



23/65-97C 9 High St. Brookeville
(Brookeville Historic District)



Repairs, Home Improvements, Locks

Steve Murphy
Carpenter/Contractor

2819 Munson Street
Wheaton, MD 20902-1223

MHIC# 41340
(301) 949-0567

Sign on state Highway A.

District Engineer

Kenn Wolk

513-7344

Greenleaf

Traffic Engineer: Lee ~~Starkoff~~

Starkoff

Called 7/28/97



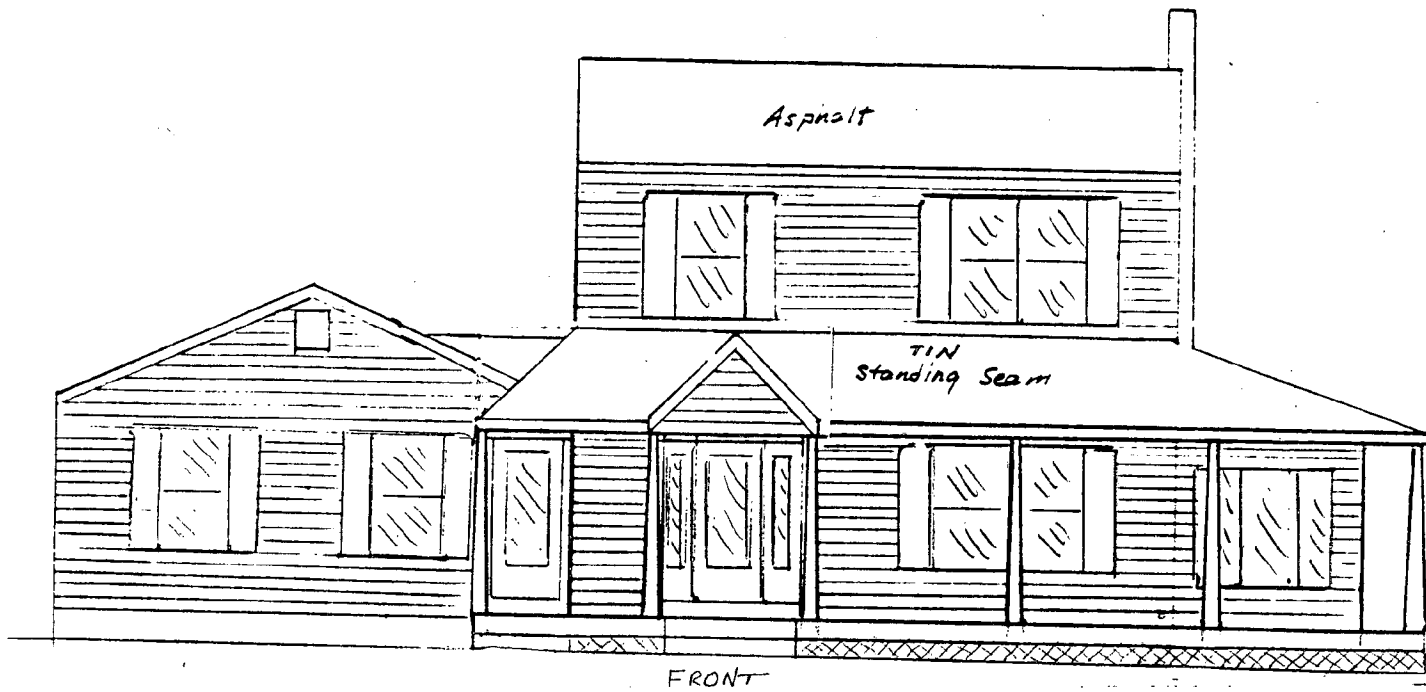






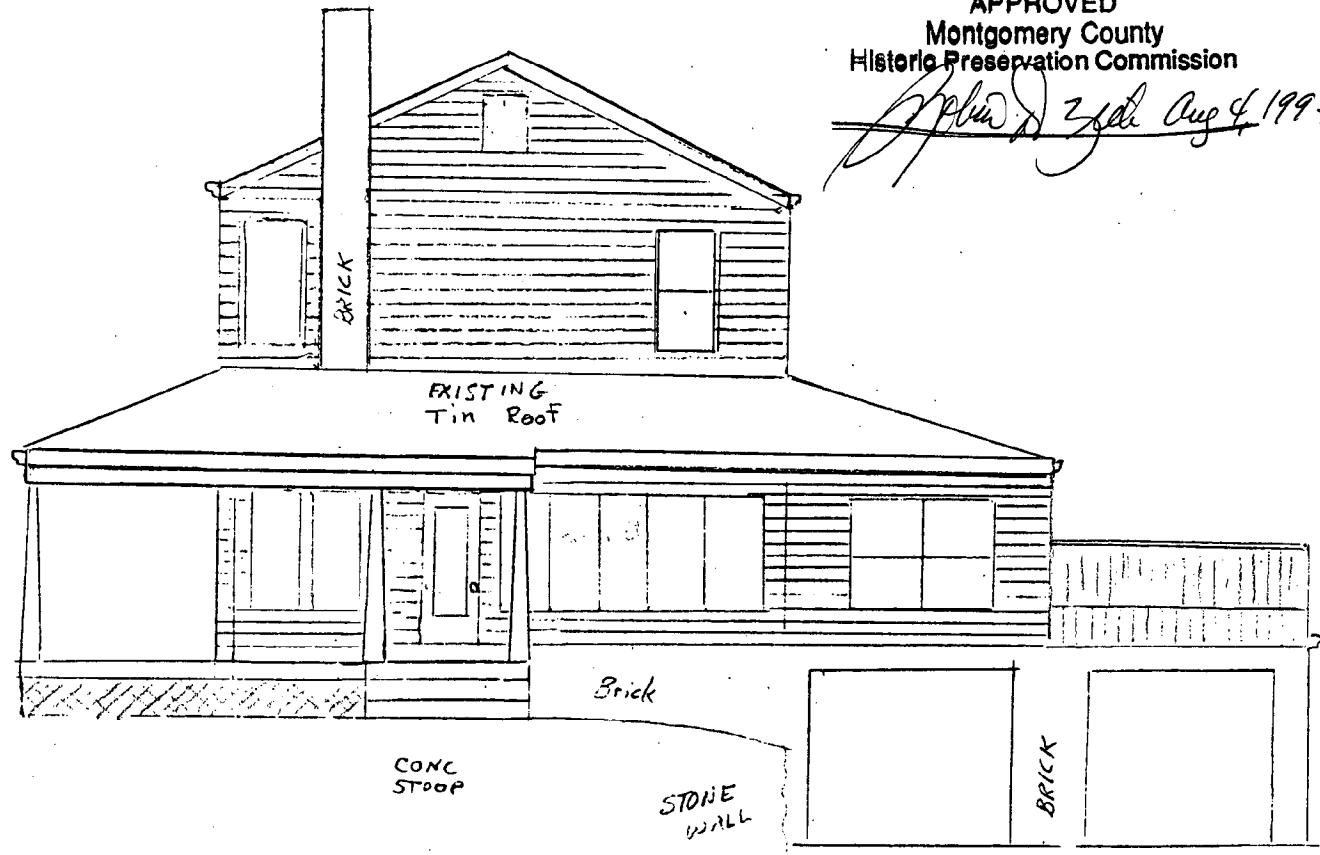


3/1/1997



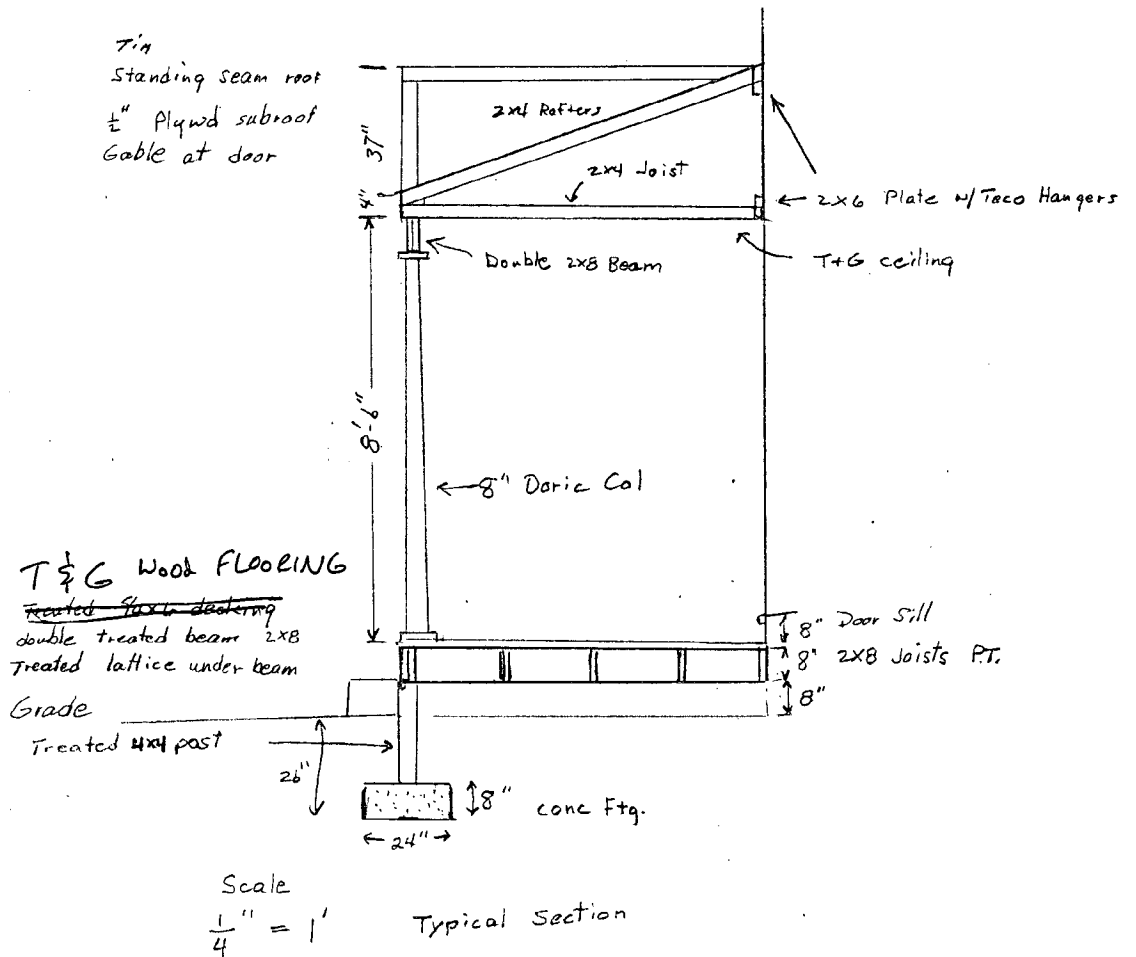
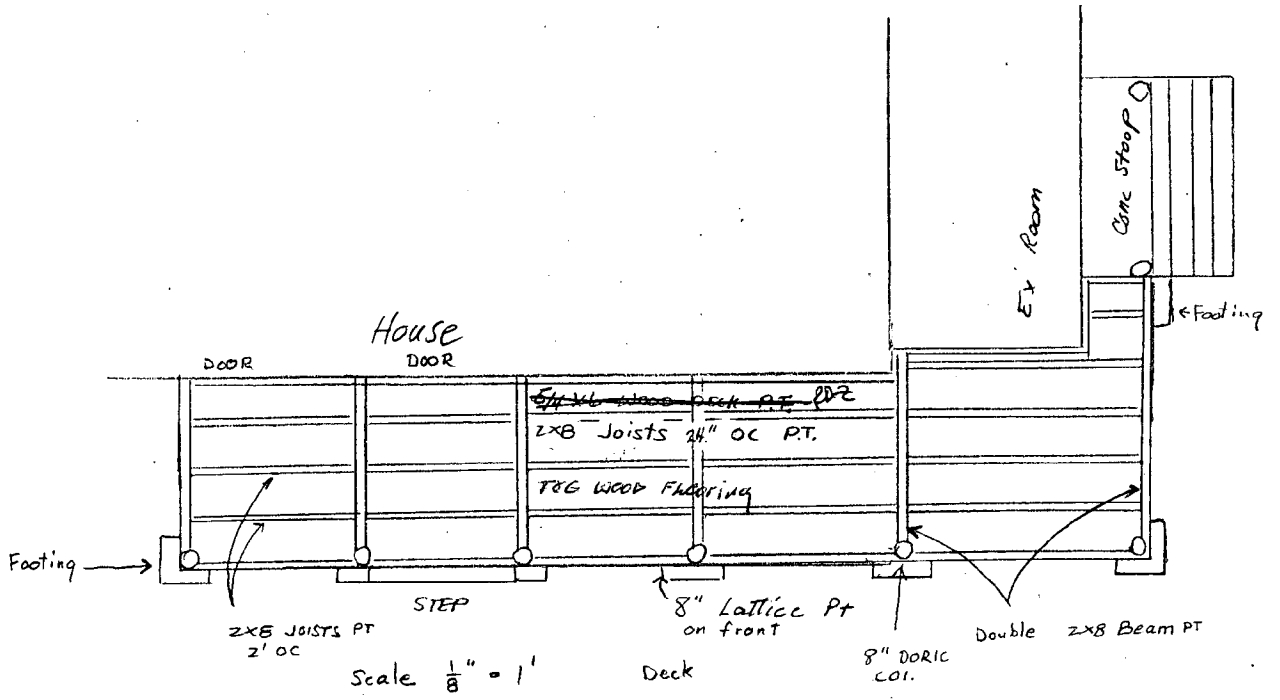
FRONT

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 2 July Aug 4, 1997



SOUTH EL.
SIDE VIEW

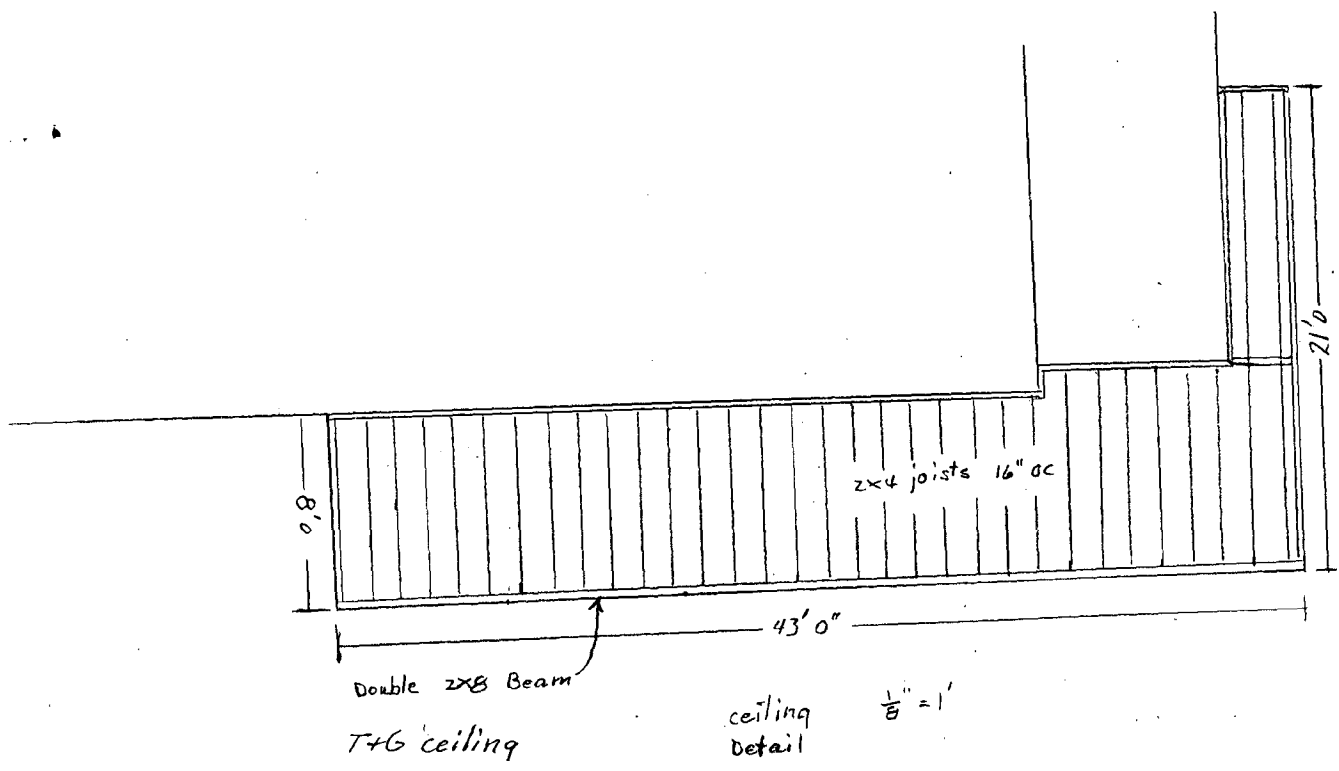
M MURPHY
9 High St



APPROVED
Montgomery County
Historic Preservation Commission

[Signature] Aug 4, 1997

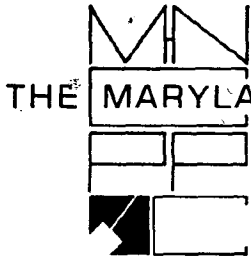
M MURPHY
9 High St
Brookeville, Md 20833



APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] Aug 4, 1997

M. MURPHY
 9 High St



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7/24/97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: Gwen Wright ^{PDR}, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

- (1) Conform to Alternative #1, OPTION B
- (2) Porch Railing, as required by County Code, to extend the full length of the porch & utilize inset pickets.
- (3) Porch Floor to use T- & - G flooring running perpendicular to house
- (4) All new wood surfaces to be painted
- (5) Applicant to provide permit set of drawings to HPC staff for review & stamp, which note the specifications on columns, porch ceiling, floor, & railing.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

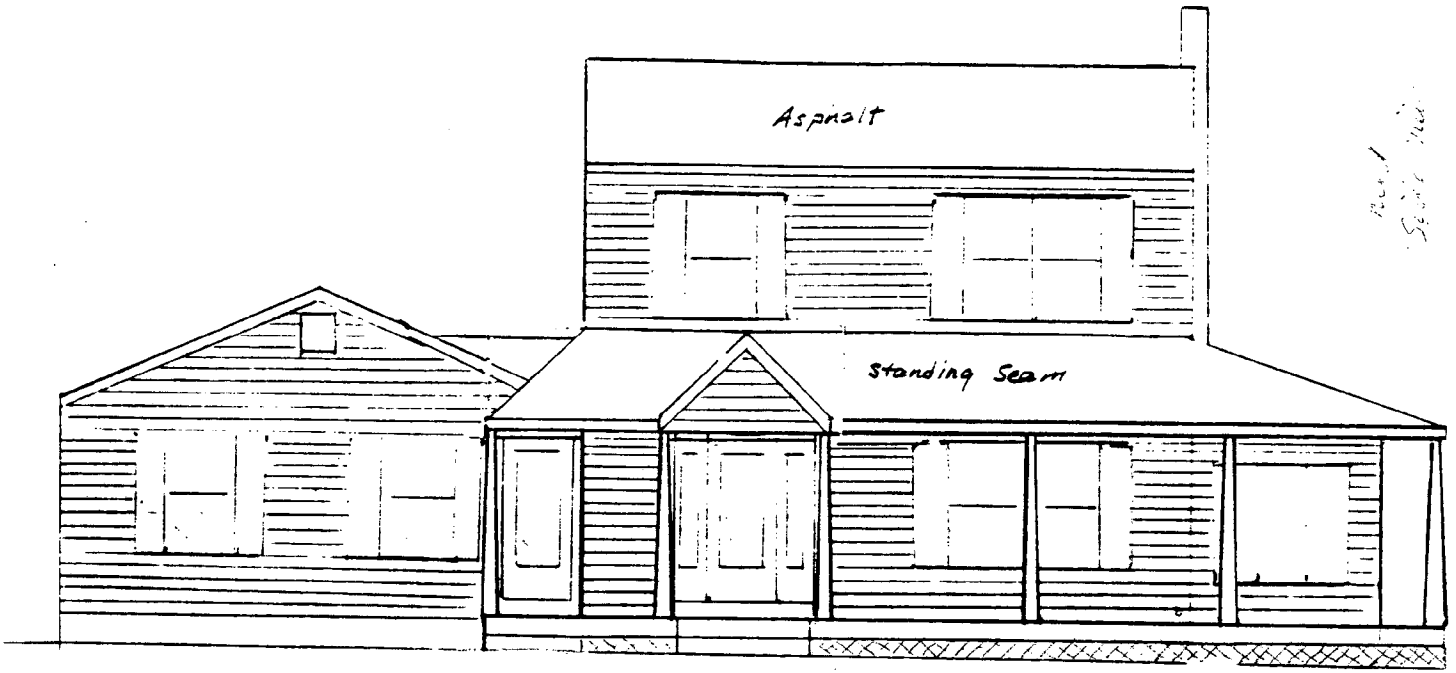
Applicant: Michael Murphy

Address: 9 High St., Brookville, MD 20833

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

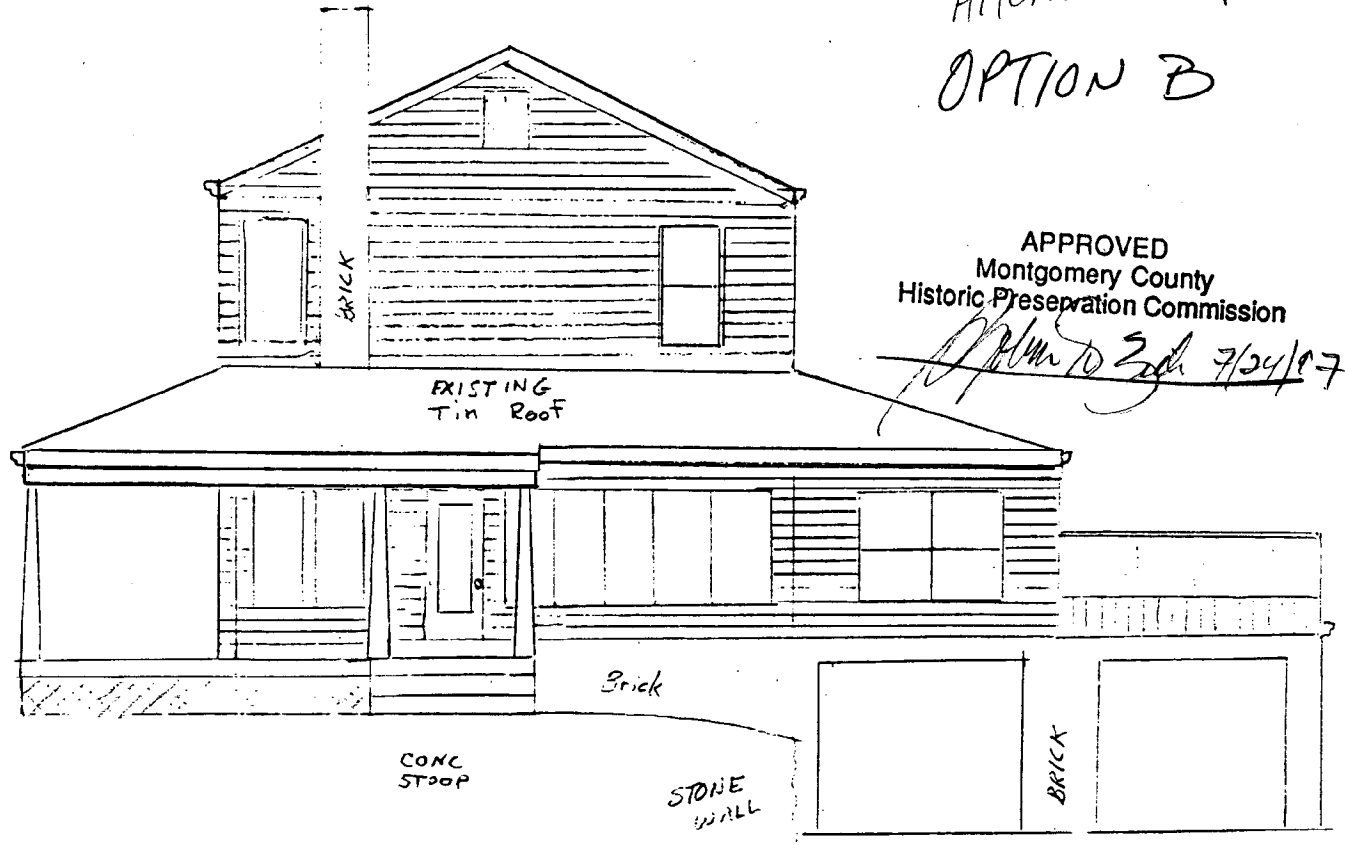
2nd Floor

Murphy



Front
Side View

Alternative #1
OPTION B



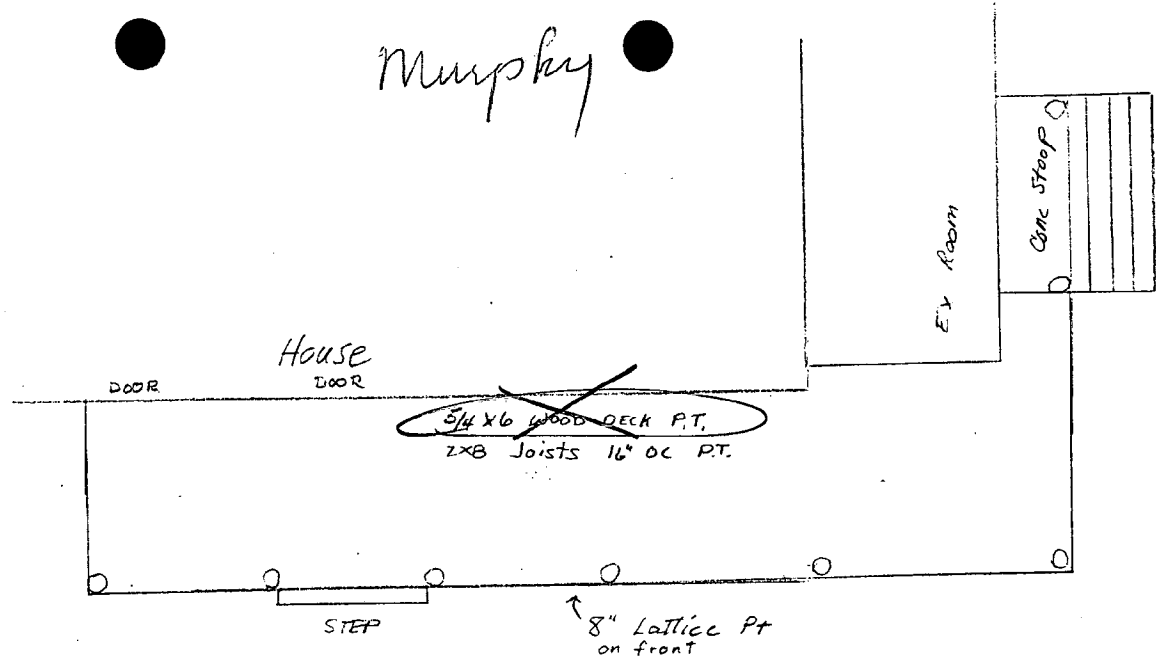
APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 7/24/07

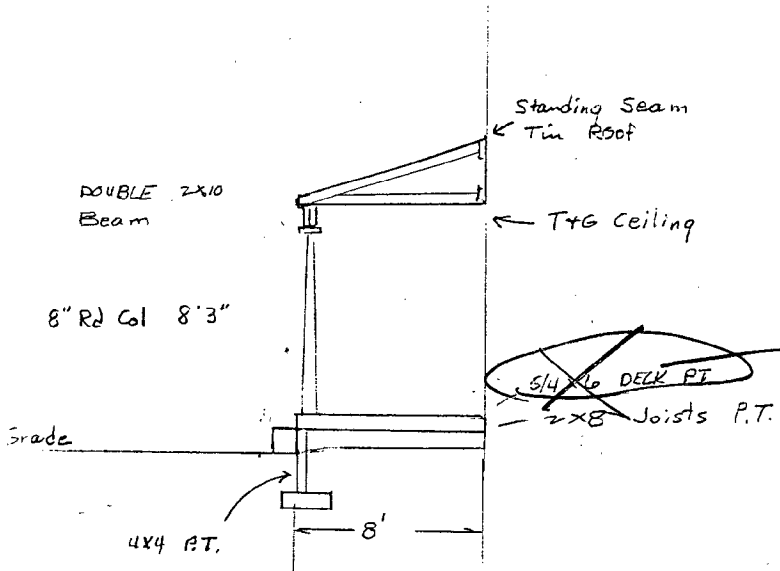
SOUTH EL.

2nd

Murphy



2x4 Joist 16" OC
 2x4 Rafter 16" OC



See Conditions.
 FLOORING TO BE T+G
 Painted Surface

deck 5/4 X 6 P.T.
 joists 2x8 P.T.

Top of porch 16" above grade
 using 2x8 joists p.t. - leaves 8" for lattice below

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] 7/24/97



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Glen Murphy
Daytime Phone No.: 301-774-7727

Tax Account No.: _____
Name of Property Owner: MICHAEL G MURPHY Daytime Phone No.: 301-924-2525
Address: 9 HIGH ST BROOKVILLE MD 20833
Street Number City State Zip Code
Contractor: STEVE MURPHY Phone No.: 301-949-0567
Contractor Registration No.: MHIC 41340
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: * 9 Street: High St
Town/City: Brookeville Nearest Cross Street: MARKET
Lot: _____ Block: _____ Subdivision: _____
Liber: 5905 Folio: 453 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 6,000.00

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael Lu Signature of owner or authorized agent Date: 5/15/97

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 7/24/97

Application/Permit No.: 970522 Date Filed: 5-28-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

2365-97C


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7/24/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus ^{WPM} Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 7.24.97

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 7/23/97.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 495-4570.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9 High Street

Date: 7/23/97

Resource: Brookeville Historic District

Review: HAWP

Case Number: 23/65-97C (CONTINUED)

Tax Credit: No

Public Notice: 7/9/97

Report Date: 7/16/97

Applicant: Michael G. Murphy

Staff: Robin D. Ziek

PROPOSAL: Remove existing porch;
construct new front porch.

RECOMMENDATIONS: APPROVAL
w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Colonial Revival

DATE: 1900-1930's

The applicant appeared before the HPC on 6/25/97 (see Circle 13-25) with a proposal to remove the existing front porch and entry porch for the in-law apartment addition, and construct a continuous porch which would connect all three "front" entrances (including the entrance on the side into the sun porch). The HPC discussed that a wrap-around porch could be considered incompatible with the Colonial Revival architecture, but that the drawings were incomplete, and provided insufficient information about design and construction for an HPC vote. The applicant indicated a willingness to defer the HPC decision, pending submission of more complete drawings and information, and a possible redesign of the project.

The existing house is 2-story wood frame, with many additions. The main portion is a simple three-bay house with gable roof parallel to the street. The front door is covered with a small front-facing gable porch which is approximately 8' wide. Two Doric columns support the porch roof, standing on a brick and concrete stoop with brick and concrete steps and a metal handrail.

To the left side of the front door, stands the in-law apartment addition, which is a large one-story front-facing gable structure with its own front door protected with a metal awning. This door also has a brick and concrete stoop. On the right side of the house is a one-story sun porch with casement windows. This is used as the main entrance for the family, due to its proximity to parking. There are also two more additions at the rear of the house which can be seen in the drawings of the right (south) side elevation, including a large deck at the rear of the house.

The resource dates to the tail end of the designated historic era, and is much later than the late 18th/early 19th century which is the most important historic period for the town. After this period in Brookeville's history, the town continued to grow slowly through relatively small lot development in town, while still maintaining an edge within the rural context. The subject property is one of many which was built in the 20th century, and Staff review of this vernacular structure is made with this in mind.

PROJECT PROPOSAL

The applicant has revised his original proposal and presents two basic alternatives to the HPC for consideration.

Alternate 1: This is a modification of the earlier proposal, with a continuous porch roof covering all three entrances. (See Circle 5, 6, 7, 8.)

After the removal of the existing front porch, the applicant would build a full-width porch with a hipped roof which would engage both the front door for the left side addition and the side entrance to the sun porch. The new porch would extend beyond the plane of the side door by approximately 2-1/2'. The full extent of the porch along the front of the house would be 43'.

The primary front door into the original part of the house would be accentuated with a small gable in the roof. The columns would be 8"-round Doric columns, similar to those currently on the house. The new porch roof would tie into the side tin roof with a return past the sun porch doorway. The porch ceiling would be tongue-and-groove wood. The porch floor could be either of two options proposed:

Option A: Pour a concrete slab on grade, and construct steps at each entrance to accommodate the grade at the doorway. (Circle 5)

Option B: Build porch floor in the more typical configuration, with exterior steps leading up to the porch at the dripline. Use 2" x 6" pressure-treated lumber for the flooring. (Circle 7)

Alternate 2: Maintain three separate porch/entry conditions for the three entrance doors. (See Circle 9, 10, 11, 12.)

After the removal of the existing front porch, the applicant would build a full-width porch with a hipped roof along the front of the main part of the house only. He would build a small gable roof over the side apartment entrance, and would add a small shed roof at the side door. At all points required, the new columns would be 8"-round Doric columns, similar to those currently on the house. The new porch roofs would be tin, to match the existing sun porch roof. The porch ceiling would be tongue-and-groove wood. **The porch floor only would be continuous** along the entire length from the apartment entrance to the sun porch entrance. This floor could be either of two options proposed:

Option A: Pour a concrete slab on grade, and construct steps at each entrance to accommodate the grade at the doorway. (See Circle 9)

Option B: Build porch floor in the more typical configuration, with exterior steps leading up to the porch at the dripline. Use 2" x 6" pressure-treated lumber for the flooring. (See Circle 11)

Railing:

In both Alternative 1 and 2, the applicant proposes to build a porch(s) without railings. At the front of the house, there is only 16" to a typical porch floor level. At the side, however, the grade is lower, and there would be 35"-40" difference. The County Code stipulates that porch railings must be provided if the porch floor is 30" or more above grade. At the stairs, a railing must be provided if there are three or more risers. It appears, therefore that a railing would be required for the porch deck at the corner by the sun porch where the grade drops to the side of the house and at the side door, where there are 3 risers.

STAFF COMMENTS

Either Alternative is more consistent with the Colonial Revival architecture than the original proposal. Alternative 1, with the front-facing gable, provides some focus at the main entrance and also breaks up the sweeping line of the continuous porch roof. Alternative 2 is basically a variation of the existing conditions. **Option A of both Alternatives, however, would not be consistent with the historic district.**

With Option A, the applicant proposes to use a concrete slab under the porch roof. This is not a typical configuration for several reasons. 1) Historically, the porch roof provided protection from sun and rain for both the porch decking and for the people utilizing the porch. Poured concrete is a material which does not have to be shielded from the weather, and has been more typically used for patios, or walks and driveways; 2) In addition, the use of a slab on grade, would give rise to another atypical situation of having individual steps at each doorway of varying heights to accommodate the grade changes; 3) The proportions of the columns would be too tall in relation to the front door; and 4) The use of a concrete slab at the front of the house is also inconsistent with the wood frame construction and with wooden porch construction in general. **For these reasons, staff does not support Option A of either proposed Alternative.**

Alternative 2 is an interesting compromise solution by maintaining separate porch roofs for each entrance, while providing a connection to all three doorways with a continuous porch floor. Staff feels that the proposed use of pressure-treated wood flooring makes sense in terms of the use of the unroofed sections. However, the proposal calls for the porch construction without any railing at all. According to the County codes, the applicant would need a railing for a portion of the porch because the grade is 30" or greater. It would be awkward to have a railing only at the section closest to the sun porch, and especially if there was a railing at the corner section between porch roofs.

For this reason, staff feels that Alternative 1, Option B is the preferred proposal. Staff also feels that there should be a continuous porch railing (except for the openings for each doorway). In this way, the use of pressure-treated wood for the porch decking would not be apparent from the public right-of-way, and there would be one porch railing treatment even though the grade changes across the site. **Staff notes, however, that the applicant could utilize traditional tongue-and-groove flooring for a fully covered porch, and this would be most consistent with porch construction in general.** Staff is aware that such flooring requires painting for weather protection because such thin wood does not come pressure-treated. The applicant could, however, extend the life of this porch decking by the application of a paintable water-repellent preservative prior to painting the floor with a porch paint.

As the applicant's proposal does not include the installation of a porch railing, staff notes that the porch should have a railing to address the county code requirements. The railing should utilize simple pickets which are inset to the top and bottom rail so as to sit within the plane of the top and bottom rails.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

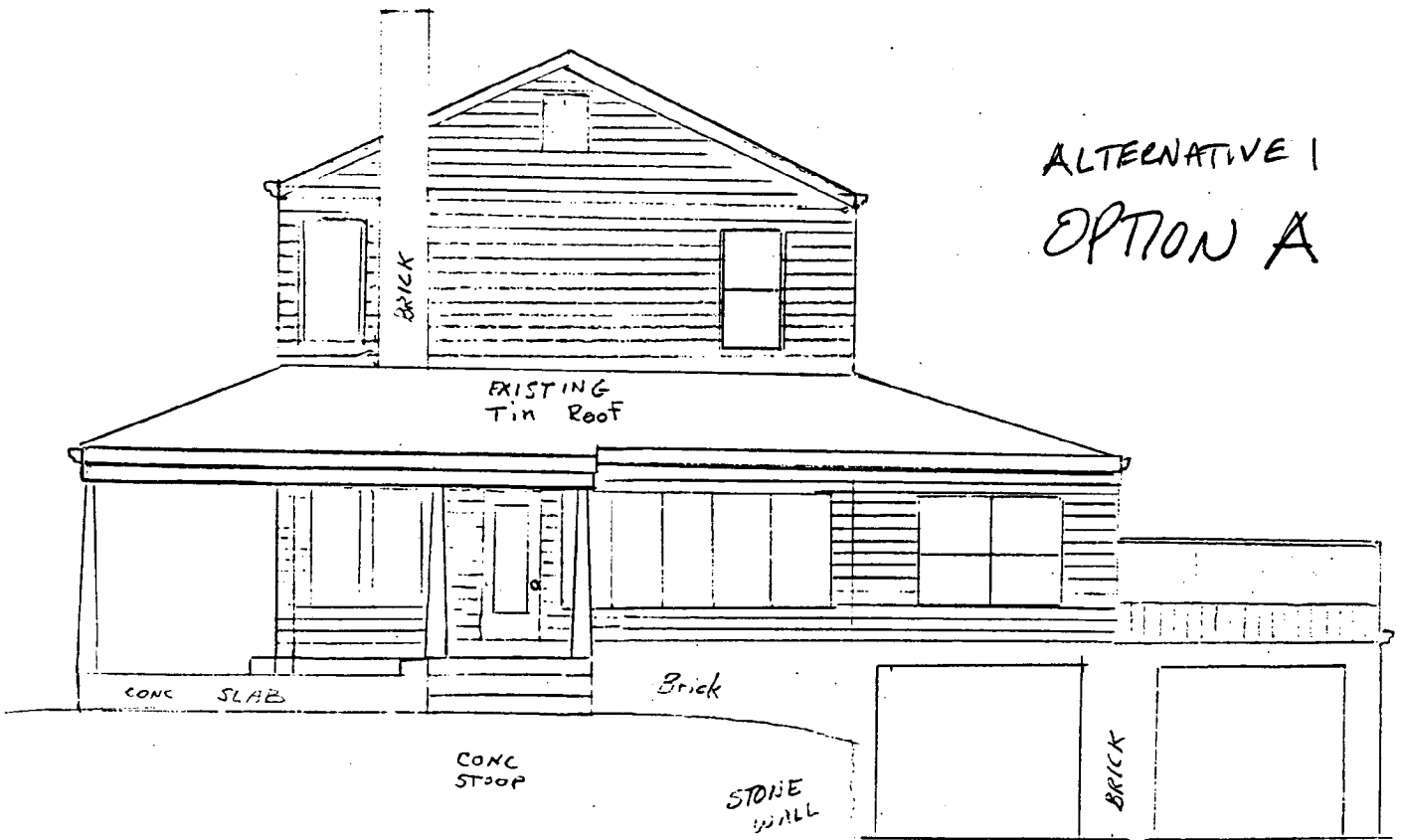
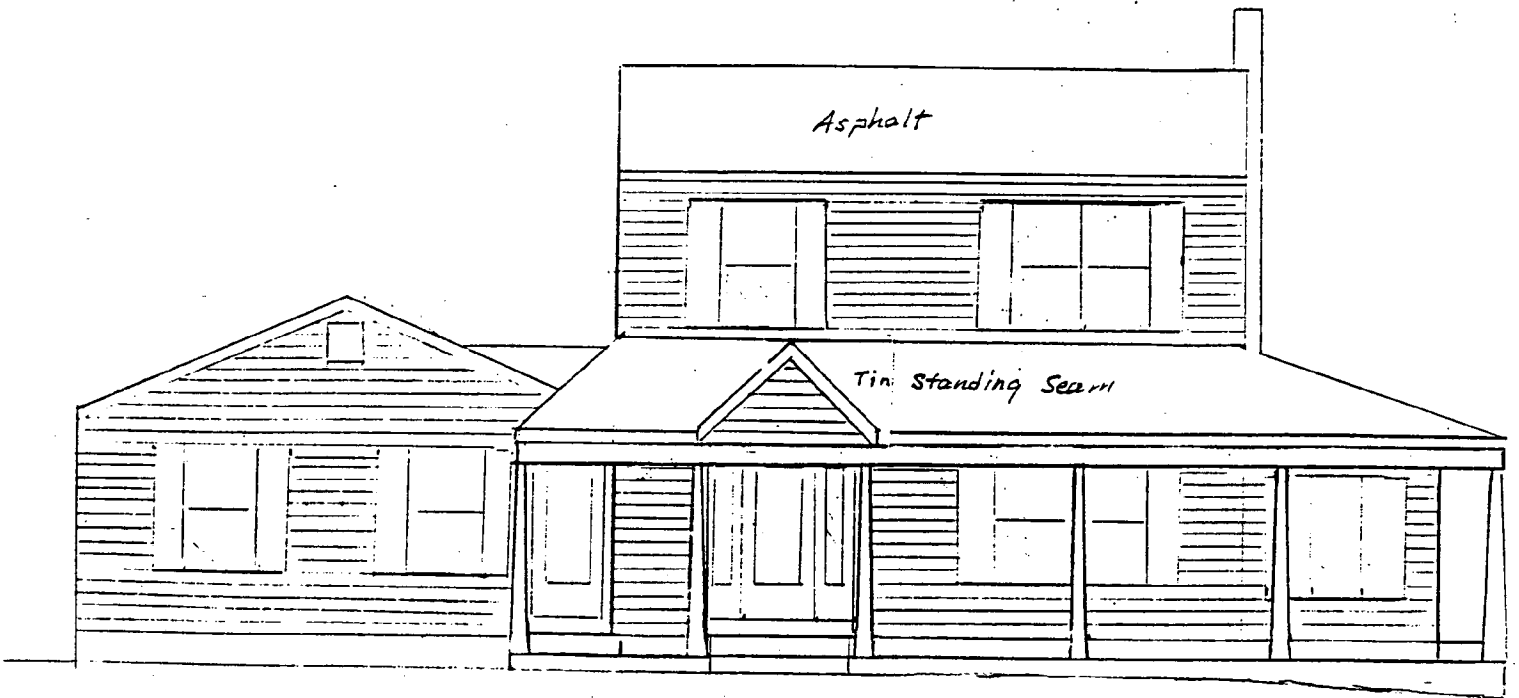
CONDITIONS:

1. The new porch will conform to Alternative #1, Option B in the application .
2. The porch railing, if required by County Code, will extend the full length of the porch, and utilize inset pickets.
3. The porch floor will utilize typical tongue-and-groove flooring running perpendicular to the house.
4. All new wood surfaces will be painted.
5. Before application for a building permit at DPS, the applicant will provide detailed drawings of the proposed porch, including specifications for the porch columns, the porch ceiling, the porch floor, and the porch railing for HPC staff to review and stamp.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

at Choice

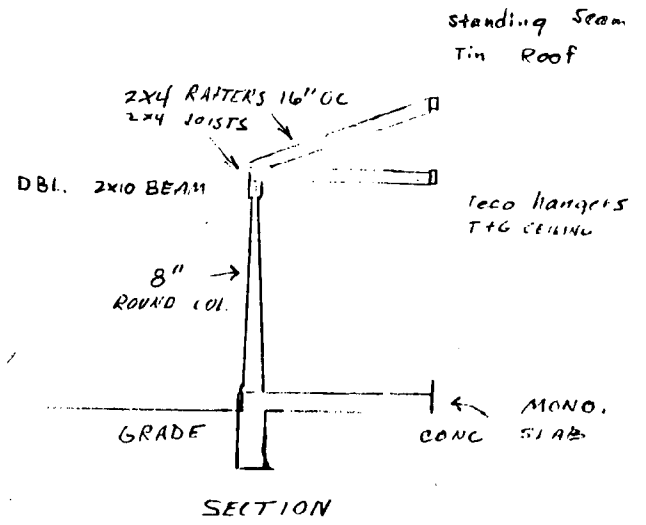
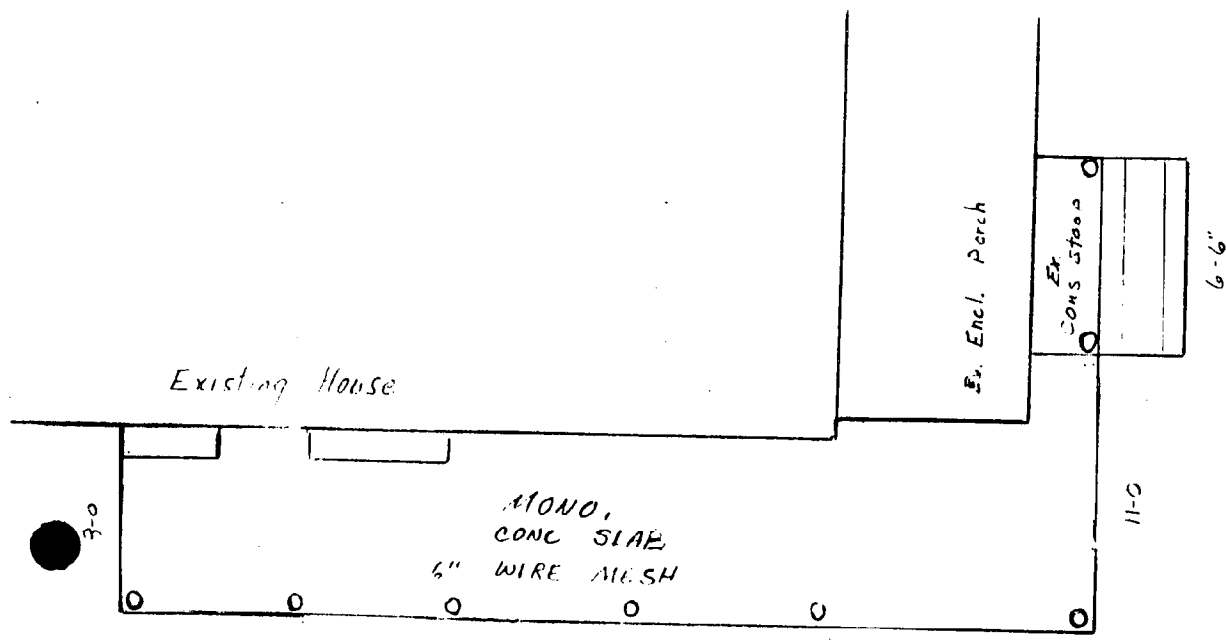
Murphy



SOUTH EL.

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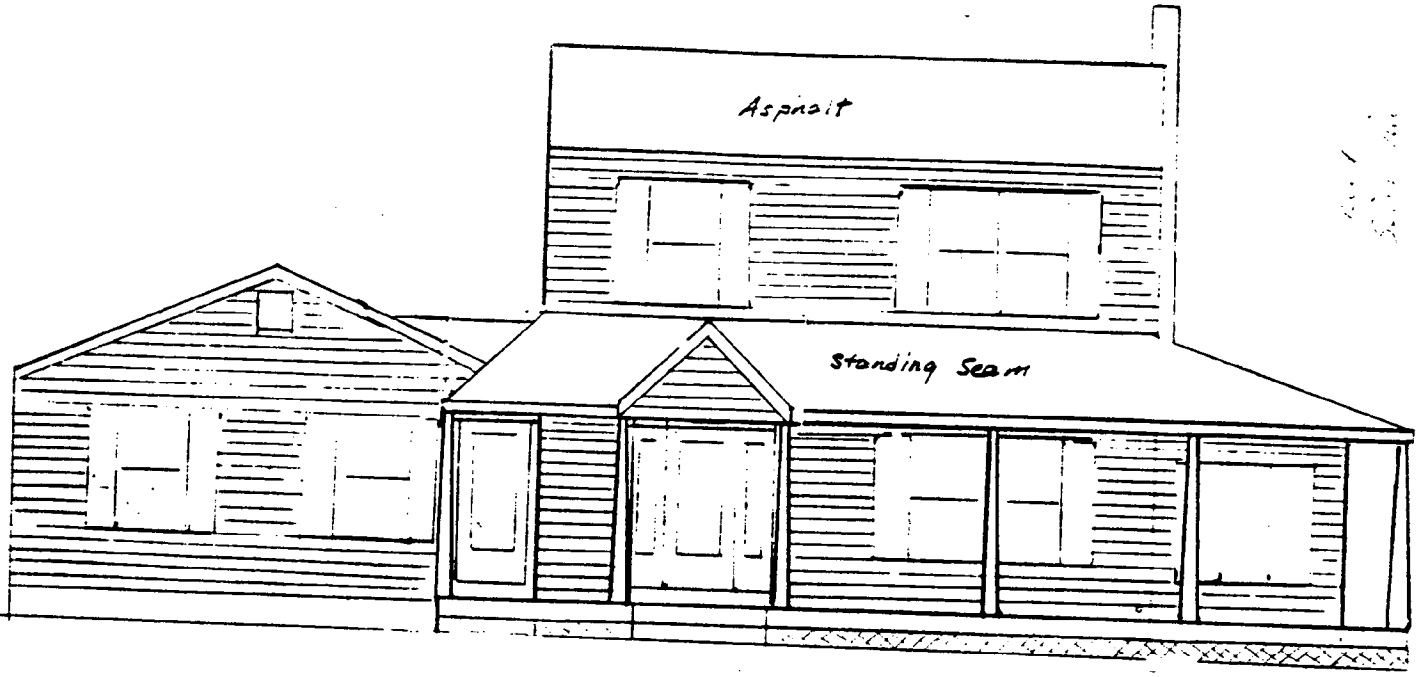
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#9 High St Brookeville Md

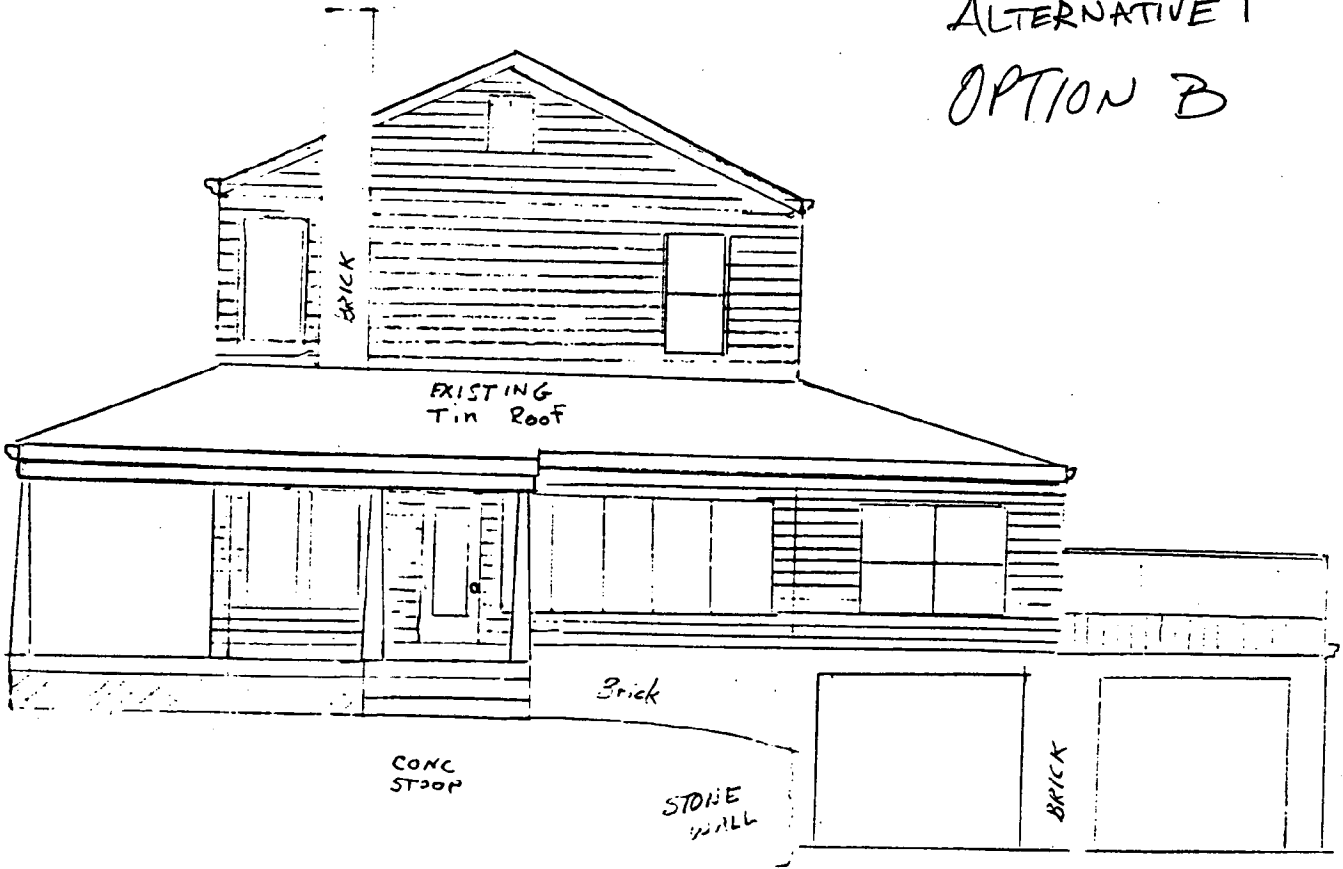
Murphy

and ...

Murphy



ALTERNATIVE 1
OPTION B

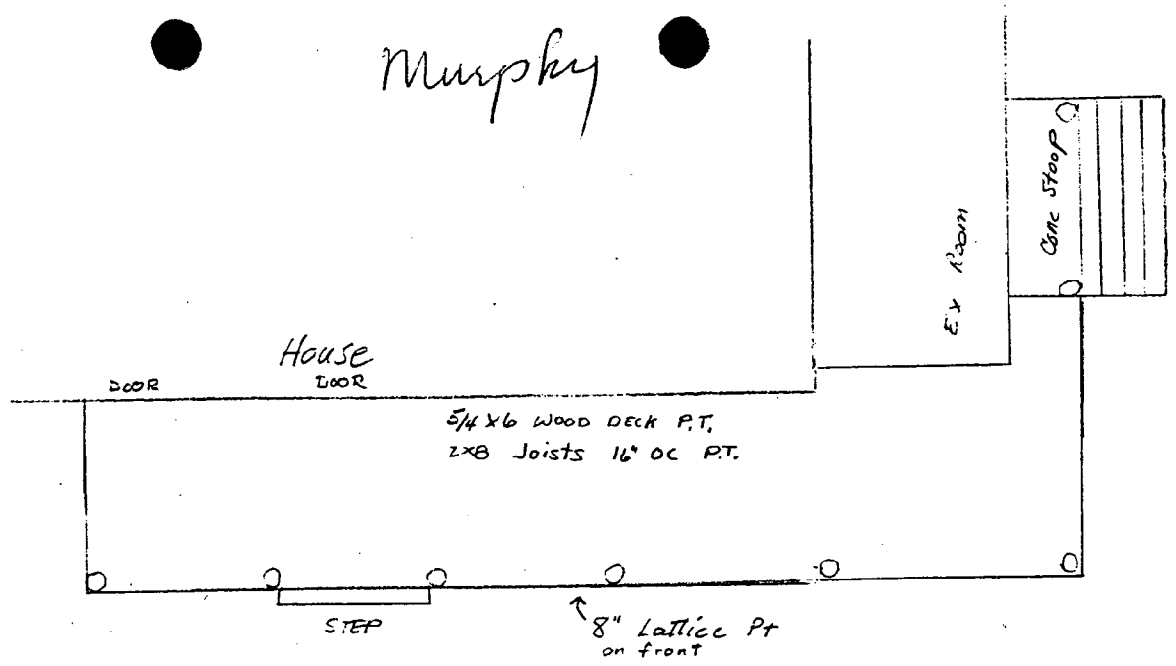


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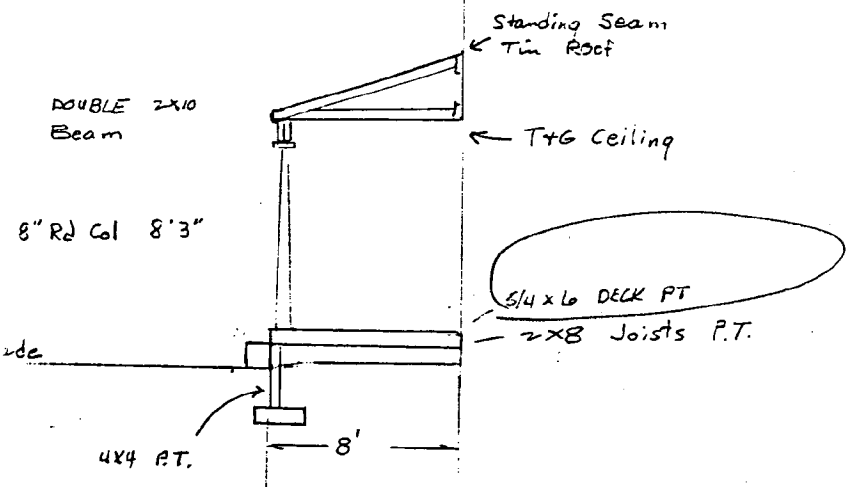
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Murphy



2x4 Joist 16" OC
 2x4 Rafter 16" OC



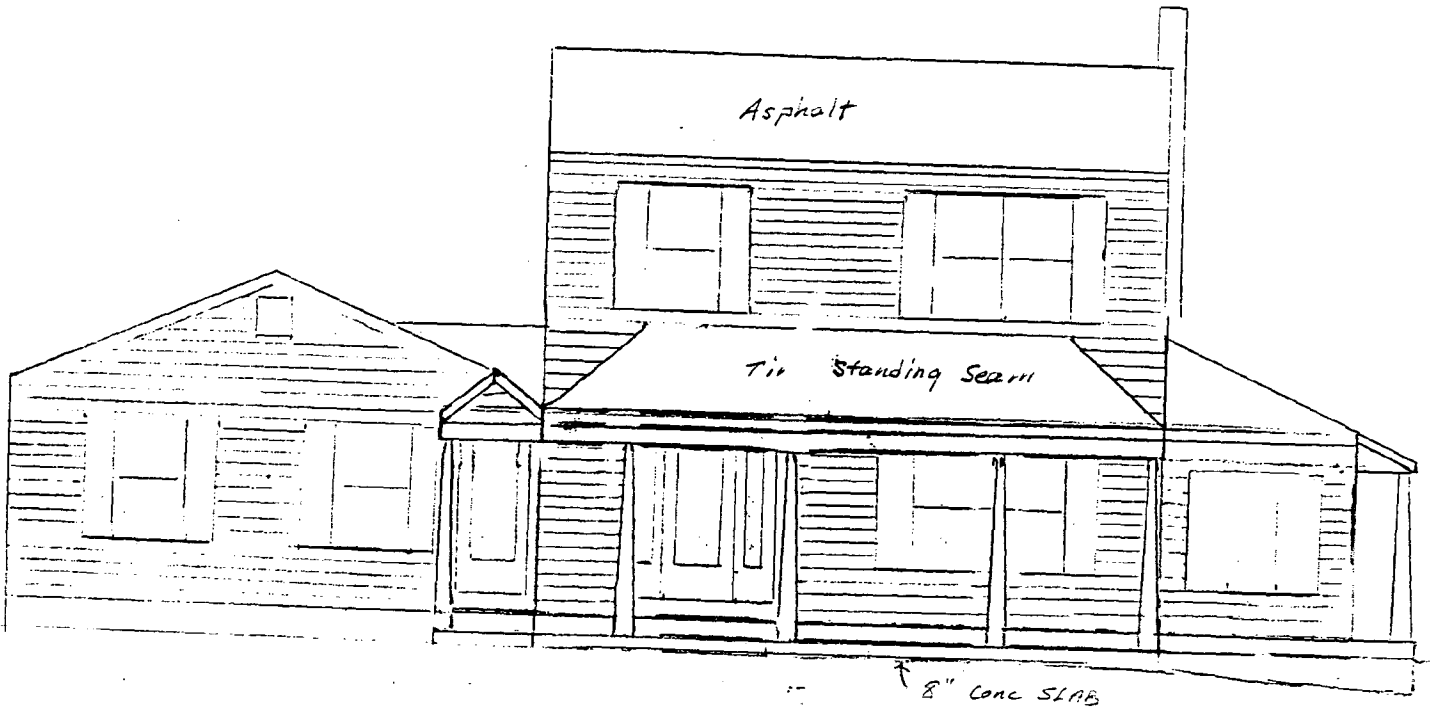
Pressure-treated 2x6 for decking.

deck 5/4 x 6 P.T.
 joists 2x8 P.T.

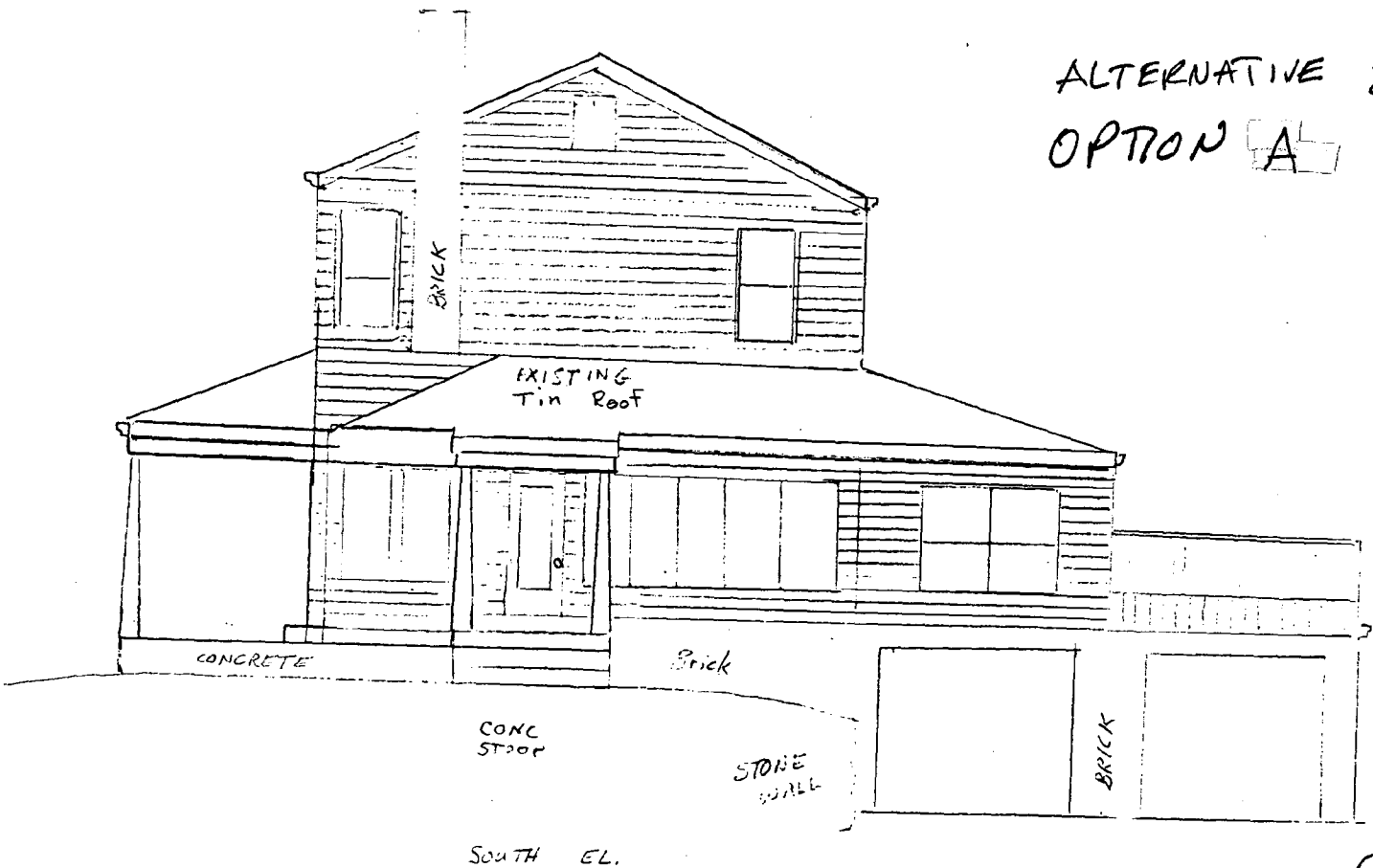
Top of porch 16" above grade
 using 2x8 joists p.t. - leaves 8" for lattice below

3rd

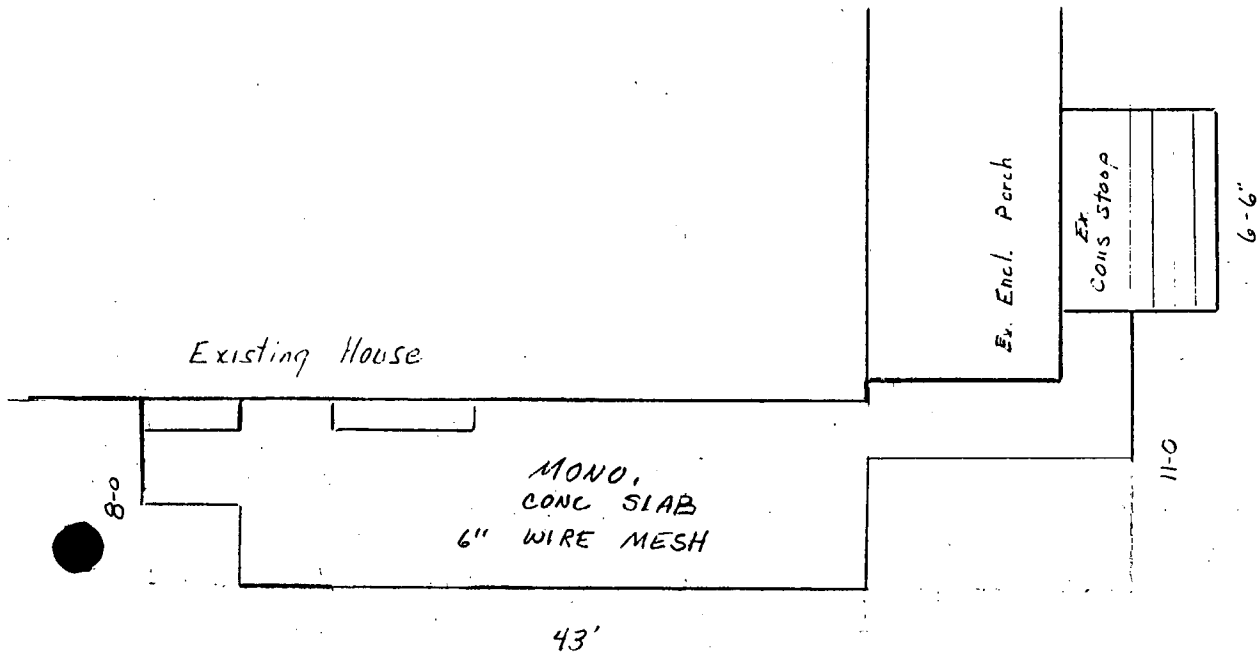
Murphy



ALTERNATIVE 2
OPTION A

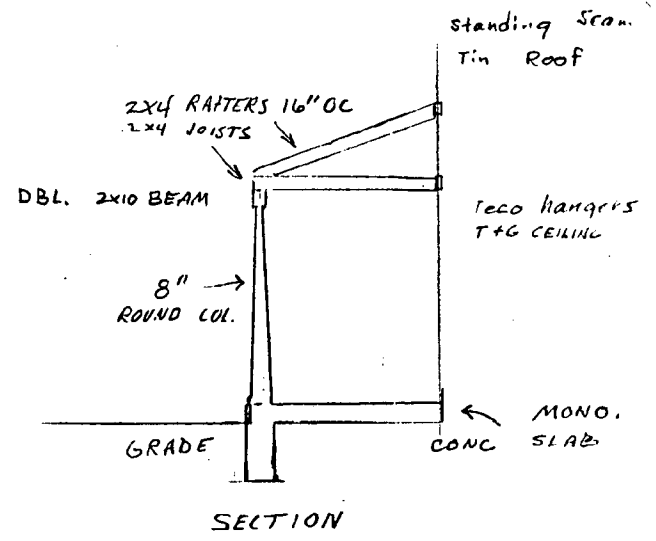


SOUTH EL.



Scale 1/8" = 1'

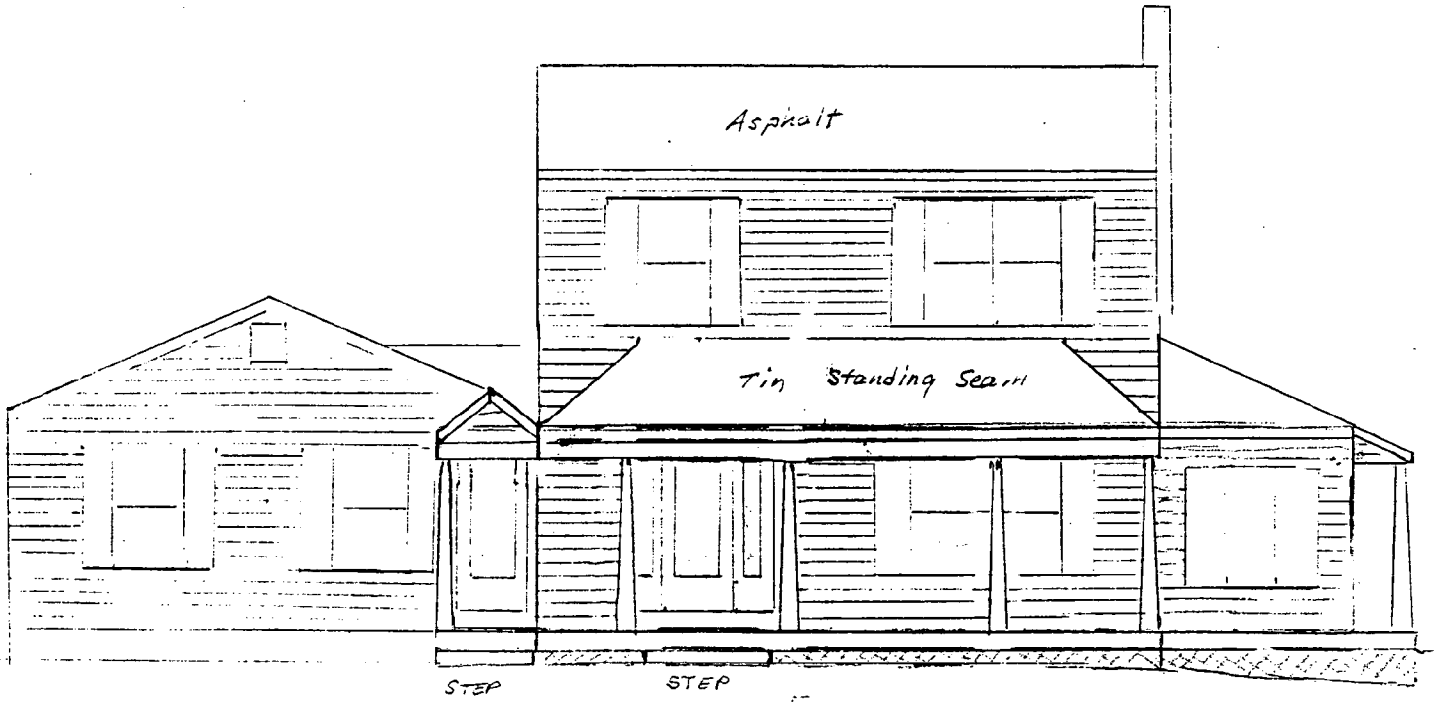
#9 High St Brookeville Md



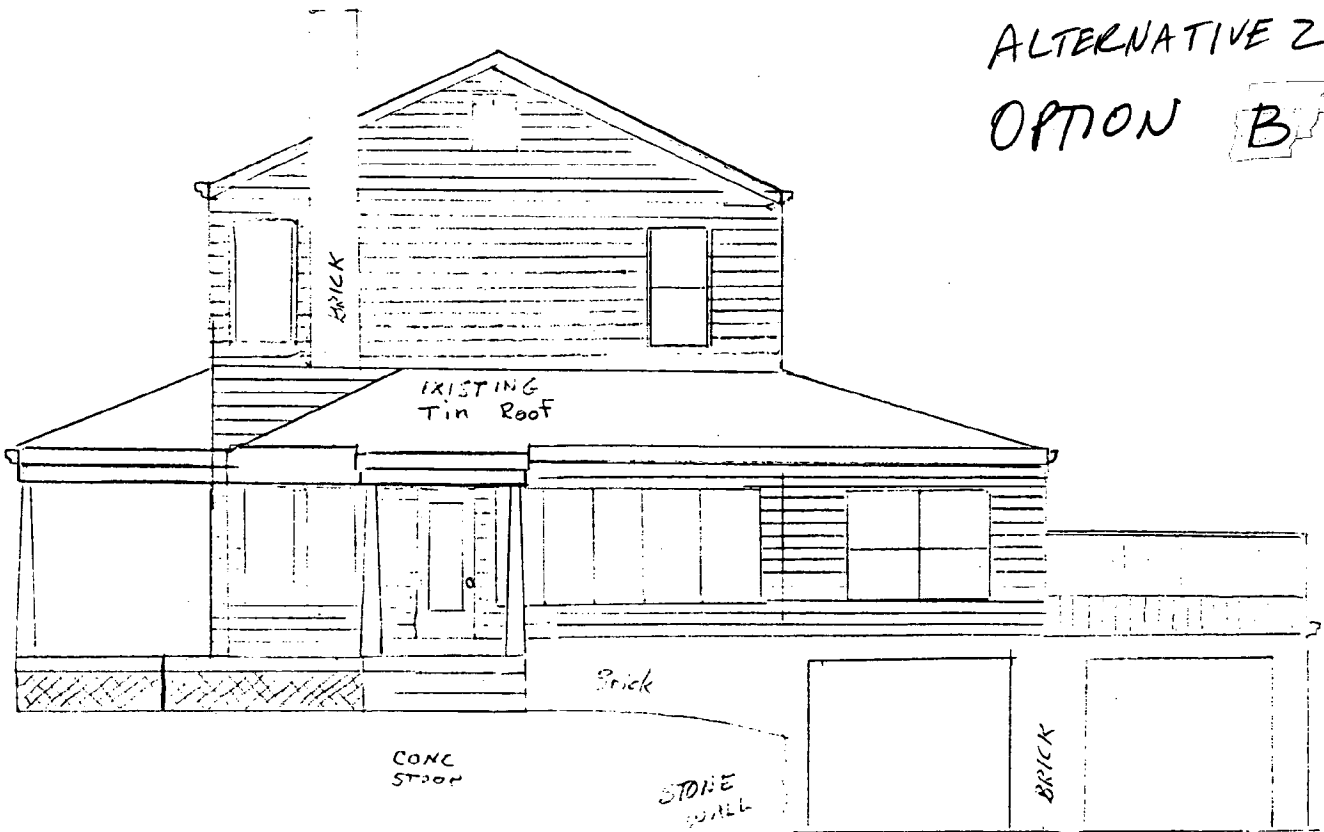
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Murphy

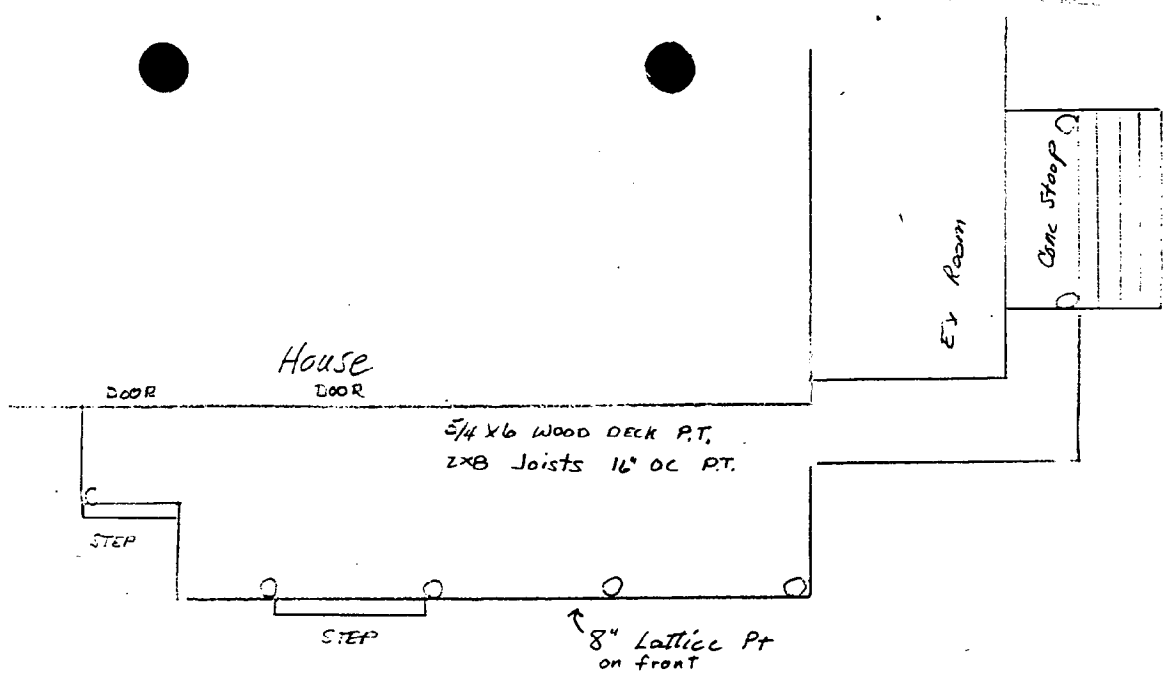


ALTERNATIVE 2
OPTION B

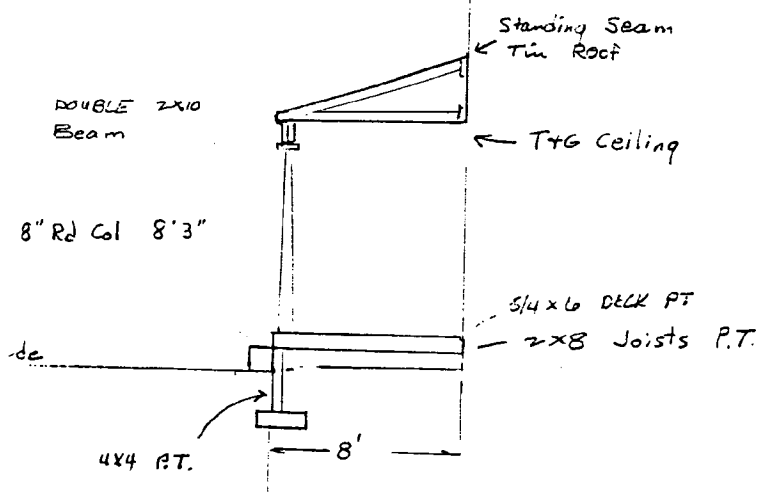


SOUTH EL.

11



2x4 Joist 16" OC
 2x4 Rafter 16" OC



Deck 5/4 x 6 P.T.
 Joists 2x8 P.T.

Top of porch 16" above grade
 using 2x8 joists p.t. - leaves 8" for lattice below

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9 High Street

Date: 6/25/97

Resource: Brookeville Historic District

Review: HAWP

Case Number: 23/65-97C

Tax Credit: No

Public Notice: 6/11/97

Report Date: 6/18/97

Applicant: Michael G. Murphy

Staff: Robin D. Ziek

PROPOSAL: Remove existing porch;
construct new front porch.

RECOMMENDATIONS: APPROVAL AND A
w/CONDITIONS CONCEPT

PROJECT WAS
POSTPONED ON
REQUEST BY
OWNERS - THEY
HAD INSUFFICIENT
DRAWINGS,
WHICH THE
HPC GENERALLY FELT
WAS INAPPROPRIATE.
(Victorian porch on Colonial
Revival)

PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Colonial Revival

DATE: 1900-1930's

The existing house is 2-story wood frame, with many additions. The main portion is a simple three-bay house with gable roof parallel to the street. The front door is covered with a small front-facing gable porch which is approximately 8' wide. Two Doric columns support the porch roof, standing on a relatively new brick stoop with brick steps and a metal handrail.

On the left side of the main block of the house, there is a large one-story addition with a separate front door entrance protected with a metal awning. This door also has a brick stoop. On the right side of the house is a one-story sun porch with casement windows. Access to this porch is provided by a door on the side elevation. There are also two more additions at the rear of the house which can be seen in the drawings of the right (south) side elevation, including a large deck at the rear of the house.

The resource is characterized as a Primary Resource in the Brookeville Historic District. But it dates to the tail end of the designated historic era, and is much later than the late 18th/early 19th century which is the most important historic period for the town. This house is one of many which was built as the town developed in the 20th century, and certainly contributes to the small town character, which was characterized as small lot development for a town within a rural context. Staff review of this vernacular structure is made with this in mind.

PROJECT PROPOSAL

The applicant proposes to remove the existing front porch and build a large full-width front porch with a hipped roof which actually engages both the front door for the left side addition, and provides access to the side entrance to the right side sun porch. The sun porch is set back from the front plane of the house by approximately one foot, and the new porch would extend beyond the plane of the side door by approximately 2-1/2'. The full extent of the front porch would be approximately 43'.

1 13

The applicant proposes to use 4x4 posts for columns. There is little information about the design of the porch railing. There is no information about the proposed porch flooring or ceiling material or design. The new porch roof would be metal to match the existing right-side porch roof.

STAFF COMMENTS

The existing porch is a Colonial Revival element which is consistent with the construction of the original house. There have, however, been many changes to this property, mainly in the form of new additions, and the original porch stoop and front steps have been replaced at some point.

The proposed use of a full-width front porch is not atypical with the Colonial Revival style. The variety within this style ranges from high-style to simple worker housing. Elements which might appear throughout are use of classical motifs, including multi-light windows, classical details in door surrounds, use of one of the classical orders for columns, and a sense of simplicity with elaboration restricted to entrances, cornices and windows.

The proposed porch would be the strongest element on the front elevation of this house. The house currently reads as a compilation of additions, and this proposed new porch would be a unifying element which would actual screen the various additions. As such, it should be designed as an asset to the site.

Staff feels that the porch application is too schematic, even though it is understandable in concept. The proposed use of 4x4 posts is inadequate, especially as the original front porch utilizes Doric columns in the best tradition of the colonial revival style. Staff feels that the original columns should serve as the model for the columns for the proposed porch.

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Staff notes that there is some discrepancy in the drawings with regard to the corner where the sun porch is located. The plan, as shown on Circle 10, does not show the roof as contiguous with the existing sun porch roof. This is shown, however, in the elevation drawing on Circle 9. The applicant should re-examine this corner, and work out this discrepancy.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

CONDITIONS:

2
14

1. Before the HAWP is transmitted to DPS, the applicant will provide for staff review detailed drawings of the proposed porch, including specifications for the porch columns, the porch ceiling, the porch floor, and the porch railing.
2. The new porch columns will be similar in design to the existing columns.
3. The porch railing will utilize inset pickets.
4. The porch floor will utilize typical tongue and groove flooring running perpendicular to the house.
5. All new wood surfaces will be painted.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

~~3~~ 15

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: _____

Name of Property Owner: MICHAEL G. MURPHY Daytime Phone No.: 301.924.2525

Address: 9 HIGH ST BROOKVILLE MD 20833
Street Number City State Zip Code

Contractor: STEVE MURPHY Phone No.: 301-949-0567

Contractor Registration No.: MHIC 41340

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: * 9 Street: High St MA/VA/DC

Town/City: Brookeville Nearest Cross Street: MARKET

Lot: _____ Block: _____ Subdivision: _____

Liber: 5905 Folio: 453 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: | | | | |

1B. Construction cost estimate: \$ 6,000.00

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael G. Murphy
 Signature of owner or authorized agent

5/15/97
 Date

4

16

Approved: _____

For Chairperson, Historic Preservation Commission

NEIGHBORS

NEXT DOOR SOUTH

PAUL HOWES PLUMBING SHOP

15 HIGH ST.

BROOKVILLE, MD. 20833

NEXT DOOR NORTH

BROOKVILLE ACADEMY

5 HIGH ST

BROOKVILLE, MD 20833

ACROSS STREET

ORNDORFF MEMORIAL HALL

c/o SAREM UNITED METHODIST CHURCH

10 HIGH ST.

BROOKVILLE MD 20833

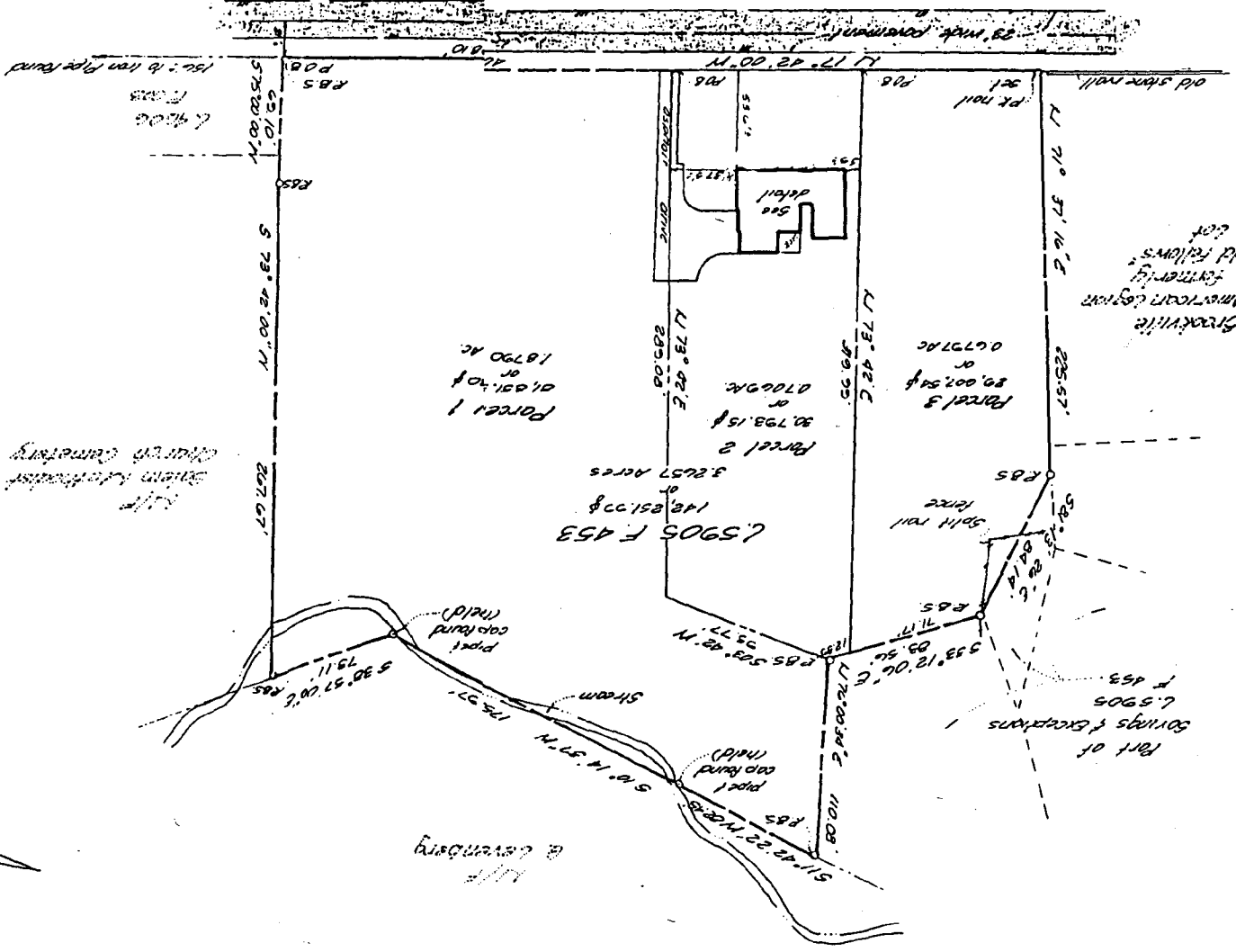


Mike Murphy
7 High St
Brookville

924-2525

20833 (17)

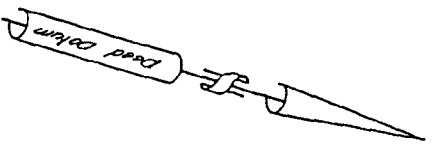
High Street
(Georgia Avenue ext)



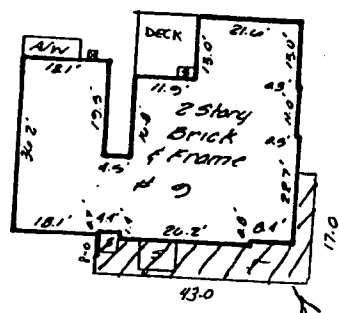
Surveyor's Certification
I hereby certify that the information shown hereon is correct to the best of my knowledge, that it is based upon an actual field survey pursuant to the record descriptions among the land records of Montgomery County, Maryland. I further certify that the improvements to the subject property have been established by Transit-tape methods and that unless shown, there are no encroachments. The information shown has been derived without the benefit of a title report and may not show all easements or encumbrances.

Jeffrey A. Foster
Jeffrey A. Foster
Property Line Surveyor
M.D. Reg. No. 587

4-11-91
date



- Notes:
- 1) Flood zone "C" per H.U.D. panel no. 240049-0150B.
 - 2) Currently zoned: R-200
 - 3) R.B.S - Rebar Set
POB - Point of Beginning



Detail
Scale: 1"=30'

Proposed porch



Plot of Survey
Liber 5905 Folio 453
M.G. Murphy Property
Atney (18th) Election District
Montgomery County, Maryland
Scale: 1"=60' April, 1991

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SNIDER & ASSOC., INC.



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SURVEYORS - ENGINEERS
LAND PLANNING CONSULTANTS

2 PROFESSIONAL DRIVE - SUITE 218
MONTGOMERY PROFESSIONAL PARK
GAITHERSBURG, MARYLAND 20879

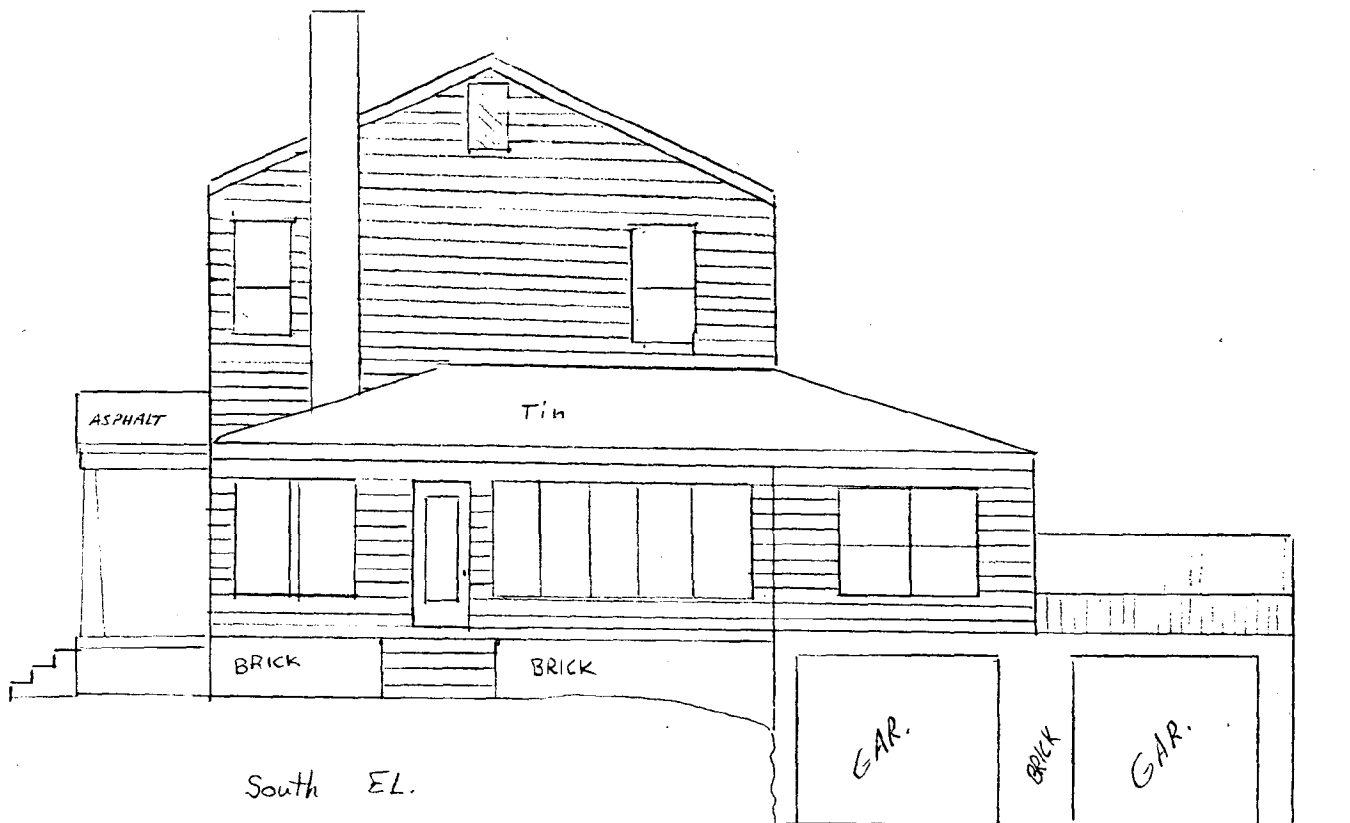
(301) 948-6100
FAX (301) 948-1288

19
7

Existing EL.



WEST EL.



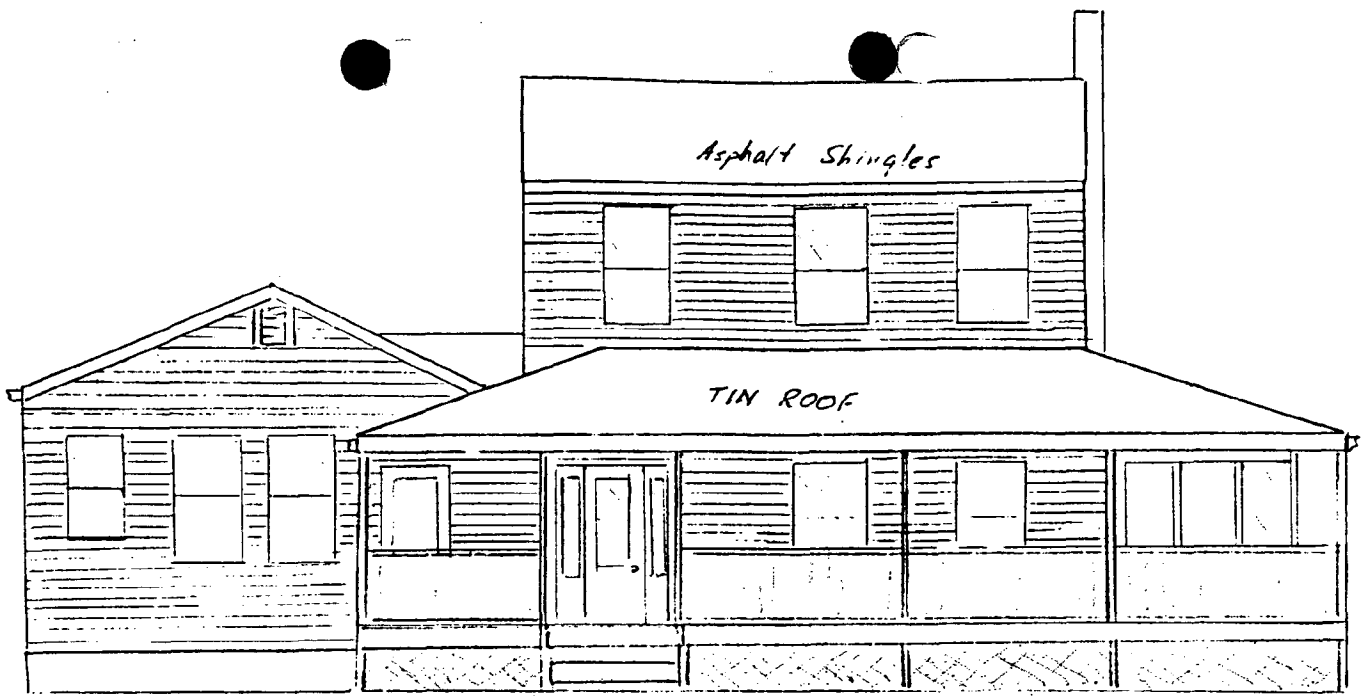
South EL.

M MURPHY
9 HIGH ST
Brookeville Ind 20933

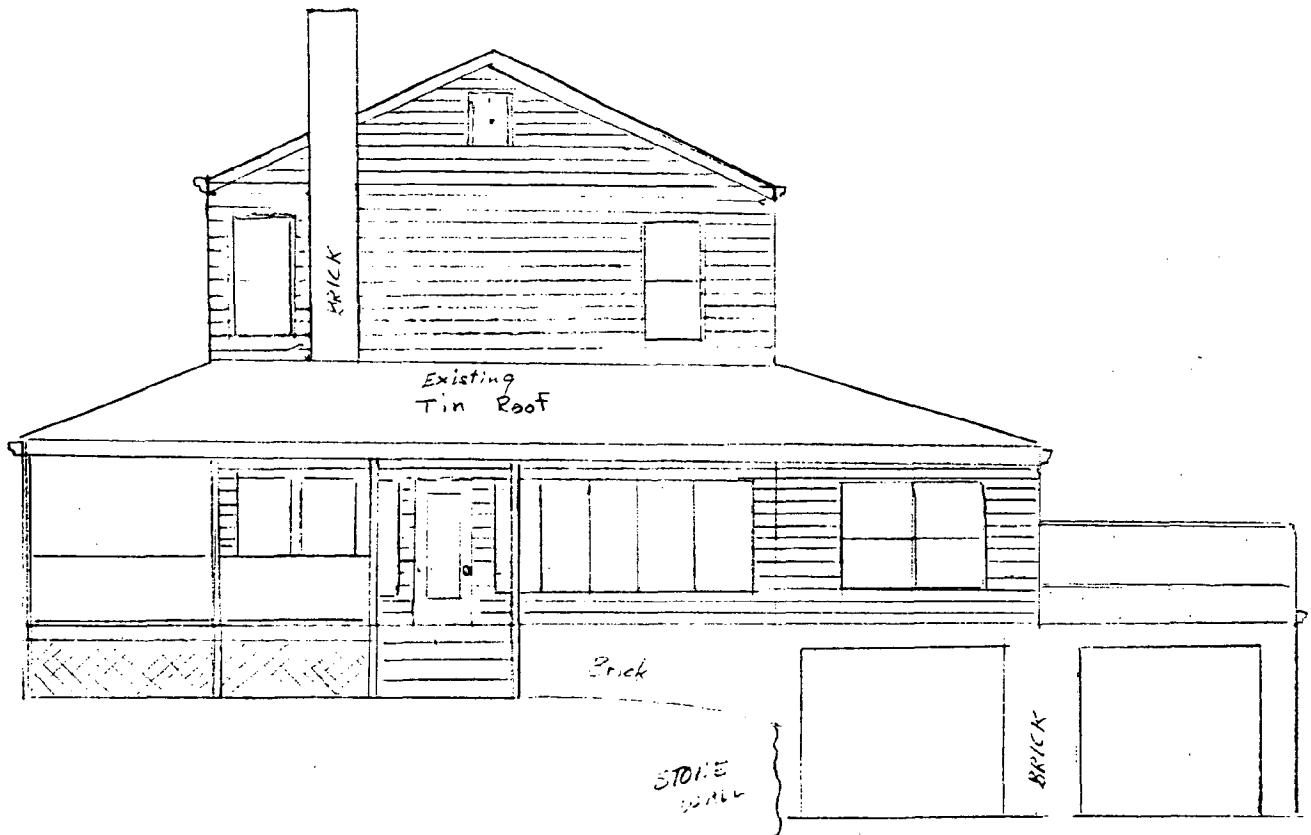


20

EXISTING



West EL.



South EL.

#9 High St 301-924-2525
 MG MURPHY
 Brookeville Md 20832

PROPOSED

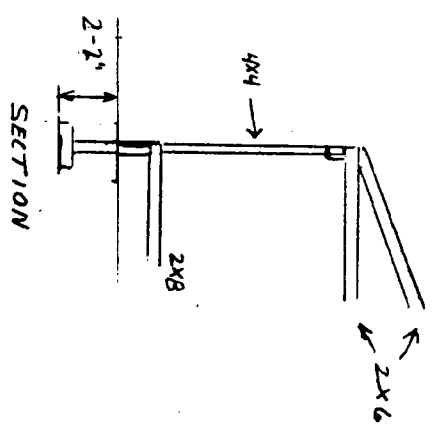
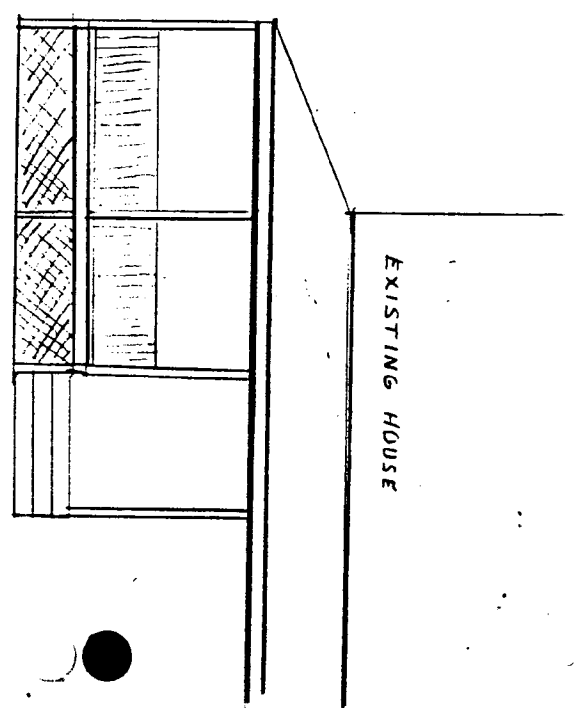
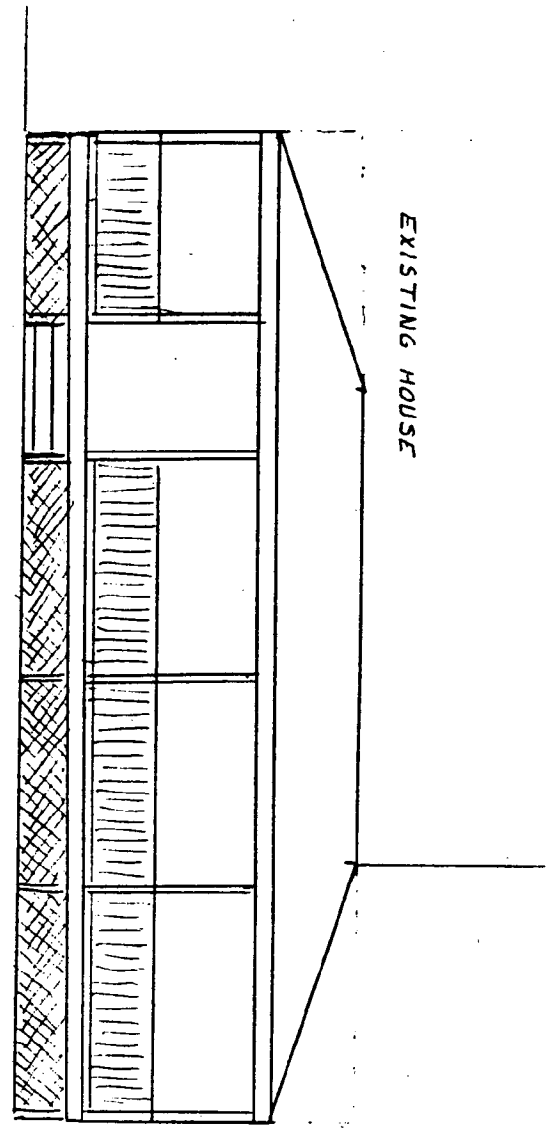
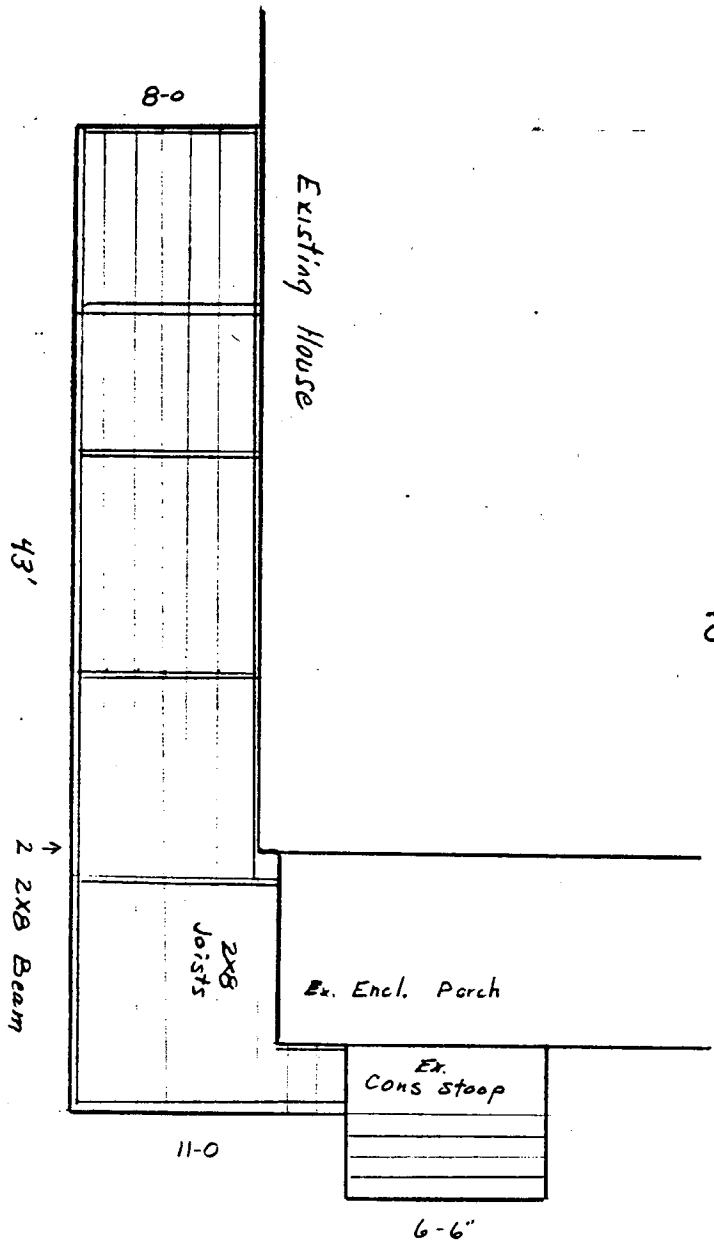
9
 21

22
1/0

Scale 1/8" = 1'

#9 High St Brookeville Md

PROPOSED

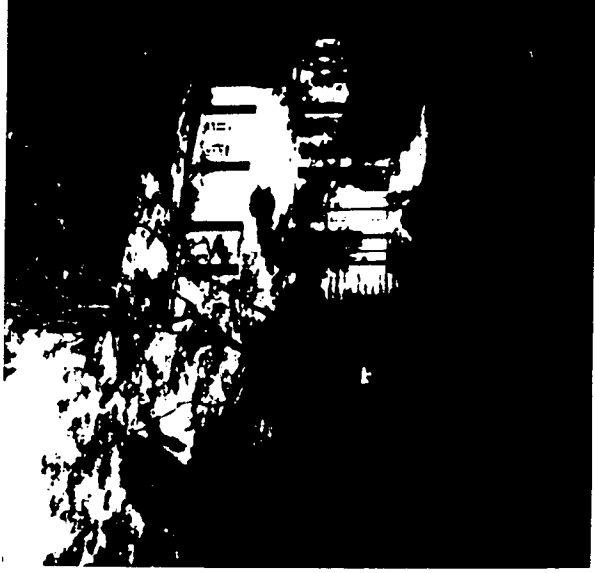


11 (23)

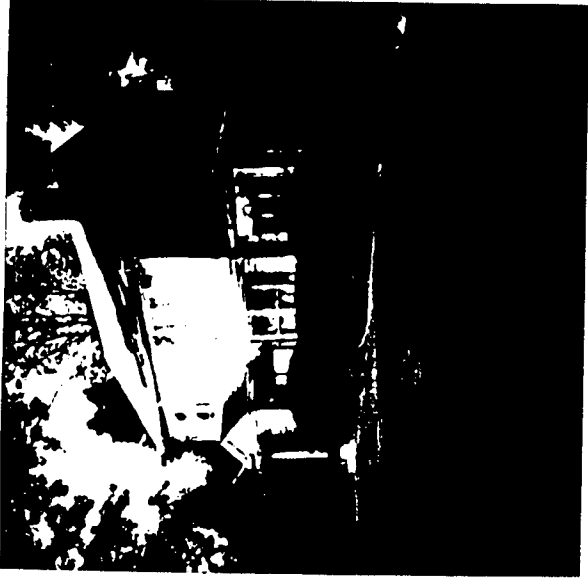


High St.
robbville

21
42



9 High Street
Brooksville



TO: ROBIN ZIS

BROOKVILLE L.A.P. 6-24-97

Present: K. Montgomery
D. Heritage
D. Teague
T. Browne
M. Van Gelder
D. Wagner

Comments on Murphy HAWP:

1. Columns/pillars should resemble existing.
2. Proposed porch may be a nice improvement.
3. All wood should be painted.
4. Lattice work under porch floor.
5. Tongue-and-groove flooring and ceiling.
6. Standing seam metal roof.
7. Proposed angle of roof looks awkward. Endpoint of roof to north could possibly be between window furthest north and next window.
8. Wraparound porch is not consistent with neighborhood (although many years ago the bungalow at 2 High St. had one).
9. 4x4 posts inappropriate.
10. Columns/pillars should be wood.

Next meeting 7-8-97

LAP July 15, 1997

Brooksville

Present:

Karen Montgomery

Renae Moneyham

Dee Heritage

Fred Teal

Diane Tengren

Notes

Murphy: Proper original proposal with recommendations given.

Option A/B-

1. Several houses in town have concrete decks. They are easier, less costly, to maintain. No objection to either proposal. Suggest a deck face, to match sides, of concrete if that option selected.
2. Gable over front door seems ~~unnecessary~~ unnecessary.

Options C/D

1. Roof lines to usually discontiguous

Johnston:

Recommend approval as is.

• Fire Mr. Murphy •

- Talk to STEA (local) about
re-positioning the signs.

For location right now...

2 or 3 years.

Brookville move to South.

Info on the Bypass?

SECTION R-214—HANDRAILS AND GUARDRAILS

R-214.1 Handrails: Handrails having minimum and maximum heights of 30 inches and 38 inches, respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways of three or more risers. Spiral stairways and winders shall have the required handrail located on the outside radius. All required handrails shall be continuous the full length of the stairs. Ends shall be returned or shall terminate in newel posts or safety terminals.

The handgrip portion of the handrails shall not be more than 2 5/8 inches in cross-sectional dimension, or the shape shall provide an equivalent gripping surface. The handgrip portion of handrails shall have a smooth surface with no sharp corners.

Handrails projecting from a wall shall have a space of not less than 1 1/2 inches between the wall and the handrail.

R-214.2 Guardrails: Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guardrails not less than 36 inches in height.

Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guardrails not less than 34 inches in height measured vertically from the nosing of the treads.

Required guardrails on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which will not allow passage of an object 6 inches or more in diameter. Horizontal spacing between the vertical members in required guardrails shall be a maximum of 4 inches at the nearest point between the members.

Exception: The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway may be of such a size that a sphere 6 inches in diameter cannot pass through.

SECTION R-215—SMOKE DETECTORS

R-215.1 Smoke detectors required: Smoke detectors shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels, a smoke detector need be installed only on the upper level, provided the lower level is less than one full story below the upper level, except that if there is a door between levels then a detector is required on each level. All detectors shall be interconnected such that the actuation of one alarm will actuate all the alarms in the individual unit and shall provide an alarm which will be audible in all sleeping areas. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.

When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings, the entire building shall be provided with smoke detectors located as required

for new dwellings; the smoke detectors are interconnected unless other remodeling considers the appropriate wall and ceiling coverings interconnected wiring.

R-215.2 Power source: Required smoke detector primary power from the building wiring when such commercial source, and when primary power is power from a battery. Wiring shall be provided with a disconnecting switch other than those required for Smoke detectors may be battery operated when without commercial power.

SECTION R-216—FOAM PL

R-216.1 General: The provisions of this section requirements and uses of foam plastic insulation.

Except where otherwise noted in Section R-2, foam plastic cores in manufactured assembly construction shall have a flame-spread rating of not more than 1 and have a smoke-developed rating of not more than 100. Maximum thickness intended for use in accordance with Section S-26.216.

Foam plastic, except where otherwise noted, shall not be used on the interior of a building by an approved thermal barrier wallboard or equivalent thermal barrier material. The average temperature rise of the unexposed surface shall not exceed 250 degrees F. after 15 minutes of fire exposure corresponding to the time-temperature curve of ASTM E119 listed in Section S-26.216. Equivalence may be determined through the Horizontal Exposure Furnace."

The thermal barrier shall be installed in such a manner as to be in place for the duration of the particular test used. It shall meet the acceptance criteria thereof.

R-216.2 Specific requirements: The following sections apply to all uses of foam plastic unless specifically approved by Section R-216.3 or by other sections of the code.

R-216.2.1 Masonry or concrete construction: Foam plastic used without the thermal barrier described in Section S-26.216 shall be protected by a minimum 1-inch concrete.

R-216.2.2 Roofing: Foam plastic may be used on the exterior of a building without the thermal barrier when the foam plastic is protected by plywood sheathing not less than 1/2 inch thick bonded with exterior glue, with edge tongue-and-groove joints or other approved type of equivalent material. Foam plastic roof insulation

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9 High Street

Date: 6/25/97

Resource: Brookeville Historic District

Review: HAWP

Case Number: 23/65-97C

Tax Credit: No

Public Notice: 6/11/97

Report Date: 6/18/97

Applicant: Michael G. Murphy

Staff: Robin D. Ziek

PROPOSAL: Remove existing porch;
construct new front porch.

RECOMMENDATIONS: APPROVAL AND A
w/CONDITIONS CONCEPT

PROJECT WAS
POSTPONED ON
REQUEST BY
OWNERS - THEY
HAD INSUFFICIENT
DRAWINGS,
AND A
CONCEPT

PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Colonial Revival

DATE: 1900-1930's

WHICH THE
HPC GENERALLY FELT
WAS INAPPROPRIATE.
(Victorian porch on Colonial
Revival)

The existing house is 2-story wood frame, with many additions. The main portion is a simple three-bay house with gable roof parallel to the street. The front door is covered with a small front-facing gable porch which is approximately 8' wide. Two Doric columns support the porch roof, standing on a relatively new brick stoop with brick steps and a metal handrail.

On the left side of the main block of the house, there is a large one-story addition with a separate front door entrance protected with a metal awning. This door also has a brick stoop. On the right side of the house is a one-story sun porch with casement windows. Access to this porch is provided by a door on the side elevation. There are also two more additions at the rear of the house which can be seen in the drawings of the right (south) side elevation, including a large deck at the rear of the house.

The resource is characterized as a Primary Resource in the Brookeville Historic District. But it dates to the tail end of the designated historic era, and is much later than the late 18th/early 19th century which is the most important historic period for the town. This house is one of many which was built as the town developed in the 20th century, and certainly contributes to the small town character, which was characterized as small lot development for a town within a rural context. Staff review of this vernacular structure is made with this in mind.

PROJECT PROPOSAL

The applicant proposes to remove the existing front porch and build a large full-width front porch with a hipped roof which actually engages both the front door for the left side addition, and provides access to the side entrance to the right side sun porch. The sun porch is set back from the front plane of the house by approximately one foot, and the new porch would extend beyond the plane of the side door by approximately 2-1/2'. The full extent of the front porch would be approximately 43'.

①

The applicant proposes to use 4x4 posts for columns. There is little information about the design of the porch railing. There is no information about the proposed porch flooring or ceiling material or design. The new porch roof would be metal to match the existing right-side porch roof.

STAFF COMMENTS

The existing porch is a Colonial Revival element which is consistent with the construction of the original house. There have, however, been many changes to this property, mainly in the form of new additions, and the original porch stoop and front steps have been replaced at some point.

The proposed use of a full-width front porch is not atypical with the Colonial Revival style. The variety within this style ranges from high-style to simple worker housing. Elements which might appear throughout are use of classical motifs, including multi-light windows, classical details in door surrounds, use of one of the classical orders for columns, and a sense of simplicity with elaboration restricted to entrances, cornices and windows.

The proposed porch would be the strongest element on the front elevation of this house. The house currently reads as a compilation of additions, and this proposed new porch would be a unifying element which would actual screen the various additions. As such, it should be designed as an asset to the site.

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STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

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Lot: _____ Block: _____ Subdivision: _____

Liber: 5905 Folio: 453 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Move
- Revision
- Extend
- Install
- Repair
- Alter/Renovate
- Wreck/Raze
- Revocable
- AC
- Solar
- Fence/Wall (complete Section 4)
- Slab
- Fireplace
- Room Addition
- Porch
- Deck
- Shed
- Woodburning Stove
- Single Family
- Other: _____

B. Construction cost estimate: \$ 6,000.00

C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

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3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael G. Murphy
 Signature of owner or authorized agent

5/15/1997
 Date 4

Approved: _____ For Chairperson, Historic Preservation Commission

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PAUL HOUSES PLUMBING SHOP

15 HIGH ST.

BROOKVILLE, MD. 20833

NEXT DOOR NORTH

BROOKVILLE ACADEMY

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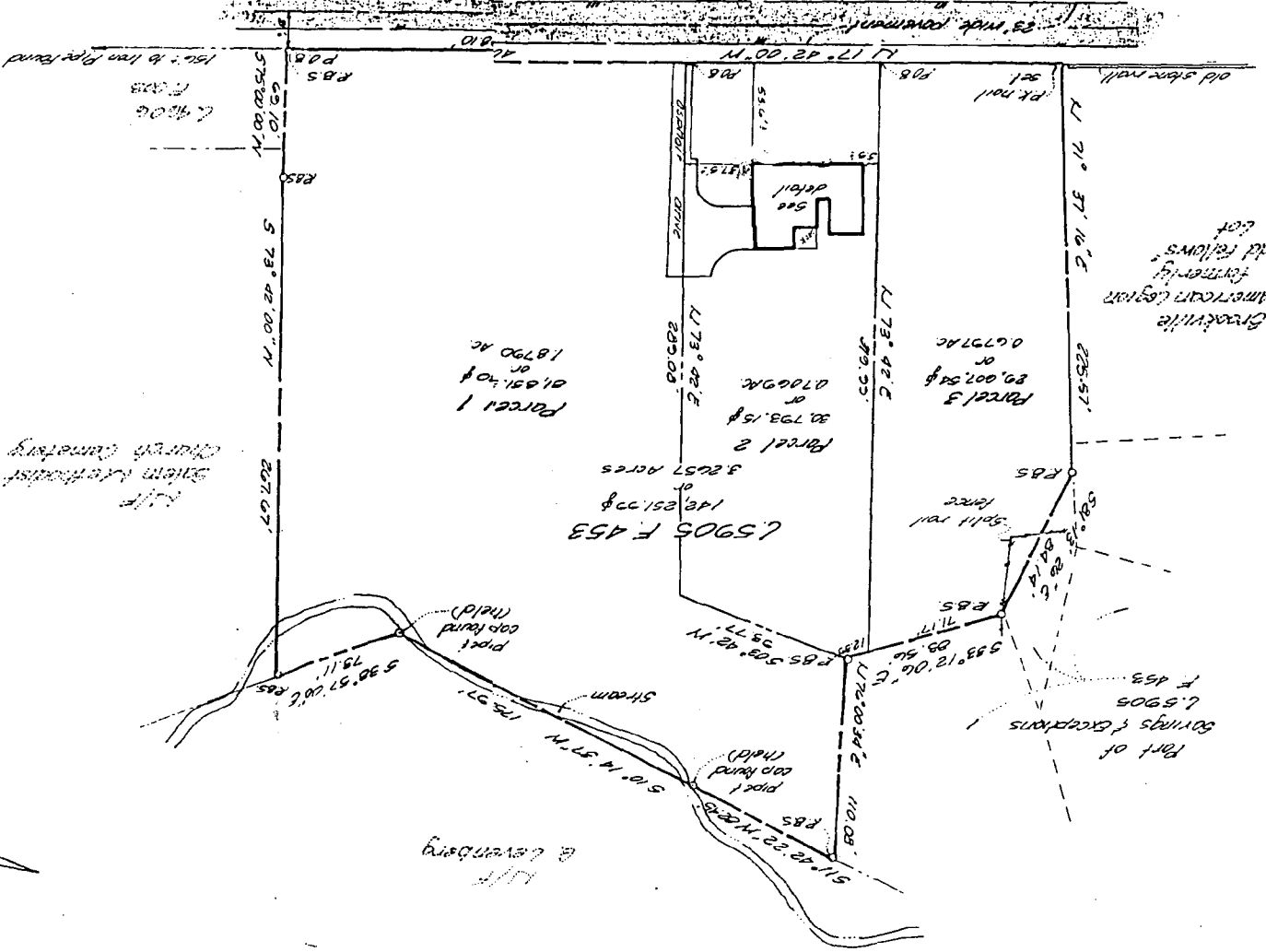
BROOKVILLE MD 20833

(S)

Mike Murphy 924-2525
9 High St
Brookville, MD 20833

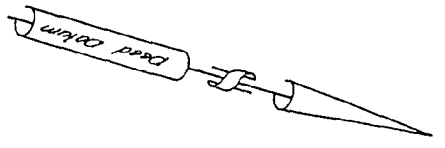
6

High Street
(Georgia Avenue ext.)



Jeffrey A. Foster
date 4-11-91
Property line Surveyor
MD Reg. No. 587

SURVEYOR'S CERTIFICATION
I hereby certify that the information shown herein is correct to the best of my knowledge, that it is based upon an actual field survey pursuant to the record (assessors) among the land records of Montgomery County, Maryland. I further certify that the improvements to the subject property have been established by transit-tape methods and that unless shown, there are no encroachments. The information shown has been derived without the benefit of a title report and may not show all easements or encumbrances.



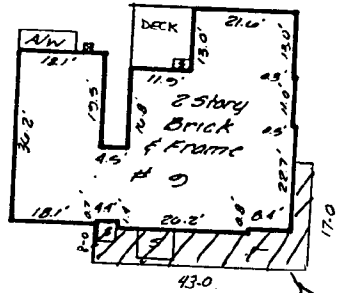
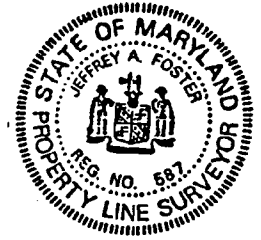
Shookville
American Legion
formally
old follows
lot

Part of
L. 5905
BORINGS & EXCEPTIONS 1

L.F. & Levenberg

Notes:

- 1) Flood zone "C" per H.U.D. panel no. 240049-0150B.
- 2) Currently zoned: R-200
- 3) R.B.S - Rebar Set
P.O.B - Point of Beginning



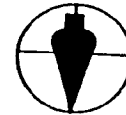
Detail
Scale: 1"=20'

Proposed porch

Plot of Survey
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M.G. Murphy Property

Atney (8th) Election District
Montgomery County, Maryland
Scale: 1"=60' April, 1991

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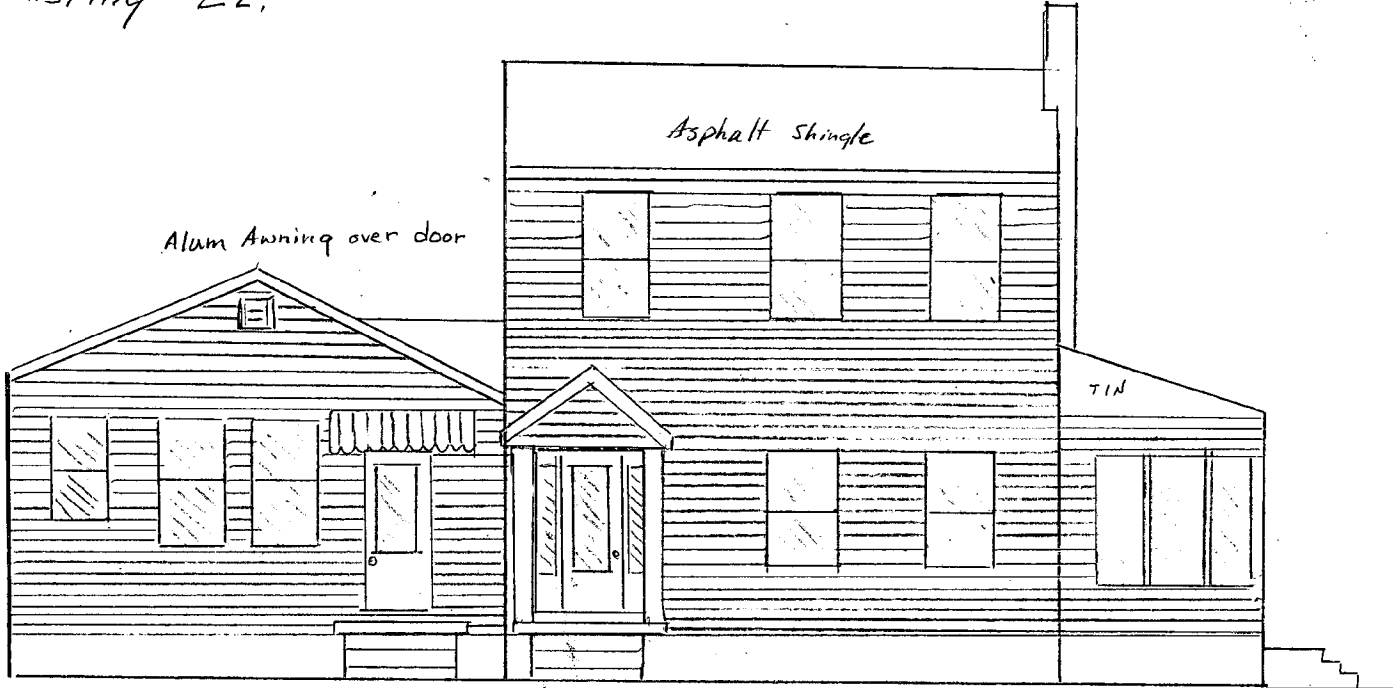
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2 PROFESSIONAL DRIVE - SUITE 216
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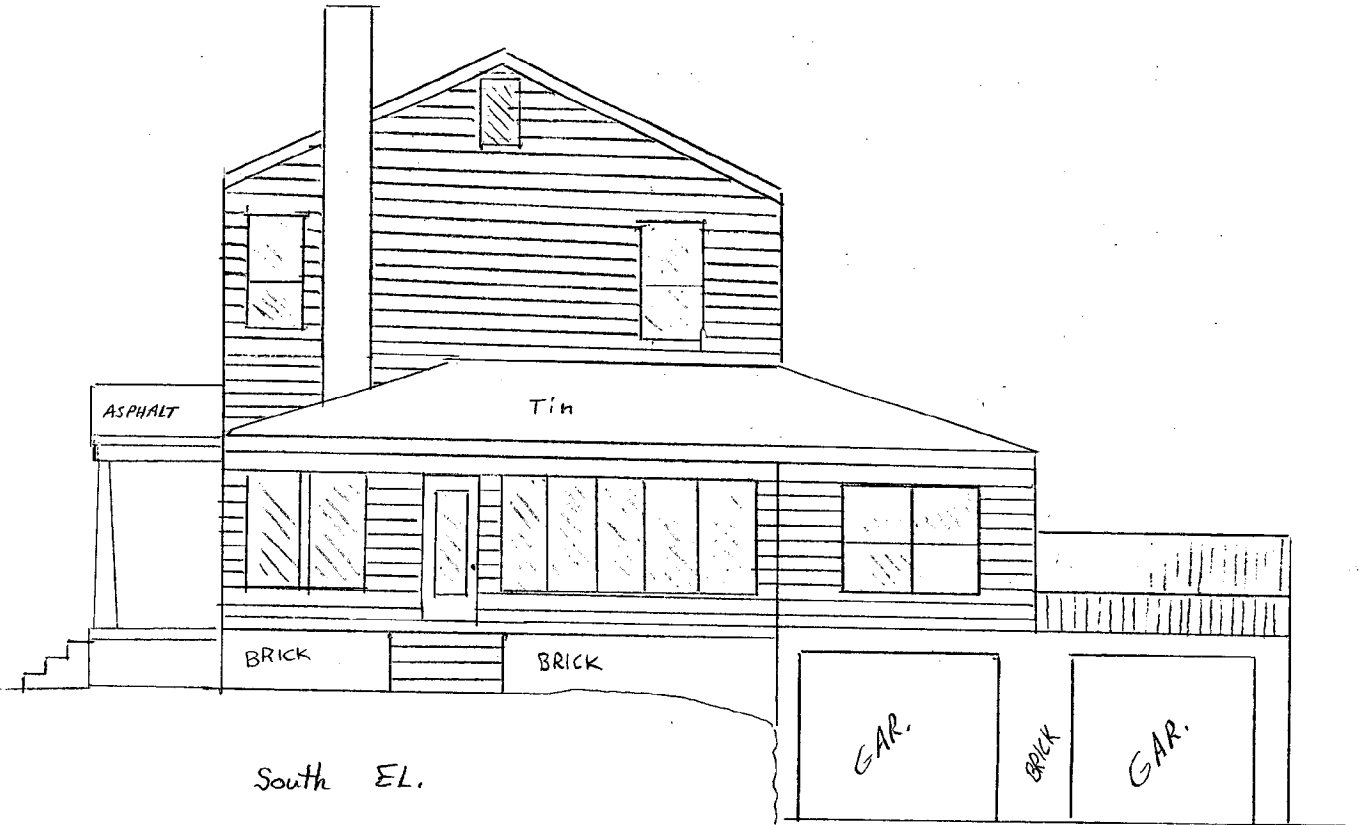
(301) 948-5100
FAX (301) 948-1288

7

Existing EL.



WEST EL.

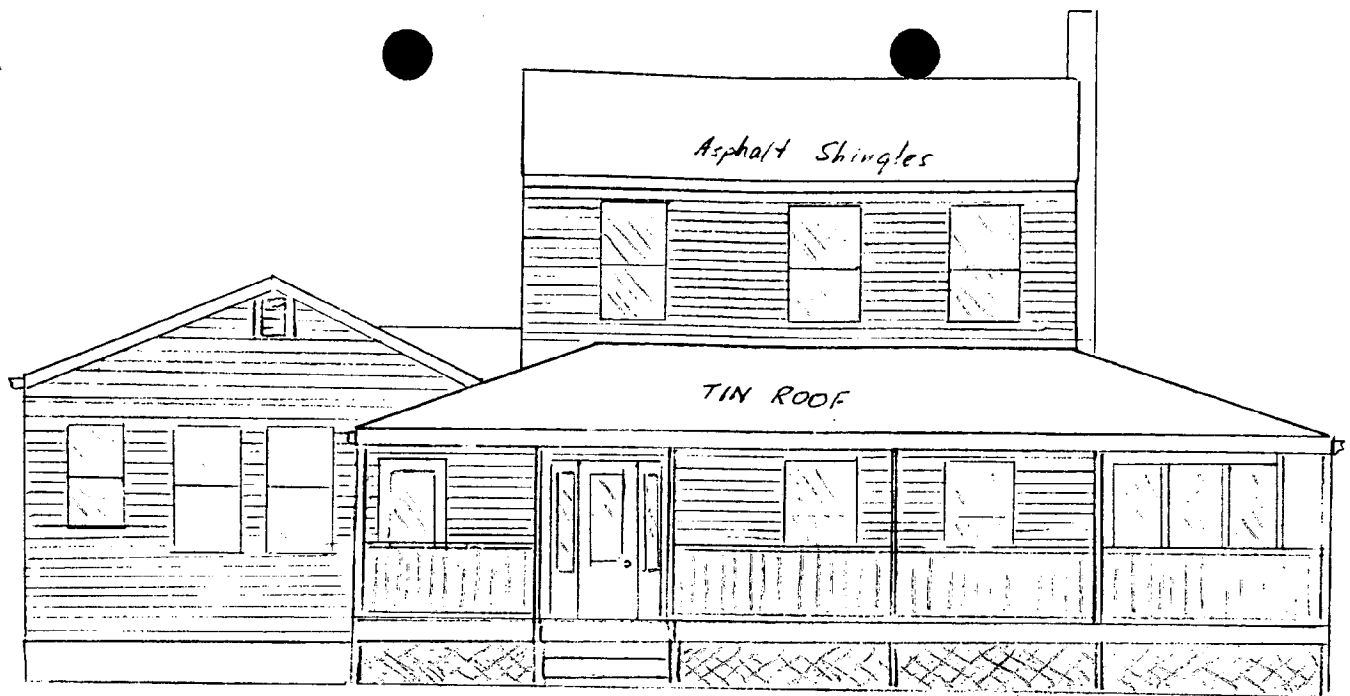


South EL.

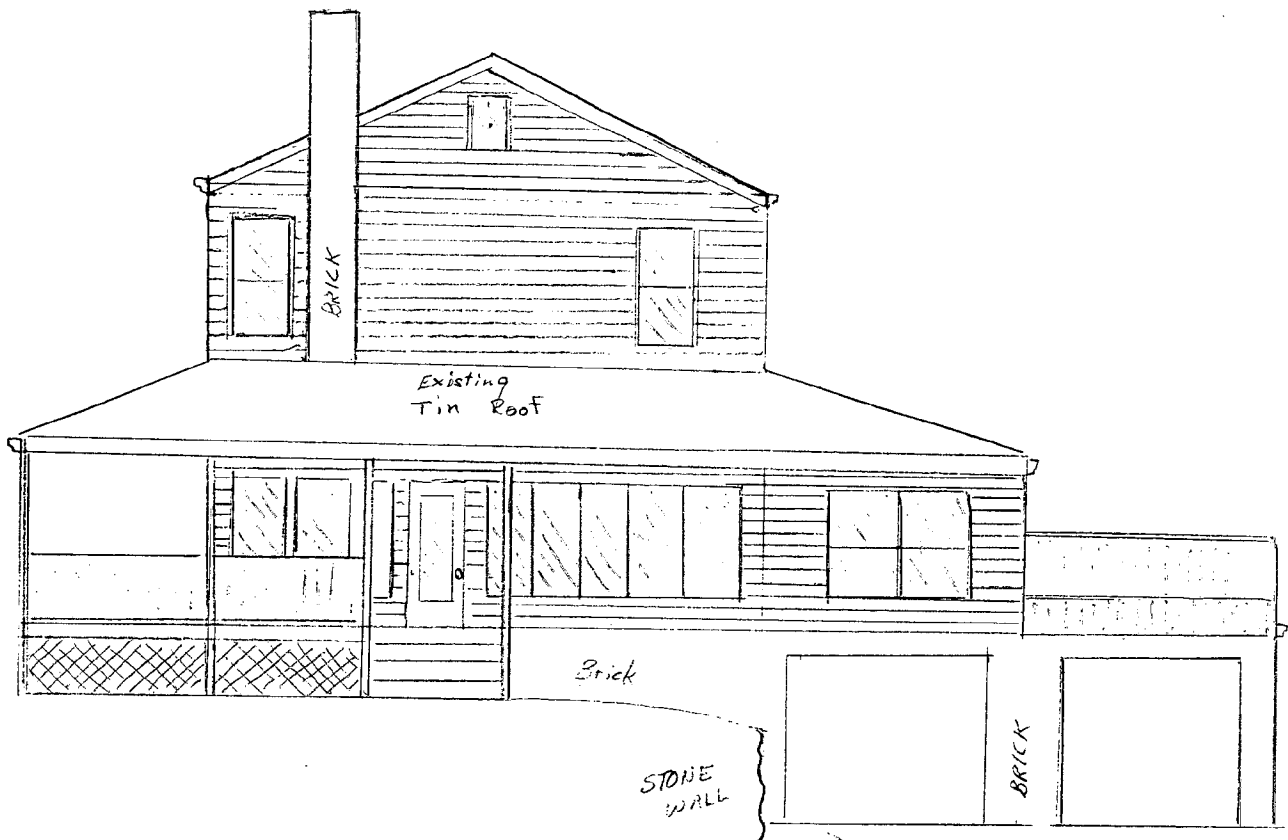
M MURPHY
 9 HIGH ST
 Brookeville Md 20933



EXISTING



West EL.



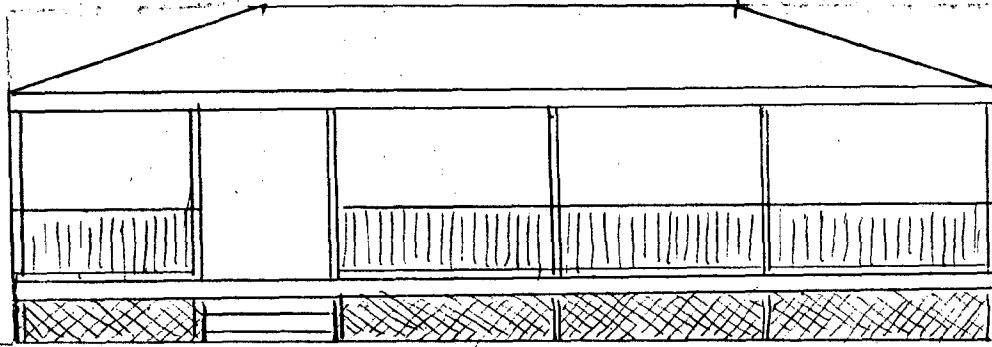
SOUTH EL.

#9 High St 301-924-2525
 MC MURPHY
 Brookeville Md 20832

PROPOSED

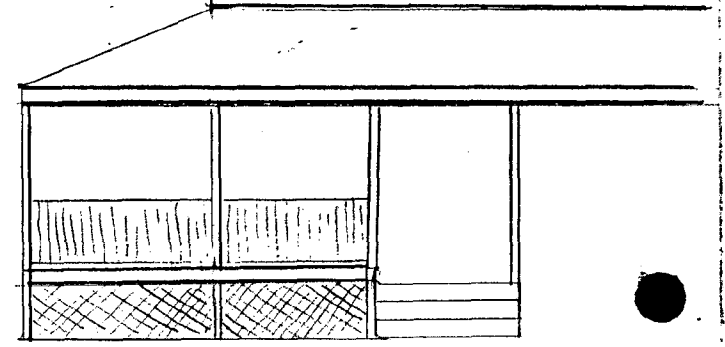
9

EXISTING HOUSE



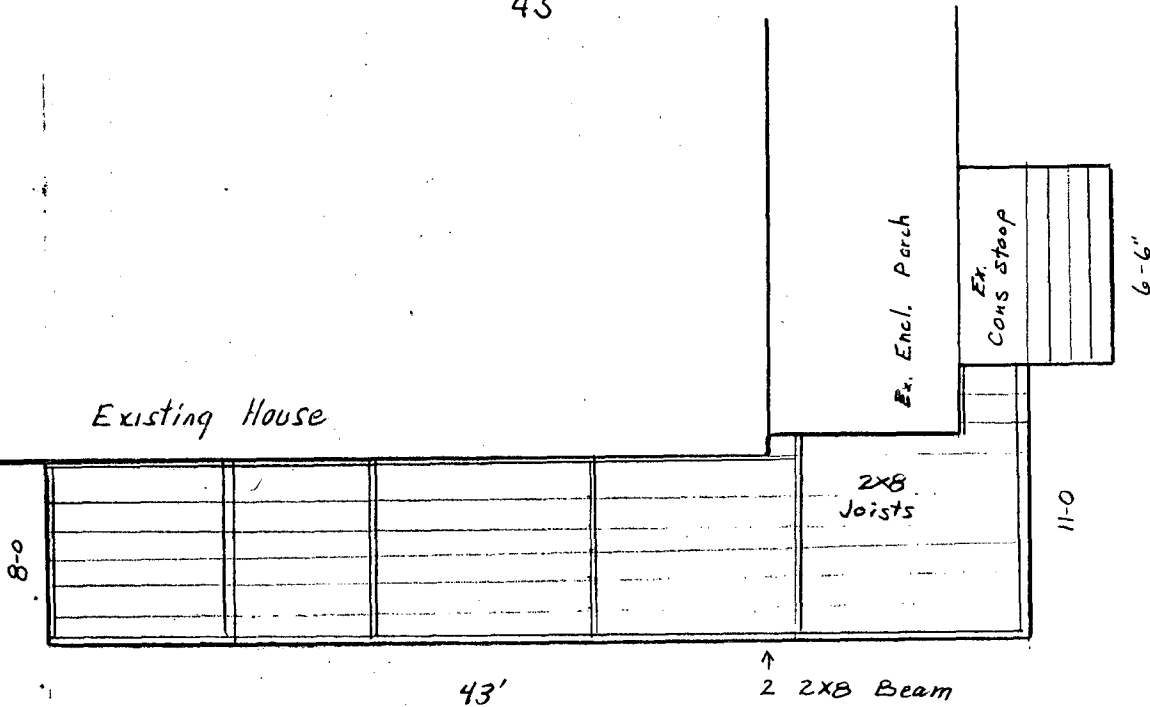
WEST EL.
43'

EXISTING HOUSE



South EL.

Existing House



2 2x8 Beam

2x8 Joists

Ex. Encl. Porch

Ex. Cons. Stoop

6-6"

11-0

43'

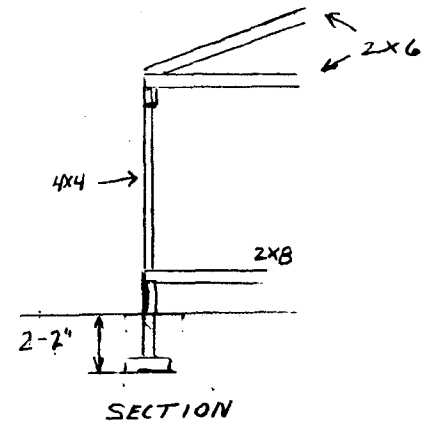
8-0

10

Scale 1/8" = 1'

PROPOSED

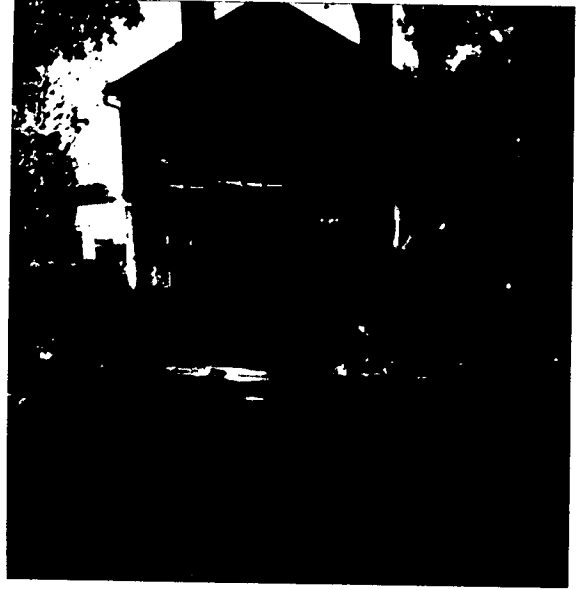
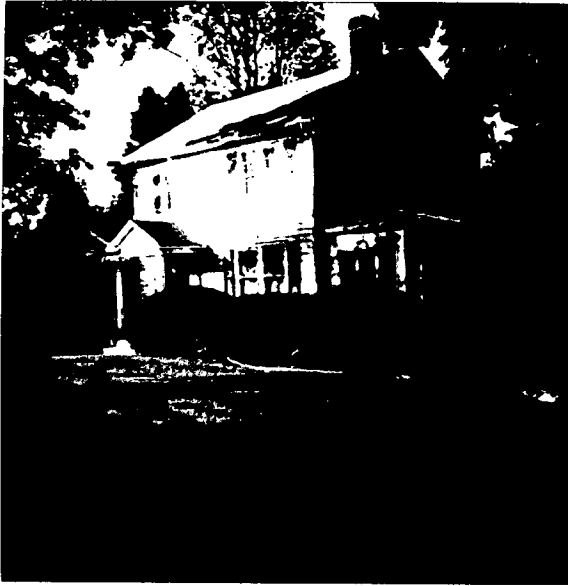
#9 High St Brookeville Md



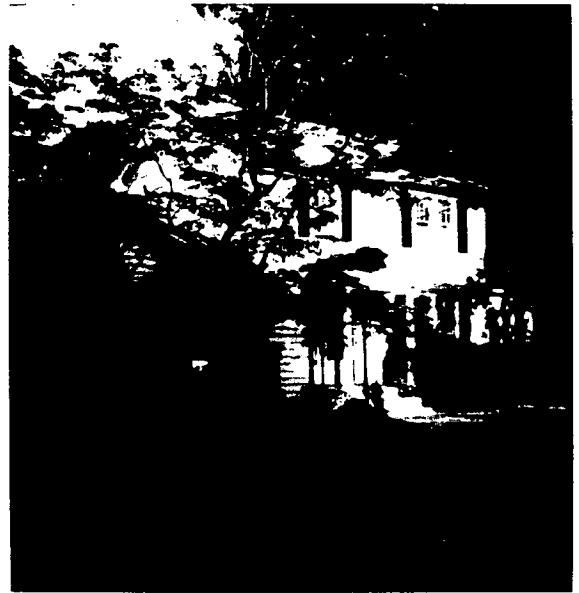
SECTION



1 High St.
Brookville



9 High Street
Brooksville



TO: ROBIN ZIEG

BROOKEVILLE L.A.P. 6-24-97

Present: K. Montgomery
D. Heritage
D. Teague
T. Browne
M. Van Gelder
D. Wagner

Comments on Murphy HAWP:

1. Columns/pillars should resemble existing.
2. Proposed porch may be a nice improvement.
3. All wood should be painted.
4. Latticework under porch floor.
5. Tongue-and-groove flooring and ceiling.
6. Standing seam metal roof.
7. Proposed angle of roof looks awkward. Endpoint of roof to north could possibly be between window furthest north and next window.
8. Wraparound porch is not consistent with neighborhood (although many years ago the bungalow at 2 High St. had one).
9. 4x4 posts inappropriate.
10. Columns/pillars should be wood.

Next meeting 7-8-97



9 High St.
Brooksville





9 High Street
Brooksville



9 High Street
Brookville

6.25.97