

37/3-96B 7322 Baltimore Avenue
(Takoma Park Historic District)

11/11 2006

1. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED) AND SHALL BE DETAILLED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL.
2. THE EXISTING LUMBER SHALL BE SWATH THRUOUT PALE NO. 2 OR BETTER HORIZONTAL NO. DRESS F4.
3. CONTRACTOR SHALL USE PRESSURE TREATED LUMBER AT SILLS AND OTHER NEAR-GRADE LOCATIONS.
4. CONTRACTOR SHALL USE PRESSURE TREATED LUMBER FOR THE DECK CONSTRUCTION.

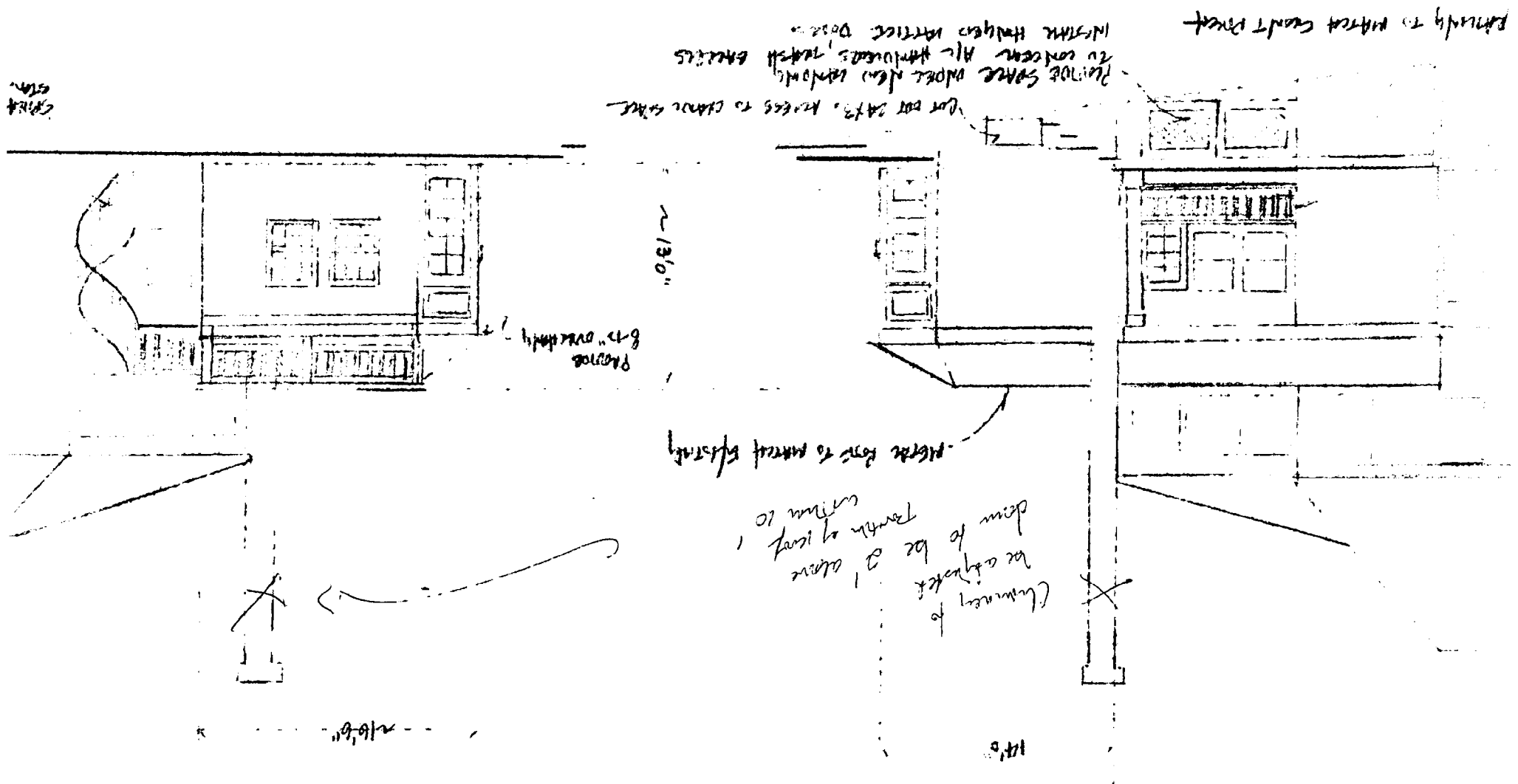
GENERAL NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND SHALL BE FULLY RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES AND STRUCTURES.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
1/18/19

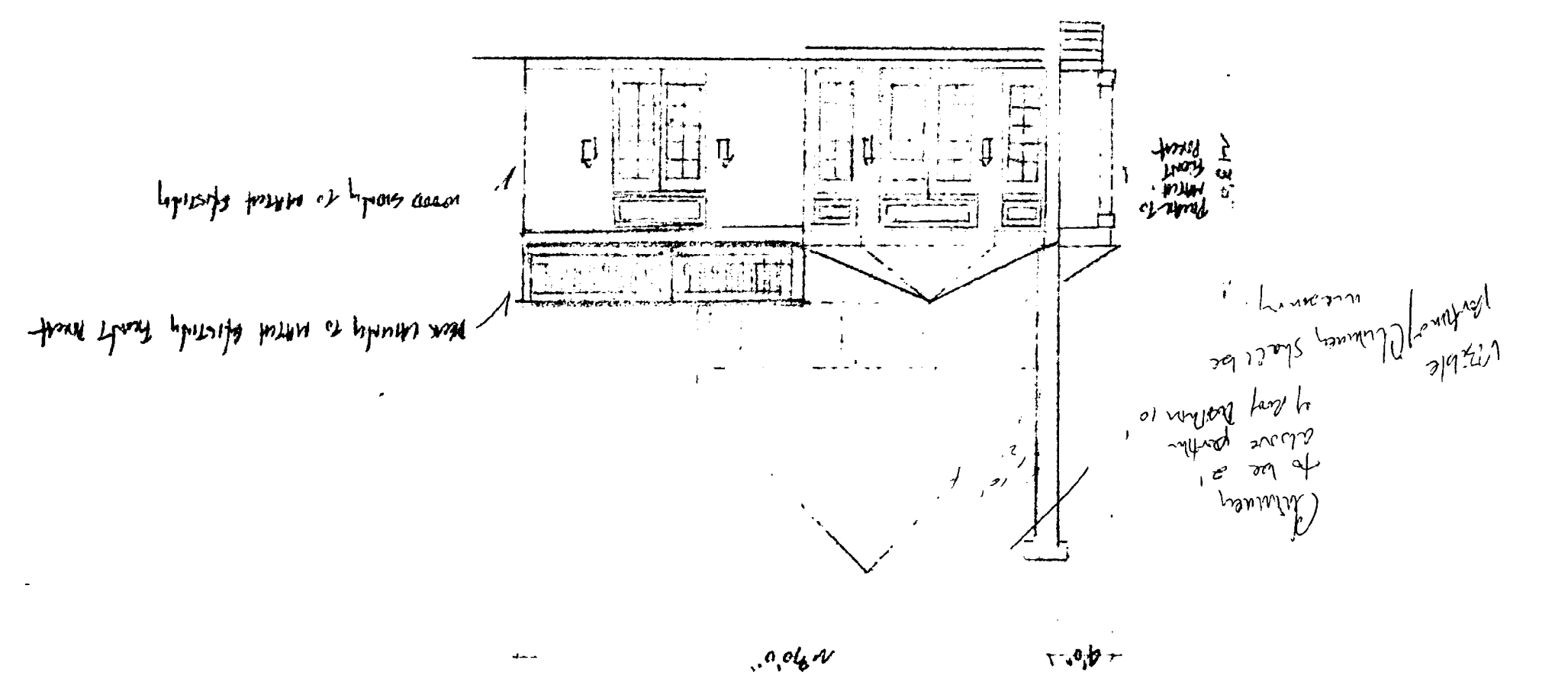
Scale: 1/8" = 1'-0"

Proposed South Elevation

Proposed North Elevation



Proposed East Elevation



PIAL RESIDENCE

1322 BALTIMORE AVENUE
TAKOMA PARK, MARYLAND 20912

12/1995

R-2

C. McCANE



~16'0"

~12'6"

CONCRETE FOOTINGS
16x16 P.C. PILES
TO SUPPORT DECK

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

3'0"

8x8 SOUNDMASKING PILE

CRACK SPACE
EXCAVATE AND 18" BELOW BOTTOM OF JOISTS
INSTALL PLASTIC SHEET OVER 2-4" GRAVEL OR
UNDISTURBED SOIL

2x10 @ 16" FLOOR JOISTS
INSULATE BETWEEN JOISTS
w/ R-19 INSULATION

1x3 CROSS BRACING AT MIDSPAN

CONCRETE FOOTING
2A

3" PERIMETER ACE

OPEN EXTERIOR WALL
12" x 16" STUD
(ABOVE AT 1ST FLOOR)

CONCRETE
SLAB

2x10 @ 16" JOISTS

Interior finish

16'9" TOTAL AREA ADDITION

14'5" BEDROOM

2'6"

~8'0"

~14'3"

~12'3"

~11'1"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 1/18/96

FOUNDATION PLAN

SCALE: 1/4" = 1'0"



NOTE: Since it is already
 better than new work
 is preferred

NO. 18 steel beam -
 Post to ceiling plate
 1/2" apart into hole @ 30" o.c.
 both sides of hole

NOTE: Consider beam of ceiling
 to locate front & rear
 if possible

1/2" gypsum wallboard (ceiling)

NEW 5" x 8" steel pipe column

EXISTING WINDOW

NEW FRONT DOOR

NO CEILING PLATE

FOOTING

NOTE: See the 1955 photo

EXISTING FRONT DOOR

Remove old 3/4" plywood subfloor
 for carpet

1/2" gypsum wallboard at threshold
 NEW 2x10 @ 16" o.c. Floor JOIST

Plastic Base
 on end of
 front door

NO. 18 steel beam
 2x12
 2x12

MIN 18
 STAIN STEEL

PLASTIC STEERING

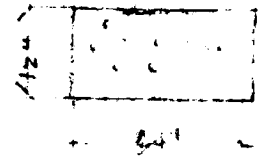
NO. 18
 STEEL

NO. 18
 STEEL
 PLATE
 1/2" x 12"
 2x12
 2x12
 2x12

2-4" gyp wall on interior wall

SECTION A
 Scale 1/2" = 1'-0"

concrete footing

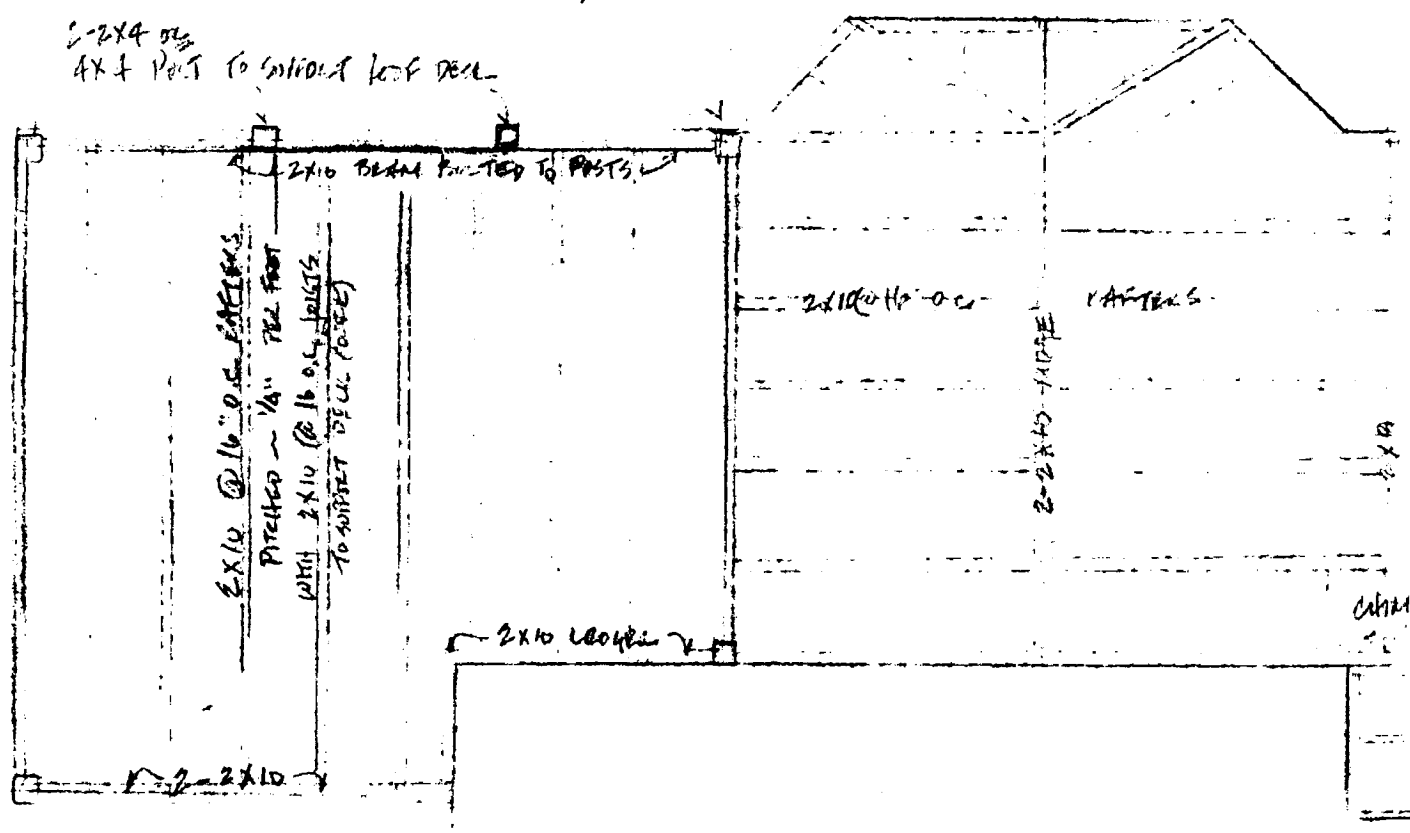


ROOF BEAM (12x12)

2-16" square pitched roof
 (pitch ~ 4" per foot)

NOTE: center ridge of ceiling
 and floor windows as much as possible

2-2x4 on
 4x4 post to support roof beam



2x10
 HUGS

2x10
 HUGS

2x10
 HUGS

Roof Framing Plan
 Scale 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] 1/18/96

RINI RESIDENCE

1522 EASTMAN AVE
THOMAS PARK, MONTGOMERY 29112

12/1995 R-3

C. MONTGOMERY



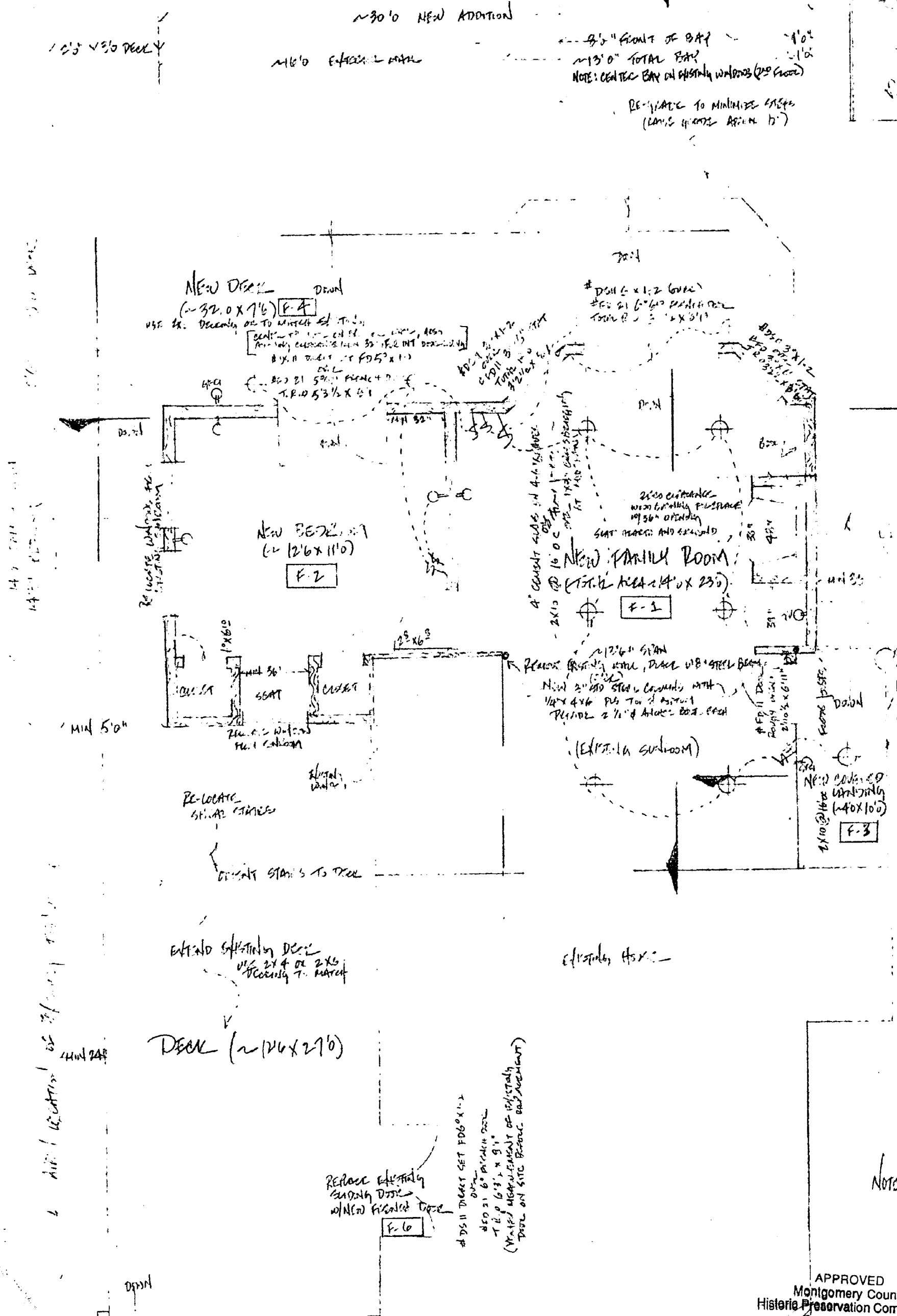
Symbol	Description
⊖	WALL CORNER
○	WALL CORNER
○	WALL CORNER
○	WALL CORNER
○	WALL CORNER
○	WALL CORNER

~30'0" NEW ADDITION

~16'0" EXISTING WALL

~8'0" FRONT OF BAY
~13'0" TOTAL BAY
NOTE: CENTER BAY ON EXISTING WALLS (2nd FLOOR)

RE-LOCATE TO MINIMIZE COSTS
(CONSIDER ALTERN. 1)



NEW DECK
(~32.0 x 7'6") F-4
USE 2x4 DECKING ON TO EXISTING FOOTING

NEW BEDROOM
(~12'6 x 11'0") F-2

NEW FAMILY ROOM
(~14'0 x 23'0") F-1

NEW COVERED WALKWAY
(~4'0 x 10'0") F-3

DECK (~12'6 x 27'0")

REPLACE EXISTING
SUNROOM DOOR
W/ NEW FIBERGLASS DOOR
F-6

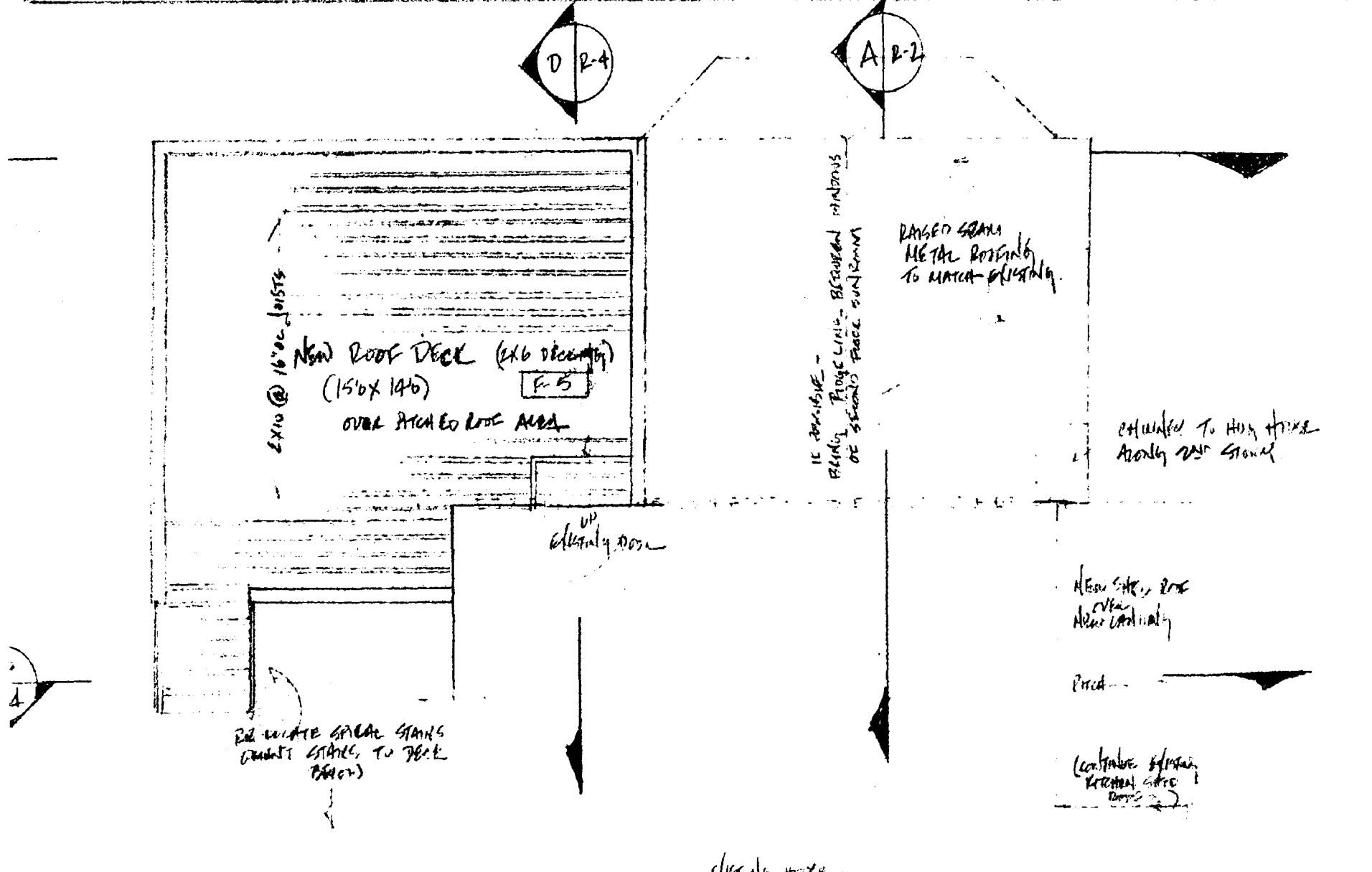
DSI II TRACT SET F060 x 1.2
DSI 31 6" PLYWOOD DOOR
DSI 31 6'3" x 9'1"
(MAKES ALIGNMENT OF EXISTING
DOOR ON SITE BEING RE-LOCATED)

NOTE: ROOM NO. 1

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 1/18/96

1st FLOOR PLAN
SCALE: 1/4" = 1'0"

FINISH SCHEDULE				WINDOW SCHEDULE		
FINISH NO.	FLOOR	BASE	WORKS & QUANTITY	QTY	MODEL	DESCRIPTION
1	Prepared for cement to match existing		1/2" gypsum board - PAINTED 2 COATS AS SPEC'D OWNER TO SELECT COLOR FINISH	1	DS 11	DIRECT SET WIDTH FD 6" X 1-2
				1	FD 21	6" 6" FRONTAL DOOR - SETUP A
				2	DS 11	DIRECT SET WIDTH FD 3" X 1-2
				2	FD 11	3" 6" STATIONARY FD DOOR
				1	FD 11	2" 6" FRONTAL DOOR - SETUP B
2	Prepared for cement to match existing		1/2" gypsum board - PAINTED 2 COATS AS SPEC'D OWNER TO SELECT COLOR FINISH	1	DS 11	DIRECT SET WIDTH FD 5" X 1-2
				1	FD 21	5" 6" FRONTAL DOOR - SETUP A
				2	EXISTING	D.H. WINDOW, FROM SCHEDULE
				1	INTERIOR DOOR	3" 2" SOLID WOOD PANELS
				4	INT CASET DR	12" X 6" SOLID WOOD PANELS
3	1X6 T&G OR 2X6 Decking		1X3 T&G TO MATCH EXISTING	NOTE: STAIR AND FRONTAL DOOR 3/4" ABOVE SUBFLOOR		
4	2X6 TREATED PINE Decking		3" 0" FINISH (1x6x1x6) TO MATCH FRONT PORCH	WINDOW NOTES: ALL EXT WINDOWS WEATHERSTRIPPED		
5	2X6 Decking		ALL SCHEDULES TO MATCH EXISTING FRONT PORCH AS EXISTENT AS POSSIBLE	4" 1/2" JAMB PAINT WHITE VINYL GRAD INSULATED GLASS 7/8" WOOD GRILL TRUB-DIMED SITES NO LOCK PINS		
6				REPLACE SLIDING DOOR TO MATCH EX EX DOOR		



ie APPROXIMATE INTERIOR MEASUREMENTS.

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 3/28/18/96

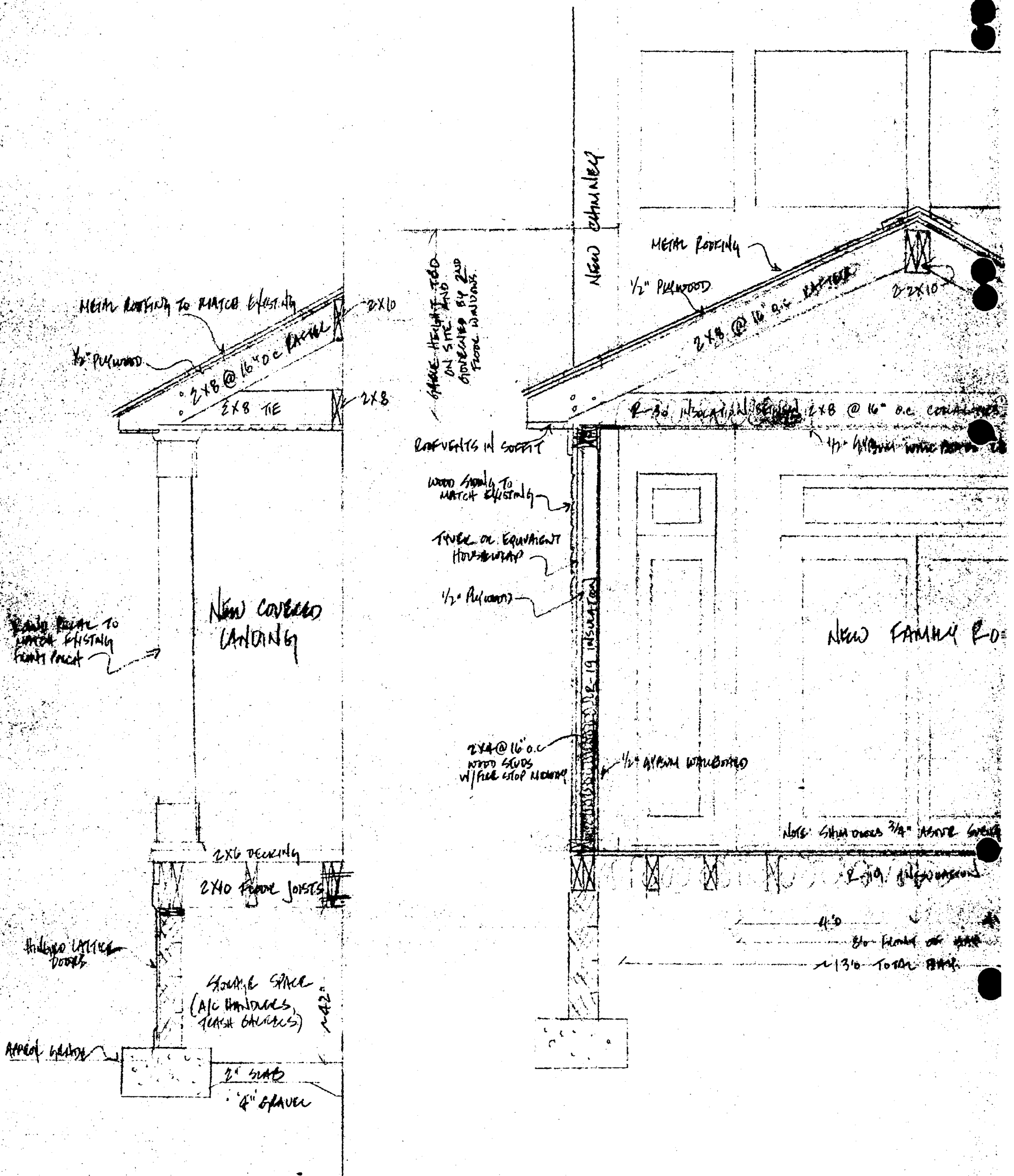
2ND FLOOR PLAN
SCALE 1/4" = 1'0"

RINI RESIDENCE

7322 BALTIMORE AVENUE
THOMAS PARK, MARYLAND 20912

12/1995
C. Mearns

R-4



Match floor to
EXISTING
FRONT PORCH

NEW COVERED
LANDING

ROOF VENTS IN SOFFIT
WOOD STUDS TO
MATCH EXISTING
TRUCK OR EQUIPMENT
HOUSING
1/2" PLYWOOD

NEW COLUMN

METAL ROOFING

1/2" PLYWOOD

2x8 @ 16" o.c. RAFTERS

2x10

2x8 @ 16" o.c. CEILING

NEW FAMILY ROOM

2x4 @ 16" o.c.
WOOD STUDS
w/ fire stop memory

1/2" PLYWOOD

NOTE: SILL ONES 3/4" ABOVE GRAVEL

2x6 DECKING

2x10 FLOOR JOISTS

SHEDDING LATTICE
DOORS

4" AIR SPACE
(A/C HANDLES,
TEST BALANCES)

APPROX. GRAVEL

2" SLAB

4" GRAVEL

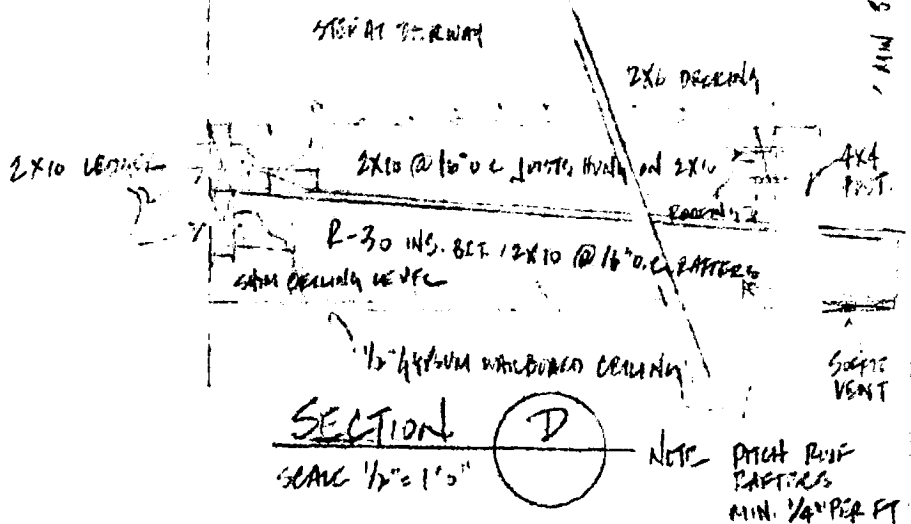
4'-0"
8'-0" FLOOR TO GRAVEL
2'-3" TOTAL FINISH

SECTION B
SCALE 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 1/18/96

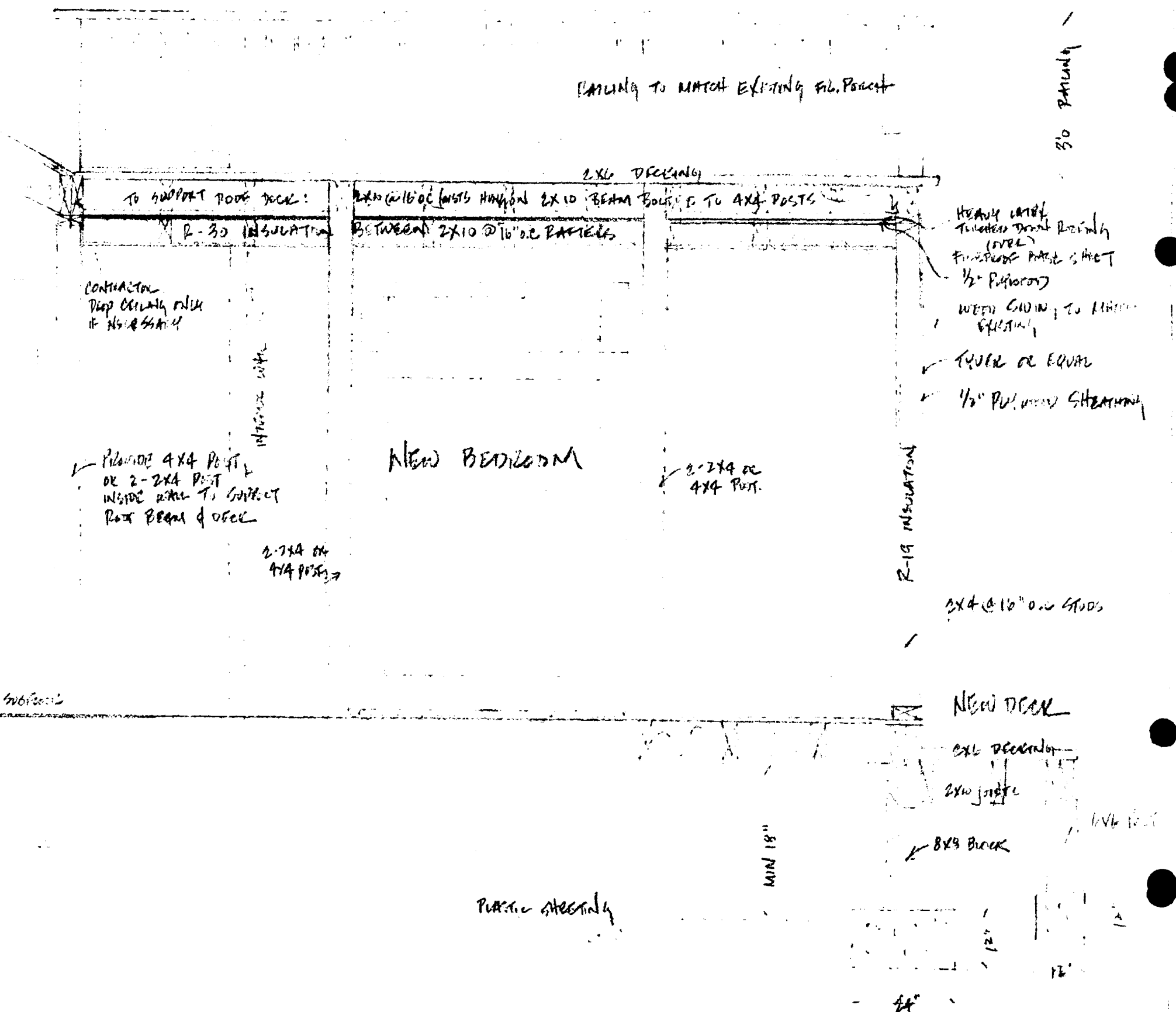
EXISTING WALL OF
EXISTING HOUSE



SECTION **D**
SCALE 1/2" = 1'0"

NOTE: PITCH ROOF
PARTIAL
MIN. 1/4" PER FT

FINISH TO MATCH EXISTING FIN. POOR



TO SUPPORT ROOF JOCK:

R-30 INSULATION

CONTRACTOR
DEEP CEILING ONLY
IF NECESSARY

INTERIOR WITH

PLACE 4x4 POST
OR 2-2x4 POST
INSIDE ROOM TO SUPPORT
ROOF BEAM & JOCK

2-2x4 ON
4x4 POST

NEW BEDROOM

2-2x4 ON
4x4 POST

R-19 INSULATION

2x4 @ 16" O.C STUDS

NEW DECK

2x6 DECKING

2x10 JOIST

8x8 BLOCK

PLASTER INTERIALLY

MIN 18"

SECTION **C**
SCALE 1/2" = 1'0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 2/18/96

RINTI RESIDENCE

1322 BATTIMORE AVENUE
TACOMA PARK, MARYLAND 20912

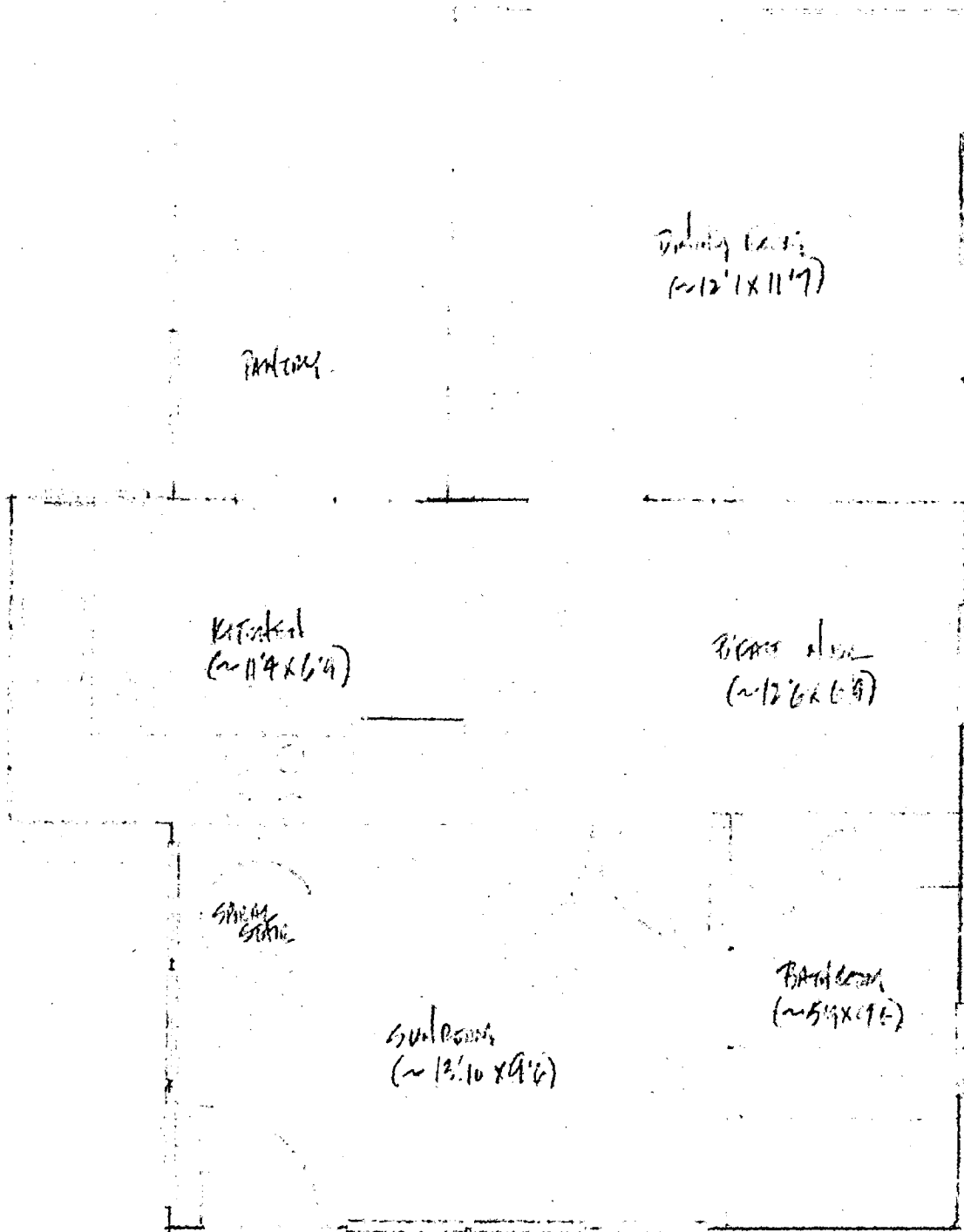
9/19/45.

R-E

C. NEWMAN

EXISTING PLANS

curly corner



TOTAL
(~102' x 12'4")

entry

Living Room
(~12' x 11'7")

Bedroom
(~11'4" x 6'9")

Bedroom
(~12'6" x 6'9")

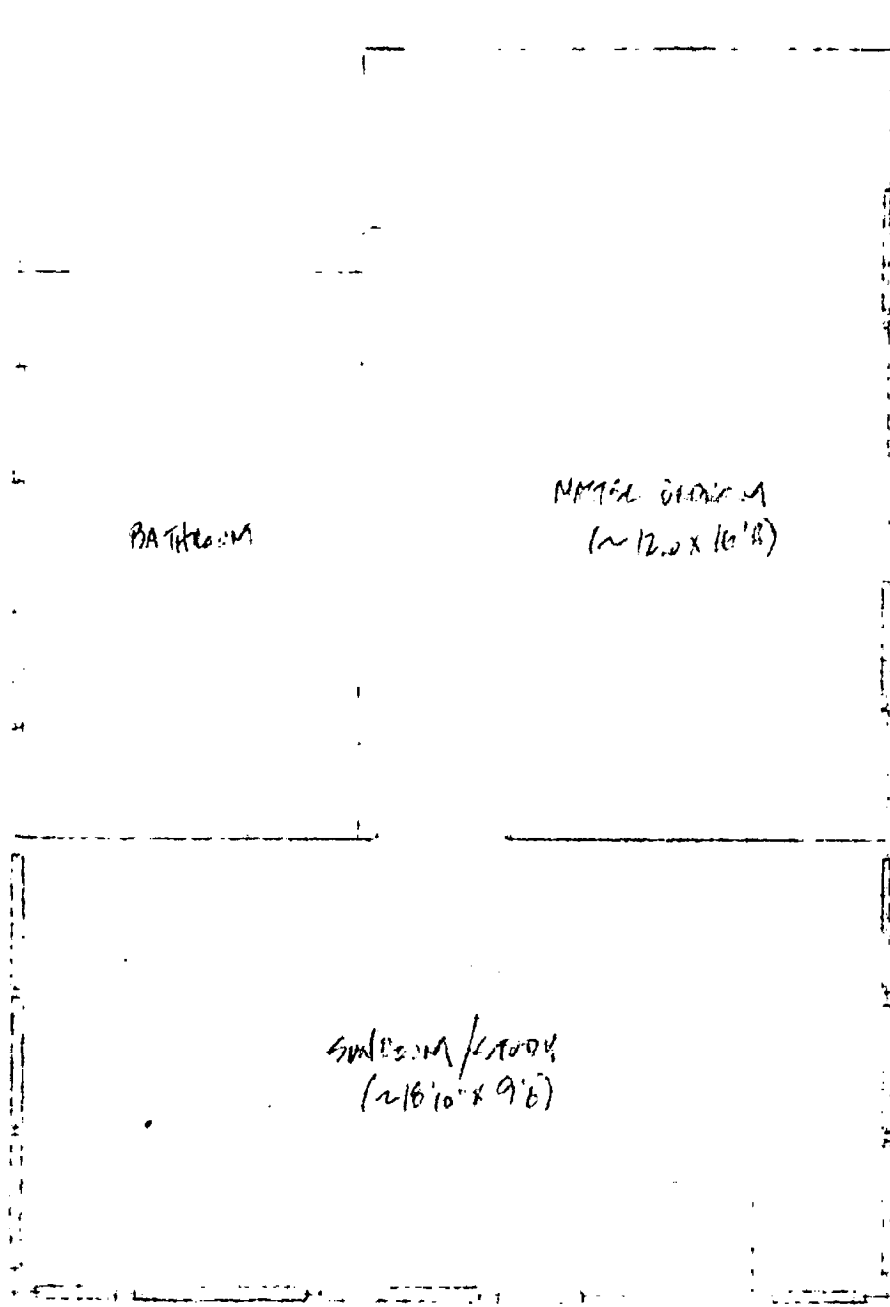
Shower

Living Room
(~13'10" x 9'6")

Bedroom
(~5'9" x 9'6")

main entry

1st Floor Plan



BATHROOM

NATURAL BATHROOM
(~12.0 x 10.8)

SUN ROOM / STUDY
(21.6'0" x 9'6")

ENTRANCE

2nd Floor Plan

Extra
SS.

7322 Baltimore Avenue
#37/3-96B Takoma Park
APC 4/1/96 4/9/96



9312 BAL. A12
REAR VIEW
(AREA OF PROPOSED WORK)





7322 BAYVIEW AVE
VIEW FROM DRIVEWAY
SPRINGSIDE AS # 7324



7322 BOLT AV. VIEWED
FROM BOLT AVE. IN FRONT
OF # 7324.

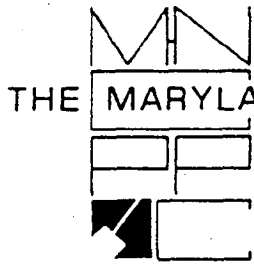




73rd Street, Apt.
View from 61st Ave.
Apt. # 7323







THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: January 18, 1996

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: _____

1. The visible portion of the new chimney shall be masonry.
2. The chimney shall be no taller than local code requires and be 2' above the portion of the roof within 10'.
3. Trim for all openings shall be of wood and match the existing.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Robert J. Pini; Clare McLane, Agent

Address: 7322 Baltimore Avenue, Takoma Park, Md. 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7322 Baltimore Avenue

Meeting Date: 1/10/96

Resource: Takoma Park Historic District

HAWP: Alterations

Case Number: 37/3-96B

Tax Credit: ~~Partial~~ NONE.

Public Notice: 12/27/95

Report Date: 1/3/96

Applicant: Robert J. Rini/
Clare McLane, Agent

Staff: Patricia Parker

PROPOSAL: Rear addition & deck

RECOMMEND: Approval w/
Conditions

BACKGROUND

On the first floor the applicant proposes to construct a rear addition with a canted bay and a covered ~~concrete~~ porch with handrail and steps to grade to serve as a side porch. The new side porch would include a round column with rail to match the rail of the front porch. Underneath the new side porch would be a space enclosed by new doors treated with lattice-work. ^{WOOD}

The new addition would be enclosed with wood siding and metal roofing to match the existing. At the rear, the addition would have several openings. Within these openings would be four 10-lite true divided french doors with single lite transoms above. On the south and west elevations (the rectangular portion of the addition), the applicant proposes to re-use three windows (from the sun room) The rectangular portion of the rear addition would have one double opening, wood siding and a 3'-0" deck railing above to match the existing front porch.

An existing metal spiral stair would be relocated to service an area behind the rectangular portion of the rear addition. A new chimney is proposed. A new rear deck would be constructed behind the new rear addition to join the existing small side deck and the deck would wrap the structure from the west to the south elevations (rear to side).

The house, Victorian vernacular, was built ca. 1898 and is a contributing resource in the Takoma Park Historic District. It is adjacent to another Victorian vernacular structure and a 1920's Craftsman house. No tree removal is involved and shrubbery will be relocated and replanted as necessary.

STAFF DISCUSSION

Rear Addition:

The applicant proposes to construct a one story 16'-9" deep x 31'0" wide x 13'0" high addition with new 7'6" deep x 32' wide rear deck without rail behind, a new chimney and a new covered side porch with steps to grade and enclosure space below. The metal spiral stair

would be relocated to the side elevation. The rear deck continues around the rear of the building and would be approximately 12'6" wide x 27'0" deep on the south elevation.

Staff feels that although the addition is fairly large, and that while the addition adds substantially to the massing of the house, the proposal is confined to the lower level in the rear of the property. Only the side porch to the north is visible from the public street. For these reasons, staff feels that the proposal will not be intrusive to the Historic District and should be approved.

The applicant proposes to re-use three windows from the existing sun room and to relocate them to new openings in the rectangular portion of the proposed addition to be used as a bedroom. Staff feels that these changes occurring in the rear of the property could be approved. Staff applauds the applicant for re-using these windows and reminds the applicant that if properly and separately documented, this portion of the proposal would qualify for tax credit. ~~tax~~ none

Relocation of the Spiral Stair:

Staff has expressed some concern to the applicant about the relocation of the spiral stair. The spiral stair, as proposed, is to be relocated to the opposite side elevation between the new rear addition and the existing addition on the front of the house. The spiral stair which provides access to the second level would be visible from the public street. Seasonally, this will not be problematic because of existing foliage. But in the winter and late fall seasons, the spiral stair will be visible. Commissioners may choose to discuss this issue with the applicant.

Removal of Sliding Glass Door on the South Elevation:

The proposal also includes the replacement of a sliding glass door with a new french door within the existing opening on the south wall. The new french door would also have true divided lites. Staff recommends that the HPC approve this alteration.

Construction of New Fireplace:

The new fireplace is extremely tall; but it is located in the rear of the property. Because of its height, it will be visible from the public right-of-way. Staff feels that the fireplace should be constructed of masonry.

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #2, and #9 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

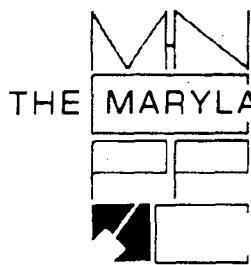
New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following conditions:

1. The new chimney shall be masonry.
2. Trim for all openings shall be of wood and match the existing; and

with the General Condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work; and

with the Guidelines of the Takoma Park Historic District.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: January 18, 1996

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

TAX ACCOUNT # _____

CONTACT PERSON CEAIRE McANALE
 DAYTIME TELEPHONE NO. (301) 654-8820
FAV 301 215 7743

NAME OF PROPERTY OWNER ROBERT KIND DAYTIME TELEPHONE NO. (202) 246 2007

ADDRESS 7322 BALTIMORE AVENUE TACOMA PARK CITY MD STATE MD ZIP CODE 22912

CONTRACTOR W B DORRANCE TELEPHONE NO. (301) 587 7947

CONTRACTOR REGISTRATION NUMBER _____

AGENT FOR OWNER CEAIRE McANALE DAYTIME TELEPHONE NO. 301 654 2820

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7322 STREET BALTIMORE AVENUE

TOWN/CITY TACOMA PARK NEAREST CROSS STREET ALDAN/AVE
CLIXLAND AVE

LOT P/615 BLOCK 76 SUBDIVISION TACOMA PARK

LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____

CIRCLE ALL APPLICABLE: A/C Slab Room Addition Porch Fireplace Shed Solar Woodburning Stove

1B. CONSTRUCTION COST ESTIMATE \$ 65,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 SEPTIC 03 OTHER _____

2B. TYPE OF WATER SUPPLY 01 WSSC 02 WELL 03 OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent _____ Date 12/13/95

APPROVED in conditions For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date January 18, 1996

APPLICATION/PERMIT NO. 9512180066 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

CLAIRE McLANE
RESIDENTIAL CONCEPTS

4405 WALSH STREET, CHEVY CHASE, MD 20815
301 654-2820
FAX: 301 215-7743

13 December 1995

Robin Ziek, Staff Member
Montgomery County Historic Preservation Commission
M-NCPPC
8787 Georgia Avenue
Silver Spring, Maryland 20910

Dear Robin,

Thank you for spending time on the phone with me yesterday to explain the procedure for completing the Application for Historic Area Work Permit for a residential addition at 7322 Baltimore Avenue in Takoma Park.

I am submitting this application on behalf of Robert J. Rini, the homeowner, who will attend the public hearing tentatively scheduled for the evening of January 10, 1996. In the meantime, I believe the documents, plans and photographs included here are complete. Please contact me immediately if there is additional information we should submit to you or the Commission.

Sincerely,


Claire McLane

CLAIRE McLANE

RESIDENTIAL CONCEPTS

4405 WALSH STREET . CHEVY CHASE . MD 20815
301 654-2820
FAX: 301 215-7743

13 December 1995

RE: 7322 Baltimore Avenue
Takoma Park, Maryland 20912

OWNER: Robert J. Rini
home phone: 301-589-2163
office phone: 202-296-2007

AGENT: above -- Please contact Claire McLane, as well as Robert Rini, for any additional information. Thank you.

DESCRIPTION OF PROPOSED WORK

A one-story addition comprised of a new family room and bedroom at the rear of the house are proposed. The family room will actually consist of the existing sunroom and an additional 14 X 16 space and the bedroom will measure approximately 12 X 11 with a deck above. A new covered landing is proposed on the north side of the house toward the rear and would be adjacent to the new family room. This landing will measure 4 X 10. A grade level deck is planned to create a transition to the lawn and extend an existing deck to the south side of the house.

The area of proposed construction does not include any large trees or significant plantings. Shrubbery will be removed and replanted as necessary.

The design of the proposed construction is intended to match as closely as possible the existing house in terms of proportions and materials. The design calls for a classic bay or gazebo rear facade which is in keeping with the Victorian flavor of this house. As many details of the wood siding and exterior trim will be copied as closely as possible including landing and deck railings. Existing windows will be re-used where possible and new windows are designed to match the existing in proportion and design. New french doors and transoms will have true divided lights as indicated by the existing doors. Metal roofing has been specified to match the existing. The intention of the designer is that the new construction will look as if it had been planned with the original structure.

The additional space is desired by the owner to create necessary living space for a family. This is a meticulously maintained property and it is the belief of the owner and designer that the proposed addition will enhance both the the existing house and the neighborhood.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

MR. WALTER H. PENNEY
7318 BALTIMORE AVE
TAKOMA PARK, MD 20912

LOIS C. AND M.M. WOLF
7320 BALTIMORE AVE
TAKOMA PARK, MD
20912

KORINA HOLTA AND
ARNOLD S. COTTEN.
7324 BALTIMORE AVE
TAKOMA PARK, MD
20912

MARK R. GINSBERG
AND
ELAINE A. ANDERSON
7325 BALTIMORE AVE
TAKOMA PARK MD
20912

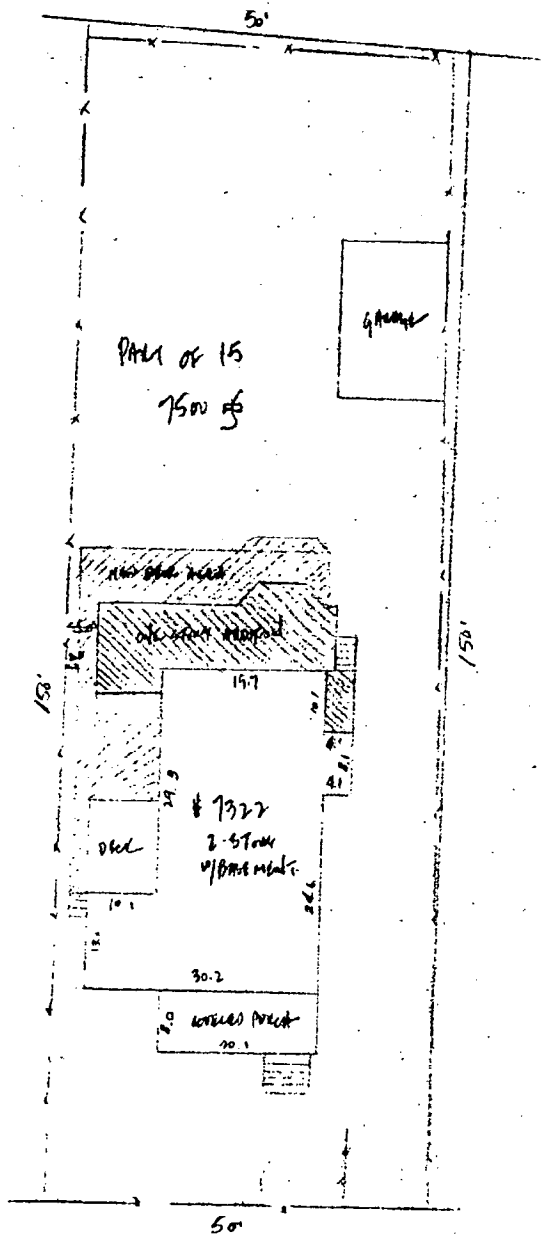
STANLEY J. REED
AND
JOYCE R. BRANDA
7327 BALTIMORE AVE
TAKOMA PARK, MD
20912

BIALI Residence

12/1995

7327 BARTIMORE AVENUE
TACOMA PACE MARYLAND 20740

E. M. M. M.



BARTIMORE AVENUE

Lot: P/O 15
Block: 76
Scale: 1" = 20'
Case No: AK 95056

DATE: 3-18-95
Case No: AK 63860
SUBMISSION: TACOMA PACE
MONTGOMERY COUNTY, MARYLAND

Informational sheet from: Property info summary by: UNIFORM ASSOCIATES, INC.
7307 BARTIMORE AVE, SUITE 214
CONWAY, PACE, MARYLAND 20740
301-277-8870

Note: As per R-10 zoning and residential use for the property -
1. Additional 20' setback to 50' set back at side yard
2. Max 4' height

2111 Residence

12/1995

R-0

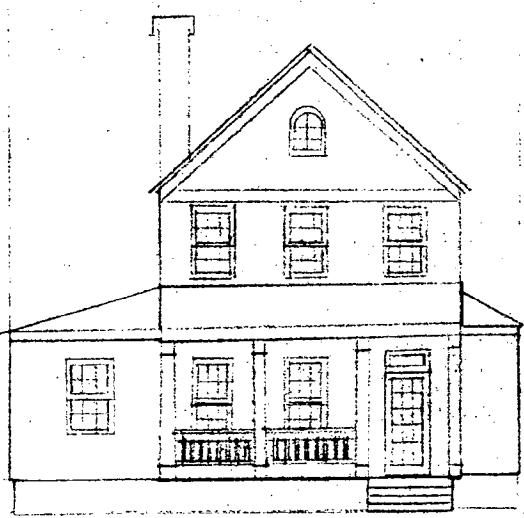
7500 International Avenue
Miami Beach, Florida 33139

C. S. S. S. S.

Sketchy Elevation

~10'0" ~19'8" ~11'0"

~9'6"



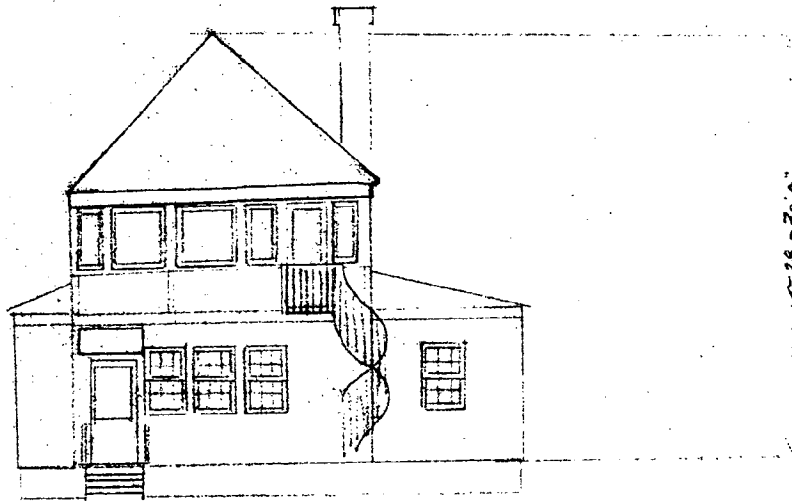
EXISTING FRONT ELEVATION



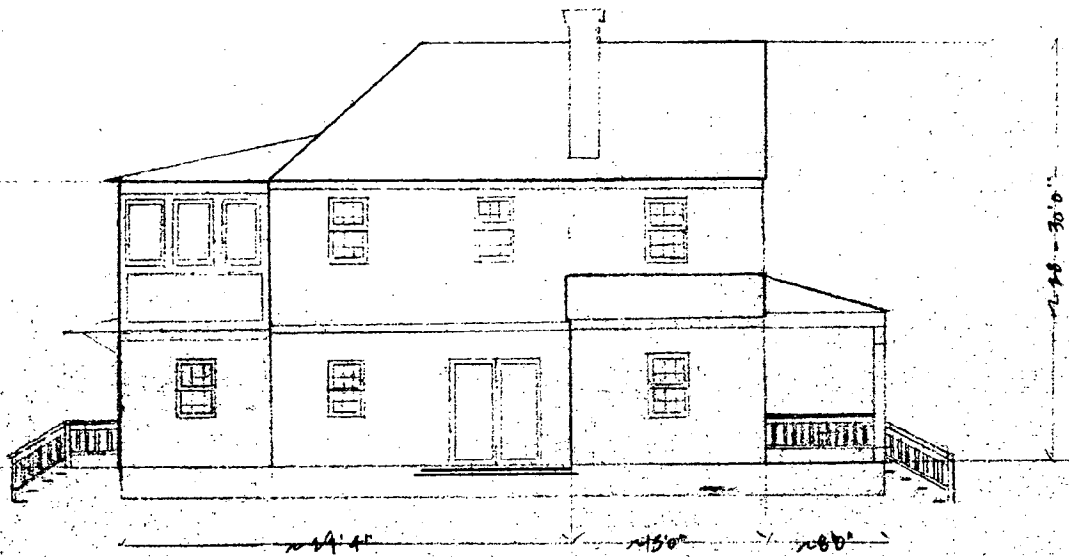
~19'6"

EXISTING NORTH ELEVATION

~24'7" ~18'0" ~11'0"



EXISTING REAR ELEVATION

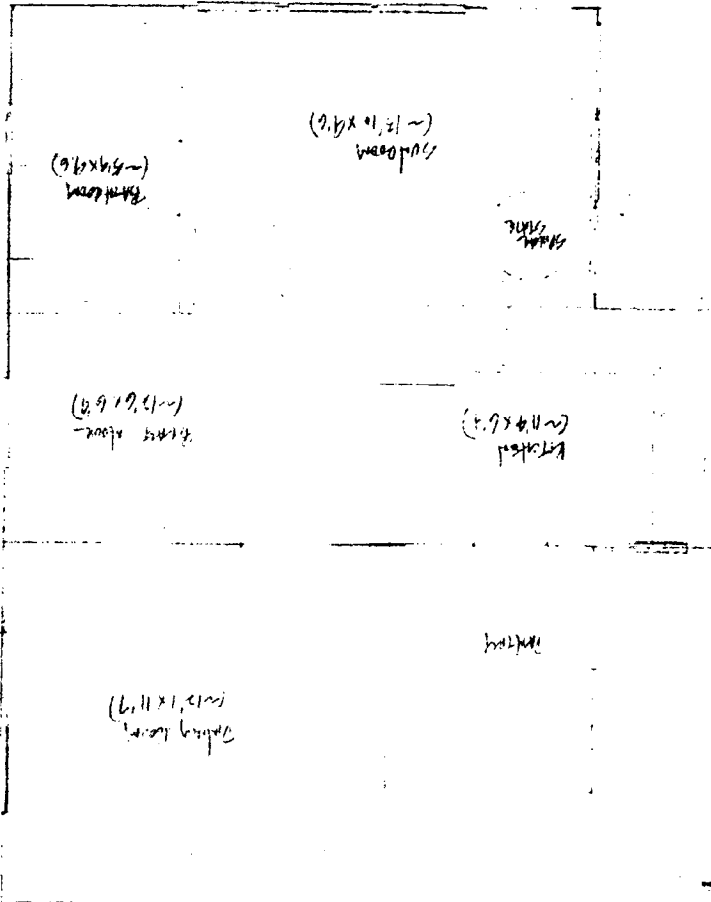


EXISTING SOUTH ELEVATION

SCALE 1/8" = 1'-0"

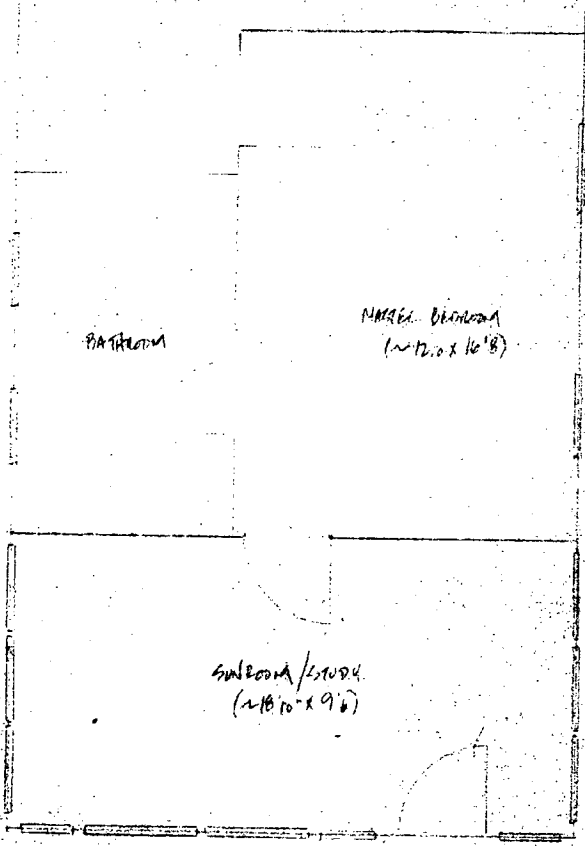
1st floor plan

main stairs



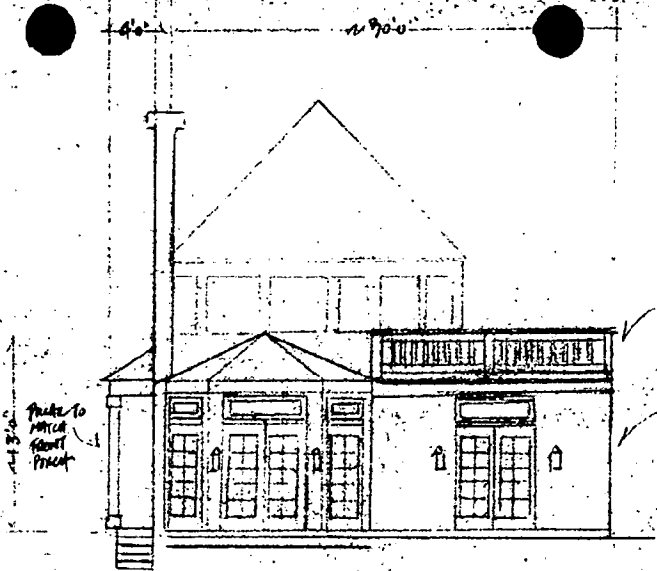
family room

	9/1995 C. Mearns	PINT RES ICE 9522 BARTIMORE AVE NDC THOMA PHE. HAYWARD 20912
--	---------------------	--

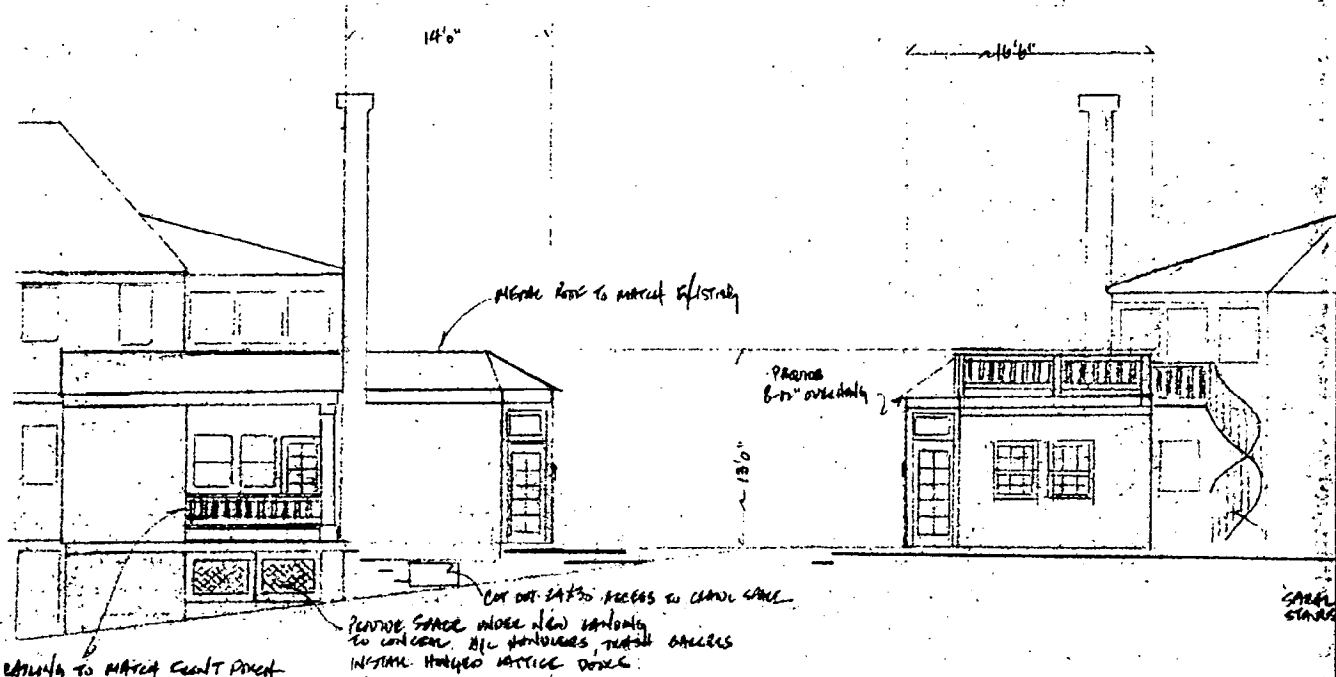


AREA 5101

2160 Floor Plan



PROPOSED FRONT ELEVATION



PROPOSED SOUTH ELEVATION

PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES: THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NEIGHBORHOODS AND CONDITIONS AND SHALL OBTAIN ANY WORK IS REQUIRED. THE DESIGNER TAKES NO RESPONSIBILITY FOR PROOF OR INTERPRETATION OF DEVELOPMENTS, DURING CONSTRUCTION, CONSULTATION AND QUANTITY OF WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL NEIGHBORHOODS AND NEIGHBORHOODS AND SHALL BE FULLY DETECTED AND NOTED.

1. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION (AS LISTED WITH APPROVAL) AND SHALL BE OBTAINED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL.
2. FOR FLAMING WOODEN SHIP OR SOUTH YARD SIDE, ALL 2" OR GREATER DIAMETER ALL CORNER FASTENERS.
3. CONTRACTOR SHALL USE PRESSURE TREATED LUMBER AT GUTS AND OTHER HIGH WIND LOCATIONS.
4. CONTRACTOR SHALL USE PRESSURE TREATED LUMBER FOR DECK CONSTRUCTION.

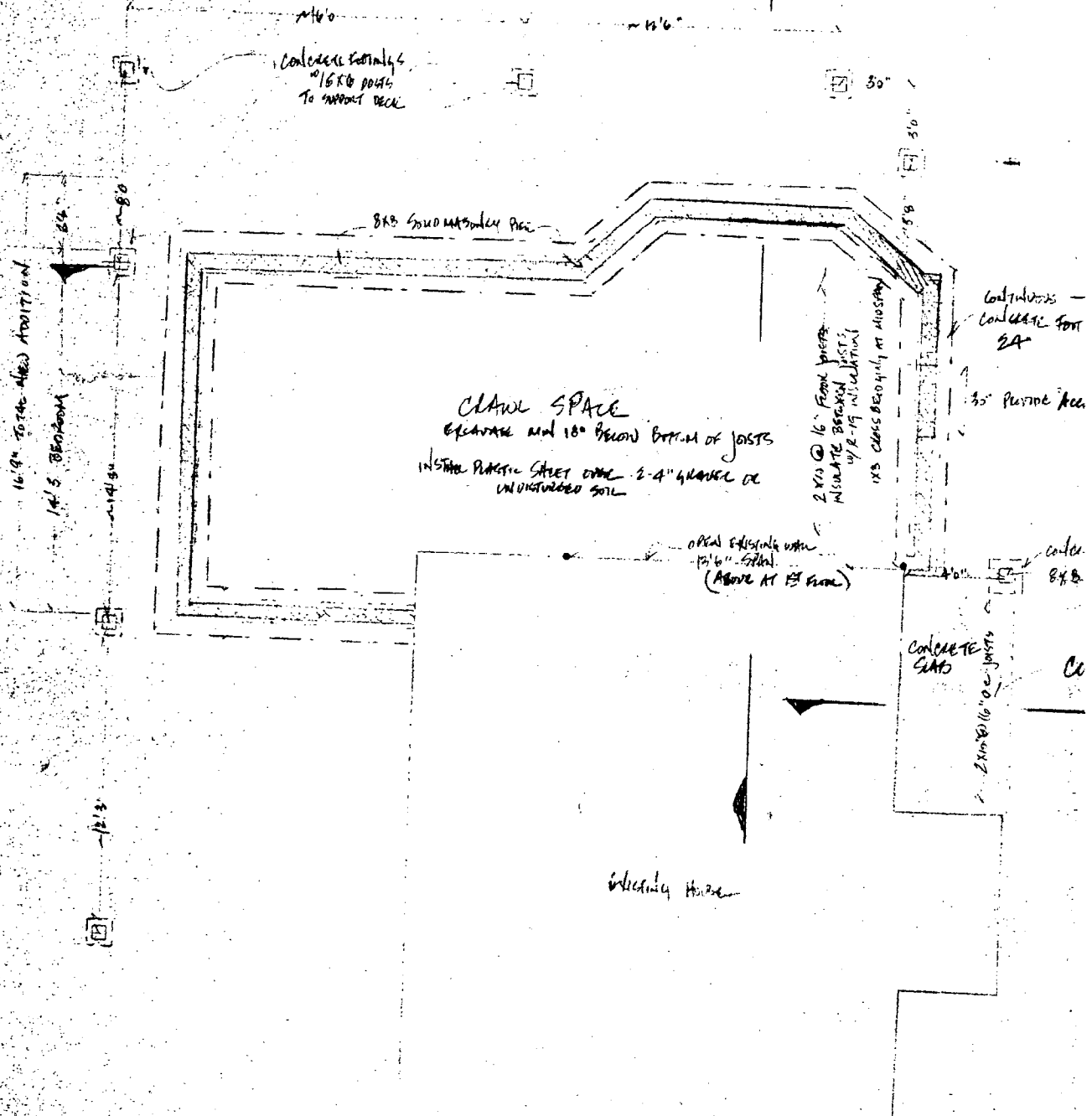
RINTI RESIDENCE

1322 BALTIMORE AVENUE
THORNTON PARK, MARYLAND 20912

12/1995

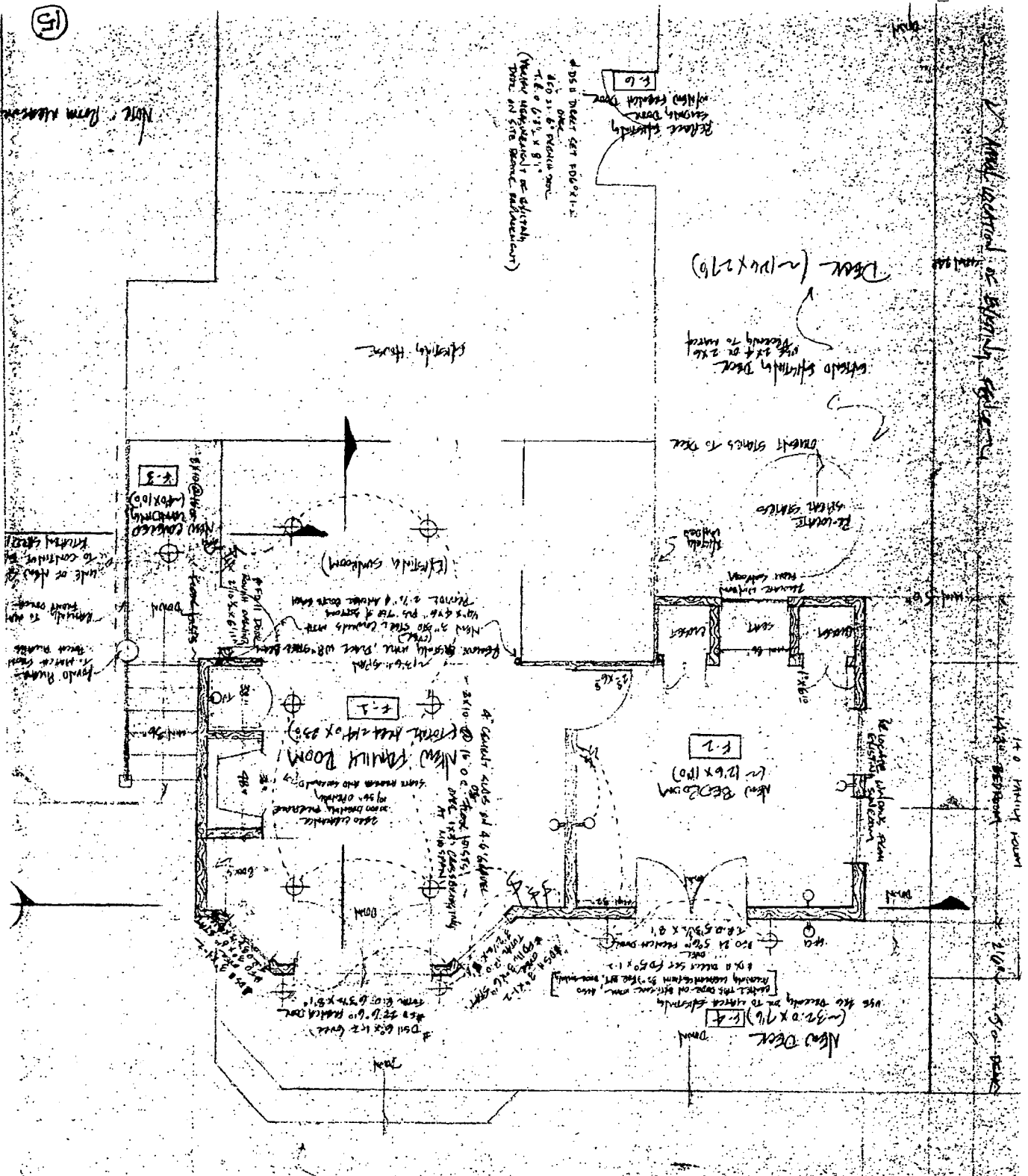
C. MCANALE

R-2

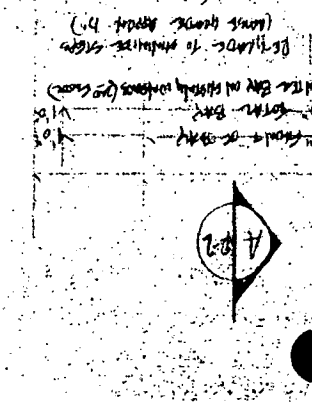


FOUNDATION PLAN

Scale: 1/4" = 1'-0"



Symbol	Meaning
○	Window
○	Door
○	Window
○	Window
○	Window
○	Window
○	Window
○	Window
○	Window
○	Window
○	Window



Project Name	12/1995	2-3
Client Name	Mr. & Mrs. [Name]	
Address	1234 Main St.	
City	Anytown, CA	
State	CA	
Zip	94301	

NOTE: STRIPES OF PLASTERING
 BEHIND ONLY NEW WORK
 IS PERMITTED.

NEW 8" SOLID BEAM
 FOOT TO EXISTING RAFTER
 4 3/8" W/ 2x8 @ 56" O.C.
 BOTH SIDES OF WEB

NOTE: CENTER BEAM OF CEILING
 TO BE AT FINISH SURFACE
 IF POSSIBLE.

NEW 3" x 4" PIPE CORNER

EXISTING SUNROOM

NEW FAMILY ROOM

EXISTING WINDOW

2x10 TO BE
 REFRAMED

2x10 MOUSE

1/2" ASPEN WALLBOARD (CEILING)

9'0" CEILING HEIGHT

FD 21 6'6"

LINE OF EXISTING IS FLOOR

EXISTING FLOOR JOIST

EXISTING BRICK
 OR CONCRETE
 FOUNDATION WALL

NEW 2 1/2" x 12" W/ 2x12 W/ 2x12
 MEMBERS W/ 2x12
 2x12

REMOVE 2x10 2x10 RAFTERS
 FOR CEILING

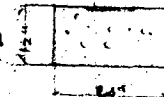
1 1/2" MIN. INSULATION AT EXISTING
 NEW 2x10 @ 16" O.C. FLOOR JOISTS

CALL FOR
 16' x 16'
 RAFTERS
 @ 16" O.C.
 NOTING THAT
 12' LONG
 CEILING

2-4" PLANKS ON UNDISTURBED SOIL

SECTION A
 SCALE 1/2" = 1'0"

CONCRETE FLOOR

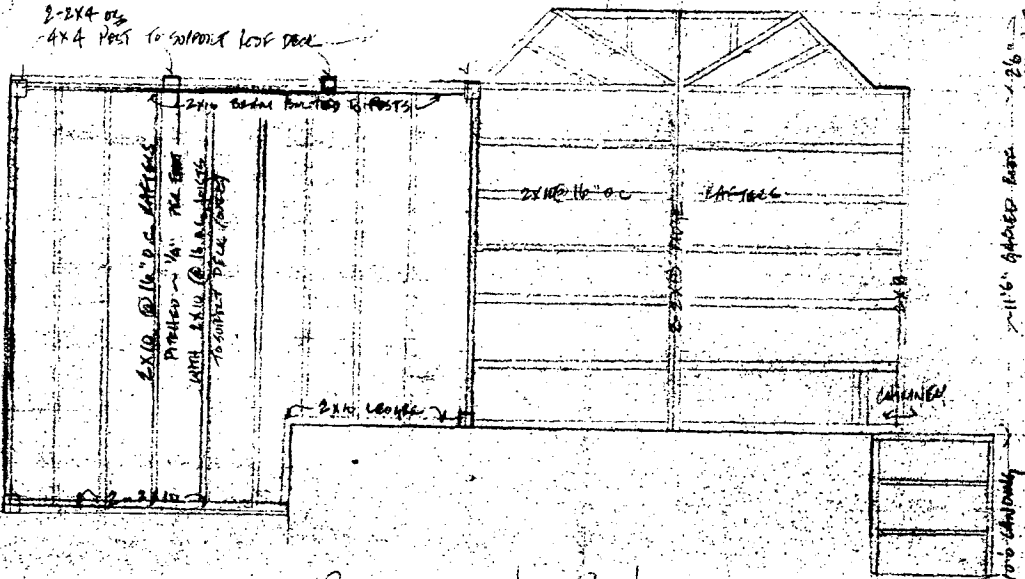


POST DECK (CIRCUIT)

2x16" SUBMITTAL PITCHED ROOF
 (PITCH ~ 4" PER FOOT)

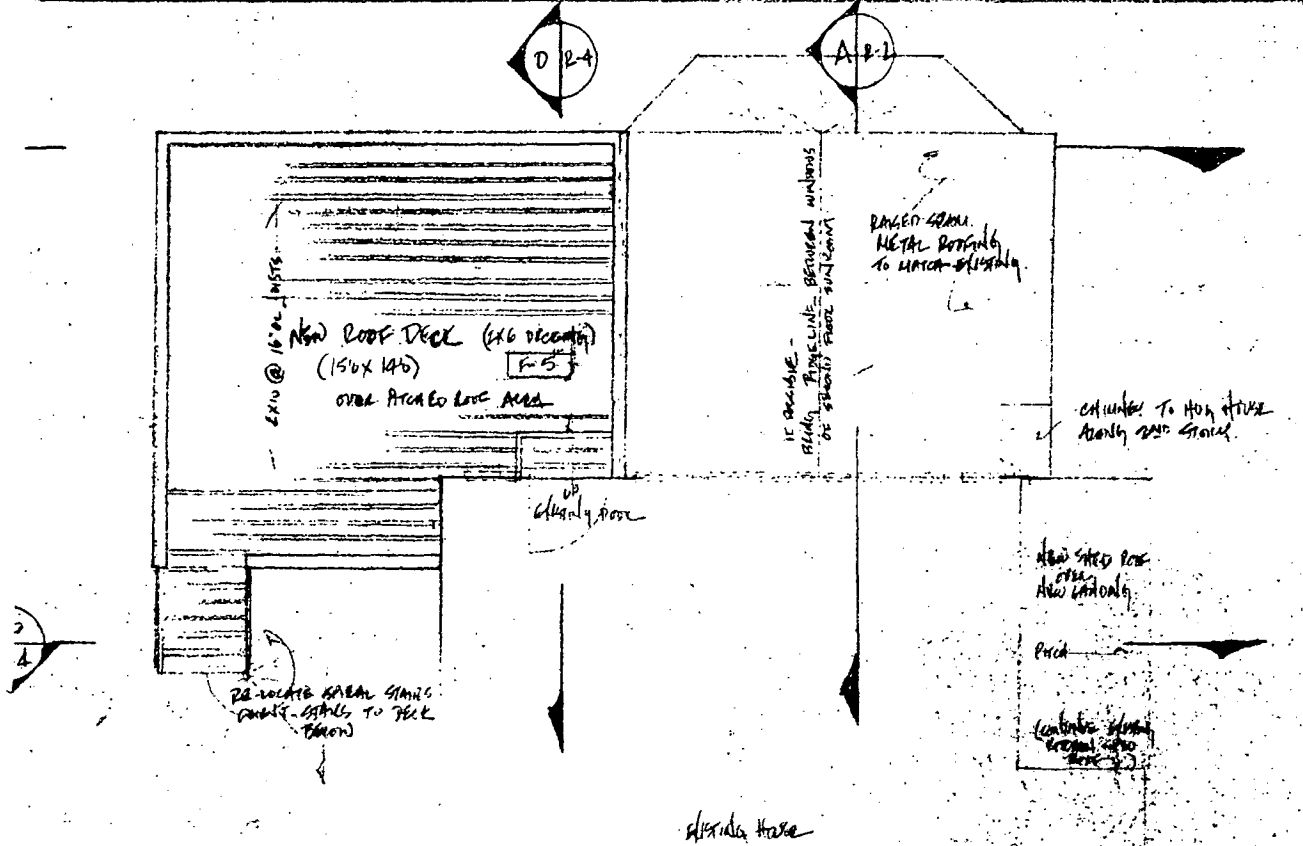
2-2x4 OR
 4x4 POST TO SUPPORT ROOF DECK

NOTE: CENTER LINE OF EXISTING
 AND FOUNDATIONS AS NEAR AS POSSIBLE



FLOOR SCHEDULE				WINDOW SCHEDULE		
AREA NO.	FLOOR	DATE	WORKS: & COMMENTS	QTY	MODEL	DESCRIPTION
1	PENTHOUSE FOR OFFICE	TO MATCH EXISTING	1/2" GYPUM BOARD - PAINTED 2 COATS AS SPEC'D UNLESS TO SELECT COLOR FINISH	1	DS 11	DIRECT SET WITH F06" X 1-2
				1	FD 21	6" 6" FRAMCH DOOR SET W/ A
2	PENTHOUSE FOR OFFICE	TO MATCH EXISTING	1/2" GYPUM BOARD - PAINTED 2 COATS AS SPEC'D UNLESS TO SELECT COLOR FINISH	2	DS 11	DIRECT SET WITH F06" X 1-2
				2	FD 11	5" 6" STAIRWELL FR. DOOR
3	1X3 TRG @ 2X6 DECKING		1X3 TRG TO MATCH FRONT FRONT	1	FO 11	2 1/2" 6" PULLCH DOOR GROUP B
4	2X6 TREATED FR. DECKING		NO HANDLING + ROUND PULCH TO MATCH FRONT FRONT	1	DS 11	DIRECT SET WITH FD 5" X 1-2
5	2X6 DECKING		ALL PARTIALS TO MATCH EXISTING FRONT FRONT AS EXISTING AS POSSIBLE	1	FD 21	5" 6" FRAMCH DOOR SET W/ A
6				2	EXISTING	D.H. WALKWAY FROM SUITROOM
				1	INTERNAL DOOR	3" 3" SOLID WOOD PANELS
				4	INT. CLOSET DR.	1 3/4" 6" SOLID WOOD PANEL

NOTE: LATH AND FINISH DOORS 3/4" ABOVE SUBFLOOR
 WINDOW NOTES: ALL EXT. WINDOWS - WEATHERSTRIPED
 4 1/2" FRAME TRIM
 WHITE VINYL CLAD
 INSULATED GLASS
 7/8" WOOD GRILL - FINE-TUNED LITES
 NO LOCK PANEL
 REPLACE SUITING DOOR TO MATCH FR. DR.



ALL APPROXIMATE INTERIOR MEASUREMENTS

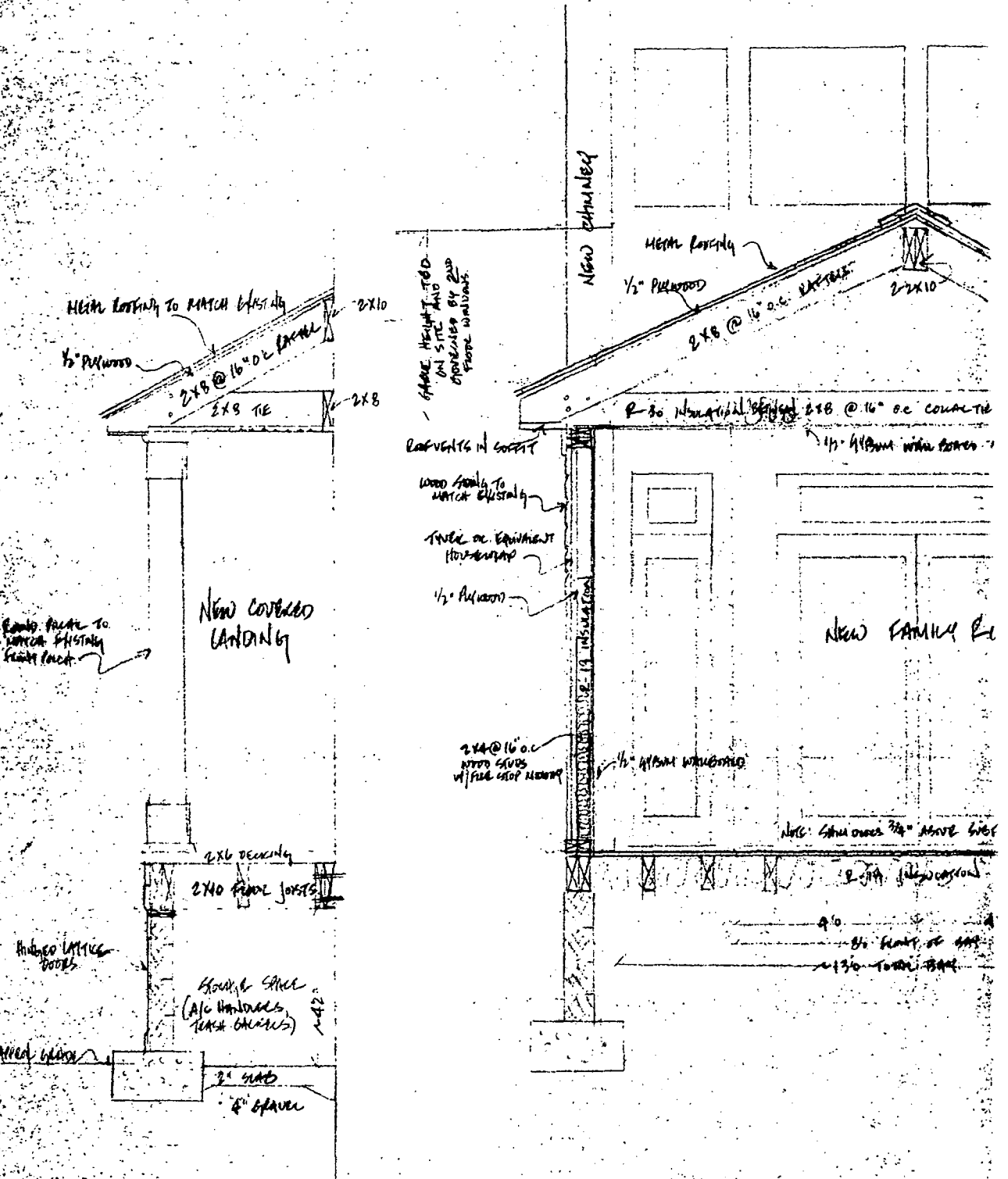
RINI RESIDENCE

7322 BARTIMORE AVENUE
TOWSON PARK, MARYLAND 21286

12/1995

C. Henshale

P-4



Roofs match to
existing existing
height match

NEW COVERED
LANDING

NEW CHIMNEY

HELM ROOFING

1/2" PINEWOOD

2x8 @ 16" o.c. RAFTERS

2x10

R-30 Insulation between 2x8 @ 16" o.c. joists

1/2" AIRSPACED INSULATION

RAFTERS IN SOCKET

WOOD FRAMING TO
MATCH EXISTING

TRAIL OF EQUIPMENT
HOUSING

1/2" PINEWOOD

2x4 @ 16" o.c.
WOOD JOISTS
W/ FILL GROP MEMBR.

1/2" AIRSPACED INSULATION

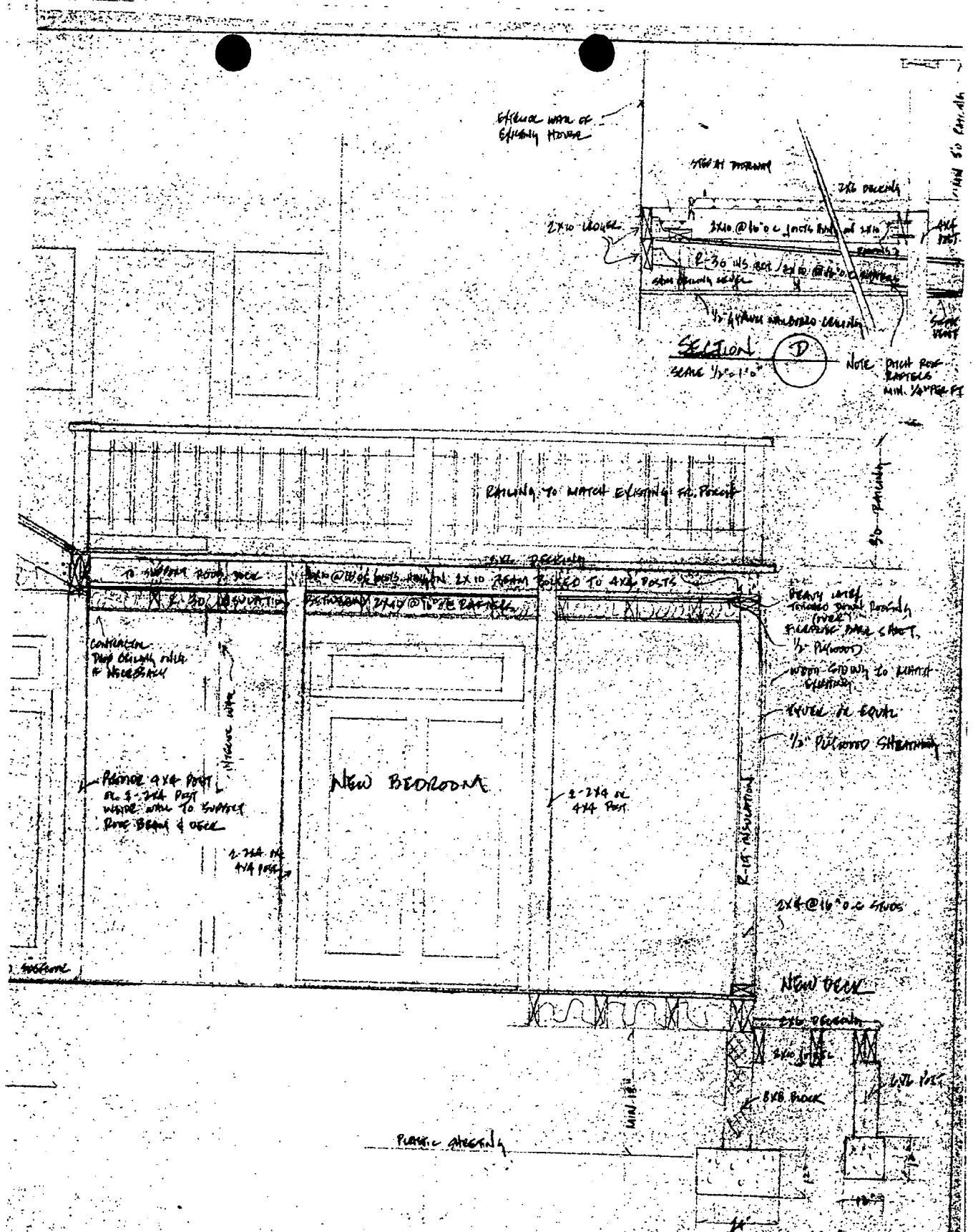
NEW FAMILY R.

NOTE: SIMILAR OVER 2" ABOVE SILL

R-19 INSULATION

9'0" ON FRONT OF WALL
13'0" TOTAL BAY

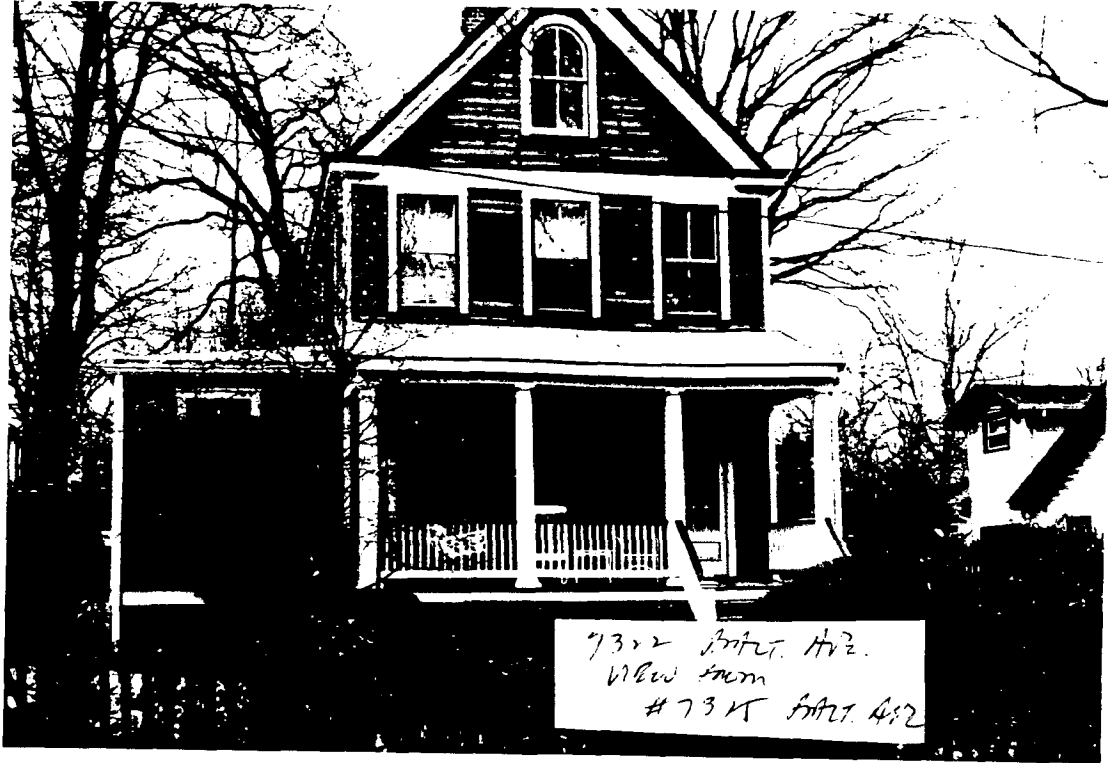
SECTION B
Scale 1/2" = 1'-0"



SECTION **D**
 SCALE 1/2" = 1'-0"

NOTE: DRIFT FOR EXISTING MIN. 1/4" ABOVE FT

SECTION **C**
 SCALE 1/2" = 1'-0"



7322 SALT AVE.
VIEW FROM
#7315 SALT AVE



7322 SALT AVE
VIEW FROM
#7320 SALT AVE





7322 BIRCHWOOD AVE
VIEW FROM # 7323
(ACROSS THE STREET)



7322 BIRCHWOOD AVE
VIEW FROM BIRCHWOOD AVE
AT # 7323



7322 BILT. AVE
VIEW FROM DIRECTLY
SHINING HS # 7321



7322 BILT. AVE VIEWED
FROM BILT. AVE IN FRONT
OF # 7324.

LINI RESIDENCE

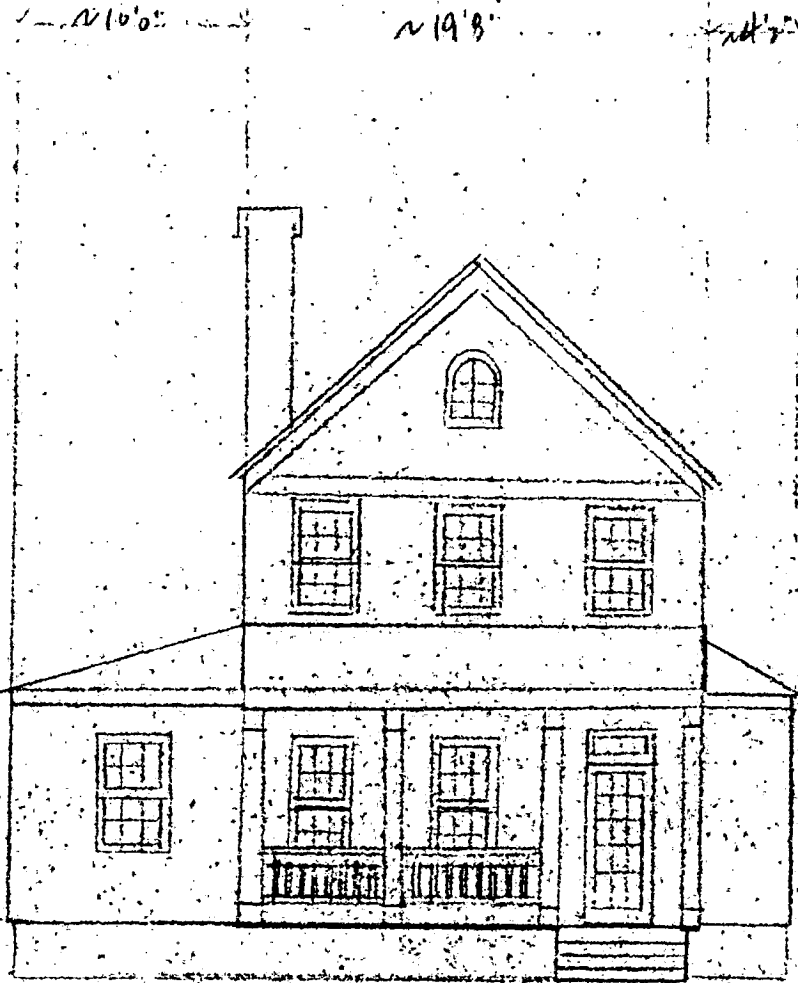
12/1995

R-0

7300 BATHURST AVENUE
TRENCH PARK, MARYLAND 20912

C. MCCLANE

EXISTING ELEVATION



EXISTING FRONT ELEVATION



EXISTING NORTH ELEVATION



EXISTING REAR ELEVATION



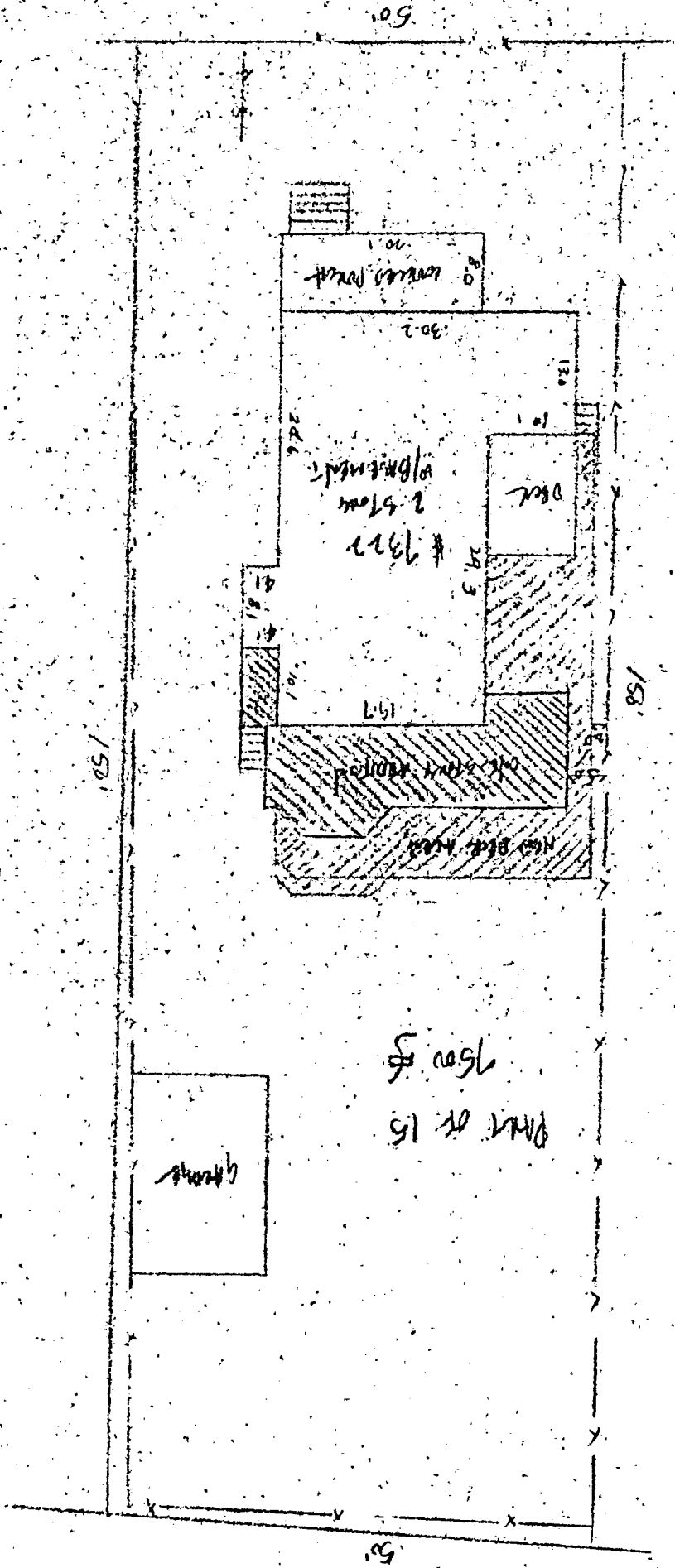
EXISTING SOUTH ELEVATION

SCALE 1/8" = 1'-0"

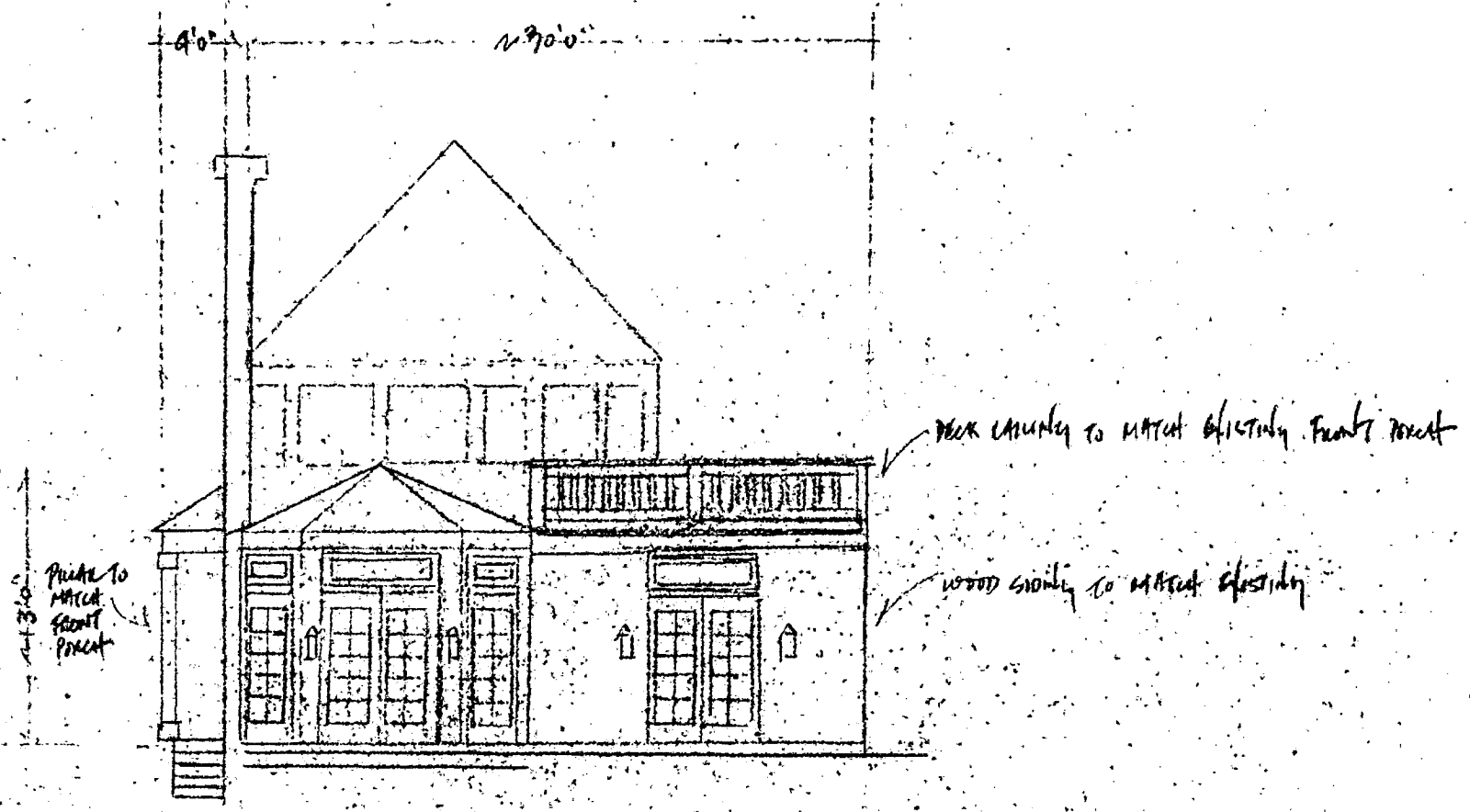
NOTE: As per E-to zoning and variances, the property -
 1. Addition to house to 50' 6" at side yard
 2. Deck to house to 20' 6" at side yard

Lot # 15
 Subd. 11-20
 Case No. 11-20
 Date 3-18-83
 Approved by Board
 Approved by Planning Commission
 Approved by Board of Health
 Approved by Board of Public Works
 Approved by Board of Supervisors
 Approved by Board of Directors
 Approved by Board of Trustees
 Approved by Board of Managers
 Approved by Board of Officers
 Approved by Board of Members
 Approved by Board of Associates
 Approved by Board of Contributors
 Approved by Board of Donors
 Approved by Board of Benefactors
 Approved by Board of Patrons
 Approved by Board of Friends
 Approved by Board of Supporters
 Approved by Board of Sponsors
 Approved by Board of Members-at-Large
 Approved by Board of Members-at-Large

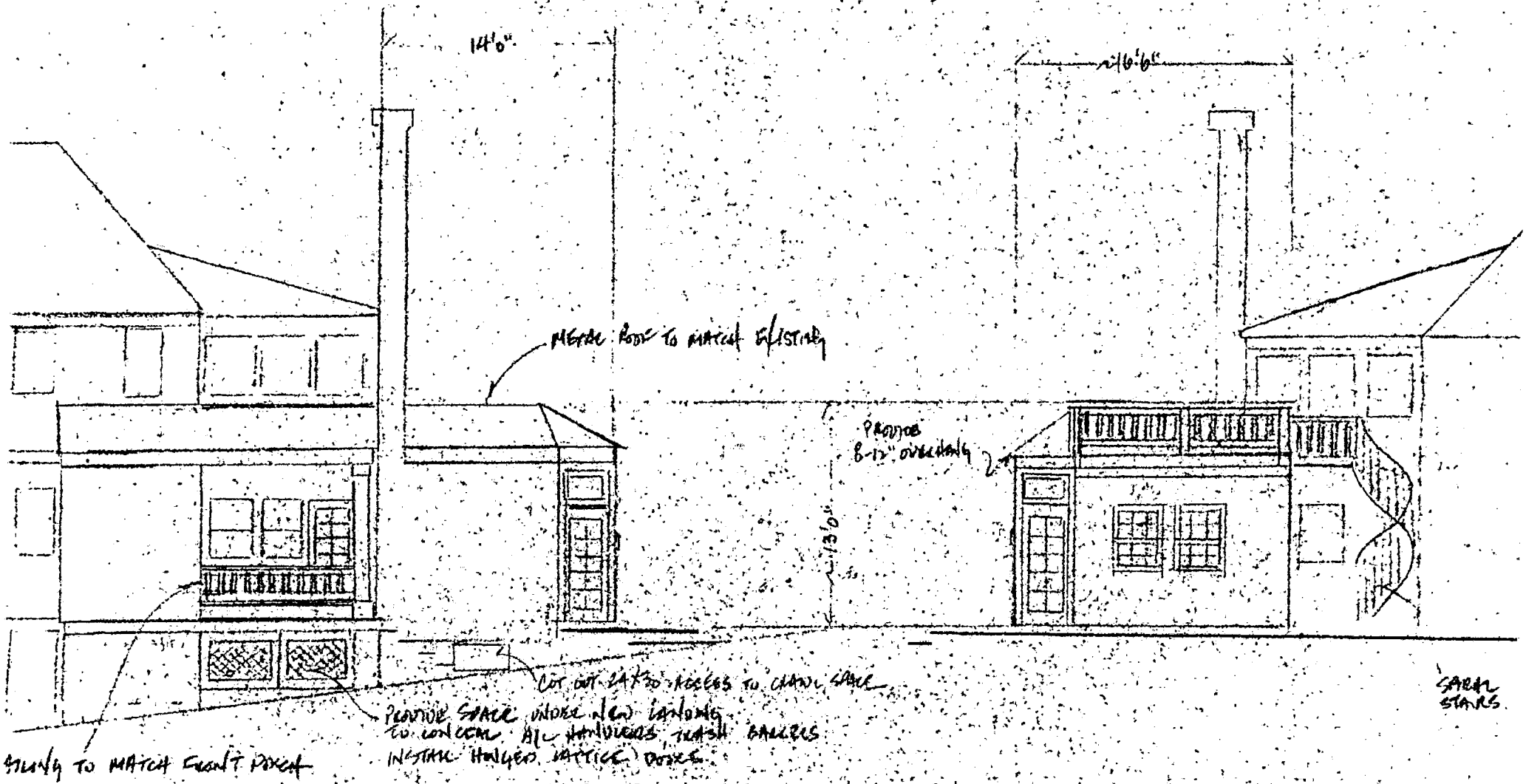
Part of 15



Bill Residence	12/1995	E. M. M. M.	1322 Riverside Avenue Tampa, FL 33612
	2-1		



Proposed Rear Elevation



Proposed North Elevation

Proposed South Elevation

Scale 1/8" = 1'-0"

General Notes: The contractor and subcontractors shall be responsible for checking and verifying all measurements and conditions on site before any work is performed. The designer takes no responsibility for proper or improper conditions or developments during construction; construction and quality of work is the sole responsibility of the contractor. All measurements are approximate and shall be finally determined on site.

1. Structural steel shall conform to ASTM specification A36 (latest local approved) all steel shall be detailed, fabricated and erected in accordance with the AISC manual.
2. All framing lumber shall be south yellow pine No. 2 or better hemlock No. 1 better Fy 12.
3. Contractor shall use pressure treated lumber at sills and other near-grade locations.
4. Contractor shall use pressure treated lumber for deck construction.
5. All reasonable precautions will be taken to provide terraced barriers at foundation.

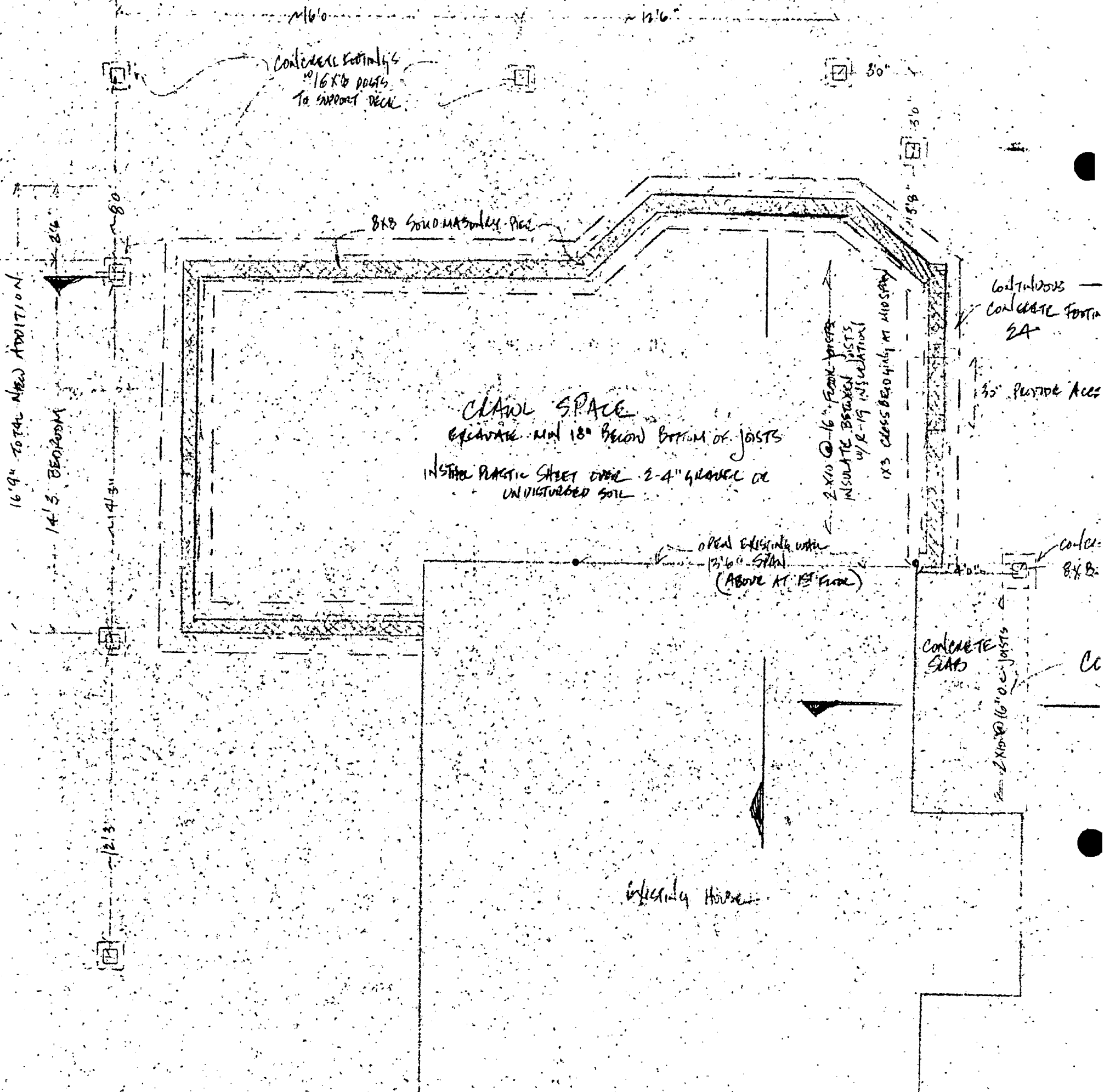
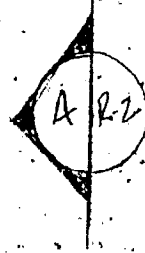
RINI RESIDENCE

1322 BALTIMORE AVENUE
TALONIA PARK, MARYLAND 20912

12/1995

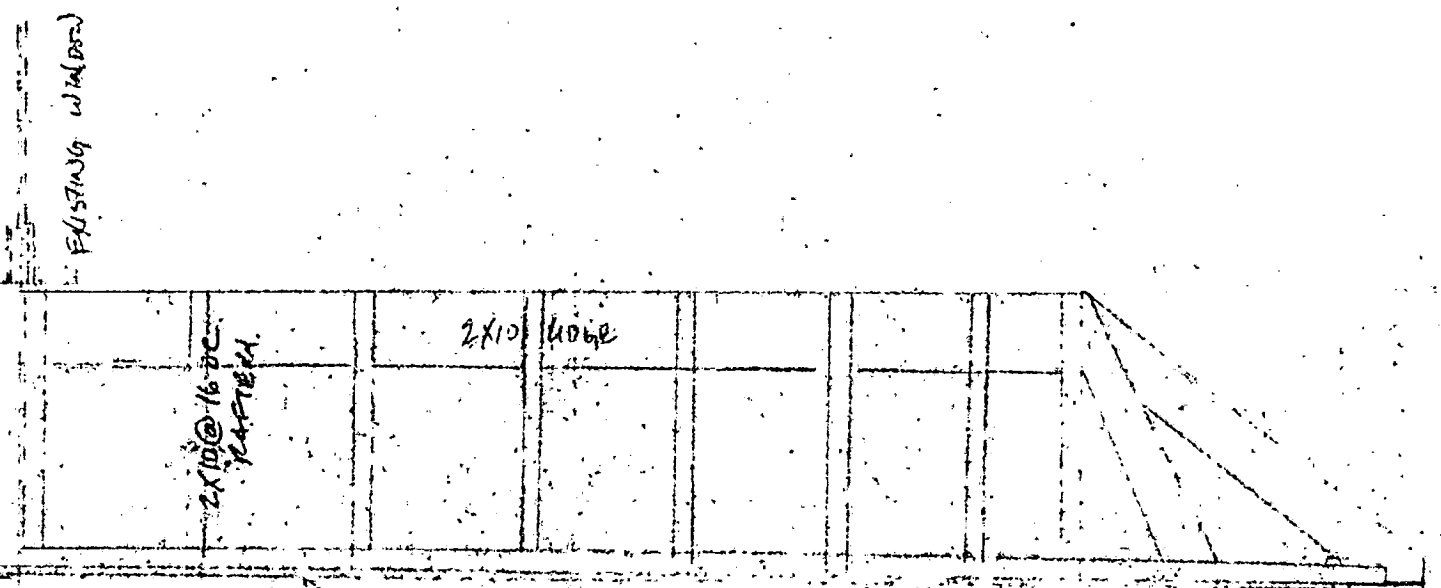
C. McANALE

R-2



FOUNDATION PLAN

SCALE: 1/4" = 1'0"



NOTE: SHOW UP EXISTING BEFORE ANY NEW WORK IS PERFORMED

NEW 8" SOLID BEAM
 REST TO EXISTING FLOOR
 2x10 JOIST @ 16" O.C.
 BOTH SIDES OF WEB

NOTE: CONCRETE BEAM IN CEILING TO CREATE FINISH SURFACE IF POSSIBLE

1/2" Gypsum wallboard (ceiling)

NEW 3" x 3" GIPSO PIPE CONDUIT

EXISTING SUNROOM

NEW FAMILY ROOM

9'0" CEILING HEIGHT

FD11 6"06"
 FD21 6"06"

LINE OF EXISTING IS FROM

PLACE 2x10 3/4" RAFTERS OUTSIDE FOR CARPET

EXISTING FLOOR JOIST

EXISTING BRICK OR CONCRETE FOUNDATION WITH

NEW 4x8" (7/8" BEARING PLATE (4x CONCRETE)) ON TO MASONRY WITH
 NEW 2-1/2" x 12" WOOD JOIST BOSS NESTED INTO WALL
 2x2x12

NEW 2x10" @ 16" O.C FLOOR JOISTS

CAST 2x8 WOOD PLATE 1/2" x 12" INSIDE JOIST @ 6" O.C. NOT SETTING 1" FROM CENTER

2" 4" GRAVEL OR WOODSHAKE SOIL

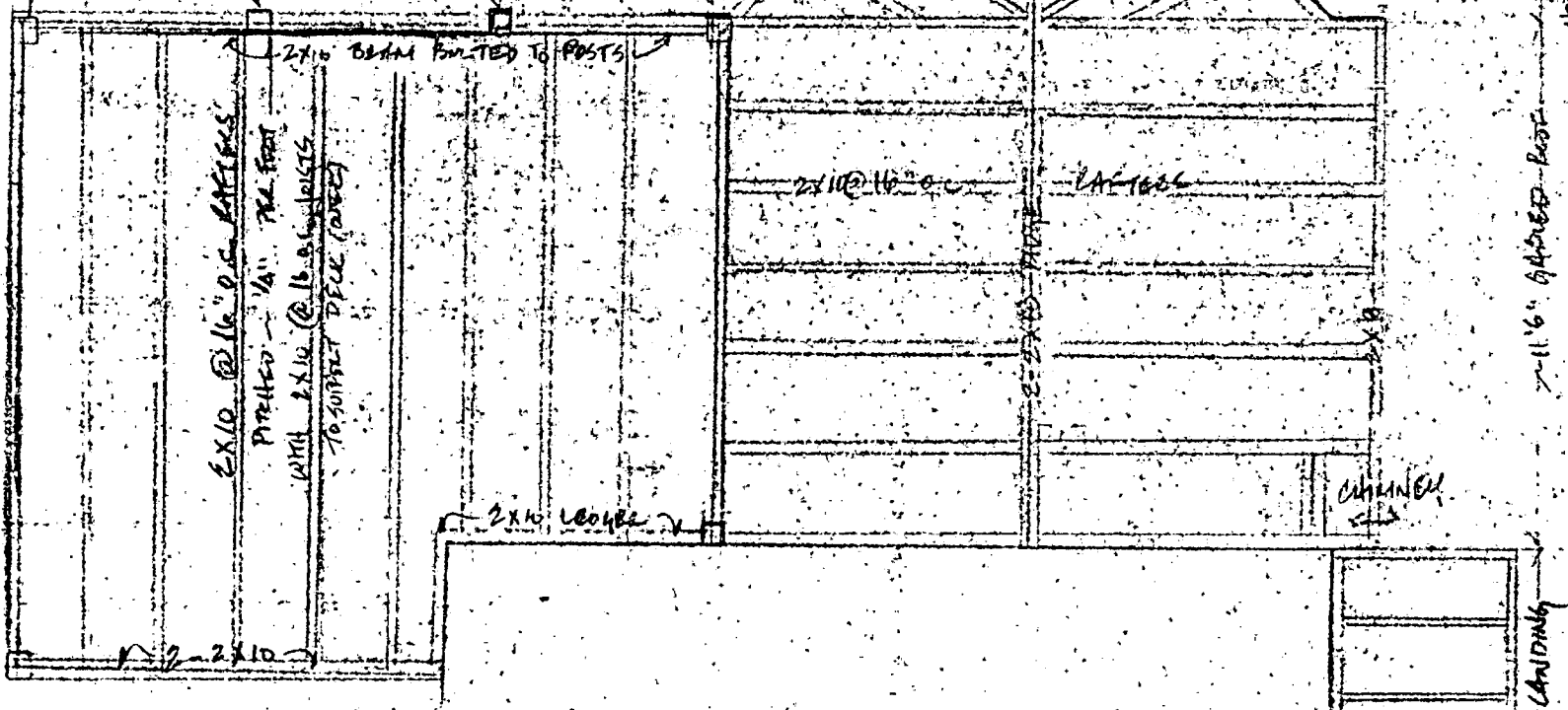
SECTION A
 SCALE: 1/2" = 1'0"

CONCRETE FLOORING

NOTE: CENTER MORE OF EXISTING 2x10 FLOOR JOISTS AS MUCH AS POSSIBLE

ROOF DECK (EVEN)
 2x10" SINGLY TRIPLED ROOF (SPACING ~ 4" PER FOOT)

2-2x4 OR 4x4 POST TO SUPPORT ROOF DECK



ROOF FRAMING PLAN

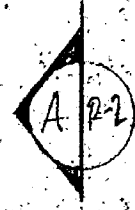
SCALE: 1/4" = 1'0"

Rinal Residence

1322 Baltimore Avenue
 Arona Park, Maryland 20912

12/1995 R-3

C. McATEE



Electrical	
Symbol	Description
○	WALL OUTLET
○	GFCI OUTLET
⊕	WALL SWITCH
⊕	Ceiling Mount
○	WALL SWITCH

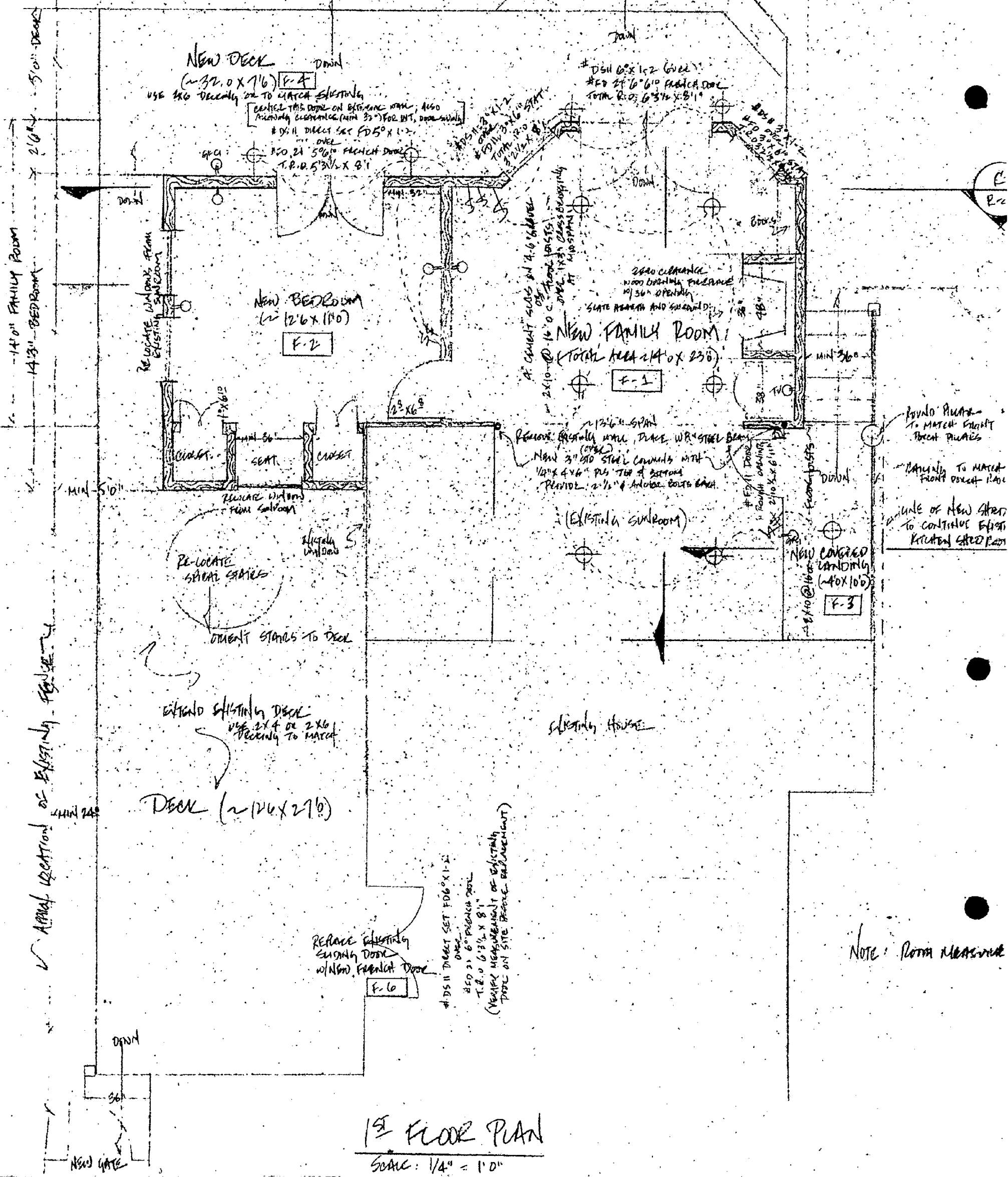
~30'-0" NEW ADDITION

~2'-0" V. 3'-0" DECK

~16'-0" EXISTING DECK

8'-0" FRONT OF BAY
 ~13'-0" TOTAL BAY
 NOTE: CENTER BAY ON EXISTING WINDOWS (2ND FLOOR)

RE-GRADE TO MINIMIZE STEPS
 (RAISE WOODS APPROX. 12")



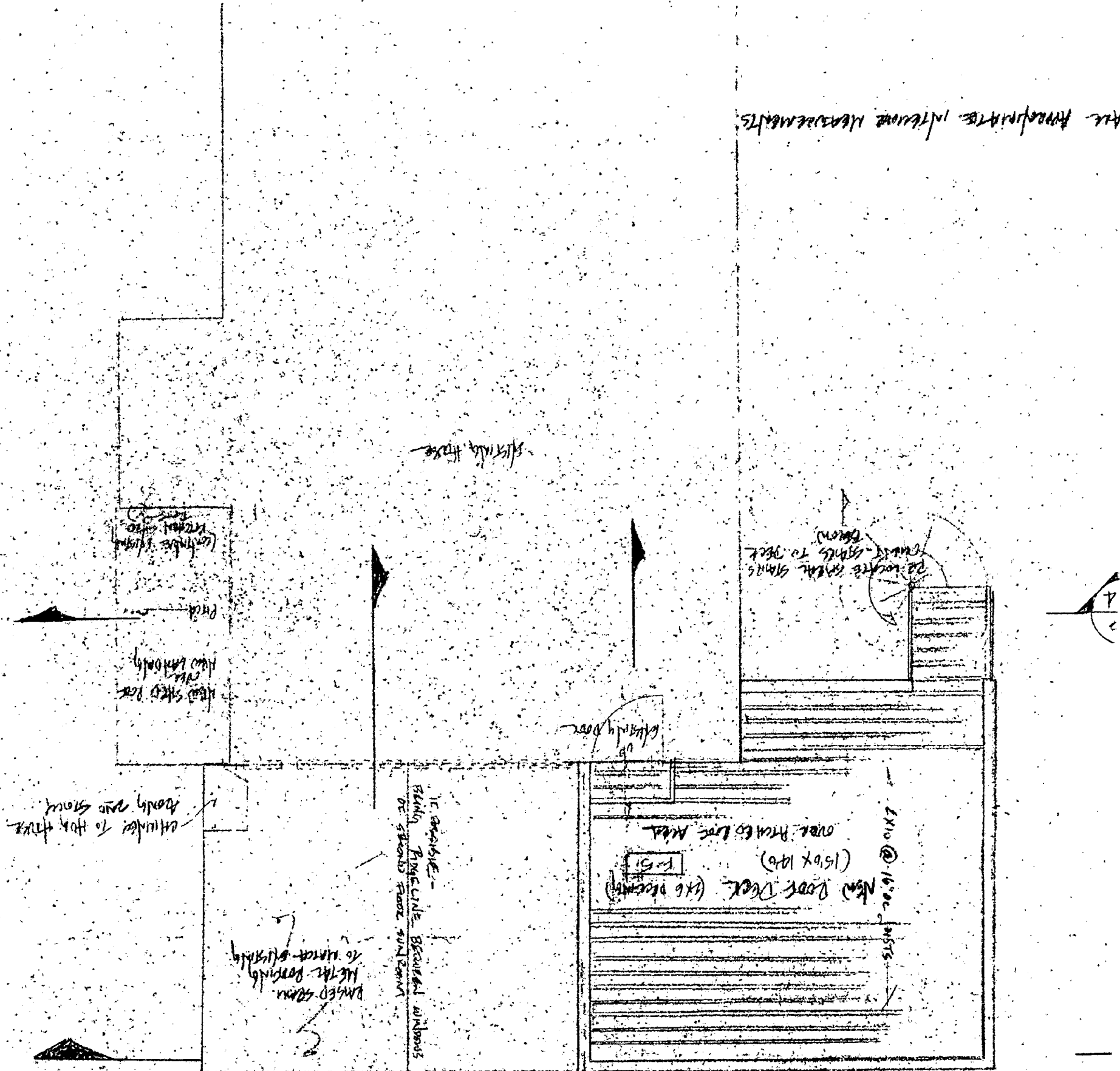
APPROX LOCATION OF EXISTING FOUNDATION

NOTE: ROOM MEASUREMENTS

1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"

210 FLOOR PLAN
Scale: 1/4" = 1'-0"

ALL DIMENSIONS IN FEET AND INCHES



FINISH NO.	ROOM	FINISH	WALLS	CEILING	DOOR	DESCRIPTION
1	Room	Painted for cabinet to match kitchen	1/2" gypsum board - painted 2 coats as std.	order to select color finish	OS11	Direct set with 6.0" X 12.0" precast door set up A
2	Room	Painted for cabinet to match kitchen	1/2" gypsum board - painted 2 coats as std.	order to select color finish	OS11	Direct set with 6.0" X 12.0" precast door set up A
3	Room	1x3 T&G or 2x6 Decking	1x3 T&G to match front porch	3/4" plywood & furring to match front porch	OS11	Direct set with 3.0" X 12.0" precast door set up B
4	Room	2x6 Decking	1/2" gypsum board - painted 2 coats as std.	order to select color finish	OS11	Direct set with 6.0" X 12.0" precast door set up A
5	Room	2x6 Decking	1/2" gypsum board - painted 2 coats as std.	order to select color finish	OS11	Direct set with 6.0" X 12.0" precast door set up A
6	Room	2x6 Decking	1/2" gypsum board - painted 2 coats as std.	order to select color finish	OS11	Direct set with 6.0" X 12.0" precast door set up A

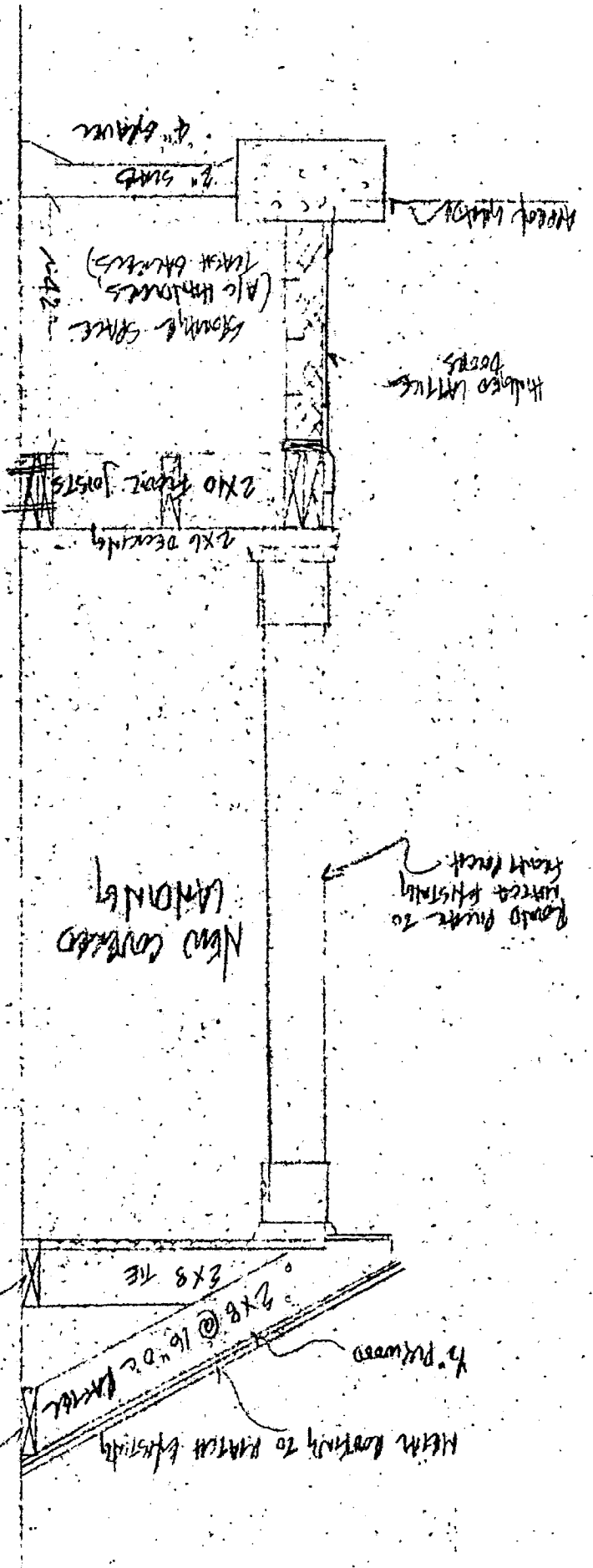
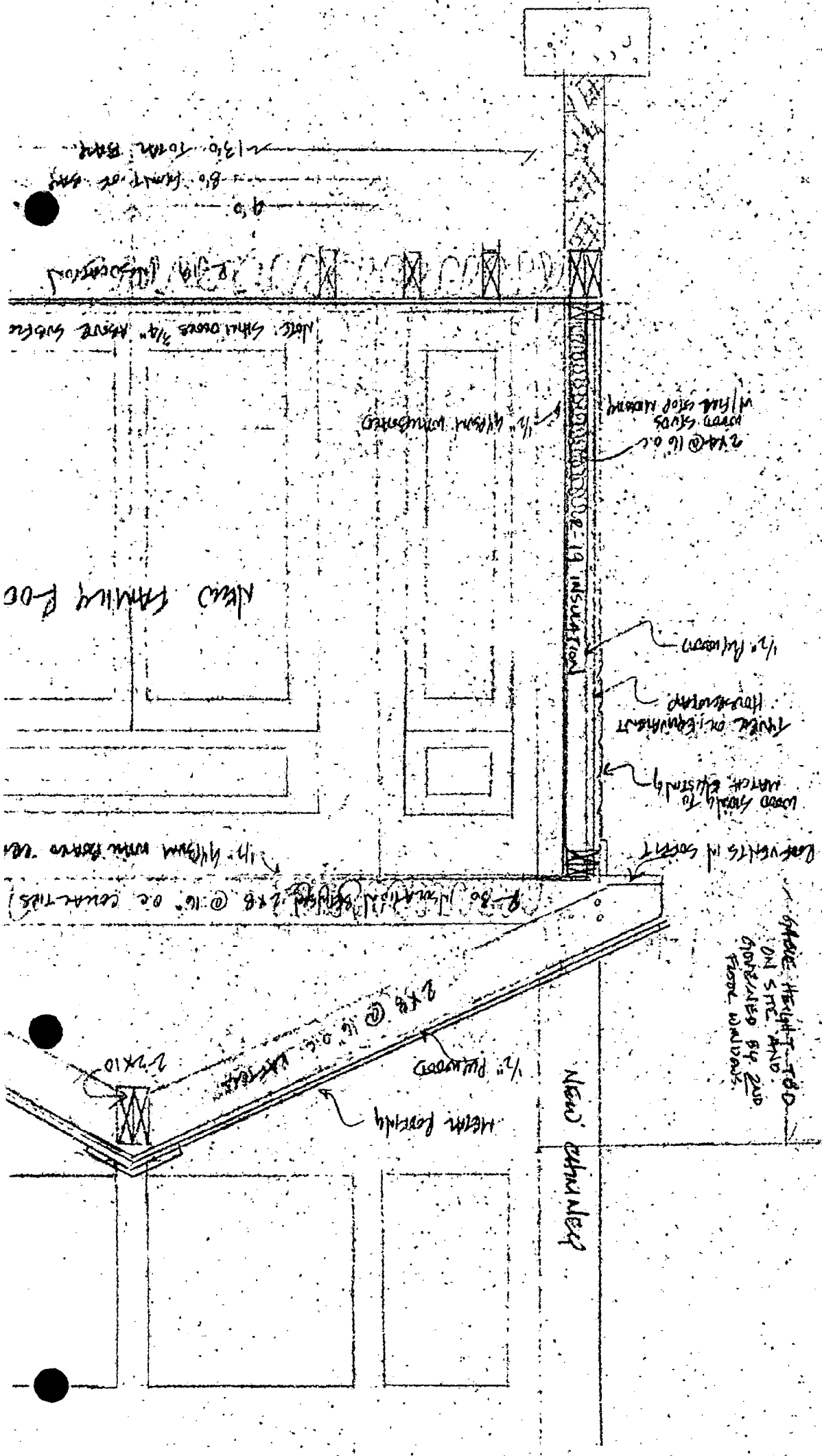


NOTE: When the cabinet doors are above subfloor and notes: in ext. windows - weather shield April 1968 paint white vinyl - art. insulated glass. 1/2" wood grain. 1/2" wood grain. No door base.

15' @ 16" OC BRIS - New Door Deck (150x140) (150x140) over. Hatched Loc Area. 15' @ 16" OC BRIS - Standing. Precast. Beams. Windows. or standard floor finish.

15' @ 16" OC BRIS - Standing. Precast. Beams. Windows. or standard floor finish. 15' @ 16" OC BRIS - Standing. Precast. Beams. Windows. or standard floor finish.

SECTION 8
Scale 1/2" = 1'-0"



12/1995	1322 BARRMORE AVENUE THURMONT PARK, MARYLAND 20912
P-4	C. Munnick

RINI RESIDENCE

II

MIN 5'0" RAILING

EXTERNAL WORK OF
EXISTING HOUSE

STEP AT DOORWAY

2x6 DECKING

2x10 LEDGER

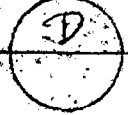
2x10 @ 16" O.C. JOISTS HANGING ON 2x10

4x4 POST

1/2" PLYWOOD SHEATHING

SOCIAL VENT

SECTION D



SCALE 1/2" = 1'-0"

NOTE: DETAIL ROOF
RAFTERS
MIN. 1/4" PER FT.

RAILING TO MATCH EXISTING 4x4 POSTS

30" RAILING

TO SUPPORT ROOF DECK

2x10 @ 16" O.C. JOISTS HANGING ON 2x10 BEAM BOLTED TO 4x4 POSTS

CONTRACTOR
DROP CEILING ONLY
IF NECESSARY

INTERIOR WALL

REMOVE 4x4 POST
OR 2-2x4 POST
INSIDE WALL TO SUPPORT
ROOF BEAM & DECK

2-2x4 OR
4x4 POST

NEW BEDROOM

2-2x4 OR
4x4 POST

HEAVY LAYER
TOLUENE DIRT ROOMING
(FLOOR)
FLOORING BASE SHEET
1/2" PLYWOOD
WOOD GROUND TO MINIM
SETBACK
LAYER OF EQUAL
1/2" PLYWOOD SHEATHING

R-15 INSULATION

2x4 @ 16" O.C. STUDS

NEW DECK

2x6 DECKING

2x10 JOIST

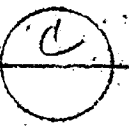
8x8 BLOCK

6x6 POST

MIN 18"

PLASTIC SHEATHING

SECTION C



SCALE 1/2" = 1'-0"

RINI RESIDENCE

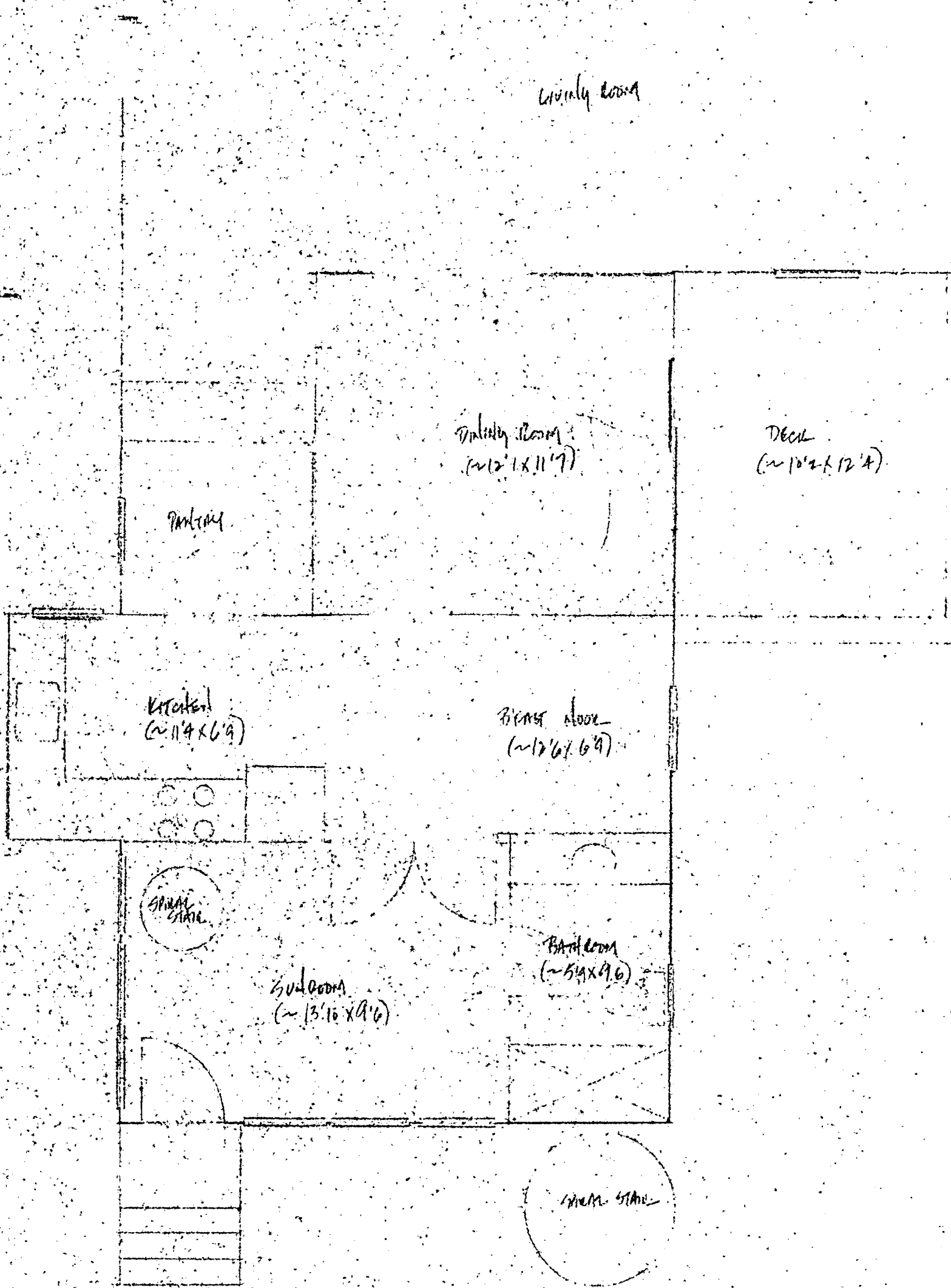
1322 BALTIMORE AVENUE
TAKOMA PARK, MARYLAND 20912

9/1995

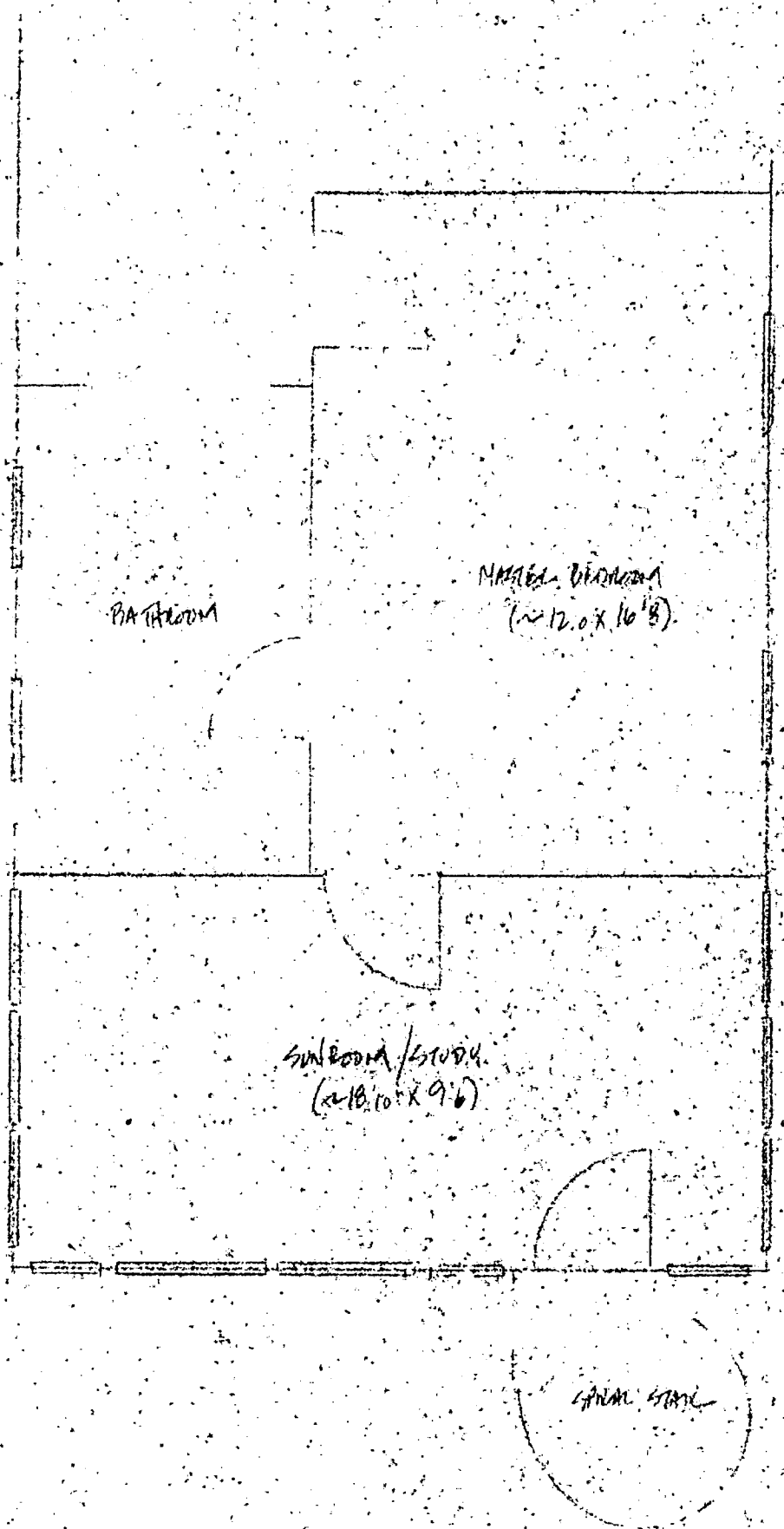
R-E

C. MCINTIRE

WESTINGHOUSE PLANTS



1st Floor Plan



BATHROOM

MASTER BEDROOM
(~12.0' x 16'8")

BEDROOM / STUDY
(~10.10' x 9'6")

CIRCL. STAIR

2nd Floor Plan

7322 Belt Ave.)

Clare McLean

(~~Architect~~
Designer)

Owner's
Agent

301-654-2820

FAX: 215-7743

Jan 10th

CLAIRE McLANE
RESIDENTIAL CONCEPTS

4405 WALSH STREET . CHEVY CHASE . MD 20815
301 654-2820
FAX: 301 215-7743

13 December 1995

Robin Ziek, Staff Member
Montgomery County Historic Preservation Commission
M-NCPPC
8787 Georgia Avenue
Silver Spring, Maryland 20910

Dear Robin,

Thank you for spending time on the phone with me yesterday to explain the procedure for completing the Application for Historic Area Work Permit for a residential addition at 7322 Baltimore Avenue in Takoma Park.

I am submitting this application on behalf of Robert J. Rini, the homeowner, who will attend the public hearing tentatively scheduled for the evening of January 10, 1996. In the meantime, I believe the documents, plans and photographs included here are complete. Please contact me immediately if there is additional information we should submit to you or the Commission.

Sincerely,


Claire McLane

CLAIRE McLANE
RESIDENTIAL CONCEPTS

4405 WALSH STREET, CHEVY CHASE, MD 20815
301-654-2820
FAX: 301-215-7743

13 December 1995

RE: 7322 Baltimore Avenue
Takoma Park, Maryland, 20912

OWNER: Robert J. Rini
home phone: 301-589-2163
office phone: 202-296-2007

AGENT: above -- Please contact Claire McLane, as well as Robert Rini, for any additional information. Thank you.

DESCRIPTION OF PROPOSED WORK

A one-story addition comprised of a new family room and bedroom at the rear of the house are proposed. The family room will actually consist of the existing sunroom and an additional 14 X 16 space and the bedroom will measure approximately 12 X 11 with a deck above. A new covered landing is proposed on the north side of the house toward the rear and would be adjacent to the new family room. This landing will measure 4 X 10. A grade level deck is planned to create a transition to the lawn and extend an existing deck to the south side of the house.

The area of proposed construction does not include any large trees or significant plantings. Shrubby will be removed and replanted as necessary.

The design of the proposed construction is intended to match as closely as possible the existing house in terms of proportions and materials. The design calls for a classic bay or gazebo rear facade which is in keeping with the Victorian flavor of this house. As many details of the wood siding and exterior trim will be copied as closely as possible including landing and deck railings. Existing windows will be re-used where possible and new windows are designed to match the existing in proportion and design. New french doors and transoms will have true divided lights as indicated by the existing doors. Metal roofing has been specified to match the existing. The intention of the designer is that the new construction will look as if it had been planned with the original structure.

The additional space is desired by the owner to create necessary living space for a family. This is a meticulously maintained property and it is the belief of the owner and designer that the proposed addition will enhance both the the existing house and the neighborhood.