

19/13-93A 19390 Mateny Hill Road
Germantown Historic District

BERMAN - ALLNUTT
19390 MATELY RD
GERMANTOWN

FRONT VIEWS OF
EXISTING HOUSE FROM
DRIVEWAY



PROPOSED ADDITION GOES HERE



BERMAN - ALLNUTT
19390 MATEMY H
GERMANTOWN

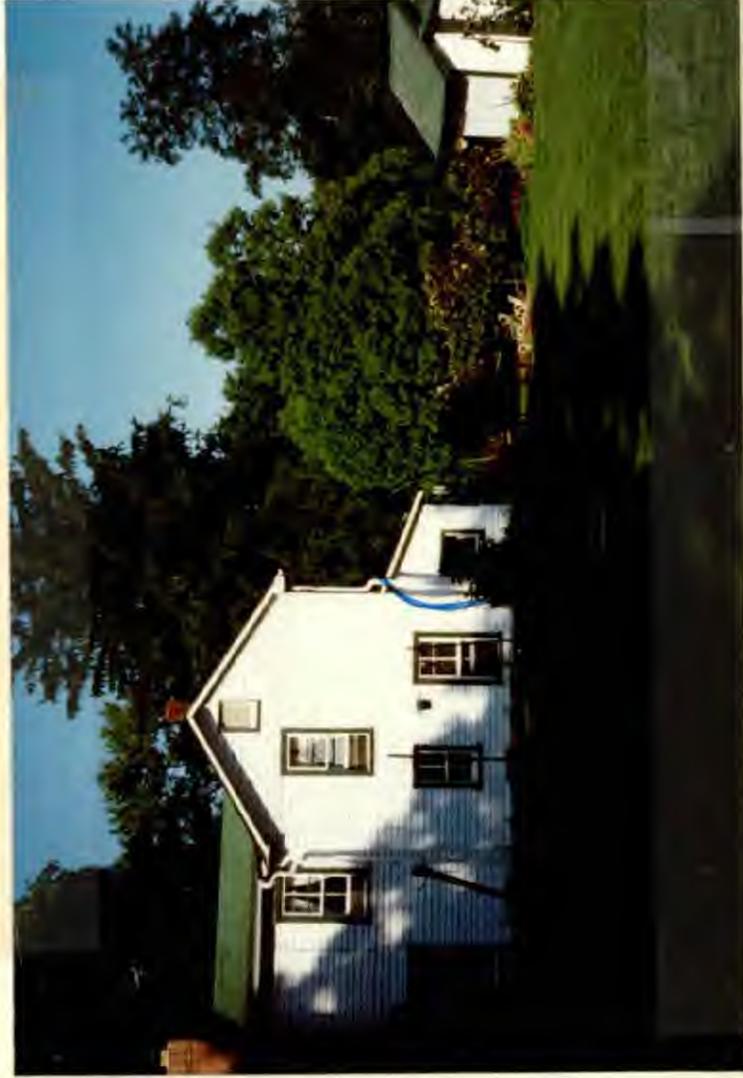


SIDE VIEWS OF EXISTING HOUSE



PROPOSED ADDITION REPLACES THIS

BERMAN - ALLWITT
19290 MARYWAY RD
CERRITOS, CA



REAR VIEW OF EXISTING
HOUSE

PROPOSED ADDITION
REPLACES THIS



BERMAN - ALLNUTT
19390 MATCHAY HILL RD
GERMANTOWN



VIEWS FROM ROAD



Application for Historic Work Permit - Resource
R. Cromwell Allnutt



FRONT VIEW

LOCATION
OF PROPOSED
ADDITION



REAR VIEW

Application for Historic Permit - Resource
R. Cromwell Bennett



SIDE VIEWS

Application for Historic Permit - Context
R. Cromwell Allnutt



Property is substantially set-back
from street and surrounded by mature
trees on all property lines.

MEMORANDUM

TO: Robert Hubbard, Acting Chief
Division of Development Services and Regulation
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: October 28, 1993

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: _____
1. The new porch floor shall be stained within one year from installation to match the existing porch floor deck.

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: R. Cromwell Allnutt

Address: 19390 Mateny Hill Road
Germantown, Md. 20874



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

contact: Ralph Hurst
948-2424

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 766994

NAME OF PROPERTY OWNER R. Cromwell Allnutt TELEPHONE NO. (301) 349-5850
(Contract/Purchaser) (Include Area Code)

ADDRESS P.O. Box 413, Barnesville, MD CITY STATE ZIP
Barnesville MD 20838

CONTRACTOR Cornerstone TELEPHONE NO. _____
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 19390 Street Mateny Hill Road

Town/City Germantown Election District _____

Nearest Cross Street Route 118

Lot _____ Block _____ Subdivision _____

Liber 6877 Folio 301 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one) Circle One: A/C Slab Room Addition
 Construct Extend/Add Alter/Renovate Repair Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 30,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? NO, HOUSE LOCATED IN GERMANTOWN HISTORIC DISTRICT

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY

01 WSSC 02 Septic 01 WSSC 02 Well

03 Other _____ 03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ralph Hurst

9.30.93

Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B. Randall Date October 28, 1993

APPLICATION/PERMIT NO: 9309300074 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19390 Mateny Hill Road	Meeting Date: 10/27/93
Resource: Germantown Historic District	HAWP/Addition
Case Number: 19/13-93A	Tax Credit: Partial
Public Notice: 10/13/93	Report Date: 10/20/93
Applicant: R. Cromwell Allnut	Staff: Patricia Parker
PROPOSAL: New Addition/Removal of Vinyl Siding	RECOMMEND: Approval w/ Condition

This proposal to remove an existings vinyl-clad appendage and provide an enlarged 14' x 26' addition to the Allnut House, was reviewed, conceptually, by the Commission during a preliminary consultation on September 22, 1993 (a copy of the staff report is attached). At that meeting, the applicant discussed the proposal to add space to the first floor of the 1870's two-story frame structure which is located in the Germantown Historic District. Four major issues were resolved. The Commissioners recommendations were as follows:

- o To use painted wood clapboard for siding instead of vinyl siding.
- o Use standing-seam roofing to match the existing metal porch roof profile.
- o The addition could be 14' wide as proposed; but should be recessed posterior to the front wall of the house.
- o The size and type of openings could be either as on the front elevation or matching the east elevation where the addition abuts the house.

STAFF DISCUSSION/BACKGROUND

The applicant has incorporated all the Commission's comments in this proposal. Additionally, the applicant chooses to replace the existing vinyl-clad southern facade of the main house with

wood clapboard having a similar profile as the existing wood clapboard on other surfaces. The reversal from vinyl-cladding to wood clapboard is applauded. This action is consistent with The Secretary of the Interior's Standards for Rehabilitation (specifically, Standard #2, later cited within staff's recommendations). Hereby, the applicant will be eligible for the County's property tax credit for this work.

The drawings indicate the use of 2x6 treated decking for the porch flooring. This issue had been discussed with the applicant and the architect of record. The existing porch deck is stained grey to mask the use of treated material for flooring instead of painted tongue and groove flooring. The applicant proposes a similar treatment for the new porch floor area. Staff is sympathetic to using treated material in this instance because of the desire to match the existing. Staff has annotated the drawings to reflect the use of stained treated material to match the existing.

We have two minor concerns. These concerns are mentioned because they are important in clearly understanding the proposal. The architect shows the base of the columns being more articulated than the existing. However, the drawing sheet 1 of 3 indicates that "new wood columns will match the existing". The existing columns are fairly simple and devoid of any ornamentation or articulation at the base. Staff concludes that the written specification to match the existing is the applicant's intention.

Secondly, the applicant indicates that metal roofing will be used for the porch. It is staff's understanding that the profile of the new roof will match the existing. Again, staff has annotated the drawings to reflect the use of metal roofing to match the existing porch roof.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standards #2, #5 and #9:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;

and with the following condition:

1. The new porch floor, even though treated, shall be stained within one year from installation. This treatment shall match the existing porch flooring.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The Allnutt House is located in the Germantown Historical District. The District is primarily residential in nature. The Allnutt House is vernacular in style with an L-shaped front porch, supported by columns without ornamentation. The house has wood clapboard siding on three sides and vinyl siding on the rear and on an appendage. The house is substantially set-back from the street amidst mature trees. IT IS AN 1870'S TWO-STORY FRAME STRUCTURE.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The applicant proposes to remove the existing vinyl-clad appendage on the opposite side of the ell-shaped porch. The new one-story addition includes a widening of the front porch. No major trees will be removed to accomplish the addition. See attached drawing for more detail regarding addition.

IN CONNECTION WITH NEW CONSTRUCTION, APPLICANT INTENDS TO CHANGE EXISTING VINYL SIDING TO WOOD CLAPBOARD AND APPLY FOR THE COUNTY'S PROPERTY TAX CREDIT.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- b. the relationship of this design to the existing resource(s):

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

THE PROPOSAL DOES NOT SUBSTANTIALLY ALTER THE EXTERIOR FEATURES OF THE HISTORIC RESOURCE, AND IS NECESSARY IN ORDER THAT THE OWNER NOT BE DEPRIVED OF REASONABLE USE OF THE PROPERTY. PURSUANT TO CHAPTER 24A-8.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Albert J. and D. Forst
 Address 19220 Mateny Hill Road
 City/Zip Germantown, MD 20874
2. Name Vicent and J. F. McCarthy
 Address 19301 Mateny Hill Road
 City/Zip Germantown, MD 20874

3. Name Mt. Clare Properties
Address c/o CSX Tax Dept. J910
City/Zip 500 Waters Street, Jacksonville, FL 32202

4. Name Sheldon Blitz, et al.
Address 6701 Democracy Blvd.
City/Zip Bethesda, MD 20817

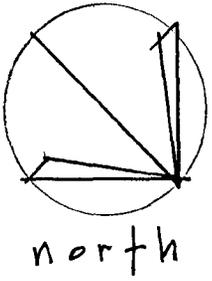
5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

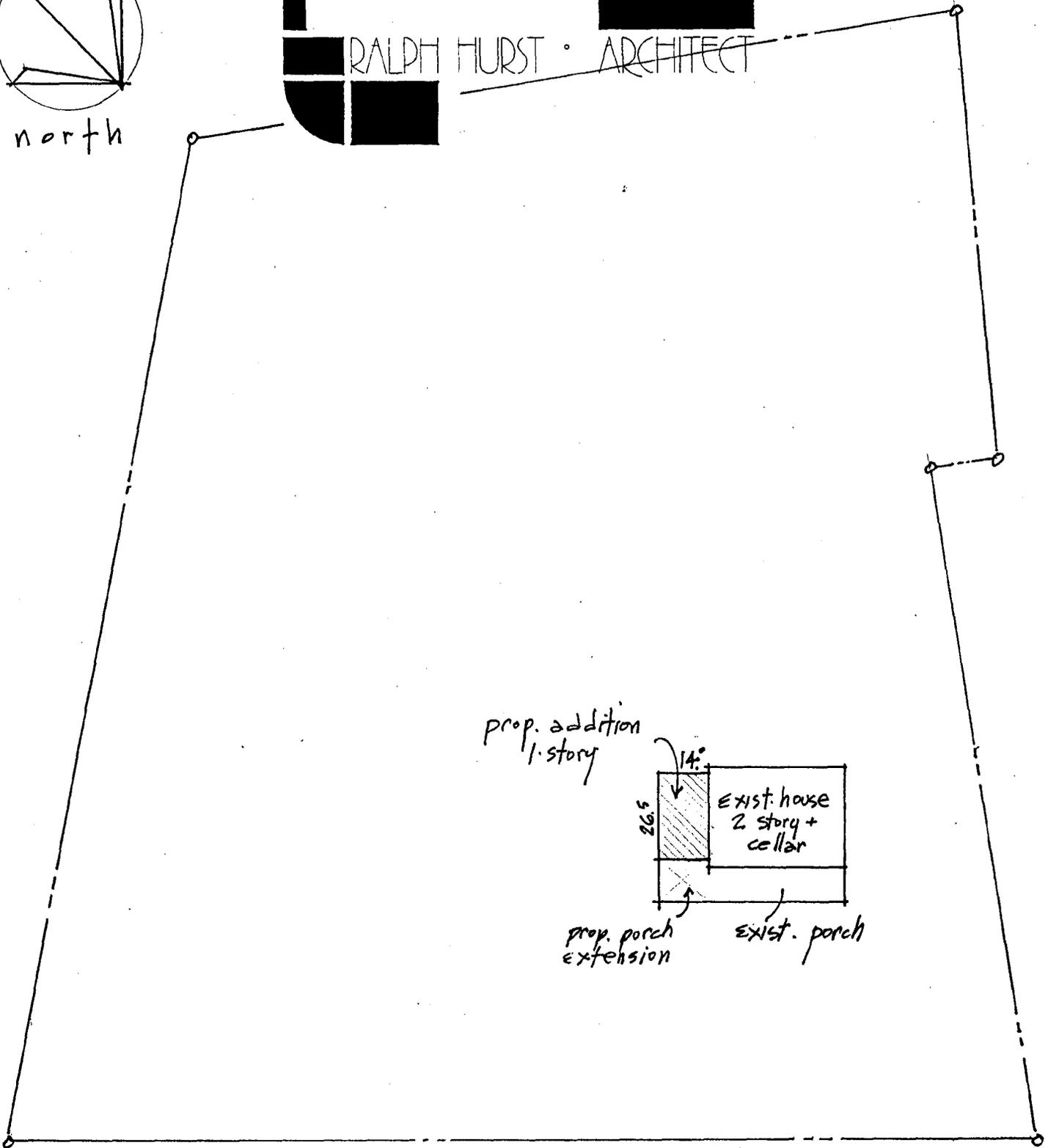
1757E



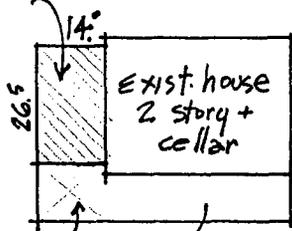
north



RALPH HURST ARCHITECT



prop. addition
1. story



Exist. house
2 story +
cellar

prop. porch
extension

exist. porch

M A T E N E Y H I L L R D.

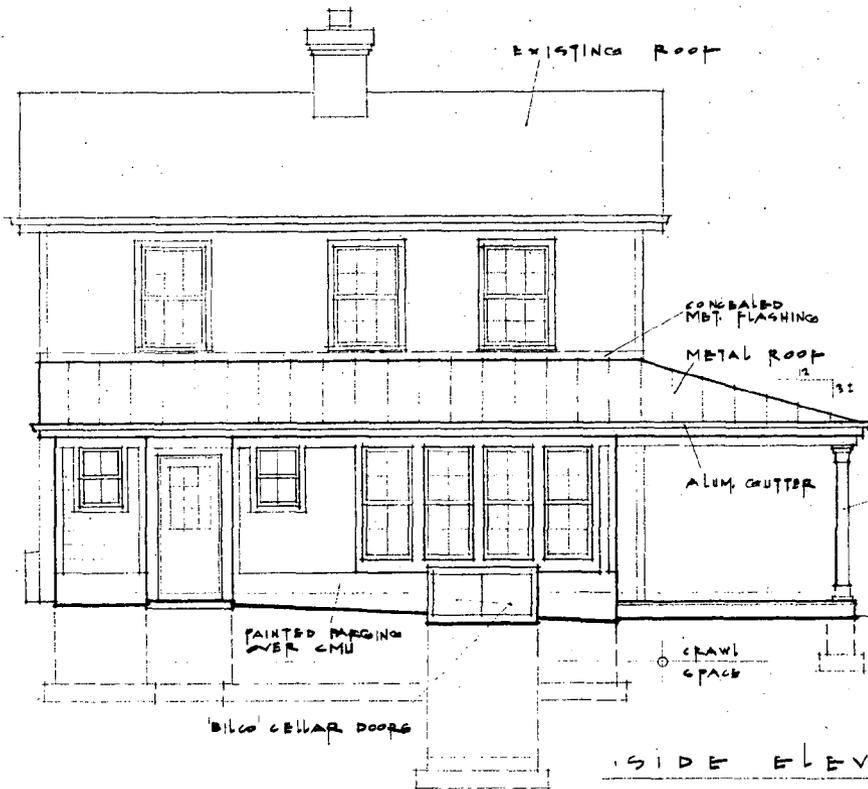
Site Plan.

1" = 40'

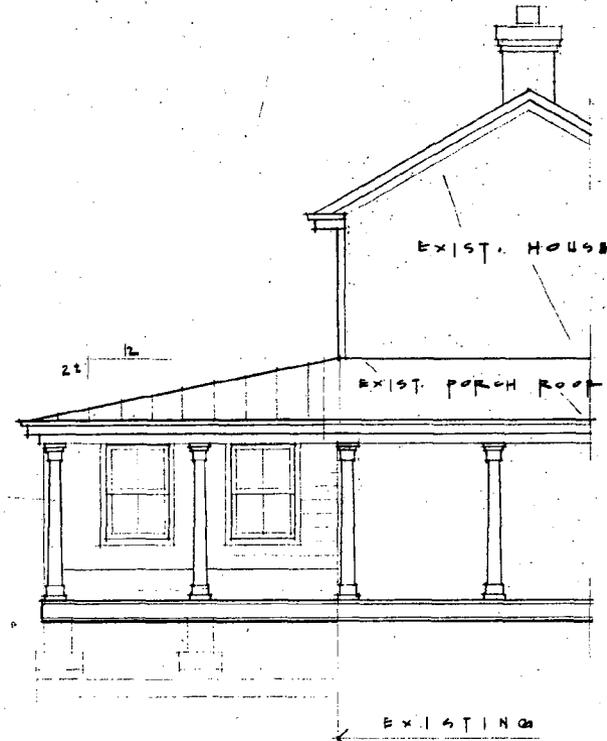
5 GIBSON COURT
GAITHERSBURG, MARYLAND
20878
(301) 948-2424

R. Cromwell Allnut
19390 Mateney Hill Rd.

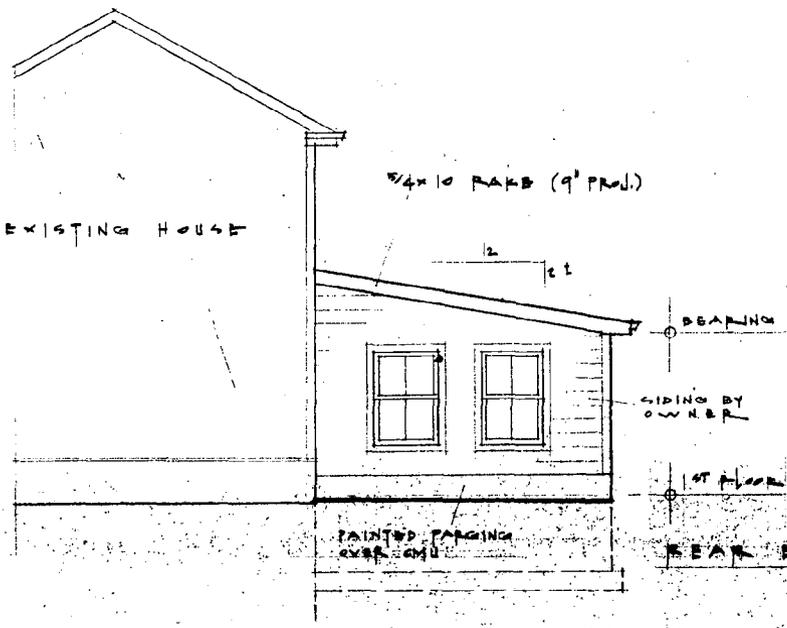
9-30-93



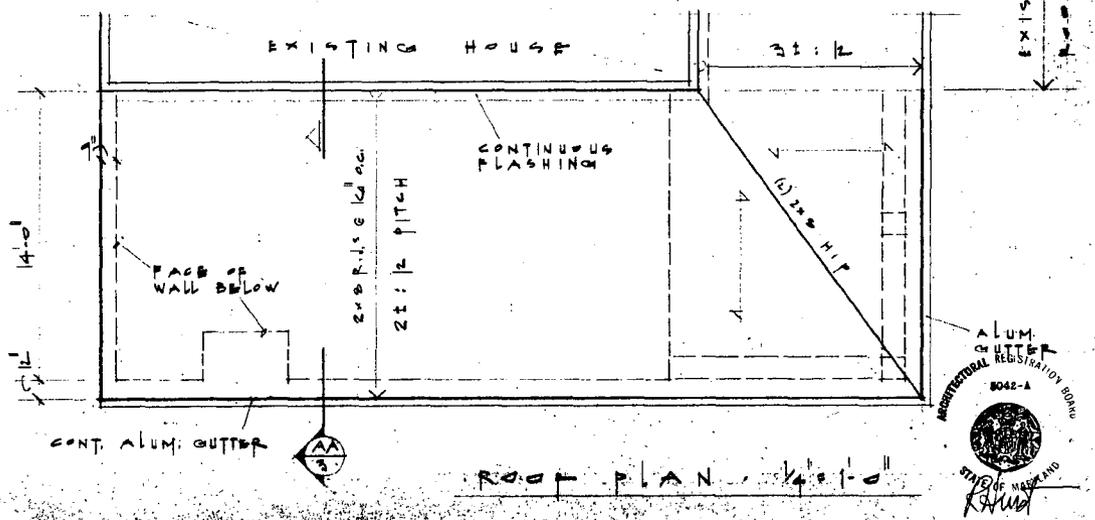
SIDE ELEVATION, 4'-10" FRONT.



EXISTING

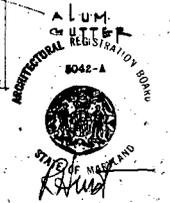


REAR ELEVATION, 4'-0" FRONT.

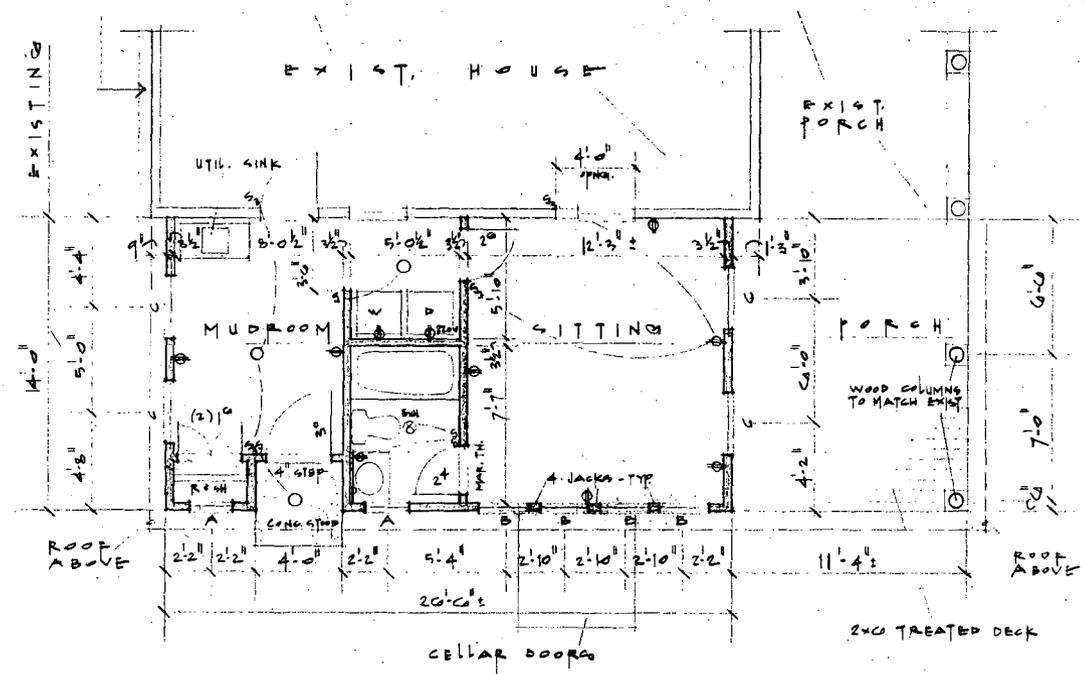


ROOF PLAN, 4'-0" FRONT.

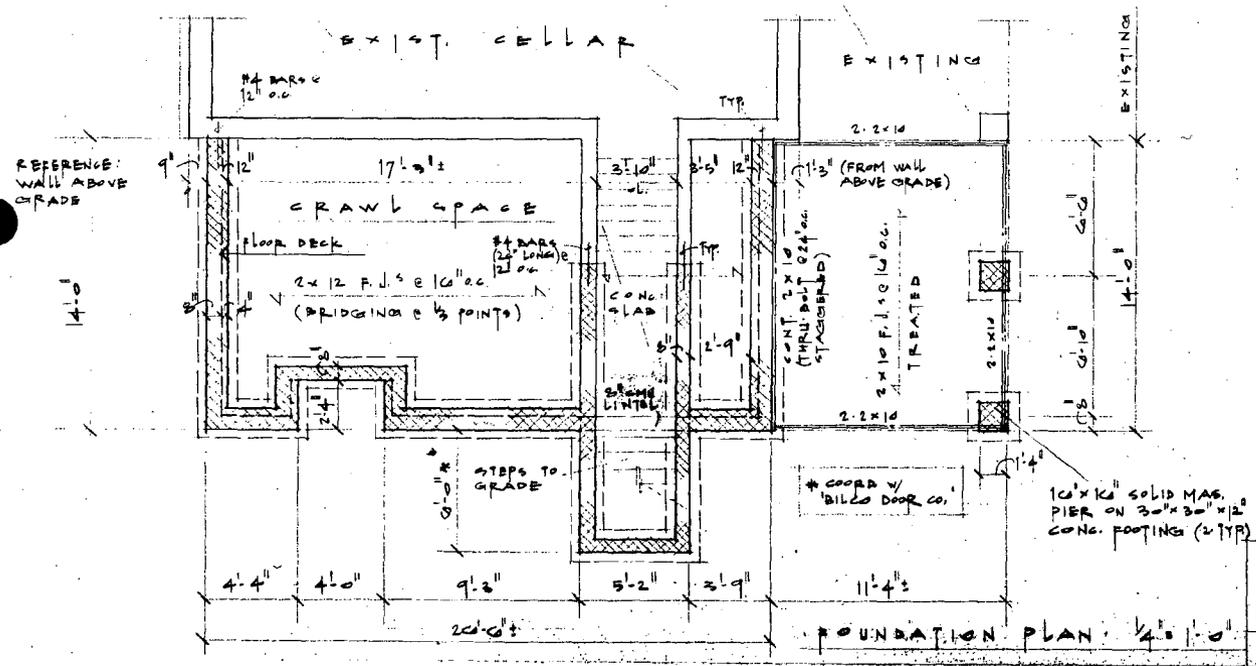
BERMAN RESIDENCE	DATE 9.29.93	DWG. 2
RALPH HURST ARCHITECT		OF 3



CONC. LEDGE BELOW



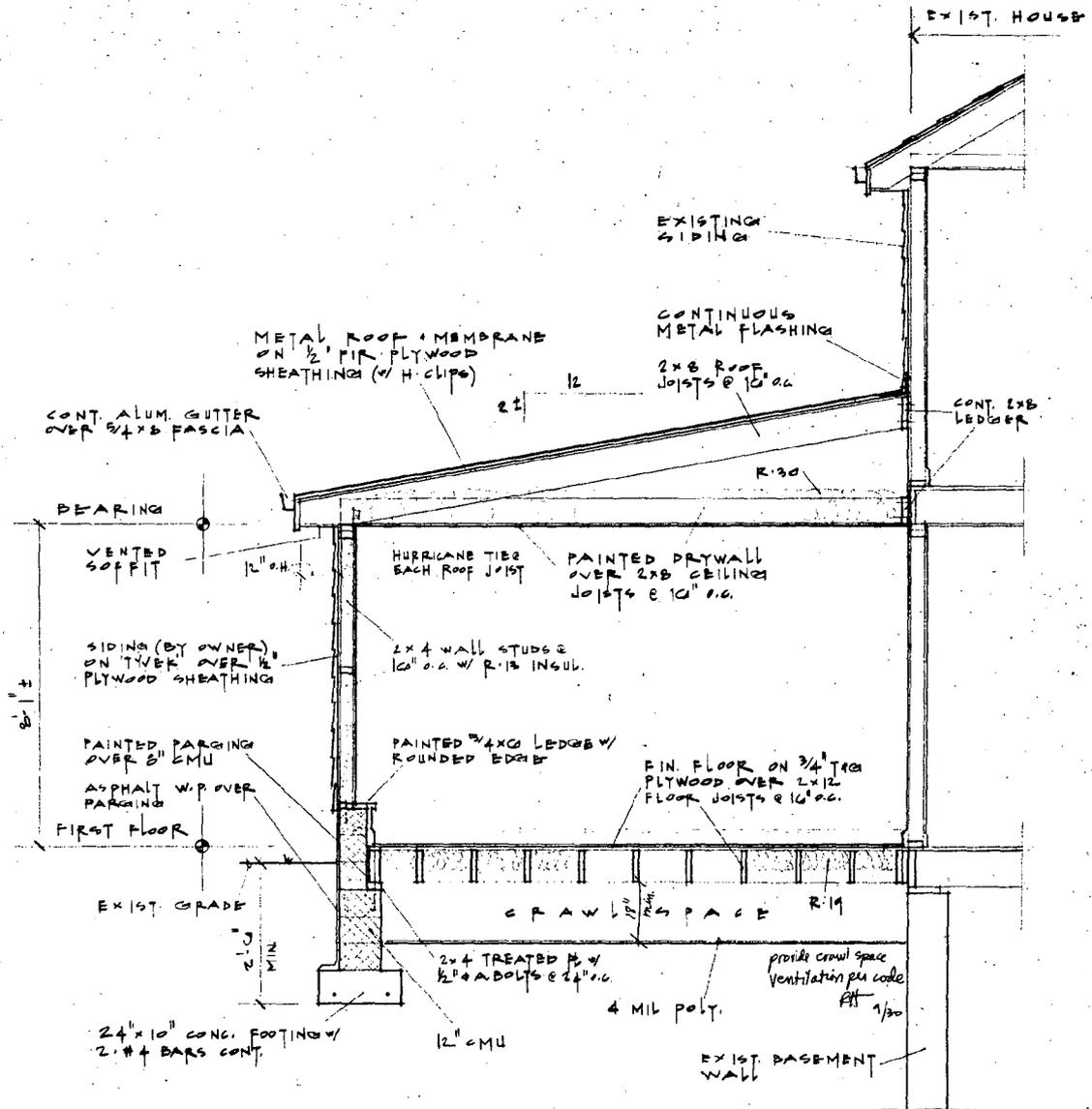
1ST FLOOR PLAN 14'-0" x 20'-0"



FOUNDATION PLAN 14'-0" x 20'-0"



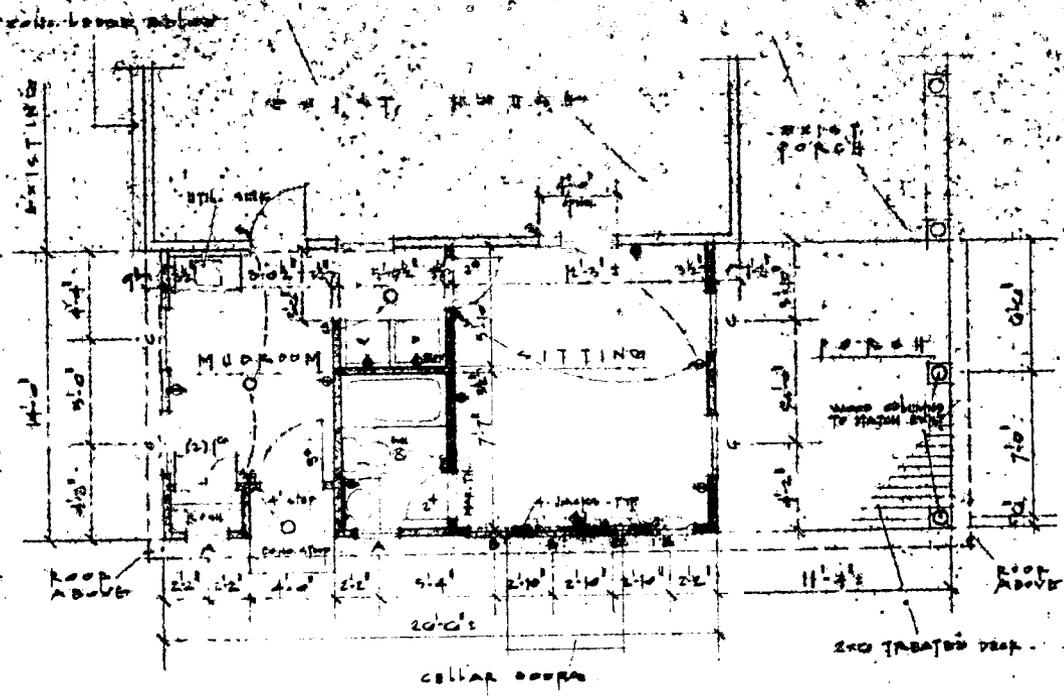
BERMAN RESIDENCE	date: 9.29.93	dwg. 1
		of 3



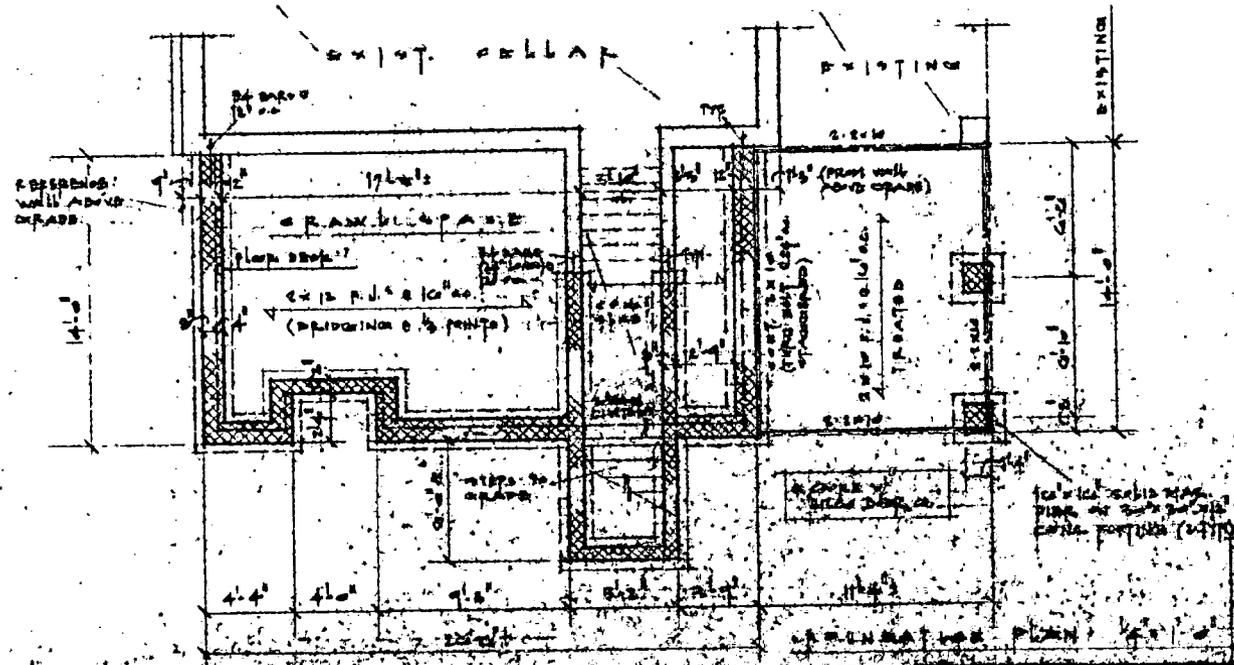
AA
3
CROSS SECTION - 1/2" = 1'-0"



BERMAN RESIDENCE	DATE 1.27.93	DWG 3
RALPH HURST ARCHITECT		of 3



1ST FLOOR PLAN - 12-1-01



BRAMAN RESIDENCE



DATE: 9-27-98

BY: [Signature]

ALTERNATIVE PLAN - 12-1-01

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19390 Mateny Hill Road

Meeting Date: 09/22/93

Resource: Germantown Historic
District

Preliminary Consultation

Case Number: N/A

Tax Credit: No

Public Notice: 09/08/93

Report Date: 09/15/93

Applicant: Mary Berman

Staff: Patricia Parker

PROPOSAL: New Addition

RECOMMEND: Further Study

This application is to obtain the Commission's recommendations on the applicant's proposal to add space to the first floor of the Allnutt House, an 1870's two-story frame structure located in the Germantown Historic District. Thereafter, the applicant, having the benefit of the Commission's comments, intends to submit a formal HAWP application for the project.

STAFF DISCUSSION/BACKGROUND

The Allnutt House is located in the Germantown Historic District and it is shown on the 1879 Hopkins map of Germantown. Members of the Allnutt family have lived here since 1923. The District is primarily residential in nature and this structure, like others in the district, is vernacular in style with an L-shaped front porch, supported by classical columns without ornamentation. The house has wood clapboard siding on three sides and vinyl siding on an appendage and the rear elevation.

The house enjoys a substantial set-back from the street amidst mature trees and outbuildings. In fact, 19390 is very difficult to see from Mateny Road because of the trees and shrub growth. The house is primarily two-story and has undergone several changes at roof and floor levels.

The applicant proposes to remove the existing vinyl-clad appendage on the opposite side of the ell-shaped porch. The new one-story 14' x 37' addition, includes a widening of the front porch and a new adjacent outside cellar door entry will be built.

Staff suggests that the applicant, through the widening of the front porch, attempts to balance the composition of the front view of the house. The applicant concurs. That is, the width of the new porch area should be the same width as the opposite ell. In an earlier submission the new addition is indicated to be larger than the ell of the porch on the opposite side. However, in a later submission the complete front elevation indicates that the width of the new addition closely approximates the width of the opposite ell.

Staff feels strongly that the new front wall of the house should stop short of the existing front wall. A significant retreat from the front wall would avoid confusing the old and newest portion of the house.

The applicant has expressed the desire to clad the addition with vinyl siding. Staff strongly recommends against the use of vinyl siding and continues to encourage the property owner to use painted wood clapboard. The Commission has generally not approved the use of vinyl siding on additions in the past. In fact, concomitant with the new construction, we suggest that the applicant seriously consider changing the existing vinyl-clad portion of the house back to painted wood clapboard. This change would be eligible for the County's property tax credit.

This house has undergone a series of changes. Staff feels that the new windows of the proposed addition on the long elevation should be 2/2 windows to match the windows on the front elevation and the existing window on the side of the house forward of the appendage to be removed. We feel that using 2/2 windows in the addition would provide some continuity at the ground level. Therefore, we suggest re-design of the proposed openings.

The selection of standing seam metal roof to match the existing porch roof would provide the same consistency of thought. The applicant has not indicated the disturbance of any major trees or shrubs to accomplish this addition.

STAFF RECOMMENDATION

In summary, staff recommends that the applicant continue to study the proposed addition. Major issues which should be addressed are:

- o The use of painted wood clapboard for siding instead of vinyl siding.
- o Standing-seam roofing to match the existing metal porch roof profile.
- o The addition be the same width as the opposite ell of the porch and recessed posterior to the front wall of the house.

- o The size and type of openings should be the same as those of the principal front elevation.

To: Historic Preservation Commission
Attn: Pat Parker

From: Mary Berman
19390 Mateny Hill Rd
Germantown, Md 20874
H: 972-1726
W: 202-622-3915

Attached is the information for
the hearing scheduled for Sept. 22nd.
If anything further is needed, please
give me a call. Thanks!

19390 MARY HILL RD
DORSET, VT 05834

EXISTING HOUSE

BRISTOL FOUNT

PROPOSED ADDITION
14'

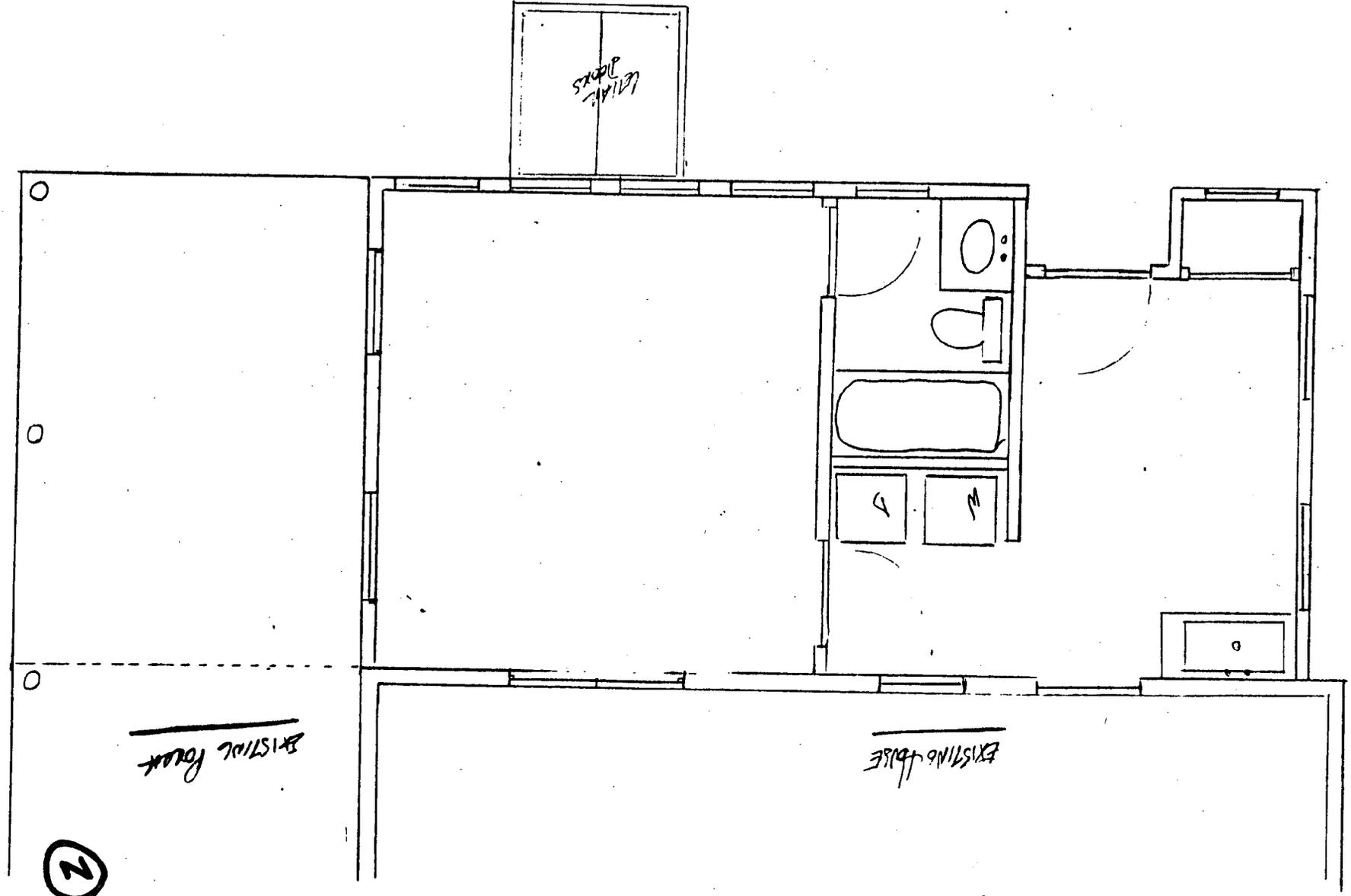
27' 10'

FLOOR PLAN

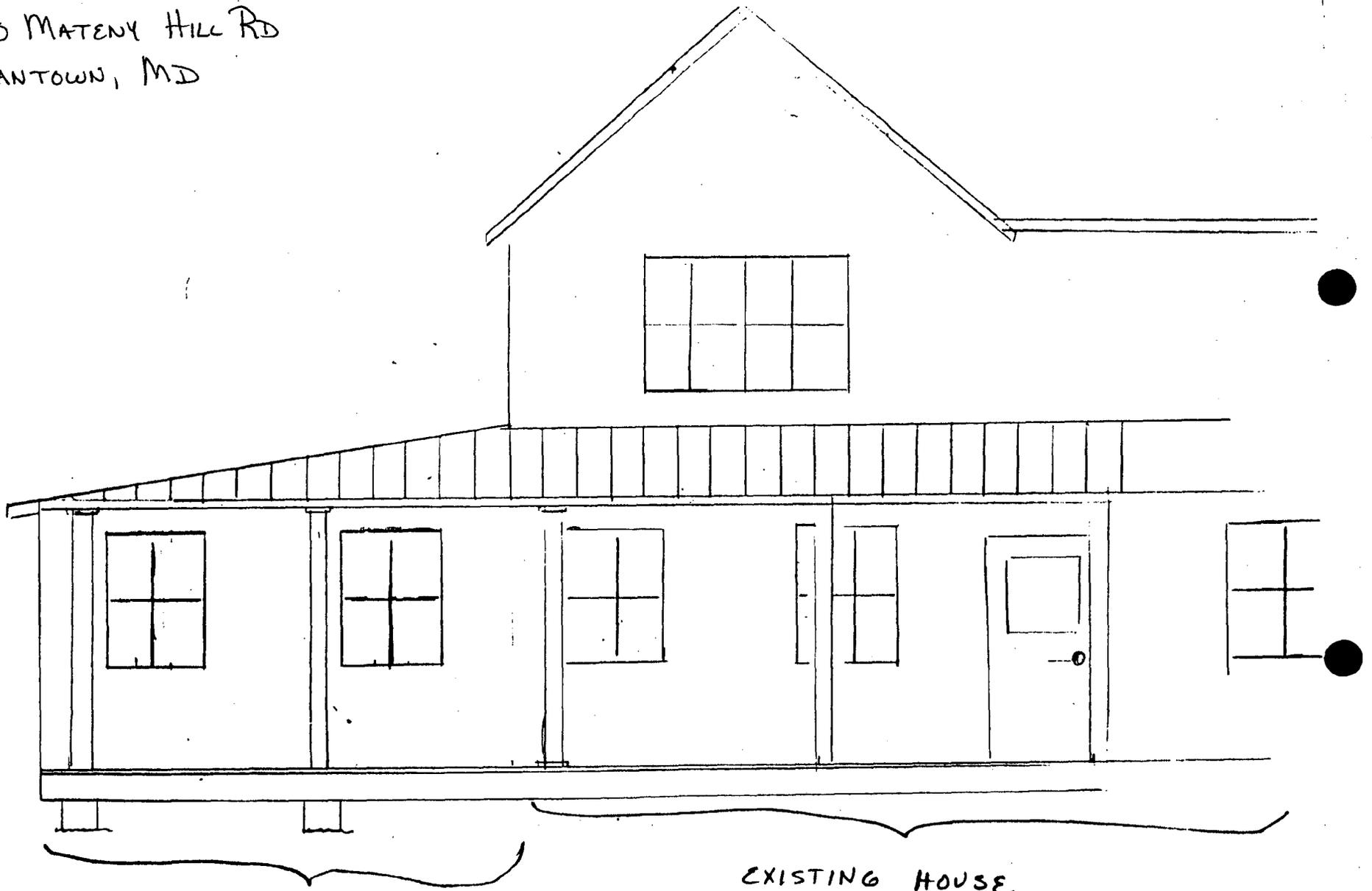
(SEE PLAN)

14'

①



BERMAN - ALLNOTT
19390 MATENY HILL RD
GERMANTOWN, MD



EXISTING HOUSE

FRONT VIEW

ELEVATION

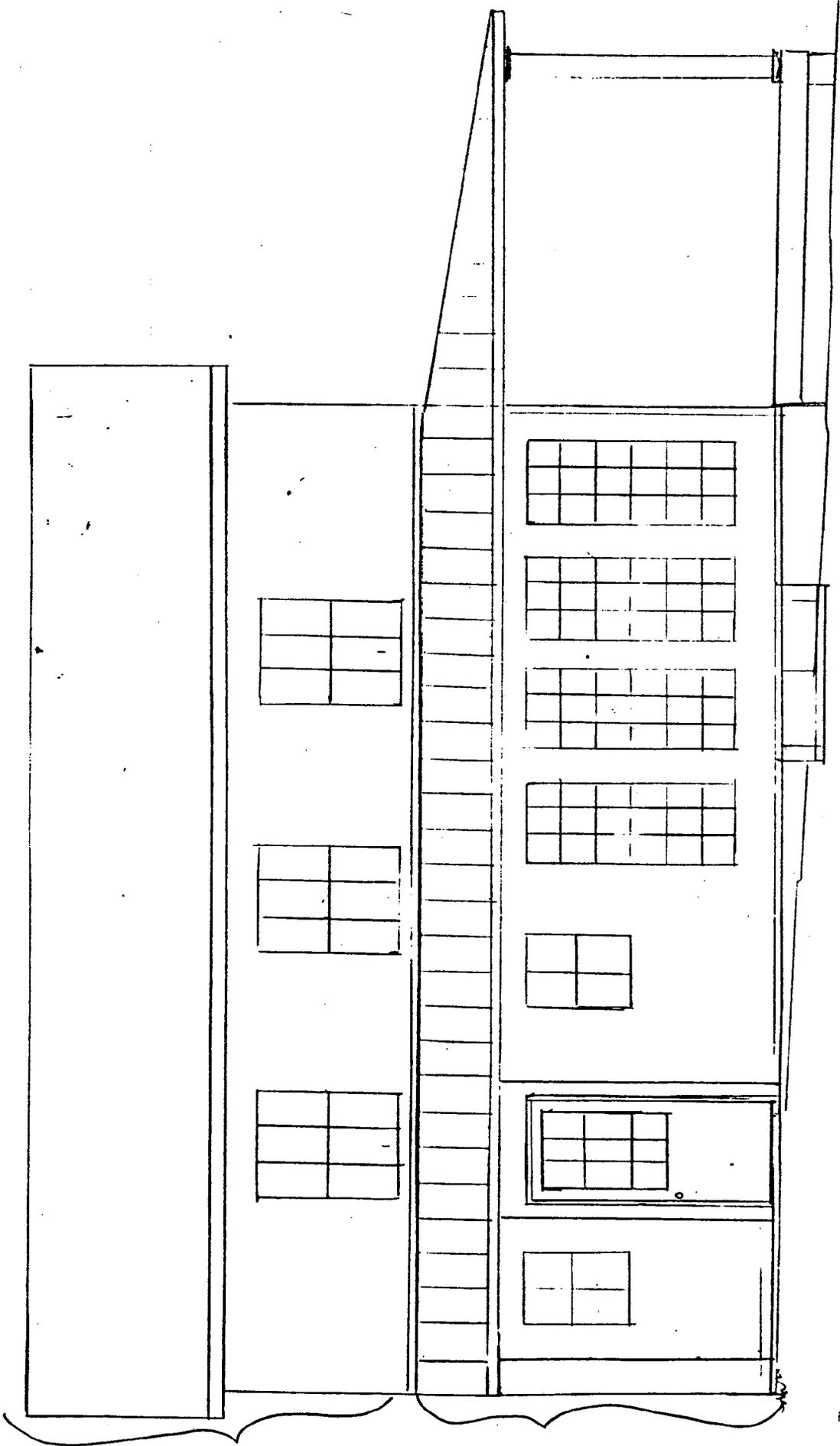
BERMAN

PROPOSED ADDITION

NO TREES WILL BE REMOVED.
ALL MATERIALS WILL MATCH EXISTING
MATERIALS ON FRONT OF HOUSE.



BERMAN - ALLNUTT
19390 MATHEW HILL RD.
CERRITOS



EXISTING HOUSE

ADDITION

4 SIDE VIEW WITH PROPOSED ADDITION
- LOWER HALF OF REAR OF HOUSE AND EXISTING ENCLOSED PORCH + THAT PROPOSED ADDITION REPLACES
ARE VINYL SIDING -- PROPOSE SAME FOR REAR AND SIDE OF NEW ADDITION
AND WILL NOT BE VISIBLE FROM ROAD (SEE PHOTOS)
- WINDOWS ON SECOND STORY ARE OLDEST IN HOUSE -- NEW WINDOWS
ON PROPOSED ADDITION DESIGNED TO MATCH, BUT DO NOT MATCH

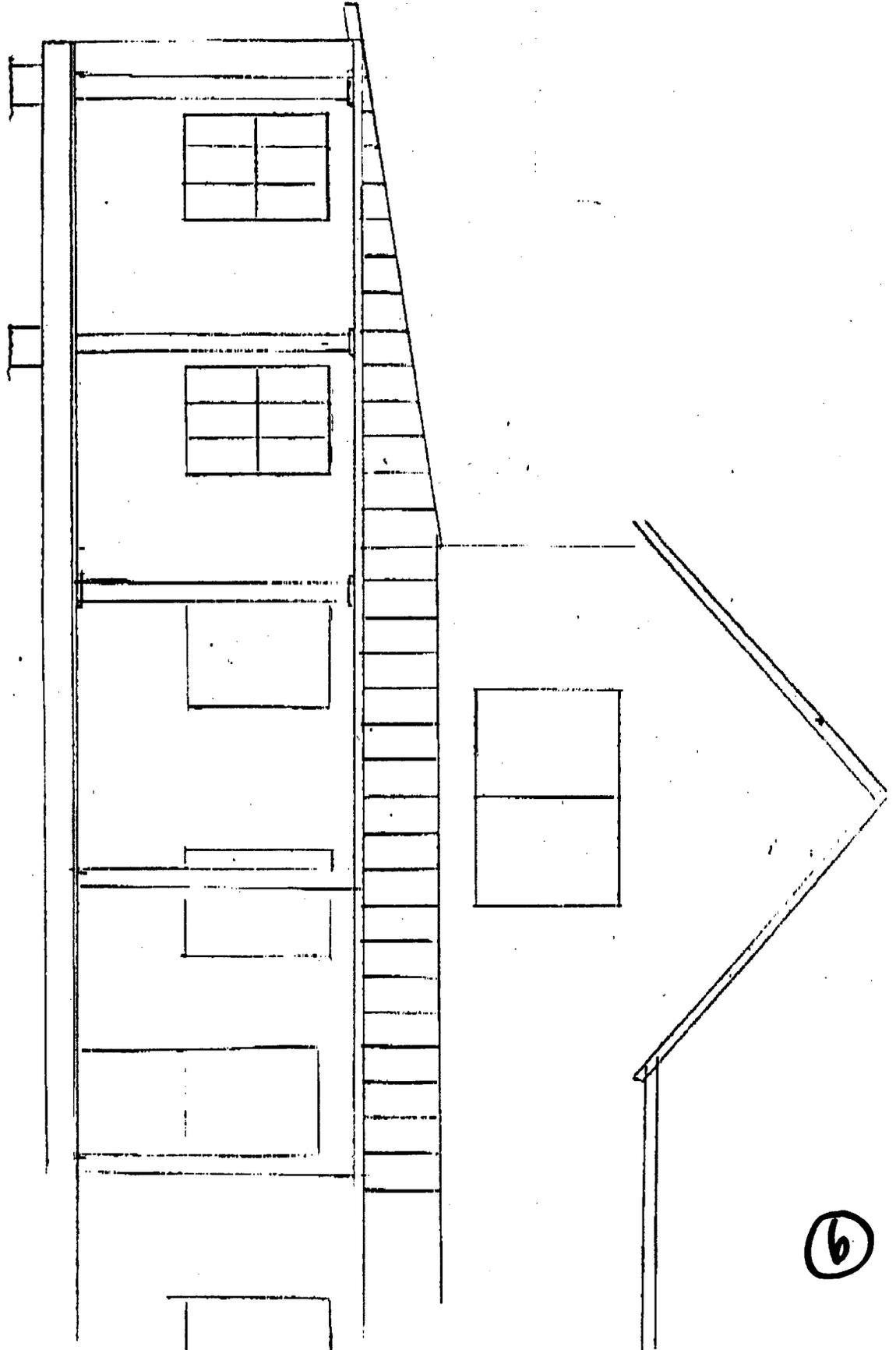
Sept. 1, 1993

To: Historic Preservation Commission
Attn: Pat Parker
Fax: 952-4548

From: Mary Berman
19398 Matony Hill Road
Germantown, Maryland 20874
H: 972-1726
W: 202-622-3915

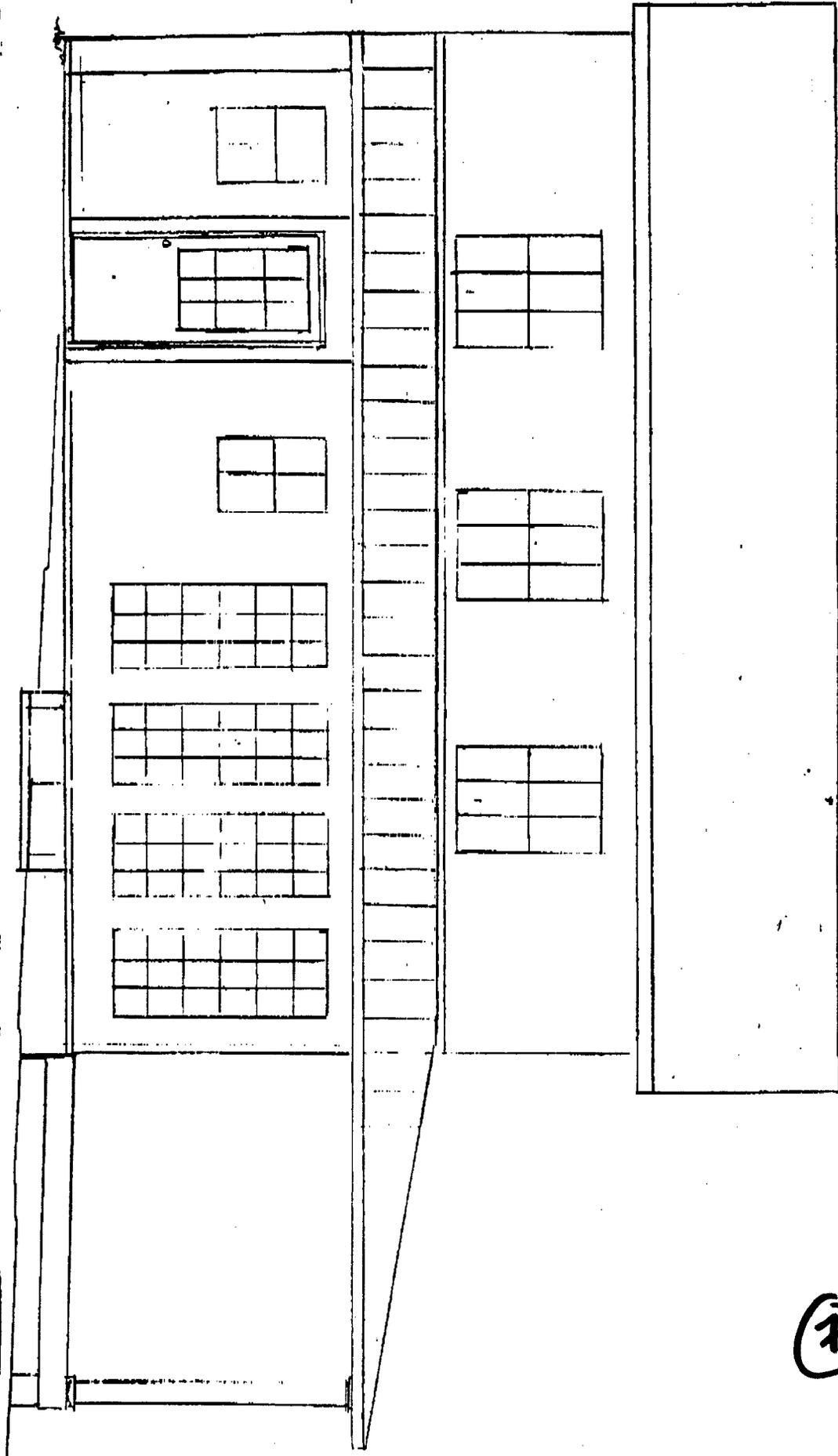
This is to request a preliminary review of the attached plans at your next hearing scheduled for September 22, 1993.

5



*External
Elevation*

6



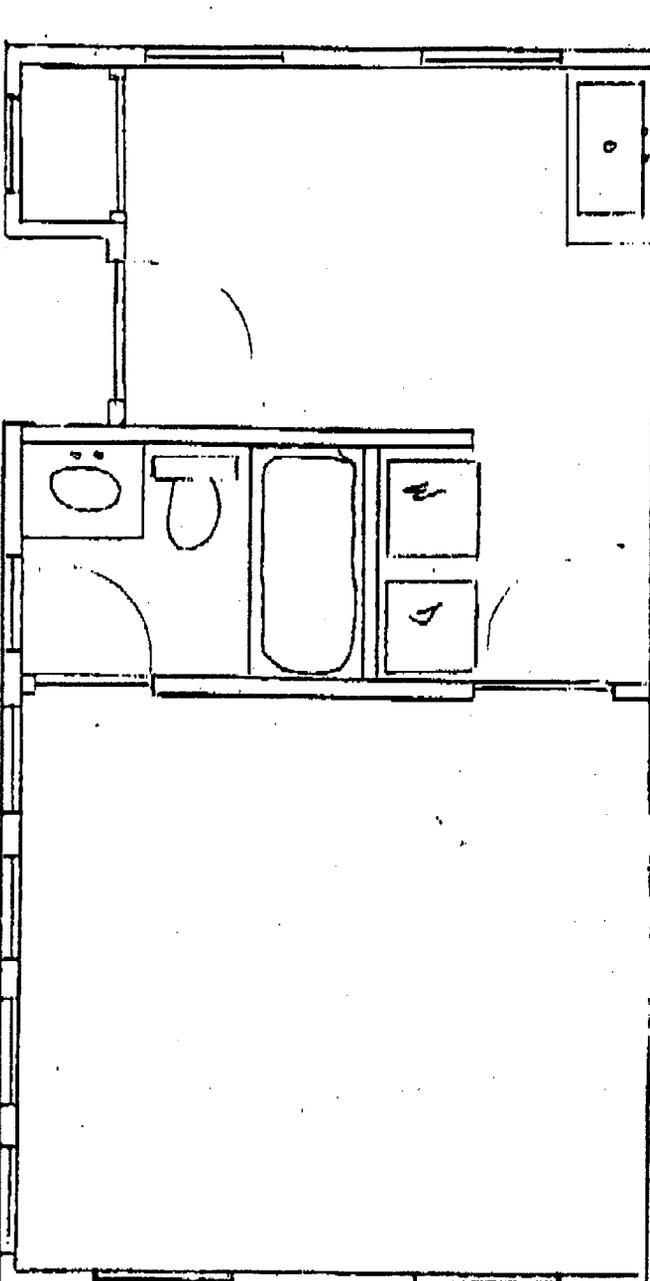
*2200/1000
Cecil*

⑦

14'

24'

10'



EXISTING HALL

EXISTING PORCH

8

Basement
Floor Plan

7/10/93

TO: HISTORIC PRESERVATION COMMISSION
ATTN: PAT PARKER
FAX: 301-495-1307

FROM: MARY BERMAN
W: 202-622-3915
H: 972-1726

Pat,

I'll call later today to make
certain this is what you had in mind.

Thanks!

Mary

SERMAN-ALLNOTT
9390 MATEWY HILL ROAD
GERMANTOWN, MD.

10

TOTAL P. 02

P. 02

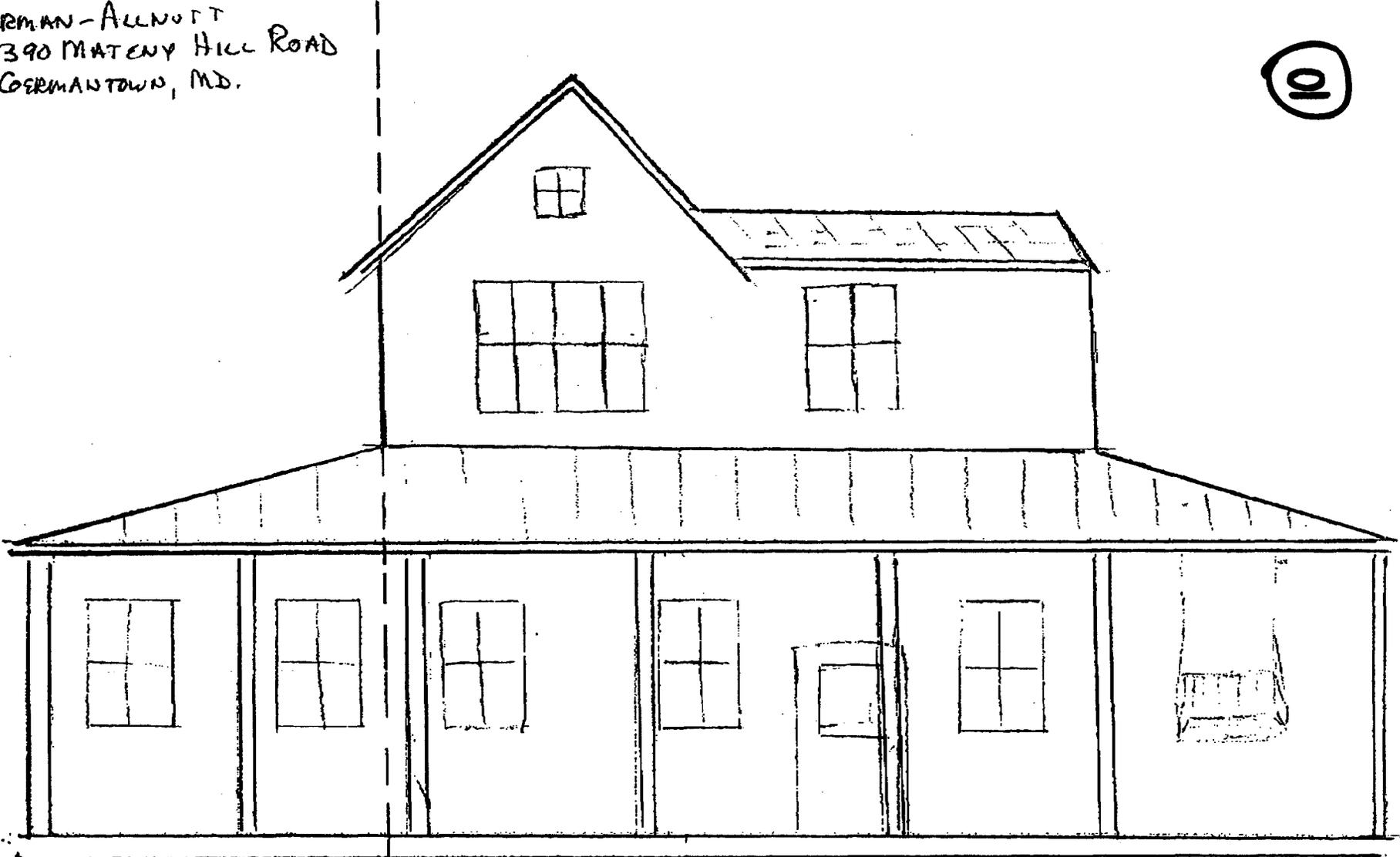
93014951307

TO

FROM P&S I

08:40

SEP-15-1993



PROPOSED
ADDITION

EXISTING
HOUSE

INTENT IS TO BALANCE
FRONT VIEW OF HOUSE
BY HAVING ADDITION
FOLLOW LINES OF THE
WRAP AROUND PORTION OF
PORCH.

BERMAN - LUFT
1930 MATELY HILL RD
GERMANTOWN

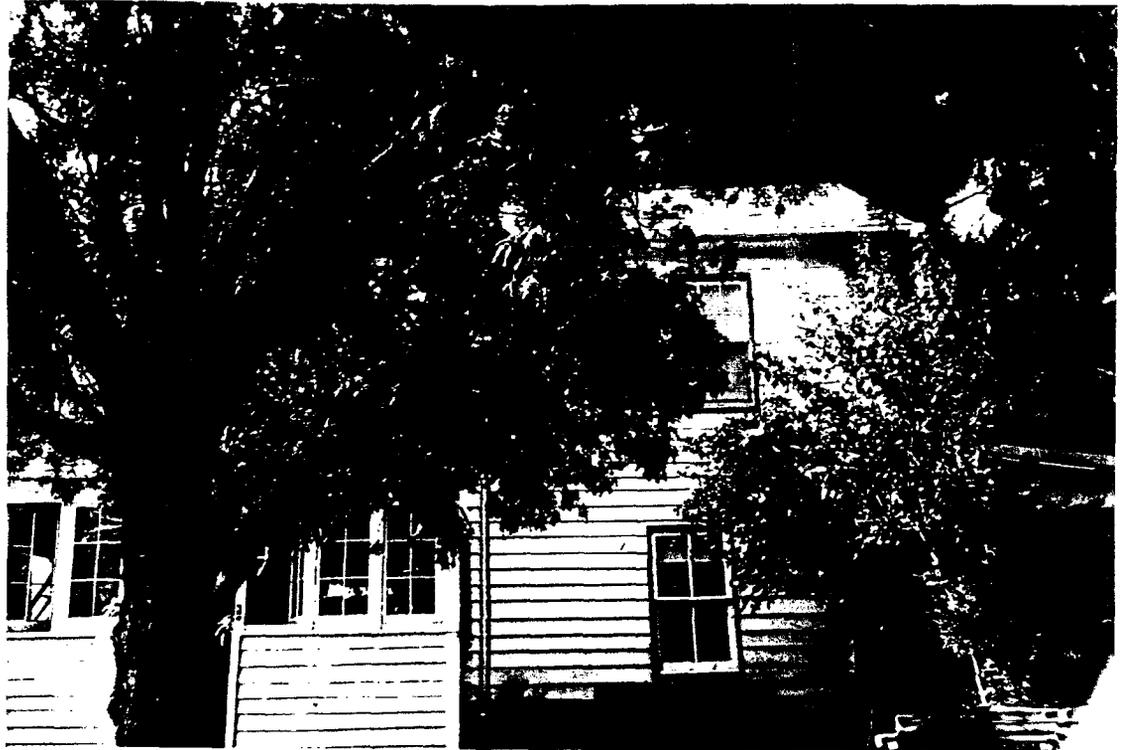
FRONT VIEWS OF
EXISTING HOUSE FROM
DRIVEWAY



PROPOSED ADDITION GOES HERE



BERMAN - ALLNUTT
19390 MATEMY HILL RD
GERMANTOWN



SIDE VIEWS OF EXISTING HOUSE



PROPOSED ADDITION REPLACES THIS

12

BERNARD ALWOTT
19290 MASENY HILL RD
GERMANTOWN



REAR VIEW OF EXISTING
HOUSE

PROPOSED ADDITION
REPLACES THIS



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19390 Mateny Hill Road	Meeting Date: 09/22/93
Resource: Germantown Historic District	Preliminary Consultation
Case Number: N/A	Tax Credit: No
Public Notice: 09/08/93	Report Date: 09/15/93
Applicant: Mary Berman	Staff: Patricia Parker
PROPOSAL: New Addition	RECOMMEND: Further Study

This application is to obtain the Commission's recommendations on the applicant's proposal to add space to the first floor of the Allnut House, an 1870's two-story frame structure located in the Germantown Historic District. Thereafter, the applicant, having the benefit of the Commission's comments, intends to submit a formal HAWP application for the project.

STAFF DISCUSSION/BACKGROUND

The Allnut House is located in the Germantown Historic District and it is shown on the 1879 Hopkins map of Germantown. Members of the Allnut family have lived here since 1923. The District is primarily residential in nature and this structure, like others in the district, is vernacular in style with an L-shaped front porch, supported by classical columns without ornamentation. The house has wood clapboard siding on three sides and vinyl siding on an appendage and the rear elevation.

The house enjoys a substantial set-back from the street amidst mature trees and outbuildings. In fact, 19390 is very difficult to see from Mateny Road because of the trees and shrub growth. The house is primarily two-story and has undergone several changes at roof and floor levels.

The applicant proposes to remove the existing vinyl-clad appendage on the opposite side of the ell-shaped porch. The new one-story 14' x 37' addition, includes a widening of the front porch and a new adjacent outside cellar door entry will be built.

Staff suggests that the applicant, through the widening of the front porch, attempts to balance the composition of the front view of the house. The applicant concurs. That is, the width of the new porch area should be the same width as the opposite ell. In an earlier submission the new addition is indicated to be larger than the ell of the porch on the opposite side. However, in a later submission the complete front elevation indicates that the width of the new addition closely approximates the width of the opposite ell.

Staff feels strongly that the new front wall of the house should stop short of the existing front wall. A significant retreat from the front wall would avoid confusing the old and newest portion of the house.

The applicant has expressed the desire to clad the addition with vinyl siding. Staff strongly recommends against the use of vinyl siding and continues to encourage the property owner to use painted wood clapboard. The Commission has generally not approved the use of vinyl siding on additions in the past. In fact, concomitant with the new construction, we suggest that the applicant seriously consider changing the existing vinyl-clad portion of the house back to painted wood clapboard. This change would be eligible for the County's property tax credit.

This house has undergone a series of changes. Staff feels that the new windows of the proposed addition on the long elevation should be 2/2 windows to match the windows on the front elevation and the existing window on the side of the house forward of the appendage to be removed. We feel that using 2/2 windows in the addition would provide some continuity at the ground level. Therefore, we suggest re-design of the proposed openings.

The selection of standing seam metal roof to match the existing porch roof would provide the same consistency of thought. The applicant has not indicated the disturbance of any major trees or shrubs to accomplish this addition.

STAFF RECOMMENDATION

In summary, staff recommends that the applicant continue to study the proposed addition. Major issues which should be addressed are:

- o The use of painted wood clapboard for siding instead of vinyl siding.
- o Standing-seam roofing to match the existing metal porch roof profile.
- o The addition be the same width as the opposite ell of the porch and recessed posterior to the front wall of the house.

- o . The size and type of openings should be the same as those of the principal front elevation.

To: Historic Preservation Commission
Attn: Pat Parker

From: Mary Beeman
19390 Mateny Hill Rd
Glenmont, Md 20874
H: 972-1726
W: 202-622-3915

Attached is the information for
the hearing scheduled for Sept. 22nd.
If anything further is needed, please
give me a call. Thanks!

19390 MATENY HILL RD
GERMANTOWN, MD

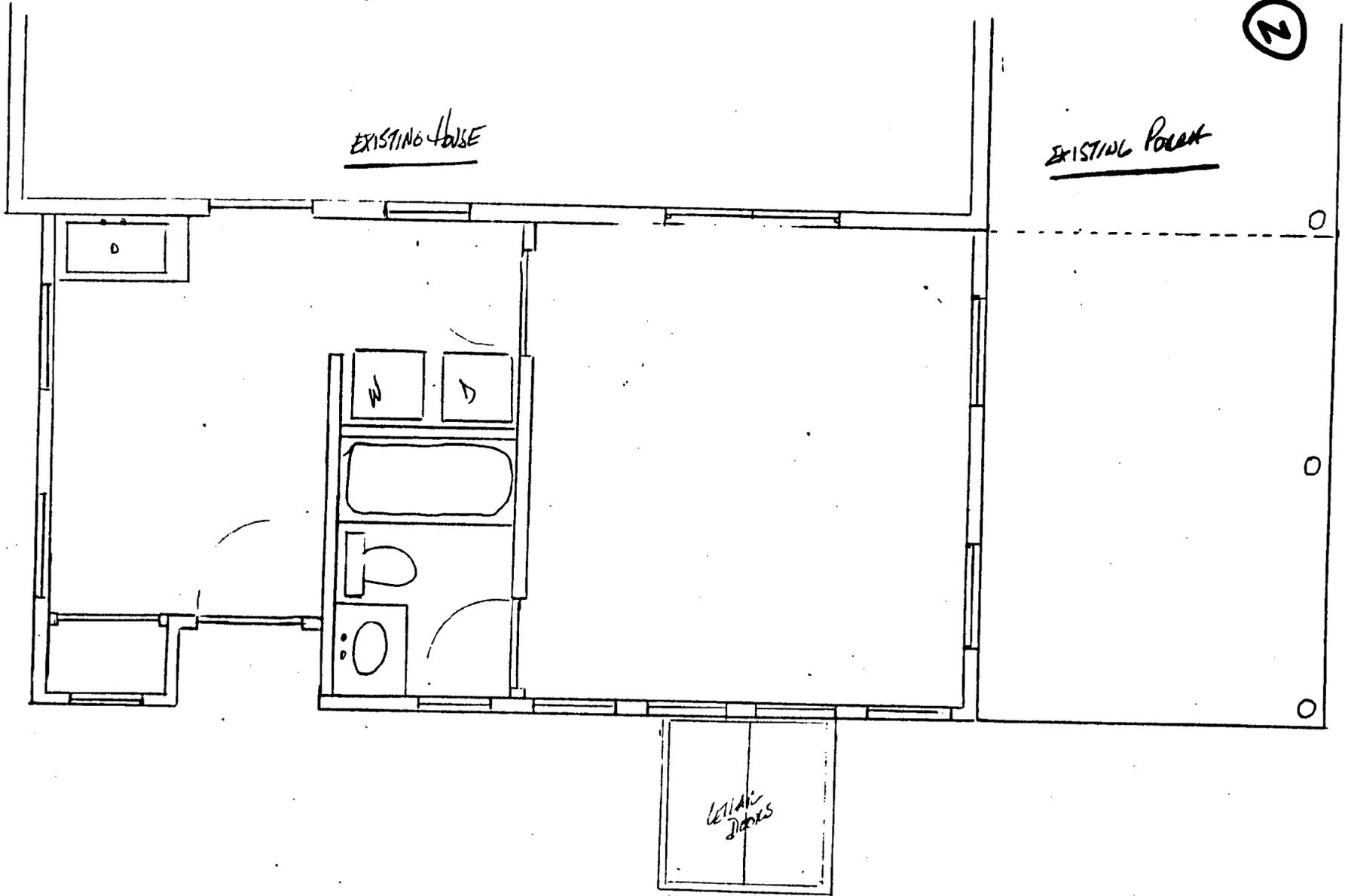
EXISTING HOUSE

EXISTING PORCH

2

PROPOSED ADDITION

4'



27'

10'

FLOOR PLAN

(continued)

BERMAN - ALLNOTT
19390 MATENY HILL RD
GERMANTOWN, MD



EXISTING HOUSE

FRONT VIEW

ELEVATION

ELIMARI

(W)

PROPOSED ADDITION

NO TREES WILL BE REMOVED.

ALL MATERIALS WILL MATCH EXISTING
MATERIALS ON FRONT OF HOUSE.

BERMAN - ALLNUTT
19390 MATHEW HILL RD.
GERMANTOWN



SIDE VIEW WITH PROPOSED ADDITION

- (F) - LOWER HALF OF REAR OF HOUSE AND EXISTING ENCLOSED PORCH THAT PROPOSED ADDITION REPLACES ARE VINYL SIDING -- PROPOSE SAME FOR REAR AND SIDE OF NEW ADDITION AND WILL NOT BE VISIBLE FROM ROAD (SEE PHOTOS)
- WINDOWS ON SECOND STORY ARE OLDEST IN HOUSE -- NEW WINDOWS ON PROPOSED ADDITION DESIGNED TO MATCH, BUT DO NOT MATCH

BERMAN

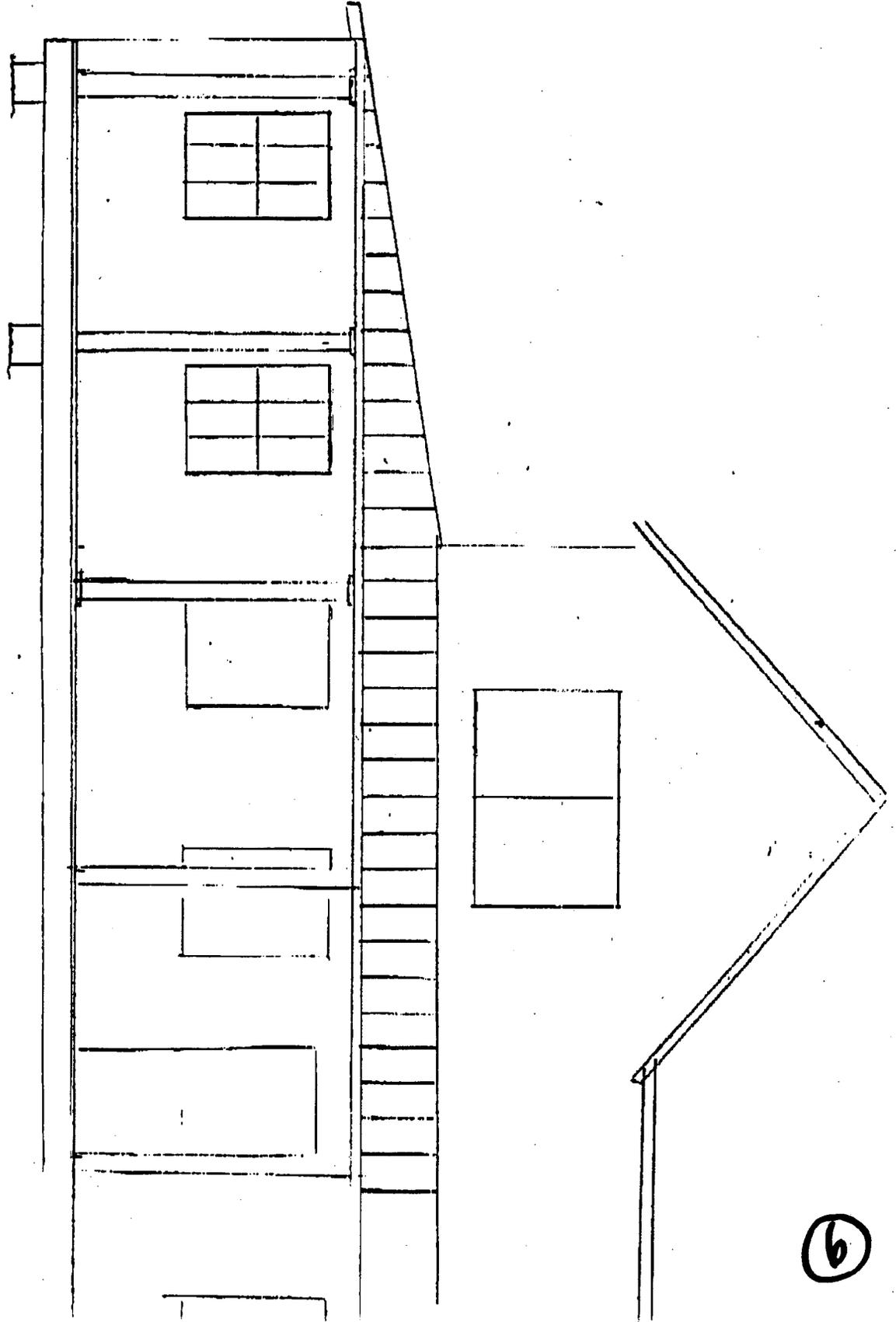
Sept. 1, 1993

To: Historic Preservation Commission
Attn: Pat Parker
Fax: 952-4548

From: Mary Berman
19398 Matony Hill Road
Germantown Maryland 20874
H: 972-1726
W: 202-622-3915

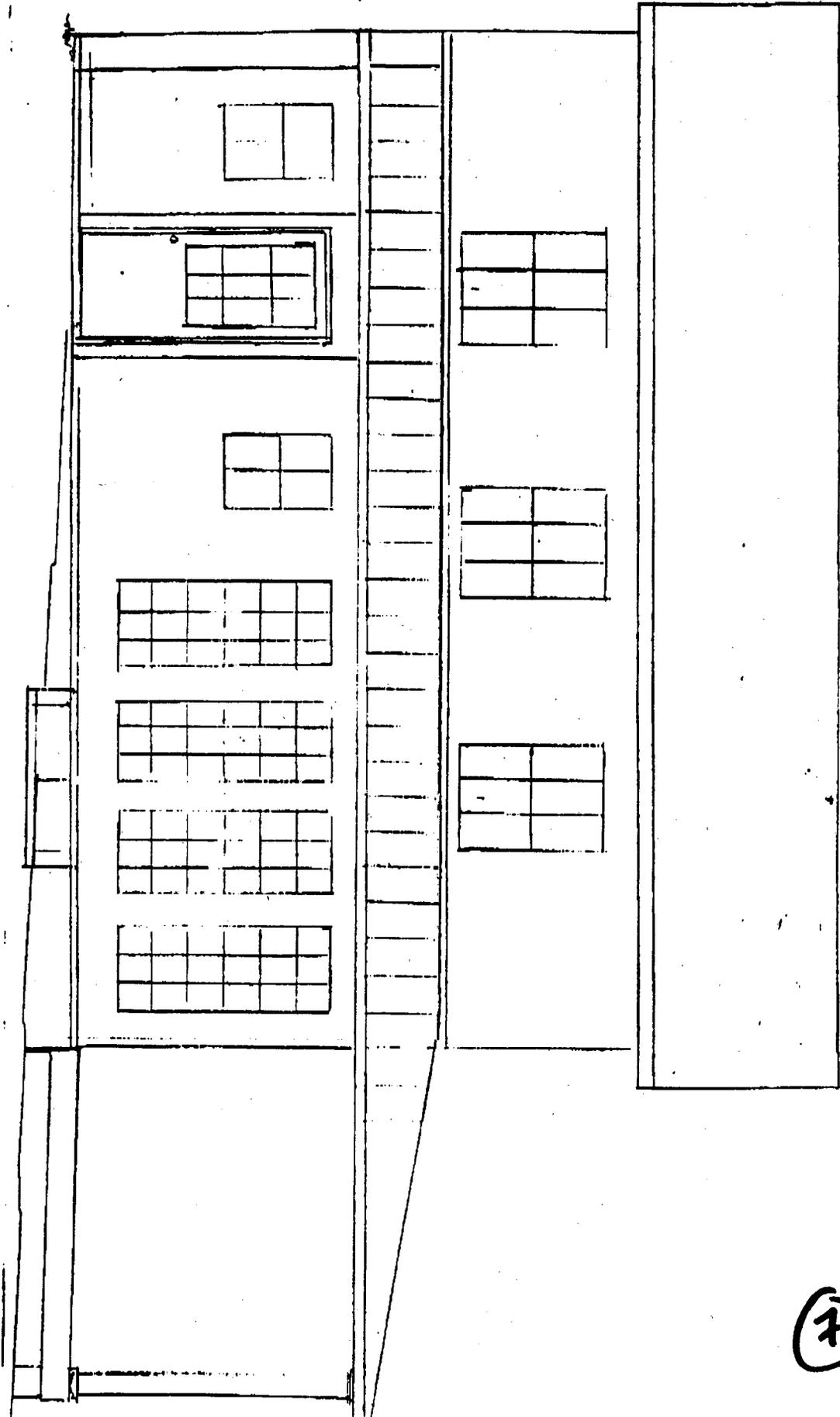
This is to request a preliminary review of the attached plans at your next hearing scheduled for September 22, 1993.

⑤



*External
Elevation*

6



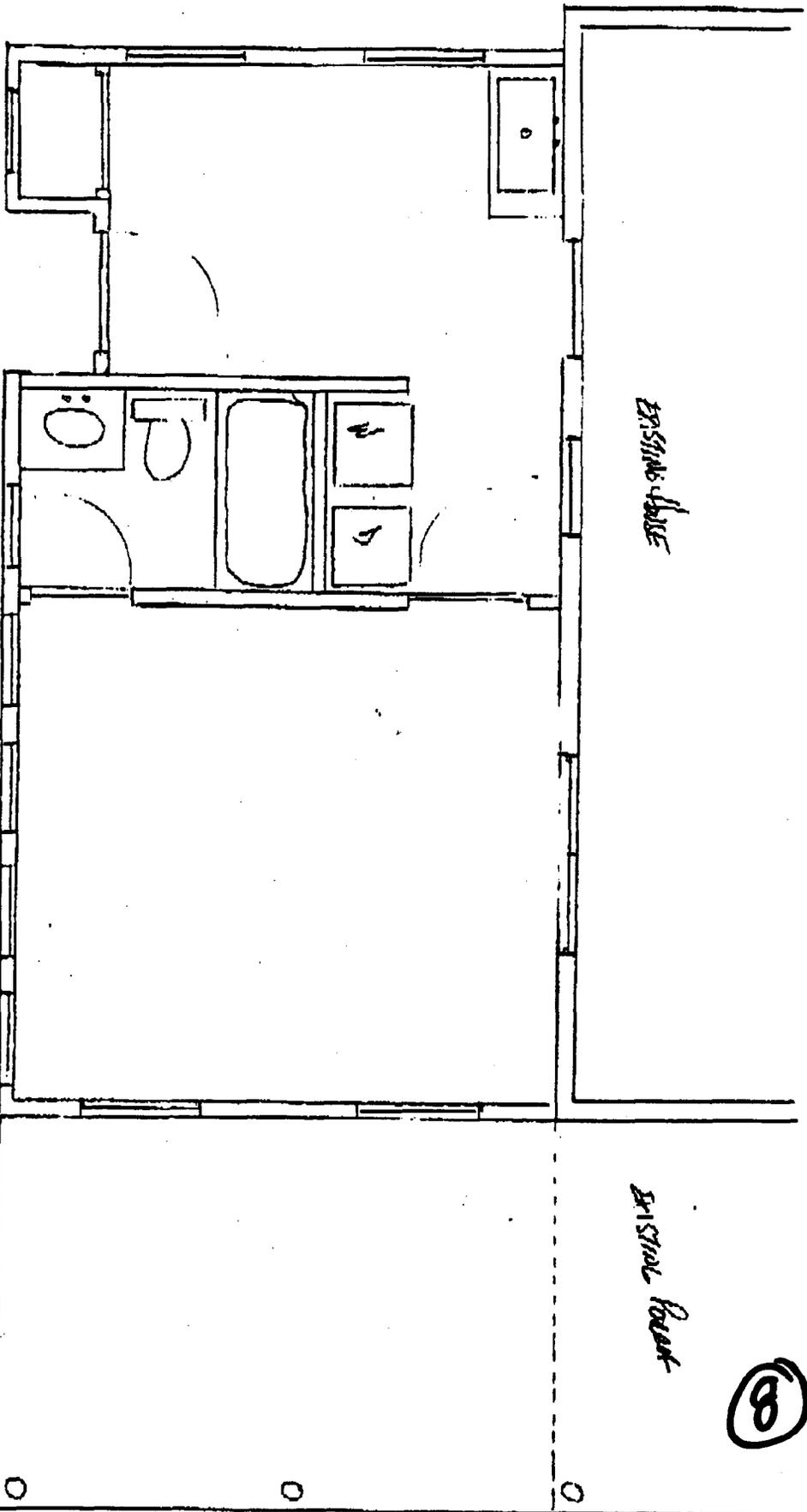
*REVISION
DESIGN*

⑦

14'

22'

10'



EXISTING DOOR

EXISTING FIRE

8

Basement
Floor Plan

7/12/93

TO: HISTORIC PRESERVATION COMMISSION
ATTN: PAT PARKER
FAX: 301-495-1307

FROM: MARY BERMAN
W: 202-622-3915
H: 972-1726

Pat,

I'll call later today to make
certain this is what you had in mind.

Thanks!

Mary

BERMAN - 11111111
9390 MATHEW HILL ROAD
CORMANTOWN, MD.

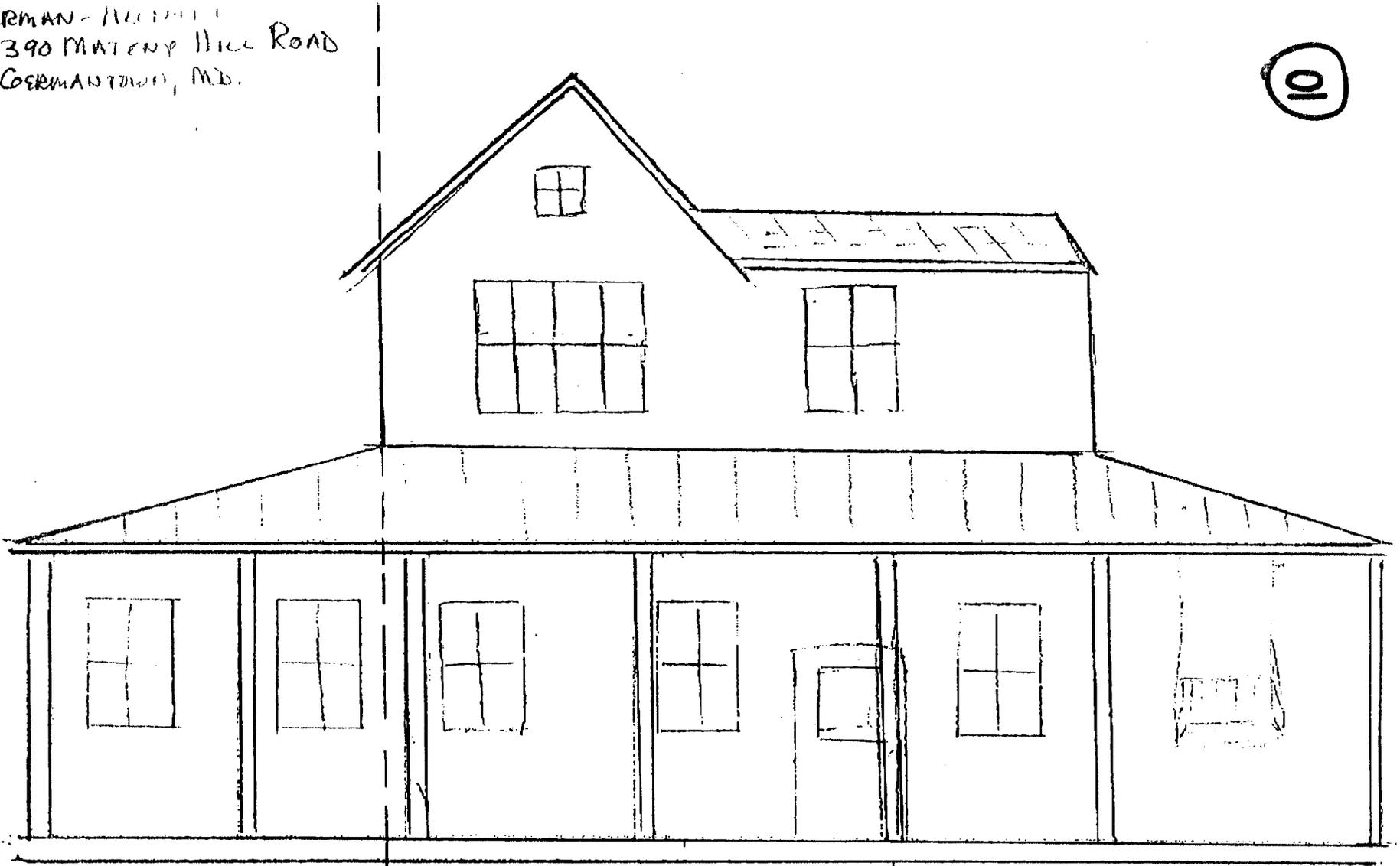
10

93014951307 P.02

TO

FROM P&SI

SEP-15-1993 08:40



PROPOSED
ADDITION

INTENT IS TO BALANCE
FRONT VIEW OF HOUSE
BY HAVING ADDITION
FOLLOW LINES OF THE
WRAP-AROUND PORTION OF
PORCH.

EXISTING
HOUSE

BERMAN - ALLIANT
19300 MATELY HILL RD
6 CEMETERY

● FRONT VIEWS OF
EXISTING HOUSE FROM
DRIVEWAY

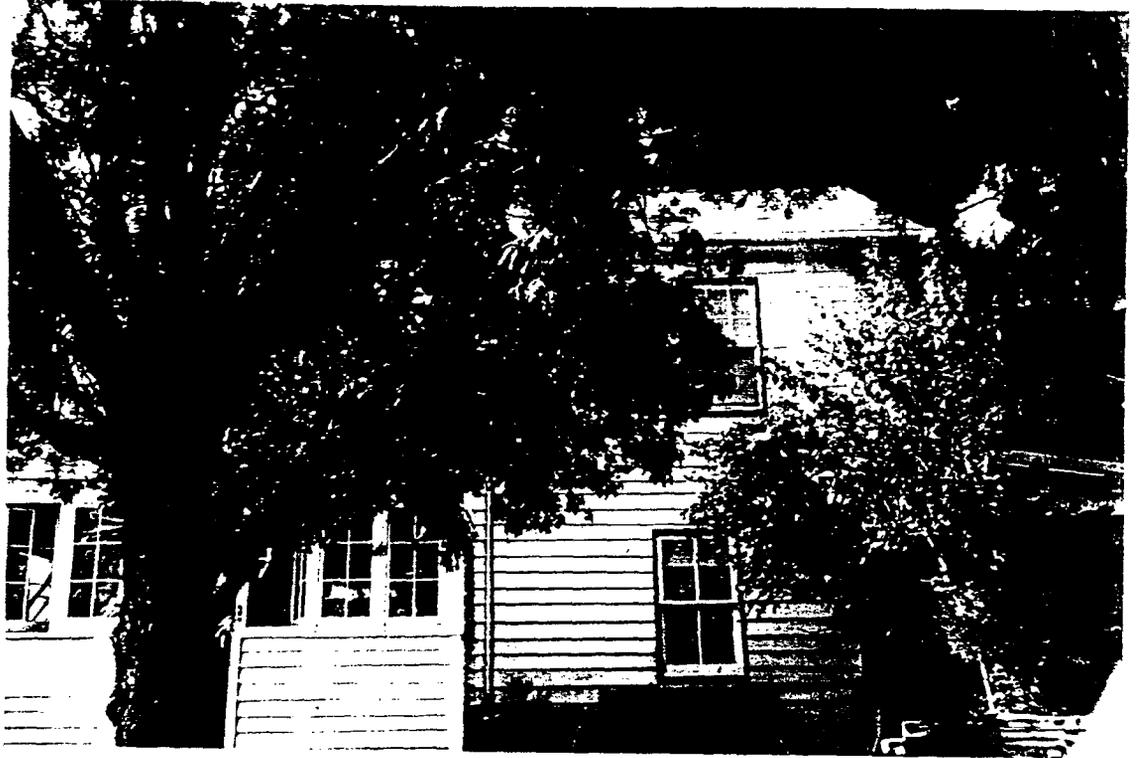


PROPOSED ADDITION GOES HERE



11

BERMAN - ALLNUTT
19390 MATEMY HILL RD
GERMANTOWN



SIDE VIEWS OF EXISTING HOUSE



(12)

BERMAN - ALLWITT
19890 MATEWY HILL RD
CERRITOS



REAR VIEW OF EXISTING
HOUSE

PROPOSED ADDITION
REPLACES THIS



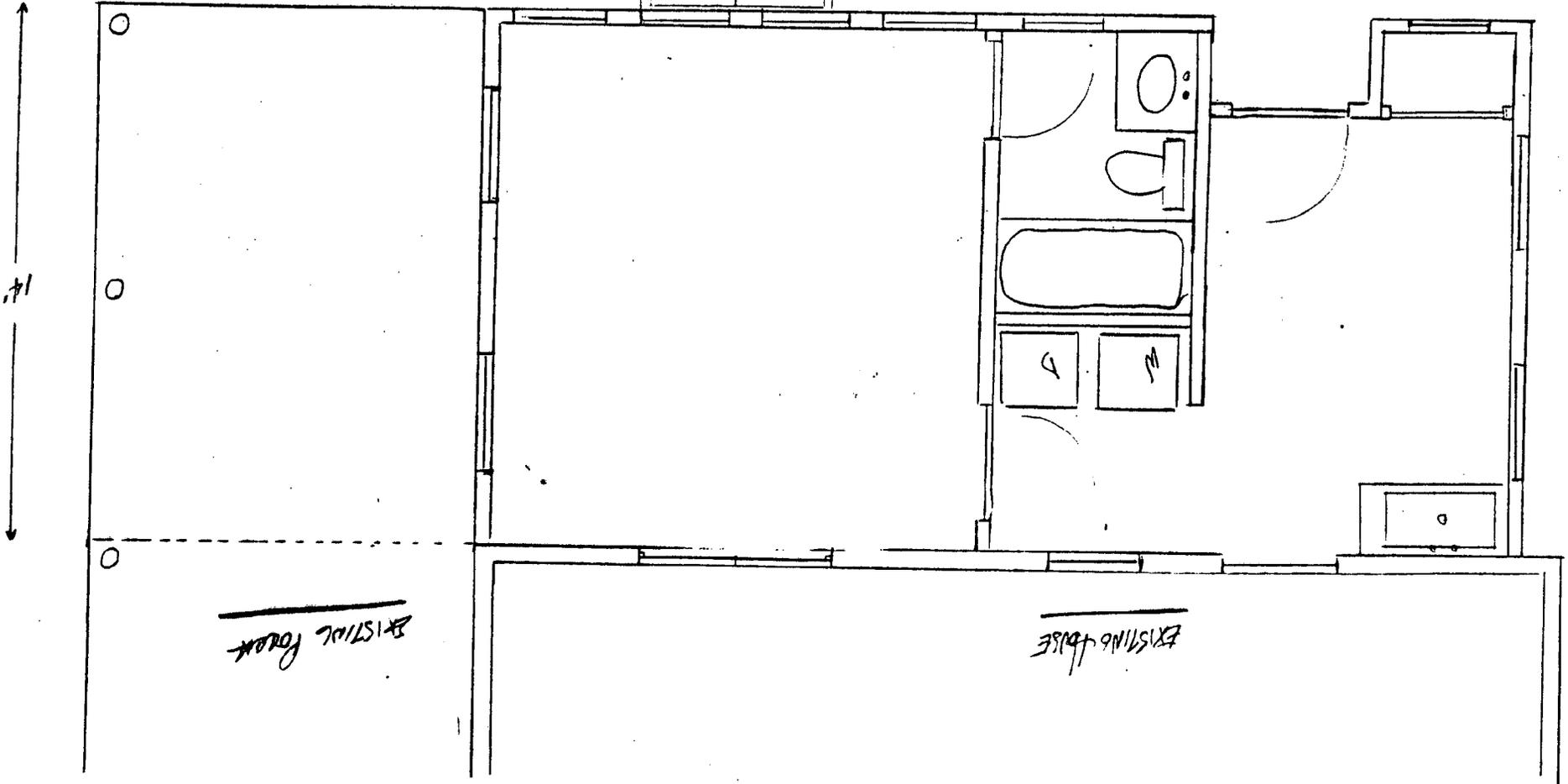
To: Historic Preservation Commission
Attn: Pat Parker

From: Mary Berman
19390 Matony Hill Rd
Glenmont, Md 20874
H: 972-1726
W: 202-622-3915

Attached is the information for
the hearing scheduled for Sept. 22nd.
If anything further is needed, please
give me a call. Thanks!

Bertrand - Account
19390 Murray Hill Rd
Casper, WY 82401

PROPOSED ADDITION
14'



EXISTING HOUSE

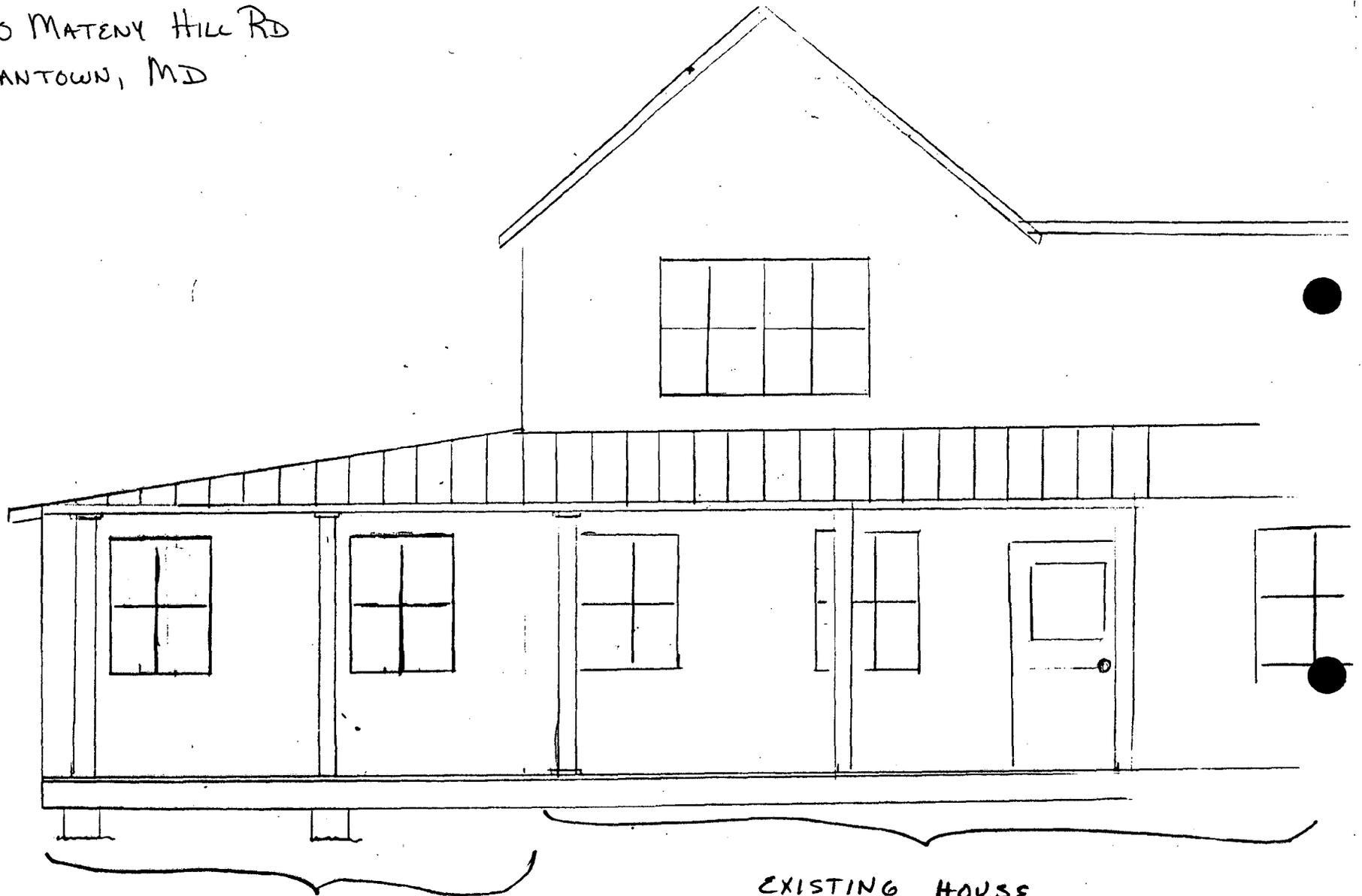
PROPOSED ADDITION

Front View
Bertrand

27'

14'

BERMAN - ALLNOTT
19390 MATENY HILL RD
GERMANTOWN, MD



PROPOSED ADDITION
NO TREES WILL BE REMOVED.
ALL MATERIALS WILL MATCH EXISTING
MATERIALS ON FRONT OF HOUSE.

EXISTING HOUSE
FRONT VIEW

ELEVATION
BERMAN

BERMAN - ALLUETT
19390 MATTHEW HILL RD
GLENMARTON D



SIDE VIEW WITH PROPOSED ADDITION

- LOWER HALF OF REAR OF HOUSE AND EXISTING ENCLOSED PORCH THAT PROPOSED ADDITION REPLACES ARE VISIBLE - PROPOSE SAME FOR REAR AND SIDE OF NEW ADDITION AND WILL NOT BE VISIBLE FROM ROAD (SEE PHOTOS)

- WINDOWS ON SECOND STORY ARE OLDEST IN HOUSE -- NEW WINDOWS ON PROPOSED ADDITION DESIGNED TO MATCH, BUT DO NOT MATCH EXISTING WINDOWS ON LOWER LEVEL (SEE PHOTOS)

Vertical

PROPOSED ONE-STORY
ADDITION

EXISTING HOUSE

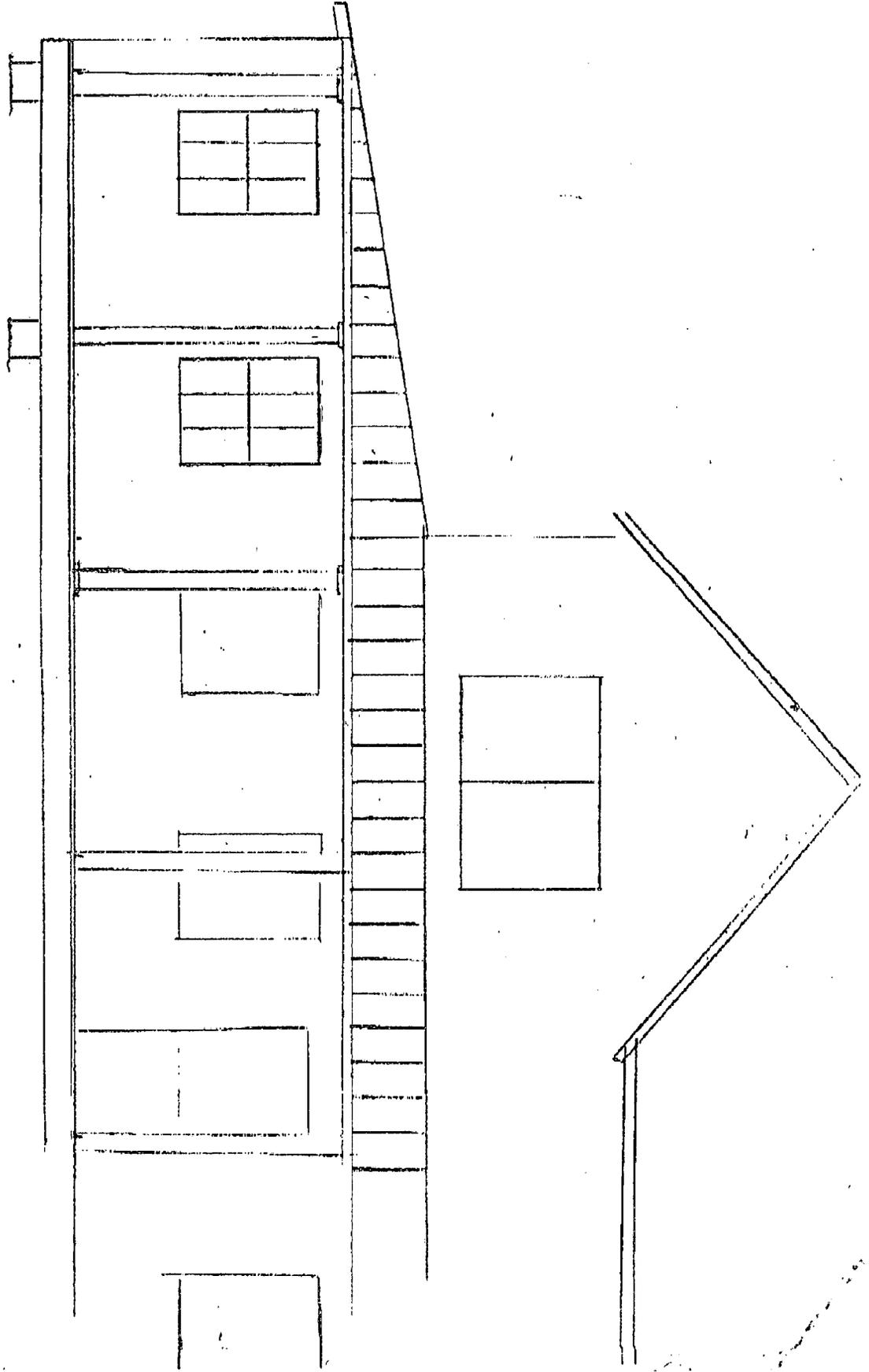
Sept. 1, 1993

To: Historic Preservation Commission
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Fax: 952-4548

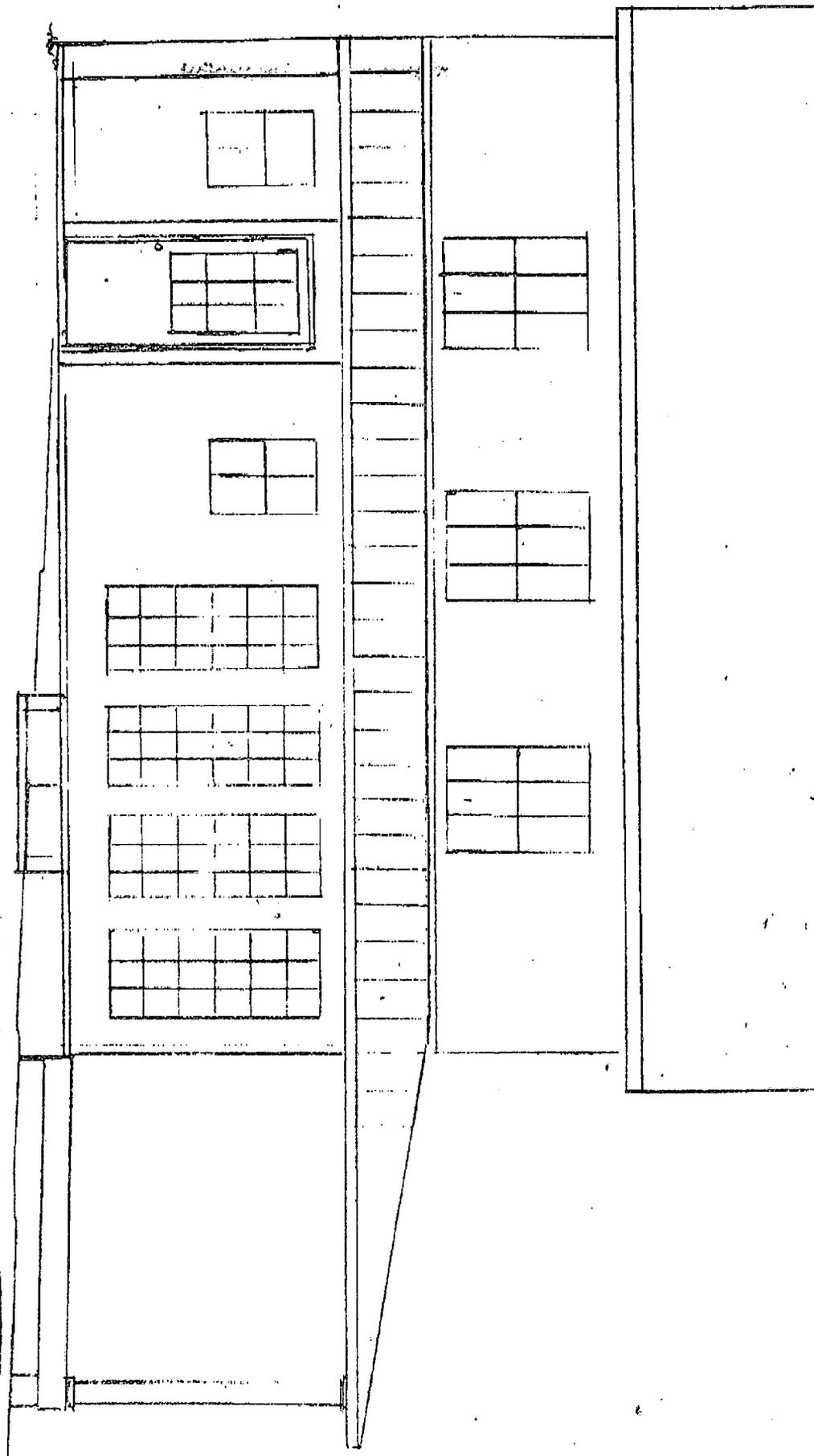
From: Mary Berner
19390 Motony Hill Road
Germantown, Maryland 20874
H: 972-1726
W: 202-622-3915

This is to request a preliminary review of the attached plans at your next hearing scheduled for September 22, 1993.

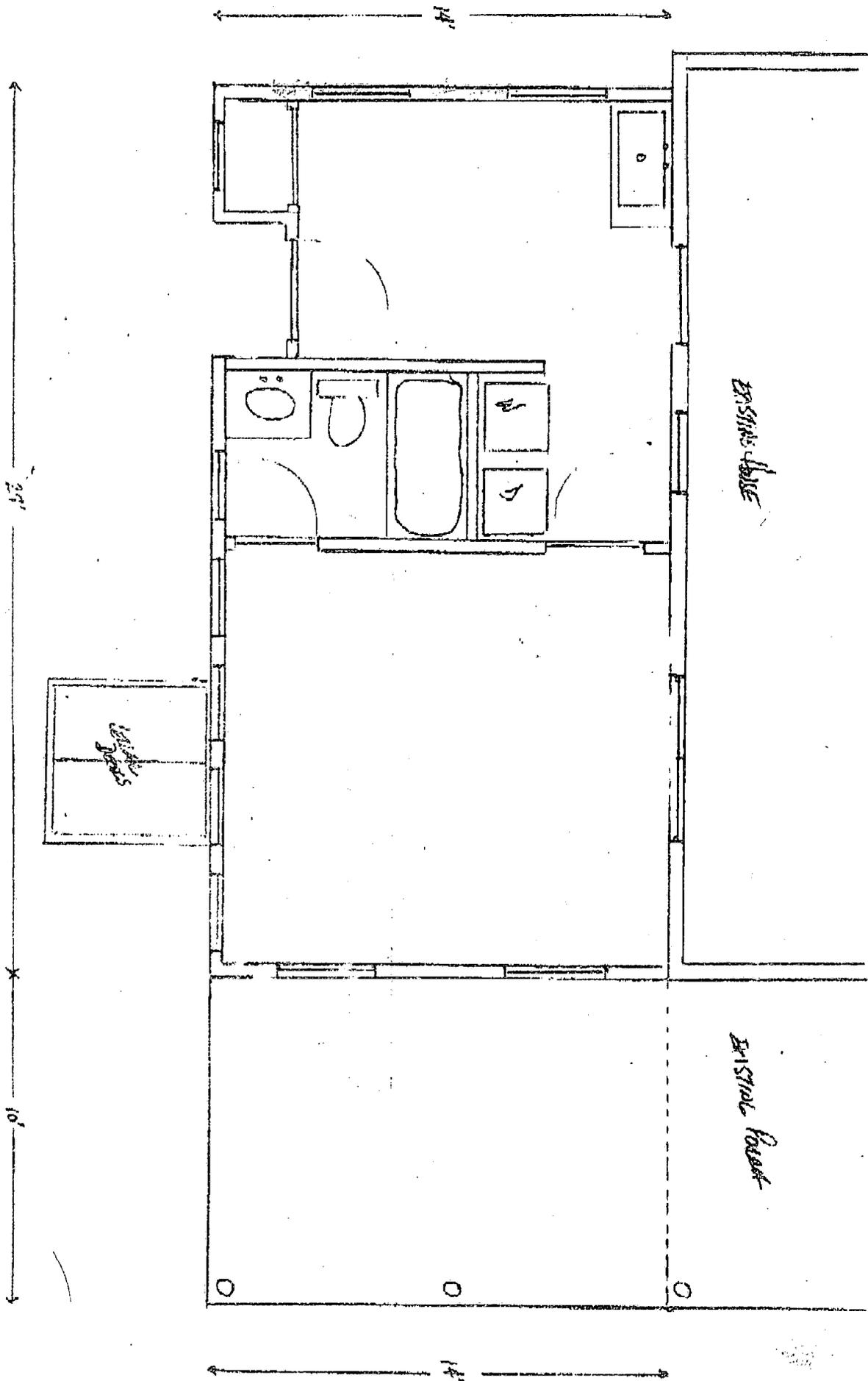
Exterior - Elevations



*Exterior
Elevations*



*22000000
22000000*



EXISTING HOUSE

EXISTING PORCH

WINDOW

10'

29'

14'

7/12/93

TO: HISTORIC PRESERVATION COMMISSION
ATTN: PAT PARKER
FAX: 301-495-1307

FROM: MARY BERMAN
W: 202-622-3915
H: 972-1726

Pat,

I'll call later today to make
certain this is what you had in mind.

Thanks!

Mary

BERNARD - ALBERT
9390 MATHEW HILL ROAD
CROSBY, MD.

PROPOSED
ADDITION
INTENT IS TO BALANCE
FRONT VIEW OF HOUSE
BY HAVING ADDITION
FOLLOW LINES OF THE
UPPER AROUND PORTION OF
PORCH.

EXISTING
HOUSE

