

37/3-2 201 Tulip Ave. (Thomas Hse)

37/3-89C

519 Philadelphia Avenue
Takoma Park, Maryland 20912

27 January 1984

Ms Bobbi Hahn
Montgomery County Historic Preservation Commission
c/o Department of Housing and Community Development
100 Maryland Avenue - Room 210
Rockville, Maryland 20850

Dear Bobbi:

I am enclosing the comments of the Takoma Park Historic Preservation Committee on the proposed resubdivision at 201 Tulip Avenue, Takoma Park, which is within the Takoma Park Historic District. The City of Takoma Park will also be submitting comments describing its official efforts to preserve this property.

At the present time, the Committee does not contemplate speaking on this issue before the Commission at its meeting next Thursday, although I understand that the meeting will be heavily attended by Takoma Park residents.

Please call if you have further questions with which we may be able to help the Commission.

Sincerely,



David J. E. Saumweber, Chairman
Takoma Park Historic Preservation Committee

cc: Committee
Takoma Park City Council

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
LOCAL ADVISORY COMMITTEE REVIEW FORM

NEW CONSTRUCTION

Fill out one form for each type of work: subdivision review, grading permit, or building permit.

I. Location of Property

- a. Located within the Takoma Park historic district.
- b. This is a Master Plan / Atlas historic district (circle one)
- c. Address or Property: 201 Tulip Avenue, Takoma Park, Maryland 20912
- d. Owner of property and address:
E. H. Siegler, 7 Maywood Court, Darien, Connecticut 06820
- e. On a map of the district, locate this property and adjacent historic resources. Briefly describe each adjoining resource (e.g. 1½ story frame bungalow, 2½ story shingle style Queen Anne, etc.) Attach photo to show streetscape.

See attached maps and site descriptions (Attachments A, B-1, B-2 & C)

- f. Is this work visible from the street? yes
- g. Is this work visible from historic resources within the district?
If so, which ones? The house (1884) was the first completed in B. F. Gilbert's development, and is itself mentioned in the National Register nomination form, as are several other structures in the immediate neighborhood. The grounds also contain one of only two carriage houses remaining in Takoma Park.

II. For site and subdivision plans

- a. How many new houses or lots are proposed? Four; see Attachment B-1
- b. How does the density compare with surrounding lots (note on map)?
See below
- c. Does the location of the houses on lots as shown impact negatively on adjoining resources or on the district? unknown If so, how?

II.b

The only other unbuilt lot of comparable size in the immediate area was approved for development this past year. The proposed lot sizes are similar to the others in the area. However, the existing lots in the area are quite small, and the houses which occupy them are large, so that the general impression of the area is that it is heavily built. The addition of four more houses in what has heretofore been a quiet neighborhood would begin seriously to compromise the qualities which have made the area so attractive to families. As an illustration, there are currently 10 houses in the immediate half-blocks from the intersection of Tulip Avenue and Cedar Avenue; the addition of the two houses already approved, plus the four proposed, would shortly raise that total to 16, an increase of 60% in just over two years, in a neighborhood which had remained essentially unchanged for more than half a century.

III. For grading

- a. Applicant is required to furnish a plat map of the which accurately shows the location of existing trees.
- b. Does the proposed grading substantially alter the existing landscape?

See answer to III.c.1/2, below

c. Does it cause removal of substantial vegetation?

1. Is this removal detrimental to the character of the district? See below
2. Can any detrimental effect be remedied by additional plantings?

If so, what kind and where?

Response to all of Section III:

The current landscape of the property is heavily planted, indeed so remarkably so that it has been described as a "sylvan glade." (Attachment D) Furthermore, the plantings are themselves of historical interest, representing a unique survival of an experimental nursery whose azalea products in particular have had a national impact. (Attachment E) These plantings are most heavily concentrated in Lots 35 and 36, particularly Lot 36. It is doubtful that modern plantings could remedy the visual effects of the style of modern construction, which is to strip the area and replant. This particular case is much worse, since such damage would completely negate the historical aspects of the site plantings.

IV. For building permits

- a. Style of house - attach sketch
- b. Are the houses compatible in style, scale, set-back, and materials with adjoining historic resources and with the historic district?

If not, in what way?

We have no information on the proposed style of any buildings which may be contemplated.

* Roy Gauzza's Report - sent in packet

V. Recommendation of the Local Advisory Committee

a. Approval of work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria?

b. Recommend disapproval of work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

SEE ATTACHMENT F

2. How could this proposal be altered so as to be approved?

SEE ATTACHMENT F

VI. Additional comments

SEE ATTACHMENT F

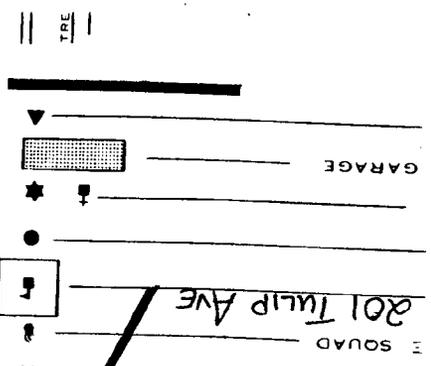
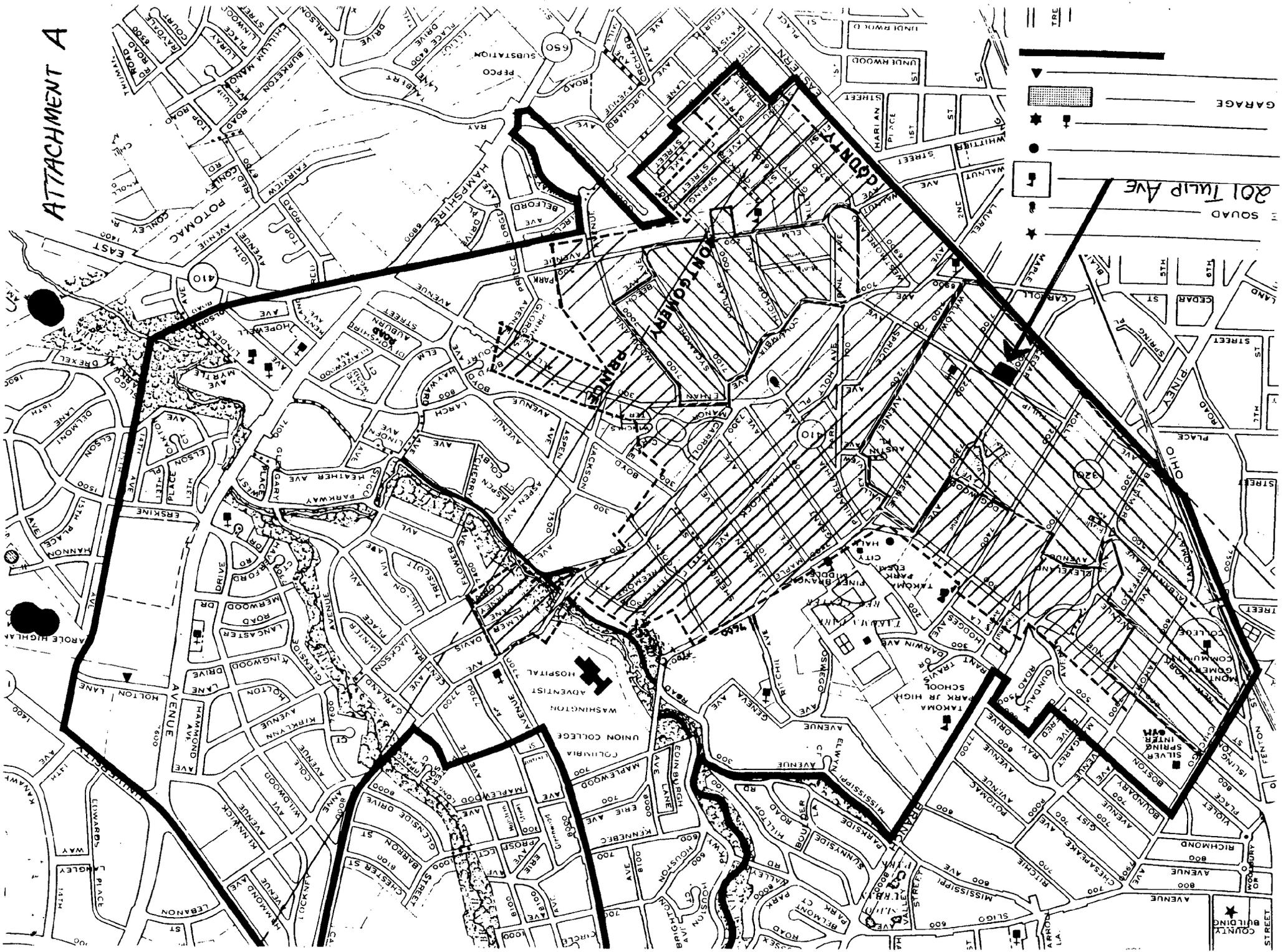
Date on which applicant was notified of LAC meeting _____

Form completed by David J. E. Saumweber
Chairman
~~Member~~ of Takoma Park Historic Preservation Committee

Date 27 January 1984

24A-8 (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

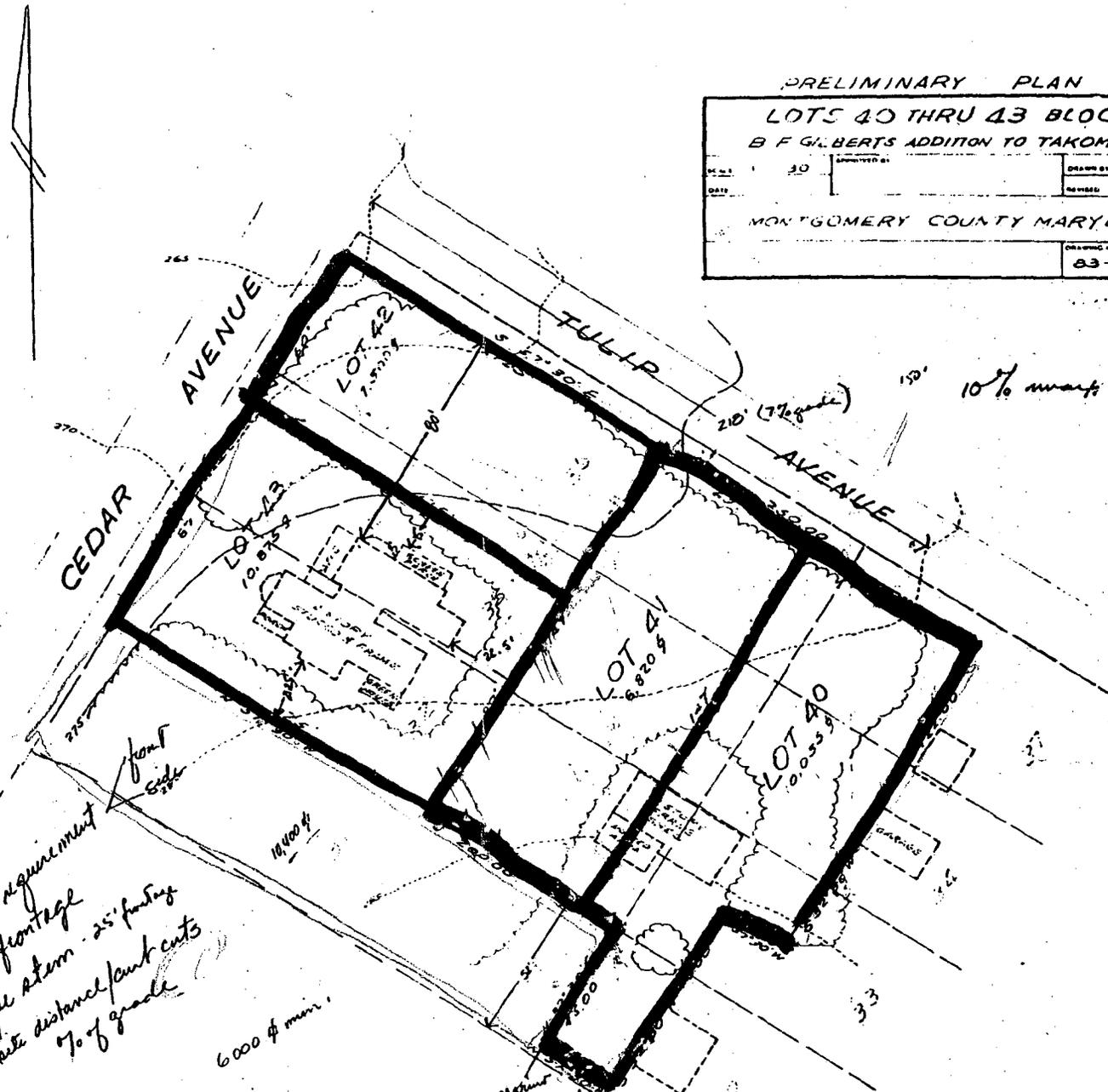
ATTACHMENT A



PRELIMINARY PLAN

LOTS 40 THRU 43 BLOCK 4
B F GILBERTS ADDITION TO TAKOMA PARK

SCALE	30	APPROVED BY	DATE
DATE		DRAWN BY	REVISION
MONTGOMERY COUNTY MARYLAND			DRAWING NUMBER
			83-1567



* setback requirement
* min. frontage
* pipe stem - 25' footing
* ave distance front cuts
7% of grade

6000 ft min.

Det. 251-2170 - sudd. return
2104 - Dayl Poterfield
Public
standards.

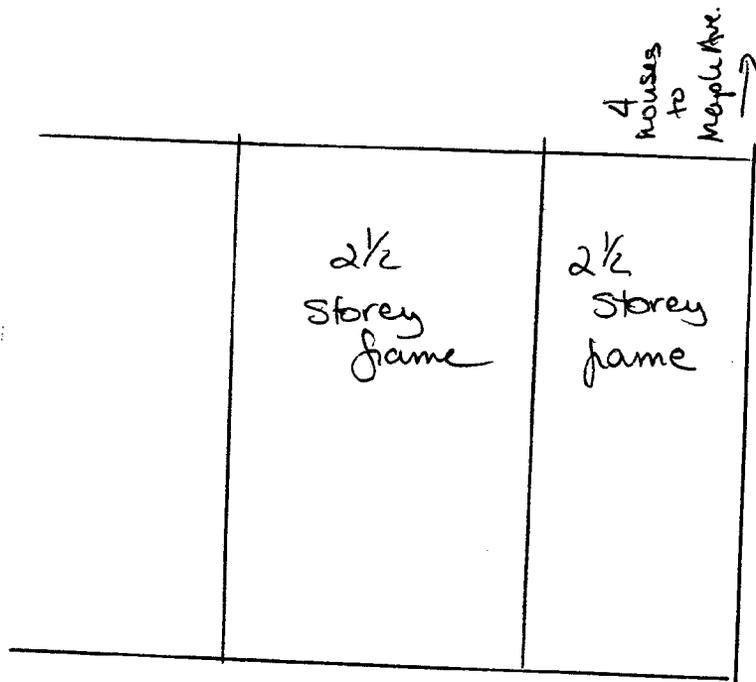
Dep't. Exc. protection

DRAWN: E. H. Siegle
John Urciolo
311 G St. N.W.
WASH., D.C. 20001

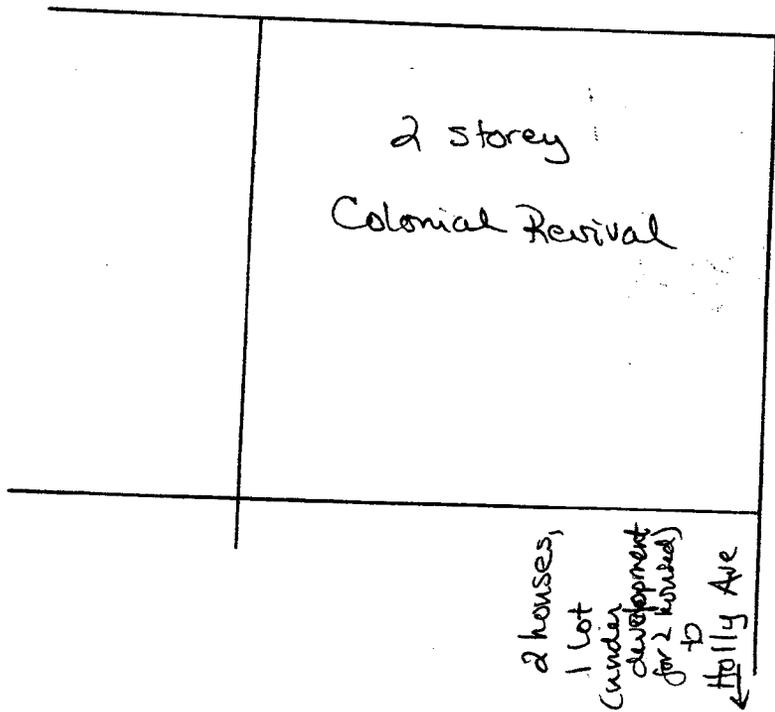
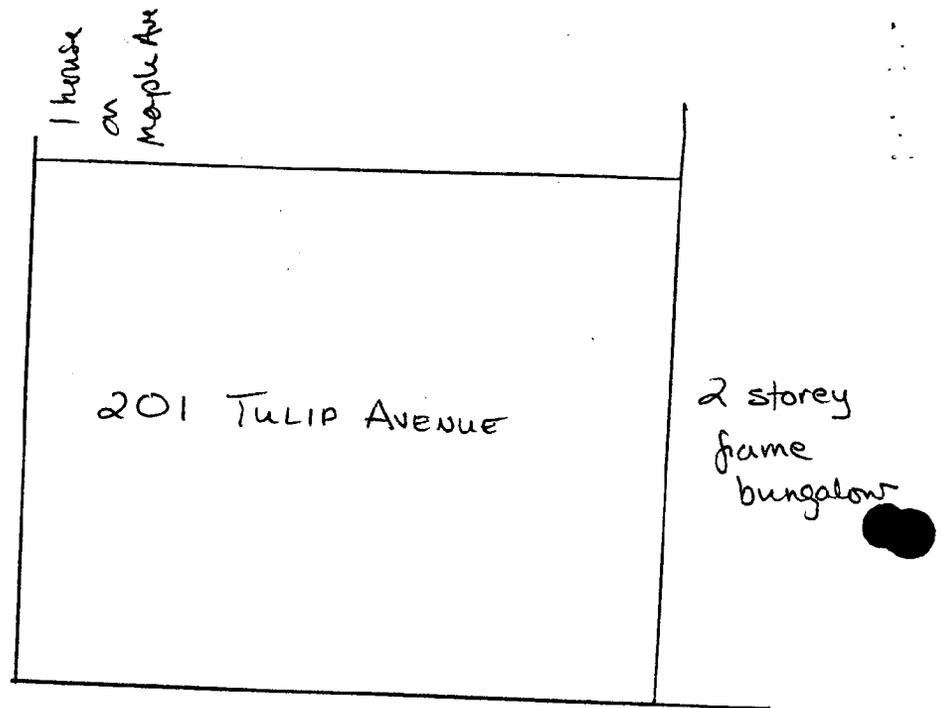
789-1177

OWNER - MR E. HORACE SIEGLER
7 MARYWOOD CT,
DARREN CT, 06820
203-838-1233

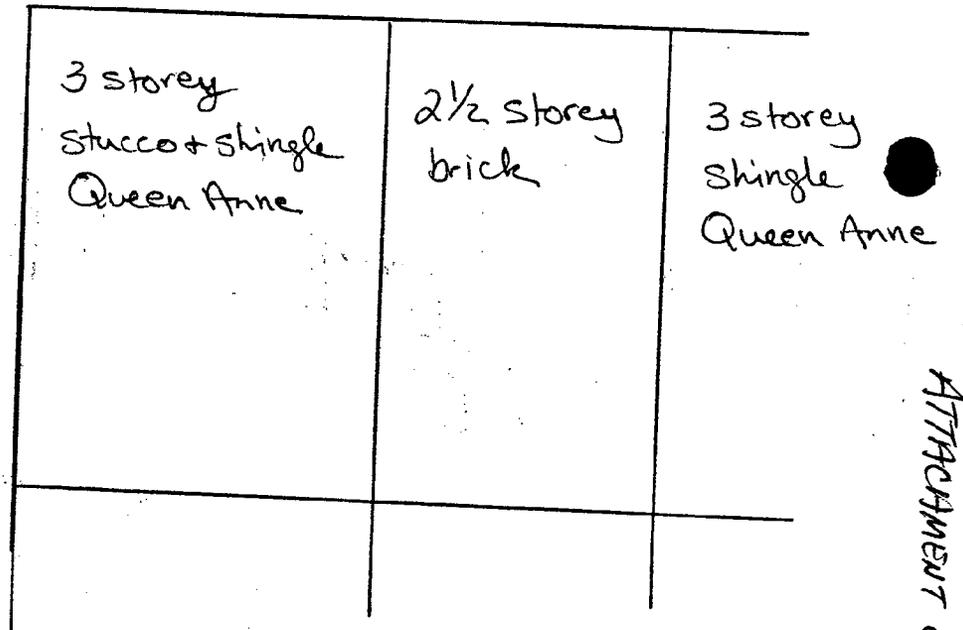
ATTACHMENT B-1



CEDAR AVENUE



TULIP AVENUE



ATTACHMENT C

1973
BALT SKN.

Balto. Sun

ATTACHMENT D

The herpetological society can rejoice at bog turtle news

By ISAAC REHERT

While most of the natural beauty sites in an old state like Maryland are pretty well-known—its bay country, its ocean marshes, its farmlands—and enjoyed and adequately preserved, there are hundreds of lesser acknowledged sites most people have never heard of.

Any guidebook worth its salt will tell you about the Wye Oak or the Susquehanna River or Deep Creek Lake and no developer with any care about public opinion would ever dream of encroaching deliberately on these areas.

But Maryland—"America in Miniature"—is speckled all over, from its mountains to the sea, with many lesser known natural sites that are worth looking at.

There are sites treasured only by the local folk, or by the fishermen, the birdwatchers, the farmers: a special tree; a patch of rare and disappearing wildflowers growing—no one can explain why—on an isolated hillside; a marsh frequented in winter by some exotic birds from thousands of miles away.

Often it is because they are not generally known that such sites are especially treasured. There is a charm about their individuality and a glow of satisfaction in their secrecy. They impart to local areas their unique color, they are the ingredients of that local distinctness that makes one place different from the next.

Unfortunately, in a time like ours of rapid transition and tumultuous development, natural treasures that are little known and unprotected can easily be neglected overlooked and lost.

Under concrete

A new highway may permanently entomb a precious wildflower bed under a foot of solid concrete. An apartment building rising to the tops of trees may drive away a timid flock of birds forever.

And so, with a view to protecting these more obscure natural beauties in Maryland, the Department of State Planning has been taking an inventory, hoping that local nature appreciators out there in the hinterlands will put their special neighborhood treasures on the estimable list.

Eventually the department intends to produce an updated version of an environmental inventory catalogue.

The other day I visited John Antenucci, who is directing the inventory

to realign the route a little so that damage wouldn't have to be done."

I asked what some of the new sites were that the questionnaires had so far turned up and Mr. Antenucci let me look through a few.

Orchids in park

In an area of Leakin Park, it was reported, there are wild native orchids growing, yellow lady's slipper (*Cypripedium calceolus*) which are considered quite rare.

The appreciative respondent's comment said: "Even a small station [say 10 plants] should be given consideration . . . If the highway does not go through, and if the park were set up more for nature trails and footpaths, it might be possible to have an 'orchid trail'."

In Takoma Park, a one-acre site was reported which is a series of sylvan glades inhabited by catbirds, robins, woodpeckers, owls, "possums, rare trees and shrubs. The site is owned by a horticulturist and the respondent (who is not the owner) suggests that the one acre be purchased by the public and not be bulldozed away for private building.

In St. Mary's county, near the mouth of the Wicomico River, lies an island which, the respondent says, "contains the only colony of nesting common egrets, black-crowned night herons, cattle egrets, glossy ibis, yellow-crowned night herons and little blue herons on the Potomac River. There are also four to six osprey nests scattered about the island."

Colony of birds

The island is now owned privately by a political party and used for entertaining, according to the report. It should be acquired by the state and converted to a wildlife refuge, for "the colony of birds on the island has been declining for the past 10 years. Immediate acquisition and investigation of the reasons for the population decline are needed."

In the above-mentioned reports, I have deliberately not given the exact location of sites, for there is danger in that, as was stated in the following:

"I know where great fishing exists, wonderful hunting or just plain hiking or camping in unusual surroundings. There is no way I will tell your group or others like it. I cite an example: Assateague Island. The state of Maryland and the Feds have made . . ."

Siegler Property Site Analysis

Location: 201 Tulip Avenue, Takoma Park, Maryland

Prepared by: Roy H. Gauzza Jr., consultant in design, restoration, preservation and history of landscape architecture and horticultural sites

Description of Site

In the City of Takoma Park, Maryland, the Siegler house stands on an approximately one acre site of trees, shrubs, vines and lawn that form a naturalistic setting. While the house stands as the oldest in the city, much of the property's extensive plantings date from the 1920s to the 1950s, presently forming a situation of mature plant material relatively unaltered in natural shapes and growth habits. Though a number of plant species grow on the site, including mountain laurel, wisteria, bamboo, magnolia, Winter Daphne, Cryptomeria and wildflowers of Virginia Bluebells and trillium, the focus of plantings lies in the site's azaleas and rhododendrons. Hundreds of the plants in an extensive range of colors and growth habits flourish on the property, in borders, around lawn areas, and as specimen plants. They range from native to introduced and, especially, hybridized species and from deciduous to evergreen, and they serve as a broad view to azalea culture.

Significance of Site

The Siegler property has a character, interest, and value, giving it an important place among sites historically and culturally significant. While the property reflects a pleasing and somewhat striking example of a woodland setting, following the naturalistic style of landscape architecture, that character, interest, and value lies in the horticultural properties of the site. Forming that unique characteristic are the azalea plantings. They are the type known as 'Glenn Dale' azaleas, and as such, are some of the first plants hybridized as that variety that is so popular in the nursery trade of today. Created there--on the Siegler property--during the 1930s by Benjamin Y. Morrison,

a horticulturist, geneticist, plant breeder and plantsman, (1891-1966), the azaleas at the Siegler property are plants from which propagation provided the beginning of a strain of azaleas seen in the home landscape today throughout the eastern United States. As the property was a site for the start of the 'Glenn Dale' hybrids, labeled in 1954 as "one of the finest races of azaleas" in existence by the then director of the National Arboretum, Dr. Henry W. Skinner, it now illustrates a rare picture of the pioneering work performed on the azalea species during the plant hybridization that marked the twentieth century. It is a site like that of the Siegler property that emphasizes Takoma Park's identification as Azalea City.

The Siegler property was one of the several sites near his parent's home in Takoma Park that Benjamin Y. Morrison used for his experimental work that created the 'Glenn Dale' hybrid azaleas. He planted a vast number of seedlings there, selecting a fraction for introduction into the nursery trade. He made the property unique as a study ground and laboratory for the science of azalea culture, and the property as it is preserved today reflects the outstanding work of an award winning plantsman for whom the Morrison Azalea Garden at the National Arboretum was dedicated and who helped change the face of azalea use in the landscape.

The Siegler property is the site of Morrison's named 'Glenn Dale' azalea varieties, including Helen Close, Martha Hitchcock, Corrine Murrah and Dayspring. Yet, a number of plants from his crosses remain, unnamed and not introduced into the nursery trade, presenting an extraordinary potential for further study and selection of new varieties for introduction into the nursery trade today.

Conclusion:

The Siegler property ranks with sites of Montgomery County and the State of Maryland designated as historic and deemed worthy of preservation based on the significance outlined above. With its

horticultural and landscape architectural significance, it has the potential for:

- * education and scientific study in the fields of significance
- * interest and appreciations of those fields and its unique illustration of them
- * reflecting the historical and cultural heritage of those fields

This document is in response to Section V, Part b and Section VI, of the form, above.

The Takoma Park Historic Preservation Committee (TPHPC) is mindful of the fact that the Montgomery County Historic Preservation Commission (MCHPC) is directed by the county code to be lenient in cases of new construction, and it is also mindful of the fact the Mr. Siegler has certain financial interests which must be respected. It is not the contention of the TPHPC that a position against any and all development within the Takoma Park Historic Districts can be defended on legal or moral grounds. Neither is it our position, however, that this case is one merely of differences in aesthetic preferences or of conflicting economic interests. The site at 201 Tulip Avenue, Takoma Park, as currently subdivided already provides Mr. Seigler with the opportunity to sell or build on two lots, viz. Lots 31 and 36. In order to provide for more construction, it was necessary in his proposal that Lot 36 be reduced in size so significantly (becoming Lot 42) that any construction would vitiate the historical significance of the site. Furthermore, the subdivision of the rear of Lots 32, 35 and 36 (making Lots 40 and 41) necessitates a split ownership of the carriage house. It is difficult to imagine the circumstances under which that structure would survive the development of either or both of the latter lots.

The TPHPC feels that the property owner would not be "deprived of reasonable use of the property or suffer undue hardship" (24A-8(b)5) by the denial of the resubdivision proposal. He would not be denied his financial interest in the property, for he would be able to realize significant amounts of money from the sale of the parcels as currently subdivided; what he would be denied is more money. It does not seem to the TPHPC in the public interest for the MCHPC and the county's Planning Board to damage the public's interest in a legitimately unique and national historical resource in order to increase the value of a piece of private property, especially as that value is already considerable.

Were the owner to sell the lots as currently subdivided, the plantings (especially those on Lot 36) and the carriage house could be protected when the proposal for construction was under review. Under the resubdivision, there is no way in which they could be protected, save by prohibiting construction, which would vitiate the point of the resubdivision proposal.

It is the recommendation of the Takoma Park Historic Preservation Commission that the petition to resubdivide the property at 201 Tulip Avenue, Takoma Park, be denied, on the following grounds:

- (a) that, although the lots proposed are not different in size from the others in the area, further construction will negatively affect the historical quality of the neighborhood as a neighborhood (24A-8(b)1 and 24A-8(b)2 are violated); and
- (b) that the unique historic character of the plantings of the site could not be preserved under the proposed resubdivision, but might be preserved under a development of the old subdivision which proceeded according to the guidelines which govern construction within historic districts (24A-8(b)3 and 24A-8(d) are violated).

As an additional note, the City of Takoma Park is currently exploring ways to preserve the property for the public enjoyment, including approaches to the State of Maryland for Maryland Open Space Funds. The City will be providing its own report to the Commission.

HISTORIC PRESERVATION COMMISSION

CASE NO. 37/3-89C

Staff Review Form

Applicant: Friends of the Siegler Garden

Applicant's Address: 201 Tulip Ave., Takoma Park

Type of Review:

HAWP _____ Substantial Alteration X
ORD. Maintenance _____ Demolition _____
Subdivision _____ Other _____

Site No. (Atlas): 37/3

Site Address: _____
(if different from applicant)

Advertised: Yes _____ No _____

Proposed: (describe action to be taken)

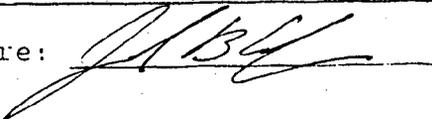
Installation of a driveway entrance sign.

Staff recommendations and comments:

Staff agrees with the recommendation of the Takoma Park LAC. The proposed sign is sensitively designed and located, and is a reversible alteration in the historic district.

Date: 2/1/89

Staff: Jared Cooper

Signature: 

HPC Action:

Found to not constitute substantial alteration.

Date: 2/2/89



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

3713 89-C
HPC

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # NA

NAME OF PROPERTY OWNER Thomas/ Siegler TELEPHONE NO. 270-1700
(Contract/Purchaser) (Include Area Code)

ADDRESS rear 201 Tulip Ave. Takoma Park, Md. 20912
CITY STATE ZIP

CONTRACTOR Friends of the Siegler Garden TELEPHONE NO. 49560794
CONTRACTOR REGISTRATION NUMBER NA

PLANS PREPARED BY Friends of the Siegler Garden TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 201 Street Tulip Ave.

Town/City Takoma Park Election District 13

Nearest Cross Street Maple and Cedar Aves.

Lot _____ Block _____ Subdivision B.E. Gilbert

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition			
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace	Shed	Solar	Woodburning Stove
				Fence/Wall (complete Section 4) Other <u>entrance sign</u>					

1B. CONSTRUCTION COSTS ESTIMATE \$ \$250-300

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NA

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY NA

1E. IS THIS PROPERTY A HISTORICAL SITE? yes, see attached

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL NA

01 () WSSC	02 () Septic	2B. TYPE OF WATER SUPPLY
03 () Other		01 () WSSC
		02 () Well
		03 () Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches NA

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas/ Siegler Friends of the Siegler Garden 1/23/89
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date 2/7/89

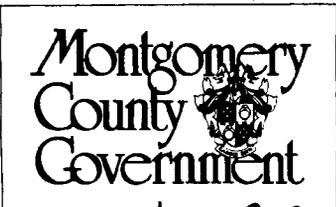
APPLICATION/PERMIT NO: SA-4-89 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

3713 89-C

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # NA

NAME OF PROPERTY OWNER Thomas/ Siegler TELEPHONE NO. 270-1700
(Contract/Purchaser) Entire Park, Victoria Garden (Include Area Code) _____

ADDRESS 301 Falls Ave. CITY Entire Park STATE MD ZIP 20812

CONTRACTOR Friends of the Capital Center TELEPHONE NO. 49500404
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY Entire Park of the Siegler Garden TELEPHONE NO. _____
(Include Area Code) _____

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 301 Street Falls Ave.

Town/City Entire Park Election District 29

Nearest Cross Street 17th and Cedar Ave.

Lot _____ Block _____ Subdivision D.E. Gilbert

Liber _____ Folio _____ Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | |
|------------|------------|----------------|-----------|---------------------------------|-------------------|---------------|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition |
| Wreck/Raze | Move | Install | Revocable | Porch | Deck | Fireplace |
| | | | Revision | Fence/Wall (complete Section 4) | Shed | Solar |
| | | | | | Woodburning Stove | Other |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 4250-200
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____
- 1E. IS THIS PROPERTY A HISTORICAL SITE? yes, see attached

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: SA-4-89 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

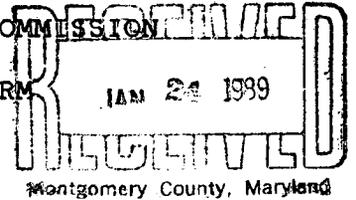
OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS



- I. Location of property Takoma Park : Thomas-Seigler Property
(Historic garden-park) 201 Tulip Avenue
- a. Located within the Takoma Park historic district.
- b. This is a Master Plan/Atlas historic district (circle one).
- c. Address of Property: 201 Tulip Avenue
Takoma Park, MD 20912
- d. Property owner's name, address and phone number:
City of Takoma Park c/o Friends of Seigler Park
Pres. Delores Milmo, 7212 Cedar Avenue, Takoma Park, MD 20912
(h) ~~270x~~ 495-2794 (w) same
- e. Is this property a contributing resource within the historic district? Yes x No _____
- f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes X No _____

COE. TULIP + CEDAR

II. Description of work proposed

a. Briefly describe proposed work:

Entrance sign to city park, which includes garden, but not property residence (necessary to identify property and direct visitors to public area) This is a revision, at the request of the committee, of an earlier design which was larger and judged too rustic by the committee. This design is lighter, smaller, quieter, in keeping with the domestic nature of the site property.

b. Is this work on the front, rear, or side of the structure?

Front (beside entrance driveway)

c. Is the work visible from the street?

Yes

d. What are the materials to be used?

Wood (Unfinished or stained cedar)

e. Are these materials compatible with existing materials? How? If not, why?

Yes, house is wood frame. (1885, stick).

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

2 and 1. It is compatible with the site and will not affect the house facade.

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

The LAC commends the effort taken to design a sign individually tailored to the scale and character of this intimate and unique city park.

Date on which application received: 1/8/89

Date of LAC meeting at which application was reviewed: 1/10/89

Form completed by: Caroline Alderson Title: Takoma Park LAC

Member of: Takoma Park LAC

Chairman

Date: 1/23/89

Siegler Property Site Analysis

Location: 201 Tulip Avenue, Takoma Park, Maryland

Prepared by: Roy H. Gauzza Jr., consultant in design, restoration, preservation and history of landscape architecture and horticultural sites

Description of Site

In the City of Takoma Park, Maryland, the Siegler house stands on an approximately one acre site of trees, shrubs, vines and lawn that form a naturalistic setting. While the house stands as the oldest in the city, much of the property's extensive plantings date from the 1920s to the 1950s, presently forming a situation of mature plant material relatively unaltered in natural shapes and growth habits. Though a number of plant species grow on the site, including mountain laurel, wisteria, bamboo, magnolia, Winter Daphne, Cryptomeria and wildflowers of Virginia Bluebells and trillium, the focus of plantings lies in the site's azaleas and rhododendrons. Hundreds of the plants in an extensive range of colors and growth habits flourish on the property, in borders, around lawn areas, and as specimen plants. They range from native to introduced and, especially, hybridized species and from deciduous to evergreen, and they serve as a broad view to azalea culture.

Significance of Site

The Siegler property has a character, interest, and value, giving it an important place among sites historically and culturally significant. While the property reflects a pleasing and somewhat striking example of a woodland setting, following the naturalistic style of landscape architecture, that character, interest, and value lies in the horticultural properties of the site. Forming that unique characteristic are the azalea plantings. They are the type known as 'Glenn Dale' azaleas, and as such, are some of the first plants hybridized as that variety that is so popular in the nursery trade of today. Created there--on the Siegler property--during the 1930s by Benjamin Y. Morrison,

a horticulturist, geneticist, plant breeder and plantsman, (1891-1966), the azaleas at the Siegler property are plants from which propagation provided the beginning of a strain of azaleas seen in the home landscape today throughout the eastern United States. As the property was a site for the start of the 'Glenn Dale' hybrids, labeled in 1954 as "one of the finest races of azaleas" in existence by the then director of the National Arboretum, Dr. Henry T. Skinner, it now illustrates a rare picture of the pioneering work performed on the azalea species during the plant hybridization that marked the twentieth century. It is a site like that of the Siegler property that emphasizes Takoma Park's identification as Azalea City.

The Siegler property was one of the several sites near his parent's home in Takoma Park that Benjamin Y. Morrison used for his experimental work that created the 'Glenn Dale' hybrid azaleas. He planted a vast number of seedlings there, selecting a fraction for introduction into the nursery trade. He made the property unique as a study ground and laboratory for the science of azalea culture, and the property as it is preserved today reflects the outstanding work of an award winning plantsman for whom the Morrison Azalea Garden at the National Arboretum was dedicated and who helped change the face of azalea use in the landscape.

The Siegler property is the site of Morrison's named 'Glenn Dale' azalea varieties, including Helen Close, Martha Hitchcock, Corrine Murrah and Dayspring. Yet, a number of plants from his crosses remain, unnamed and not introduced into the nursery trade, presenting an extraordinary potential for further study and selection of new varieties for introduction into the nursery trade today.

Conclusion:

The Siegler property ranks with sites of Montgomery County and the State of Maryland designated as historic and deemed worthy of preservation based on the significance outlined above. With its

horticultural and landscape architectural significance, it has the potential for:

- * education and scientific study in the fields of significance
- * interest and appreciations of those fields and its unique illustration of them
- * reflecting the historical and cultural heritage of those fields

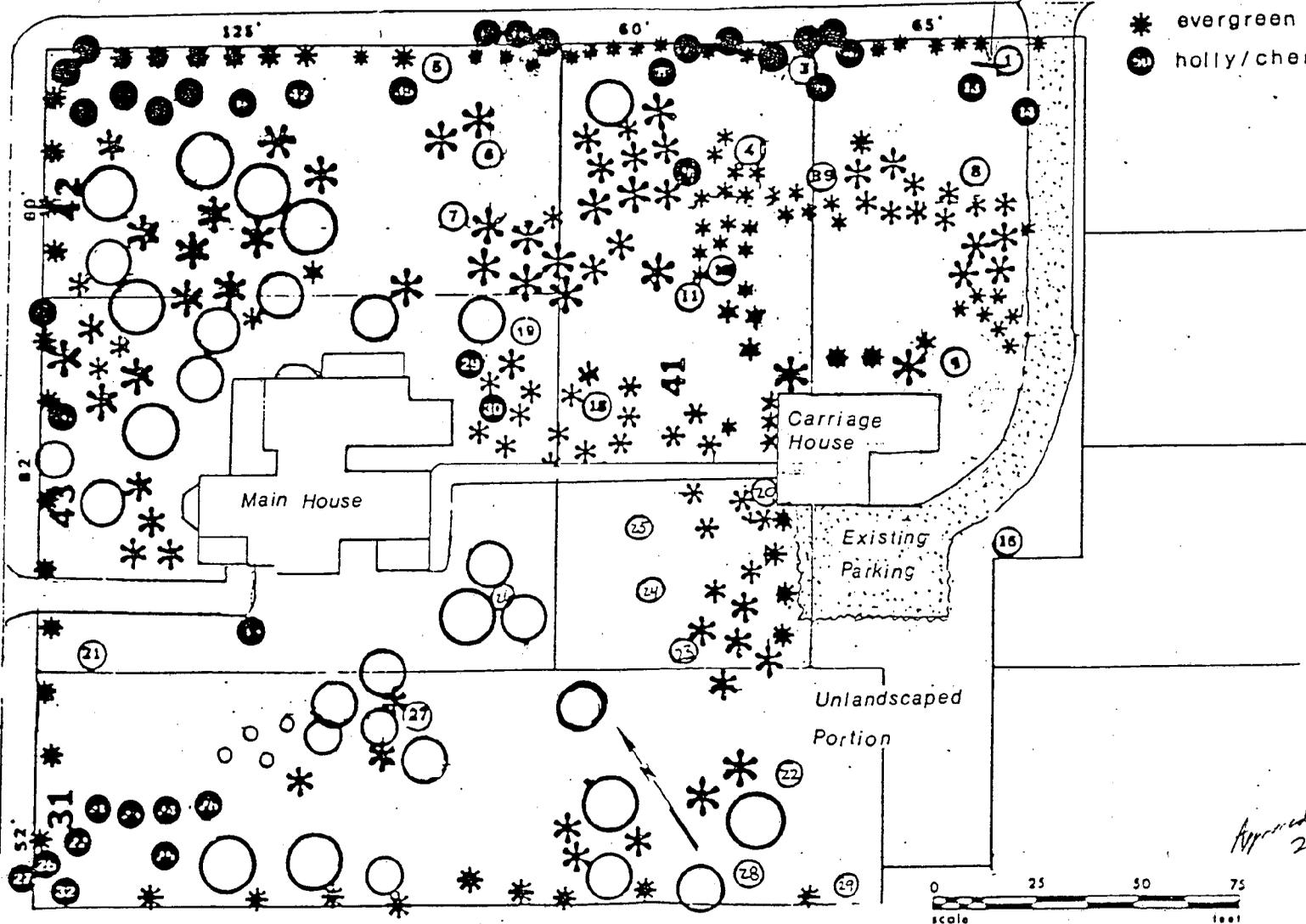
THE THOMAS/SIEGLER HOUSE AND GARDEN

TULIP AVENUE

CEDAR AVENUE

*why not
place
location
of
tree*

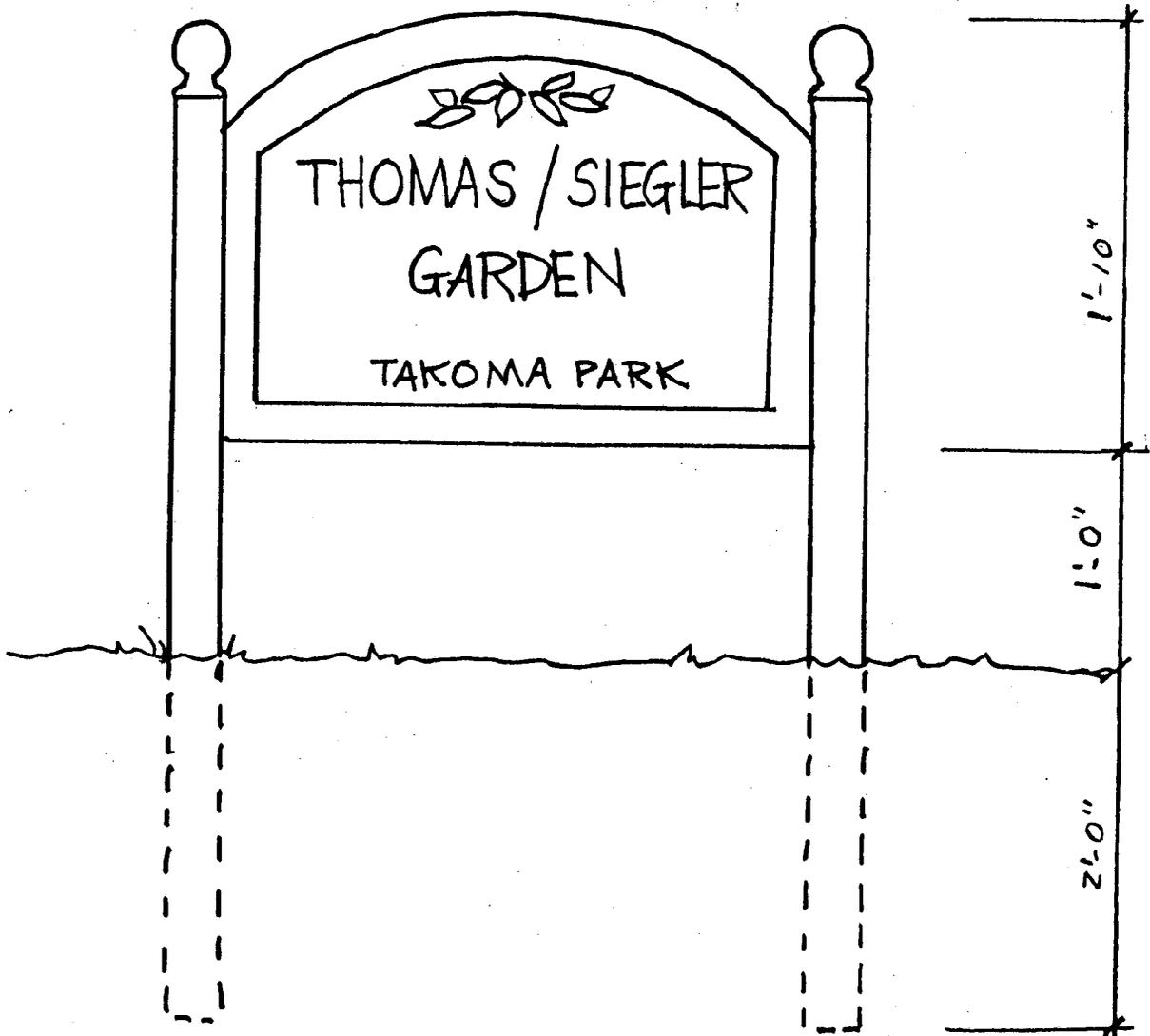
- rhododendron
- * azalea
- ⊙ oak
- * evergreen
- holly/cherry



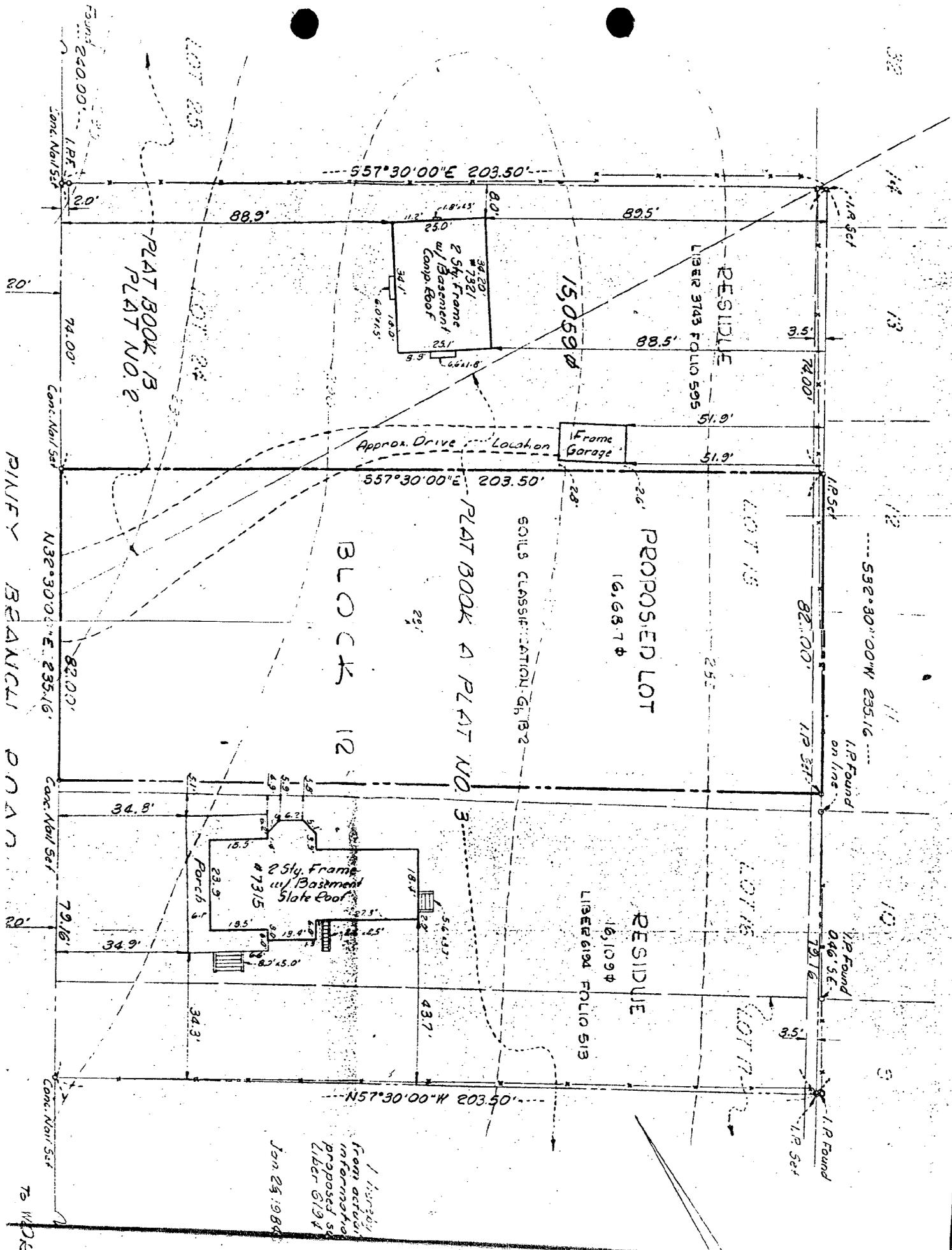
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*Approved by HPC
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JSC*

4" 2'6" 4"

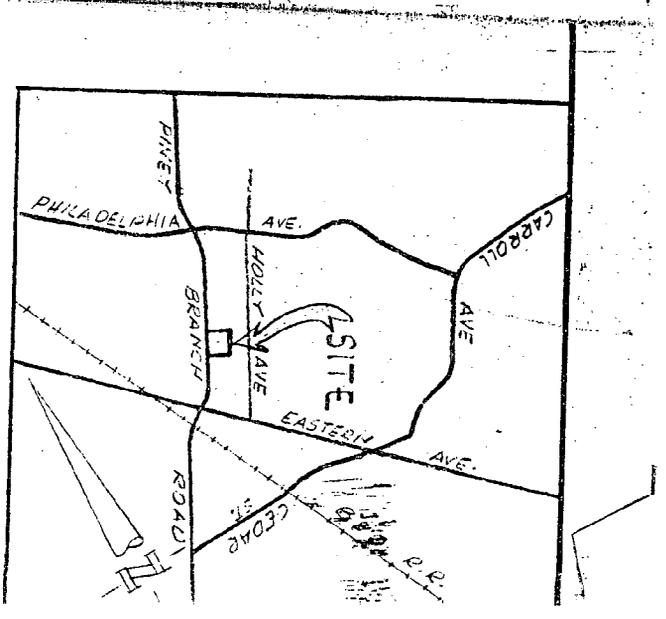


Approved by HRC
2/2/84
JSC



PIKEY BEANICKI DAN

1 hour 30 min
 From actual
 information
 proposed 58
 Liber 6194
 Jan 24 1984



1" = 2000'

TO WORDS CERTIFICATE

THE THOMAS/SIEGLER HOUSE AND GARDEN

The home of Horace and Amanda Thomas, built in 1884, was the first house to be completed in Takoma Park. It is a fine example of early residential development in Montgomery County. The house, carriage house, and spacious garden illustrate life as it was in the first years of this sylvan Victorian suburb. Mr. Thomas was Takoma Park's first postmaster, storekeeper, and stationmaster. Soon after he died in 1889, Amanda Thomas added a two-story addition to the house on the Cedar Avenue side with a wraparound porch and turret. The Thomas house was originally covered with wood clapboards similar to those on the carriage house.

In 1919 Franklin and Catherine Siegler purchased the property from the Thomas family. Their sons, E. Horace Siegler and Eugene Siegler, were noted Department of Agriculture

scientists. Their botanical interest is reflected in the extensive landscaping of the one-acre property. The grounds are dominated by large white oak trees with an understory of magnolias, American hollies, laurel, dogwood, and cherry trees. Among the flowering bushes are Glenn Dale azaleas. The Glenn Dale was hybridized in the 1930s by Takoma Park resident, B. Y. Morrison, famed horticulturist, first director of the National Arboretum, and friend of the Sieglers.

The property was threatened by development in 1984. Through the efforts of local citizens, the Trust for Public Land, the Maryland Open Space program, and the city of Takoma Park, the landscaped grounds were preserved for the enjoyment of the community.



The Thomas house in 1901, from the Cedar Avenue side. The carriage house is visible in the background.



View from the corner of Cedar and Tulip Avenues in 1933, after the Sieglers added a stucco exterior and altered the porches. In the 1920s, they also added a garage to the carriage house.

COPY OF PLACQUE ALREADY IN PLACE ON CORNER OF CEDAR & TULIP

*Copy of
Plaque*



Erected by HISTORIC TAKOMA INC., 1986



position of entrance sign to Thomas/
Siegler Garden, Takoma Park



position of entrance sign to Thomas
Siegler Garden, Takoma Park