

19/13-92A 19215 Blunt Avenue
Germantown Historic District



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 768195

NAME OF PROPERTY OWNER Raymond & Julie Howar Jr. TELEPHONE NO. 301-353-9393
(Contract/Purchaser) same (Include Area Code)

ADDRESS 19215 Blunt Ave. Germantown MD. 20874

CONTRACTOR SELF CITY STATE 301-353-9393 ZIP

PLANS PREPARED BY Self & 84 Lumber TELEPHONE NO. _____
CONTRACTOR REGISTRATION NUMBER _____ (Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19215 Street Blunt Ave.

Town/City Germantown Election District _____

Nearest Cross Street Matney Hill Rd.

Lot _____ Block _____ Subdivision Chestnut Ridge

Liber 8838 Folio 544 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision

Circle One: A/C Slab Room Addition
Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 3,500.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 WSSC 02 Septic
03 Other _____

2B. TYPE OF WATER SUPPLY

01 WSSC 02 Well
03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. On party line/Property line _____

2. Entirely on land of owner _____

3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED + For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B. Randall Date 1-13-93

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

Memorandum
Date: _____
To: _____
From: _____

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
51 MONROE STREET, SUITE 1001
ROCKVILLE, MARYLAND 20850

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19215 Blunt Avenue Meeting Date: 12/16/92
Resource: Germantown Historic District Review: HAWP
Case Number: 19/13-92A Tax Credit: No
Public Notice: 11/30/92 Report Date: 12/9/92
Applicant: Raymond and Julie Howar Staff: Nancy Witherell
PROPOSAL: Raze garage, build garage RECOMMEND: Approve

The applicants propose demolishing a garage/shed that is partially built on the public right-of-way in order to construct another garage/shed nearby. The existing garage is visible as one enters the property from the driveway, because it is close to Blunt Avenue. The structure, measuring 30' x 20', is built of clapboard with a metal roof and is in dilapidated condition and no longer in use as a garage. It has been modified several times, including an expansion in the 1940s or 1950s. It was not considered a contributing structure at the time the Germantown Historic District was placed on the Master Plan for Historic Preservation. It is not mentioned in the Amendment, even in the paragraphs physically describing the property.

The house is a late example of the Gothic Revival style, built in the 1890s.

The applicants would like to construct a two-car garage measuring 32' x 24'. The new location is behind the existing garage, in the area now used for parking vehicles. The new foundation would overlap the location of the old by approximately 8 feet. The proposed garage would be sided with T-111 (vertically grooved plywood) and would have a steep gable roof.

In light of the size of the lot and the location of the house, the choice of a pre-fabricated garage of this size and style is acceptable for this property. In the staff's judgment, it would not adversely affect the character of the property or the historic district.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the

historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



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APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 768195

NAME OF PROPERTY OWNER Raymond & Julie Howar Jr. TELEPHONE NO. 301 881-6600 (w)
 (Contract/Purchaser) same (Include Area Code) 301-353-9393 (H)
 ADDRESS 19215 Blunt Ave. Germantown MD. 20874
 CITY STATE TELEPHONE NO. 301-353-9393 ZIP
 CONTRACTOR SELF CONTRACTOR REGISTRATION NUMBER _____
 PLANS PREPARED BY Self & 84 Lumber TELEPHONE NO. _____
 (Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19215 Street Blunt Ave.

Town/City Germantown Election District _____

Nearest Cross Street Mateney Hill Rd.

Lot _____ Block _____ Subdivision Chestnut Ridge

Liber. 8838 Folio 644 Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | |
|---|----------------------------------|--------------------------------------|---------------------------------|---|---------------------------------------|------------------------------|
| <input checked="" type="radio"/> Construct | <input type="radio"/> Extend/Add | <input type="radio"/> Alter/Renovate | <input type="radio"/> Repair | Circle One: A/C | <input checked="" type="radio"/> Slab | Room Addition |
| <input checked="" type="radio"/> Wreck/Raze | <input type="radio"/> Move | <input type="radio"/> Install | <input type="radio"/> Revocable | Porch Deck | Fireplace | Shed Solar Woodburning Stove |
| | | | <input type="radio"/> Revision | Fence/Wall (complete Section 4) Other <u>Garage</u> | | |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ \$ 3,500.00
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | |
|---|------------------------------------|
| 01 <input checked="" type="checkbox"/> WSSC | 02 <input type="checkbox"/> Septic |
| 03 <input type="checkbox"/> Other _____ | |
- 2B. TYPE OF WATER SUPPLY
- | | |
|---|---|
| 01 <input type="checkbox"/> WSSC | 02 <input checked="" type="checkbox"/> Well |
| 03 <input type="checkbox"/> Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
 Signature of owner or authorized agent (agent must have signature notarized on back)

11-17-92
 Date

(3)

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT (demolition & construction of new Garage)

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The present structure is a 30 x 20 ft. garage (shed) that is situated on Blunt Ave and has a two (2) foot encroachment onto Blunt Ave. The structure is of frame wood with a clapboard exterior. The roof is of metal and appears to be in poor condition. The structure has had various changes over the years and it would appear that there has been no emphasis on keeping with the design of the main house. I would note that the shed is in deteriorating condition and functionally obsolete as a garage.

The main house has been designated as a historical site do to the nature of the design of the house. It would appear that the shed was added after the completion of the main house and has no historical significance.

b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is to demolish the existing shed and replace with a garage of approximatley ~~30 x 25~~ ^{30 x 37} feet. The new structure would not impact the historical significance of the property, as the structure has limited use and design significance.

The new structure would be relocated to conform to existing property lines and would meet current building standards. The relocation of the new garage would overlap were the shed is presently location, by approximately 8 feet. The old foundation and or slab would be removed and a new foundation would be poured.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

The new garage will be somewhat larger than the existing shed, however, the new proposed location will be farther away from the house and will have less of an impact on the property. Materials will be of modern construction standards, with an emphasis on retaining as much of the exterior design of the surrounding structures as possible.

- b. the relationship of this design to the existing resource(s):

The design is similar to the house in the pitch of the roof and basic structure. The design and structure will not be exact to the existing house, as the present shed is in no way representative of the design of the house, the new structure will have a more representation of the existing house, in design, appearance and mass.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

The specific requirement of the ordinance and the proposed construction will enhance the overall character of the property and conform to the design.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

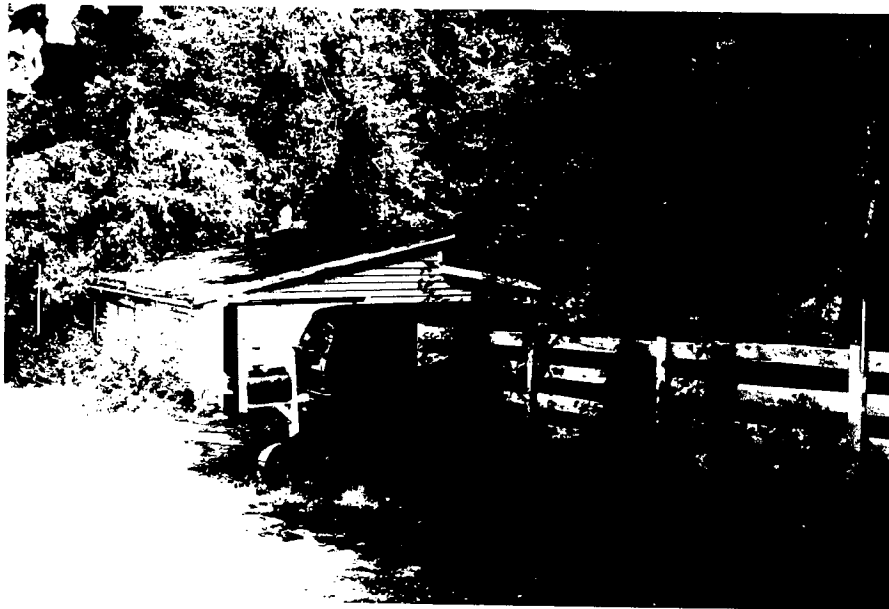
1. Name A.J. & Debra Forst
Address 19310 Mateney Hill Road
City/Zip Germantown, Maryland 20874
2. Name Swink Enterprises
Address 17101 Black Rock Road
City/Zip Germantown, Maryland 20874

3. Name Montgomery County Government
Address 51 Monroe Street
City/Zip Rockville, Md. 20850
4. Name Russel Graham
Address 19201 Blunt Ave.
City/Zip Germantown, md. 20874
5. Name CSX Corporation
Address Mount Clare Properties
1700 One James Center
901 E. Clare St.
City/Zip Richmond, Va. 23001
6. Name _____
Address _____
City/Zip _____
7. Name _____
Address _____
City/Zip _____
8. Name _____
Address _____
City/Zip _____

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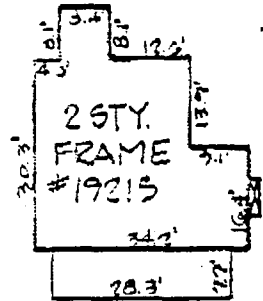
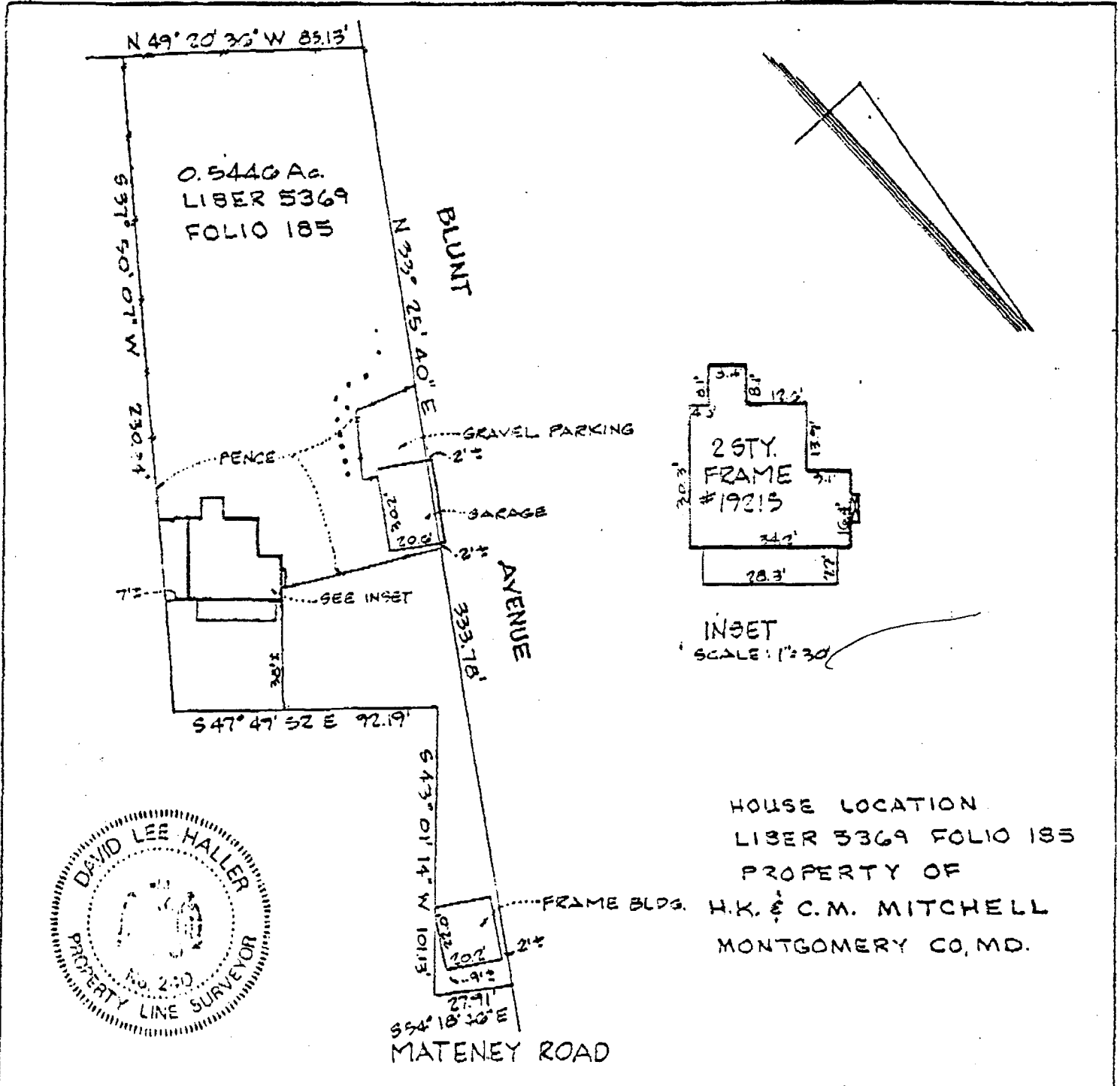




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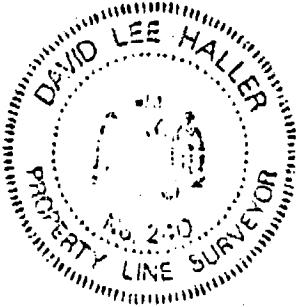
CASE No. 2204

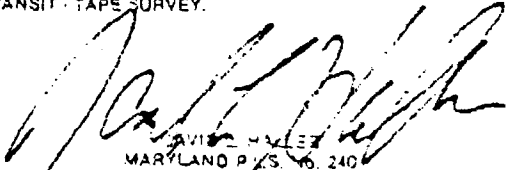
NOTE: This location for title purposes only — not to be used for determining property lines. Property corner Markers Not guaranteed by this location.



INSET
SCALE: 1" = 30'

HOUSE LOCATION
LIBER 3369 FOLIO 185
PROPERTY OF
H.K. & C.M. MITCHELL
MONTGOMERY CO, MD.



CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY.  DAVID LEE HALLER MARYLAND P.S. No. 240	REFERENCES PLAT BK. PLAT NO. LIBER 3369 FOLIO 185	Bull & Associates LAND SURVEYORS/CONSULTANTS (301) 428-9111 P.O. Box 348 GERMANTOWN, MARYLAND 20874	
	DATE OF SURVEY WALL CHECK ASSESSOR BOUNDARY	SCALE: 1" = 50' DRAWN BY: J.B. JOB NO. 355020	

NOTE: All information, if shown, obtained from MNC 200

2 CAR GARAGE WITH W

INSTRUCTIONS

1. Study the plan thoroughly. Be sure to check your local code requirements and if required obtain a building permit. Omit steps 2 through 9 if slab is poured by contractor.
2. Locate the garage on your lot to conform to local code requirements. Such as side and rear lot setbacks. Allow enough room for easy entrance, exit or turn around, if possible.
3. Stake out the foundation carefully be sure all corners are square, diagonal measurements should be equal. Remember that the dimensions on the plan are to outside of concrete and face of studs.
4. Dig trench for foundation wall and footing. Bottom of trench to extend 6" below local frost line. Call Building Inspector to check location and trenches before pouring concrete.
5. Pour concrete footing at bottom of trench 8" high. Provide key in footing by inserting 2"x4" in center of footing for length of trench. Remove 2"x4" after concrete is set.
6. Form both sides of concrete foundation wall from top of footing to a height 8" above established grade. Call Building Inspector to check wall forms before pouring concrete.

Have local electrical contractor install conduit for electrical service, before concrete is poured.

After forms are in place and securely braced, pour ready-mix concrete to the top of forms. Spading to insure total compaction and all voids are filled.

7. Set anchor bolts in concrete located as shown on foundation plans 1 3/4" in from edge of concrete and extending at least 2 1/2" above top of concrete. Space two bolts per plate minimum.
8. Remove forms after concrete has set. Backfill earth around wall to 6" from top of wall.
9. Use 4" gravel fill over entire floor area and tamp to within 10" of top of rear foundation wall and 12" of top at front to provide 2" pitch for floor slab. Pour concrete floor slab to thickness as shown on drawing. If desired use 6"x6" #10 welded wire fabric reinforcing in the floor slab.
10. Place 2"x4" treated bottom plate on top of bolts with edge of 2"x4" flush with outside face of concrete and tap with a hammer over each bolt to locate position of bolt holes. Drill 3/4" dia. holes in bottom plate. Check by placing 2x4 over bolts and be sure that edge of 2x4 is flush with face of concrete.

NOTE: Note that the walls are laid out in at least two panels each. THIS has been done for ease of handling the pre-assembled walls.

Begin construction by assembling wall panel A, B, C and D, on the concrete garage slab. Assemble all four panels before tilting them up into position.

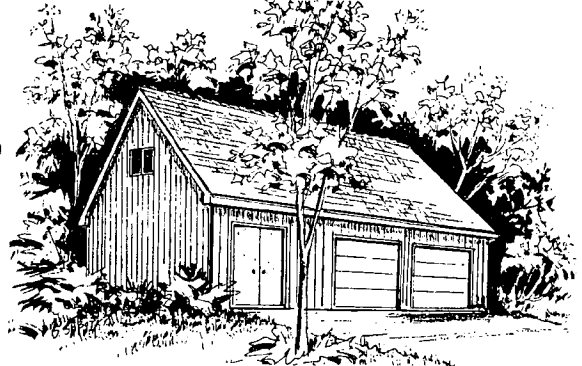
11. Lay the predrilled 2"x4" bottom plate and one 2"x4" top plate for panel "A" side by side and mark position of 2"x4" studs 16" on center as shown on panel elevation drawing (note that the first stud space on each end of panels is measured from the outside face of stud to the center line of the next stud). Assemble wall section A using pre-cut 2"x4" studs 7'-8 5/8" long. Nail through top and bottom plates into studs using two 16 penny nails at each connection.
12. Let-in bracing. Check panels for squareness. Lay the 1"x4" corner brace on panel outer corner of top panel down to bottom plate at a 45 degree angle. Mark 1"x4" position on each stud. With your circular power saw cut into stud 3/4" at each mark. Using a chisel and hammer knock out the piece of wood leaving a 3/4" recess into which you place the 1"x4" corner brace and nail with two 8 penny nails at each stud and top and bottom plate.

Repeat steps 10 and 11 for panels "B", "C" and "D".

13. Now that you have the first four wall panels assembled you can start the erection of the walls. Tilt up panel "A" and place it in position over the anchor bolts. Brace panel securely with 2"x4" brace to ground stake. Place washer and nut on anchor bolts and tighten down panel. Follow same procedure for panels "B", "C" and "D".
14. Repeat instructions number 10, 11 and 12 for assembly and erection of panels E, F and add triple 2"x4" beam supports to each side wall as shown on framing elevation.
15. As panels are erected you can add the 2"x4" tie plate. Lap at corners as shown on wall framing elevations. Nail with 16 penny nails 24" on center.
16. Assemble interior partition using 2"x4" studs cut from 8 ft. long studs. Note: Erect wall to each side of girder, add triple 2"x4" beam support at center as shown on framing elevation.

Note: Stud spacing 24" on center.

17. Assemble front door framing. Add double 2"x4" header support at each side of door opening. Make certain that all girder posts and girder column are in position.



18. Assemble girder using three 2"x12", joints of wood girder members should be over column supports with splice plates about 2'-0" long nailed to each side. Nail girder together with two 20 penny nails at each end. Stagger nail 20 penny nails 32" on center along top and bottom of header on both sides. Raise assembled girder into position over posts. After girder is in position and level fasten to column plate with lag screws.
19. Assemble garage door header using two 2"x12" cut to 9'-6" long with a 1/2"x11 1/4" plywood web nailed together with 20 penny nails.
20. Nail double 2x4 cripples at each side of door opening. Nail 2"x6" surround to inside face of cripples.
21. Lift assembled header into position and rest on cripples and nail to panel studs using 16 penny nails.
22. Add 2"x4" tie plate to top remaining wall plates.
23. Lay rafters 24" on center across top plate and girder. Note that the first joist space on each end is measured from the outside face of joist to the center line of the next joist. Butt joists at center, nail together with a splice plate over girder. Nail joists with 16 penny nails to top plate and girder. Double joists at stair opening. Add 2"x4" blocking between joists at edges and over center girder.
24. Nail and glue 3/4" plywood floor to 2"x10" joists. Stagger joints of plywood so that joints on adjoining sheets do not occur on the same joists. Nail 8 penny nails 6" on center on panel edges and 10" on center at intermediate joists.
25. Now that your deck is in place you have a good working surface on which to work.
26. Cutting rafters is simplified by using the pattern provided on the plan. Layout and cut two rafters to size and check for accuracy. (Be sure to use the same rafter as a pattern to make all additional rafters).
27. Erect and "lock-nail" the end rafters in place and brace. 10 or 12 feet from the end wall repeat the above process. Then slip the ridge board into position. Be sure ridge is level, rafters are plumb and brace securely. The remaining rafters can be put in place. Rafter ties should then be nailed to rafters, before bracing is removed.
28. Add 2x4 gable studs as shown on framing elevations.
29. Start siding about 1/2" below top of foundation. Top edge can be nailed into 2x4 of top. Nail siding with 8 penny non corrosive siding or casing nails spaced 6" on center at panel edges and 12" on center at intermediate studs.
30. Apply 1/2" plywood sheathing over roof rafters starting at the bottom of the rafter. Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same rafter.
31. Apply roof shingles over felt. Follow manufacturer's instructions in bundle. Extend shingles 3/4" beyond face of trim board, and excess of shingles should be cut from inside only in order to maintain a trim appearing edge.
32. Trim out door opening with jambs and casing. Build stair as detailed on plan.
33. Install 5/8" drywall on partition between workshop and garage.
34. Trim eaves and corners. Install doors.
35. Install garage overhead door following the manufacturer's instructions included with the door package.
36. Paint or stain siding and trim as desired.

WORKSHOP & STUDIO LOFT

MATERIAL LIST

Material Supplied By 84 Lumber.

QUANTITY	SIZE	DESCRIPTION	QUANTITY	SIZE	DESCRIPTION
2 Pcs.	2x4-16'	Treated Wall Plate	8 Pcs.	4'x9'-5/8"	Plywood Panel Siding With Vertical Grooves At 8" o.c.
7 Pcs.	2x4-12'	Treated Wall Plate (Two For Interior)			At Gable Ends
1 Pc.	2x4-8'	Treated Wall Plate	70 L.F.		"Z" Flashing
77 Pcs.	2x4-92 5/8"	Precut Studs	8 Pcs.	1x4-8'	Corner Boards
15 Pcs.	2x4-92 5/8"	Interior Studs & Header	2	9/0x7/0	Sectional Lip & Over Garage Door Complete With Track And All Necessary Hardware
2 Pcs.	2x4-16'	Top Plates			Door Stop
9 Pcs.	2x4-12'	Top Plates (Two For Interior)			Brick Mould (Pair Doors)
6 Pcs.	2x4-16'	Tie Plate (One For Interior Partition)	22 L.F.		Doors For 6/0x6/8 Opening
5 Pcs.	2x4-8'	Tie Plate (One For Interior Partition)	1 Pr.	3/0x6/8-1 3/8"	Pre-Hung Door Unit
9 Pcs.	2x4-8'	Beam Support Studs	1	2/8x6/8-1 3/8"	Door Jamb
4 Pcs.	2x6-8'	Cripple Studs, Doors	3 Pcs.	1x4-8'	Stair Carriage
8 Pcs.	2x4-8'	Cripple Studs, Doors	2 Pcs.	2x12-12'	Stair Tread (Cut Into 36" Length)
2 Pcs.	2x6-10'	Head Jamb	3 Pcs.	2x10-12'	Stair Rail & Brackets
6 Pcs.	1x4-12'	Diagonal Wind Brace	12 L.F.	1 1/4"	Stair Rail & Post
4 Pcs.	2x12-10"	Headers, Garage Doors	4 Pcs.	2x4-12'	Stair Rail
1 Pc.	4'x8'-1/2"	Plywood Web For Garage Header	3 Pcs.	1x4-12'	Stair Rail Pests, Cut
2 Pcs.	2x4-10'	Garage Header Blocking	3 Pcs.	4x4-8'	Firecode Drywall
2 Pcs.	2x12-8'	Headers, Door	6 Pcs.	4'x8'-5/8"	
6 Pcs.	2x4-10'	Garage Door Hardware Surround			
9 Pcs.	2x12-12'	Girder			
2 Pcs.	2x4-16'	Girder Plate			
6 Pcs.	2x4-16'	Edge Blocking			
36 Pcs.	2x10-12'	Floor Joists & Headers			
4 Pcs.	1x6-12'	Floor Joists Splice Plate, Cut			
32 Pcs.		Metal Cross Bridging For 2"x10"s on 24" o.c.			
1 Pc.	2x4-8'	Gable End Rafter & Joists Ties			
24 Pcs.	4'x8'-3/4"	T&G Plywood Flooring			
34 Pcs.	2x8-18'	Rafters			
2 Pcs.	1x10-16'	Ridge Board			
7 Pcs.	2x4-8'	Rafter Ties			
36 Pcs.	4'x8'-1/2"	CD 24/0 Plywood Roof Sheathing			
28 Pcs.	2x4-8'	Gable Studs, Cut			
3 Pcs.	2x4-10'	Gable Studs, Cut			
4 Pcs.	2x4-8'	Gable Top Plates			
4 Pcs.	2x4-12'	Gable Bottom Plate			
2 Pcs.	2x4-8'	Gable Window Header, Cut			
2 Pcs.	2x4-14'	Gable Trimmer Studs, Cut			
6 Pcs.	1x6-12'	Gable Rake Board			
6 Pcs.	1x6-12'	Eave Fascia			
4 Pcs.	1x4-14'	Eave Soffit			
2 Pcs.	1x4-12'	Eave Soffit			
140 L.F.		Metal Drip Edge			
2		Metal Roof Vents			
3 Rafts	15'	Roofing Felt			
12 Sep.		Roof Shingles			
2	3030	Metal Sliding Windows			
25 Pcs.	4'x8'-5/8"	Plywood Panel Siding With Vertical Grooves 8" o.c.			
			4 Cu. Yds.		Concrete For Footing
			10 Cu. Yds.		Concrete For Walls
			10 Cu. Yds.		Concrete For Floor

Miscellaneous: Finish Materials

OPTIONAL & EXTRA


34 Pcs.	4'x8'-1/2"	Insulating Sheathing
12 Lbs.	1 1/2"	Galvanized Sheathing Nails

Note: The following materials not supplied by 84 Lumber Materials are Listed for Convenience Only.

23	1/2" Dia. x12"	Anchor Bolts With Nuts & Washers
1	3 1/2" Dia.	Steel Column (7'-8" Long)
770 S.F.	6x6-#10	Wire Mesh Optional

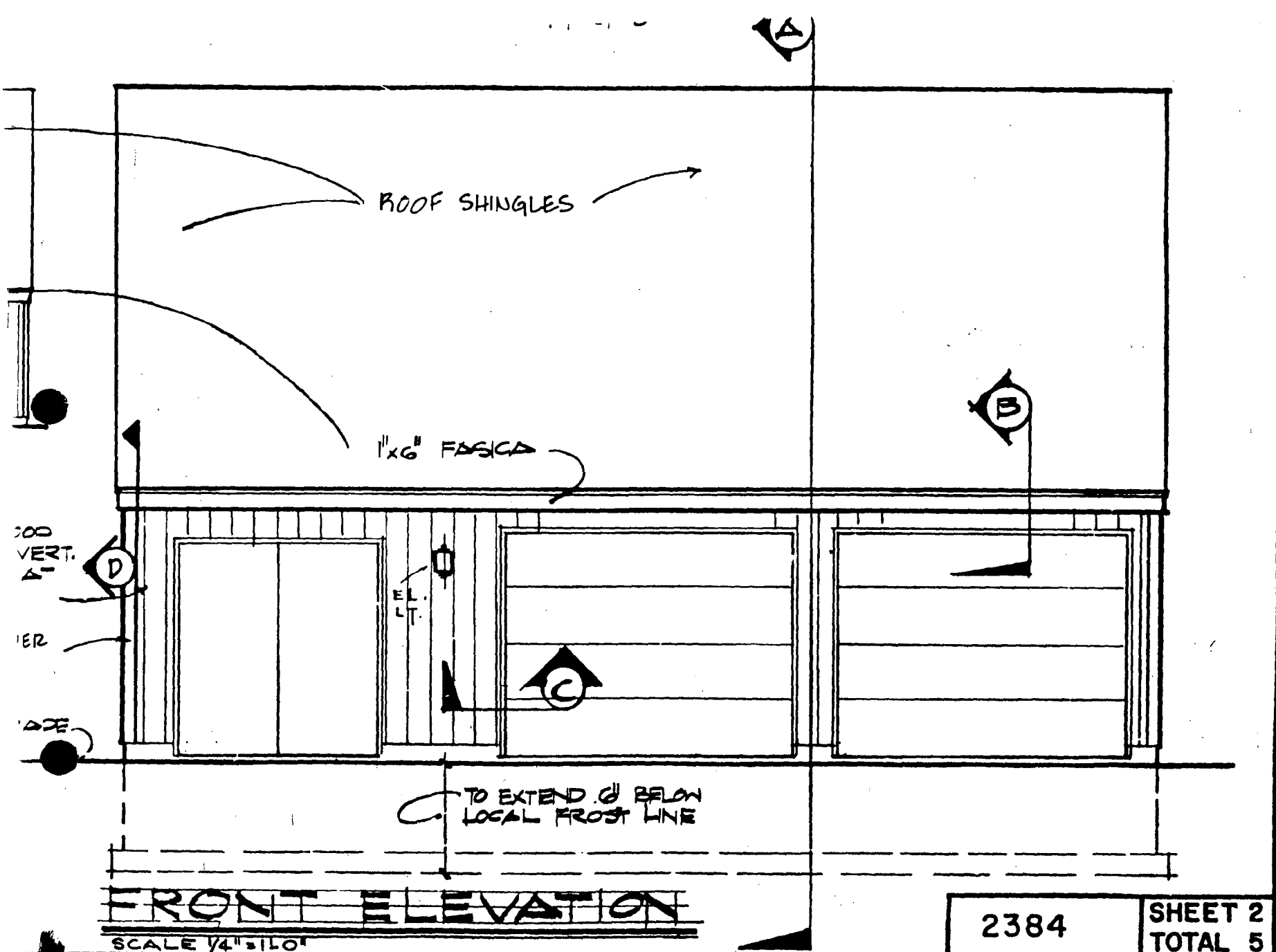
Concrete For Formed Foundation (Wall Height Figured @ 3'-10" High)

4 Cu. Yds.		Concrete For Footing
10 Cu. Yds.		Concrete For Walls
10 Cu. Yds.		Concrete For Floor

	
2384	SHEET 1 TOTAL 5

12

13



100
VERT.
A

100
VERT.
B

100
VERT.
C

ROOF SHINGLES

1" x 6" FASCIA

EL.
LT.

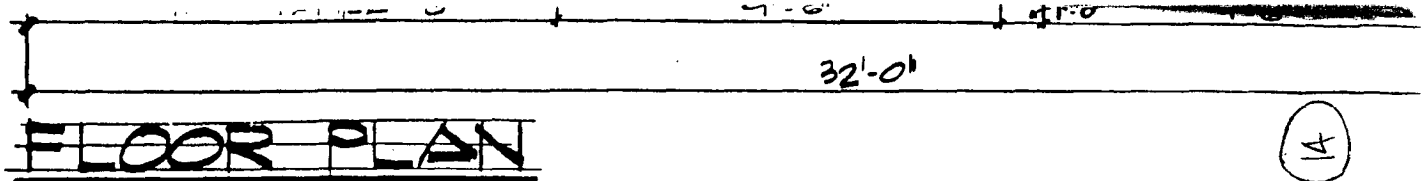
TO EXTEND 6" BELOW
LOCAL FROST LINE

FRONT ELEVATION

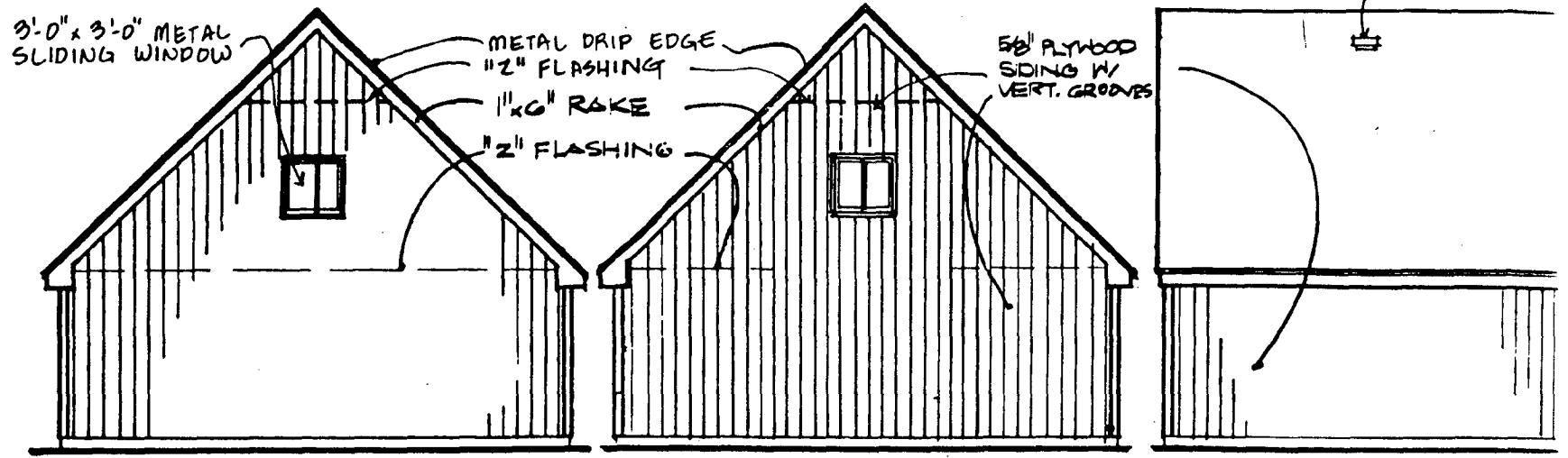
SCALE 1/4" = 1'-0"

2384

SHEET 2
TOTAL 5



SCALE 1/4" = 1'-0"

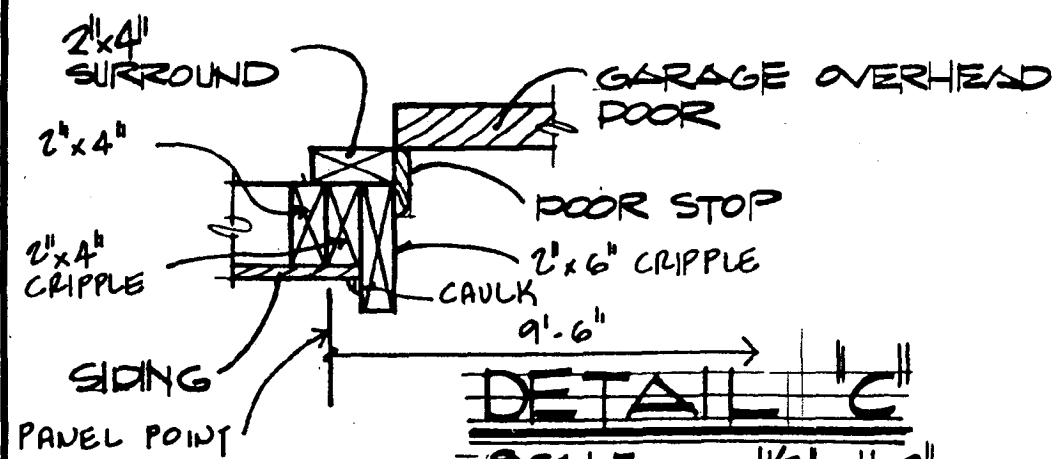


RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION

REAR ELEVATION

B C A L E 1/8" = 1'-0"



DETAIL 'C'

SCALE 1/2" = 1'-0"

ROOF DESIGN LOAD

30 lbs. LIVE LOAD
7 lbs. DEAD LOAD

971122