

19/13-1-95B Madeline V. Waters Hse.
Wisteria/Rt. 118 (NTW Site) *pas*

1 CHAIRMAN BOOTH: Okay. Great. Gregg, do you want
2 to try this again?

3
4 MR. CLEMMER: Yeah, we'll go again. I would move
5 that a Historic Area Work Permit be approve in case Number
6 19/13-1-95B for the Madeline V. Waters House site for
7 construction of a new building, consistent with the
8 following conditions as amended, number one in the Staff
9 Report, number two in the Staff Report, number three in the
10 Staff Report with the amendment that there be some language
11 drafted by the Germantown Historic Society stating that the
12 monument has stones from the foundation of the Madeline V.
13 Waters House and that condition number four, the monument
14 for the historic marker and the retaining wall and the
15 linear park will be constructed of stone either recovered
16 from this site of the Madeline V. Waters House or from a
17 similar stone.

18 MS. ZIEK: Excuse me, just to clarify. Does the
19 Commissioners feels that -- in item 2 that the sign facing
20 118 is a problem that it shouldn't be a lighted sign? I
21 mean, I'm just backing off on my own recommendation.

22 MR. CLEMMER: You were backing off?

23 MS. ZIEK: Yes.

24 MR. CLEMMER: I'm sorry, then I misunderstood you
25 because I was going by what you said, I had forgotten -- I
was concentrating on the stones. That number two be deleted

1 -- condition number two be deleted. Thank you.

2 CHAIRMAN BOOTH: Do I hear a second?

3 MR. KOUSOULAS: I second it.

4 CHAIRMAN BOOTH: All right. There's a motion and
5 a second. Does everybody understand the motion?

6 MR. CLEMMER: I'm assuming the Germantown Historic
7 Society wants to --

8 CHAIRMAN BOOTH: Contribute to this.

9 MR. CLEMMER: -- contribute additional -- I'm
10 looking at a member over there.

11 CHAIRMAN BOOTH: I'm assuming. Okay. There's a
12 motion and a second, any further discussion? There being
13 none, we'll close the public record. All those in favor,
14 please raise your right hand. All those opposed? The
15 motion carries six to one, Commissioner Soderberg voting
16 against it.

17 MS. HARRIS: Thank you.

18 CHAIRMAN BOOTH: I would ask that if you haven't,
19 if you'd fill-out the speaker's forms for us. All right,
20 brings us to the next agenda item, the minutes, which being
21 the minutes of Wednesday, October 25, 1995. If anybody has
22 any comments, additions, deletions, if you would please mark
23 them and pass them to Staff.

24 That brings us to other business. Are there any
25 Commission items?

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Wisteria Drive and MD Route 118

Meeting Date: 12/6/95

Resource: Madeline V. Waters House

Review: HAWP

Case Number: 19/13-1-95B

Tax Credit: Partial

Public Notice: 11/22/95

Report Date: 11/29/95

Applicant: Dennis Keller & Philip Trunel

Staff: Robin D. Ziek

PROPOSAL: Construct new building

RECOMMEND: APPROVE W/
CONDITIONS

BACKGROUND

RESOURCE: Site of Madeline V. Waters House (c. 1900)

SIGNIFICANCE: Associated with prominent founding member of the Germantown community, Horace Waters, and his family. Residence was destroyed by arson in 1986.

PROJECT PROPOSAL

NTW proposes to build and occupy a new 11,128 square foot facility. The applicant has obtained Project Plan approval (1/26/95) and Preliminary Plan approval (10/12/95) and still has to go through Site Plan approval. The HPC held a Preliminary Consultation (1/25/95) on this project and made several recommendations at that time:

- 1) Enlarge park area around historic marker;
- 2) Redesign a more substantial historic marker;
- 3) Relocate historic marker farther from the corner of Wisteria Drive and Main Street (with all the traffic);
- 4) Revise wording on historic marker to provide adequate information; and
- 5) Consider stucco as a siding material for the NTW building.

The HAWP application addresses all of the above concerns:

- a) Historic Area and Marker: (Items 1, 2, 3, 4)

The linear park proposed along Wisteria Drive includes the historic area in the central location. The specific historic park area is much larger (715 sf) than the two side seating areas (160 sf each). The historic marker is proposed to be placed on a six foot high pillar in the central position along the park wall, with wording formulated by the Germantown Historical Society. The marker will include an etching of the Madeline V. Waters House as

①

well as historic information. Staff suggests that the reference line be deleted from the historic marker, as this is not a verbatim quote from Ms. Sodeberg's book, but rather specific language developed for this marker.

The historic marker is proposed to be placed on a pillar constructed of foundation stones recovered from the Waters House, if possible. Otherwise the applicant proposes to build the pillar of concrete imprinted with a stone pattern. The applicant also proposes to construct the retaining wall of imprinted concrete. Staff feels that this material will not adequately recall the historic house, and recommends that the pillar and the retaining wall be built of stone which is either the same or similar to the foundation stone material from the Waters House.

b) Siding Material for new building: (Item 5)

The applicant proposes to side the building with light gray driv-it simulated stucco finish on the front facade near the main entrance. The remainder of the building would be smooth face concrete block painted black at the service entrance area, and painted gray-brown at the rear and side elevations. Other materials include yellow metal window muntins, a black stucco surround at the entrance, and an fluted concrete block accent stripe in the cmu walls at 2'-8" below the roof edge, and a stucco band in the driv-it part of the facade also at 2'-8" below the roof edge.

Overall, the building is proposed to be a gray-brown color with a darker slate colored stripe, except on the front facade. This facade will be 40% black, 40% gray-brown, and 20% glass with yellow muntins.

c) Signage for the building:

There are several "NTW" signs on the building, and there are proposed to be free-standing signs further out at the property edges to identify the building to passing traffic.

The large, entrance sign, which utilizes the bright yellow NTW letters in a black field over the glazed entrance is proposed on the front elevation which faces Wisteria Drive. It will not be visible from the Germantown historic district area. Smaller "NTW" signs are proposed for the remaining three facades of the building.

These smaller signs are proposed to be back-lit. This may be of concern on the rear and side elevation facing the existing Rt 118, because these elevations may be visible from the Germantown Historic District. The topography of this area should be taken into account for the NTW building will be placed at the high point of the site (as was the Madeline V. Waters House), and therefore will be highly visible from the surrounding area. The Germantown Historic District also climbs up a hill, and therefore the NTW building will be a prominent feature looking north from the District.

d) Planting plan:

The planting plan calls for the removal of most of the existing mature trees, and for some replanting around the new facility. In particular, the Planning Board in the Project Plan approval required the use of shade trees along Wisteria Drive. However, the proposed use of ginkos in the linear park appears to be problematic. The ginko is a typical urban street tree, and may be seen in such places as Washington, D.C., for example. However, this site was historically a rural, small town setting, and certainly does not approximate an

urban density even with the new development. A different shade trees is recommended, and this should be coordinated with the Site Plan review and the approved Germantown Master Plan.

In addition, the plan calls for the removal of a mature flowering dogwood (#3) although this tree is in the list of "Specimen and Significant trees". This tree is apparently in the utility easement area of the site, and this may be the reason why it is proposed for removal. However, this area is proposed to be an open grassy slope, and more extensive landscape material may be possible here. Staff feels that attempts should be made to save this mature tree.

e) Lighting plan:

The applicant has not supplied a drawing of a proposed street light for this site. Staff has discussed lighting with Site Plan review staff and understands that a variety of options for lighting will be discussed at Site Plan review including the use of a lower pedestrian-oriented street light for the linear park area at a minimum. The HPC may wish more information or may instruct staff to work closely with the applicant during the Site Plan review to assure suitable lighting.

STAFF DISCUSSION

The applicant has worked closely with all of the reviewing groups concerning issues, including the historic issues, for this important individually designated site which is also in the vicinity of the Germantown Historic District. The applicant has responded to specific historic requirements with the development of a linear park with a strong central historic feature.

Staff has had discussions with planning staff at the Project Plan phase, and with staff who will review this for the Site Plan phase. Concerns about the design of the park have been raised which have the potential for making this a stronger public space. Such proposals include naming this linear park the Waters Memorial Park (or some such name); extending the depth of the park by paving the sidewalk with the same special pavers as the park seating area, thereby increasing the apparent depth of the park by five feet; planting behind the park wall to provide a stronger buffer between the park and the new tire building. All of these suggestions would help to focus public attention on the historic marker by developing a stronger park for pedestrian use.

Staff has informed the applicant's agent that the HPC review does not preclude changes in the Site Plan review. Staff from the different divisions in M-NCPPC have been working closely to coordinate these reviews, but the applicant's agent has been informed that, should a change in plan develop during Site Plan review, the applicant will have to return to the HPC with the revised plan for HPC approval of the revisions.

STAFF RECOMMENDATION

Staff recommends that the Commission finds the proposal consistent with the purposes of Chapter 24A-8(b)1,

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

subject to the following conditions:

- 1) Staff works closely with the Plan Review process to assure that the linear park design and planting plan is consistent with the Germantown Master Plan, and provides a welcoming park for pedestrian use which will encourage recognition of the historic past of this site.
- 2) ~~The signs~~ on the elevations facing MD. 118 and the rear of the building will not be ~~lighted signs~~.
- 3) The reference line will be deleted from the historic marker.
- 4) The monument for the historic marker and the retaining wall in the linear park will be constructed of stone, either recovered from the site of the Madeline V. Waters House or from a similar stone.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 02673492
 Atty for Contract Purchaser: Patricia Harris, Esq., Wilkes, Artis, Hedrick & Lane (301) 215-661
 NAME OF PROPERTY OWNER Dennis Keller & Philip Trunnel TELEPHONE NO. (301) 593-5555 & (301) 258-9000
 (Contract/Purchaser) National Tire Warehouse (Include Area Code)
 ADDRESS 3 Bethesda Metro Center, Suite 800, Bethesda, Maryland 20814
 CITY STATE ZIP
 CONTRACTOR Embree Group, Inc. TELEPHONE NO. (512) 869-2626
 PLANS PREPARED BY Macris, Hendrick & Glascock TELEPHONE NO. (301) 670-0840
 (Include Area Code)
 REGISTRATION NUMBER Md Licensed Landscape Architect No. 950

LOCATION OF BUILDING/PREMISE

House Number None Street Wisteria Drive
 Town/City Germantown Election District Germantown Election District No. 2
 Nearest Cross Street Route 118 Extended
 Lot _____ Block _____ Subdivision _____
 Liber 8686 Folio 290 Parcel Parcel 1, Residue of Liber 8864 Folio 290

1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition
 Wreck/Raze Move Install Revocable Revision Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other _____
 1B. CONSTRUCTION COSTS ESTIMATE \$ To Be Determined
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
 1E. IS THIS PROPERTY A HISTORICAL SITE? Yes Site 19/13-1D

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY
 01 (X) WSSC 02 () Septic 01 (X) WSSC 02 () Well
 03 () Other _____ 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT 2 feet 0 inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement Yes (Revocable Letter Required).

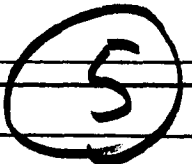
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 10/25/95
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9510250071 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____



NATIONAL TIRE WAREHOUSE
DESCRIPTION OF PROPOSED WORK
HISTORIC MASTER PLAN SITE (SITE 19/13-1D)

The property is located at the southwest corner of Wisteria Drive and Maryland Route 118 and contains 1.99 acres. In 1985, the site was designated on the Master Plan for Historic Preservation as the site of the Madeline V. Waters House. Subsequent to designation, the house was completely destroyed by fire.

The Applicant, National Tire Warehouse ("NTW"), is contract-purchaser to the property and intends to develop the site with a 11,138 square foot NTW facility. In connection with the proposed use of the property, NTW has obtained the requisite Project Plan approval (Project Plan No. 9-94002, approved January 26, 1995) and Preliminary Plan approval (Preliminary Plan No. 1-90069, approved October 12, 1995). A Site Plan was filed with the Maryland-National Capital Park and Planning Commission on October 24, 1995 and the Applicant anticipates Planning Board action on the Site Plan in January 1996.

In recognition of the historic relevance of the site, and consistent with the Historic Preservation Commission's recommendations at its Preliminary Consultation on January 25, 1995, the Applicant is proposing the following items:

1. Linear park along Wisteria Drive which will include a two-foot high retaining wall constructed of ashlar style stone imprinted on a concrete wall, special landscaping, three separate seating areas defined by special pavers, with two of the seating areas containing approximately 160 square feet and two benches, and the larger seating area, in which the historic component will be the focus, containing approximately 715 square feet and a total of four benches.
2. A commemorative historic area to be the focal point of the larger seating area located at the center of the linear park.
3. Proposed six foot high pillar to be constructed with any foundation stones from the original Madeline V. Waters house which may be during excavation. In the event no foundation stones are found, the pillar will be constructed of ashlar formed concrete. A historic plaque will be affixed at eye level approximately five feet high. The plaque will be made of bronze and will include an etching of the Madeline V. Waters House and will provide the following wording:

This is the site of the Madeline V. Waters House, a Revival Style house completed in 1902 by Lloyd Dorsey, step-son of Horace Waters and half-brother of Madeline Waters. The Horace Waters family lived in the house until Madeline Waters and her nephew, Herbert Dorsey Waters, the last occupants, moved to nursing homes around 1980. Horace Waters owned the General Store in Old Germantown and was murdered during a robbery at his store in 1932.

The Waters family is the oldest family of European descent to have settled in this area -- three brothers, William, Basil and Zachariah Waters established plantations in what is now Germantown in the 1790's. The Horace Waters line is descended from William Waters.

The elegant house had the symmetry and refinement of detail typical of Classical Revival architecture of the late Victorian era and was the largest and most elaborate house in Germantown in the early 20th century. It was destroyed by arson April 1, 1986.

The proposed NTW facility will be set back from the historic commemorative area approximately 90 feet. In addition, the grade change between the facility and the commemorative area, as well as the landscaped area immediately behind the linear park will ensure that the NTW structure is sufficiently separated from the historic aspect of the site so that it does not detract from its significance.



Martin & M.E. Poole
19621 Waters Road
Germantown, MD 20874

Paul E. McGee
17808 Cashell Road
Rockville, MD 20853

Fred K. & M.P. Huie
7845 E. Sage Drive
Scottsdale, AZ 85250

Mr. Jim Quinn
Commercial Real Estate
Chevy Chase F.S.B.
8401 Connecticut Avenue
Chevy Chase, MD 20815

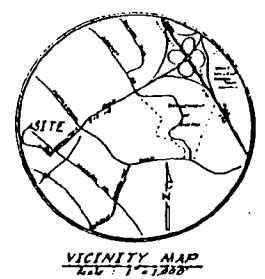
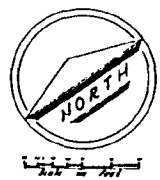
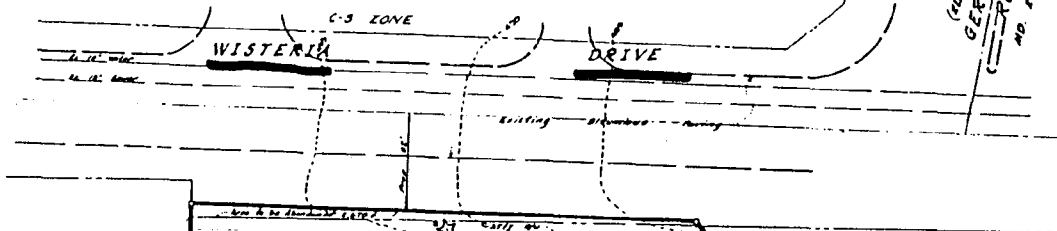
Sugarloaf Center Ltd. Part.
12933 Wisteria Drive
Germantown, MD 20874

Phillip D. Keller, et al
100 Lexington Drive
Silver Spring, MD 20901

Montgomery County
101 Monroe Street
Rockville, MD 20850

PARCEL 'A'
NORTH GERMANTOWN
P.B. 118 N 18840

(REMARKED)
GERMANTOWN
ROAD
NO. 27E. 118



GENERAL NOTES

- Boundary has been obtained from field surveys prepared by John H. M'Gee dated May, 1966.
- Topography from M.N.C.R.C. 200 scale, sheet 154. Improvements in Wisteria Dr. from M'Gee's Plan by Kille Consultants.
- Existing Water Table Category: V-3 & S-1 respectively.
- zoning: Existing - M-1 (Montgomery County). Proposed - M-1 (Montgomery County).
- Area Tabulations:

Area of Parcel	1.9940 ac.
Excessed Subdivisional Area	0.04 1/2 ac.
Total Lot Area	2.0365 ac.
- Proposed Use: 200% of retail.
- Parking Requirements: Required - 8 spaces/1000 sq ft. 188 spaces provided. 100 spaces provided.
- A structure improvement survey for this site had previously been approved on Oct. 11, 1966. This plan repeats the reconfiguration of that survey.
- The soil on this site is in compliance with the requirements of the State of Maryland.
- No wetlands or 100 year floodplain exist on this site.
- This site appears on the Wisteria Estate, located on Map 107 of the M.N.C.R.C. Localized Atlas of Historical Sites and is part of the B-15-B, Germantown Historic District.
- This plan proposes subdividing 2,670 sq ft of Wisteria Drive.

EXPLAIN A SIGNIFICANT ITEMS

NO.	CODE	SYM.	REMARKS	CONTENTS/REMARKS
1.	W	W	Wisteria Drive	Full - Public Use
2.	W	W	Wisteria Drive	Full - Public Use
3.	W	W	Wisteria Drive	Full - Public Use
4.	W	W	Wisteria Drive	Full - Public Use
5.	W	W	Wisteria Drive	Full - Public Use
6.	W	W	Wisteria Drive	Full - Public Use
7.	W	W	Wisteria Drive	Full - Public Use
8.	W	W	Wisteria Drive	Full - Public Use
9.	W	W	Wisteria Drive	Full - Public Use
10.	W	W	Wisteria Drive	Full - Public Use
11.	W	W	Wisteria Drive	Full - Public Use
12.	W	W	Wisteria Drive	Full - Public Use
13.	W	W	Wisteria Drive	Full - Public Use
14.	W	W	Wisteria Drive	Full - Public Use
15.	W	W	Wisteria Drive	Full - Public Use
16.	W	W	Wisteria Drive	Full - Public Use
17.	W	W	Wisteria Drive	Full - Public Use
18.	W	W	Wisteria Drive	Full - Public Use
19.	W	W	Wisteria Drive	Full - Public Use
20.	W	W	Wisteria Drive	Full - Public Use
21.	W	W	Wisteria Drive	Full - Public Use
22.	W	W	Wisteria Drive	Full - Public Use
23.	W	W	Wisteria Drive	Full - Public Use
24.	W	W	Wisteria Drive	Full - Public Use
25.	W	W	Wisteria Drive	Full - Public Use
26.	W	W	Wisteria Drive	Full - Public Use
27.	W	W	Wisteria Drive	Full - Public Use
28.	W	W	Wisteria Drive	Full - Public Use
29.	W	W	Wisteria Drive	Full - Public Use
30.	W	W	Wisteria Drive	Full - Public Use
31.	W	W	Wisteria Drive	Full - Public Use
32.	W	W	Wisteria Drive	Full - Public Use
33.	W	W	Wisteria Drive	Full - Public Use
34.	W	W	Wisteria Drive	Full - Public Use
35.	W	W	Wisteria Drive	Full - Public Use
36.	W	W	Wisteria Drive	Full - Public Use
37.	W	W	Wisteria Drive	Full - Public Use
38.	W	W	Wisteria Drive	Full - Public Use
39.	W	W	Wisteria Drive	Full - Public Use
40.	W	W	Wisteria Drive	Full - Public Use
41.	W	W	Wisteria Drive	Full - Public Use
42.	W	W	Wisteria Drive	Full - Public Use
43.	W	W	Wisteria Drive	Full - Public Use
44.	W	W	Wisteria Drive	Full - Public Use
45.	W	W	Wisteria Drive	Full - Public Use
46.	W	W	Wisteria Drive	Full - Public Use
47.	W	W	Wisteria Drive	Full - Public Use
48.	W	W	Wisteria Drive	Full - Public Use
49.	W	W	Wisteria Drive	Full - Public Use
50.	W	W	Wisteria Drive	Full - Public Use

Note: Bearings are given for each line of multiple trapezoid from their common vertex to the next vertex. If an arc is shown across a line it is only the true diameter at 4.5 feet to ground. 1/4 inch on square foot.

SURVEYOR'S CERTIFICATE

I hereby certify that the boundary shown herein has been taken from a boundary survey prepared by John H. M'Gee dated May, 1966, and is subject to change upon completion of a final survey.

John H. M'Gee
John H. M'Gee
Licensed Professional Land Surveyor
Maryland Registered #10068

NATURAL RESOURCE INVENTORY/FOREST STATION DELINEATION CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

DATE: 1/2/74
D. D. A. ...
REGISTERED AS QUALIFIED PROFESSIONAL
OF MD. DEPT. OF NATURAL RESOURCES

OWNERS / APPLICANTS
Dennis Miller
W. H. Thompson, Jr.
W. H. Thompson, Jr.
618 East Diamond Ave.
Baltimore, Md. 21207
(410) 552-2225

THE MARYLAND NATURAL CAPITAL
PLANNING COMMISSION
DEPARTMENTAL PLANNING DIVISION

APPROVED

NOV 10 1973
David A. Davis

TAX MAP 10 542 W.B.C. 227 NW 13
NATURAL RESOURCE INVENTORY/FOREST STATION
DELINEATION PLAN
KIT DEVELOPMENT PROPERTY
NORTH PARCEL - PARCEL 200
GERMANTOWN
228 ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

M H G	Macrie, Hendricks and Glascock, P.A. Engineers - Planners - Surveyors	Designed 208	Drawn W.F.M.
		Date 8/1/73	Scale 1" = 20'
		Job No. 100-170	Sheet 2 of 2
		1301170 0840	

10

EXISTING SITE PLAN

1-90069

Description

Planting shall consist of furnishing and installing plant material as shown on the plans. Care and maintenance necessary to complete the work as indicated shall be provided. The Landscape Plan is to be used for planting purposes only.

Material

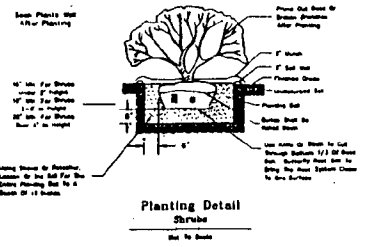
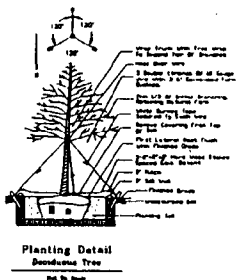
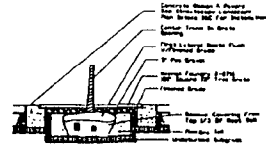
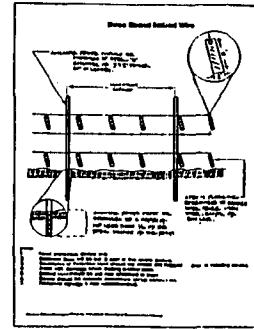
1. The Contractor shall make arrangements to insure a supply of the required material. This shall be done by (1) providing a schedule of material to be furnished to the County.
2. All plant material shall conform to the current issues of the American Standards for Nursery Stock published by the American Association of Nurserymen, except upon alternate notes.
3. Plant materials must be selected from nurseries that have been inspected and approved by the County.
4. All plant materials shall be inspected prior to receipt and shall be of such quality and quantity as to insure that the plant material is not overmature, undermature, or otherwise defective. All plant materials shall be inspected and approved by the County or Montgomery County in case of alternative stock.
5. Plant installation shall comply with the standards in the current edition of "Landscape Specifications Guidelines" as established by the Landscape Contractors Association.
6. Plant material shall be provided with plant identification tags using the Latin name common names. The tags shall not be removed until after final certification by the landscape architect.

Planting

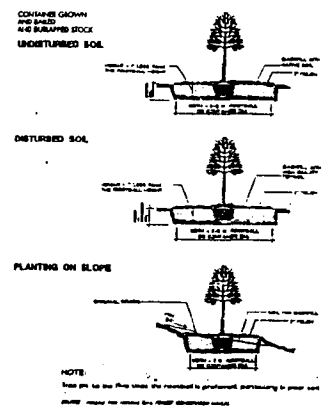
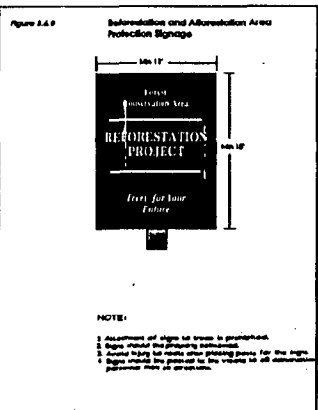
1. Planting shall be installed no later than (1) year after completion of the construction project.
2. Root stock of the plant material shall be kept moist during transportation from the source to the job site and until planted. Plant materials not installed for more than 72 hours shall be protected from direct sun and moisture and kept moist.
3. Plants shall be installed any time between the months of January and May or between September and December when ground is not frozen. Plants shall be installed for a one-year period from the time of installation. Any exceptions shall be in writing.
4. All plants not otherwise indicated are to be selected or ordered as per plan (See Section and Erosion Control Plans) and shall be installed in accordance with the American Standards and Specifications for Soil Erosion and Sediment Control.
5. The material shall meet all plant growth following installation according to local plant codes.
6. Weeding of the plant material shall take place at the end of each week through September 1, if the soil is not moist.
7. Contractor shall be responsible for making shadier shade with all shading devices installed prior to the installation of the plants. The contractor is responsible for the location of all unshaded vertical pipes, and any other features that may be installed on the site. The contractor shall be responsible for shading of all vertical pipes within 48 hours after the shading (1-800-777-7777).
8. All plants shall be placed as far as possible to protect drainage.
9. All newly planted trees shall be pruned as necessary to remove dead branches or to insure uniform shape.
10. Where field conditions pose which would adversely affect plant performance, or interfering with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material.
11. All trees are to be installed a minimum distance of 8' from all utility lines. If there is a utility line that is not marked, 12' from any utility lines and 5' from any other utility lines.
12. All trees to be planted shall be bare root to a depth of one inch in aftercare areas and three inches in landscape areas.
13. Contractor to confirm quantity of plant materials by plan sheet. Notify landscape architect of any discrepancy prior to planting.
14. Tree protection devices used in a particular area to be considered until approved by the landscape architect as indicated on the approved EDC plan.

Clean Up

1. Final Clean up shall be the responsibility of the Contractor and consist of removing all trees and materials installed to the project and properly disposing of them off site in addition the construction process and no damage any trees of existing plants which are to remain.
2. There shall be no open burning on-site.
3. The contractor shall remove or repair at no cost to the owner, all the areas of surrounding areas damaged by work of the contract.
4. During construction work, extra materials and equipment shall be stored. Fuel should be stored in a secure container.



Tree Pit W/Grate & Guard
Planting Detail
Not to Scale



THEE CONSERVATION PLANTING NOTES

1. An on-site pre-construction meeting shall be required after the study of disturbance from road access and before any clearing or grading begins. The owner shall contact the Montgomery County Planning Department (301-993-1537) to learn more about the requirements for a pre-construction meeting and learn about the requirements for a pre-construction meeting. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department.
2. No clearing or grading shall begin before reforestation measures have been implemented, unless otherwise permitted by Montgomery County. Reforestation measures shall include:
 - A. Root pruning
 - B. Crown reduction or pruning
 - C. Mulching
 - D. Fertilizing
 - E. Vertical Mulching
3. All reforestation measures must be performed by a State of Maryland licensed tree expert or horticultural Society of America certified arborist. Documentation of arborist certification shall be used to complete Environmental Planning (EPC) forms (1787 Georgia Ave, Silver Spring, Maryland).
4. Temporary tree protection devices shall be installed per the Forest Conservation Plan and approved by Montgomery County. Tree protection devices shall be installed in the field prior to the pre-construction meeting or, if required, be prepared to meet said requirements as determined by Montgomery County. Temporary tree protection devices may include:
 - A. Chain link fence (four foot high)
 - B. Orange plastic
 - C. Protective signage
5. Temporary protection devices shall be maintained and inspected by the contractor. The contractor shall be responsible for the maintenance of the devices. The contractor shall be responsible for the maintenance of the devices. The contractor shall be responsible for the maintenance of the devices.
6. Forest Protection Area signs shall be installed as required by Inspector. The signs shall be installed along the disturbance/rehabilitation project perimeter at 20 foot intervals. They shall be 2' x 3', 3' x 3', and other sizes 1' taller than.
7. Long-term protection devices (see Forest Conservation Plan) may include:
 - A. Root barrier systems
 - B. Retaining walls
 - C. Retention structures
 - D. Barriers of various types
 - E. Fences and guard rails
 - F. Fences
8. Long-term protection devices shall be installed per the Forest Conservation Plan and approved by Montgomery County. Installation of devices shall be completed prior to the pre-construction meeting.
9. Periodic inspections by Montgomery County will occur during the construction project. Contractors and reports to the protection devices, as determined by the Inspector, must be made in a timely fashion.
10. After construction is completed, as inspection shall be required. Corrective measures shall include:
 - A. Removal and replacement of dead or dying trees
 - B. Pruning of dead or dying trees
 - C. Fertilization
 - D. Mulching
 - E. Watering
 - F. Other measures
11. After inspection and completion of corrective measures from this sub-section, a temporary protection device shall be removed from the site. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department.
12. Planting
 1. Contractor to make arboriculture plan and remove all invasive species (see arboriculture plan, invasive species and other notes) prior to planting. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department. The contractor shall provide a copy of the meeting minutes to the Montgomery County Planning Department.
 2. All plant material shall be approved by the Owner or duly authorized representative prior to planting. If plant material is not available, substitutions may be made with prior approval from the Owner or Montgomery County.
 3. Size and quantity of plant material shall conform to latest edition of "USA Standards for Nursery Stock", by the American Association of Nurserymen, Inc. (AAN).
 4. All plants shall be placed as far as possible to protect drainage.
 5. All newly planted trees shall be pruned as necessary to remove dead branches or to insure uniform shape.
 6. Plants shall be installed randomly in a triangular or staggered pattern (and in a straight line). Central spacing shall be spaced minimum 8'-12' feet on center. One tree shall be spaced minimum 8'-12' feet on center. See notes.
 7. Size (trunk diameter (measured 10-15-20) shall be typical of the trees of shading at rate of 400 sq. ft. per tree.
 8. Where field conditions pose which would adversely affect plant performance, or interfering with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material.
 9. All trees are to be installed a minimum distance of 8' from all utility lines. If there is a utility line that is not marked, 12' from any utility lines and 5' from any other utility lines.
 10. Remove water and debris as required during the first growing season and at the beginning of the second growing season.
 11. Plants shall be installed any time between the months of January and May or between September and December when ground is not frozen. The time of installation. Any replacement shall be installed at once.
13. Maintenance
 1. The plant material shall be maintained at the owner/contractor for one (1) year after the completion. The contractor shall maintain all.
 2. Remove and replace all dead or diseased vegetation.
 3. Remove all invasive non-native plants.
 4. Necessary watering, fertilization, or pest control.
 5. All work to be done unless directed by Montgomery County.
 2. Maintenance of the reforestation/aftercare area for a period of two years, to require per the Montgomery County Tree Protection Manual. During this maintenance period the health and vigor of the planting shall be monitored and any necessary work to remedy actions to correct existing problems. The following inspection schedule shall be carried out:
 - Year 1 and 2. Two inspections per year (one in the beginning of the growing season (May or June), and second in the end of the growing season (September or October).
 - All the end of the second year the survival rate of all the reforestation/aftercare area shall be a minimum of 75% of the total from planting. Additional plant material may be required to be provided to bring the total back up to 75%.
 3. At the end of the maintenance period a final inspection shall be done up of the site with the Owner or owner's representative and a final report shall be prepared to insure that the reforestation/aftercare/aftercare work has been achieved.

PLANTING PLAN/FORREST CONSERVATION PLAN DETAIL SHEET

NATIONAL TIRE WAREHOUSE

RESIDUE OF LIBER 8888, FOLIO 290

GERMANTOWN ELECTION DISTRICT NO. 2

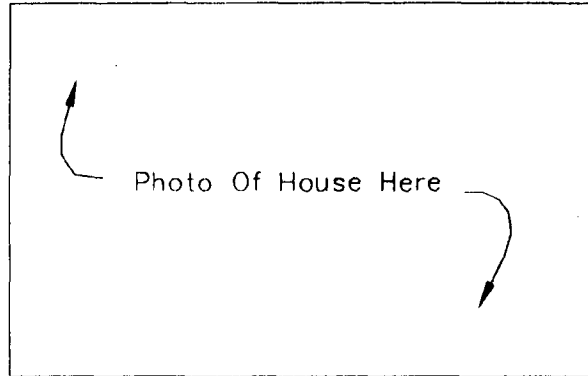
MONTGOMERY COUNTY, MARYLAND

	Macris, Hendricks and Glascock, P.A. Engineers & Surveyors Suite 100 8210 Montgomery Road Gaithersburg, Maryland 20878	Project No: Date: 10-10-08 Scale: 1/8" = 1'-0"	Sheet No: Date: 10-10-08 Scale: 1/8" = 1'-0"
	(301) 470-8840	2 of 2	2 of 2

13

21"±

This is the site of the Madeline V. Waters House, a Revival Style house completed in 1902 by Lloyd Dorsey, step-son of Horace Waters and half-brother of Madeline Waters. The Horace Waters family lived in the house until Madeline Waters and her nephew, Herbert Dorsey Waters, the last occupants, moved to nursing homes around 1980. Horace Waters owned the General Store in Old Germantown and was murdered during a robbery at his store in 1932.



The Madiline V. Waters House

The Waters family is the oldest family of European descent to have settled in this area -- three brothers, William, Basil and Zachariah Waters established plantations in what is now Germantown in the 1790's. The Horace Waters line is descended from William Waters.

The elegant house had the symmetry and refinement of detail typical of Classical Revival architecture of the late Victorian era and was the largest and most elaborate house in Germantown in the early twentieth century. It was destroyed by arson April 1, 1986.

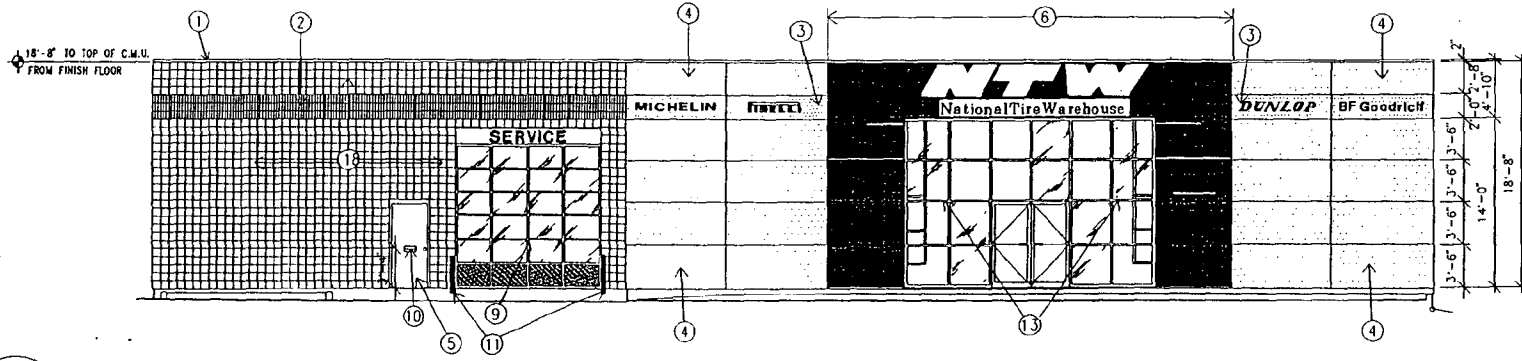
Reference: A History of Germantown, Maryland by Susan Soderberg

15"±

A

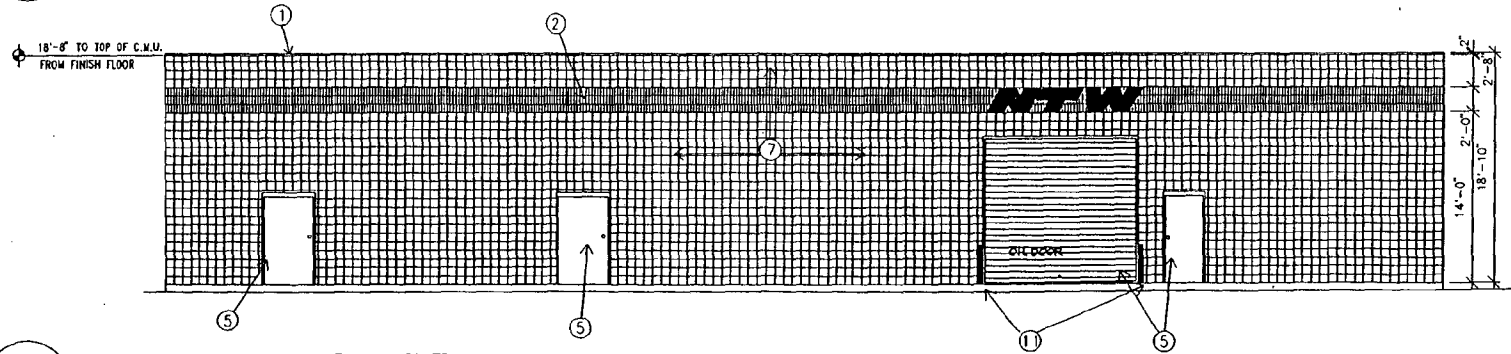
COMMEMORATIVE PLAQUE CONCEPT

15



1 FRONT ELEVATION

SCALE: 1/8"=1'-0"

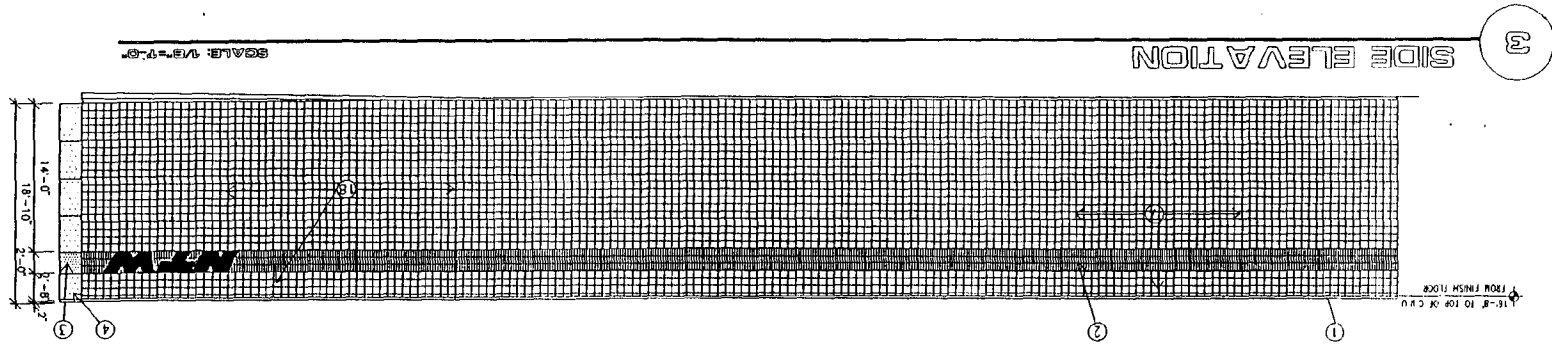
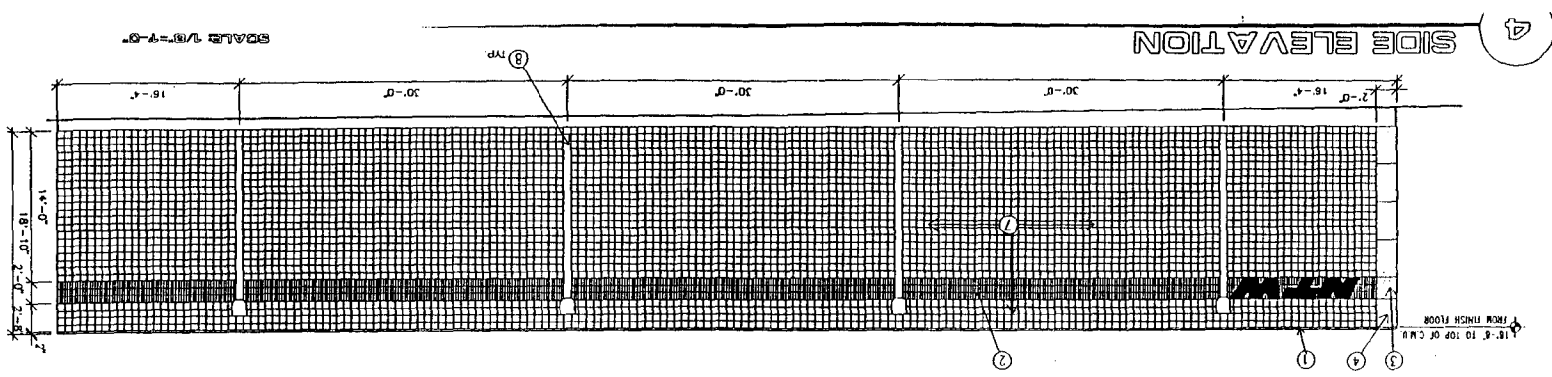


2 REAR ELEVATION

SCALE: 1/8"=1'-0"

16

17



- 1) MILL FINISHED CAP FLASHING W/JOINT COVERS
- 2) FLUTED CMU TYP. (6 FLUTES MIN.)
(PAINTED B.M. # 1602) 24" WIDE BAND.
- 3) 24" STUCCO BAND (#16D2 BENJAMIN MOORE). (OP. DRYVIT SANDBLAST #136 SLATE)
- 4) STUCCO (#1600 BENJAMIN MOORE) TYP. (OP. DRYVIT SANDBLAST #133 DRIFTWOOD)
- 5) PAINT BLACK
- 6) STUCCO (BLACK) TYP. THIS AREA
- 7) SMOOTH FACE CMU TYP. (PAINT TO MATCH STUCCO COLOR #1600 BENJAMIN MOORE)
8"X8" PATTERN STACK BOND COURSING.
- 8) DOWNSPOUTS WHERE SHOWN (PAINT TO MATCH WALL) TYP.
- 9) YELLOW FINISH COLOR
- 10) CENTER MAIL SLOT IN DOOR
- 11) 6" DIA. CONC. FILLED BOLLARDS PAINT BLACK W/ 6" YELLOW TOPS.
- 12) BOTTOM OF FRAME
- 13) ALUM. STORE FRONT (YELLOW) TEMP GLASS (WHERE REQUIRED).
- 14) DIMENSIONS REFERENCE ONLY SEE SHOP DRAWINGS
- 15) DIAPER DECK SIGN
- 16) STORE DECALS BY NTW INSTALLED BY G.C. SHIPPED W/ EQUIPMENT G.C. TO APPLY HOURS TO DECAL
- 17) CREDIT CARD DECALS
- 18) SMOOTH FACE CMU TYP. (PAINT BLACK)
8"X8" PATTERN STACK BOND COURSING.
- 19) G.C. TO INSTALL TWO (2) BLACK 1" ALUMINUM MINI BLINDS IN STORES FACING SOUTH OR WEST. CONTROLS TO BE MOUNTED 6" A.F.F. AT EACH END OF STOREFRONT. BOTTOM OF BLINDS TO STOP @ TOP OF DOOR CLOSERS
BLINDS TO MEET @ CENTER OF DOOR.

GENERAL NOTES:

ALUM. STOREFRONT:

- 1) EXTERIOR STORE FRONT TO BE 4 1/4" ALUM.
- 2) YELLOW PAINT EQUAL TO #393F078 FLUROPON "SHELL YELLOW 11" "NTW" AS MFR'D BY VALSPAR CORPORATION
- 3) ALL HARDWARE TO BE BLACK ANODIZED TUBULAR PUSH-PULL (YKK, TYPE SC) 1" DIA. - "C" SHAPED 90 DEGREES OFF SET W/ 3-1/4" PROJECTION MOUNTING IS CONCEALED.
- 4) ALL GLASS TO BE 1" INSULATED-USE, TEMPERED WHERE REQUIRED BY CODE
- 5) INTERIOR STORE FRONTS TO BE MILL FINISHED FRAMES & HARDWARE W/1/4" CLEAR GLASS (TEMP. WHERE REQ'D) TUBULAR PUSH-PULL HARDWARE SEE NOTE ABOVE

MASONRY

ALL BLOCK TO BE STACK BOND EXTERIOR - RAKE JOINTS(TYP.)MORTAR COLOR TO MATCH BLOCK (TYP)

FILL C.J. W/ 1/4" BACKER ROD-FLUSH TO FACE OF MASONRY UNITS. EXT.

CONTROL JOINTS

FOR LOCATION OF ALL CONTROL JOINTS

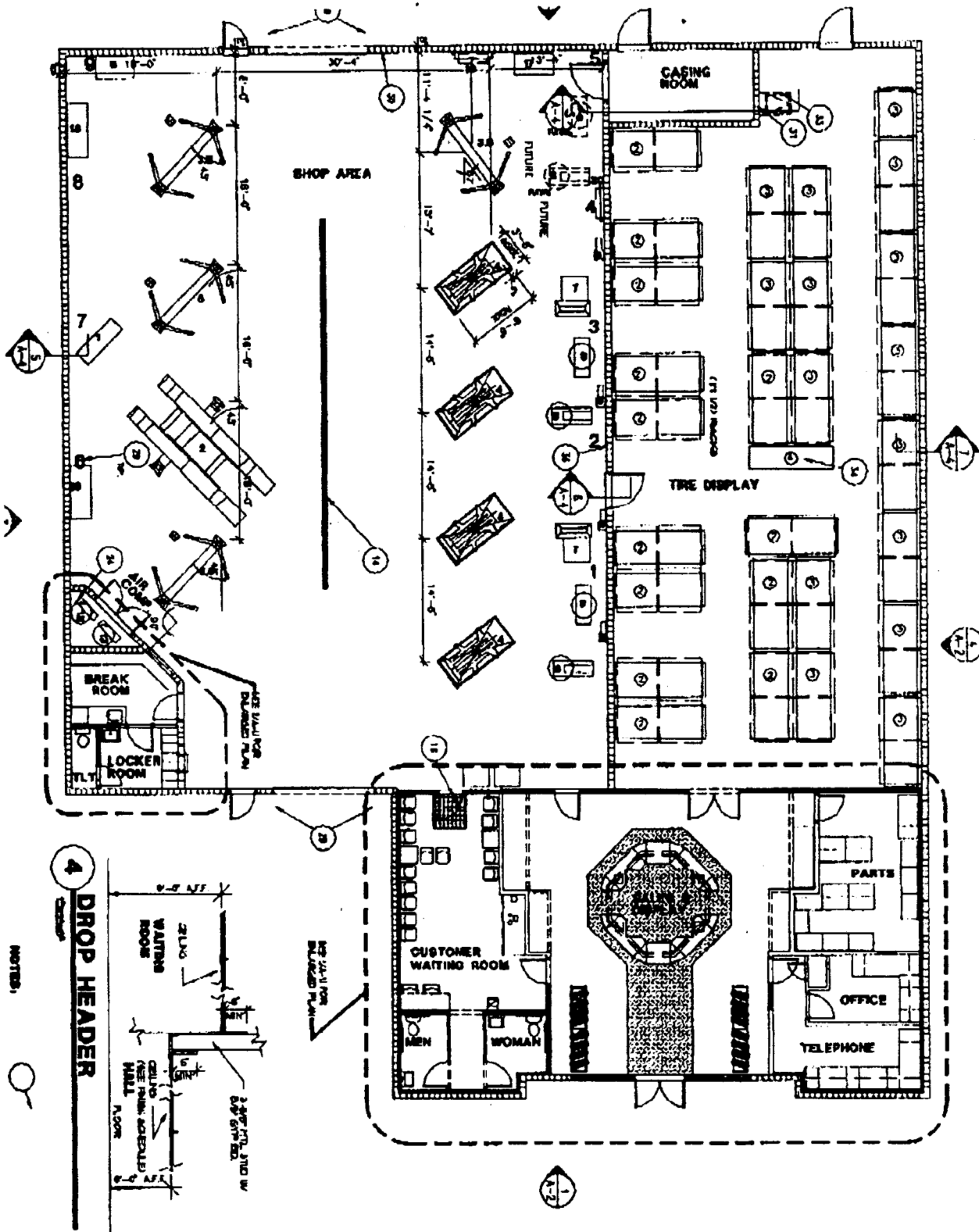


EMBREE CONSTRUCTION GROUP, INC.

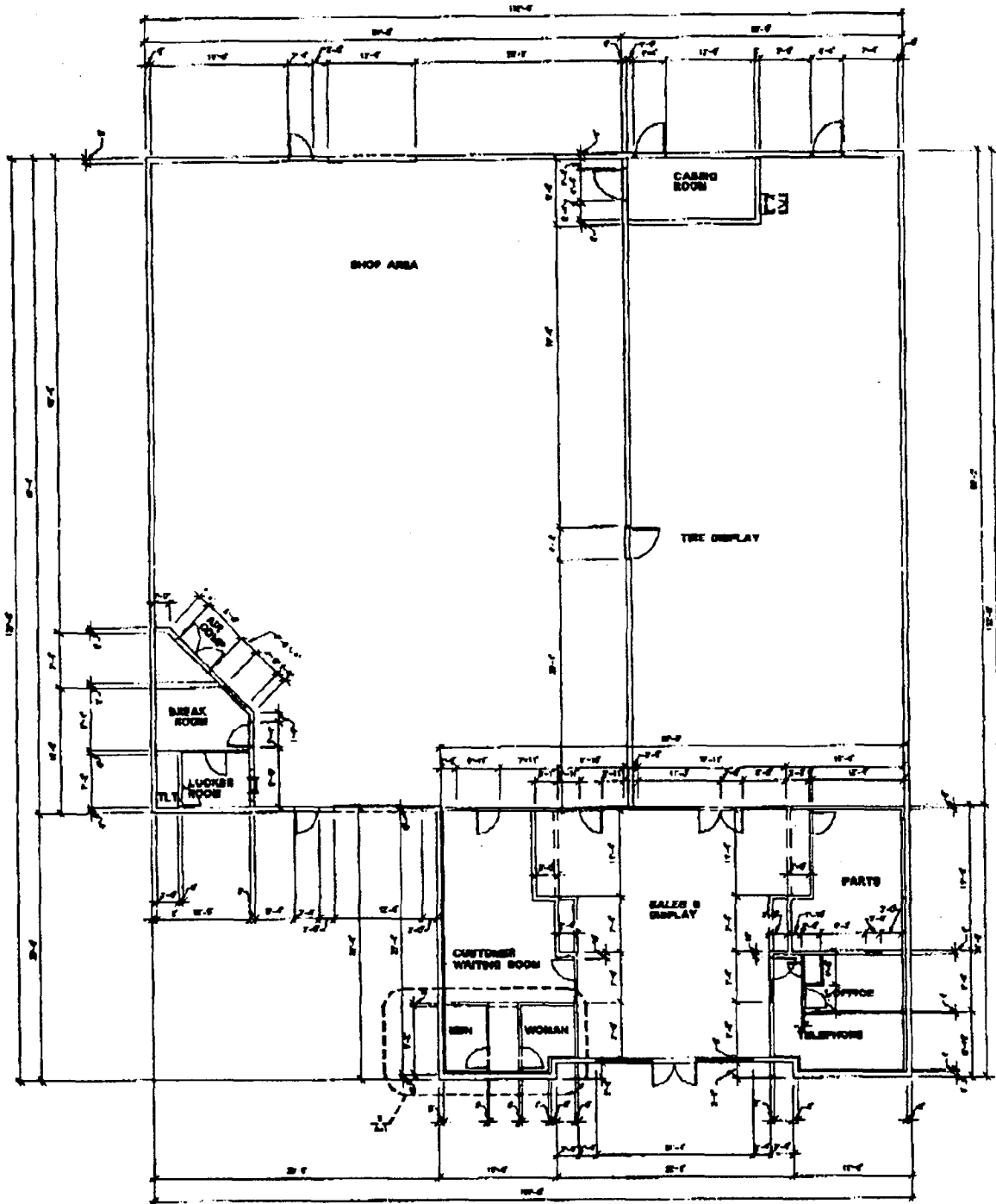
8050 AIRPORT RD. GEORGETOWN, TEXAS 78628
(512) 868-2626

MARYLAND

18



NTN # 92-413
 GERMANTOWN, MD.
 FROM SHEET A-1.1
 SCALE: 1/16" = 1'-0"
 10/23/95



FLOOR PLAN

11'-20'-0"

NTW #92-413
GERMANTOWN, MD.

FROM SHEET A-1

SCALE: 1/20" = 1'-0"

10/23/95

20

12/16/1995 15:47

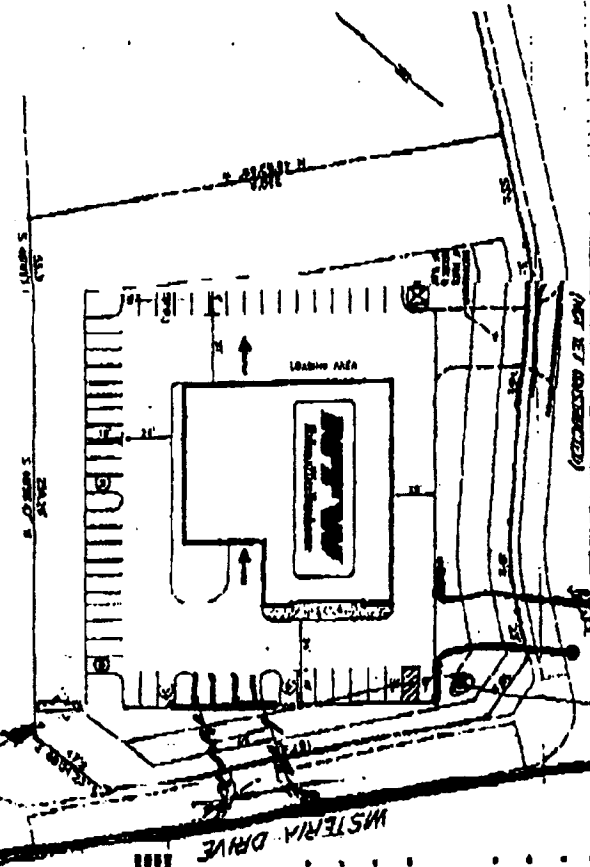
1-713-242-7950

DAVE LAWRENCE

12

PLAN INDICATED SERVANTON ROAD - ROUTE 118 (NOT ET CONSIDERED)

PLAN INDICATED SERVANTON ROAD - ROUTE 118 (NOT ET CONSIDERED)



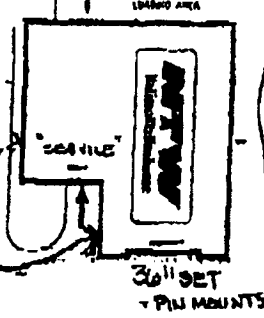
ENTRANCE

ALTERNATE PROPOSED LOCATION Pylon sign

PROPOSED Pylon location

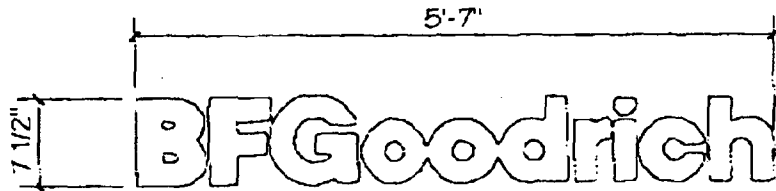
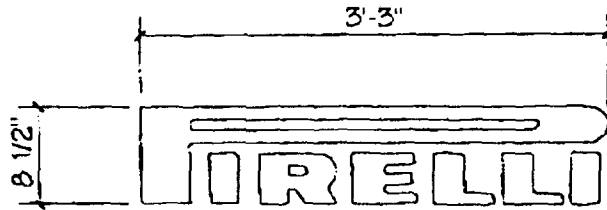
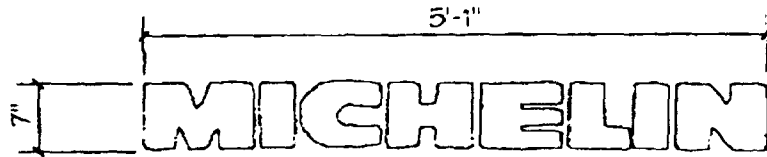
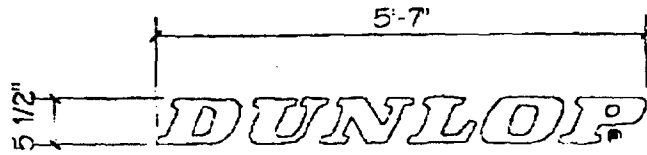
Filter = 15' x 10' D/F P/E. ABOUT LOW MOUNTMENT ON HIGH GROUND OR 24" Pylon c/w SUPE. BUT - EFFICIENT TO BE VERIFIED w/ KEN KASDA. get 37-320 WASH. COUNTY.

120' of 2" track allowed found at 118



WALL SIGNAGE

To 2-11-95 Comments furnished by Dave Lawrence



SQUARE FOOTAGE:

- DUNLOP - 3.02 SQUARE FEET
- MICHELIN - 3.11 SQUARE FEET
- PIRELLI - 2.3 SQUARE FEET
- BFGOODRICH - 2.7 SQUARE FEET

TOTAL: 11.13 SQUARE FEET

FLAT CUT-OUT, NON-ILLUMINATED
PIN MOUNTED LETTERS.



11046 Leadbetter Rd., Ashland, Virginia 23005
(804) 798 - 5533

NATIONAL TIRE WAREHOUSE

BRAND NAMES

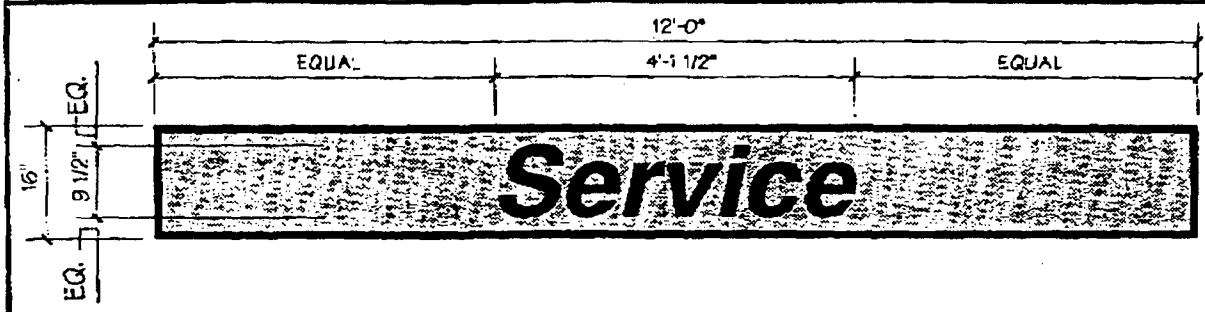
DRAWING #950298

NOV 28 '95 17:16 No.019 P.11

ID:3016563978

wah | -md

23



SIGN ELEVATION 1/2" = 1'-0"

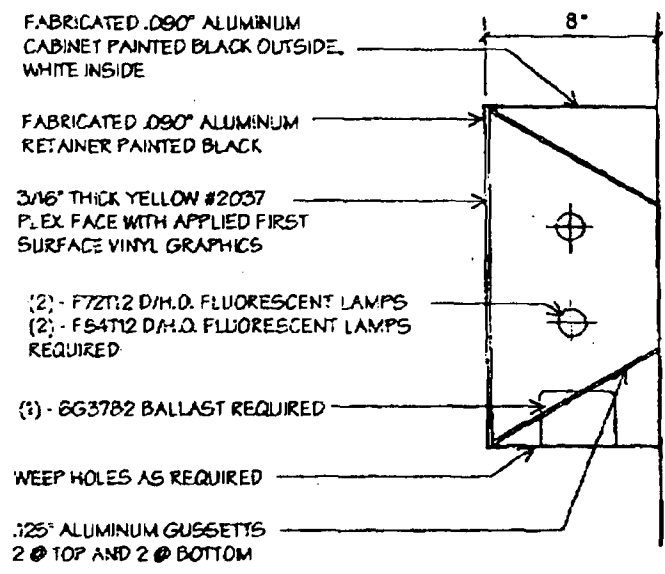
SPECIFICATIONS:

FABRICATED .090" ALUMINUM SIGN CABINET WITH 3/16" THICK YELLOW #2037 PLEX FACE. COPY TO BE MATTE BLACK VINYL.

.090" ALUMINUM 1" RETAINER PAINTED BLACK. ILLUMINATED WITH 800MA FLUORESCENT LAMPS.

ELECTRICAL:

TOTAL : 3.5 AMPS @ 120 VOLTS
 (1) - 20-AMP CIRCUIT REQUIRED



SECTION N.T.S.



300 S. Leadbetter Rd., Ashland, Virginia 23005
 (804) 798 - 5533

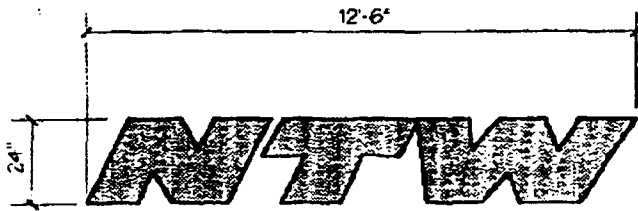
NATIONAL TIRE WAREHOUSE 16" X 12'-0" SERVICE CABINET

16 SQUARE FEET
 DRAWING #940069

NOV 28 '95 17:15 No.019 P.10

ID:3016563978

wahl-md



S/F SIGN ELEVATION

1/4" = 1'-0"

SPECIFICATIONS:

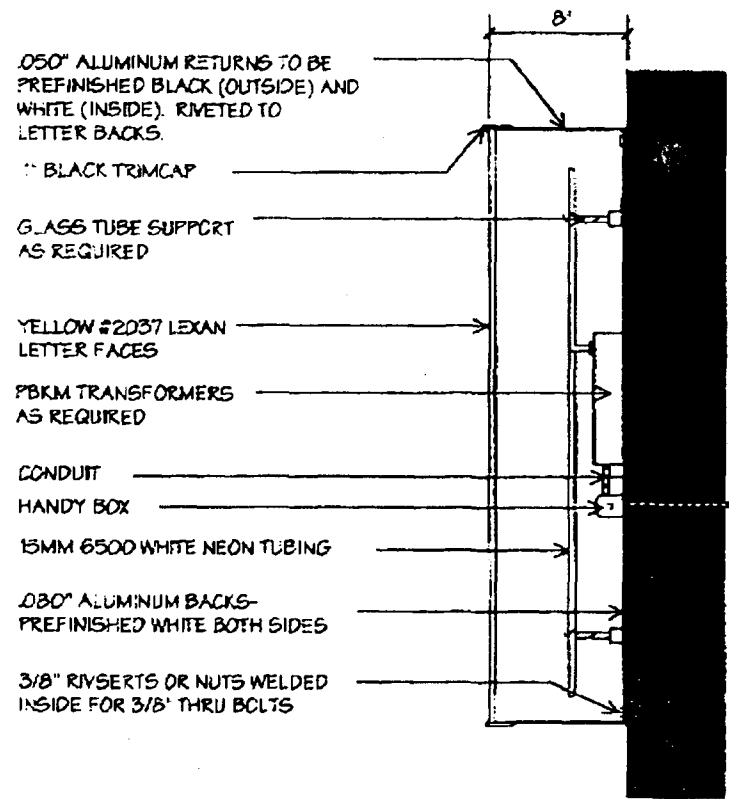
PLASTIC FACED CHANNEL LETTERS, INTERNALLY ILLUMINATED WITH 15MM 6500 WHITE NEON, (4) ROWS.

MOUNTING POINTS:

N - 4 MOUNTING POINTS
T - 3 MOUNTING POINTS
W - 5 MOUNTING POINTS

ELECTRICAL:

TOTAL: 6.0 AMPS @ 120 VOLTS
(1) - 20 AMP CIRCUIT REQUIRED



SECTION THRU SIGN

NTS



300 S. Leadbetter Rd., Ashland, Virginia 23005
(804) 798 - 5533

NATIONAL TIRE WAREHOUSE

24" NEON LETTER SET

TOTAL - 25' SQUARE FEET

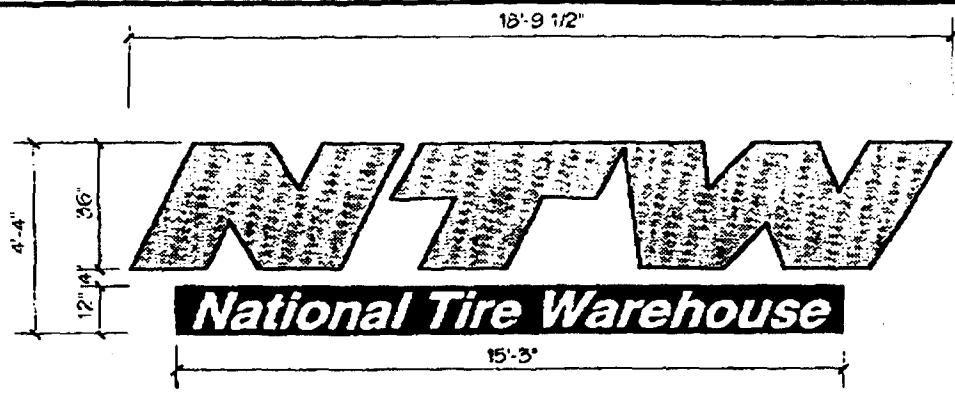
DRAWING #940159

72

NOV 28 '95 17:14 No.019 P.09

ID:3016563978

wah
25



S/F SIGN ELEVATION 1/4" = 1'-0"

SPECIFICATIONS:

PLASTIC FACED CHANNEL LETTERS, INTERNALLY ILLUMINATED WITH 15MM 6500 WHITE NEON, (4) ROWS. SECONDARY COPY IS ONE LARGE SELF-CONTAINED CHANNEL. WHITE PLEX. FACE PAINTED FIRST SURFACE. SEMI-GLOSS BLACK.

INTERNALLY ILLUMINATED WITH 800 MA FLUORESCENT LAMPS. BACKGROUND TO BE BLACK, COPY TO REMAIN TRANSLUCENT WHITE.

MOUNTING POINTS:

- N - 4 MOUNTING POINTS
- T - 3 MOUNTING POINTS
- W - 5 MOUNTING POINTS
- 12" CABINET - 6 MOUNTING POINTS

ELECTRICAL:

TOTAL: 13.1 AMPS @ 120 VOLTS
 (1) - 20-AMP CIRCUIT REQUIRED

.050" ALUMINUM RETURNS TO BE PREFINISHED BLACK (OUTSIDE) AND WHITE (INSIDE) RIVETED TO LETTER BACKS

1" BLACK TRIMCAP

GLASS TUBE SUPPORT AS REQUIRED

YELLOW #2037 PLEX. LETTER FACES

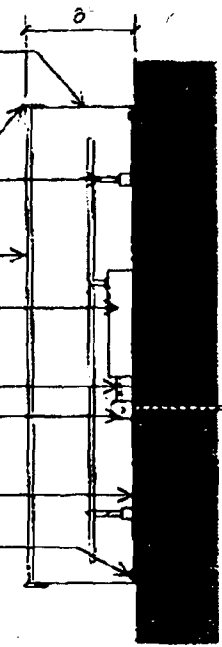
PBKM TRANSFORMERS AS REQUIRED

CONDUIT

HANDY BOX

.080" ALUMINUM BACKS- PREFINISHED WHITE BOTH SIDES

3/8" RIVETS OR NUTS WELDED INSIDE FOR 3/8" THRU BOLTS



SECTION THRU SIGN N.T.S.

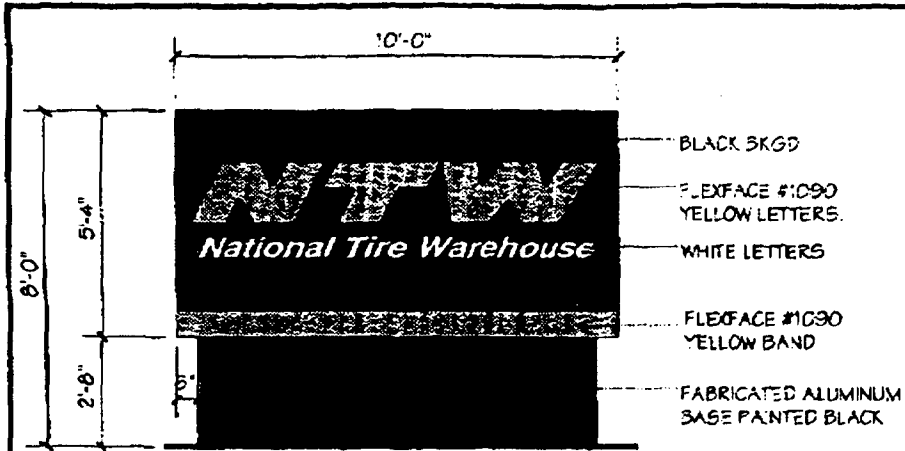


300 S. Leadbetter Rd., Ashland, Virginia 23005
 (804) 798 - 5533

LETTERS - 55.21075' SQUARE
 CABINET - 13.59375' SQUARE
 TOTAL - 68.8125 SQUARE FEET

NATIONAL TIRE WAREHOUSE 36" NEON LTR SET/12" CAB.

DRAWING #940105-B



D/F MONUMENT SIGN ELEVATION 1/4" = 1'-0"



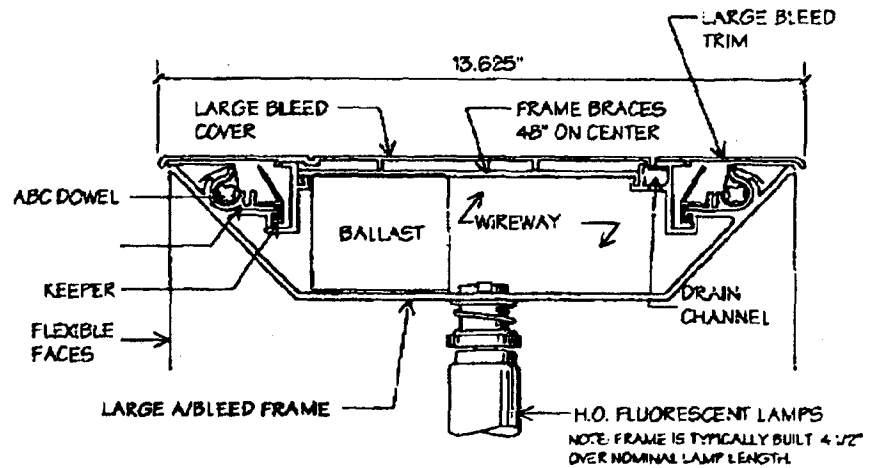
END VIEW 1/4" = 1'-0"

D/F ILLUMINATED MONUMENT

DOUBLE FACE LARGE A BLEEDFACE EXTRUDED ALUMINUM FRAME WITH FLEXFACE WITH HEAT TRANSFER GRAPHICS. CABINET PAINTED MATTHEWS ACRYLIC POLYURETHANE #335 ANODIC BLACK.
POLE COVER FABRICATED OF .063" ALUMINUM PAINTED BLACK.

ELECTRICAL SPECIFICATIONS:

- (10) - F60T12 D/H.O. FLUORESCENT LAMPS ON 2' CENTERS
- (2) - AB 1240-46 BALLASTS REQ'D @ 3.9 AMPS EACH
- TOTAL: 7.8 AMPS @ 120 VOLTS
- (1) - 20 AMP CIRCUIT REQUIRED



SECTION THRU SIGN N.T.S.



11046 Leadbetter Rd., Ashland, Virginia 23005
(804) 798 - 5533

NATIONAL TIRE WAREHOUSE

5 X 10 D/F MONUMENT SIGN

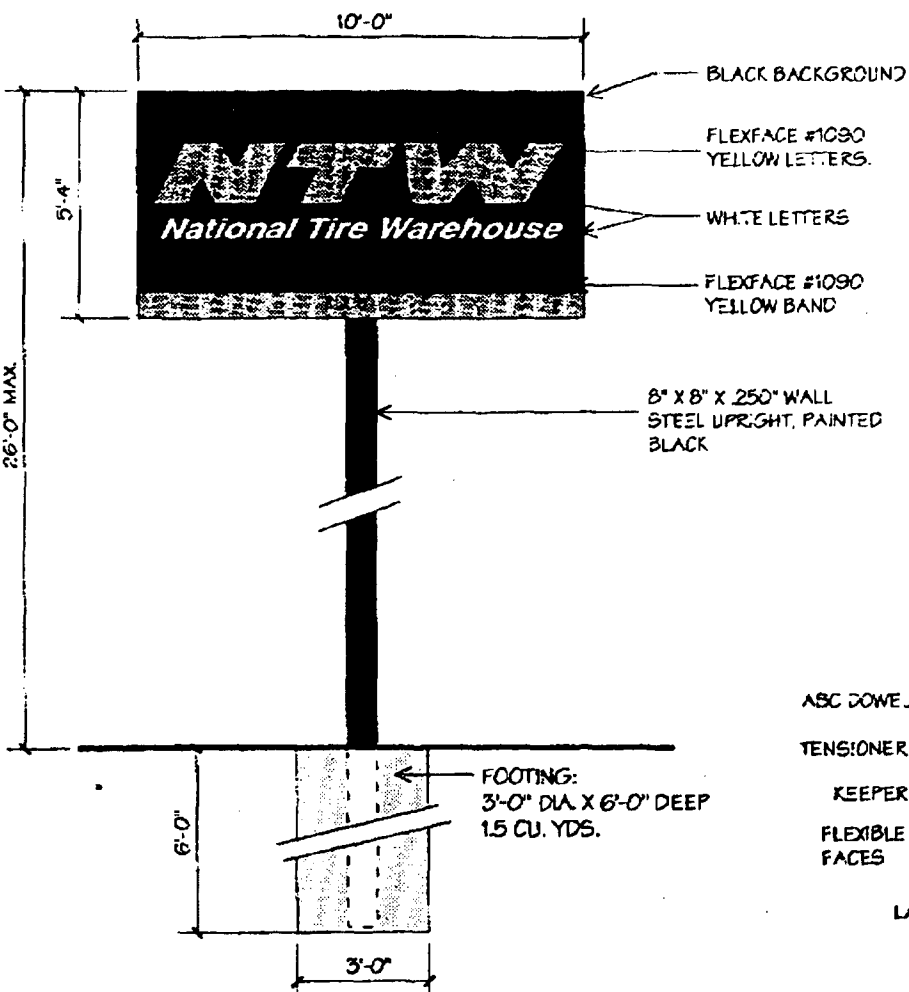
DRAWING #950029-B

26

NOV 28 '95 17:13 No. 019 P. 07

ID: 3016563978

27



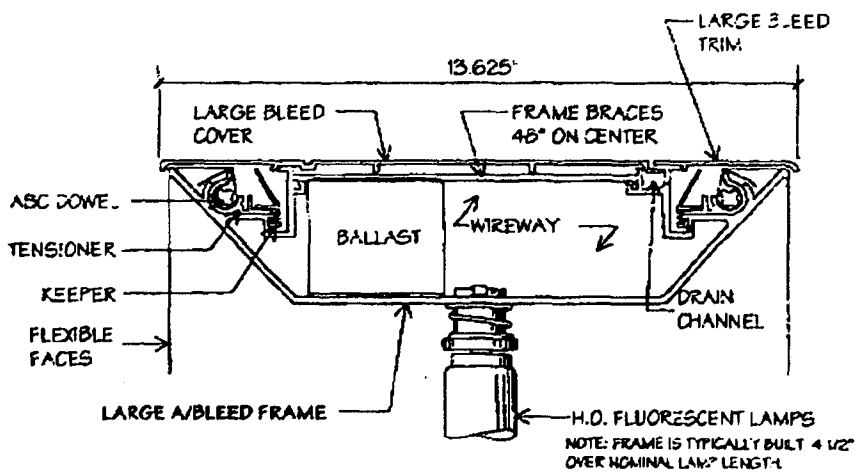
D/F PYLON SIGN ELEVATION 1/4" = 1'-0"

SPECIFICATIONS:

DOUBLE FACE LARGE A BLEEDFACE EXTRUDED ALUMINUM FRAME WITH FLEXFACE WITH HEAT TRANSFER GRAPHICS. CABINET PAINTED MATTHEWS ACRYLIC POLYURETHANE #335 ANODIC BLACK.

ELECTRICAL SPECIFICATIONS:

- (1) - F60T12 D/H.O. FLUORESCENT LAMPS ON 12" CENTERS
- (2) - A3 1240-46 BALLASTS REQ'D @ 3.9 AMPS EACH
- TOTAL: 7.8 AMPS @ 120 VOLTS
- (1) - 20 AMP CIRCUIT REQUIRED



SECTION THRU SIGN N.T.S.



11046 Leadbetter Rd, Ashland, Virginia 23005
(804) 798 - 5533

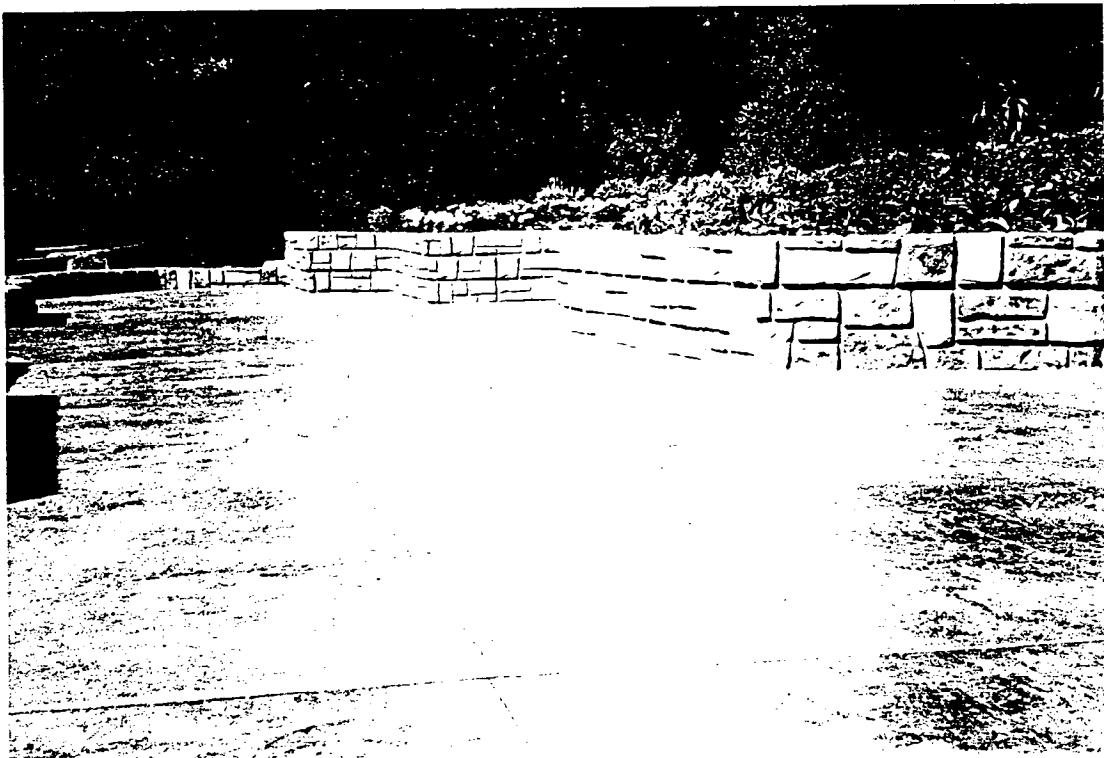
53.33 SQUARE FEET

NATIONAL TIRE WAREHOUSE

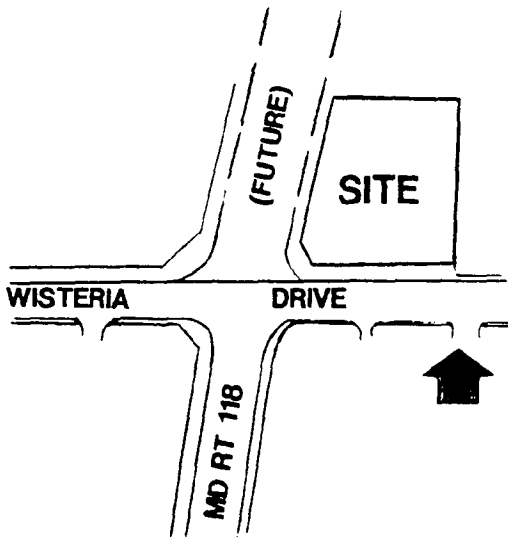
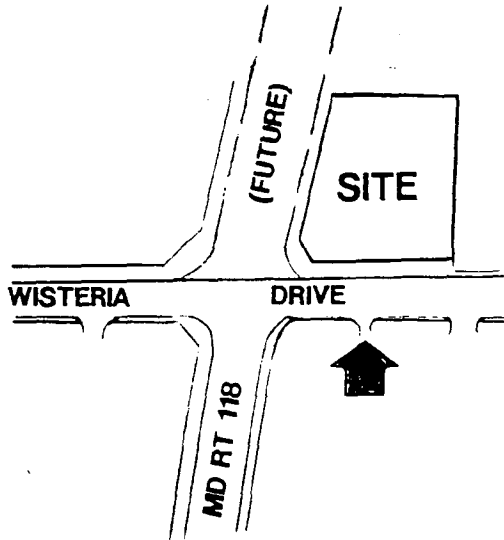
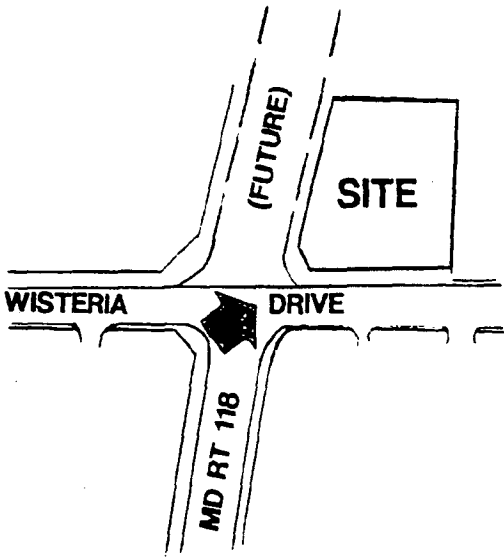
5 X 10/26' OA PYLON

DRAWING #940029-A

RETAINING WALL PROTOTYPES



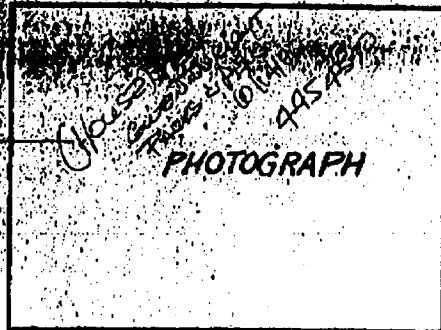
Site Photographs



This is a view of the Madeline V. Waters house, a Classical Revival style home designed by the architect Edward Dunning for the late Mrs. Horace Waters and her half-brother, A. George Waters. The Horace Waters family lived in the small Madeline Waters house until the late 1920s. Horace Waters, the late occupants, moved to nursing homes around 1980. Horace Waters owned the General Store in Old Germantown and was murdered during a robbery at his store in 1932.

The Waters family is the oldest family of European descent to have settled in this area - three brothers, William, Basil and Zachariah Waters established plantations in what is now Germantown in the 1790's. The Horace Waters line is descended from William Waters.

The elegant house had the symmetry and refinement of detail typical of Classical Revival architecture of the late Victorian era and was the largest and most elaborate house in Germantown in the early twentieth century. It was destroyed by arson April 7, 1986.

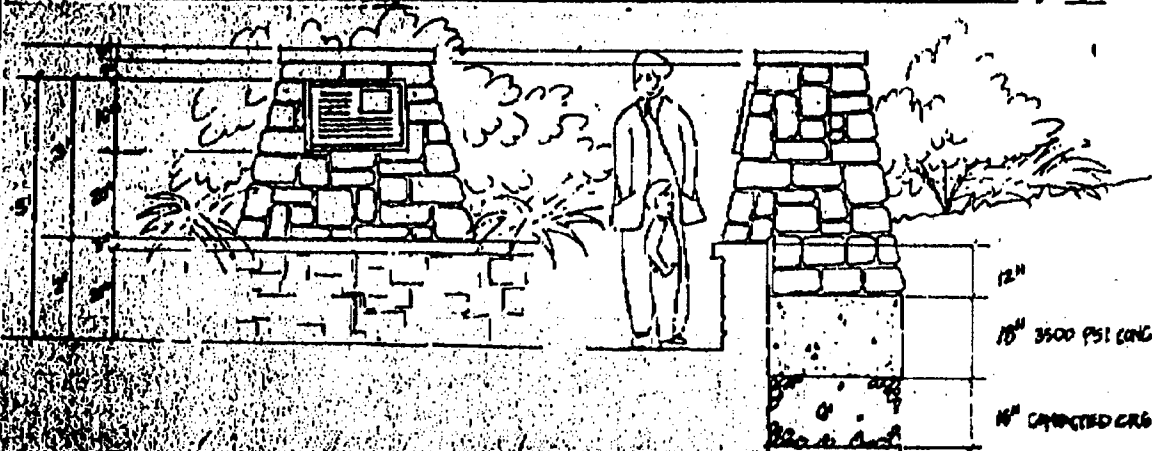


The Madeline V. Waters House

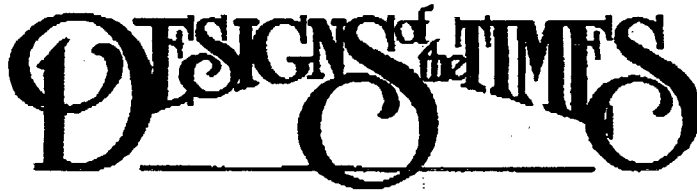
APPROX. 110'

WORKING CHECKED & IS OK FOR CONSTRUCTION

O.K.
Gwen Wright
10/21/96



COMMEMORATIVE PLAQUE & STONE MONUMENT DETAIL



FAX TRANSMITTAL

7820 F AIRPARK ROAD GAITHERSBURG, MD 20879
PHONE (301) 258-0448 FAX (301) 258-5282

DATE: 10/22/96 PAGES: 02
(INCLUDING COVER SHEET)

ATTENTION: Gwyn Wright

FROM: Pat Schoelen

RE: NTW Historic Site ID Sign

MESSAGE: Please approve layout and make any changes
 as necessary and fax back.
 Thank you.
 Pat

Displays, Signs & Graphic Design