

36/11-97A 8412 Georgia Avenue
Silver Spring (MP #36/11) SS Post Of.

For	<i>Robert</i>	Urgent <input type="checkbox"/>												
Date	<i>10/29</i>	Time <i>9:40</i>												
While You Were Out														
M	<i>Bill Bonstra</i>													
Of														
Phone	<i>703-549-9678</i>													
	<small>AREA CODE</small>	<small>NUMBER</small> <small>EXTENSION</small>												
<table border="0"> <tr> <td>Telephoned</td> <td><input checked="" type="checkbox"/></td> <td>Please Call</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Came To See You</td> <td><input type="checkbox"/></td> <td>Will Call Again</td> <td><input type="checkbox"/></td> </tr> <tr> <td>Returned Your Call</td> <td><input type="checkbox"/></td> <td>Wants To See You</td> <td><input type="checkbox"/></td> </tr> </table>			Telephoned	<input checked="" type="checkbox"/>	Please Call	<input checked="" type="checkbox"/>	Came To See You	<input type="checkbox"/>	Will Call Again	<input type="checkbox"/>	Returned Your Call	<input type="checkbox"/>	Wants To See You	<input type="checkbox"/>
Telephoned	<input checked="" type="checkbox"/>	Please Call	<input checked="" type="checkbox"/>											
Came To See You	<input type="checkbox"/>	Will Call Again	<input type="checkbox"/>											
Returned Your Call	<input type="checkbox"/>	Wants To See You	<input type="checkbox"/>											
Message	<i>SS Post Office</i>													
	<i>Norfolk ramp</i>													
	<i>for Nov. 26th</i>													
Signed	<i>[Signature]</i>													

9711

ADAMS BUSINESS FORMS

Please mail to ^{11/21} _{11/21}
Architects too

~~Burns & Assoc.
311 Cameron St
Alexandria, VA.
22314~~

Existing Conditions Photographs
8412 Georgia Avenue

page 1 of 1

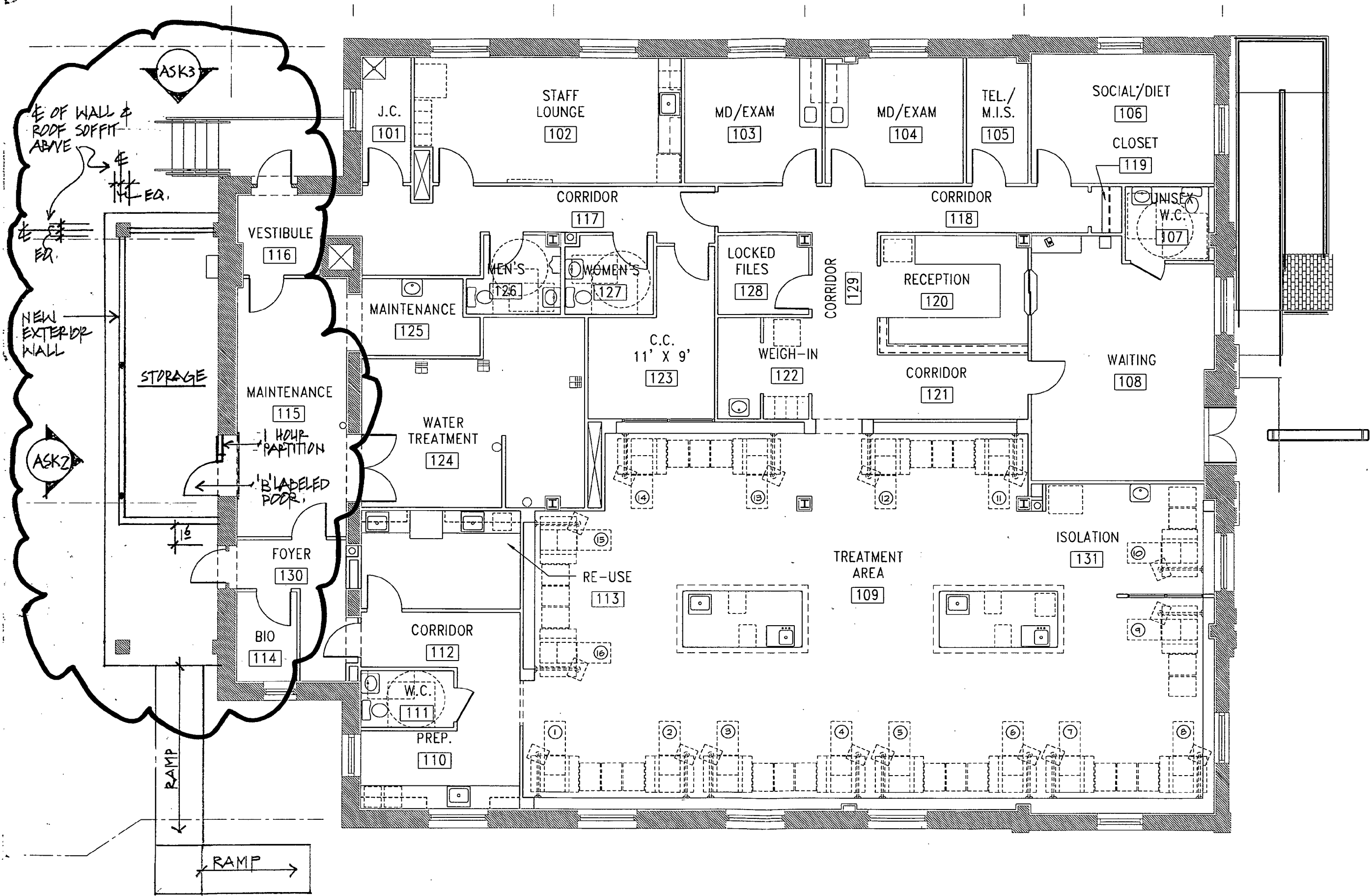
11/20/98



Above: View from southwest of alley



Above: View from northwest of alley.



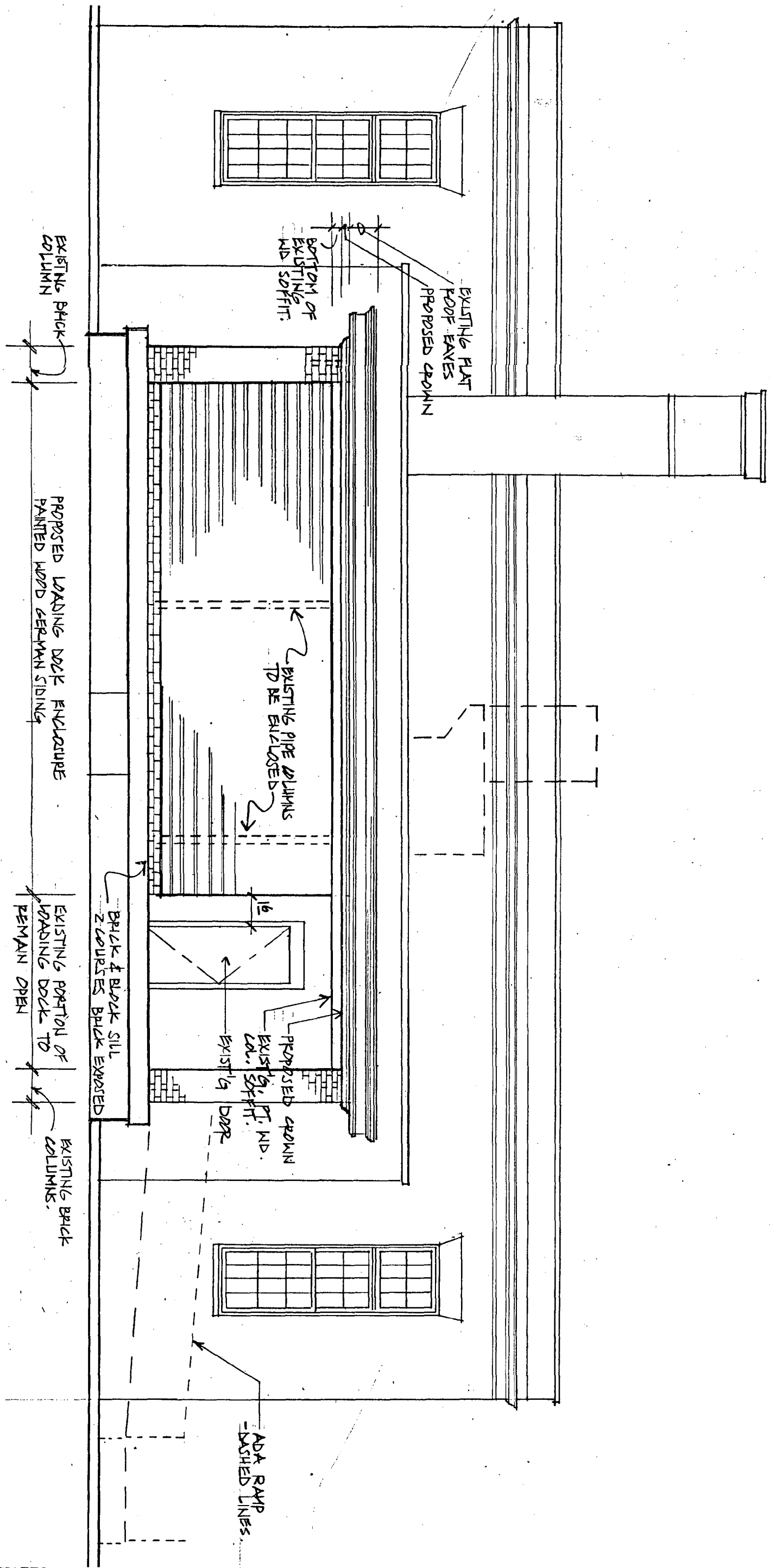
FLOOR PLAN
 1/8" = 1'-0"
 ASK-1

PROJECT NO: 97029.01
 DATE: 11.20.98

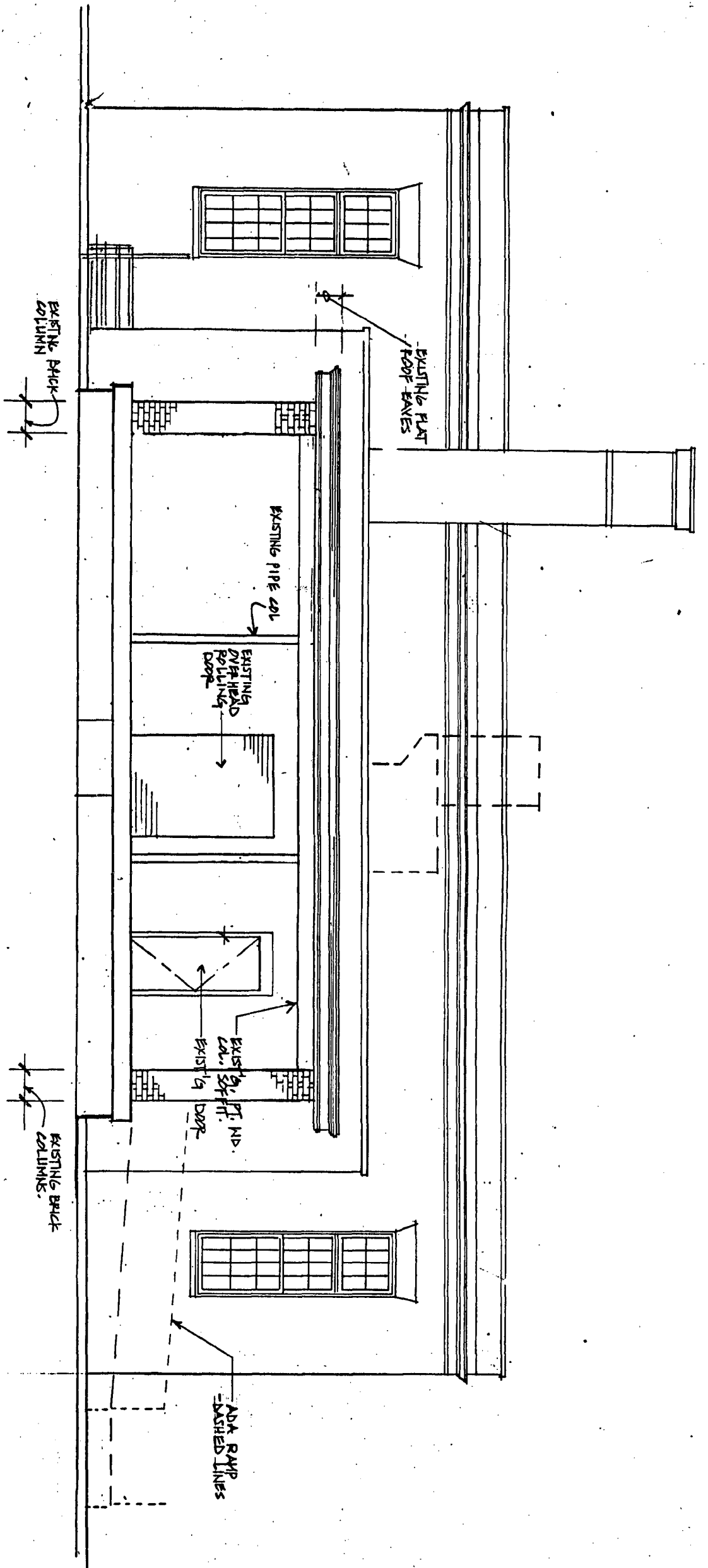
CAMBRO HEALTHCARE
 8412 Georgia Avenue
 Silver Spring, Maryland

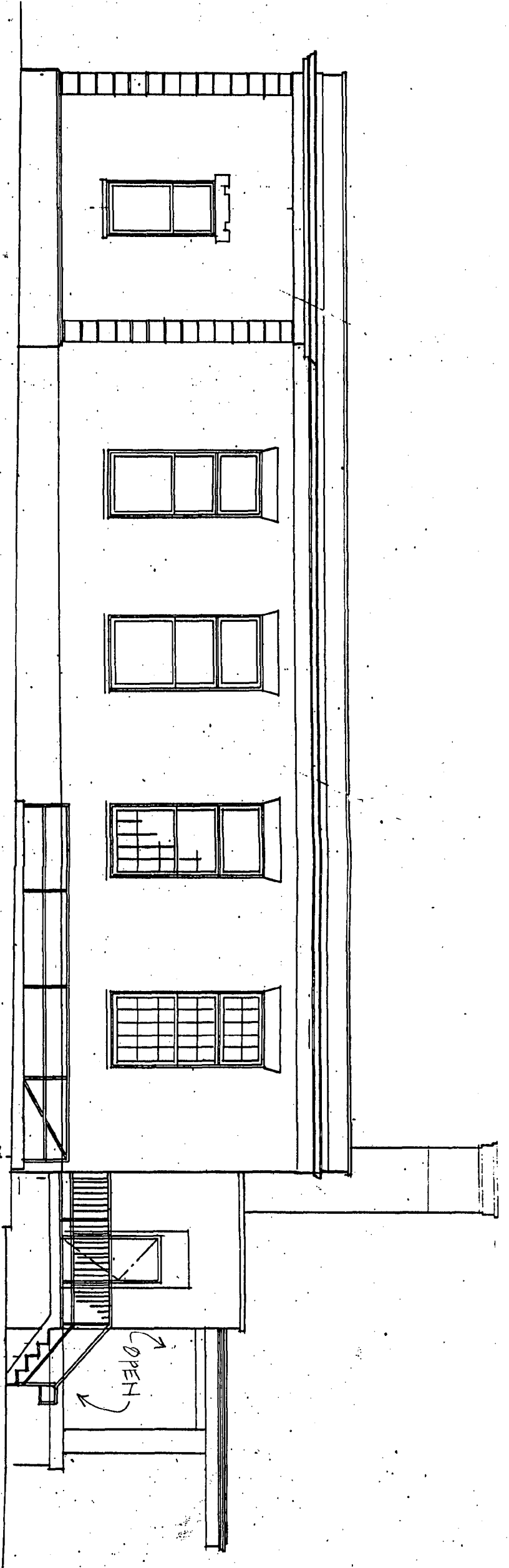
BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9678

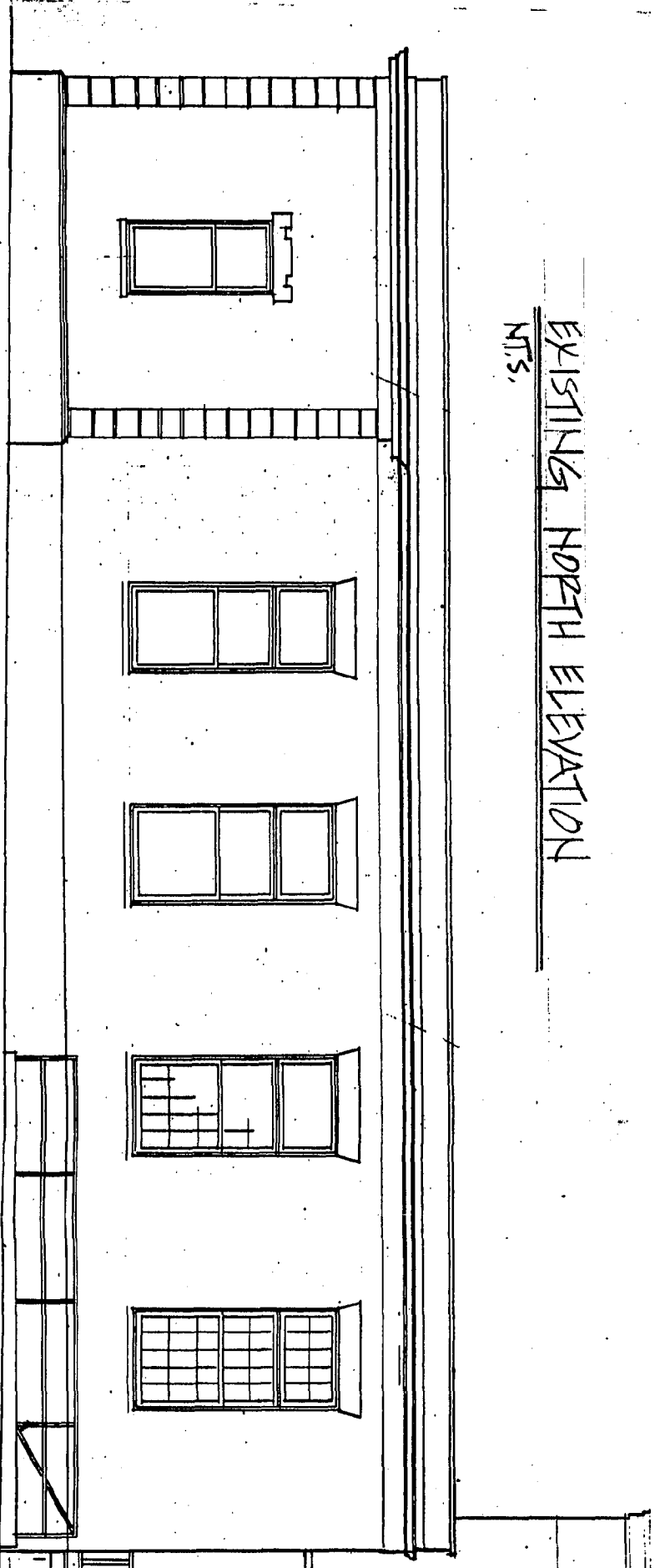


EXISTING REAR ELEVATION
HTS.





EXISTING NORTH ELEVATION
NTS



PROPOSED NORTH ELEVATION
NTS

PROPOSED GERMAN
LAP SIDING. PAINTED
WOOD.

PROPOSED CRANNE
SPFTT.

PROPOSED BRICK
SILL.

EXISTING
BRICK WL

OPEN



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 1-27-99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation *gwr*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Douglas Development

Address: 8412 Georgia Avenue Silver Spring

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

Revision 49: 9711050078



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 1-27-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *gdw*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

10

PROPOSED NORTH ELEVATION (Side)
NTS

APPROVED
Montgomery County
Historic Preservation Commission

1/27/97
APPROVED BRICK

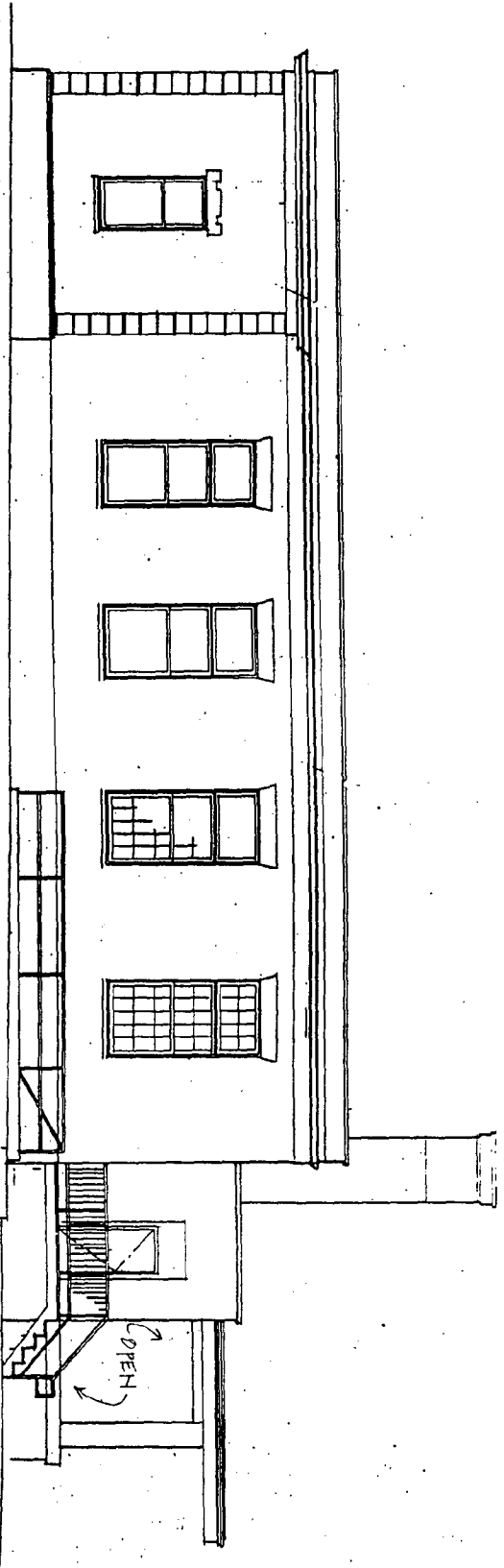
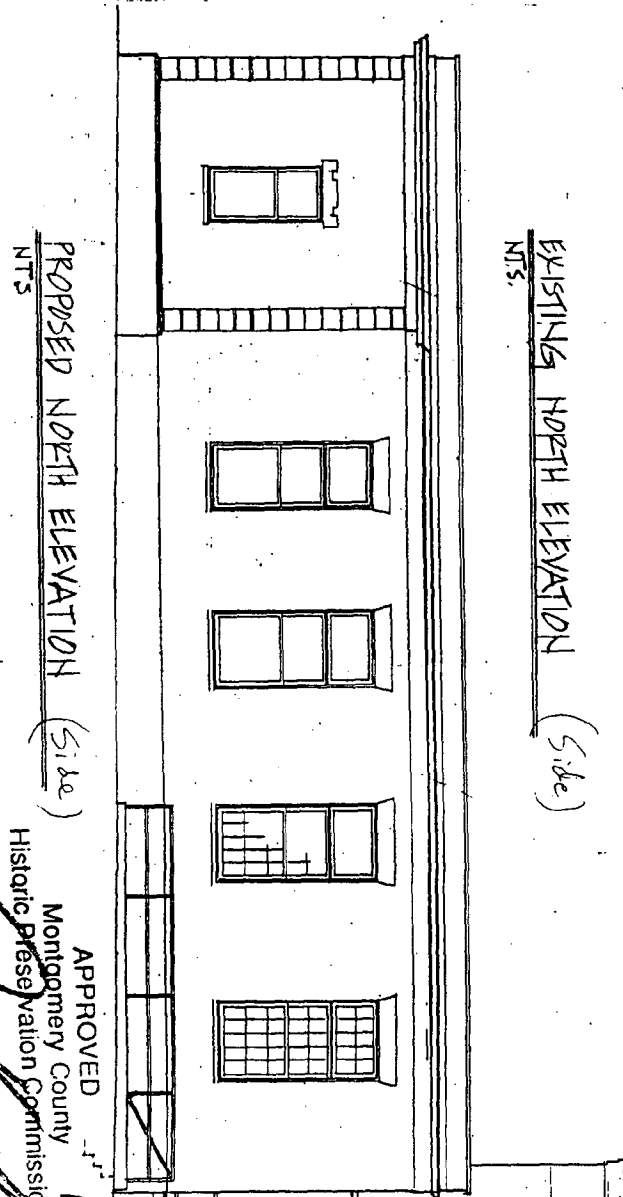
EXISTING
BRICK WALL

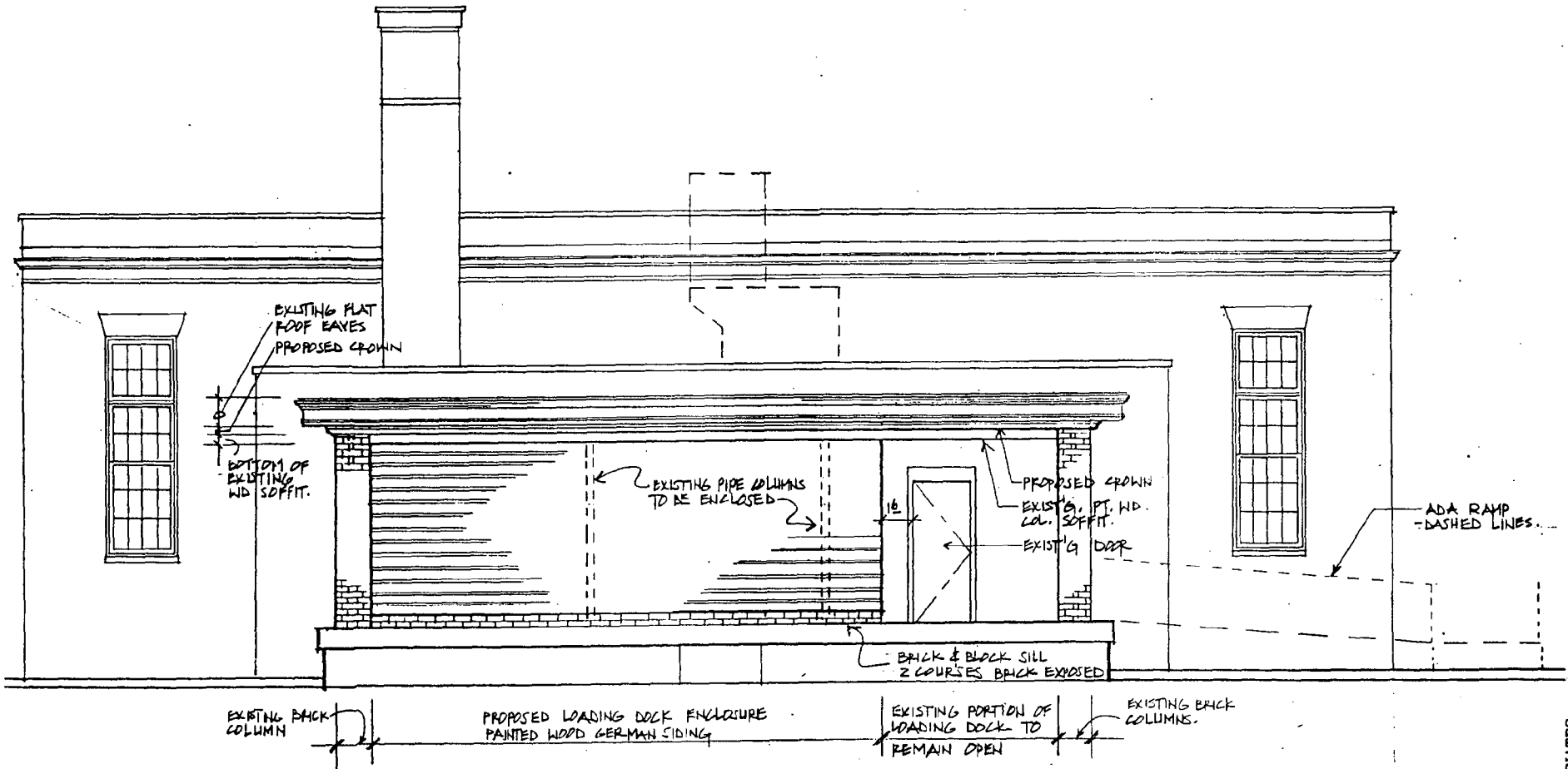
PROPOSED FRAMING
SOFFIT

PROPOSED PERMANENT
LAP SIDINGS, PAINTED
WOOD.

EXISTING NORTH ELEVATION (Side)
NTS

OPEN





APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] 1/27/99

Proposed Rear
 Elevation

6

ASK-2

PROJECT NO: 97029401
 DATE: 11/20/98

CAMBRO HEALTHCARE
 8412 Georgia Avenue

BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 548-9078

6/11-97A
Bill Bonstra
Douglas Development
1611 Old Georgetown Dr. #200
Rockville, MD 20852

Charles & M.L. Levin
11151 Viers Mill Road
Wheaton, MD 20902

Yee M. & S.Y. Kiang
631 Northwood Terrace
Silver Spring, MD 20902

Carrabelle W. Conway
8408 Georgia Avenue
Silver Spring, MD 20910

Hyman & D.M. Rubin
8404 Georgia Avenue #100
Silver Spring, MD 20910

Yee M. & S.&. Kiang
8411 Georgia Avenue
Silver Spring, MD 20910

Alan J. Levin, et al
11151 Viers Mill Road
Wheaton, MD 20902

Muhsen A. & M.G. Haddad
7826 Eastern Ave. N.W. #205
Washington, DC 20012

Robert Sugar & Helen Rea
5 Sussex Road
Silver Spring, MD 20910-5435

Georgia Ave. Assoc. Ltd. Ptnrshp.
1100 Wayne Avenue, Suite 100
Silver Spring, MD 20910-5603

Dennis F. Burns
Burns & Associates
311 Cameron Street
Alexandria, VA 22314

5
6

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8412 Georgia Avenue Meeting Date: 1/27/99
Resource: **Old Silver Spring Post Office** Review: **HAWP (Revision)**
Master Plan Resource #36/11
Case Number: 36/11-97A Tax Credit: No
Public Notice: 1/6/99 Report Date: 1/20/99
Applicant: Douglas Development Staff: Robin D. Ziek
(Dennis Burns, Agent)
PROPOSAL: Enclose portion of rear loading dock RECOMMENDATIONS: Approval

PROJECT DESCRIPTION

RESOURCE: Old Silver Spring Post Office
STYLE: Georgian Revival
DATE: 1936

The Kidney Dialysis Center has been located in the Old Silver Spring Post Office for about one year. They came before the HPC on 11/26/97 and 12/17/97 for alterations to the front entrance to provide handicapped accessibility at the front door.

PROPOSAL

The current revision to the existing HAWP is a request to enclose a portion of the rear loading dock for use as an enclosed storage area. Working with the existing footprint, the applicant proposes to establish an exterior wall using three of the four columns at the loading dock. The wall would be built on a foundation consisting of two courses of brick set on the existing concrete slab of the loading dock. The wall would be clad with wood German siding, painted to match the existing wood trim. Approximately 70% of the loading dock area would be enclosed, while the remaining area would continue as rear egress, with an existing exit door leading to existing stair and ramp system.

STAFF DISCUSSION

The existing loading dock is a service area, visible only from the alleyway behind the Old Post Office. The proposed alterations would have no impact on the appearance of the building along Georgia Avenue, and would be most visible to staff and other users of the rear alley. In addition, the proposed materials are compatible with the resource and a suitable choice for a subsidiary space.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general conditions that after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

BURNS & ASSOCIATES
ARCHITECTS

January 6, 1999

Historic Preservation Commission
c/o Ms. Robin Ziek
Historic Preservation Section
8787 Georgia Avenue
Silver Spring, Maryland 20912

RE: Partial Loading Dock Enclosure for:
Old Silver Spring Post Office
8412 Georgia Avenue
Master Plan Site #36/11
Previous Approval granted as Case # 36/11/97A

Dear HPR Commission Members:

This project is for the partial enclosure of an existing rear loading dock order to create a much needed storage area for the Kidney Dialysis Center operating on the ground floor of the subject site. Previous approval for a Handicap accessible ramp at the front of the building was approved on November 4, 1997.

Project description:

We propose to infill the area designated on the ASK-1 Floor Plan by utilizing light weight metal stud framing set onto two courses of brick. The brick work is proposed to be bolted into the existing loading dock concrete slab. The header system of the proposed walls shall be screwed into the wood framed steel beam bulkhead above (which supports the cantilevered loading dock roof). The enclosed areas amounts to 70% of the loading dock area. The remaining portion shall be maintained as a second means of egress ramp platform for the clinic. Painted wood German type siding is proposed as the exterior finish for the proposed walls. Paint shall match existing wood trim wook paint. The concrete platform shall act as the floor and the loading dock roof shall remain as is with no changes.

We ask that you consider this application as an amendment to our original, previously approved, submittal for this site. Ostensibly the neighbors are the same except for the neighbor across the alley at 1010 Dixon Avenue. The Owner of that address is attached.

Please approve this project as proposed as it is our opinion that none of these improvements are permanent in nature and are reversible. Additionally, none of the proposed work is visible from the public right of way nor does it impact the bulk of the structure.

Thank you for your consideration.

Respectfully;
BURNS & ASSOCIATES


Dennis F. Burns

enclosures: photographs and drawings

311 CAMERON STREET
ALEXANDRIA, VIRGINIA 22314

703.549.9678 FAX: 549.9679

3



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: BILL BONSTRA
Daytime Phone No.: 103-549-9678

Tax Account No.: 01047194
Name of Property Owner: DOUGLAS DEVELOPMENT Daytime Phone No.: 301, 984, 8400
Address: 11611 OLD GEORGETOWN RD SUITE 200 ROCKVILLE MD 20852
Street Number City State Zip Code
Contractor: TO BE DETERMINED Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: CARLOS ROTAS ARCH. SERVICES Daytime Phone No.: 202.234.7345

LOCATION OF BUILDING/PREMISE

House Number: 8412 Street: GEORGIA AVENUE
Town/City: SILVER SPRING Nearest Cross Street: WAYNE AVE.
Lot: P-5 Block: 0 Subdivision: 22
Liber: _____ Folio: _____ Parcel: P5

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: COMMERCIAL TENANT
1B. Construction cost estimate: \$ 5,000
1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

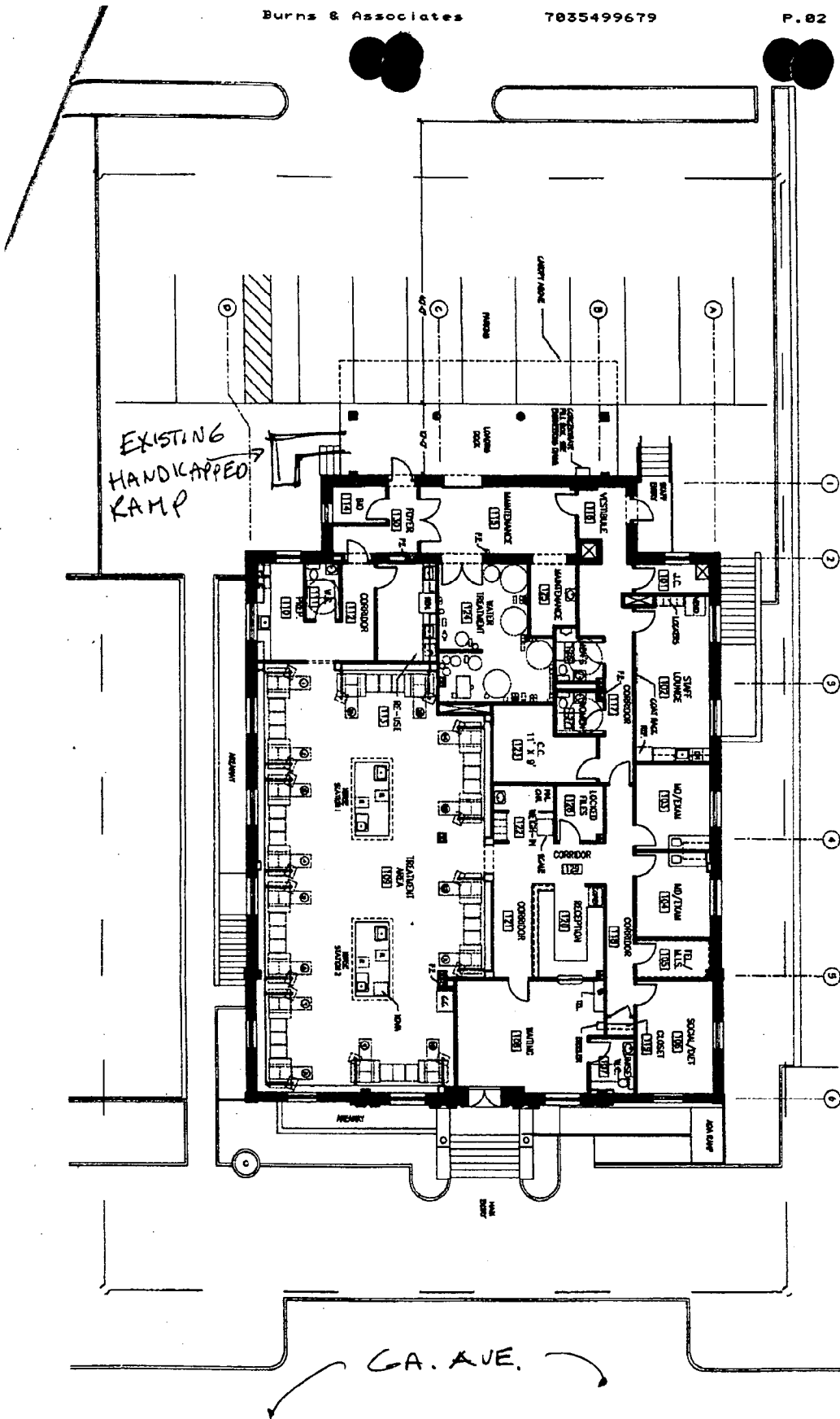
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 11-3-97
Signature of owner or authorized agent NORMAN JEMAL UP/SEC. D.D.O Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: Dec. 2, 1997
Application/Permit No.: 9711050078 Date Filed: 11-5-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

(4)



BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9679

CAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

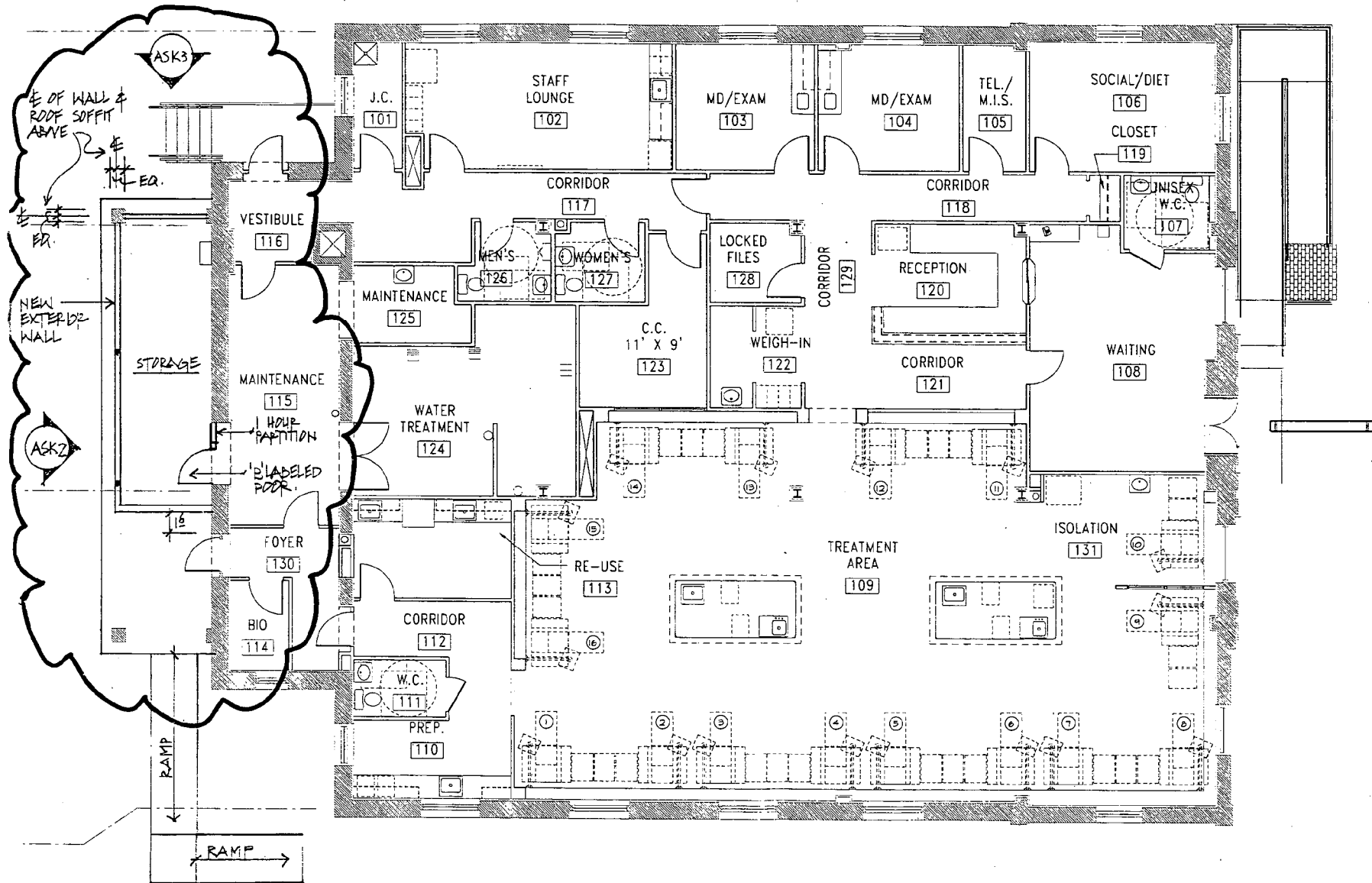
PROJECT NO: 97029
DATE: 11.21.97

SITE PLAN
1/16" = 1'-0"

12/2/97
Previously approved

PROPOSED
SITE PLAN

6



PROPOSED PLAN

FLOOR PLAN
1/8" = 1'-0"

ASK-1

PROJECT NO: 9702901
DATE: 11.20.98

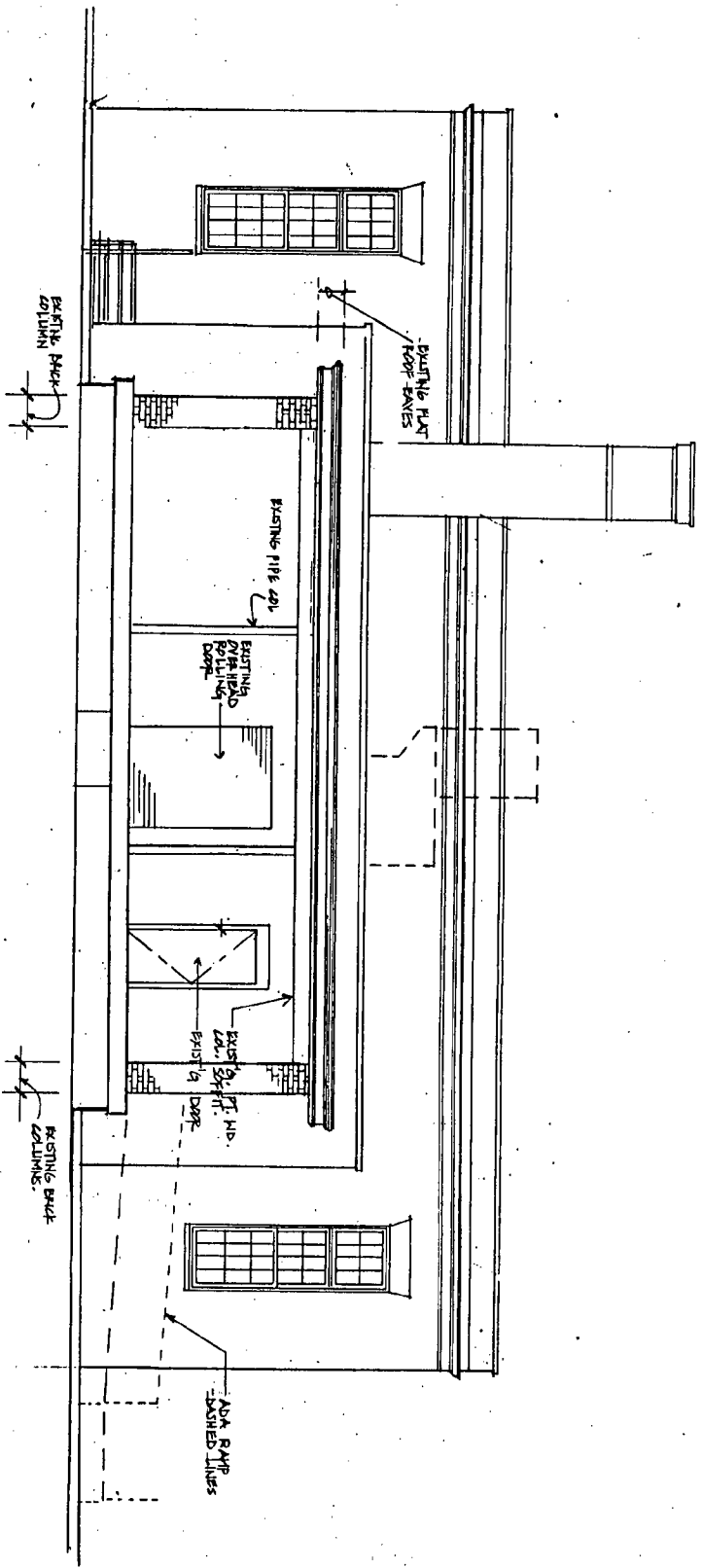
CAMDRO HEALTHCARE
8412 Georgia Avenue

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678

9

EXISTING REAR ELEVATION
HTS.



EXISTING REAR
Elevation

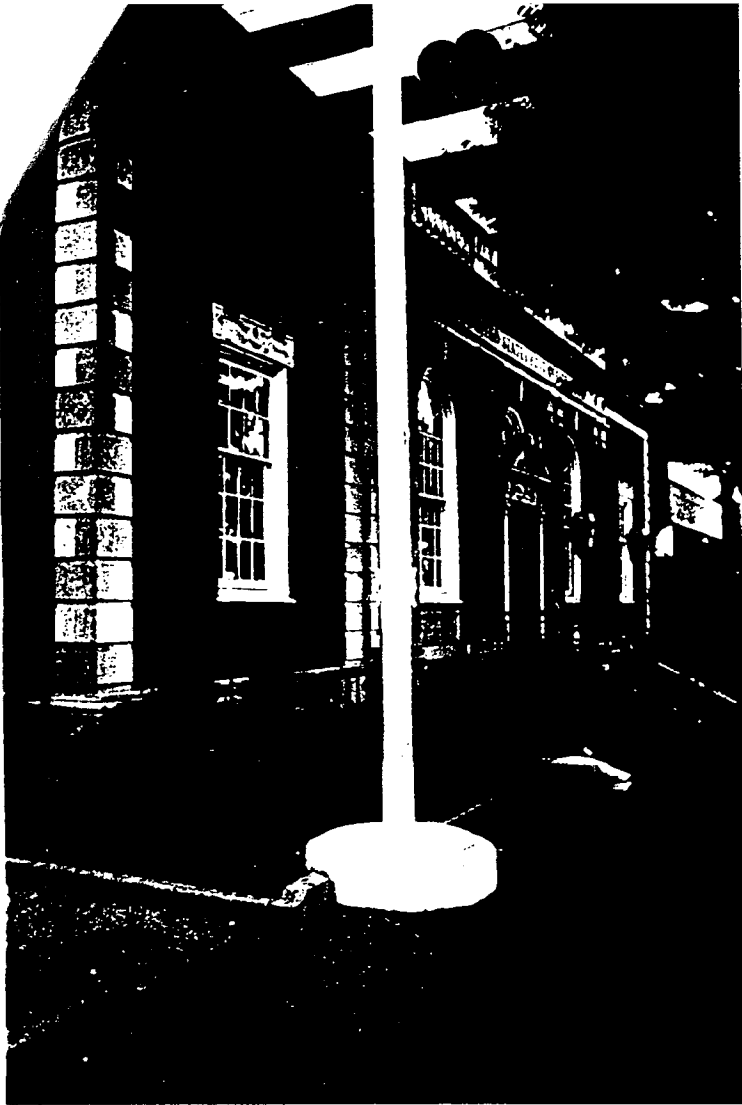
BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678

CAMBRO HEALTHCARE
8412 Georgia Avenue
Suite 100, Springfield, VA 22154

ASK-3

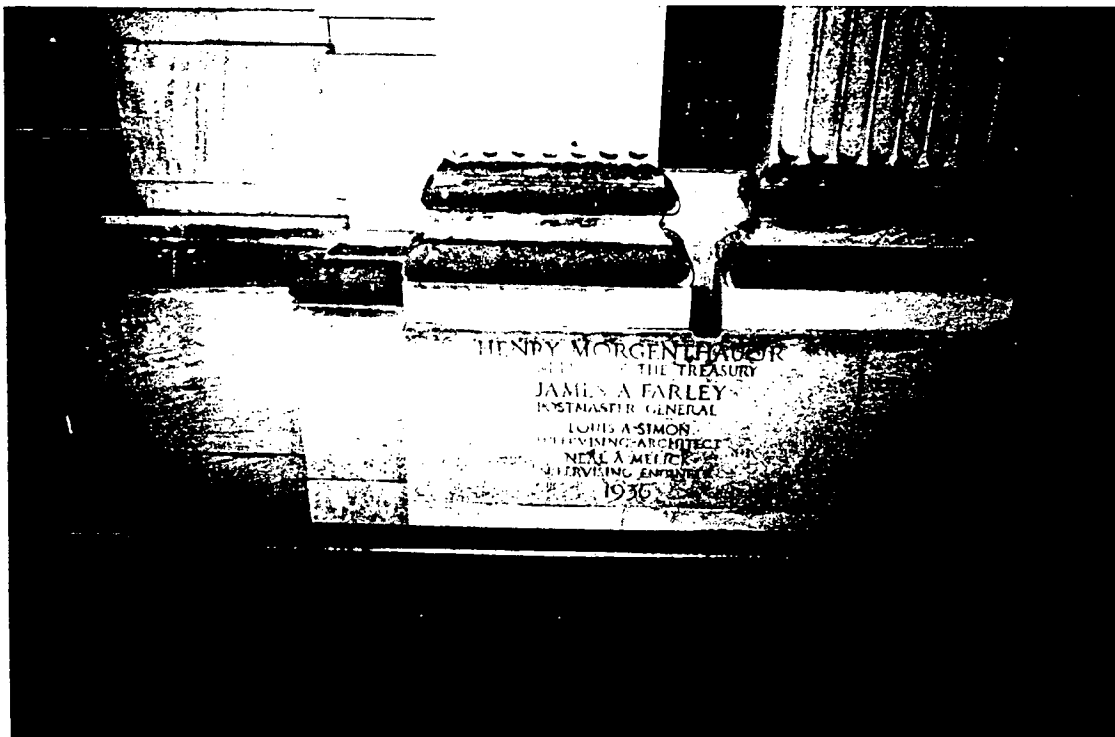
PROJECT NO: 91029.01
DATE: 11.20.98



FRONT ELEVATION



RIGHT SIDE ELEVATION



FRONT DETAIL

11
16



LEFT SIDE ELEVATION

SIDEWALK TO HANDICAPPED
RAMP @ REAR OF BLDG.

12

17

Existing Conditions Photographs
8412 Georgia Avenue

page 1 of 1

11/20/98

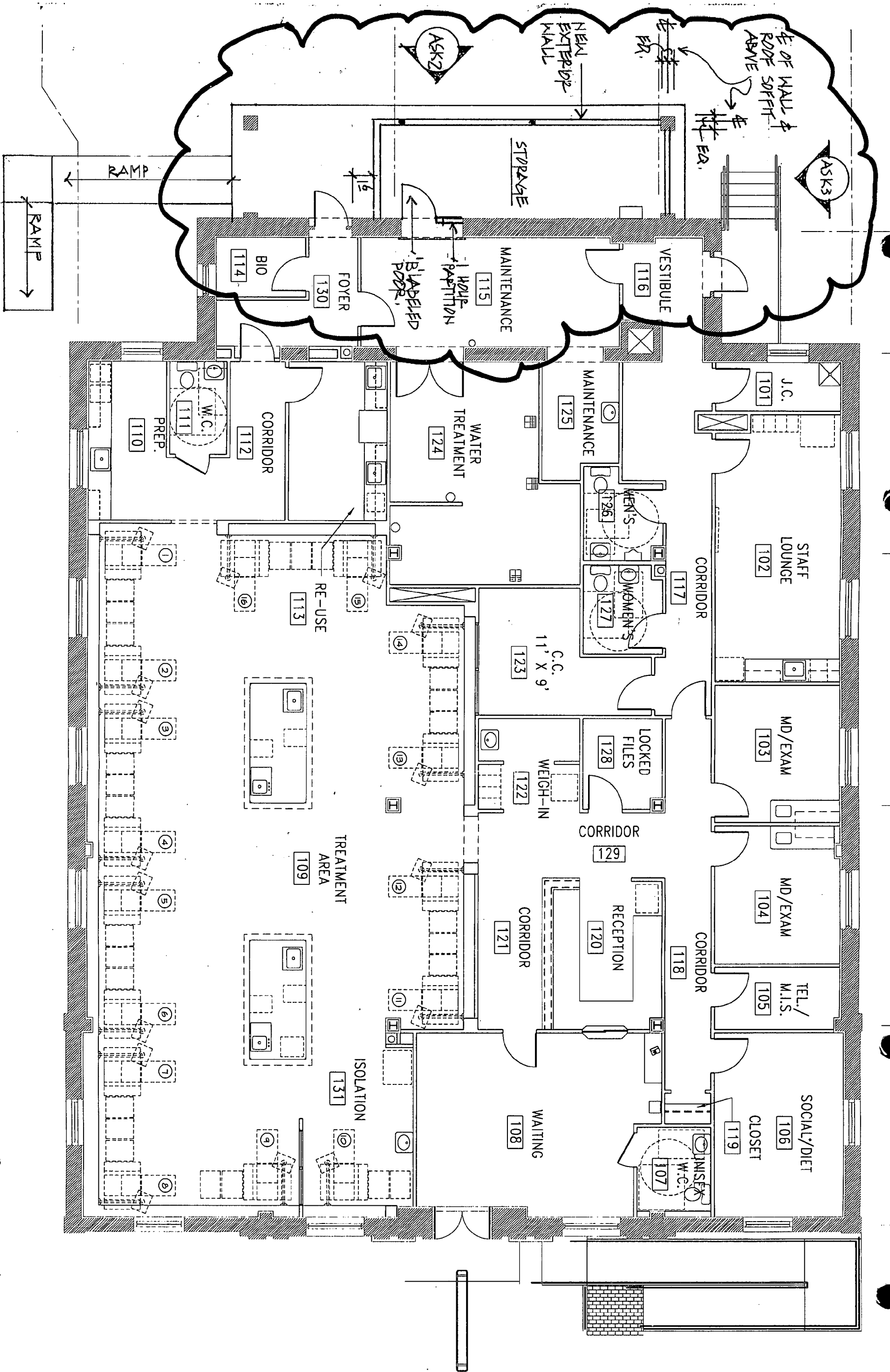


Above: View from southwest of alley



Above: View from northwest of alley.

13



Proposed Area

FLOOR PLAN
 1/8" = 1'-0"
 ASK-1

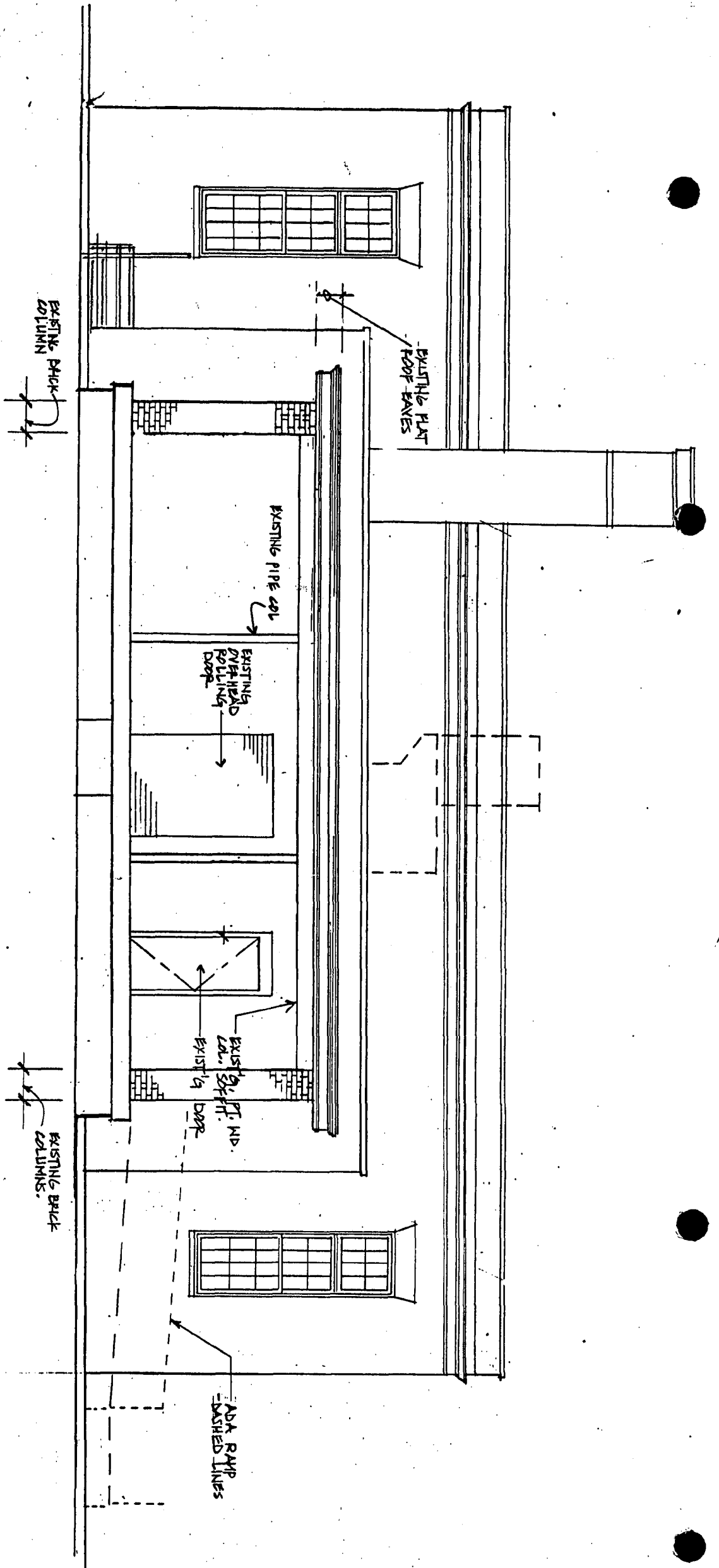
BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9678

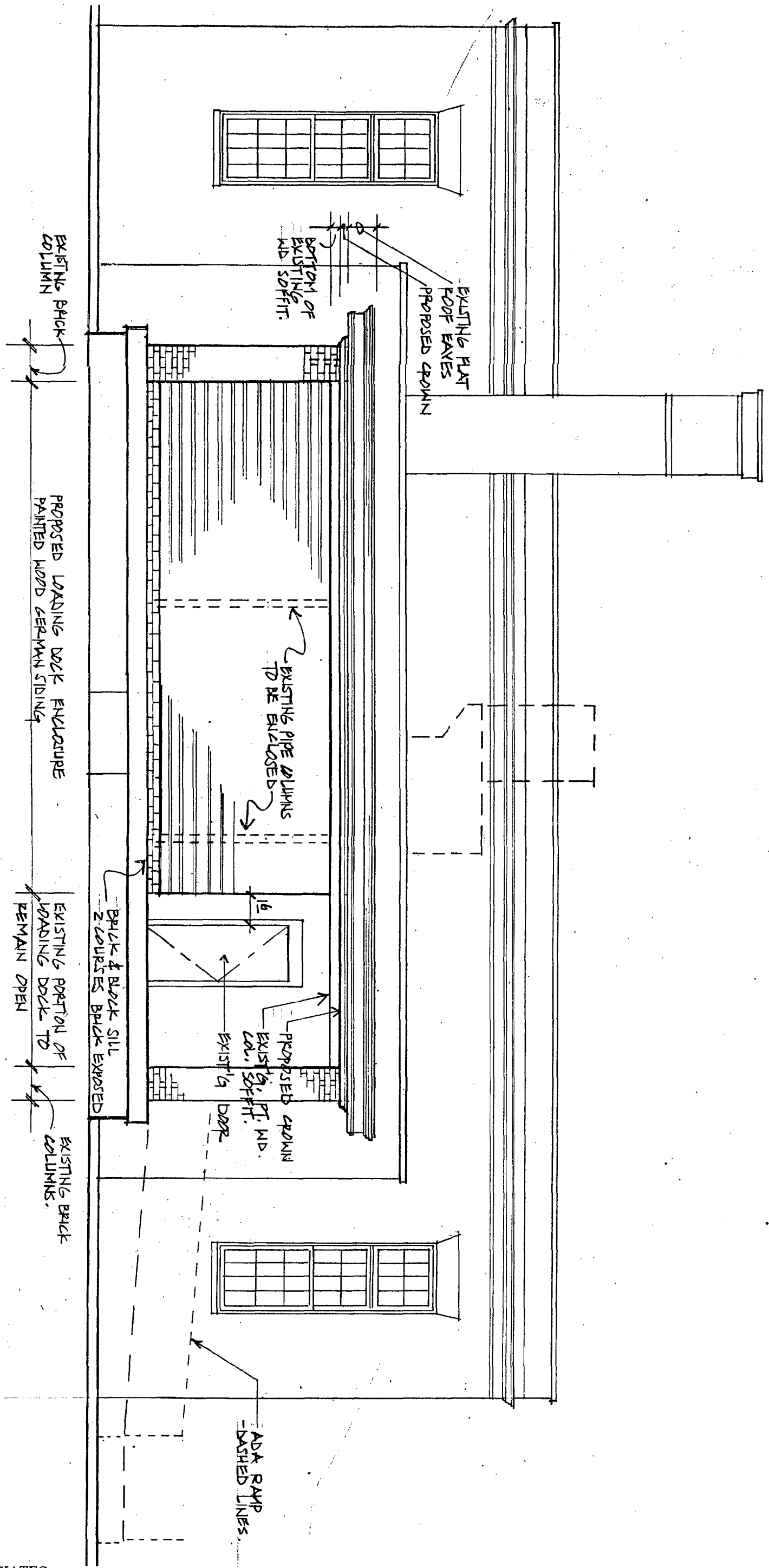
GAMBRO HEALTHCARE
 8412 Georgia Avenue
 Silver Spring, Maryland

PROJECT NO: 97029.01
 DATE: 11.20.98

EXISTING REAR ELEVATION
HT'S.



EXISTING REAR
Elevation



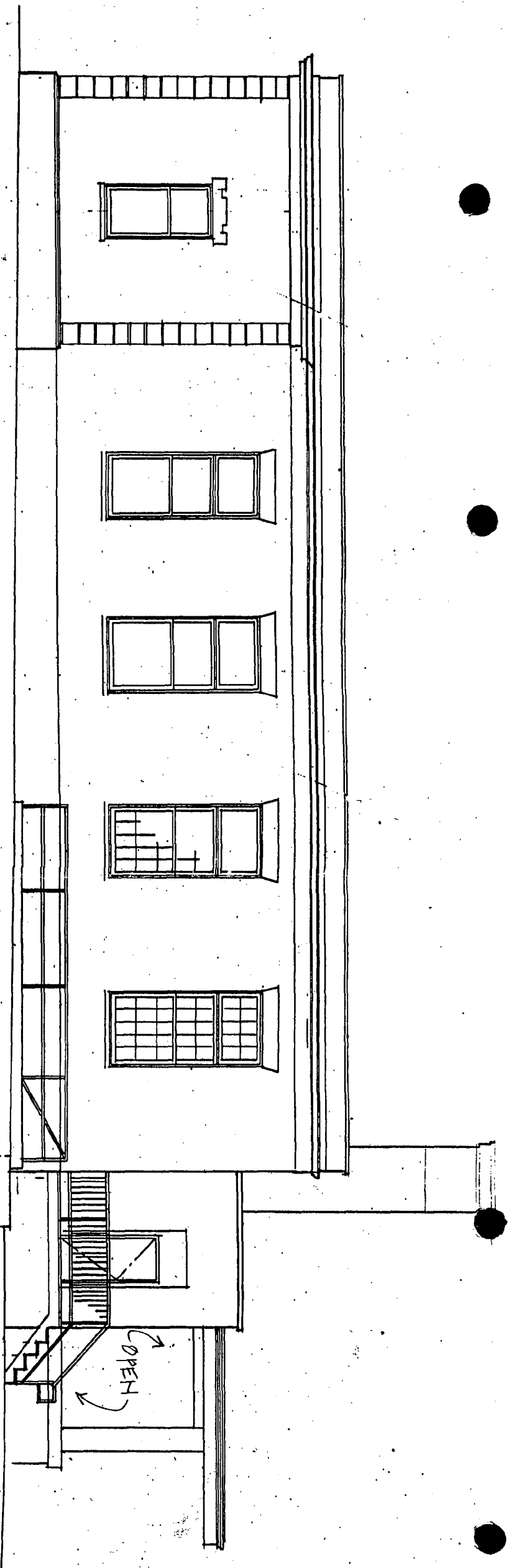
BURNS & ASSOCIATES

ASK-2

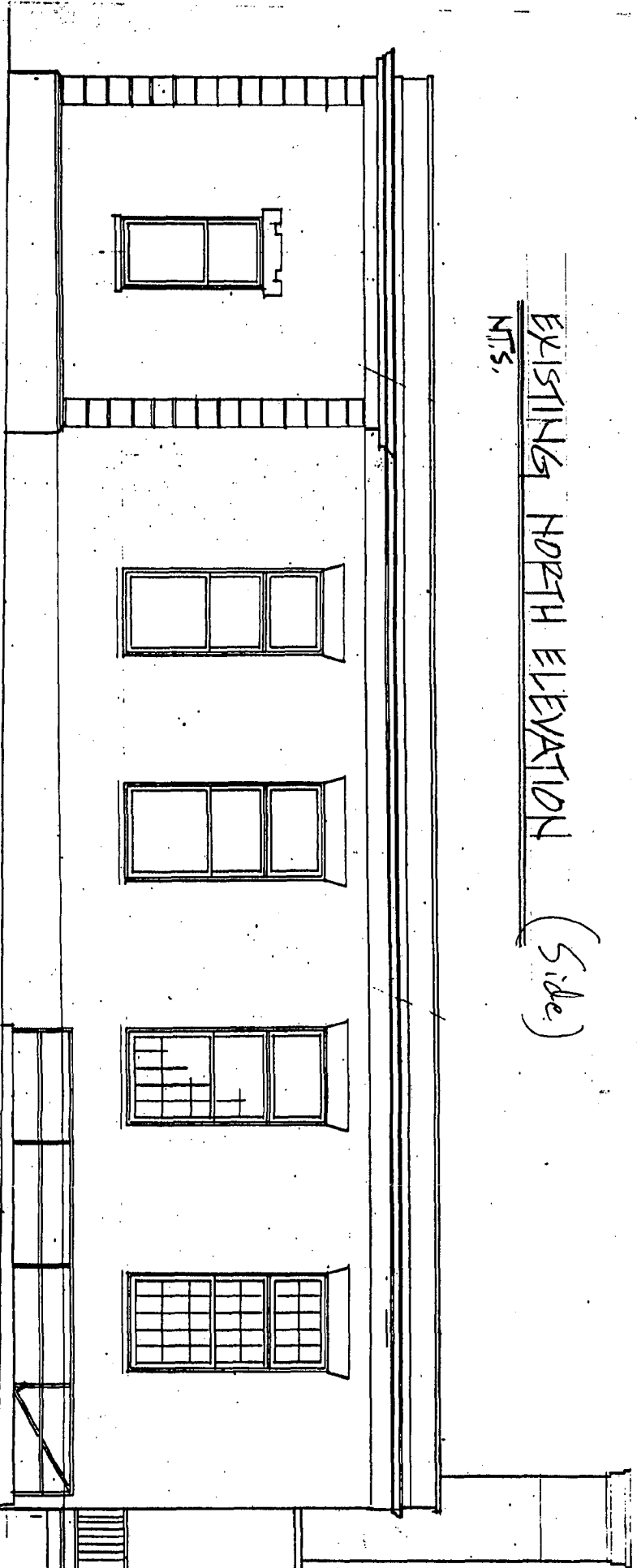
311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9678
 FAX (703) 540-0670

GAMBRO HEALTHCARE
 8412 Georgia Avenue
 Silver Spring, Maryland

PROJECT NO: 97029.01
 DATE: 11.20.98

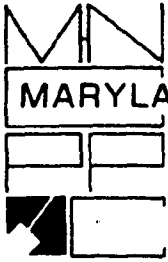


EXISTING NORTH ELEVATION (Side)
NTS



PROPOSED NORTH ELEVATION (Side)
NTS

PROPOSED GERMAN
LAP SIDING, PAINTED
WOOD,
PROPOSED CRANNE
SOFFIT,
PROPOSED BRICK
SILL,
EXISTING
BRICK W/L



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 12/17/97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: ^{RDC} Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved REVISION Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

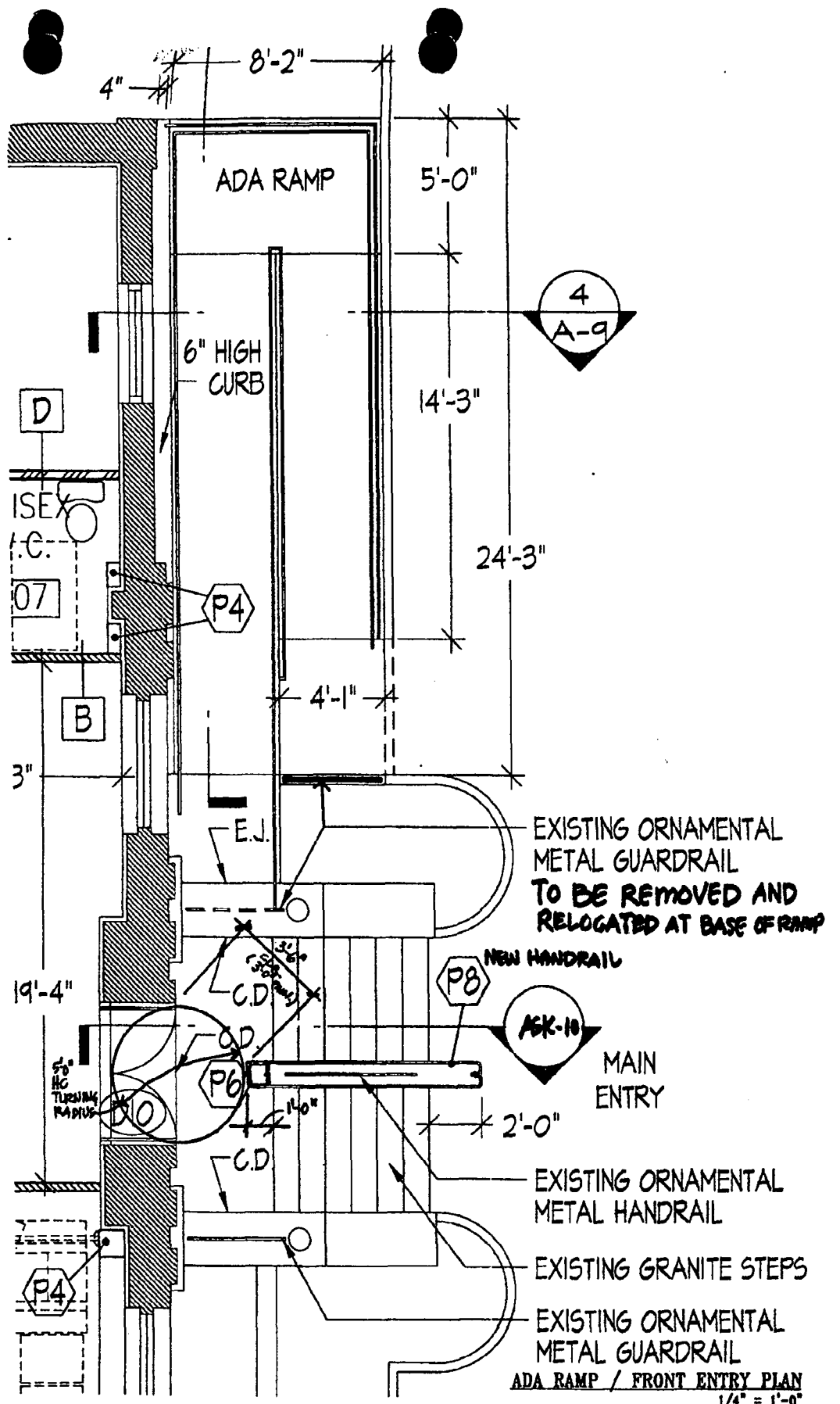
Applicant: Douglas Development

Address: 11611 Old Georgetown Rd, Suite 200, Rockville

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Re: Old Silver Spring Post office (#36/11)

20852



EXISTING ORNAMENTAL METAL GUARDRAIL
TO BE REMOVED AND RELOCATED AT BASE OF RAMP

NEW HANDRAIL

ASK-10

MAIN ENTRY

EXISTING ORNAMENTAL METAL HANDRAIL

EXISTING GRANITE STEPS

EXISTING ORNAMENTAL METAL GUARDRAIL

ADA RAMP / FRONT ENTRY PLAN

1/4" = 1'-0"
 ASK-9

BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9878
 FAX (703) 549-9879

GAMBRO HEALTHCARE

8412 Georgia Avenue
 Silver Spring, Maryland

PROJECT NO: 91029
 DATE: 12.8.97

6

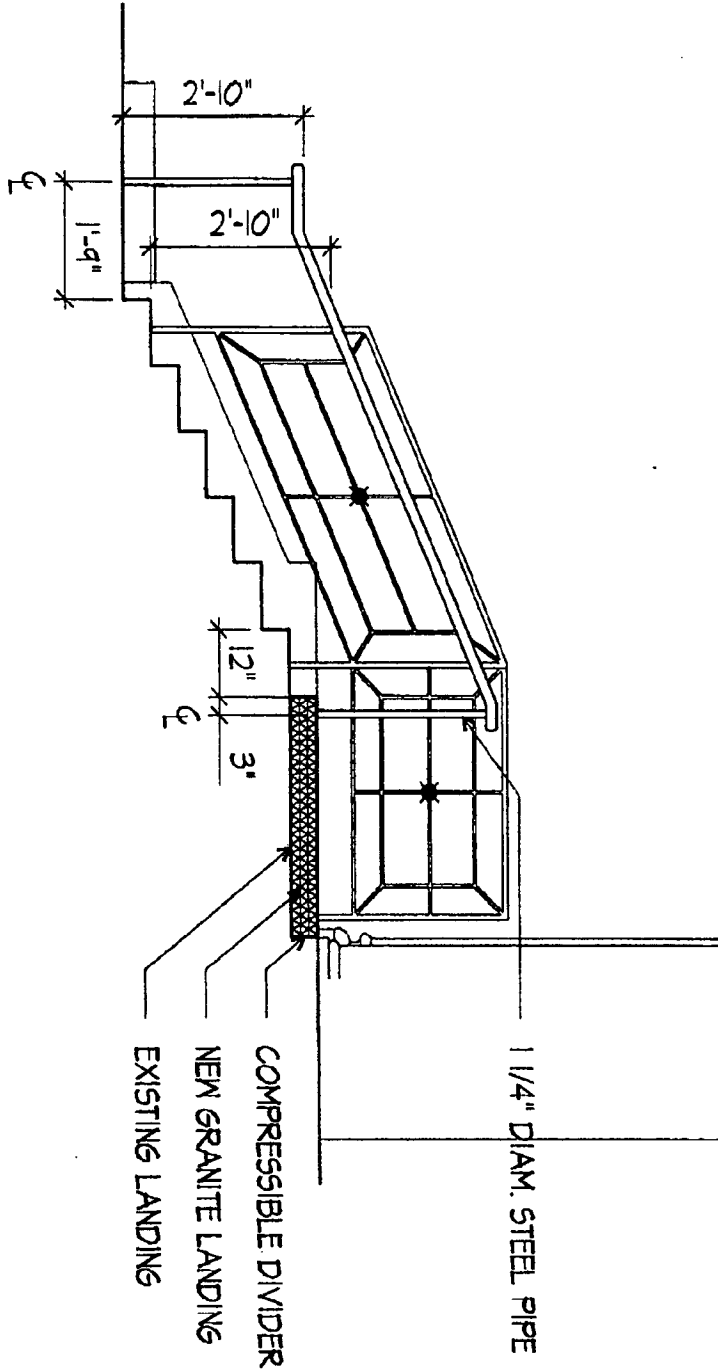
APPROVED
 Montgomery County
 Historic Preservation Commission

[Handwritten signature]
 12/17/97

6

3/8" = 1'-0"

SECTION DETAIL OF STAIR @ MAIN ENTRY



APPROVED
 Montgomery County
 Historic Preservation Commission

Arthur D. Zelt 12/17/97

MAIN ENTRY SECTION

3/8" = 1'-0"

ASK-10

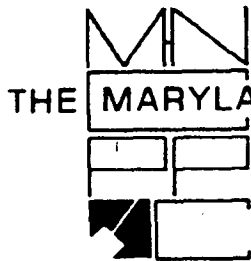
BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9678
 FAX (703) 549-9679

GAMBRO HEALTHCARE
 8412 Georgia Avenue
 Silver Spring, Maryland

PROJECT NO: 97029
 DATE: 12.9.97

7



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 12/17/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, ²⁰⁷Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

JJ When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8412 Georgia Avenue Meeting Date: 12/17/97
Resource: Old Silver Spring Post Office Review: HAWP
Master Plan Site #36/11
Case Number: 36/11-97A (CONTINUED) Tax Credit: No
Public Notice: 12/3/97 Report Date: 12/10/97
Applicant: Douglas Development Staff: Robin D. Ziek
PROPOSAL: Handicap Ramp Installation RECOMMENDATIONS: APPROVAL

PROJECT DESCRIPTION

RESOURCE: Old Silver Spring Post Office

STYLE: Georgian Revival Style

DATE: 1936

The applicant came before the HPC on November 26, 1997, with an application for the installation of a handicapped ramp at the front entrance on Georgia Avenue. The HPC approved the application at that meeting, with the following conditions:

- 1) The new landing will be made of granite, to match existing front steps, and shall be installed with a mortar which is not rich in Portland Cement to assure reversibility;
- 2) The top right rail segment will be carefully removed, and either incorporated into the new design on site, or shall be stored offsite with a preservation organization;
- 3) The other 2 handrail segments shall remain in place;
- 4) The applicant shall return to the HPC with the center rail design changes; and
- 5) If the inadequacies of the drawings lead to any design changes, the applicant shall return to the HPC for review/approval.

The applicant has come before the HPC tonight as per the above conditions.

①

PROPOSAL

The applicant proposes to relocate the small handrail segment at the handicapped ramp from the top of the stairs, to the bottom/entrance to the handicapped ramp. This will incorporate this section of original handrail into the new design, and retain this element on site.

In response to the design concerns for the center handrail, the applicant proposes to retain the handrail in situ, and add a new handrail to conform with county codes (see Circle 6,7). The new handrail would match the proposed metal pipe rail which will be installed along the handicapped ramp, and will be attached only to the new landing stone and at the sidewalk level. This will leave the original installation intact.

STAFF DISCUSSION

Staff feels that the proposal is compatible with the existing structure, and respectful of the original construction. The new rail installation is clearly reversible should the new handicapped ramp be removed at some time in the future. In addition, the proposal retains all of the original elements on site.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Burns & Associates • Architects

MEMORANDUM**VIA FACSIMILE - 7 pages Total**

Project # 97029

DATE: 8 December 1997

TO: Robin Zeik - Montgomery County Historic Preservation Commission

FROM: Bill Bonstra, RA *WJB.*

RE: Historic Area Work Permit #9711050078
2 December 1997 with Conditional Approval

Enclosed: Architectural Sketch ASK-8 - Existing Conditions Plan
ASK-9 - Proposed Ramp and Stair modifications plan
ASK-10 - Existing / Proposed Stair Section
ADA Section 4.8 (2 pages)

CC: Tim Fuller - Gambro Healthcare

I am in receipt of your approval memorandum to allow the construction of a required ADA handicapped ramp at the front of the subject property. We have discussed the pertinent building code issues with Mr. Mario De La Puente of the Montgomery County Building Code Review Branch (301.217.6186) and have the following response to the conditions of your approval as follows:

- (1) The proposed top landing will be constructed of granite to match the existing steps with mortar which is not rich in Portland Cement as requested to assure reversibility.
- (2) The top right ornamental rail section will be carefully removed and *RELOCATED TO BOTTOM OF NEW RAMP, AS PER ARCHITECT'S DRAWING ASK-9. (SEE CIRCLE 6)*.
- (3) The top left ornamental rail section will remain in place. We have discussed the remaining rail height non-conformity with Mr. De La Puente who stated that since it is an existing condition, involving an historic railing, that it can remain as existing without modification.
- (4) The center ornamental stair rail section will remain in place. To satisfy the required building code handrail height and extensions at the top and bottom, we propose to install a 1 1/4" diameter painted metal pipe handrail as shown on ASK-8-10 dated 8 December 1997. The handrail would project 1'-0" at the top of the

311 Cameron Street Alexandria, Virginia 22314
703.549.9678

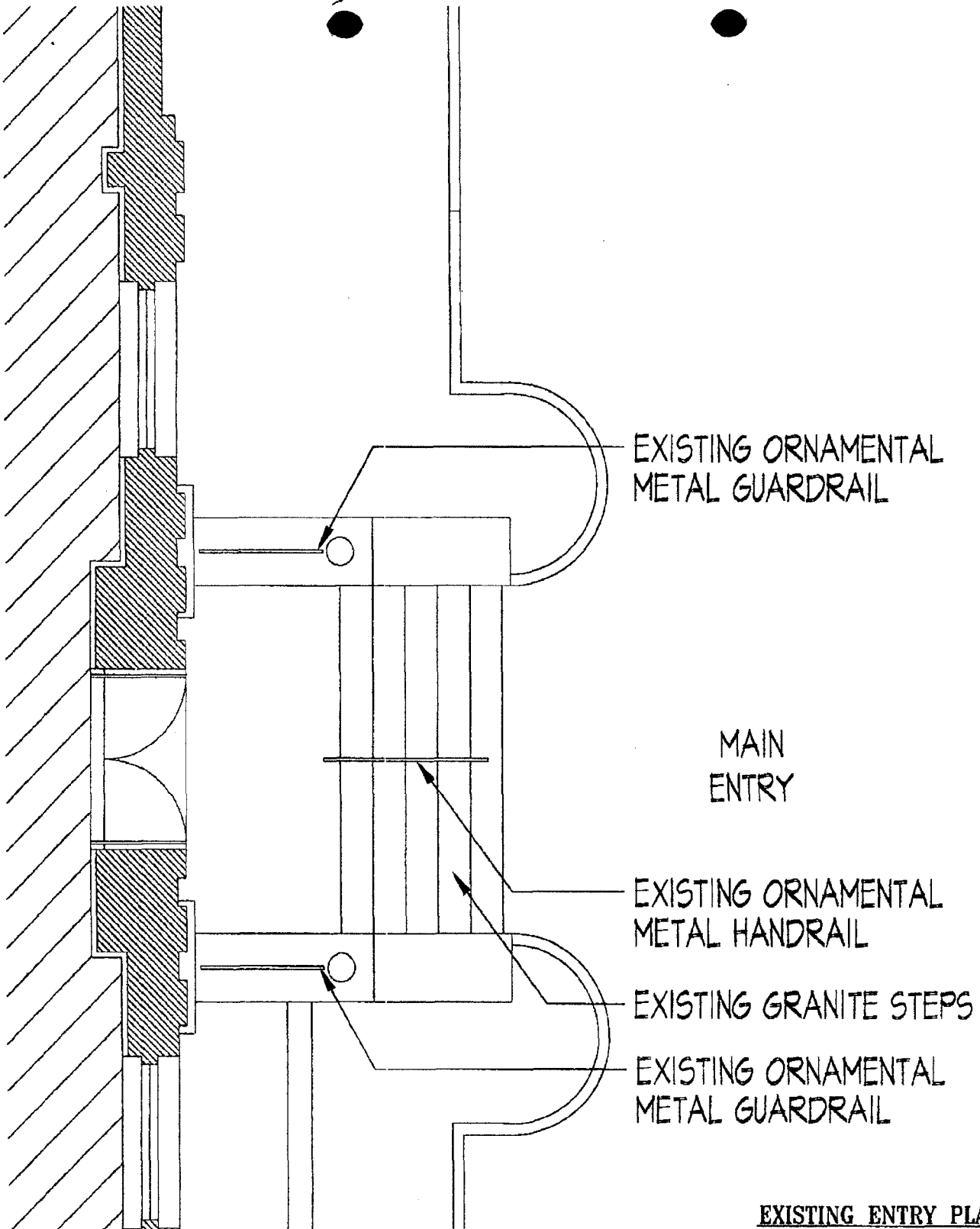
3

page 2
Zeik Memorandum

stair and 2'-0" beyond the bottom riser as required by code. This will allow approximately 3'-6" of clear width at the entry door. The vertical posts would be anchored to the landing at the top and to suitable substrate below the existing brick sidewalk at the bottom, so as not to impact the existing stair condition and allow reversibility. (Note: See ASK- 10) **We have received Mr. De La Puente's concurrence on this proposed railing and the 5'-0" turning radius with the door in the closed position.**

- (5) Regarding the clearance of the ramp at the top landing, according to our survey, we will have approximately 3'6", or 6" greater than the ADA ramp minimum of 3'-0". (See ADA Section 4.8)

END OF MEMORANDUM



EXISTING ENTRY PLAN

1/4" = 1'-0"

ASK-8

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9679

GAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

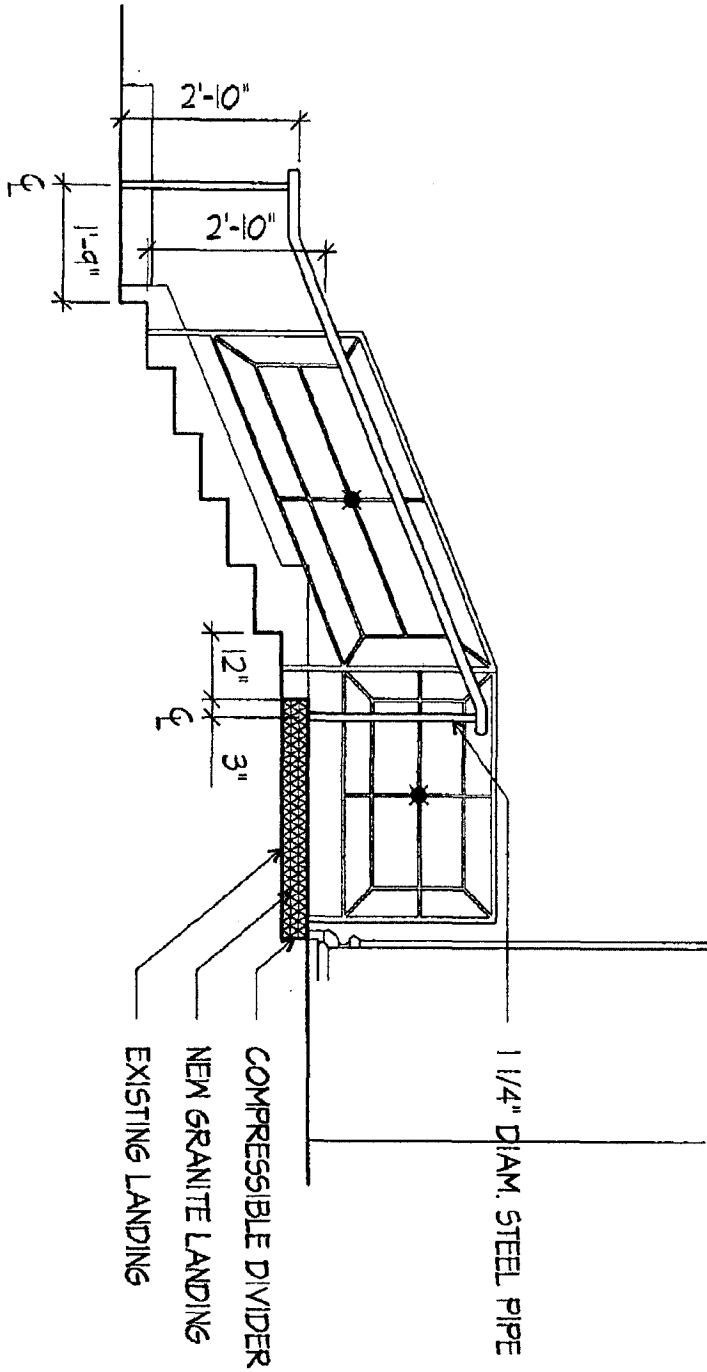
PROJECT NO: 47024
DATE: 12.8.97

5

6

3/8" = 1'-0"

SECTION DETAIL OF STAIR @ MAIN ENTRY



MAIN ENTRY SECTION

3/8" = 1'-0"

ASK-10

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9679

GAMBRO HEALTHCARE
8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 97029
DATE: 12.9.97

7

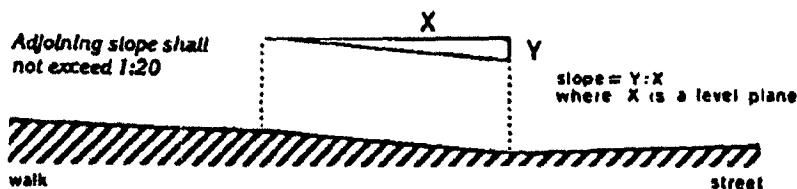
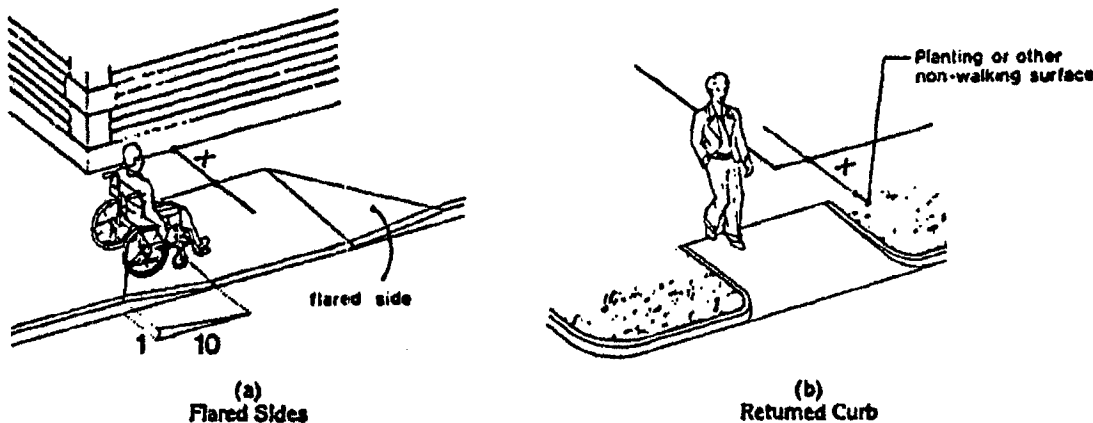


Fig. 11
Measurement of Curb Ramp Slopes



If X is less than 48 in, then the slope of the flared side shall not exceed 1:12.

Fig. 12
Sides of Curb Ramps

4.7.11 Islands. Any raised islands in crossings shall be cut through level with the street or have curb ramps at both sides and a level area at least 48 in (1220 mm) long between the curb ramps in the part of the island intersected by the crossings (see Fig. 15(a) and (b)).

4.8 Ramps.

4.8.1* General. Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8.

4.8.2* Slope and Rise. The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any run shall be 30 in (760 mm) (see Fig. 16). Curb ramps

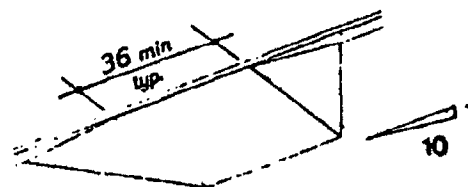


Fig. 13
Built-Up Curb Ramp

and ramps to be constructed on existing sites or in existing buildings or facilities may have slopes and rises as allowed in 4.1.6(3)(a) if space limitations prohibit the use of a 1:12 slope or less.

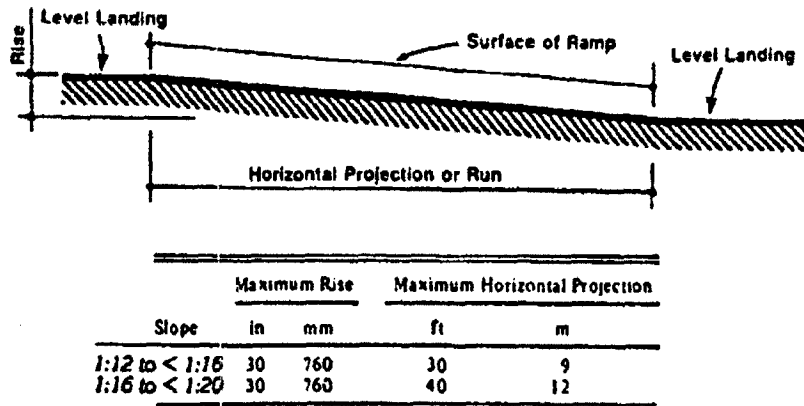


Fig. 16

Components of a Single Ramp Run and Sample Ramp Dimensions

4.8.3 Clear Width. The minimum clear width of a ramp shall be 36 in (915 mm).

4.8.4* Landings. Ramps shall have level landings at bottom and top of each ramp and each ramp run. Landings shall have the following features:

- (1) The landing shall be at least as wide as the ramp run leading to it.
- (2) The landing length shall be a minimum of 60 in (1525 mm) clear.
- (3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm).
- (4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6.

4.8.5* Handrails. If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps or adjacent to seating in assembly areas. Handrails shall comply with 4.26 and shall have the following features:

(1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switchback or dogleg ramps shall always be continuous.

(2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface (see Fig. 17).

(3) The clear space between the handrail and the wall shall be 1 - 1/2 in (38 mm).

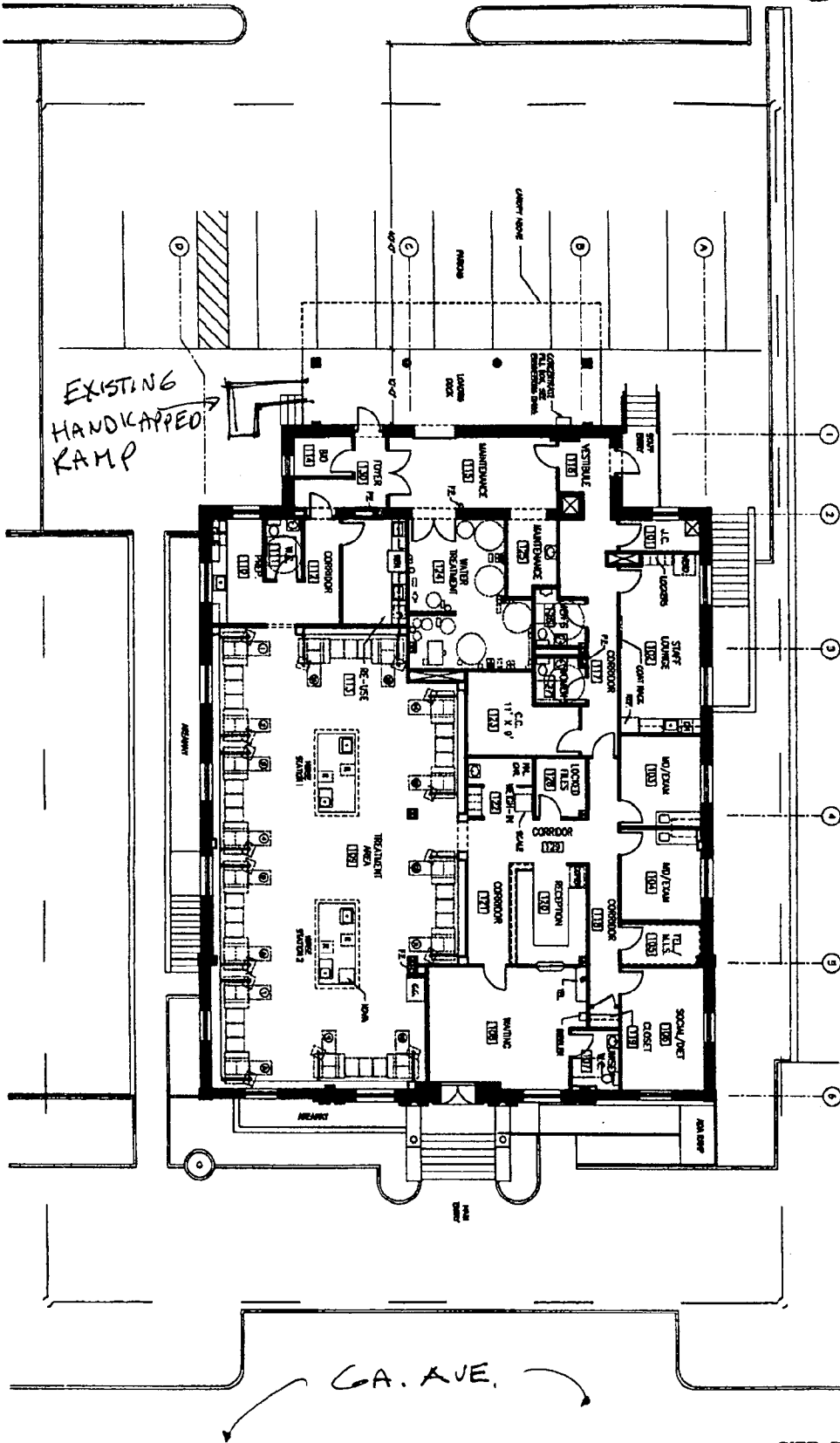
(4) Gripping surfaces shall be continuous.

(5) Top of handrail gripping surfaces shall be mounted between 34 in and 38 in (865 mm and 965 mm) above ramp surfaces.

(6) Ends of handrails shall be either rounded or returned smoothly to floor, wall, or post.

(7) Handrails shall not rotate within their fittings.

4.8.6 Cross Slope and Surfaces. The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.



EXISTING
HANDICAPPED
KAMP

GA. AVE.

SITE PLAN
1/16" = 1'-0"

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9679

GAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 91029

DATE: 11.21.97

PROPOSED
SITE PLAN

Burns & Associates • Architects

311 Cameron Street
Alexandria, Virginia 22314
Telephone (703)549.9678
Facsimile 549.9679

Architecture
Planning
Interior Design

Facsimile Transmittal

Date: **9 DEC. 1997**

To: **ROBIN ZEIK • 301.496.1367**

Tim Fuller
GAMBRO HEALTHCARE
1919 Charlotte Avenue
Nashville, TN 37203
(615) 320-4200
FAX: (615) 320-4598

Paul O'Brien
GHT LIMITED
1010 N. Glebe Road, Suite 200
Arlington, VA 22201-4749
(703) 243-1200
FAX: (703) 276-1376

Project: **Gambro Healthcare - Silver Spring**

Project Number: **97029**

Total Number of Pages (including cover): **2**

Hard Copy will follow via:

- Regular Mail
- Overnight

- Messenger
- Will not follow

Including:

Quantity	Date	Title
		REVISED ASK-9 - 8 1/2 x 14

Remarks:

AS REQUESTED.

From: **Bill Bonstra, RA** *[Signature]*

CC:

All information contained herein and on the accompanying pages is strictly confidential and for the intended use of the addressee. The contents of all proposals, letters, contracts, substitutions, alternates, etc. are proprietary and may not be disseminated or disclosed to any party by the addressee or other persons without the prior written consent of Burns & Associates • Architects.

Burns & Associates • Architects

MEMORANDUM**VIA FACSIMILE - 7 pages Total**

Project # 97029

DATE: 8 December 1997

TO: Robin Zeik - Montgomery County Historic Preservation Commission

FROM: Bill Bonstra, RA *WB*

RE: Historic Area Work Permit #9711050078
2 December 1997 with Conditional Approval

Enclosed: Architectural Sketch ASK-8 - Existing Conditions Plan
ASK-9 - Proposed Ramp and Stair modifications plan
ASK-10 - Existing / Proposed Stair Section
ADA Section 4.8 (2 pages)

CC: Tim Fuller - Gambro Healthcare

I am in receipt of your approval memorandum to allow the construction of a required ADA handicapped ramp at the front of the subject property. We have discussed the pertinent building code issues with Mr. Mario De La Puente of the Montgomery County Building Code Review Branch (301.217.6186) and have the following response to the conditions of your approval as follows:

- (1) The proposed top landing will be constructed of granite to match the existing steps with mortar which is not rich in Portland Cement as requested to assure reversibility.
- (2) The top right ornamental rail section will be carefully removed and
- (3) The top left ornamental rail section will remain in place. We have discussed the remaining rail height non-conformity with Mr. De La Puente who stated that since it is an existing condition, involving an historic railing, that it can remain as existing without modification.
- (4) The center ornamental stair rail section will remain in place. To satisfy the required building code handrail height and extensions at the top and bottom, we propose to install a 1 1/4" diameter painted metal pipe handrail as shown on ASK-8-10 dated 8 December 1997. The handrail would project 1'-0" at the top of the

311 Cameron Street Alexandria, Virginia 22314
703.549.9678


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: Dec 2, 1997

MEMORANDUM

TO: Robert Hubbard, Chief
 Division of Development Services and Regulation
 Department of Environmental Protection (DEP)

FROM: Gwen Marcus, ^{DMC}Historic Preservation Coordinator
 Design, Zoning, and Preservation Division
 M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: (1) New Landing will be made of granite, to match existing front steps, + shall be installed with a mortar which is not rich in portland cement to assure reversability; (2) The top right rail segment will be carefully removed, + either incorporated into the new design on site, or shall be stored offsite of a preservation organization; (3) The other 2 handrail segments shall remain in place; (4) The applicant to return to HPC w/ center rail design changes; and (5) If the inadequacies of the drawings lead to any design

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP). ^{changes, the applicant shall return to the HPC for review/approval.}

Applicant: Douglas Development

Address: 11611 Old Georgetown Rd, Suite 200, Rockville, Md. 20852

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

RE: OLD SILVER SPRING POST OFFICE (# 36/11)



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BILL BONSTRA

Daytime Phone No.: 703-549-9678

Tax Account No.: 01047194

Name of Property Owner: DOUGLAS DEVELOPMENT Daytime Phone No.: 301, 984, 8400

Address: 11611 OLD GEORGETOWN RD SUITE 200 ROCKVILLE MD 20852
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: _____

Contractor Registration No.: _____

Agent for Dwher: CARLOS ROTAS ARCH. SERVICES Daytime Phone No.: 202.234.7345

LOCATION OF BUILDING/PREMISE

House Number: 8412 Street: GEORGIA AVENUE

Town/City: SILVER SPRING Nearest Cross Street: WAYNE AVE.

Lot: P-5 Block: 0 Subdivision: 22

Liber: _____ Folio: _____ Parcel: PS

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: COMMERCIAL TENANT

1B. Construction cost estimate: \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

NA T
Signature of owner or authorized agent NORMAN JEMAL UP/SEC. D.D.O Date 11-3-97

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: Dec. 2, 1997

Application/Permit No.: 9711050078 Date Filed: 11-5-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS EXISTING ONE STORY BRICK AND LIMESTONE STRUCTURE ORIGINALLY BUILT AS A U.S. POST OFFICE, WILL BE MODIFIED TO IMPLEMENT CODE REQUIREMENTS FOR A (B) BUSINESS TENANT. THE FRONT DOOR, PRESENTLY SERVED BY A FRONT STAIR, WILL BE SUPPLEMENTED WITH A HANDICAPPED RAMP REQUIRED BY ADA.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

AS REQUIRED BY THE LOCAL BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) A NEW MASONRY HANDICAPPED RAMP IS PROPOSED AS SHOWN ON THE ATTACHED DRAWINGS. THE RAMP WILL MATCH THE EXISTING CHARACTER OF THE BUILDING, WITH BRICK FACING, CONCRETE WALKING SURFACE, AND PAINTED METAL RAILS. ALL RAILS, NEW AND EXISTING AS WELL AS THE ENTRY LIGHT FIXTURES, WILL

✓ 2. SITE PLAN BE PAINTED TO ACHIEVE A 'PATINA' EFFECT.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

✓ 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

ASK 6
\$ 7

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS - INCLUDED

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

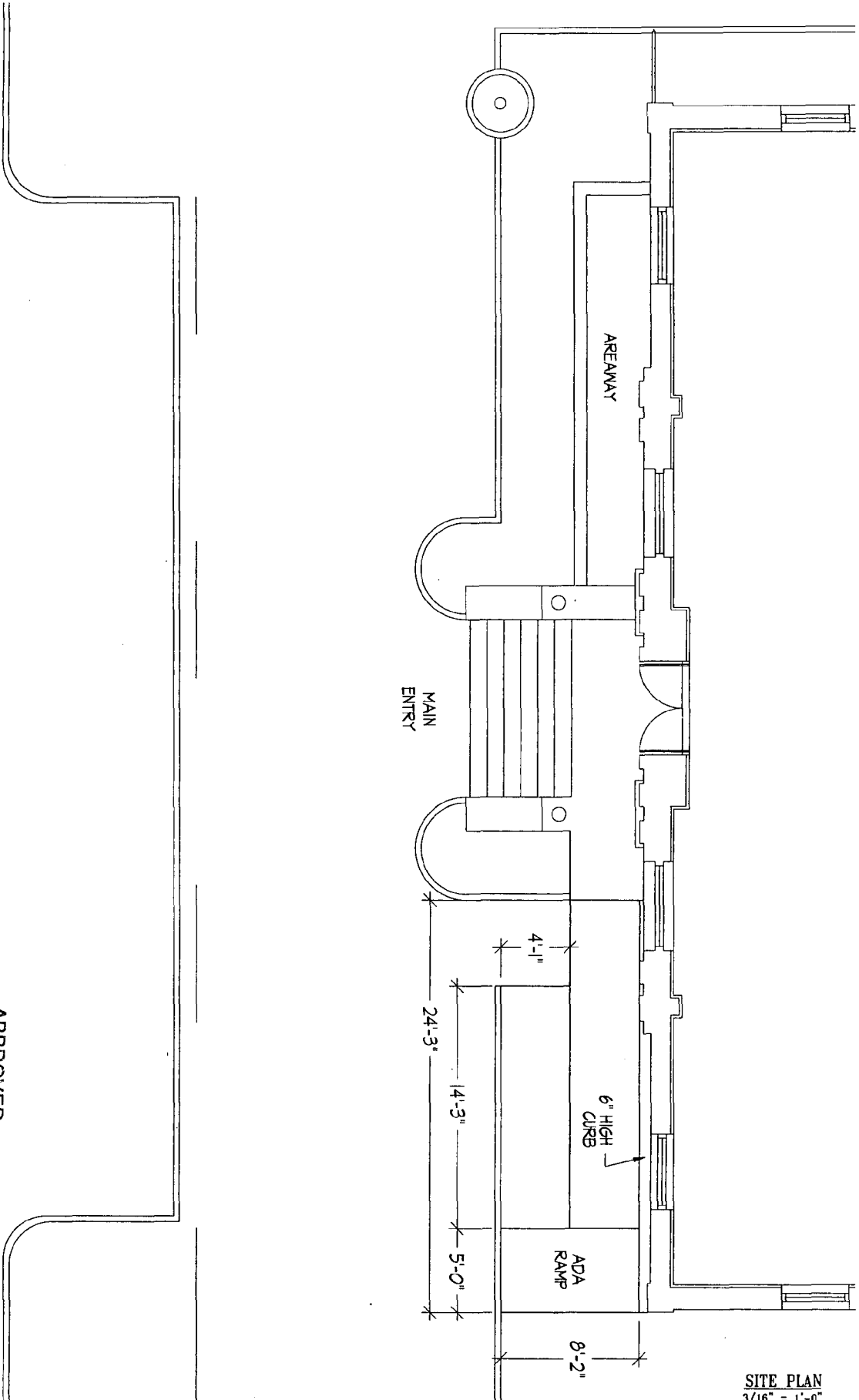
NA

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

✓ 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



GEORGIA AVENUE

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]
 DDZ
 12/21/97

SITE PLAN
 3/16" = 1'-0"
 ASK-7

BURNS & ASSOCIATES

311 CAMERON STREET
 ALEXANDRIA, VA 22314
 (703) 549-9878
 FAX (703) 549-9879

GAMBRO HEALTHCARE
 8412 Georgia Avenue
 Silver Spring, Maryland

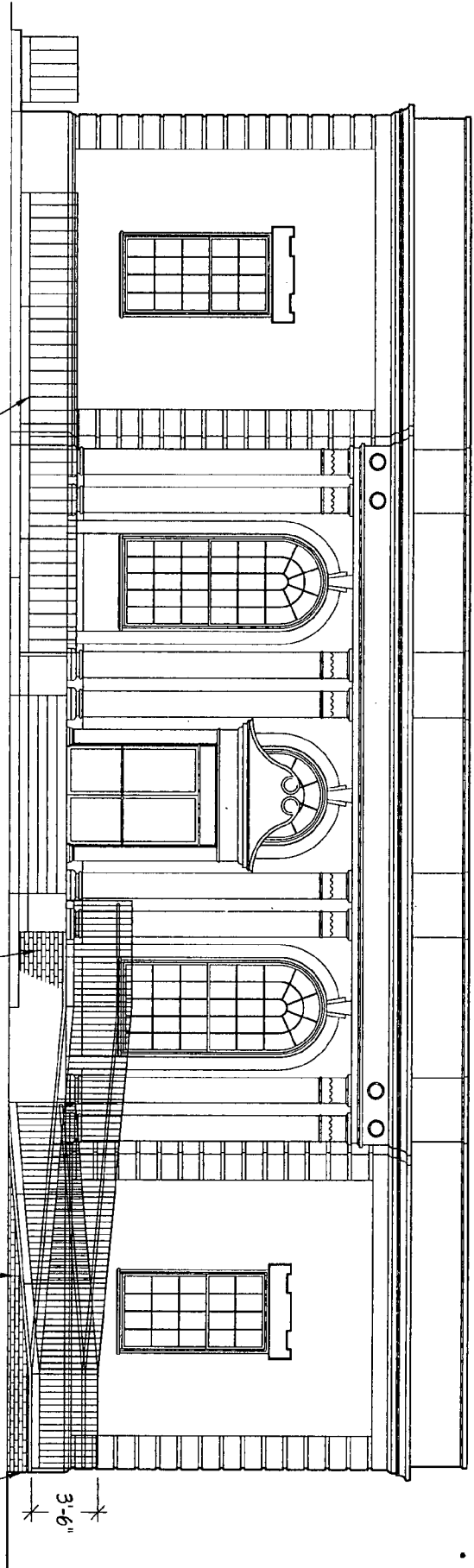
PROJECT NO: 97029
 DATE: 11.9.97

EXISTING STEEL RAIL (PAINTED)

PROPOSED BRICK FACED HC RAMP WITH PAINTED STEEL RAILS TO MATCH EXISTING.

ALIGN WITH BLDG. FACE

3'-6"



WEST ELEVATION
3/16" = 1'-0"
ASK-6

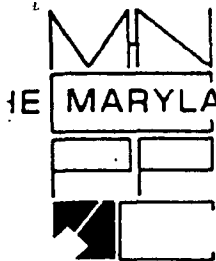
BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9679

CAMBRO HEALTHCARE
8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 47024
DATE: 11.9.97

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
RDD
12/2/97



MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: Dec 2, 1997

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, ^{PDC} Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Dec 17th - put on for
HAWP revision on
Center Rail.

- Madha progress
- David 2nd 5.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8412 Georgia Avenue

Meeting Date: 11/26/97

Resource: Old Silver Spring Post Office
Master Plan Site #36/11

Review: HAWP

Case Number: 36/11-97A

Tax Credit: No

Public Notice: 11/12/97

Report Date: 11/19/97

Applicant: Douglas Development (Dennis
Burns, AIA)

Staff: Robin D. Ziek

PROPOSAL: Handicap Ramp Installation

RECOMMENDATIONS: APPROVAL
W/CONDITIONS

PROJECT DESCRIPTION

See 015: Bldg Detail

RESOURCE: Old Silver Spring Post Office

Kidney Dialysis Provider -
w/ 6w UNN.

STYLE: Georgian Revival Style

10 yr lease w/ 2 - five yr. renewals.

DATE: 1936

This resource was built by the federal government under the WPA program, and designated on the Master Plan in 1986. The mural entitled "The Old Tavern", by Nicolai Cikovsky, was painted for this site. [This painting was permanently relocated to the Silver Spring library.] The one-story structure is brick and limestone. Full-height pilasters with Corinthian capitols frame the front door (with its broken pedimented door surround) and the two large semi-circular double-hung windows. The entrance is further emphasized with a balustrade at the roofline, which spans the length of the projecting cornice with dentils, above the stone architrave with the "United States Post Office" cut into it. The brick walls are framed with stone quoins at the corners, extending from the stone watertable to the stone fascia under the projecting cornice.

Lighting is provided at the front door with two lanterns on posts standing on the sidewalls of the stoop. Metal railings have been installed along the front steps, and the areaway to the left of the front door, as well as down the center of the front steps.

There is an existing handicapped ramp at the rear of the building, which makes the building accessible from Georgia Avenue via a sidewalk along the south side of the building. This wooden ramp was approved by the H.P.C. in 1991, and directs people to a rear door of the building.

①

PROPOSAL

The applicant proposes to install a handicapped ramp at the front of the building, providing access to the front door. The materials for the proposed ramp would match existing materials, utilizing a brick base with metal railings along the ramp's edge. The ramp would run, with a switchback, in the distance (24'-3") between the existing front steps to the right (north) edge of the building. The railing height would be 3'-6". The railing and the metal light posts at the front door would be painted to match the existing railing.

The ramp would rise to the height of the existing cheekwall of the front steps, upon which sits one of the lamp posts. A concrete landing would be installed on top of the existing limestone landing to bring the level of the ramp up to the level of the front door. One short section of wrought iron rail would be removed at the junction of the ramp and the steps.

granite

The new tenants provide a medical service, and envision that clients will be dropped off at the facility on Georgia Avenue. There is, in fact, a pull-off/parking area directly in front of the building. A handicapped parking space is currently provided at the rear of the building.

STAFF DISCUSSION

In concept, the proposed ramp appears modest in form, using the minimum scheme necessary to achieve the proposed accessibility. The choice of materials seems appropriate, to the extent that they match the existing materials, despite the extensive railing requirement along the ramp. The new ramp has been designed to match and balance not the original railing which has a decorative medallion in a cross-bar pattern, but to match the existing railing around the areaway on the opposite side of the front steps. This areaway is currently screened with shrubbery, which matches the existing shrubbery in the spot where the new ramp is proposed.

Staff notes that there is already a handicapped ramp which makes the building accessible. The owner certain could choose to upgrade this ramp, perhaps making this a more inviting entrance. That said, staff notes that the proposed medical function of the building may bring more people in need of a ramp than would another business which was unrelated to a medical function. With that in mind, staff feels that the proposed ramp is simple, and provides a suitable transition from the paved sidewalk to the front door.

However, there are issues of reverseability and compatibility which should still be addressed. The existing stairs are limestone. The proposed use of "a poured concrete landing to bring entry to level of door and top of step wing wall" (see Circle (2)) does not seem appropriate. Staff feels that there would be problems in the future of removing this landing if a future owner chooses to restore the original steps. A more suitable choice of material would be limestone, to match the existing steps, which would be set in a mortar which is not rich in Portland cement to reduce damage possibilities to the underlying landing as well as assure reverse ability in the future.

(2)

The use of concrete as a patching material has been tested on the sidewalls of the front steps with a moderate degree of success. In that instance, and as a patching material, the concrete is a pretty good match which leaves the original limestone in place. Staff feels that the landing in front of the front door is a significant feature of the building, and the quality of the material should match the high-quality of materials used in the rest of the building.

Finally, the proposed location of the ramp will require the removal of one of the original wrought-iron railing segments along the side of the top landing. Staff feels that this should be stored with a preservation organization for some future date should a future owner choose to restore the steps to their original configuration. Staff notes that the original medallion is missing from the railing up the middle of the stairs. Perhaps the owner might choose to cast a new pair of medallions, modeled on the existing medallions, and restore the center railing as part of this project. This work would be eligible for county tax credits.

The applicant should note that any exterior signage for the building associated with the new commercial use will need HAWP review before obtaining a sign permit.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

green notes: prev. meeting notes.
blue = notes at meeting

1. The new landing will be made of ^{granite} limestone to match the existing front steps. The new stone will be installed with mortar which is not rich in Portland cement to assure reverseability, ~~as per other approved methods~~
 2. The rail segment to be removed at the top of the stairs by the new ramp will be carefully removed and stored with a preservation organization, such as Montgomery County Historical Society, for some future date when it might be reused on site. - ~~or be incorporated into the new design on site without damaging it.~~
 3. The other two existing wrought iron handrail segments to remain in place. ~~Adjacent to limestone base of bldg. How to address that? See 015~~
- and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

4. If the inadequacies of any of the drawings lead to any changes in the design before HPC, come back to HPC.
5. Applicant has to come back w/ any design changes to the center rail. (3)

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BILL BONSTRA

Daytime Phone No.: 103.649.9678

Tax Account No.: 01047194

Name of Property Owner: DOUGLAS DEVELOPMENT Daytime Phone No.: 301.984.8400

Address: 11611 OLD GEORGETOWN RD SUITE 200 ROCKVILLE MD 20852
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: —

Contractor Registration No.: —

Agent for Owner: CARLOS ROTAS ARCH. SERVICES Daytime Phone No.: 202.234.7345

LOCATION OF BUILDING/PREMISE

House Number: 8412 Street: GEORGIA AVENUE

Town/City: SILVER SPRING Nearest Cross Street: WAYNE AVE.

Lot: P-5 Block: 0 Subdivision: 22

Liber: _____ Folio: _____ Parcel: PS

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: COMMERCIAL TENANT

1B. Construction cost estimate: \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

NORMAN JEMAL UP/SEC. D.D.O

11.3.97

Date

(4)

Approved:

For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS EXISTING ONE STORE BRICK AND LIMESTONE STRUCTURE ORIGINALLY BUILT AS A U.S. POST OFFICE, WILL BE MODIFIED TO IMPLEMENT CODE REQUIREMENTS FOR A (B) BUSINESS TENANT. THE FRONT DOOR, PRESENTLY SERVED BY A FRONT STAIR, WILL BE SUPPLEMENTED WITH A HANDICAPPED RAMP REQUIRED BY ADA.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

AS REQUIRED BY THE LOCAL BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) A NEW MASONRY HANDICAPPED RAMP IS PROPOSED AS SHOWN ON THE ATTACHED DRAWINGS. THE RAMP WILL MATCH THE EXISTING CHARACTER OF THE BUILDING, WITH BRICK FACING, CONCRETE WALKING SURFACE, AND PAINTED METAL RAILS. ALL RAILS, NEW AND EXISTING AS WELL AS THE ENTRY LIGHT FIXTURES, WILL BE PAINTED TO ACHIEVE A 'PATINA' EFFECT.

✓ 2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

✓ 3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** - INCLUDED

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

5

36/11-97A
Bill Bonstra
Douglas Development
11611 Old Georgetown Dr. #200
Rockville, MD 20852

Charles & M.L. Levin
11151 Viers Mill Road
Wheaton, MD 20902

Yee M. & S.Y. Kiang
631 Northwood Terrace
Silver Spring, MD 20902

Carribelle W. Conway
8408 Georgia Avenue
Silver Spring, MD 20910

Hyman & D.M. Rubin
8404 Georgia Avenue #100
Silver Spring, MD 20910

Yee M. & S.& Kiang
8411 Georgia Avenue
Silver Spring, MD 20910

Alan J. Levin, et al
11151 Viers Mill Road
Wheaton, MD 20902

Muhsen A. & M.G. Haddad
7826 Eastern Ave. N.W. #205
Washington, DC 20012

Robert Sugar & Helen Rea
5 Sussex Road
Silver Spring, MD 20910-5435

Georgia Ave. Assoc. Ltd. Ptrshp.
1100 Wayne Avenue, Suite 100
Silver Spring, MD 20910-5603

Burns & Associates • Architects

311 Cameron Street
Alexandria, Virginia 22314
Telephone (703)549.9678
Facsimile 549.9679

Architecture
Planning
Interior Design

Transmittal

Date: **5 November 1997**

To: **Commissioner**

Company: **Historic Preservation Commission
250 Hungerford Drive
Rockville MD 20850**

Project: **Gambro Healthcare
8412 Georgia Avenue, Silver Spring Maryland**

Project Number: **97029**

Via:

Regular Mail
 Overnight

Messenger- **Hand**
 Other

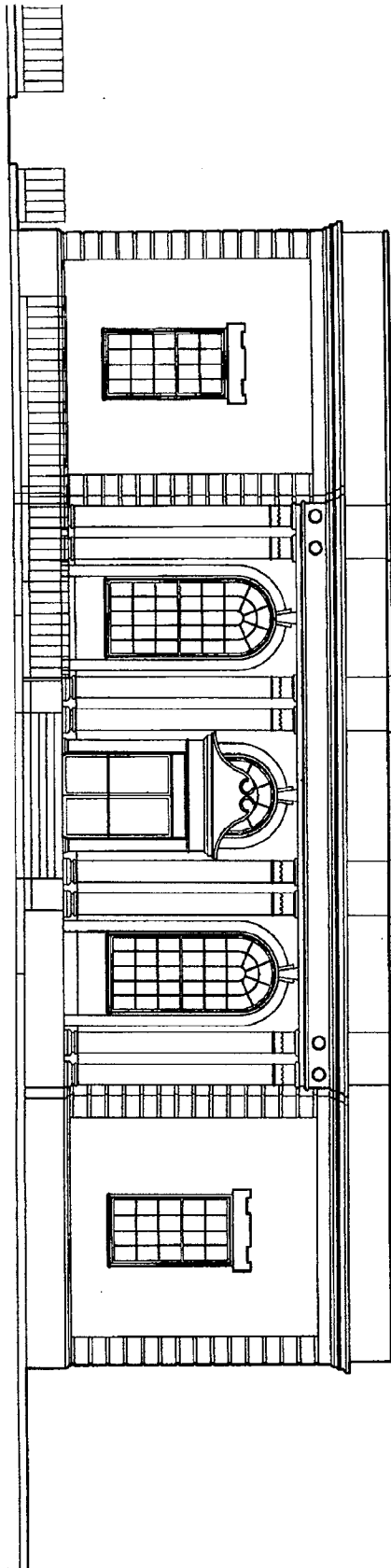
Including:

Quantity	Date	Title
1	3 November	Historic Area Work Permit Application including photographs and adjacent owner addresses.
2 each	3 November	11 x 17 submission drawings, A-6, A-7

Please find the enclosed original HAWPA for the 8412 project. Please call with any questions you may have.

From: **Bill Bonstra, RA** *WAB*
CC: **Tim Fuller - Gambro Healthcare (transmittal via facsimile)**

8



EXISTING FRONT ELEVATION

EXISTING ELEVATION
1/8" = 1'-0"

BURNS & ASSOCIATES

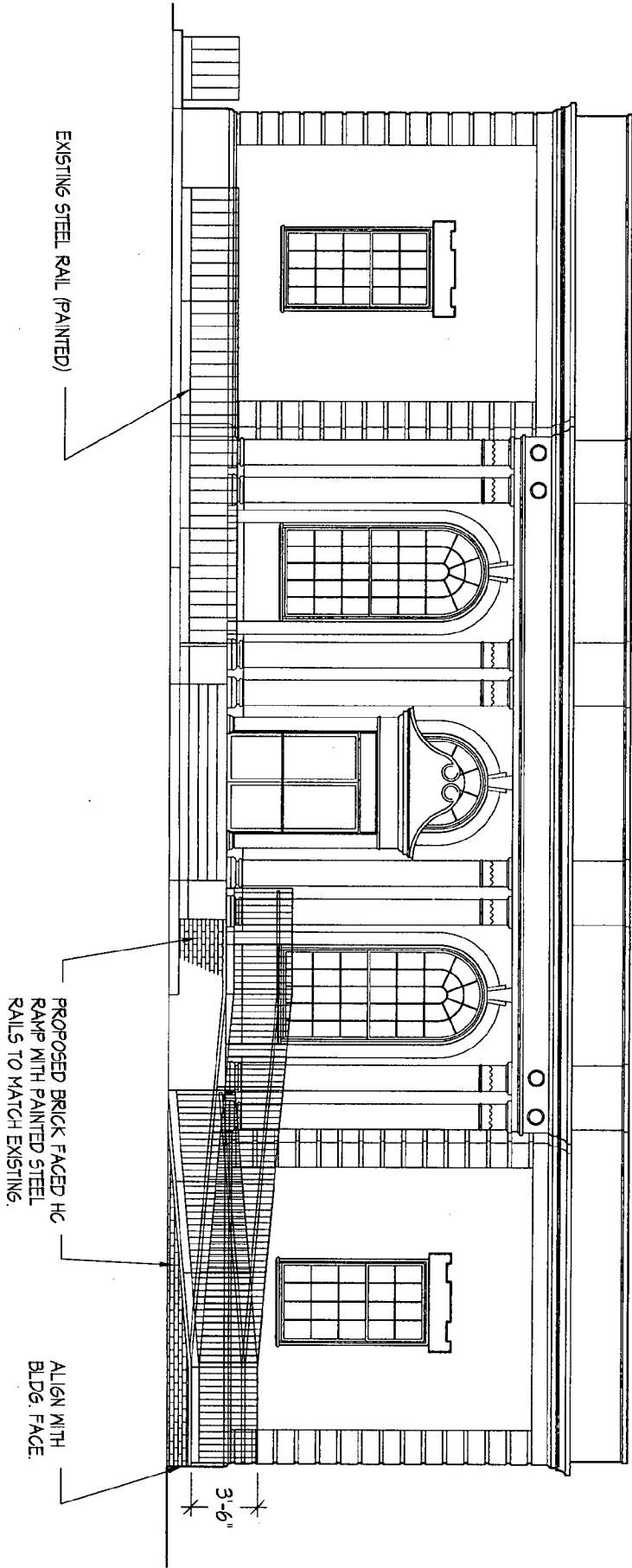
311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9879

GAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 97029
DATE: 11.10.97

6



PROPOSED FRONT ELEVATION

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9679

CAMBRO HEALTHCARE

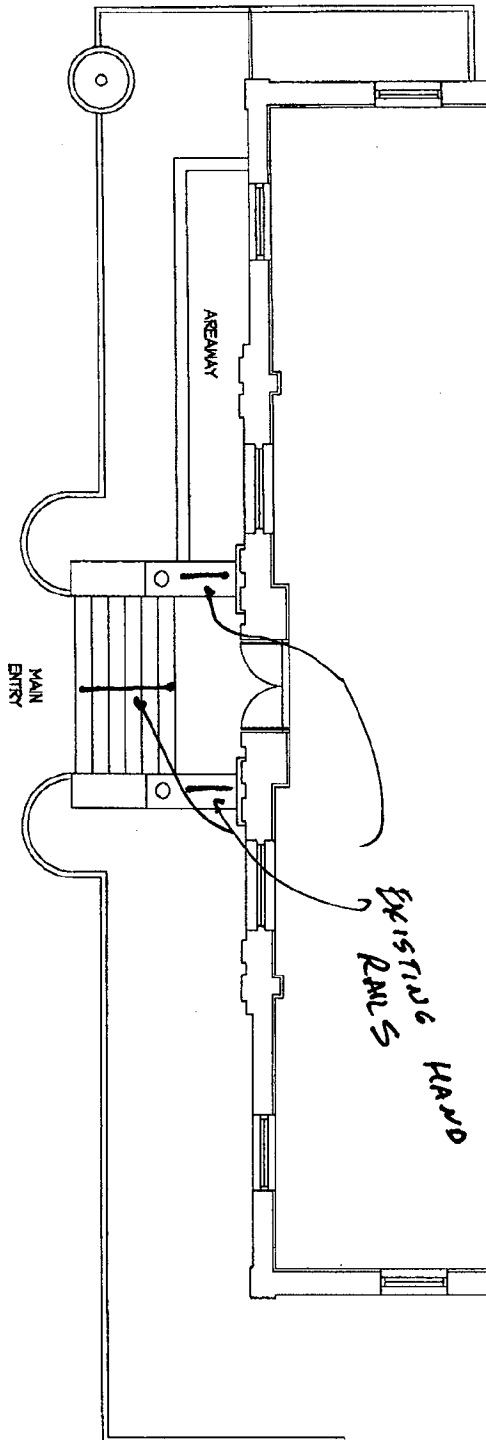
8412 Georgia Avenue
Silver Spring, Maryland

WEST ELEVATION
3/16" = 1'-0"
ASK-6

PROJECT NO: 97024
DATE: 11.9.97

01

GEORGIA AVENUE



EXISTING SITE PLAN (partial)

EXISTING PLAN
1/8" = 1'-0"

BURNS & ASSOCIATES

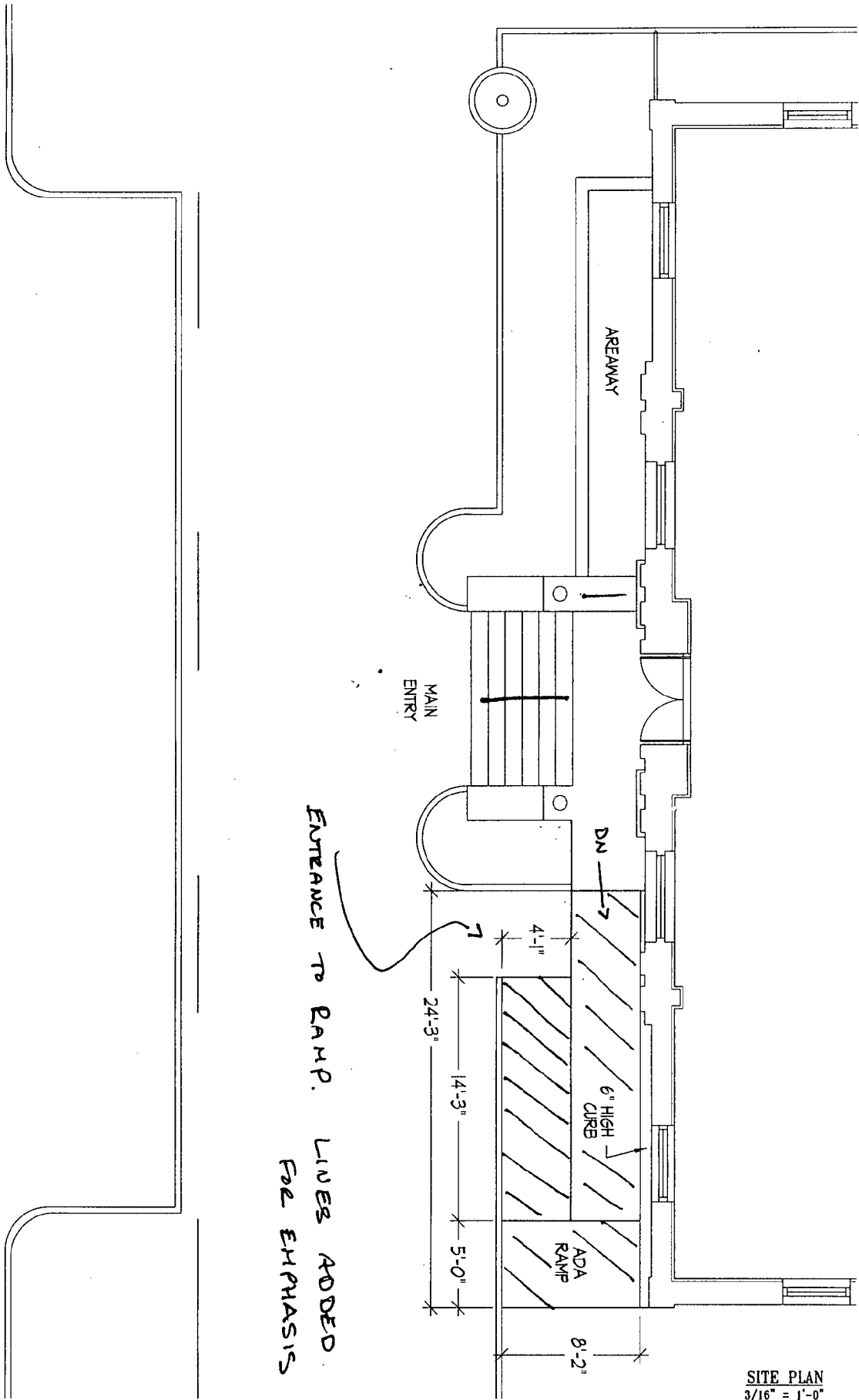
311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9879

CAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 91024
DATE: 11.10.97

(11)



GEORGIA AVENUE

ENTRANCE TO RAMP. LINES ADDED FOR EMPHASIS

SITE PLAN
3/16" = 1'-0"
ASK-7

PROPOSED SITE PLAN

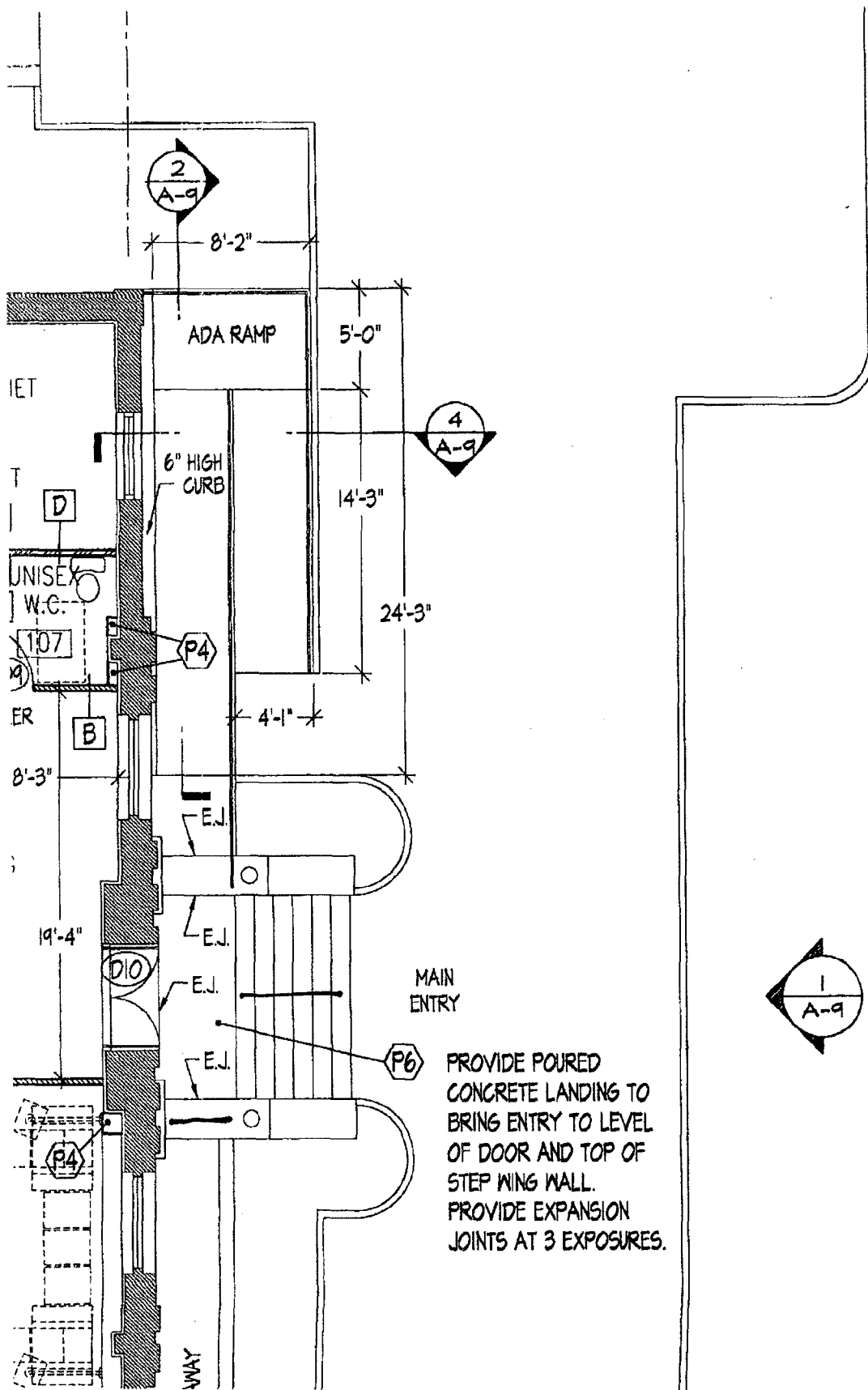
BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9876
FAX (703) 549-9879

CAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 91029
DATE: 11.3.97

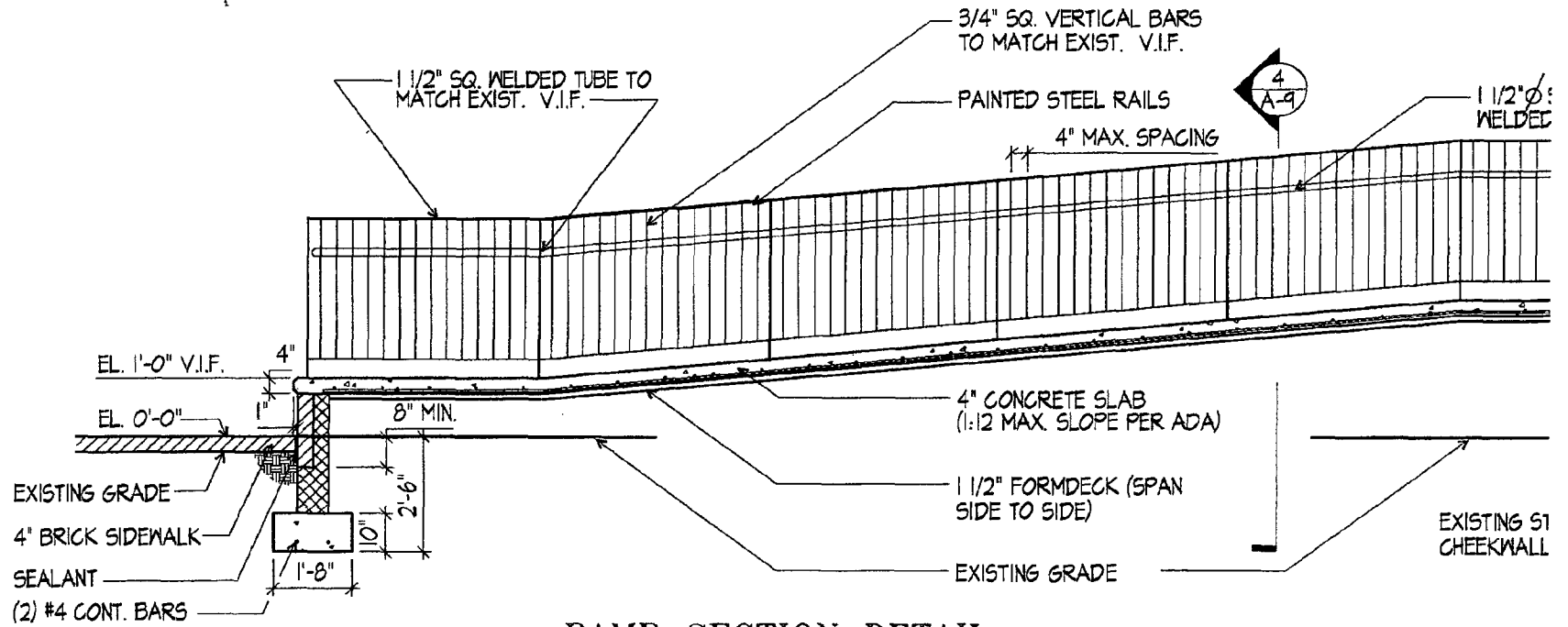


MAIN ENTRY

P6 PROVIDE POURED CONCRETE LANDING TO BRING ENTRY TO LEVEL OF DOOR AND TOP OF STEP WING WALL. PROVIDE EXPANSION JOINTS AT 3 EXPOSURES.

GEORGIA AVENUE

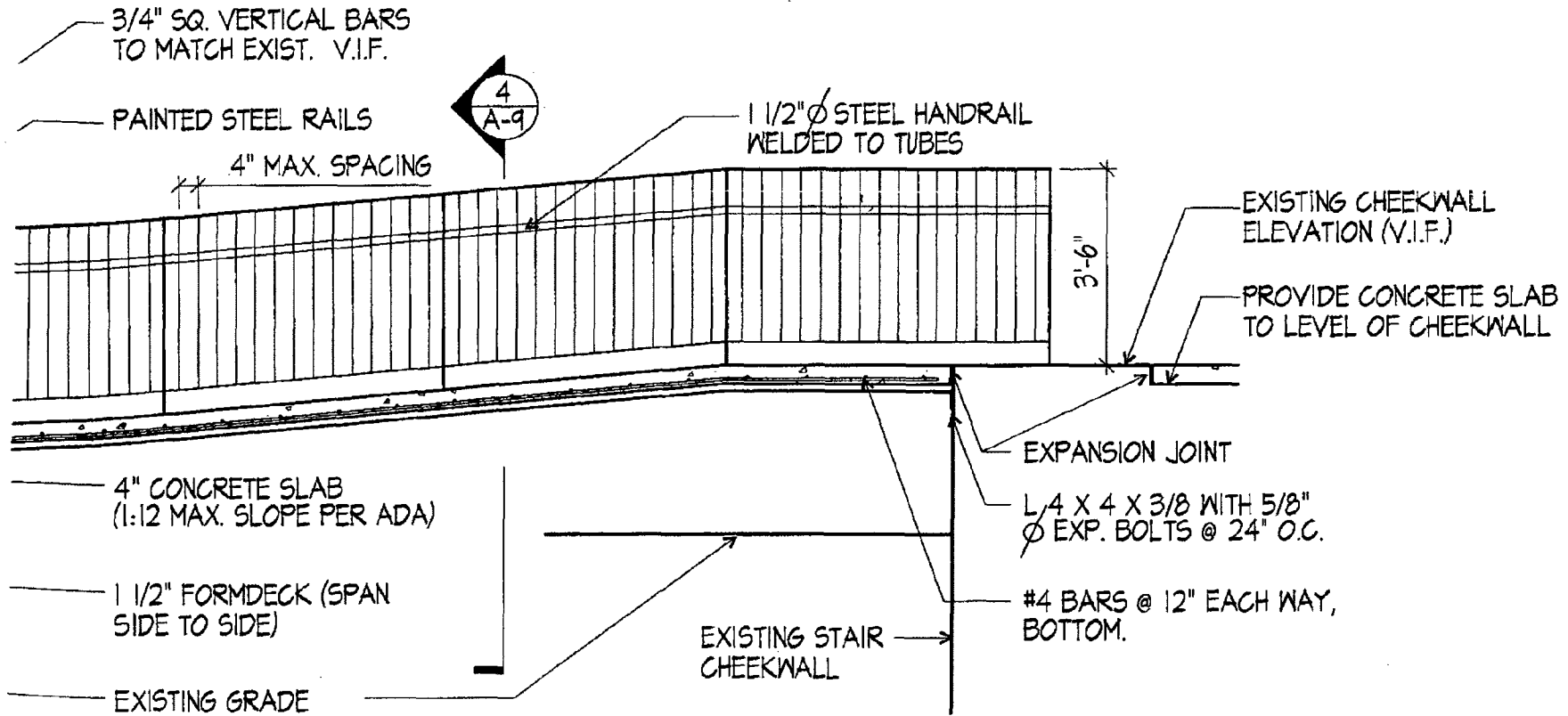
PART 1 OF 2



2 RAMP SECTION DETAIL
 3/8" = 1'-0"

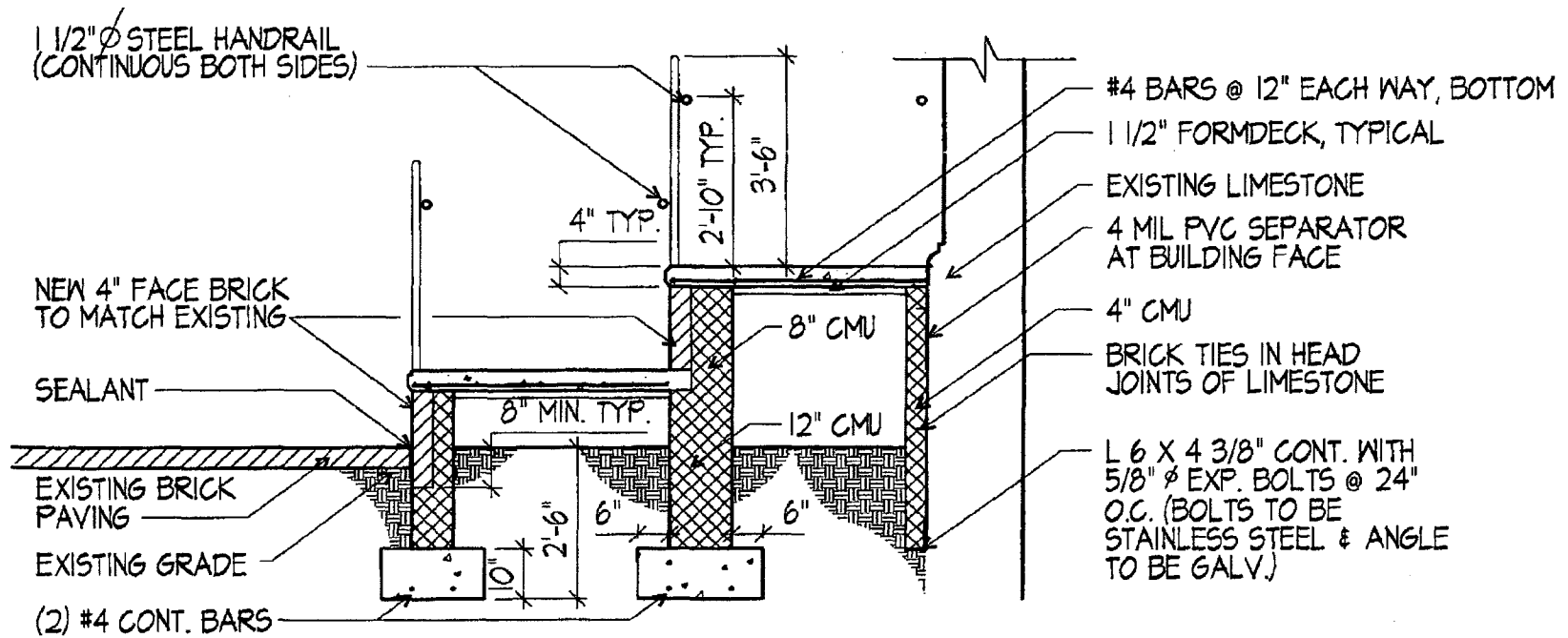
13

PART 2 OF 2



DETAIL

14



RAMP SECTION DETAIL

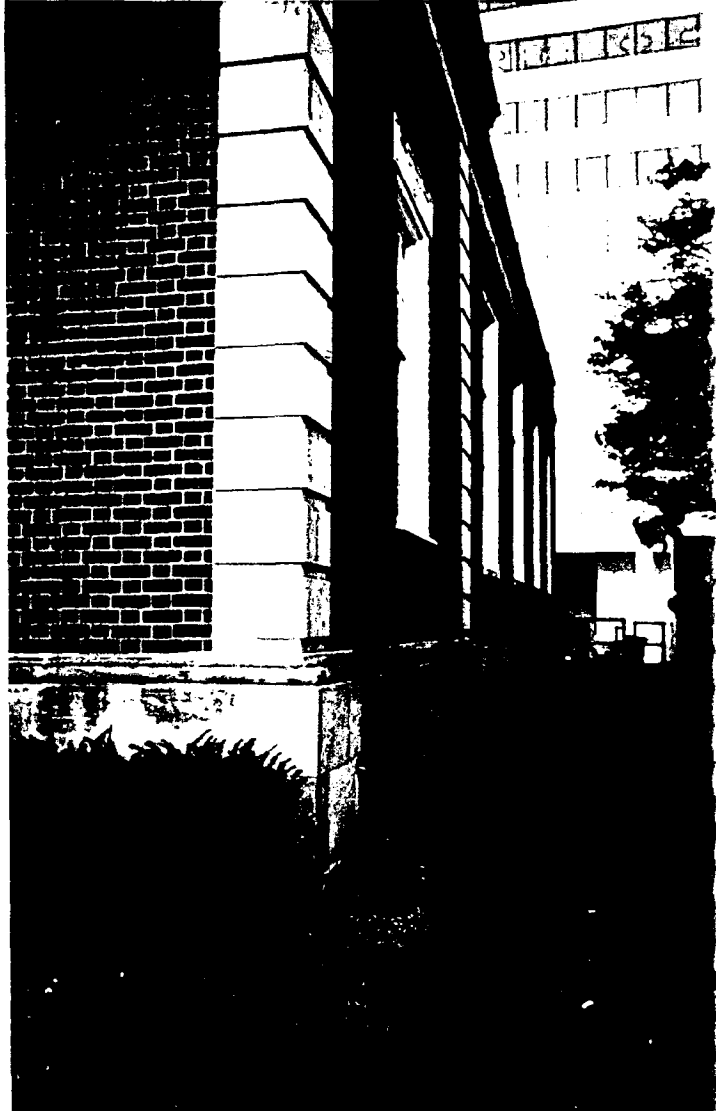
4

3/8" = 1'-0"

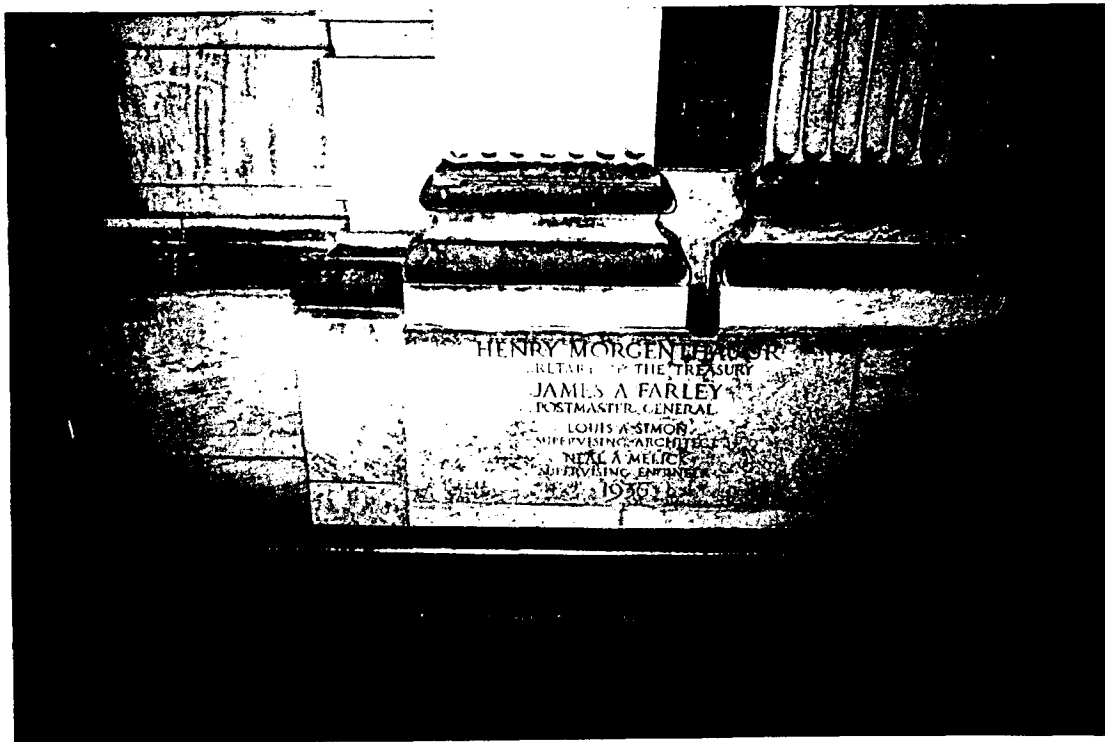
15



FRONT ELEVATION



RIGHT SIDE ELEVATION

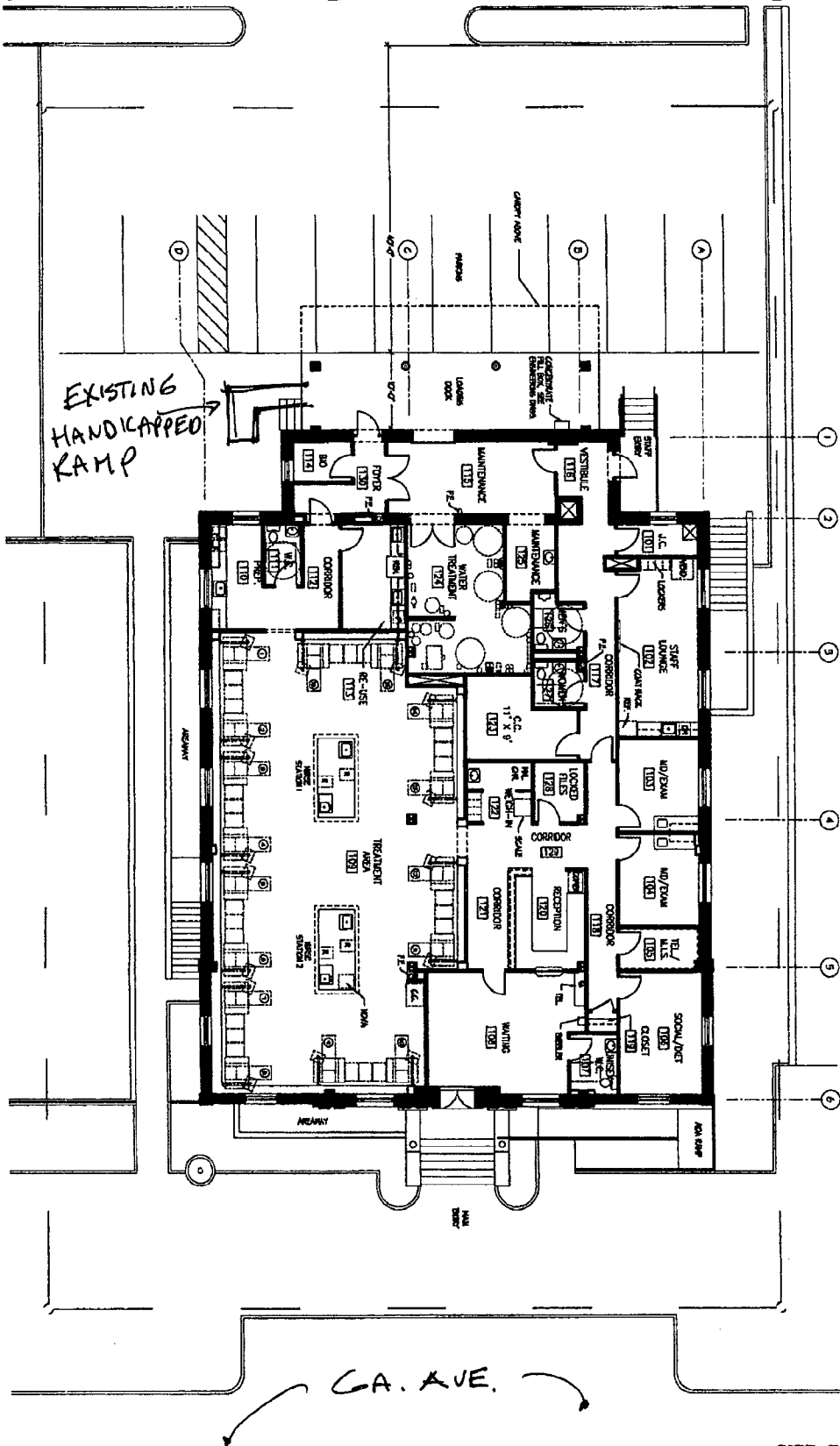


FRONT DETAIL



LEFT SIDE ELEVATION

SIDEWALK TO HANDICAPPED
RAMP @ REAR OF BLDG.



BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9879

GAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 91029

DATE: 11.21.97

SITE PLAN
1/16" = 1'-0"

PROPOSED
SITE PLAN

Burns & Associates • Architects

311 Cameron Street
 Alexandria, Virginia 22314
 Telephone (703)549.9678
 Facsimile 549.9679

Architecture
 Planning
 Interior Design

Facsimile Transmittal

Date: **21 November 1997**

To: **Robyn Ziek**

FAX: **301-495-1307**

Project: **Gambro Healthcare - Silver Spring**

Project Number: **97029**

Total Number of Pages (including cover): **2**

Hard Copy will follow via:

- Regular Mail
 Overnight

- Messenger
 Will not follow

Including:

Quantity	Date	Title
1 copy	N/A	Site / Floor plan

Remarks:

Per your request.

From: **Susanna Lee**

CC:

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Burns & Associates • Architects

311 Cameron Street
 Alexandria, Virginia 22314
 Telephone (703)549.9678
 Facsimile 549.9679

Architecture
 Planning
 Interior Design

Facsimile Transmittal

Date: **21 November 1997**

To: **Robyn Ziek**

FAX: 301-495-1307

Project: **Gambro Healthcare - Silver Spring**

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Hard Copy will follow via:

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 Will not follow

Including:

Quantity	Date	Title
1 copy	N/A	Site / Floor plan

Remarks:

Per your request.

From: **Susanna Lee**

CC:

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Burns & Associates • Architects

311 Cameron Street
Alexandria, Virginia 22314
Telephone (703)549.9678
Facsimile 549.9679

Architecture
Planning
Interior Design

Transmittal

Date: 5 November 1997

To: Commissioner

Company: Historic Preservation Commission
250 Hungerford Drive
Rockville MD 20850

Project: Gambro Healthcare
8412 Georgia Avenue, Silver Spring Maryland

Project Number: 97029

Via:

Regular Mail
 Overnight

Messenger- Hand
 Other

Including:

Quantity	Date	Title
1	3 November	Historic Area Work Permit Application including photographs and adjacent owner addresses.
2 each	3 November	11 x 17 submission drawings, A-6, A-7

Please find the enclosed original HAWPA for the 8412 project. Please call with any questions you may have.

From: Bill Bonstra, RA *WAB*
CC: Tim Fuller - Gambro Healthcare (transmittal via facsimile)

Burns & Associates • Architects

311 Cameron Street
 Alexandria, Virginia 22314
 Telephone (703)549.9678
 Facsimile 549.9679

Architecture
 Planning
 Interior Design

Facsimile Transmittal

Date: 18 NOV 1997

Name: ROBYN ZIEK

Company: HISTORIC PRESERVATION COMM.

Facsimile Number: (301) 495-1307

Project: GAMBRO-SILV SPRG Project Number: 97029

Total Number of pages including cover: 3

Hard Copy will follow via:

Regular Mail
 Overnight

Messenger
 Will not follow

Including:

Date	Title
11.18.97	EXISTING ELEVATION
11.18.97	EXISTING PLAN

Remarks:

PER YOUR REQUEST.

From: SUSANNA LEE

CC:

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YEAR BUILT 00 ENCLOSED AREA 142,927 SF

22,568.00 SF

USE 600

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

OWNER INFORMATION

DISTRICT: 13 ACCT NO: 01043664

USE: COMMERCIAL

OWNER NAME: CHARLES L & M L LEVIN

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 11151 VIERS MILL RD
WHEATON

MD 20902

TRANSFERRED

FROM:

DATE: 08/30/1974 PRICE: \$98,000

DEED REFERENCE: 1) / 4564/ 48
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

LOCATION INFORMATION

DISTRICT: 13 ACCT NO: 01043664

NAME: CHARLES L & M L LEVIN

USE: COMMERCIAL

PREMISE ADDRESS
8401 GEORGIA AVE
SILVER SPRING

20910

ZONING
CBD2

LEGAL DESCRIPTION
WOLFS SUB

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 / 22 P1 80

PLAT NO :
PLAT REF:

SPECIAL TAX AREAS -

TAX CLASS: 48

PRIMARY STRUCTURE DATA
YEAR BUILT 00 ENCLOSED AREA 10,375 SF

PROPERTY LAND AREA
4,712.00 SF

COUNTY
USE
604

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

OWNER INFORMATION

DISTRICT: 13 ACCT NO: 01047310

USE: COMMERCIAL

OWNER NAME: YEE M & S Y KIANG

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 631 NORTHWOOD TERR
SILVER SPRING

MD 20902

OWNER NAME: CARRIBELLE W CONWAY

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 9021 FAIRVIEW ROAD
SILVER SPRING

MD 20910

TRANSFERRED
FROM:

DATE: 01/16/1990 PRICE: \$0

DEED REFERENCE: 1) / 9163/ 780
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M. D. A. T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

LOCATION INFORMATION

DISTRICT: 13 ACCT NO: 01047571
NAME: CARRIBELLE W CONWAY

USE: COMMERCIAL

PREMISE ADDRESS
8408 GEORGIA AVE
SILVER SPRING

20910

ZONING
CBD3

LEGAL DESCRIPTION
PT LT 10 LEES ADD 06
24/481

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 22 1A 9 80

PLAT NO :
PLAT REF:

SPECIAL TAX AREAS -

TAX CLASS: 48

PRIMARY STRUCTURE DATA
YEAR BUILT ENCLOSED AREA
00 4,388 SF

PROPERTY LAND AREA
6,046.00 SF

COUNTY
USE
599

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M. D. A. T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

OWNER INFORMATION

DISTRICT: 13 ACCT NO: 01045140

USE: COMMERCIAL

OWNER NAME: HYMAN & D M RUBIN

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 8404 GEORGIA AVE #100
SILVER SPRING

MD 20910

TRANSFERRED
FROM:

DATE: 11/18/1977 PRICE: \$138,000

DEED REFERENCE: 1) / 5023/ 893
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

TRANSFERRED

FROM:

DATE: 03/20/1974 PRICE: \$80,000

DEED REFERENCE: 1) / 4503/ 716
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

LOCATION INFORMATION

DISTRICT: 13 ACCT NO: 01047310
NAME: YEE M & S Y KIANG

USE: COMMERCIAL

PREMISE ADDRESS
8411 GEORGIA AVE
SILVER SPRING 20910

ZONING
CBD2

LEGAL DESCRIPTION
WOLFS ADD SILVER SPR
ING

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 22 2 80

FLAT NO :
FLAT REF:

SPECIAL TAX AREAS -

TAX CLASS: 48

PRIMARY STRUCTURE DATA
YEAR BUILT ENCLOSED AREA
00 5,275 SF

PROPERTY LAND AREA
2,501.00 SF

COUNTY
USE
604

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

OWNER INFORMATION

DISTRICT: 13 ACCT NO: 01047070

USE: COMMERCIAL

OWNER NAME: ALAN J LEVIN ET AL

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 11151 VIERS MILL RD
WHEATON

MD 20902

TRANSFERRED

FROM:

DATE: 08/31/1977 PRICE: \$82,000

DEED REFERENCE: 1) / 4974/ 791
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

LOCATION INFORMATION

DISTRICT: 13 ACCT NO: 01047070
NAME: ALAN J LEVIN ET AL

USE: COMMERCIAL

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 11/05/1997
MONTGOMERY COUNTY

DISTRICT: 13 ACCT NO: 01042784

USE: COMMERCIAL

OWNER NAME: MUHSEN A & M G HADDAD

PRINCIPAL
RESIDENCE
NO

MAILING ADDRESS: 7826 EASTERN AVE NW #205
WASHINGTON DC 20012

TRANSFERRED

FROM: NORBERT & C J ROLIZ

DATE: 09/16/1993 PRICE: \$390,000

DEED REFERENCE: 1) /11777/ 250
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: (F1) LOCATION INFO (F2) VALUE INFO

(F6) SELECT NEXT PROPERTY

LOCATION INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 11/05/1997
MONTGOMERY COUNTY

DISTRICT: 13 ACCT NO: 01042784
NAME: MUHSEN A & M G HADDAD

USE: COMMERCIAL

PREMISE ADDRESS ZONING LEGAL DESCRIPTION
8415 GEORGIA AVE CBD2 LOT 4 WOLFS ADD SIL
SILVER SPRING 20910 SPG

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 22 3 80

PLAT NO :
PLAT REF:

TAX CLASS: 48

SPECIAL TAX AREAS -

PRIMARY STRUCTURE DATA PROPERTY LAND AREA COUNTY
YEAR BUILT ENCLOSED AREA 4,708.00 SF USE
00 8,200 SF 604

PRESS: (F1) OWNER INFO (F2) VALUE INFO

(F6) SELECT NEXT PROPERTY

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 11/05/1997
MONTGOMERY COUNTY

DISTRICT: 13 ACCT NO: 01047571

USE: COMMERCIAL

PREMISE ADDRESS
8429 GEORGIA AVE
SILVER SPRING

20910

ZONING
CBD2

LEGAL DESCRIPTION
LT 6 WOLFS ADD

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 22 5 80

PLAT NO :
PLAT REF :

SPECIAL TAX AREAS -

TAX CLASS: 48

PRIMARY STRUCTURE DATA
YEAR BUILT ENCLOSED AREA
00 3,600 SF

PROPERTY LAND AREA
4,318.00 SF

COUNTY
USE
599

PRESS: (F1) OWNER INFO (F2) VALUE INFO

(F6) SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

OWNER INFORMATION

DISTRICT: 13 ACCT NO: 01046326

USE: COMMERCIAL

OWNER NAME: ROBERT SUGAR &
HELEN REA
MAILING ADDRESS: 6 SUSSEX ROAD
SILVER SPRING

PRINCIPAL
RESIDENCE
NO

MD 20910-5435

TRANSFERRED

FROM: YOUSSEF & YOUSSEF JNT VNT

DATE: 10/03/1997 PRICE: \$730,000

DEED REFERENCE: 1) /15203/ 645
2)

POTENTIAL TAX LIABILITY

* NONE *

TAX EXEMPT: NO

PRESS: (F1) LOCATION INFO (F2) VALUE INFO

(F6) SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM
MONTGOMERY COUNTY

11/05/1997

LOCATION INFORMATION

DISTRICT: 13 ACCT NO: 01046326

NAME: ROBERT SUGAR &

USE: COMMERCIAL

PREMISE ADDRESS
8435 GEORGIA AVE
SILVER SPRING

20910

ZONING
CBD2

LEGAL DESCRIPTION
WOLFES ADD

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP
JN33 22 7 80

PLAT NO :
PLAT REF :

SPECIAL TAX AREAS -

TAX CLASS: 48

PRIMARY STRUCTURE DATA
YEAR BUILT ENCLOSED AREA
00 15,668 SF

PROPERTY LAND AREA
5,305.00 SF

COUNTY
USE
604

PRESS: (F1) OWNER INFO (F2) VALUE INFO

(F6) SELECT NEXT PROPERTY









RIGHT SIDE ELEVATION





FRONT DETAIL





**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc.). This provides a complete record and assists with future notification on this case. This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.

DATE: 11/26/97

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: B412 GEORGIA
AVE, SILVER SPRING

NAME: DENNIS BURNS / BURNS & ASSOCIATES

COMPLETE MAILING ADDRESS: 311 CAMERON ST. ALEX, VA

REPRESENTING (INDIVIDUAL/ORGANIZATION): REPRESENTING
GAMBRO HEALTH CARE, TENANT

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation..... 7 minutes
- Comment by affected property owners on Master Plan designation..... 3 minutes
- Comment by adjacent owners/interested parties..... 3 minutes
- Comment by citizens association/interested groups..... 5 minutes
- Comment by elected officials/government representatives..... 7 minutes

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8412 Georgia Avenue Meeting Date: 11/26/97
Resource: Old Silver Spring Post Office Review: HAWP
Master Plan Site #36/11
Case Number: 36/11-97A Tax Credit: No
Public Notice: 11/12/97 Report Date: 11/19/97
Applicant: Douglas Development Staff: Robin D. Ziek
PROPOSAL: Handicap Ramp Installation RECOMMENDATIONS: APPROVAL
W/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Old Silver Spring Post Office
STYLE: Georgian Revival Style
DATE: 1936

This resource was built by the federal government under the WPA program, and designated on the Master Plan in 1986. The mural entitled "The Old Tavern", by Nicolai Cikovsky, was painted for this site. [This painting was permanently relocated to the Silver Spring library.] The one-story structure is brick and limestone. Full-height pilasters with Corinthian capitals frame the front door (with its broken pedimented door surround) and the two large semi-circular double-hung windows. The entrance is further emphasized with a balustrade at the roofline, which spans the length of the projecting cornice with dentils, above the stone architrave with the "United States Post Office" cut into it. The brick walls are framed with stone quoins at the corners, extending from the stone water-table to the stone fascia under the projecting cornice.

Lighting is provided at the front door with two lanterns on posts standing on the sidewalls of the stoop. Metal railings have been installed along the front steps, and the areaway to the left of the front door, as well as down the center of the front steps.

There is an existing handicapped ramp at the rear of the building, which makes the building accessible from Georgia Avenue via a sidewalk along the south side of the building. This wooden ramp was approved by the H.P.C. in 1991, and directs people to a rear door of the building.

PROPOSAL

The applicant proposes to install a handicapped ramp at the front of the building, providing access to the front door. The materials for the proposed ramp would match existing materials, utilizing a brick base with metal railings along the ramp's edge. The ramp would run, with a switchback, in the distance (24'-3") between the existing front steps to the right (north) edge of the building. The railing height would be 3'-6". The railing and the metal light posts at the front door would be painted to match the existing railing.

The ramp would rise to the height of the existing cheekwall of the front steps, upon which sits one of the lamp posts. A concrete landing would be installed on top of the existing limestone landing to bring the level of the ramp up to the level of the front door. One short section of wrought iron rail would be removed at the junction of the ramp and the steps.

The new tenants provide a medical service, and envision that clients will be dropped off at the facility on Georgia Avenue. There is, in fact, a pull-off/parking area directly in front of the building. A handicapped parking space is currently provided at the rear of the building.

STAFF DISCUSSION

In concept, the proposed ramp appears modest in form, using the minimum scheme necessary to achieve the proposed accessibility. The choice of materials seems appropriate, to the extent that they match the existing materials, despite the extensive railing requirement along the ramp. The new ramp has been designed to match and balance not the original railing which has a decorative medallion in a cross-bar pattern, but to match the existing railing around the areaway on the opposite side of the front steps. This areaway is currently screened with shrubbery, which matches the existing shrubbery in the spot where the new ramp is proposed.

Staff notes that there is already a handicapped ramp which makes the building accessible. The owner certain could choose to upgrade this ramp, perhaps making this a more inviting entrance. That said, staff notes that the proposed medical function of the building may bring more people in need of a ramp than would another business which was unrelated to a medical function. With that in mind, staff feels that the proposed ramp is simple, and provides a suitable transition from the paved sidewalk to the front door.

However, there are issues of reverseability and compatibility which should still be addressed. The existing stairs are limestone. The proposed use of "a poured concrete landing to bring entry to level of door and top of step wing wall" (see Circle (2)) does not seem appropriate. Staff feels that there would be problems in the future of removing this landing if a future owner chooses to restore the original steps. A more suitable choice of material would be limestone, to match the existing steps, which would be set in a mortar which is not rich in Portland cement to reduce damage possibilities to the underlying landing as well as assure reverse ability in the future.

The use of concrete as a patching material has been tested on the sidewalls of the front steps with a moderate degree of success. In that instance, and as a patching material, the concrete is a pretty good match which leaves the original limestone in place. Staff feels that the landing in front of the front door is a significant feature of the building, and the quality of the material should match the high-quality of materials used in the rest of the building.

Finally, the proposed location of the ramp will require the removal of one of the original wrought-iron railing segments along the side of the top landing. Staff feels that this should be stored with a preservation organization for some future date should a future owner choose to restore the steps to their original configuration. Staff notes that the original medallion is missing from the railing up the middle of the stairs. Perhaps the owner might choose to cast a new pair of medallions, modeled on the existing medallions, and restore the center railing as part of this project. This work would be eligible for county tax credits.

The applicant should note that any exterior signage for the building associated with the new commercial use will need HAWP review before obtaining a sign permit.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The new landing will be made of limestone to match the existing front steps. The new stone will be installed with mortar which is not rich in Portland cement to assure reverseability.
2. The rail segment to be removed at the top of the stairs by the new ramp will be carefully removed and stored with a preservation organization, such as Montgomery County Historical Society, for some future date when it might be reused on site.
3. The other two existing wrought iron handrail segments to remain in place.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BILL BONSTRA

Daytime Phone No.: 103-649-9678

Tax Account No.: 01047194

Name of Property Owner: DOUGLAS DEVELOPMENT Daytime Phone No.: 301, 984, 8400

Address: 11611 OLD GEORGETOWN RD SUITE 200 ROCKVILLE MD 20852
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: —

Contractor Registration No.: —

Agent for Owner: CARLOS ROTAS ARCH. SERVICES Daytime Phone No.: 202.234.7345

LOCATION OF BUILDING/PREMISE

House Number: 8412 Street: GEORGIA AVENUE

Town/City: SILVER SPRING Nearest Cross Street: WAYNE AVE.

Lot: P-5 Block: 0 Subdivision: 22

Liber: _____ Folio: _____ Parcel: P5

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>COMMERCIAL TENANT</u> | | | |
- 1B. Construction cost estimate: \$ 5,000
- 1C. If this is a revision of a previously approved active permit, see Permit # NA

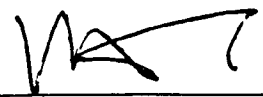
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.



Signature of owner or authorized agent

NORMAN JEMAL UP/SEC. D.D.O

11-3-97

Date

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS EXISTING ONE STORE BRICK AND LIMESTONE STRUCTURE ORIGINALLY BUILT AS A U.S. POST OFFICE, WILL BE MODIFIED TO IMPLEMENT CODE REQUIREMENTS FOR A (B) BUSINESS TENANT. THE FRONT DOOR, PRESENTLY SERVED BY A FRONT STAIR, WILL BE SUPPLEMENTED WITH A HANDICAPPED RAMP REQUIRED BY ADA.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

AS REQUIRED BY THE LOCAL BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT (ADA) A NEW MASONRY HANDICAPPED RAMP IS PROPOSED AS SHOWN ON THE ATTACHED DRAWINGS. THE RAMP WILL MATCH THE EXISTING CHARACTER OF THE BUILDING, WITH BRICK FACING, CONCRETE WALKING SURFACE, AND PAINTED METAL RAILS. ALL RAILS, NEW AND EXISTING AS WELL AS THE ENTRY LIGHT FIXTURES, WILL BE PAINTED TO ACHIEVE A 'PATINA' EFFECT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS - INCLUDED

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

5

36/11-97A
Bill Bonstra
Douglas Development
11611 Old Georgetown Dr. #200
Rockville, MD 20852

Charles & M.L. Levin
11151 Viers Mill Road
Wheaton, MD 20902

Yee M. & S.Y. Kiang
631 Northwood Terrace
Silver Spring, MD 20902

Carrabelle W. Conway
8408 Georgia Avenue
Silver Spring, MD 20910

Hyman & D.M. Rubin
8404 Georgia Avenue #100
Silver Spring, MD 20910

Yee M. & S.& Kiang
8411 Georgia Avenue
Silver Spring, MD 20910

Alan J. Levin, et al
11151 Viers Mill Road
Wheaton, MD 20902

Muhsen A. & M.G. Haddad
7826 Eastern Ave. N.W. #205
Washington, DC 20012

Robert Sugar & Helen Rea
5 Sussex Road
Silver Spring, MD 20910-5435

Georgia Ave. Assoc. Ltd. Ptrshp.
1100 Wayne Avenue, Suite 100
Silver Spring, MD 20910-5603

Burns & Associates • Architects

311 Cameron Street
Alexandria, Virginia 22314
Telephone (703)549.9678
Facsimile 549.9679

Architecture
Planning
Interior Design

Transmittal

Date: **5 November 1997**
To: **Commissioner**
Company: **Historic Preservation Commission
250 Hungerford Drive
Rockville MD 20850**
Project: **Gambro Healthcare
8412 Georgia Avenue, Silver Spring Maryland**
Project Number: **97029**

Via: Regular Mail Messenger- **Hand**
 Overnight Other

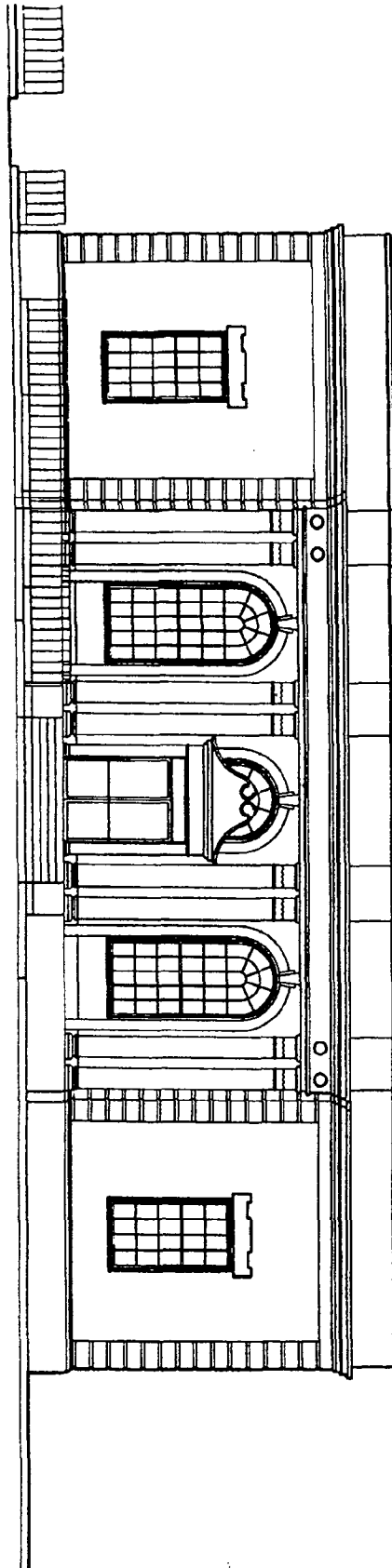
Including:

Quantity	Date	Title
1	3 November	Historic Area Work Permit Application including photographs and adjacent owner addresses.
2 each	3 November	11 x 17 submission drawings, A-6, A-7

Please find the enclosed original HAWPA for the 8412 project. Please call with any questions you may have.

From: **Bill Bonstra, RA**
CC: **Tim Fuller - Gambro Healthcare (transmittal via facsimile)**

8



EXISTING Floor ELEVATION

EXISTING ELEVATION
1/8" = 1'-0"

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9879

CAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 97029

DATE: 11.10.97

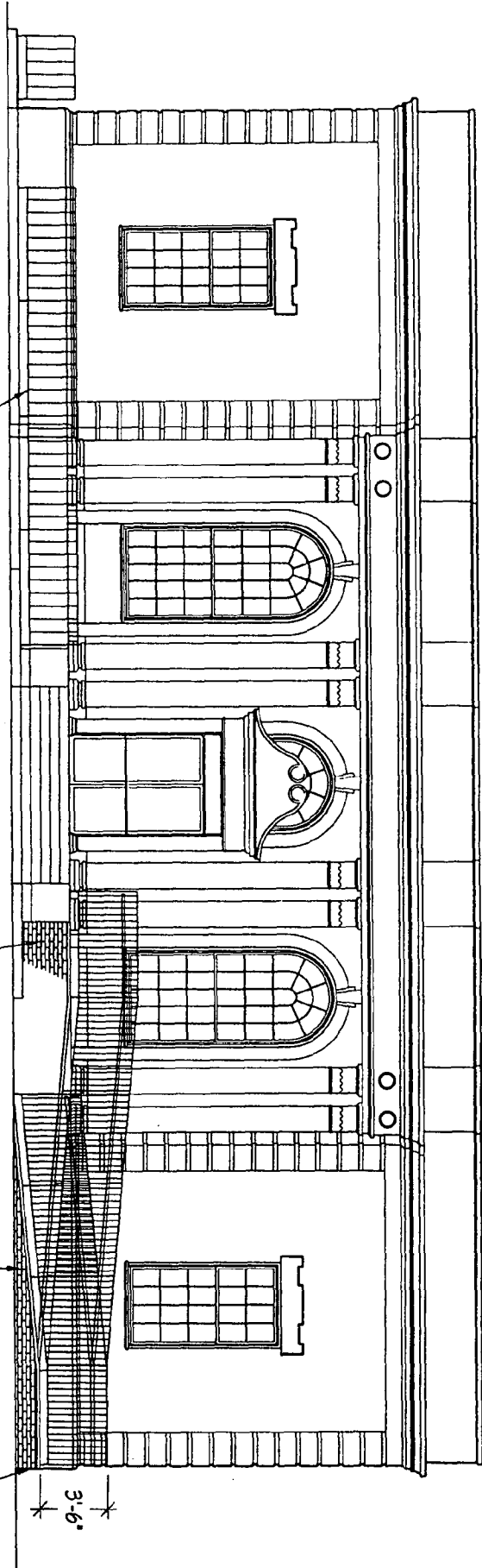
6

EXISTING STEEL RAIL (PAINTED)

PROPOSED BRICK FACED HC
RAMP WITH PAINTED STEEL
RAILS TO MATCH EXISTING.

ALIGN WITH
BLDG. FACE.

3'-6"



PROPOSED FRONT ELEVATION

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9678

CAMBRO HEALTHCARE
8412 Georgia Avenue
Silver Spring, Maryland

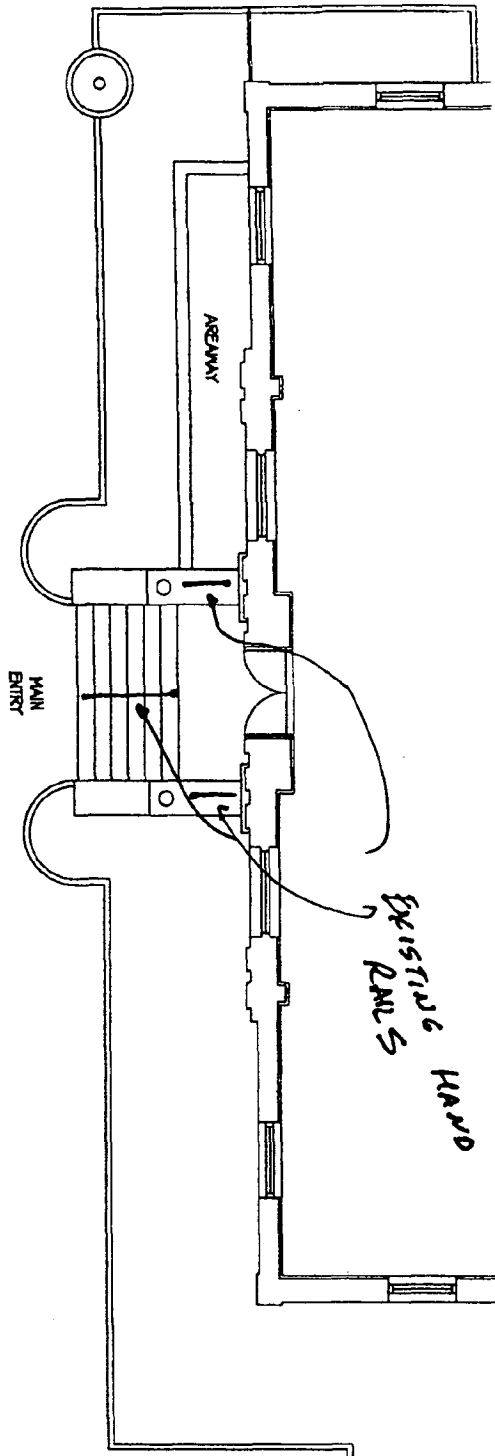
WEST ELEVATION
3/16" = 1'-0"
ASK-6

PROJECT NO: 97024
DATE: 11.5.97

0/

GEORGIA AVENUE

EXISTING SITE PLAN (partial)



EXISTING PLAN
1/8" = 1'-0"

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9878
FAX (703) 549-9679

GAMBRO HEALTHCARE

8412 Georgia Avenue
Silver Spring, Maryland

PROJECT NO: 97029

DATE: 11.10.97

(11)

GEORGIA AVENUE

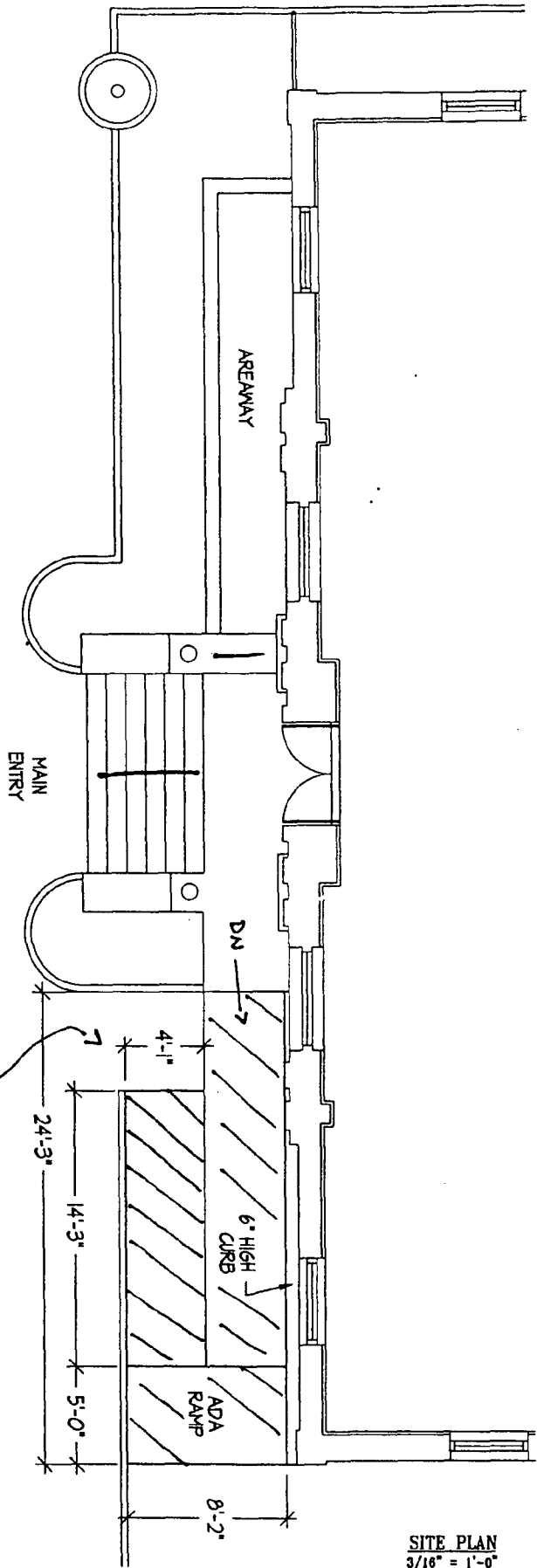
PROPOSED SITE PLAN

BURNS & ASSOCIATES

311 CAMERON STREET
ALEXANDRIA, VA 22314
(703) 549-9678
FAX (703) 549-9679

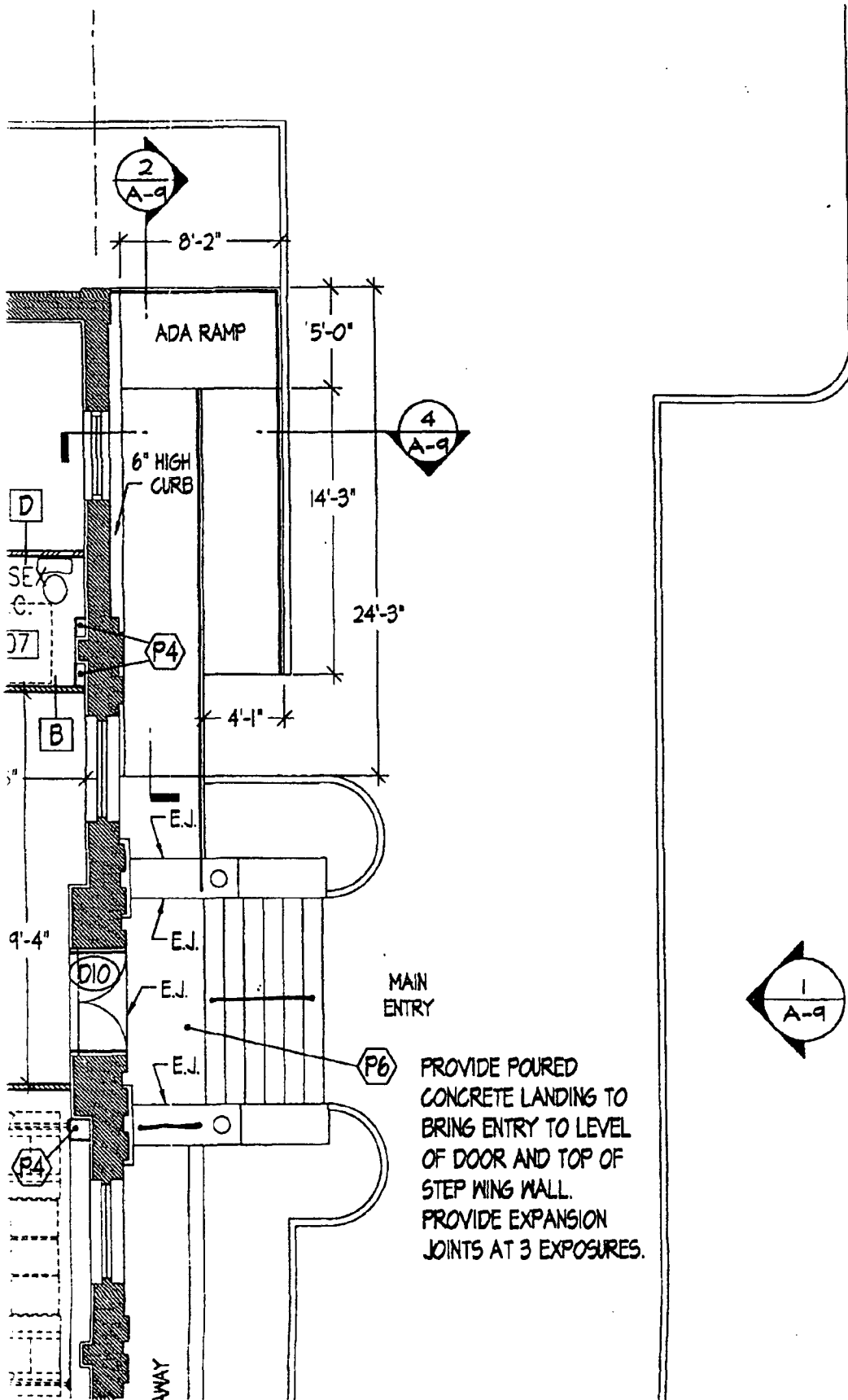
ENTRANCE TO RAMP. LINES ADDED FOR EMPHASIS

CAMBRO HEALTHCARE
8412 Georgia Avenue
Silver Spring, Maryland



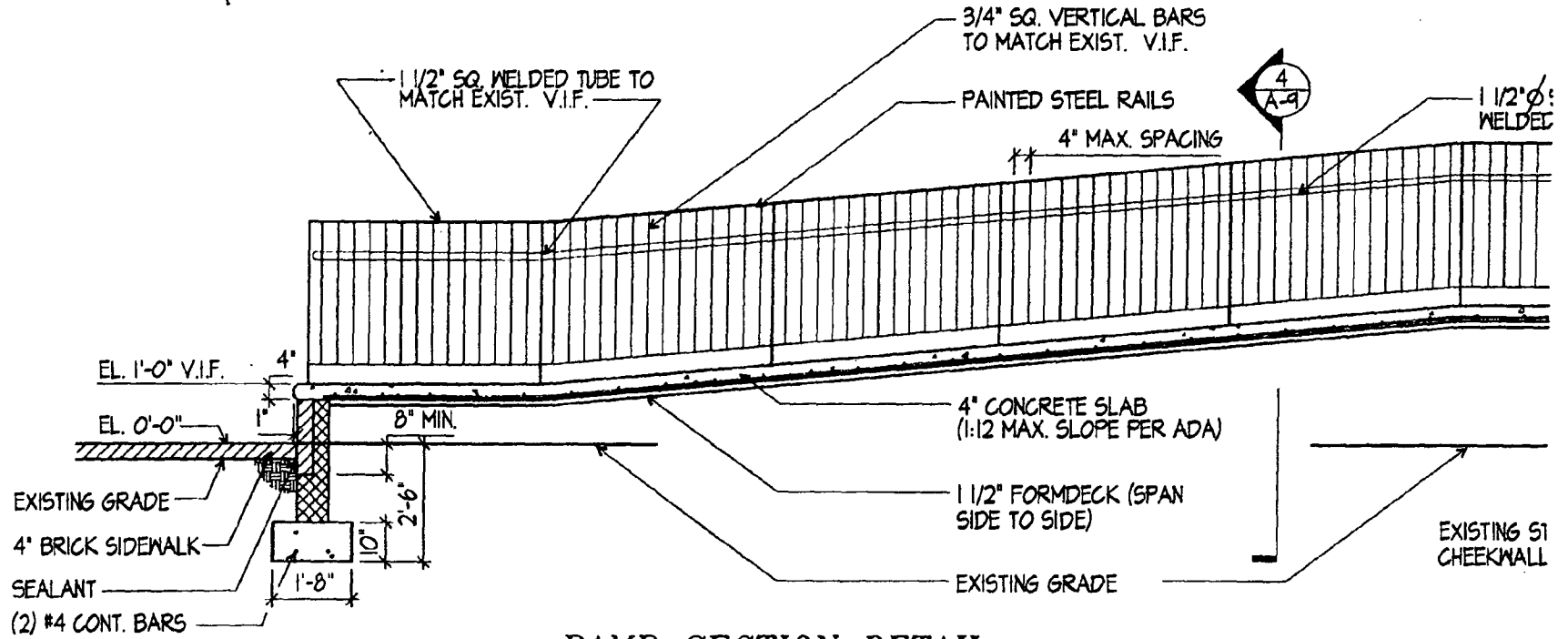
SITE PLAN
3/16" = 1'-0"
ASK-7

PROJECT NO: 97024
DATE: 11.97



GEORGIA AVENUE

PART 1 OF 2



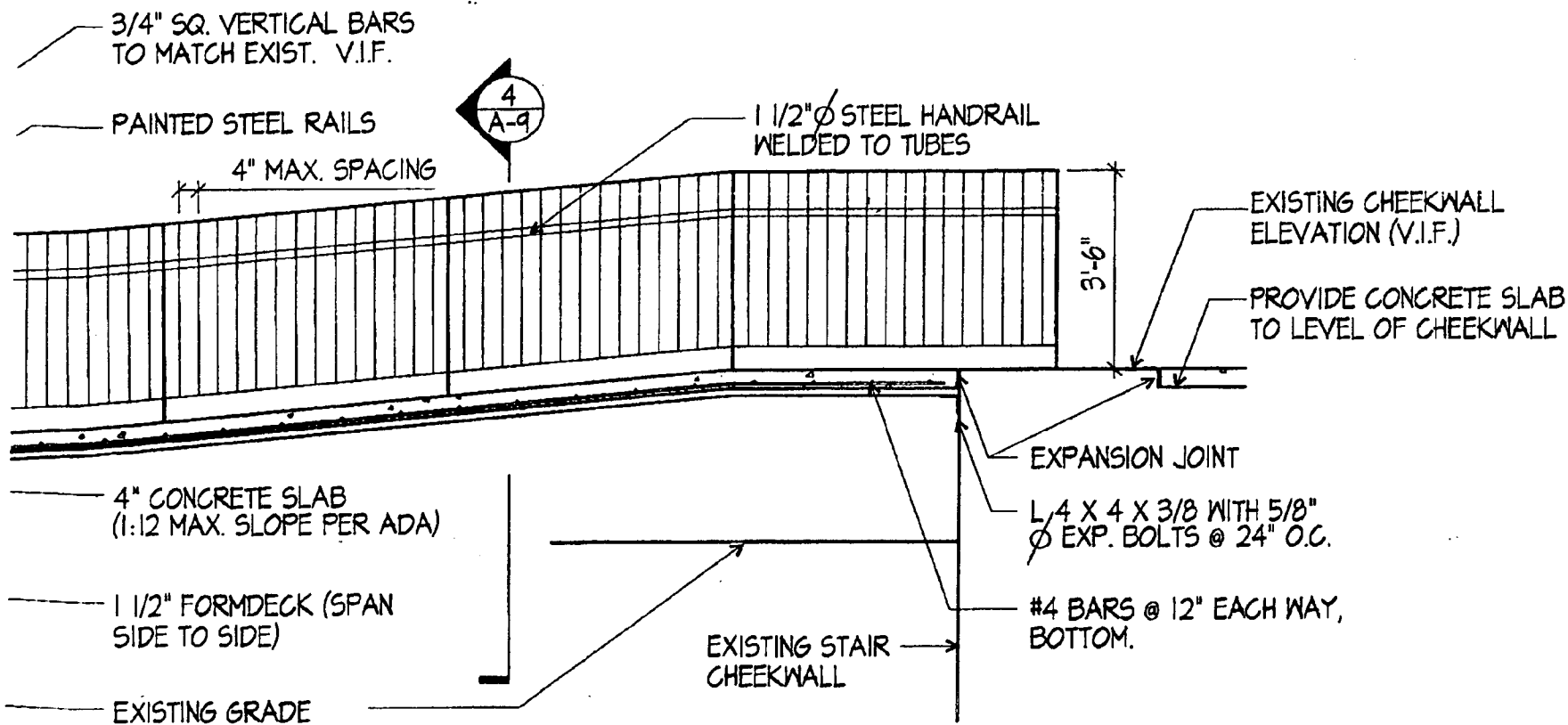
2

RAMP SECTION DETAIL

3/8" = 1'-0"

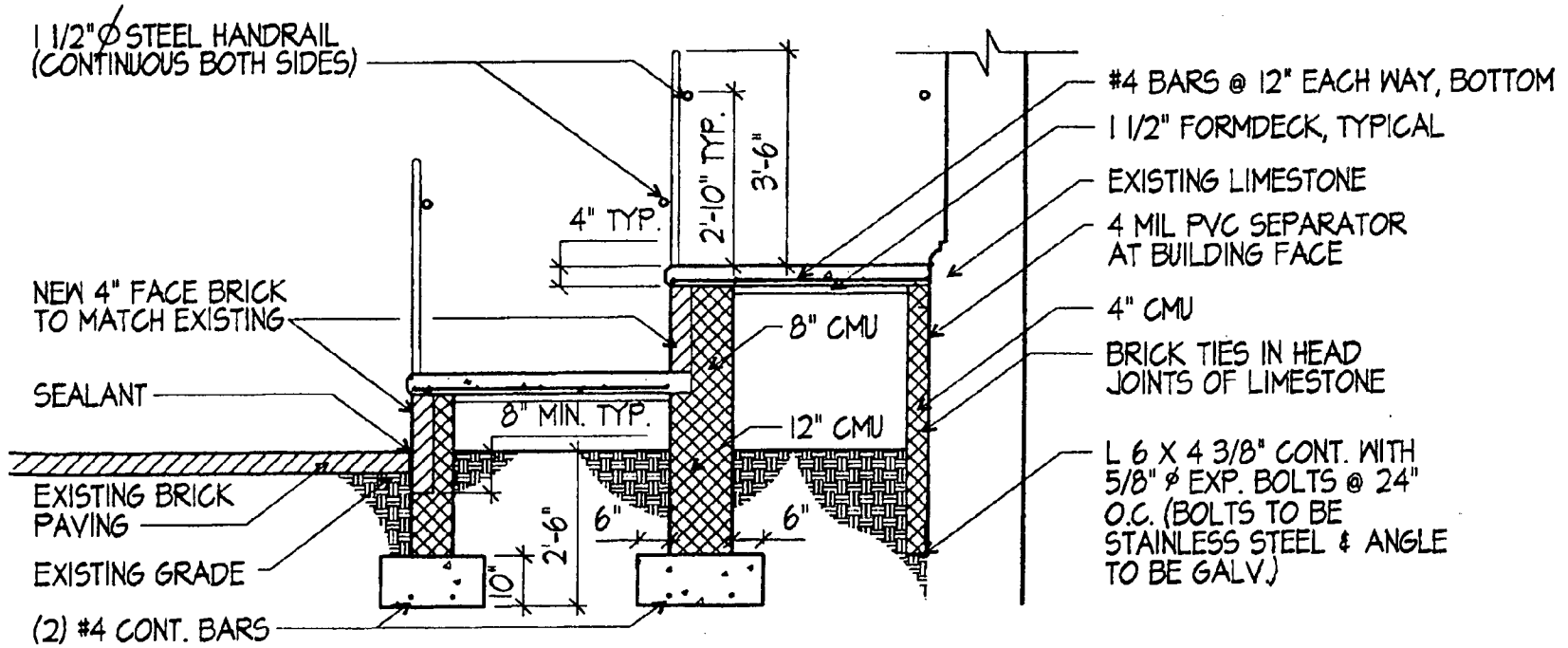
13

PART 2 OF 2



DETAIL

14

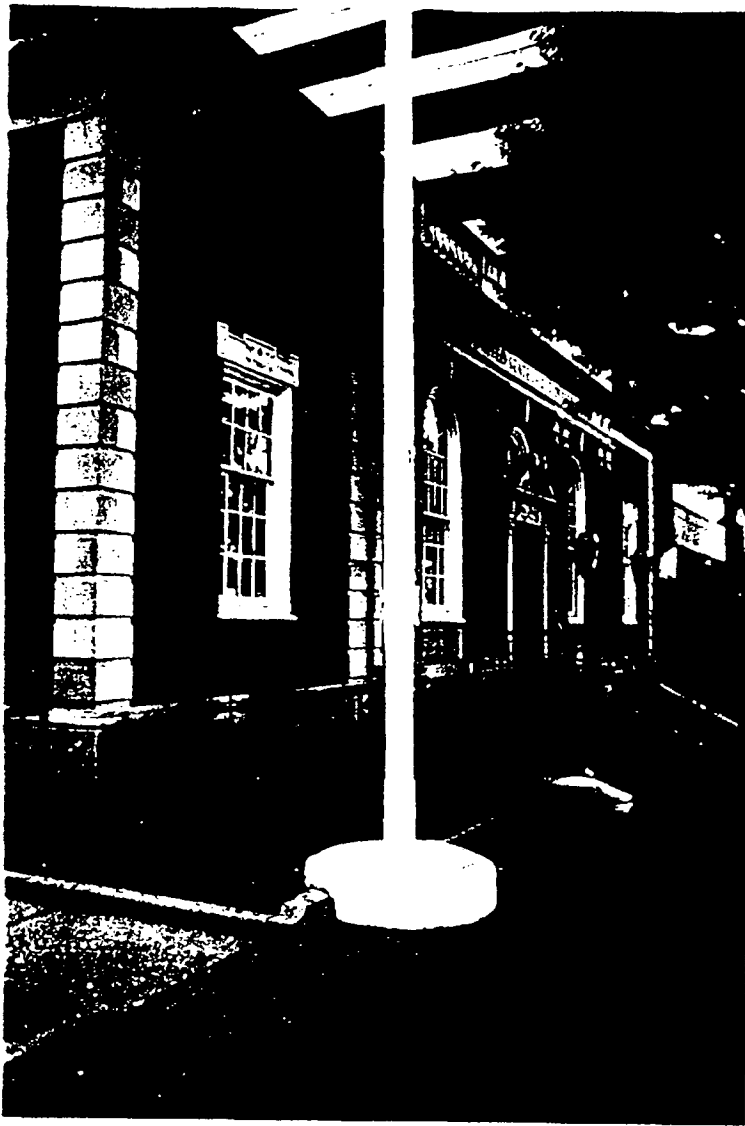


4

RAMP SECTION DETAIL

3/8" = 1'-0"

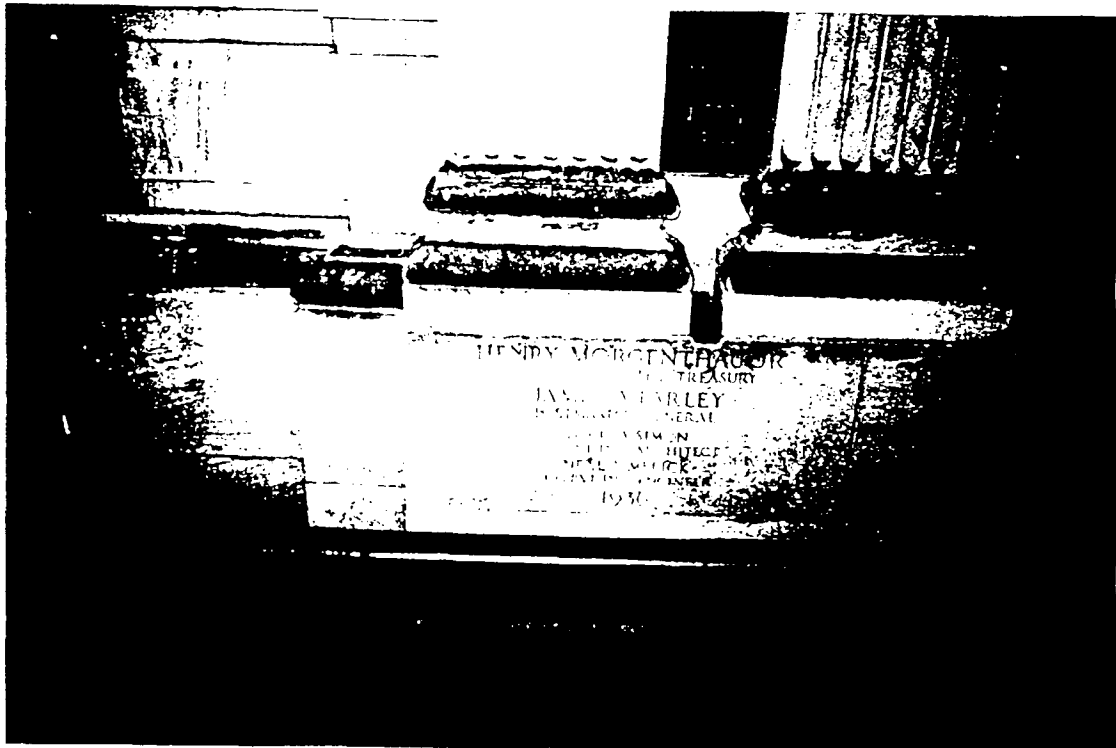
15



FRONT ELEVATION



RIGHT SIDE ELEVATION



FRONT DETAIL



LEFT SIDE ELEVATION

SIDEWALK TO HANDICAPPED
RAMP @ REAR OF BLDG.