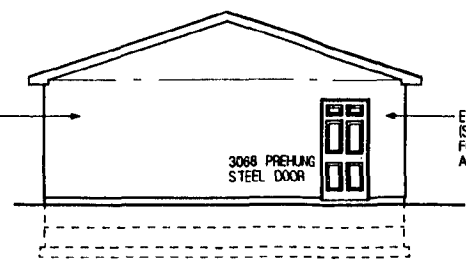
FRONT ELEVATION
VINYL SIDING SCALE: 1/8"=1'-0"



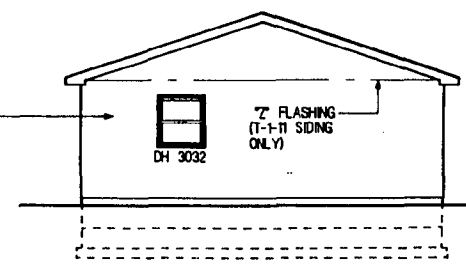
FRONT ELEVATION
4x8" GROOVED SIDING SCALE: 1/8"=1'-0"



REAR ELEVATION
4x8" GROOVED SIDING
VINYL SIDING
HARDBOARD SIDING SCALE: 1/8"=1'-0"



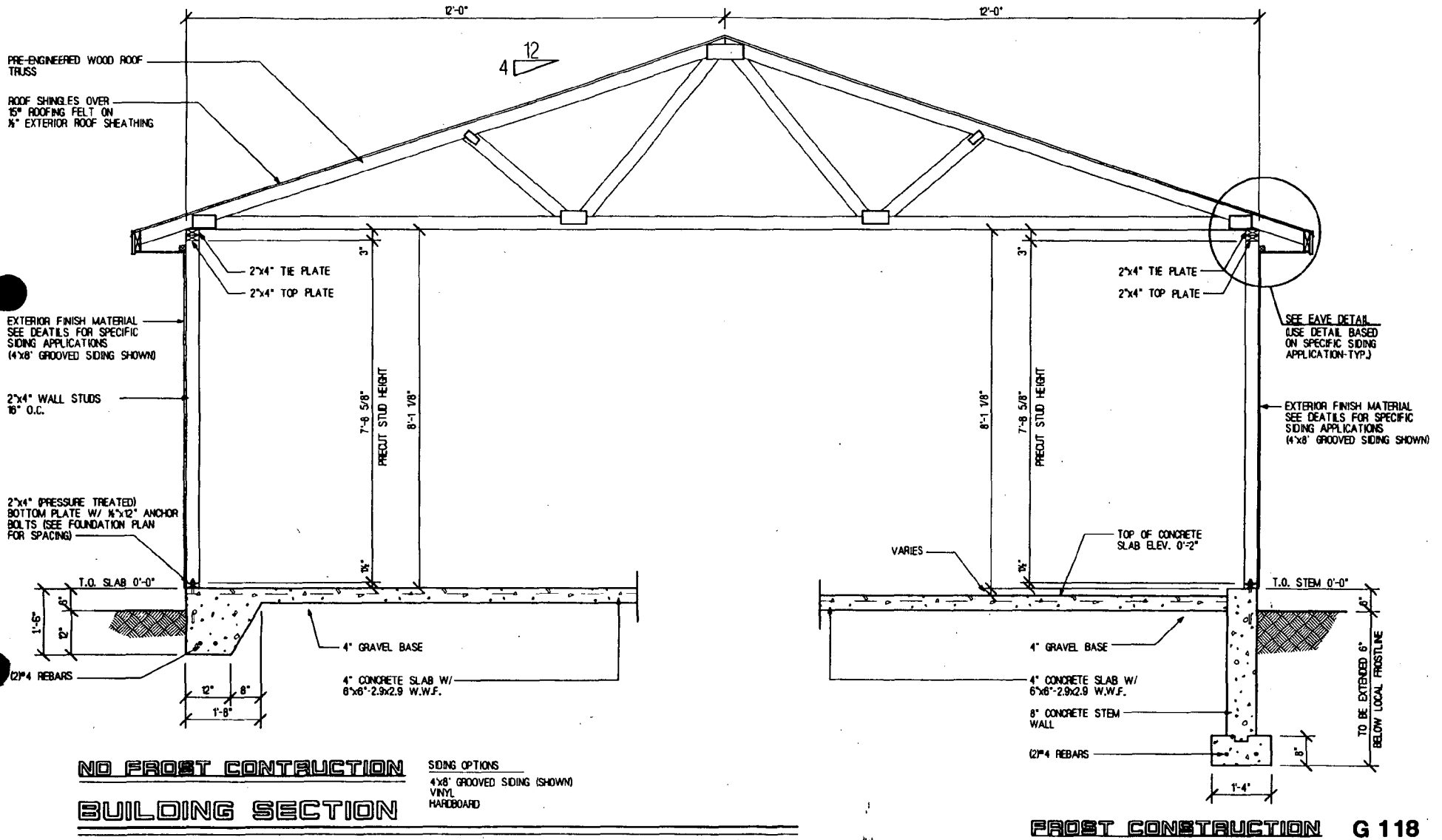
RIGHT ELEVATION
4x8" GROOVED SIDING
VINYL SIDING
HARDBOARD SIDING SCALE: 1/8"=1'-0"



LEFT ELEVATION
4x8" GROOVED SIDING
VINYL SIDING
HARDBOARD SIDING SCALE: 1/8"=1'-0"

HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-THE-SITE" CONSULTATION, SUPERVISION, AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCE IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS, B4 LUMBER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN OR BLUEPRINTS. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL ARCHITECT OR ENGINEER OF YOUR CHOICE, AND CHECK WITH YOUR LOCAL BUILDING OFFICIALS, PRIOR TO THE START OF ACTUAL CONSTRUCTION.

9



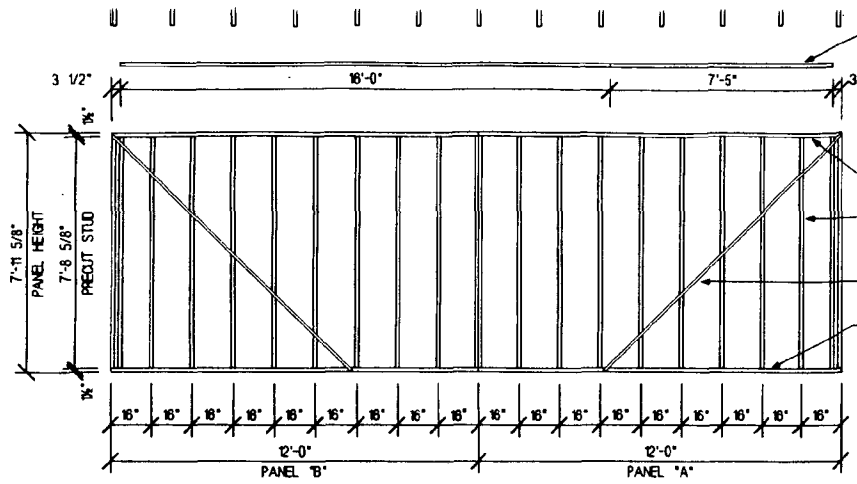
NO FROST CONSTRUCTION

BUILDING SECTION

SCALE: 1/2"=1'-0"

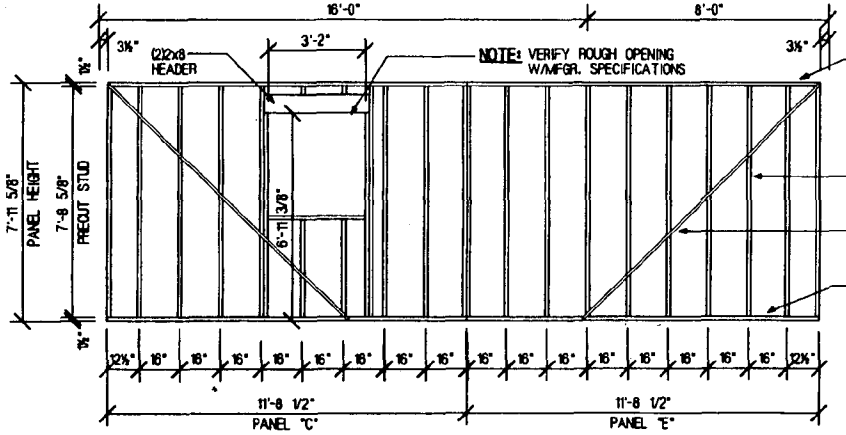
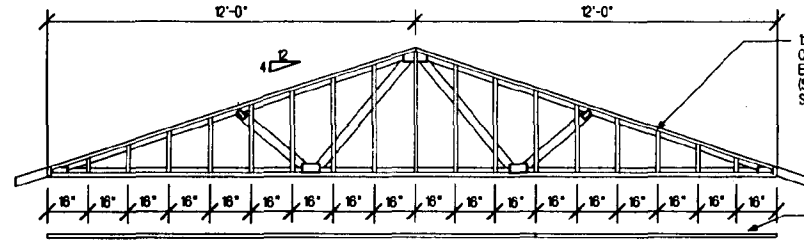
SIDING OPTIONS
 4x8" GROOVED SIDING (SHOWN)
 VINYL
 HARDBOARD

FROST CONSTRUCTION G 118



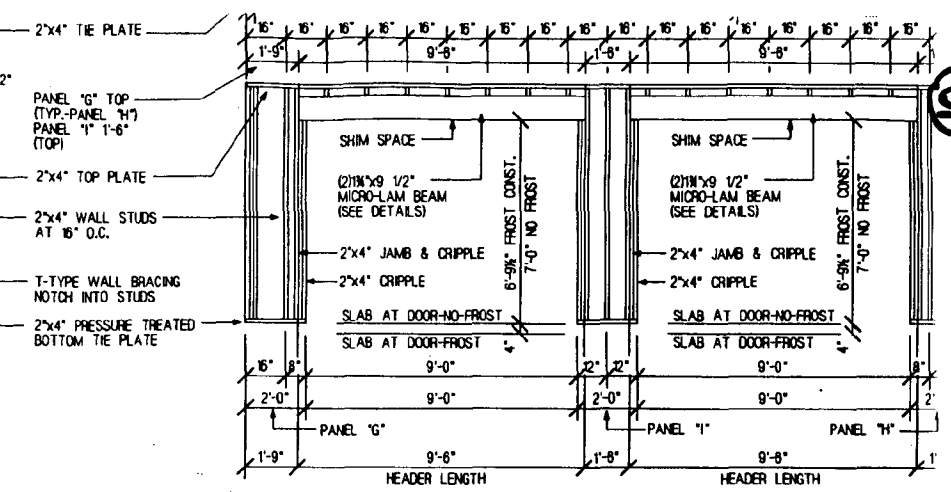
REAR WALL FRAMING ELEVATION

SCALE: 1/4"=1'-0"



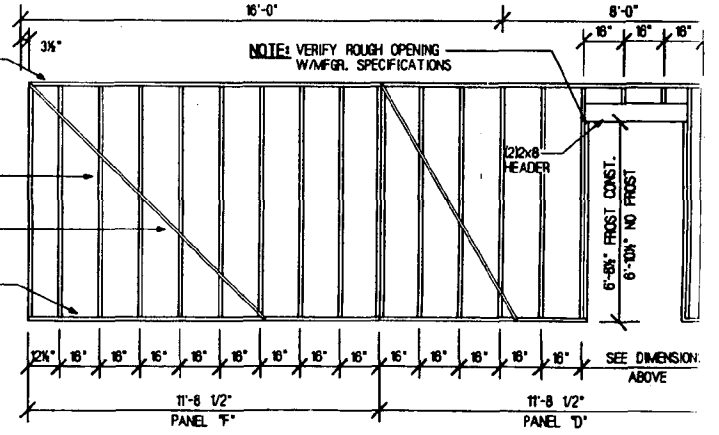
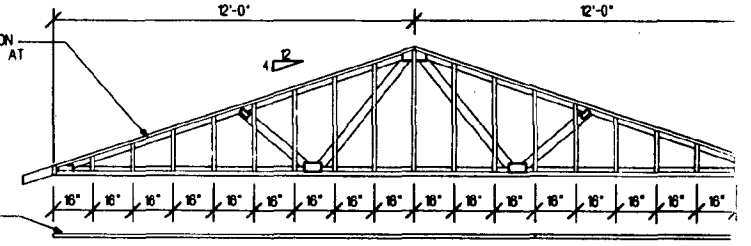
LEFT WALL FRAMING ELEVATION

SCALE: 1/4"=1'-0"



FRONT WALL FRAMING ELEVATION

SCALE: 1/4"=1'-0"



RIGHT WALL FRAMING ELEVATION

SCALE: 1/4"=1'-0"

ISOMETRIC VIEWPOINT

NO SCALE



PRE-ENGINEERED WOOD ROOF TRUSS AT 24" O.C.

2x4 TIE PLATE

2x4 TOP PLATE

2x4 PRECUT WALL STUD AT 16" O.C.

T-TYPE WIND BRACING

2x4 TREATED BOTTOM PLATE

1x FURRING OVER GABLE END TRUSS FOR SIDING APPLICATION

2x1 3/4"x9 1/2" MICRO-LAM BEAM HEADER (2-PLACES)

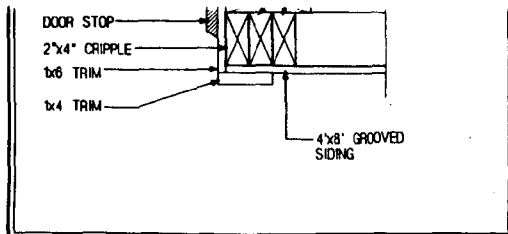
9070 OVERHEAD GARAGE DOOR (2-PLACES)

FOUNDATION STEM WALL (FROST)

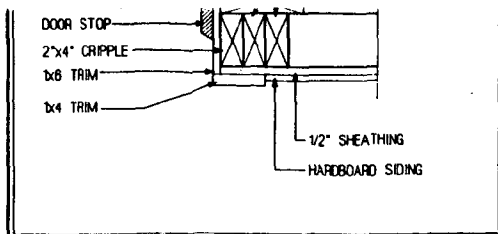
FOUNDATION FOOTING (FROST)

COMMON DETAILS AND SCHEDULES

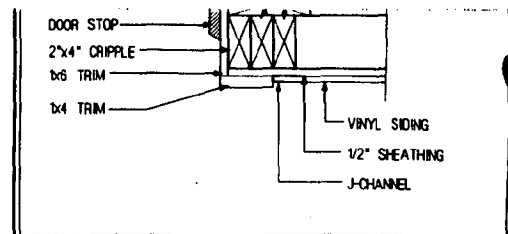
1'-4'-0" 1'-4'-0" 1'-4'-0" 1'-4'-0" 1'-4'-0" 1'-4'-0" 1'-4'-0" 1'-4'-0"



3 OVERHEAD DR. JAMB
SCALE: 1 1/2" = 1'-0"

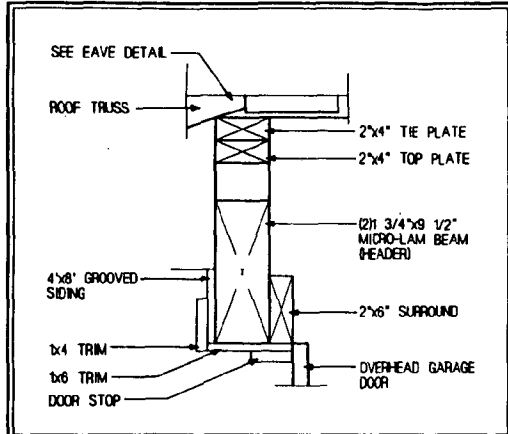


3 OVERHEAD DR. JAMB
SCALE: 1 1/2" = 1'-0"

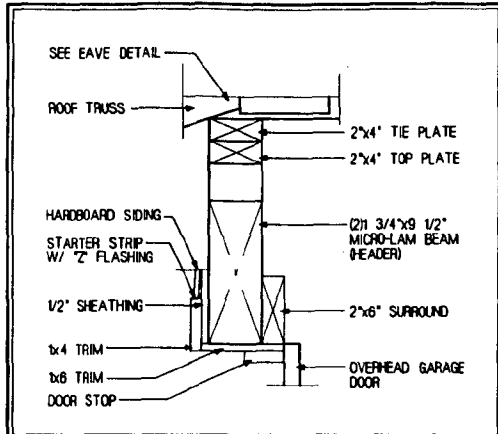


3 OVERHEAD DR. JAMB
SCALE: 1 1/2" = 1'-0"

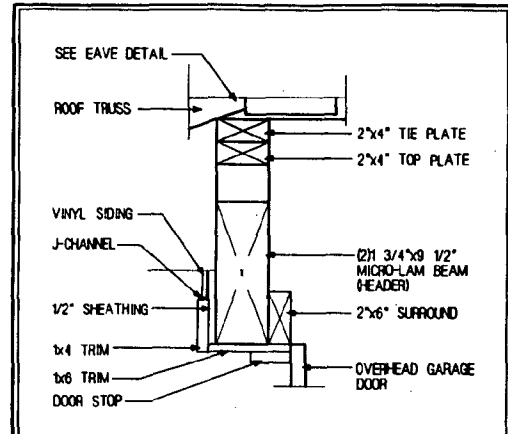
12



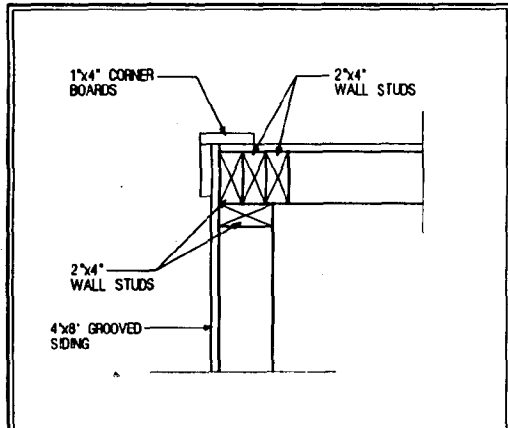
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



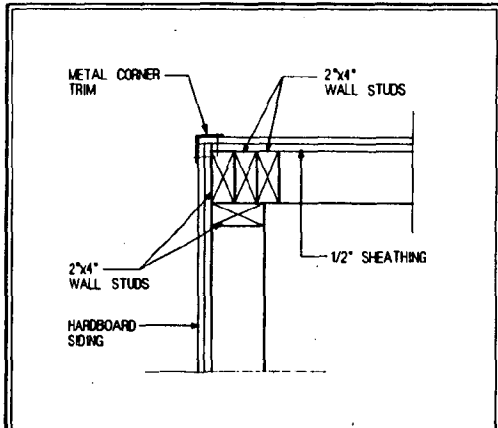
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



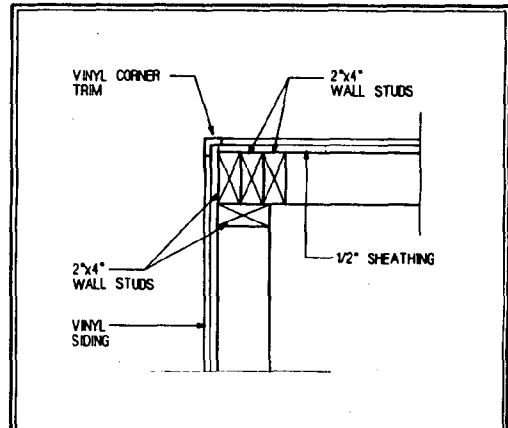
2 OVERHEAD DR. DET.
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



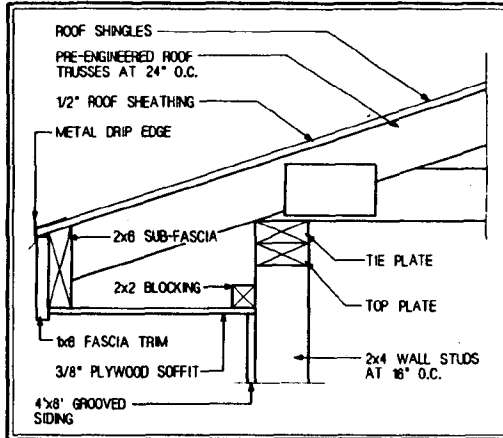
1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



1 CORNER DETAIL
SCALE: 1 1/2" = 1'-0"

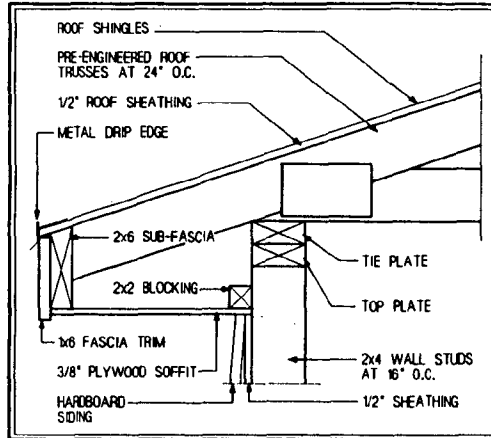
CONSTRUCTION DETAILS

GROOVED SIDING



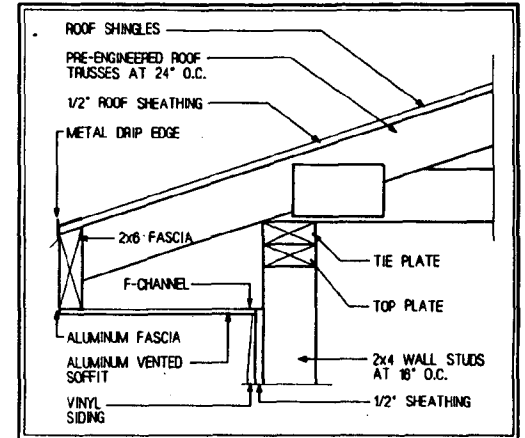
5 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

HARDBOARD SIDING

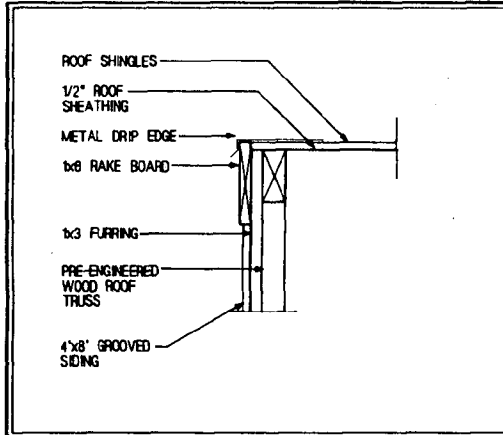


5 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

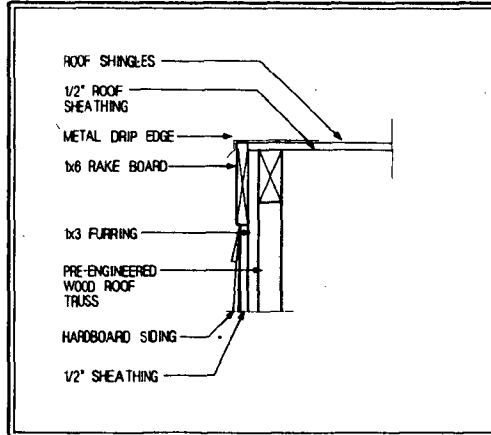
VINYL SIDING



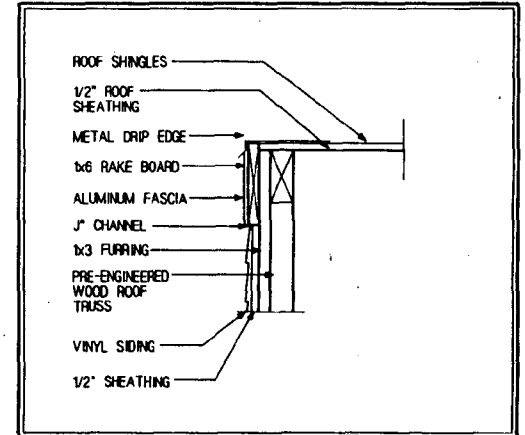
5 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



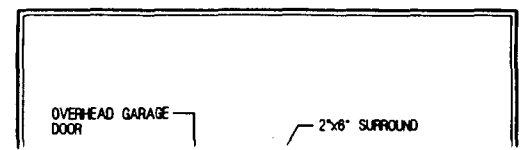
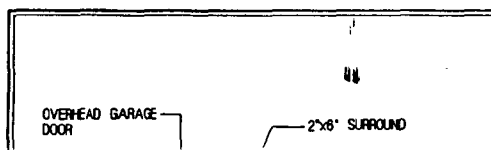
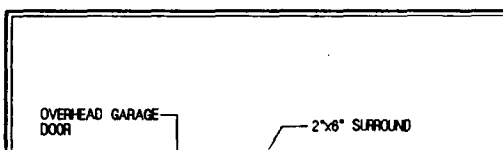
4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"

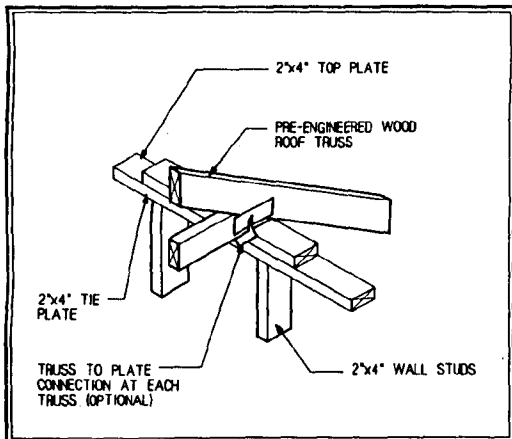


4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



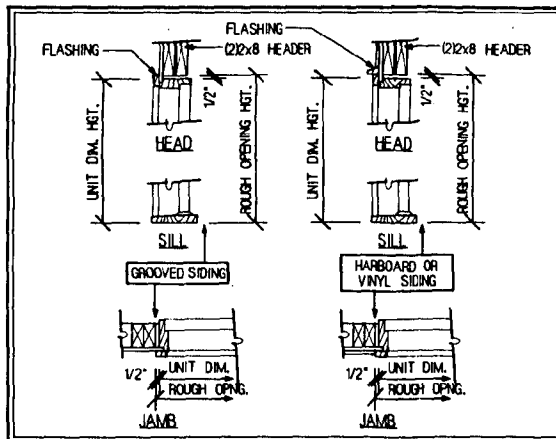
4 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"





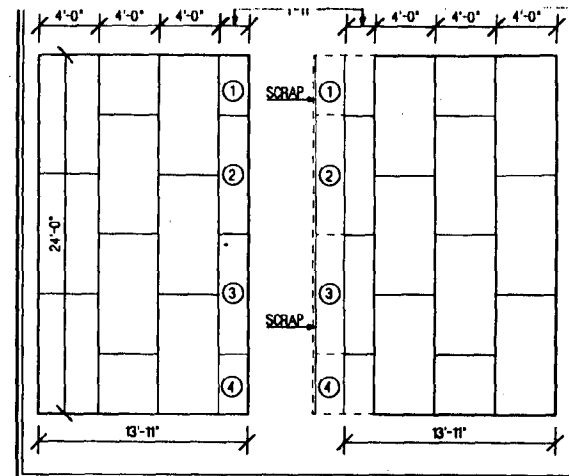
OPTIONAL TRUSS TO PLATE CONN.

SCALE: NONE



DOOR DETAILS

SCALE: 3/4"=1'-0"



ROOF SHEATHING LAYOUT

SCALE: NONE



84

24'X24' EAVE ENTRY GARAGE

\$5.84
50268

GROOVED SIDING	81025-99
VINYL	81026-99
HARDBOARD	81027-99

FRAMING PACKAGE 81079-99		
QUANTITY	SIZE	DESCRIPTION
1 EA	2X4X8'	WALL PLATE TREATED
6 EA	2X4X12'	WALL PLATE TREATED
92 EA	2X4X92 1/2"	PRE CUT STUDS & CRIPPLES
8 EA	2X4X12'	TOP WALL PLATE
6 EA	2X4X16'	TIE PLATE
2 EA	2X8X8'	HEADER/SERVICE DOOR & WINDOW
4 EA	1 1/2"X9 1/2"X10'	MICRO-LAM/OVERHEAD DOOR
1 EA	1 1/2"X4'X8'	CDX HEADER SPACER
2 EA	2X6X10'	OVERHEAD DOOR (SURROUND)
2 EA	2X6X16'	OVERHEAD DOOR (SURROUND)
6 EA	T-TYPE	DIAGONAL WIND BRACING
2 EA	1X6X10'	HEAD JAMB/OVERHEAD DOOR TRIM
2 EA	1X6X16'	LEG JAMB/OVERHEAD DOOR TRIM
20 LB	16D	COMMON NAILS COATED
18 LB	8D	COMMON NAILS COATED

ROOF PACKAGE 81019-99		
QUANTITY	SIZE	DESCRIPTION
13 EA	24' 1/2"	PRE-ENGINEERED WOOD TRUSSES
8 EA	2X4X12'	TRUSS BRACING
24 EA	1X3X8'	TRUSS FURRING/GABLE ENDS
21 EA	1/2"X4'X8'	CDX ROOF SHEATHING
2 EA	15 #	FELT PAPER
7 SQ	215 #	FIBERGLASS SHINGLES
84 EA	1/2"	H-CLIPS
14 LB	1 1/2"	ROOF NAILS
11 EA	10'	METAL DRIP EDGE

GROOVED SIDING PACKAGE 81020-99		
QUANTITY	SIZE	DESCRIPTION
27 EA	4'X8'	GROOVED SIDING
4 EA	1X6X14'	GABLE RAKE BOARD
4 EA	2X6X12'	SUB FASCIA
2 EA	1X6X12'	EAVE FASCIA
2 EA	1X6X14'	EAVE FASCIA
2 EA	3/4"X4'X8'	BC PLYWOOD/SOFFIT
2 EA	2X4X12'	SOFFIT BLOCKING (RIPPED)
5 EA	10'	METAL Z FLASHING
8 EA	1X4X8'	CORNER BOARD
2 EA	1X4X10'	OVERHEAD TRIM (HEAD)
2 EA	1X4X16'	OVERHEAD TRIM (LEG)
10 LB	8D	SIDING NAILS

VINYL SIDING PACKAGE 81021-99		
QUANTITY	SIZE	DESCRIPTION
27 EA	1/2"X4'X8'	EXTERIOR SHEATHING BOARD
4 EA	1X6X14'	GABLE RAKE BOARD
4 EA	2X6X12'	SUB FASCIA
2 EA	1X4X10'	OVERHEAD TRIM (HEAD)
2 EA	1X4X16'	OVERHEAD TRIM (LEG)
9 SQ		VINYL SIDING
4 EA		VINYL OUTSIDE CORNERS
9 EA		STARTER STRIP
6 EA		FINISH TRIM
18 EA		VINYL "J" CHANNEL
4 EA		ALUMINUM "F" CHANNEL
5 EA		ALUMINUM VENTED SOFFIT
9 EA		8" ALUMINUM FASCIA & RAKE
4 LB		2" ALUMINUM NAILS
1 EA		BOX 1 1/4" ALUMINUM TRIM NAILS
18 LB		1 1/4" SHEATHING NAILS

HARDBOARD SIDING PACKAGE 81022-99		
QUANTITY	SIZE	DESCRIPTION
27 EA	1/2"X4'X8'	EXTERIOR SHEATHING BOARD
68 EA	12'X16'	HORIZONTAL HARDBOARD SIDING
4 EA	1X6X14'	GABLE RAKE BOARD
4 EA	2X6X12'	SUB FASCIA
2 EA	1X6X12'	EAVE FASCIA
2 EA	1X6X14'	EAVE FASCIA
2 EA	3/4"X4'X8'	BC PLYWOOD/SOFFIT
2 EA	2X4X12'	SOFFIT BLOCKING (RIPPED)
3 EA	10'	METAL Z FLASHING
40 EA	12'	METAL CORNERS
2 EA	1X4X10'	OVERHEAD TRIM (HEAD)
2 EA	1X4X16'	OVERHEAD TRIM (LEG)
15 LB	80	SIDING NAILS
18 LB		1 1/4" SHEATHING NAILS

DOOR AND WINDOW PACKAGE 81023-99		
QUANTITY	SIZE	DESCRIPTION
1 EA	3032	DH WOOD WINDOW
1 EA	3068	PH9 PANEL STEEL SERVICE DOOR
2 EA	9'X7'	OVERHEAD WOOD GARAGE DOOR W/HARDWARE
52 LF		DOOR STOP
1 EA	2X4X16'	OVERHEAD DOOR HANGER MATERIAL
1 EA		ENTRANCE LOCKSET
2 LB	8D	FINISH NAILS

NOTE: THE FOLLOWING MATERIALS NOT SUPPLIED BY 84 LUMBER. LISTED FOR CONVENIENCE ONLY.

FOUNDATION MATERIAL WO/FROST LINE		
QUANTITY	SIZE	DESCRIPTION
14 CU YD		CONCRETE FOUNDATION & SLAB FLOOR
576 SF	6X6-2.9X2.9	WELDED WIRE FABRIC
200 LF	1/2" DIA	REINFORCING BAR
7 CU YO		GRAVEL FILL
23 EA	1/2" DIA X 12	ANCHOR BOLTS W/NUTS & WASHERS

FOUNDATION MATERIAL W/FROST LINE		
QUANTITY	SIZE	DESCRIPTION
4 CU YD		CONCRETE FOR FOOTING
8 CU YD		CONCRETE FOR FOUNDATION WALLS MAY VARY DUE TO LOCAL DEPTH REQUIREMENTS
7 CU YD		CONCRETE FOR FLOOR
576 SF	6X6-2.9X2.9	WELDED WIRE FABRIC
200 LF	1/2" DIA	REINFORCING BAR
7 CU YO		GRAVEL FILL
23 EA	1/2" DIA X 12	ANCHOR BOLTS W/NUTS & WASHERS

NAILING SCHEDULE			
Connection	Number and Size of Common Nail	How Nailed	
Top plate to stud	2 16d	End nail	
Double studs	16d @ 16" o.c.	Facenail	
Built-up corner studs	16d @ 24" o.c.	Facenail	
Doubled top plates	16d @ 16" o.c.	Facenail	
Top plates, laps, and intersections	2 16d	Facenail	
Continuous headers, 2 pieces	16d @ 16" o.c. along each edge	Facenail	
Continuous header to stud	4 8d	Toenail	
Truss to plate	3 8d	Toenail	
1" brace to each stud and plate	2 6d	Facenail	
1 by 8 sheathing or lath, each bearing	2 8d	Facenail	
Wider than 1 by 8 sheathing, each bearing	3 8d	Facenail	

CONSTRUCTION STEPS

PRE-CONSTRUCTION STEPS

1. Carefully study this plan, reading all instructions before beginning construction on the garage. Check with local building officials regarding building codes, permits and frost conditions. If an independent contractor is pouring garage slab and foundation, skip Steps 3 through 10.

2. Plan garage location to allow for any limitations on side, front and rear setbacks. Also allow enough room around the garage for easy entrance, exit and possible turn-around and for access to the side door. Check with local utilities for any underground services. Soil should be tested to insure that it meets design loads set forth in General Notes.

FOUNDATION STEPS

3. Carefully stake out the foundation, squaring the corners by checking that the plan dimensions are to outside of concrete and face of studs.

4. Note: Step 5 and Step 6 pertain to NO-FROST construction; Steps 7 through 10 to FROST construction.

5. For NO-FROST construction (see BUILDING SECTION of plan), dig trenches for footing of the monolithic pour. Build up foundation forms so that the top of form is 6" above original soil level. Remove approximately 2" of soil within area to provide 8" of space to top of form. Lay rebar in footing trenches. Have a building department official check trenches and concrete forms before pouring concrete.

6. For NO-FROST construction, fill floor area with a minimum of 4" of gravel and compact to within 4" of top of form. Install W6x6-2.9x2.9 welded wire fabric over gravel fill, and pour concrete to thickness shown on BUILDING SECTION drawing. While pouring concrete, periodically lift welded wire fabric to insure its proper placement in the concrete slab, and set anchor bolts 1 1/2" in from edge of concrete on center points according to FOUNDATION PLAN and extend to at least 2 1/2" above top of concrete. Move on to Step 11.

7. For FROST construction (see BUILDING SECTION of plan), check local codes for frost-line depth and dig footing trenches to a depth of 6" below frost line. Place rebar in trenches. Have local building official check location and depth of trenches before pouring footing concrete. Pour footing concrete and provide formed key in it by using a 2"x4" in the center of the concrete which extends the length of the footing. Before concrete is completely set, remove 2"x4".

8. For FROST construction, build foundation wall forms to a height 6" above grade. Have local building official check concrete forms before pouring concrete. Brace forms and pour concrete to top of forms. Tapping form sides to compact concrete and fill all voids. Set anchor bolts 1 1/2" in from edge of concrete on center according to the FOUNDATION PLAN and extend to at least 2 1/2" above top of concrete.

9. For FROST construction, remove foundation wall forms after concrete has set. Backfill the exterior foundation walls with soil. The interior foundation walls should be backfilled with compacted soil to within 8" from top of foundation walls.

10. For FROST construction, fill floor area with a minimum of 4" of gravel and compact to within 4" of the top of the rear foundation and to within 6" of the top of the front foundation at the overhead doors. This will pitch the slab 2". Install W6x6-2.9x2.9 welded wire fabric over gravel fill, and pour concrete slab to thickness shown on BUILDING SECTION drawing. While pouring concrete, periodically lift welded wire fabric to insure its proper placement in the concrete slab.

WALL FRAMING STEPS

11. You are now ready to assemble and install the walls. To ease handling, you will assemble each wall using at least two panels. Assemble all panels on the garage slab before lifting them into position. Double-check door and window rough opening sizes before framing them. Construction begins with wall panels A, B, C and D.

12. Panel A: Lay 2"x4" bottom plate (pre-drilled to fit over anchor bolt locations) and 2"x4" top plate for Panel A side by side, and mark 2"x4" stud positions 16" on center as shown on REAR FRAMING ELEVATION. Note that the first space at each panel end is measured from the outside face of stud to the center line of the next stud. Nail through top and bottom plates to pre-cut 2"x4" studs (7' 8 1/2" long) using two 16-penny nails at each connection.

13. To attach metal "T-Type" wind bracing, first check that panel is square. Then position metal "T-Type" wind bracing at an angle from the outer corner of the panel top down to the bottom plate. Mark the position of the bracing on each stud. Use a circular power saw to cut into studs at each mark. Nail brace with two 8-penny nails at each stud and top and bottom plate. Repeat this Step 13 on all corners.

14. Repeat Step 12 and Step 13 for wall panels B, C and D (see LEFT SIDE, RIGHT SIDE and REAR FRAMING ELEVATIONS).

15. Note, regarding Panels C and D: Additional steps are required to add the door openings shown in the LEFT and RIGHT SIDE ELEVATIONS. First, apply corner bracing. Second, nail 2"x4" jacks on each side of window and door openings. Third, cut 2"x10" headers to rough opening sizes shown on each panel. Lift headers into position, and nail to panel studs with 16-penny nails. Finally, install cripples as necessary. Nail into position using 10-penny nails.

16. When panel assembly is complete, the walls can be erected. Lift Panel A up, placing it in position over the anchor bolts. Brace the panel securely with a 2"x4" brace, lath-nailed to a ground stake. Place washer and nut onto anchor bolts and tighten down panel. Repeat for Panels B, C and D.

17. Repeat Step 12, Step 13 and Step 16 to assemble and erect panels E and F (see LEFT SIDE and RIGHT SIDE FRAMING ELEVATIONS).

18. As panels are erected, attach 2"x4" top tie plates (see ELEVATIONS). Lap at corners as shown on FRAMING ELEVATIONS and nail plates together with 16-penny nails 8" on center.

19. Assemble and erect front wall panels G, H, and using Steps 12, 13 and 16 (see FRONT FRAMING ELEVATION).

20. Nail 2"x4" cripples on each side of overhead door opening.

21. Cut 2"x10" garage door headers to 9' 6" long. Lift headers into position to rest on cripples. Nail to panel studs with 16-penny nails.

22. Cut 2"x4" cripples and nail at 16" on center to top of garage door headers. Add top plate to the top of the cripples, level with the top.

23. Add 2"x4" tie plates to remaining wall panels. Nail 2"x4" garage door hardware surround to inside face of cripples.

PRE-ENGINEERED WOOD TRUSSES INSTALLATION STEPS

24. Install pre-engineered wood trusses at 2' 0" centers as shown on the FRAMING ELEVATIONS.

25. Then nail plate connectors to each truss and to the top plates as required. Use nails provided with truss package.

SIDING, SHEATHING & ROOFING INSTALLATION STEPS

26. If you are using vinyl or hardboard siding follow Manufacturer's instructions for proper installation methods. (Skip to Step 28)

27. If you are using 4'x8' Grooved Siding proceed as follows: Start siding installation about 1/2" below top of foundation. Top edge can be nailed into 2"x4" tie plate at top of wall. Nail siding with 8-penny, non-corrosive siding or casing nails spaced 6" on center at panel edges and 12" on center at intermediate studs. Add "Z" flashing where indicated on ELEVATION drawings.

28. Apply 1/2" sheathing over roof trusses starting at the bottom of the truss (see ROOF SHEATHING LAYOUT). Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same truss. Check plans carefully to determine how far roof sheathing should extend at truss ends. Apply 1"x6" fascia and soffits as per the drawings.

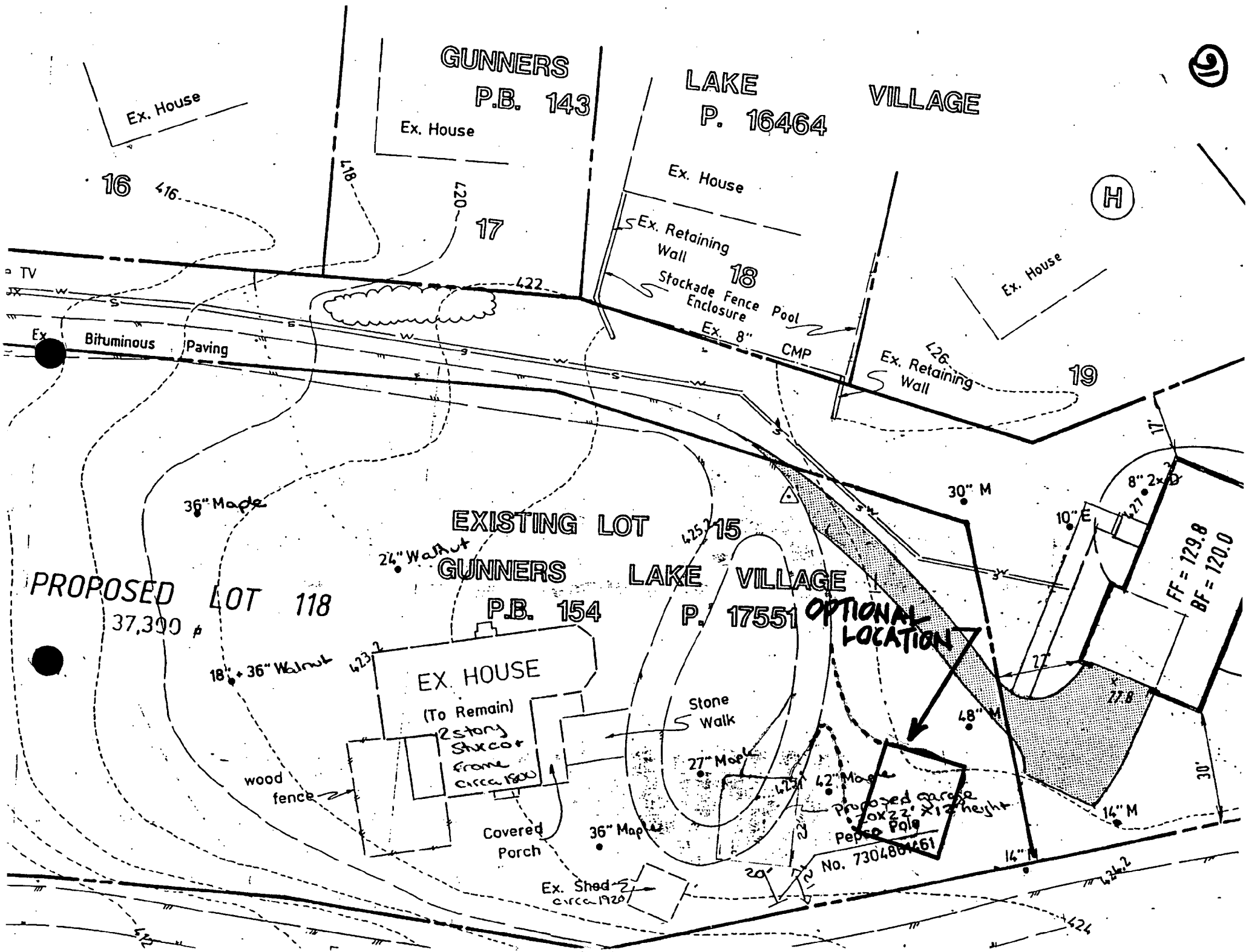
29. Apply roofing felt and roof shingles, following manufacturer's instructions. Extend shingles 1/2" beyond fascia. Trim excess portions of shingles from inside in order to maintain a neat appearance.

FINISHING STEPS

30. Trim out door openings with jacks and casing, and trim eaves and all corners. Install side door and window.

31. Install overhead garage door following manufacturer's instructions.

32. Paint or stain siding and trim as desired following manufacturer's directions.



Ex. House

GUNNERS P.B. 143

LAKE VILLAGE P. 16464

H

16

17

18

19

Ex Bituminous Paving

Ex. Retaining Wall Stockade Fence Enclosure Ex. 8" Pool CMP

Ex. Retaining Wall

EXISTING LOT

PROPOSED LOT 118 37,300 p

GUNNERS LAKE VILLAGE P.B. 154 P. 17551

OPTIONAL LOCATION

EX. HOUSE

(To Remain) 2 story Stucco Frame Circa 1900

Stone Walk

wood fence

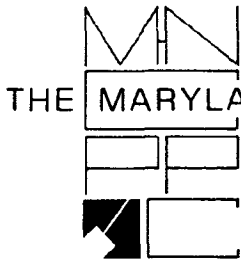
Covered Porch

Ex. Shed circa 1920

Proposed garage 20x22' x 12' height

No. 730480461

FF = 129.8 BF = 120.0



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

March 27, 1992

MEMORANDUM

TO: Joe Davis
Malcolm Shaneman
Development Review Division

FROM: Gwen Marcus, Historic Preservation Coordinator
Mary Ann Rolland, Historic Preservation Planner
Urban Design Division

SUBJECT: Review of Pre-Preliminary Plan #7-91051, Gunners Lake
Village

At the January 15, 1992 meeting of the Historic Preservation Commission, the Commission reviewed the subdivision proposal known as Gunners Lake Village (M-NCPPC Pre-Preliminary Plan #7-91051), involving Master Plan Site #19/11 Waring/Crawford Farm.

The Commission recommended approval of the subdivision with three conditions:

1. Because this is a subdivision of an established environmental setting and could set an undesirable precedent, the owner must submit written justifications for the subdivision of the setting with reasons as to why this specific proposal is a special case and will not set a precedent for other historic resources.
2. The Historic Preservation Commission will retain design review over both lots, including any house to be built on the new parcel, even if it changes hands. A new house should face south and relate to the existing historic house. The mature plantings and trees should be preserved as part of the environmental setting.
3. The justifications for the subdivision described above should be noted on the record plat, including notice that the new parcel remains subject to HPC design review.

The Commission also approved in concept the owner's request that the new lot be reduced in size to 20,000 square feet (instead of 30,000 square feet, as indicated on the submitted plan) to allow a larger lot for the historic resource.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

PREPARED BY: Mary Ann Rolland

DATE: January 7, 1992

CASE NUMBER: #7-91051, Gunners
Lake Village

TYPE OF REVIEW: Subdivision
Review

SITE/DISTRICT NAME: Waring/Crawford PROPERTY ADDRESS: 19212 Forest
Farm, Master Plan Brook Road
Site #19/11 Germantown

DISCUSSION:

Gunners Lake Subdivision proposes dividing the existing 1.7 acre environmental setting for Master Plan Site #19/11, the Waring/Crawford Farm, into two smaller parcels, leaving the historic structure on a 34,175 square foot parcel and creating a second parcel of 30,000 square feet to the north of the historic farmhouse, accessed by the existing drive from Forest Brook Road. An easement on the shared driveway would be created to allow ingress and egress from the proposed lot 119.

When the Waring/Crawford Farm was placed on the Master Plan in 1989, the environmental setting was delineated as 1.7 acres, noting the importance of the drive and treeline. The historic drive approach was from the old Waring Station Road to the north, which has since been abandoned. The surrounding development created Forest Brook Road, with a new approach to the Waring/Crawford House from the south created with a turn-around on the north side of the house.

RECOMMENDATION:

The creation of a second house on the property facing the historic house could be an enhancement of the property, as long as the attractive mature landscaping is preserved and accommodations made for storage of vehicles and other utility items. The change in the road approach has created some neighborhood inconsistencies, with surrounding neighbors' back yards facing the historic resource, and the rear of the historic resource facing the new street. The larger parcels are needed to help protect the privacy and livability of the houses, as well as setting them apart from the rest of the development.

Staff recommends approval of this subdivision with two conditions:

1. Because this subdivision of an established environmental setting could set an undesirable precedent, the owner must submit written justifications for subdivision of the setting with reasons why this specific proposal is a special case and will not set a precedent for other historic resources.
2. The Historic Preservation Commission will retain design review of any house to be built on the new parcel, even if it changes hands. A new structure should face south, and relate to the existing historic house. The mature plantings and trees should be preserved as part of the environmental setting.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20907

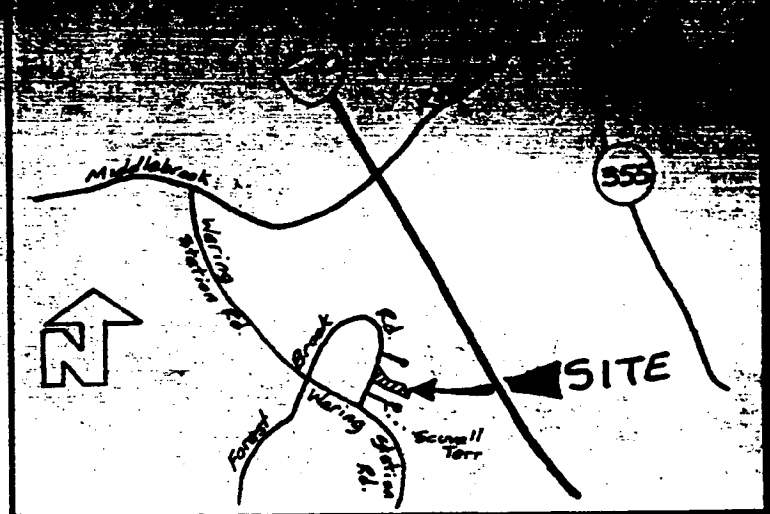
FROM: Subdivision Office - M-NCPPC

NAME: Hunners Lake Village

FILE NO.: 7-91051

Enclosed please find the information checked below. This material will be discussed at the Subdivision Review Committee Meeting of Jan. 6, 1992 (no meeting scheduled if blank).

- New preliminary plan application with supporting material as appropriate
- Supporting material for previously reviewed preliminary plan
- Revised preliminary plan drawing
- New pre-preliminary plan application

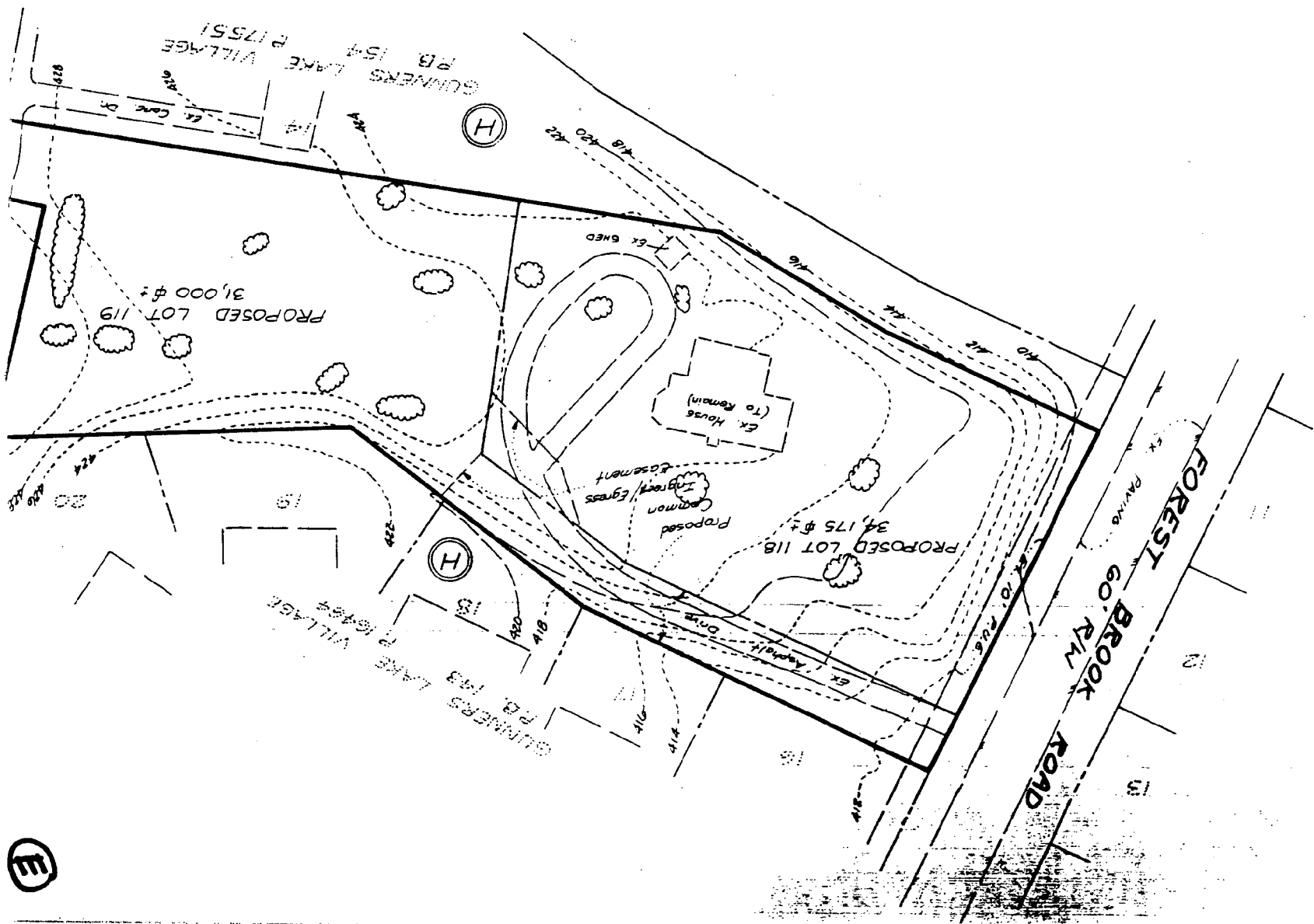


VICINITY MAP

Scale: 1"=2,000'

NOTES

1. Boundary from Subdivision Plat of Lots 14 & 15, Block H, Gunners Lake Village recorded in Plat Book 154 as Plat 17551.
2. Topography has been reproduced from Site Plan # 8-85106 entitled Crawford Farm.
3. Zoning = R-150
4. Area = 65,175 sq. ft.
5. Proposed Number Lots = 2.
6. Water Category W-1
Sewer Category S-1



HISTORIC SITE FORM **

PLAS # 19/011-000 HIST. NAME WARING/CRAWFORD FARM ENTRY DATE 09/08/89
 ADDRESS 19212 FOREST BROOK ROAD
 OWNER AMY STILLWELL ADDRESS 19212 FOREST BROOK ROAD
 CITY GERMANTOWN STATE MD ZIP 20874 PHONE 301-229-2214
 TAX ACCOUNT # 00766983 TAX MAP # EUS61 MAP COORD 226W12
 LOT/BLOCK P444 ACREAGE 0001.70 ZONING R150 USE RESIDENTIAL
 MASTER PLAN GERMANTOWN CIVIC 289 673

**** DESCRIPTION/SIGNIFICANCE ****

CRITERIA 2A 2C 2E YEAR C 1881 COND GOOD STYLE ECLECTIC
 FEATURES/INTEREST _____
 ENVIR SETTING HPC REC: ENTIRE PARCEL; PLANNING BOARD REC: 1.7 ACRE PARCEL AS
REDUCED BY RECENT SUBDIVISION/DEVELOPMENT

**** ADMINISTRATIVE INFORMATION ****

STATUS MASTER PLAN
 HIST PRES COMM REC POS BOARD REC POSITIVE COUNCIL ACTION POSITIVE
 HPC EVAL DATE 12/04/86 BOARD HEARING DATE 04/25/89 BOARD ACTION DATE 06/09/88
 CC RES # 11-1498 DATE 06/13/89 MNCPPC RES # 89-11 DATE 07/12/89

COMMENTS SINCE REVIEWED BY THE HPC, THIS SITE HAS BEEN SUBDIVIDED WITH THE H
HISTORIC STRUCTURE REMAINING ON A SMALLER PARCEL OF LAND IN A 1-FAMILY AREA.

HISTORIC PRESERVATION ORDINANCE CRITERIA

- (1) *Historical and cultural significance.* The historic resource:
 - a. Has character, interest or value as part of the development, heritage or cultural characteristics of the county, state or nation;
 - b. Is the site of a significant historic event;
 - c. Is identified with a person or a group of persons who influenced society; or
 - d. Exemplifies the cultural economic, social, political or historic heritage of the county and its communities.
- (2) *Architectural and design significance.* The historic resource:
 - a. Embodies the distinctive characteristics of a type, period or method of construction;
 - b. Represents the work of a master;
 - c. Possesses high artistic values;
 - d. Represents a significant and distinguishable entity whose components may lack individual distinction; or
 - e. Represents an established and familiar visual feature of the neighborhood, community or county due to its singular physical characteristic or landscape. (Ord. No. 9-4, § 1.)



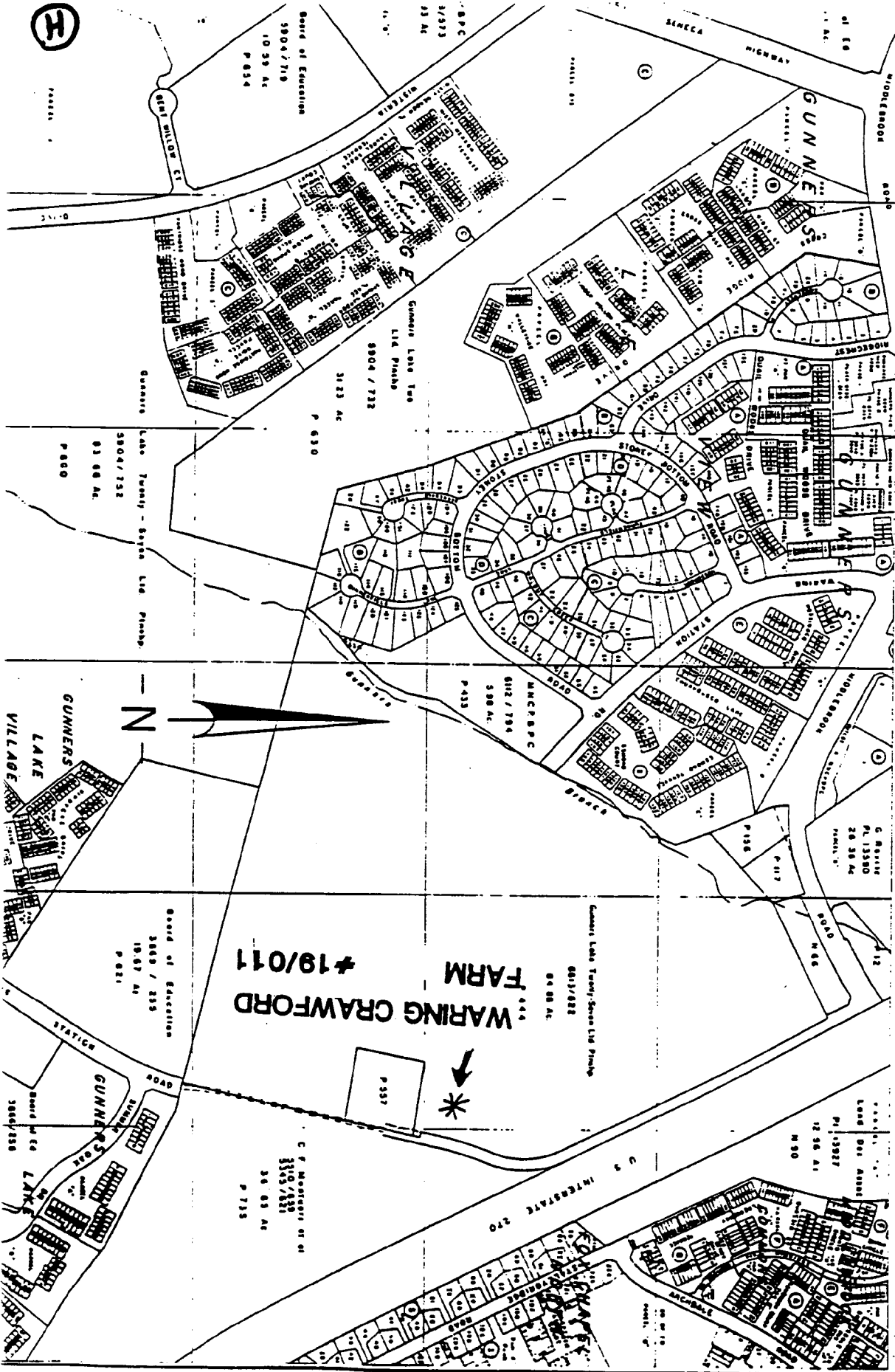
WARING CRAWFORD FARM #19/011

(H)

E5

E6

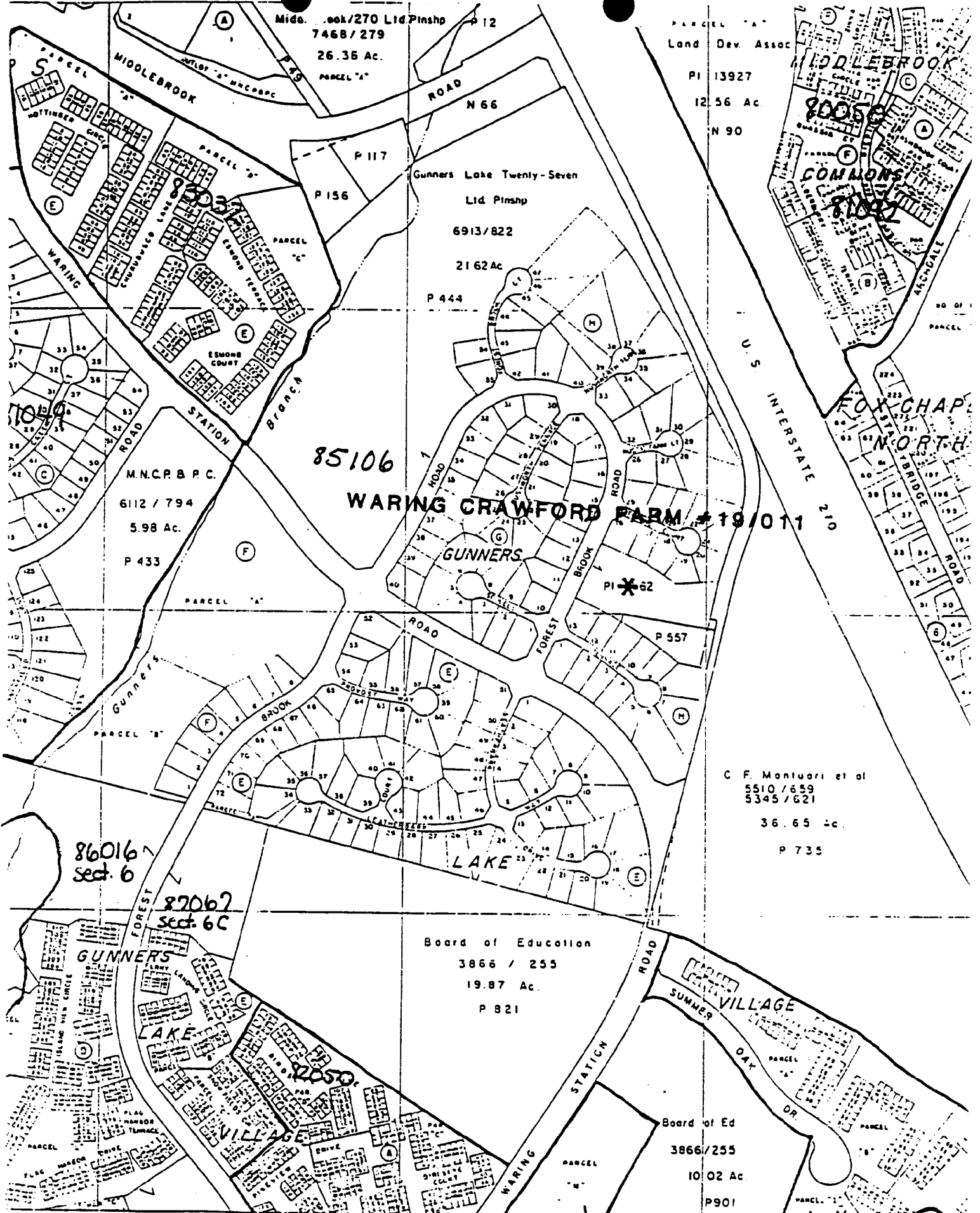
Map EU561
W.S.C. 226 NW 12
LONDON FOR CHAPEL



WARING CRAWFORD FARM
*
↓

N

(S)



Middlebrook/270 Ltd Pinshp
 746B/279
 26.35 Ac.
 PARCEL "A"

PARCEL "A"
 Land Dev. Assoc
 P1 13927
 12.56 Ac.
 N 90

Gunnars Lake Twenty-Seven
 Ltd Pinshp
 6913/822
 21.62 Ac
 P 444

M.N.C.P. & P.C.
 6112 / 794
 5.98 Ac.
 P 433

85106
WARING CRAWFORD FARM # 19/011

C. F. Mantuani et al
 5510 / 659
 5345 / 621
 36.65 Ac.
 P 735

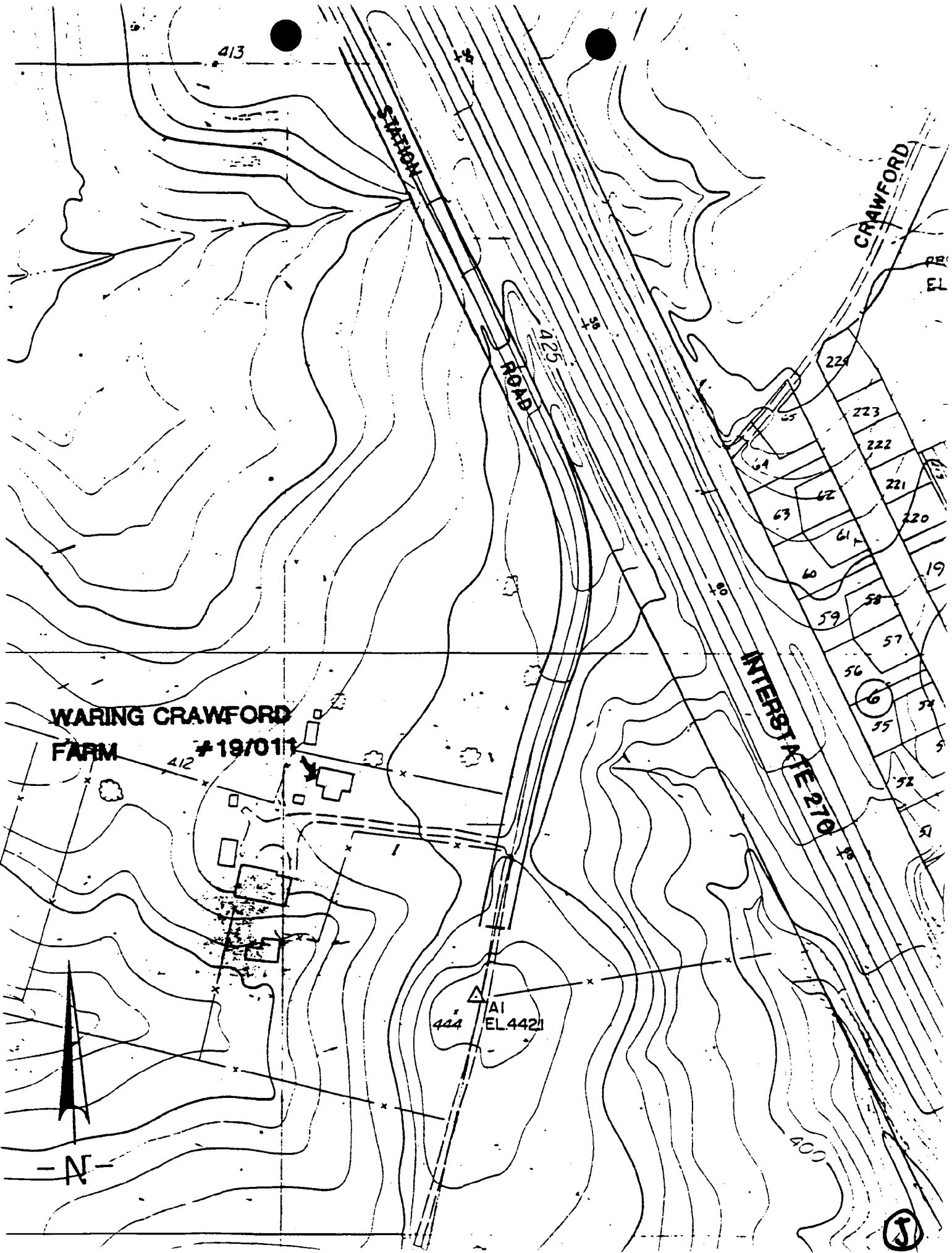
Board of Education
 3866 / 255
 19.87 Ac.
 P 821

Board of Ed
 3866/255
 10.02 Ac
 P901

86016
 sect. 6

87067
 sect. 6C





413

STATION

ROAD

CRAWFORD

INTERSTATE 270

WARING CRAWFORD FARM #197011

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J

HPC MINUTES, DECEMBER 4, 1987

The next site to be evaluated was the Waring/Crawford Farm (#19/11), at 19100 Waring Station Road, Germantown. The original section of the house is a two story log and frame dwelling probably built in the last quarter of the 19th century, circa 1881, by George Crawford. A second section of the house which includes a two story tower with pyramidal roof and an ornately decorated porch was probably added in the early part of the 20th century at which time the house was covered with stucco. The style of the house is distinctive for Montgomery County and reflects the architectural style more typical in Frederick County at that time. Properties to the rear (or west) of the house and to the north are currently being developed.

MOTION: Mrs. Brock moved that the Waring/Crawford farmhouse be recommended for placement on the Master Plan based on criteria 2(a),(c), and (e), as a sophisticated farmhouse of eclectic style with characteristics and features typical of Frederick County architecture of the early 20th century. The environmental setting would be the entire parcel, particularly including the drive and trees. Ms. McGuckian seconded the motion which passed unanimously.

HPC TRANSMITTAL, JANUARY 7, 1987

The Commission recommends that the Waring/Crawford Farm (#19/11), 19100 Waring Station Road, Germantown, be placed on the Master Plan for Historic Preservation based on criteria 24A-3 (b)(2)a "embodies the distinctive characteristics of a type, period, or method of construction"; (2)b "represents the work of a master"; and (2)e "represents an established and familiar visual feature of the neighborhood, community, or county". The Waring/Crawford farmhouse was originally constructed as a two story log and frame dwelling in the last quarter of the 19th century. It took on its current appearance in the early 20th century with the construction of a second section, the addition of a two story tower, and the stuccoing of the entire structure. The style of the house is characteristic of the style typical in Frederick County in the early 20th century and is recommended as a sophisticated farmhouse of eclectic style with characteristics and features typical of Frederick County at that time. The recommended environmental setting is the entire parcel particularly including the drive and treeline.

Maryland Historical State Historic Sites Inventory Form

Map No.

DOE yes no

1. Name (indicate preferred name)

historic Waring/Crawford Farm

and/or common

2. Location

street & number 19100 Waring Station Rd. not for publicationcity, town Germantown vicinity of congressional district 9thstate Maryland county Montgomery

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture <input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial <input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational <input checked="" type="checkbox"/> private residence
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment <input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government <input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial <input type="checkbox"/> transportation
	<input type="checkbox"/> not applicable	<input checked="" type="checkbox"/> no	<input type="checkbox"/> military <input type="checkbox"/> other:

4. Owner of Property (give names and mailing addresses of all owners)

name George Thomas Crawford and Timothy Plummer Crawfordstreet & number 19100 Waring Station Rd. telephone no.: 972-3206city, town Germantown, Md. state and zip code 20767

5. Location of Legal Description

courthouse, registry of deeds, etc. Montgomery County Courthouse liber 4590street & number folio 628city, town Rockville state Maryland

6. Representation in Existing Historical Surveys

title MNCPPC Historic Sites Inventorydate 1976 federal state county localdepository for survey records Park Historian's Officecity, town Rockville state Maryland

①

7. DESCRIPTION	
CONDITION	(Check One)
	<input type="checkbox"/> Excellent <input checked="" type="checkbox"/> Good <input type="checkbox"/> Fair <input type="checkbox"/> Deteriorated <input type="checkbox"/> Ruins <input type="checkbox"/> Unexposed
	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> (Check One) <input checked="" type="checkbox"/> Altered <input type="checkbox"/> Uncluttered </div> <div style="width: 45%;"> (Check One) <input type="checkbox"/> Moved <input checked="" type="checkbox"/> Original Site </div> </div>
DESCRIBE THE PRESENT AND ORIGINAL (If known) PHYSICAL APPEARANCE	
<p>The house is a log and frame building, covered with pebbledash. The central part was the original two story log building; it has two story external brick chimneys with free standing stacks on both ends. The facade of this section is three bays with a central entrance. The windows are 6/2 double hung sash windows. The cornice is boxed and returned into the gable end. A one story porch with bracketed, turned posts extends part way across the front. On the east end of the facade is a two story bay window; where this joins the main house a tower with pyramid roof has been added.</p> <p>There is a two story ell extending to the north. On the north end is an internal stack for a stove.</p> <p>South of the house is a bankbarn and a double corncrib. The slave quarters and out kitchen formerly stood behind the house.</p> <p>The two story, frame house north of the Waring farm was once part of this farm. It is built in several sections.</p>	

SEE INSTRUCTIONS



Period	Areas of Significance	Check and justify below		
pre-historic	archeology-prehistoric	community planning	landscape architecture	religion
1400-1499	archeology-historic	conservation	law	science
1500-1599	agriculture	economics	literature	sculpture
1600-1699	<input checked="" type="checkbox"/> architecture	education	military	social/
1700-1799	art	engineering	music	humanitarian
1800-1899	commerce	exploration/settlement	philosophy	theater
1900-	communications	industry	politics/government	transportation
		invention		other (specify)

Specific dates _____ Builder/Architect _____

check: Applicable Criteria: A B C D
 and/or _____
 Applicable Exception: A B C D E F G
 Level of Significance: national state local

Prepare both a summary paragraph of significance and a general statement of history and support.

The Waring/Crawford farmhouse is a rural vernacular log and frame dwelling probably built during the last quarter of the nineteenth century. The house is very distinctive in its architectural styling. The original section of the house is a two story, four room log dwelling.¹ To this was later added a two story addition with a bay window, a two story tower with a pyramidal roof and an ornately decorated turned post porch, all covered in pebbledash. The house is unlike most rural dwellings in the area and has been nicely maintained.

The original log house was probably built by George Leslie Crawford about 1881.² George purchased the land on which the house was built, approximately 214 acres of the "Resurvey on Norway" tract, from the heirs of John P. Waring for \$4,124.92 in April of 1881.³ George ran a wheat and dairy farm here.⁴ The second section of the house was probably added during the early part of the twentieth century.⁵

George died in 1925 and the farm was passed on to his sons, George L., Jr. and Luther H. Crawford as directed by his last will and testament.⁶ The farm was resided on by George, Jr. who died in 1950 leaving the property to his wife, Zula Edna Crawford.⁷ The farm remains in the Crawford family to this day. It is now the property of George Thomas Crawford.⁸ It is still a working, wheat producing farm.⁹

¹Conversation with Mr. G.T. Crawford, 7/83.
²The date given is based on the date that the property was purchased. The records of the equity case during which Geo. L. Crawford purchased the property describes a two story dwelling but states that it was of frame, not log construction, with log outbuildings.
³Deed ERP 24/14, Montgomery County Land Records
⁴Conversation with Mrs. Crawford, 7/83.

See Attachment Sheet A



Attachment Sheet A

5. Montgomery County Commissioners Tax Assessment Books, 1894-1907.
6. Will PEW 2/476, Montgomery County Register of Wills.
7. Will WCC 18/436, "
8. Deed 4590/628, Montgomery County Land Records.
9. Mrs. G.T. Crawford.

9. Major Bibliographical References

Survey No. _____

- Montgomery County Land Records
- Montgomery County Register of Wills
- Montgomery County Judgement Records
- Conversations with Mr. and Mrs. Crawford, 7/83
- Montgomery County Commissioners Tax Assessment Books.

10. Geographical Data

Acreege of nominated property 61.03 acres

Quadrangle name _____ Quadrangle scale _____

UTM References do NOT complete UTM references

A	<input type="text"/>	<input type="text"/>	<input type="text"/>
	Zone	Easting	Northing
C	<input type="text"/>	<input type="text"/>	<input type="text"/>
E	<input type="text"/>	<input type="text"/>	<input type="text"/>
G	<input type="text"/>	<input type="text"/>	<input type="text"/>

B	<input type="text"/>	<input type="text"/>	<input type="text"/>
	Zone	Easting	Northing
D	<input type="text"/>	<input type="text"/>	<input type="text"/>
F	<input type="text"/>	<input type="text"/>	<input type="text"/>
H	<input type="text"/>	<input type="text"/>	<input type="text"/>

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code

11. Form Prepared By

name/title Catherine Crawford

organization Mont. Co, Hist. Pres. Comm. date 9/83

street & number _____ telephone _____

city or town _____ state _____

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust
Shaw House
21 State Circle
Annapolis, Maryland 21401
(301) 269-2438



Atlas #	Site	Location	Parcel Acreage
19/11	Waring/Crawford Farm	19100 Waring Station Road	84.88

- Eclectic style with characteristics and features typical of Frederick County at that time.
- The original log house was probably built by George Leslie Crawford in the last quarter of the 19th century.
- A second section of the house includes a two story tower with pyramidal roof and an ornately decorated porch was probably added in the early part of the 20th century at which time the house was covered with stucco.
- The environmental setting is the entire 84.8-acre parcel including the drive and tree line.

