

23/65-99B 1 High Street  
(Brookeville Historic District)



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 9-23-99

*file*

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved

           Denied

X Approved with Conditions: ① Window on east elevation be removed in one piece + stored on site. ② Submit drawings for replacement front entry door to staff for approval. ③ Submit sign specifications to staff for approval. ④ Submit landscape plan for north elevation for staff approval. ⑤ Submit shutter design for staff approval. ⑥ The main blocks near skylight be omitted.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Joe Bell and Debbie Frech

Address: 1 High Street Brooksville, MD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 9-23-99

**MEMORANDUM**

**TO:** Historic Area Work Permit Applicants

**FROM:** Gwen Wright, Coordinator  
Historic Preservation Section

**SUBJECT:** Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved AWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

**MEMORANDUM**

DATE: 9-23-99

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

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The Historic Preservation Commission reviewed this project on 9-22-99.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G\wp\laphawp.ltr



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PATRIZIA TARI CIOTTI

Daytime Phone No.: 301.270.9222

Tax Account No.: \_\_\_\_\_

Name of Property Owner: JOE BELL and DEBBIE FRECH Daytime Phone No.: 301-762-7005

Address: 1 HIGH STREET BROOKEVILLE MD 20833  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: TRAVIS PRICE ARCHITECTS Daytime Phone No.: 301.270.9222

**LOCATION OF BUILDING/PREMISE**

House Number: 1 Street: HIGH ST.

Town/City: BROOKEVILLE Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: SKYLIGHT

1B. Construction cost estimate: \$ 80,500

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patrizia Taricotti  
Signature of owner or authorized agent

SEPTEMBER 1, 1999  
Date

Approved: X w/ conditions For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 9-23-99

Application/Permit No.: 9109020084 Date Filed: 9/2/99 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 1/2 STORY BUILDING WITH HIPPED ROOF AT THE MAIN PART AND SHED AT THE EXISTING ADDITION (SOUTH-EAST). 3 BAY FRAME STRUCTURE WITH FOUNDATION PART IN STONE AND PART IN BRICK. 3 CHIMNEYS; 3/4 DOUBLE HUNG CUSH WINDOWS WITH 2-PANELED LOUVERED SHUTTERS; 2 BAY DORMER AT WEST ELEVATION, CENTERED ON MAIN ENTRANCE, WHICH HAS ALSO A PORCH. FINISHES ARE "GERMAN" WOOD SIDING FOR EXTERIOR WALLS AND STANDING SEAM METAL FOR ROOF. EXISTING PARKING AREA WITH GRASSCRETE AND CONCRETE PAVING. ATTIC AND BASEMENT. ALMOST ALL IN DISREPAIRE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

RESTORE AND REVABISH ALL EXTERIOR SURFACES-NEW LANDSCAPE. A NEW GLASS DOORS ON EAST REAR ELEVATION, TOWARDS THE NEW MEDITATIVE GARDEN. 2 NEW SKYLIGHTS ON THE SAME EXISTING ADDITION (EAST SIDE). OPEN UP WALLED-IN WINDOWS ON NORTH AND EAST ELEV. NEW MAPLE TREES (4). REPLACEMENT OF EXISTING NOT ORIGINAL DOORS (2) WITH FIXED GLASS PANELS.

**2. SITE PLAN**

NEW ENTRY DOOR. THE PROJECT WILL RESTORE, SHOW AND ENRICH THE EXISTING BUILDING.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY DNTO MAILING LABELS.

TRAVIS PRICE ARCHITECTS  
INC.

7050 Carroll Avenue, Takoma Park, MD 20912 | 301 270 9222 | fax 301 270 4209 | www.travispricearchitects.com

# FAX TRANSMITTAL

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DATE: 29 February, 2000  
 TO: Michele Naru  
 Montgomery County Historic Preservation Section  
 Department of Park and Planning  
 8787 Georgia Avenue  
 Silver Spring, Maryland 20910-3760  
 Fax: 301.563.3412  
 FROM: Patrizia Tariciotti, Travis Price Architects  
 RE: Bell and Frech project  
 CONTENTS: memo + drawings

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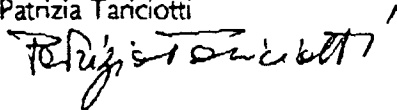
Michele,

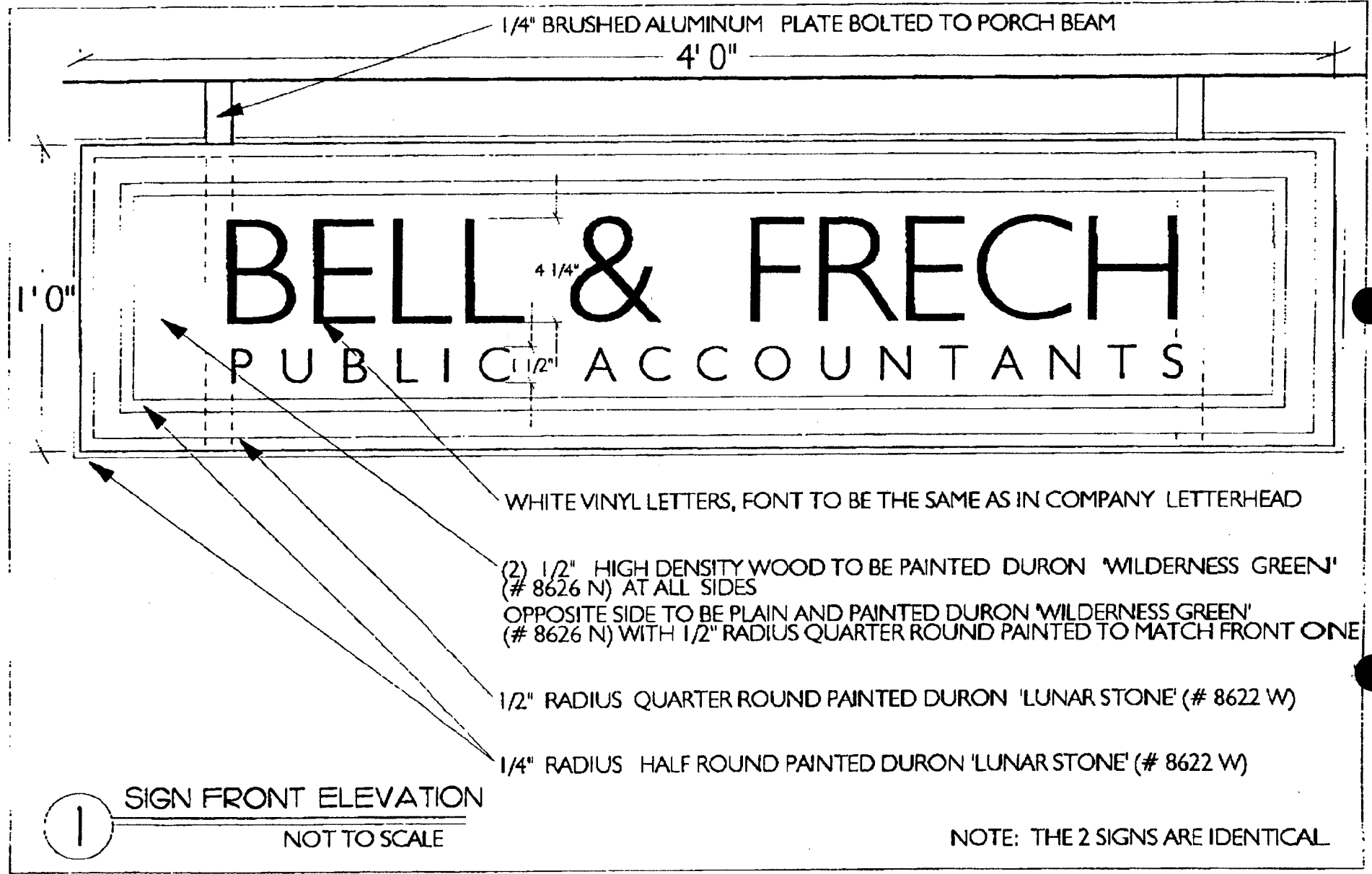
This is regarding the new office for Bell & Frech in Brookeville, MD. I was very happy to hear your appreciation about the project. As you know, the Montgomery County Historic Commission approved our project last September, with the condition for us to submit drawings of the new front door and shutters, two new exterior signs, landscape design at the north side of the property. In accordance with these conditions, I am faxing to you the construction drawings for the mentioned elements. As you can see from the set we submitted for Historic approval, the design has not changed.

Please, call me with any questions and thanks for your help.

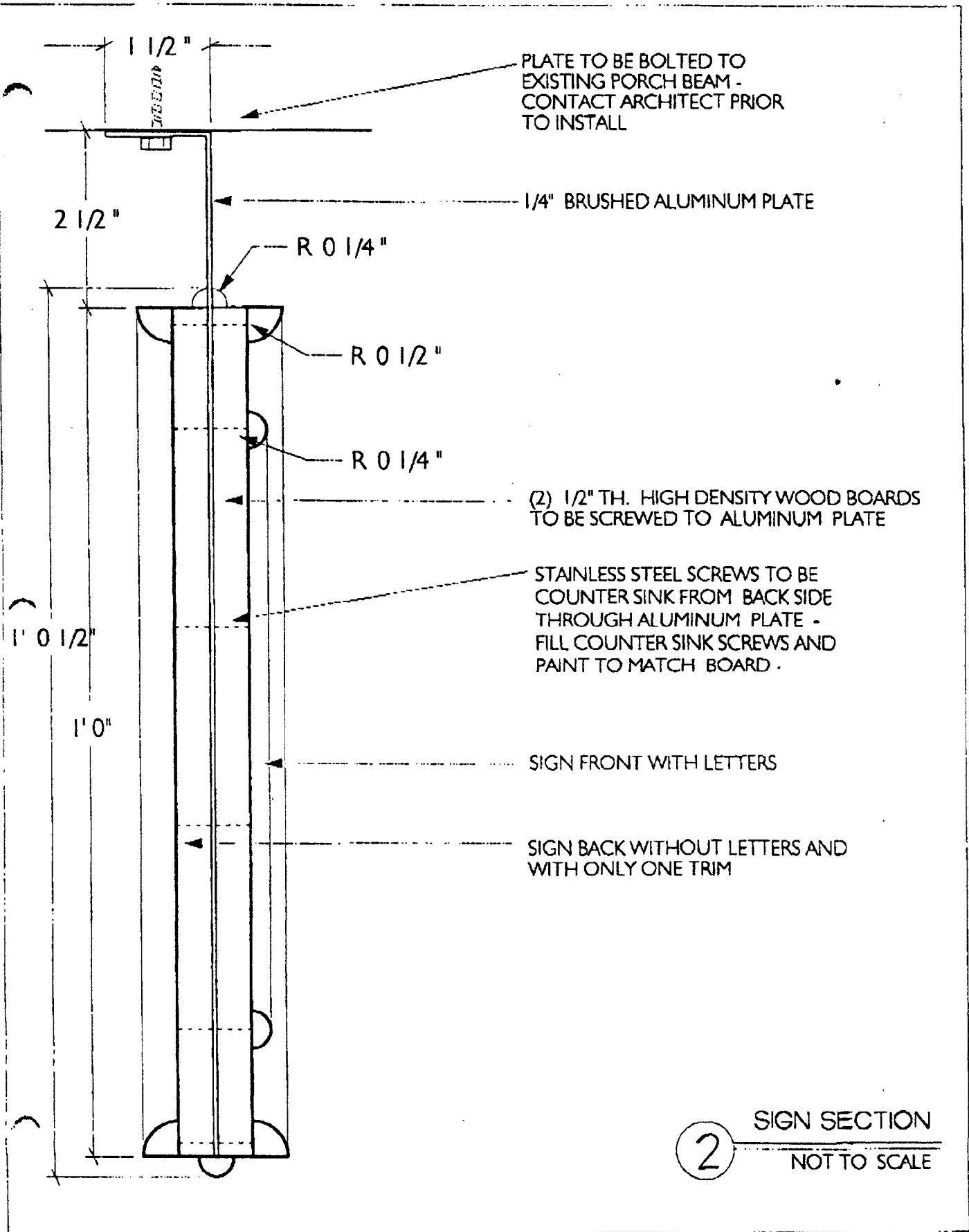
Sincerely,

Patrizia Tariciotti



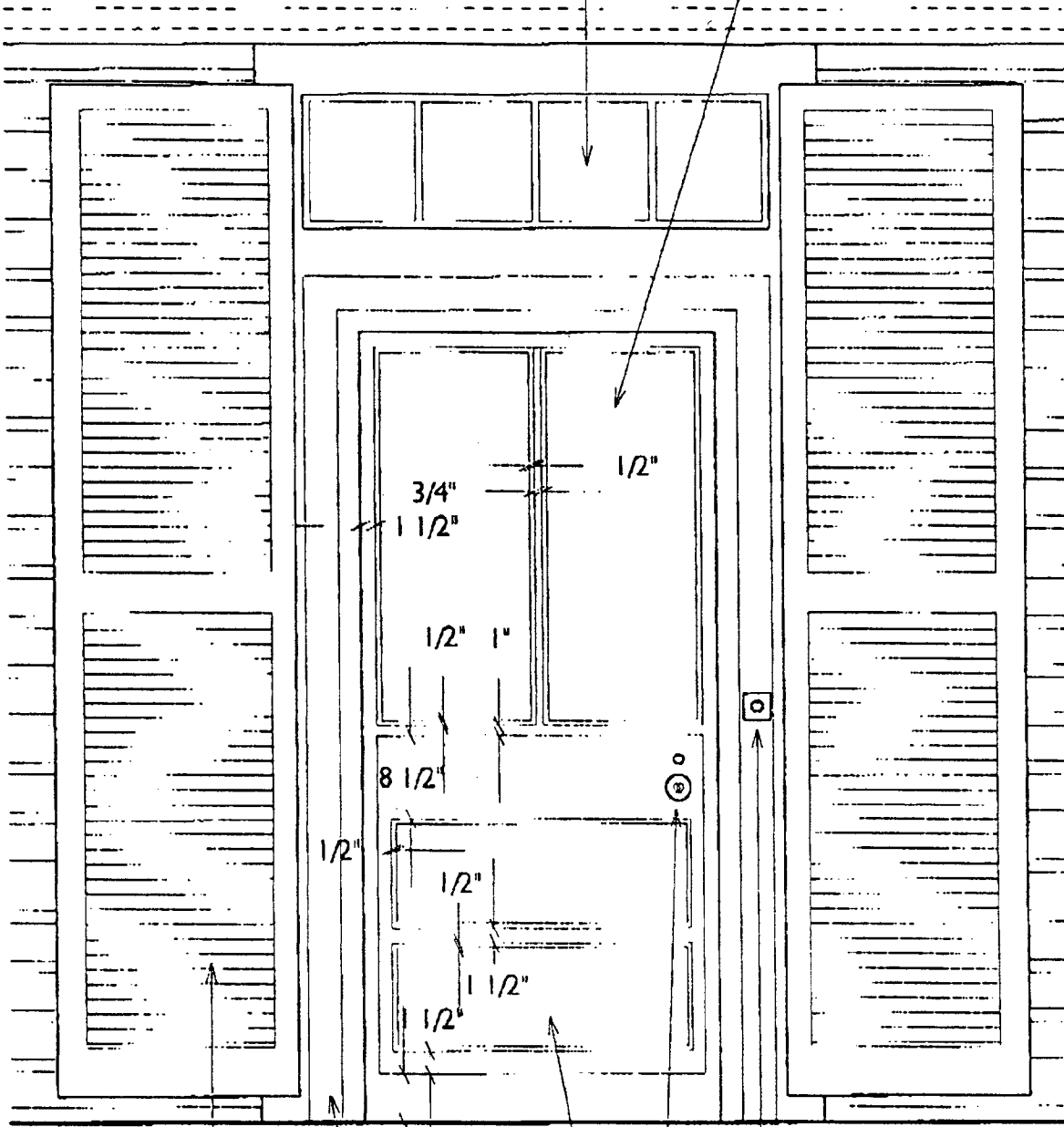






EXISTING GLASS PANEL ABOVE DOOR TO REMAIN,  
FRAME TO BE RESTORED AND PAINTED GLOSSY WHITE

SINGLE GLASS PANELS



NEW SHUTTERS TO MATCH  
WINDOW ONES AND TO BE  
PAINTED 8625 D SHPYARD  
GREEN

EXISTING FRAME TO STAY AND TO BE  
PAINTED GLOSSY WHITE

DOORBELL

ROUND KNOB W/ LOCK INSIDE  
DEAD BOLT TO MATCH KNOB BELOW

WOOD DOOR W/ QUARTER ROUND  
TO BE PAINTED 8625 D SHPYARD GREEN

TRAVIS PRICE architects  
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9722 | fax 301-276-0608

BELL & FRESH  
OFFICE  
Brookeville, Maryland

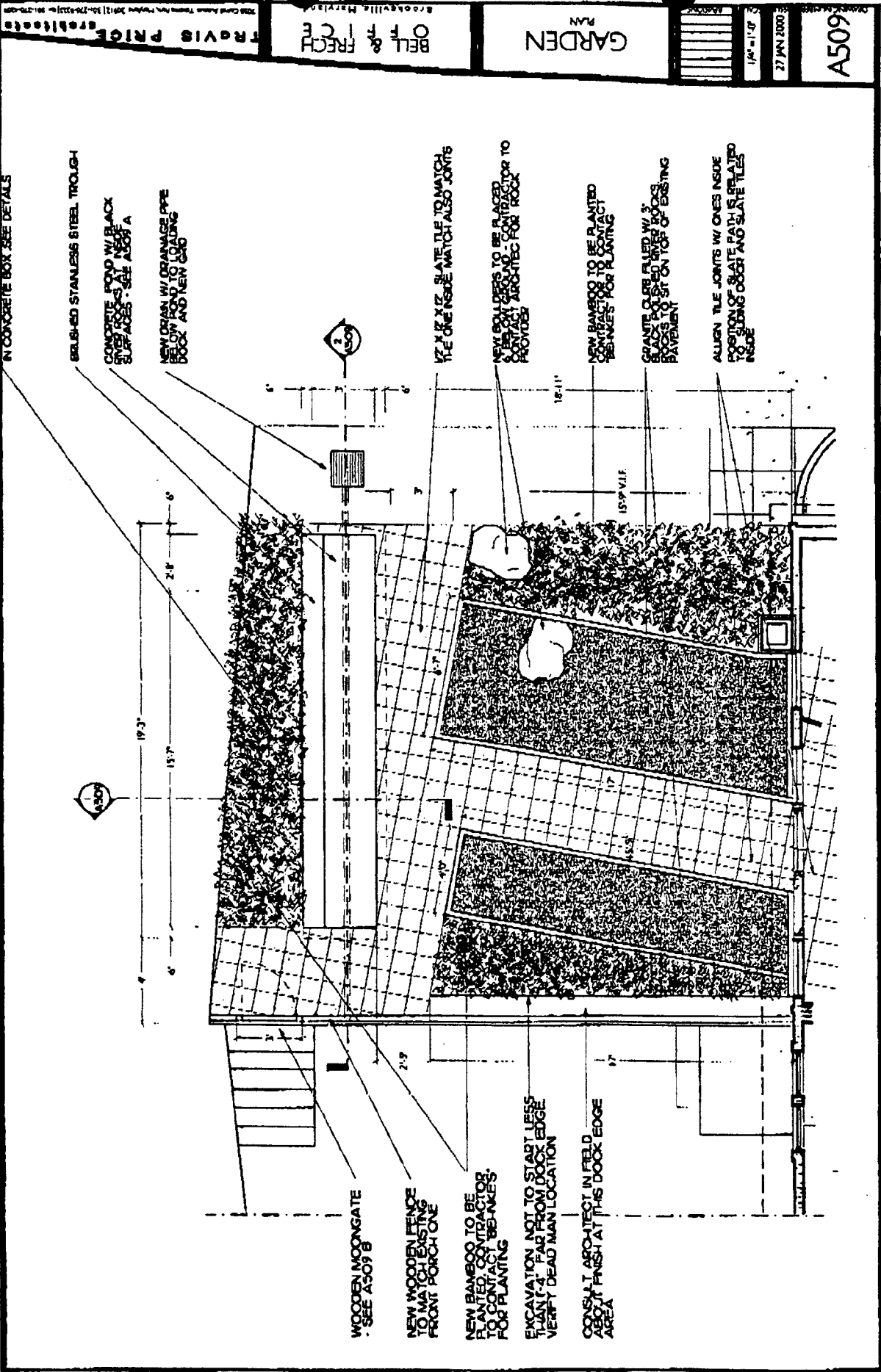
EXTERIOR DETAILS  
FRONT DOOR

NO.	REVISIONS

3/8" = 1'-0" ECK

29 FEB 2000 ESS

DRAWING NUMBER  
**A501**

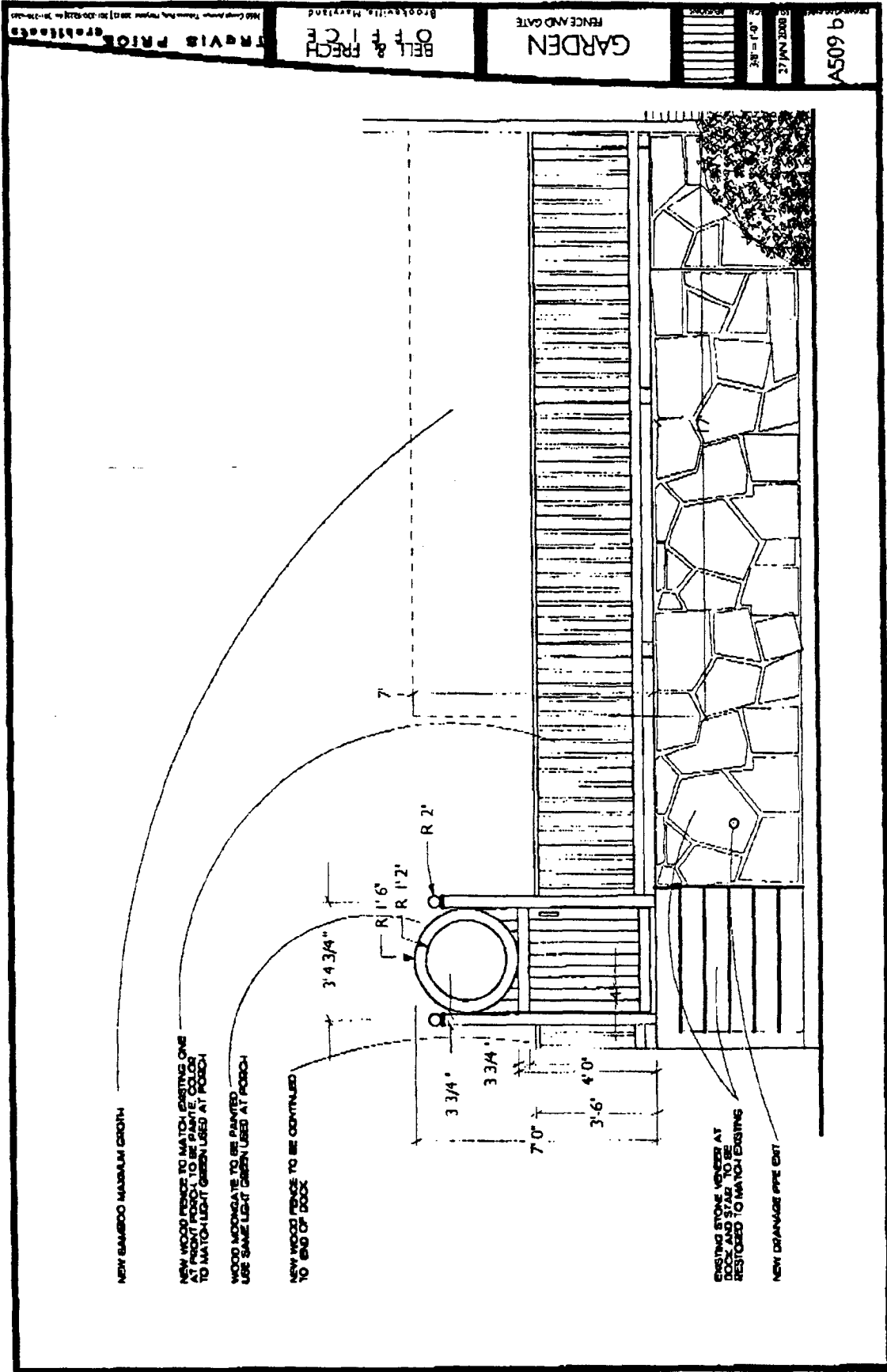


7028 Chad Avenue, Thornhill, Ont. L3T 9V7 (416) 291-1111  
 BEL & FRECH  
 OFFICE  
 BROOKVILLE, MARYLAND  
 FROVIS PRICE  
 878311583

BEL & FRECH  
 OFFICE  
 BROOKVILLE, MARYLAND

GARDEN  
 PLAN

A509  
 1/4" = 1'-0"  
 27 JAN 2000



A509 b  
 27 JAN 2000  
 3:48 PM  
 GARDEN FENCE AND GATE  
 BELL & FRECH  
 OF F I C E  
 BROOKFIELD, MASSACHUSETTS  
 TRAVIS PRIOR ARCHITECTS  
 100 Long Avenue, Framingham, MA 01901-1000

**BELL & FRECH**  
Certified Public Accountants  
Fax Transmittal Form

**DATE:** September 1, 1999

**FAX #:** 301-270-4209

**TO:** Patrice

**FROM:** Lee Ann

**PAGES:** 1

**COMMENTS:** This is the information I was able to get my hands on concerning the properties right around the Post Office property.

Tracy Browne, 2 High Street, Brookeville, MD 20833, Phone - Unpublished

Kevin & Lynda Richards, 3 High Street, Brookeville, MD 20833, 301-774-5626

Harry Montgomery, 211 Market Street, Brookeville, MD 20833, 301-774-2814

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If you have received this communication in error, please notify us by telephone at  
(301) 762-7005

*Approved  
w/ staff conditions*

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 1 High Street **Meeting Date:** 09/22/99  
**Resource:** Brookeville Post Office  
Brookeville Historic District **Report Date:** 09/15/99  
**Review:** HAWP **Public Notice:** 09/08/99  
**Case Number:** 23/65-99B **Tax Credit:** None  
**Applicant:** Joe Bell and Debbie Frech **Staff:** Perry Kephart/ Michele Naru

**PROPOSAL:** Alterations to windows and doors, install rear hedge

**RECOMMEND:** Approve with conditions.

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**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Primary Resource in Brookeville Historic District.  
**STYLE:** Vernacular Commercial Building with Colonial Revival  
and Craftsman Features  
**DATE:** 1926 (Replaces the original 19<sup>th</sup> century building - burned in 1924)

The current Post Office building is a 1-1/2 story, three-bay frame structure with a shed roof rear addition. This building is set upon a stone and brick foundation and is covered with a hipped roof with three brick chimneys. The walls are clad with German siding, and the roof is sheathed with standing seam metal. A single-bay entry porch occupies the central bay. This vernacular structure contains both Colonial Revival and Craftsman features. Its defining characteristics include 3/1 double-hung sash windows with two-paneled louvered shutters, a two-bay front shed dormer, a small entry porch, flat door and window surrounds with copper lintel strips and boxed eaves.

**PROPOSAL**

The applicant proposes to:

1. Rehabilitate all exterior surfaces including windows, German siding, and metal roof.
2. Replace out-of-period front entry door on west elevation with a one light, glazed paneled wood door.
3. Install two, paneled, operable, louvered wood shutters flanking the entry door.

4. Replace out-of-period metal doors on south elevation with fixed, one-paneled glazed panels.
5. Install four, plate-glass french doors on the east elevation facing onto the new garden.
6. Open up all closed windows on the north and east facades.
7. Remove wooden fence projecting from east elevation and establish a new meditation garden behind the shed roof rear addition with 6' high hedges and two, cedar moon gates.
8. Install three flat, velux skylights on the east elevation, two to be located on shed addition and one on the east elevation of the rear block.
9. Plant three Japanese Maple trees at existing parking lot. Plant one Japanese Maple tree along north elevation.
10. Hang new hand-carved wood signs from existing rafters of porch's west and south elevations.

### **STAFF DISCUSSION**

This proposed adaptive-reuse/rehabilitation project will maintain the existing integrity of the building and its environment. All original windows visible from the public right-of-way will be maintained. The only original windows proposed to be removed is at the rear of the structure on the shed roof addition. All out-of-period metal doors will be removed and replaced. All exterior surfaces including the German siding, and the metal roof will be repaired and repainted.

The west, principal elevation is visible from High and Market Streets. The proposed modifications (Circle #6 and #7) include:

1. Remove existing, out-of-period, metal door and replacing it with a glazed, paneled door (the transom window and door surrounds will be maintained).
2. Install two, full-length operable, paneled louvered shutters to flank the entry doors. Note: The hinges are in place from the original wood shutters and the applicant proposes to install new shutters.
3. Suspend two, hand-carved wood signs from the porch rafters.
4. Remove air-conditioning unit from the window in the shed dormer and replacing it with a 3/1 sash window.
5. Plant two, Japanese Maple trees at parking area entrance. The applicant assured staff that location of the proposed trees and its root system would not adversely effect the building's foundation. The applicant also indicated that the canopy will be kept trimmed seasonally until the trees grow above the building.

The south elevation is visible from High Street. The modifications to the south elevation (Circle #8 and #9) include:

1. Replace the two existing, out-of-period metal doors with fixed glazed paneled wood doors.

2. Plant a Japanese Maple tree near the rear window on the shed roof addition for shade and noise reduction. This canopy will also be trimmed seasonally.

Staff does not object to any of these proposed items for either the west or south elevation, as they are in keeping with the scale, design and materials of the historic resource.

The east elevation is not visible from the public right-of-way. The proposed modifications to the east elevation (Circle # 10 and #11) include:

1. Remove the existing wood fence and install a new meditation garden with high 6' hedges and install two moon gates.
2. Remove the existing 3/1 window and metal door and replace them with four, new, plate-glass gliding ~~doors~~ <sup>patio</sup> doors and a new fixed glass ~~door~~ <sup>window</sup>.
3. Remove the interior partition wall to expose the three, existing windows.
4. Install three, flat velux skylights, and improve the overgrown green areas.

Exterior alterations to the rear of buildings are generally approved. Staff approves the new garden and feels that it will help to conceal the view of the upper parking lot from Market Street. Staff would encourage the architect to install a out-of-site railing in the hedge adjacent to the loading dock area. Staff recommends the original window to be removed from the rear shed addition and be stored on site. Staff approves the use of the skylights on the shed roof addition, but feels that the third skylight does compromise the integrity of the main block's roof structure and questions the installation of this third skylight.

The north elevation is visible from Market street. The modifications to this elevation include:

1. Clean the existing loading dock area in order for it to be used as overflow parking.
2. Landscape the overgrown green areas.

Mr. and Mrs. Montgomery at 211 Market Street have expressed concern over the use of the loading dock area. Staff supports the applicants decision to maintain the existing loading dock area. The historic basement entrance is accessed through the loading dock and staff does not want this entrance to be unaccessible.

The LAP has not yet responded at the time this report was prepared.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)1, 2:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district,

The proposal is compatible in character and nature with the historical, archeological, architectural



or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #1, #5, #9 and #10:

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spacial relationships.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the condition:

1. Window on east elevation to be removed in one piece and stored on site.
2. Submit drawings for replacement front entry door to staff for approval.
3. Submit sign specifications to staff for approval.
4. Submit landscape plan for north elevation to staff for approval.
5. Submit shutter design for staff approval.
6. The main block's rear skylight be omitted.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and will arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR <sup>23/45-99B</sup> HISTORIC AREA WORK PERMIT

Contact Person: PATRIZIA TARI CIOTTI

Daytime Phone No.: 301.270.9222

Tax Account No.: \_\_\_\_\_

Name of Property Owner: JOE BELL and DEBBIE FRECH Daytime Phone No.: 301-762-7005

Address: \_\_\_\_\_  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 1 Street: HIGH ST.

Town/City: BROOKEVILLE Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: SKYLIGHT

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patrizia Taricotti  
Signature of owner or authorized agent

SEPTEMBER 1, 1999  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

①

**BELL & FRECH**  
Certified Public Accountants  
Fax Transmittal Form

DATE: September 1, 1999

FAX #: 301-270-4209

TO: Patrice

FROM: Lee Ann

PAGES: 1

COMMENTS: This is the information I was able to get my hands on concerning the properties  
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7050 Carroll Avenue, Takoma Park, MD 20912 | 301 270 9222 | fax 301 270 4209 | www.travispricearchitects.com

TRAVIS PRICE ARCHITECTS  
inc.

September 1, 1999

Montgomery County Historic Commission  
Attn: Robin Ziek  
250 Hungerford Drive  
Rockville, Maryland 20850

Robin Ziek,

Attached are proposed restorations and revisions to the old Post Office building at I High Street, in Brookeville, Maryland.

In essence a substantial part of the project will take place in the interior of the building. On the exterior we propose to keep everything as it exists with the following minor changes in three categories:

General:

- Restore and refurbish all exterior surfaces.
- More generous and enriched landscape.

Out of the Public View:

- Addition of glass doors on the east elevation facing onto the new garden.
- New meditative garden with high vegetation.
- Three new Velux skylights.

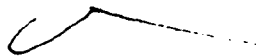
In the Public View

- Two new hand-carved wood signs at existing covered entry.
- Three new Japanese Maple trees at existing parking lot.
- New vegetation at garden with cedar moon gate.
- Open up walled-in windows on the North and East facades.
- On the South facade, replace metal doors with fixed glazing. Metal doors were not part of the original building.

We feel that the revisions that the proposed revisions maintain the spirit and integrity of the existing building, while improving its original character with restoration and landscaping.

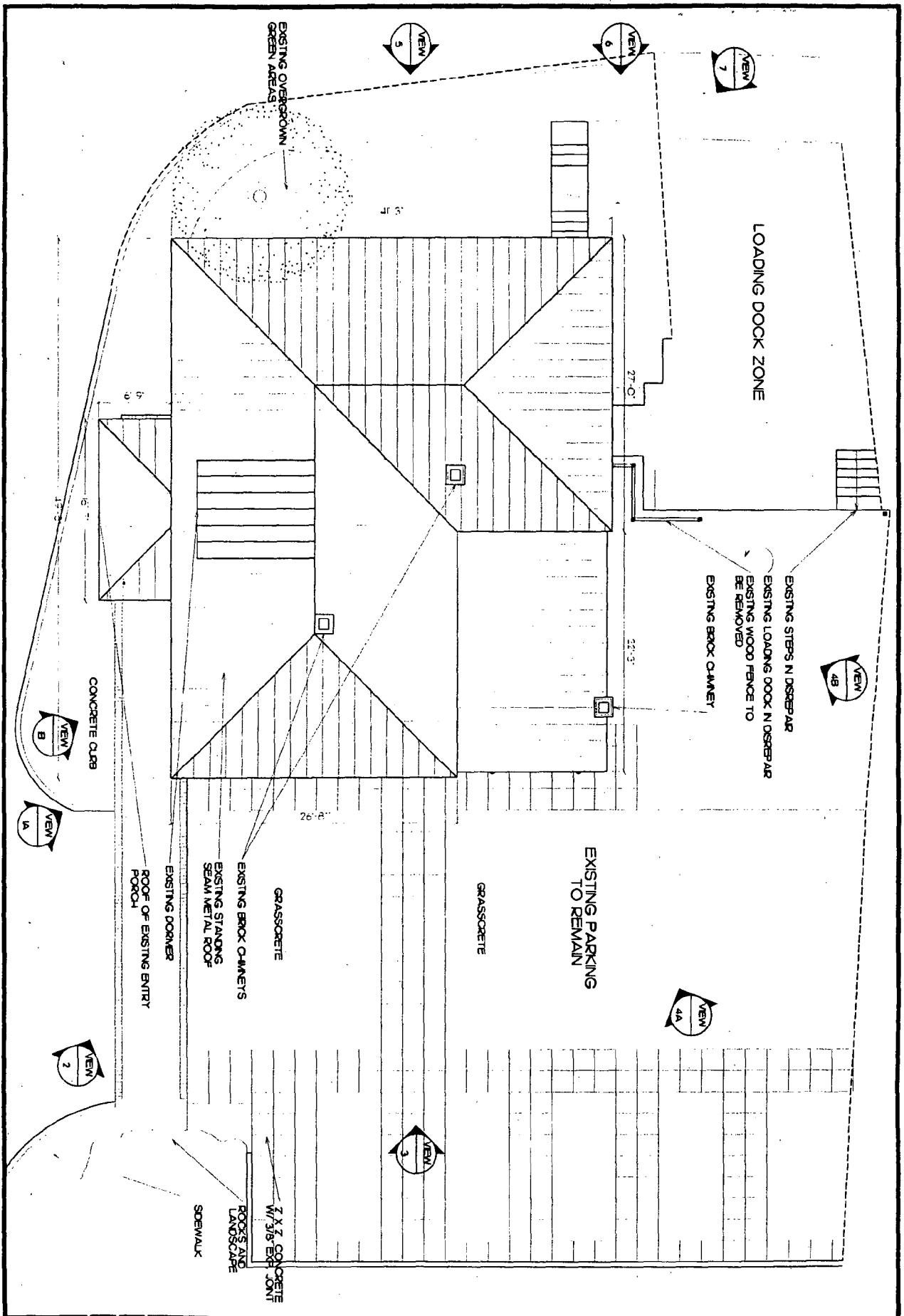
We look forward to your comments and meeting with you as soon as possible.

Sincerely,



Travis L. Price III AIA

4



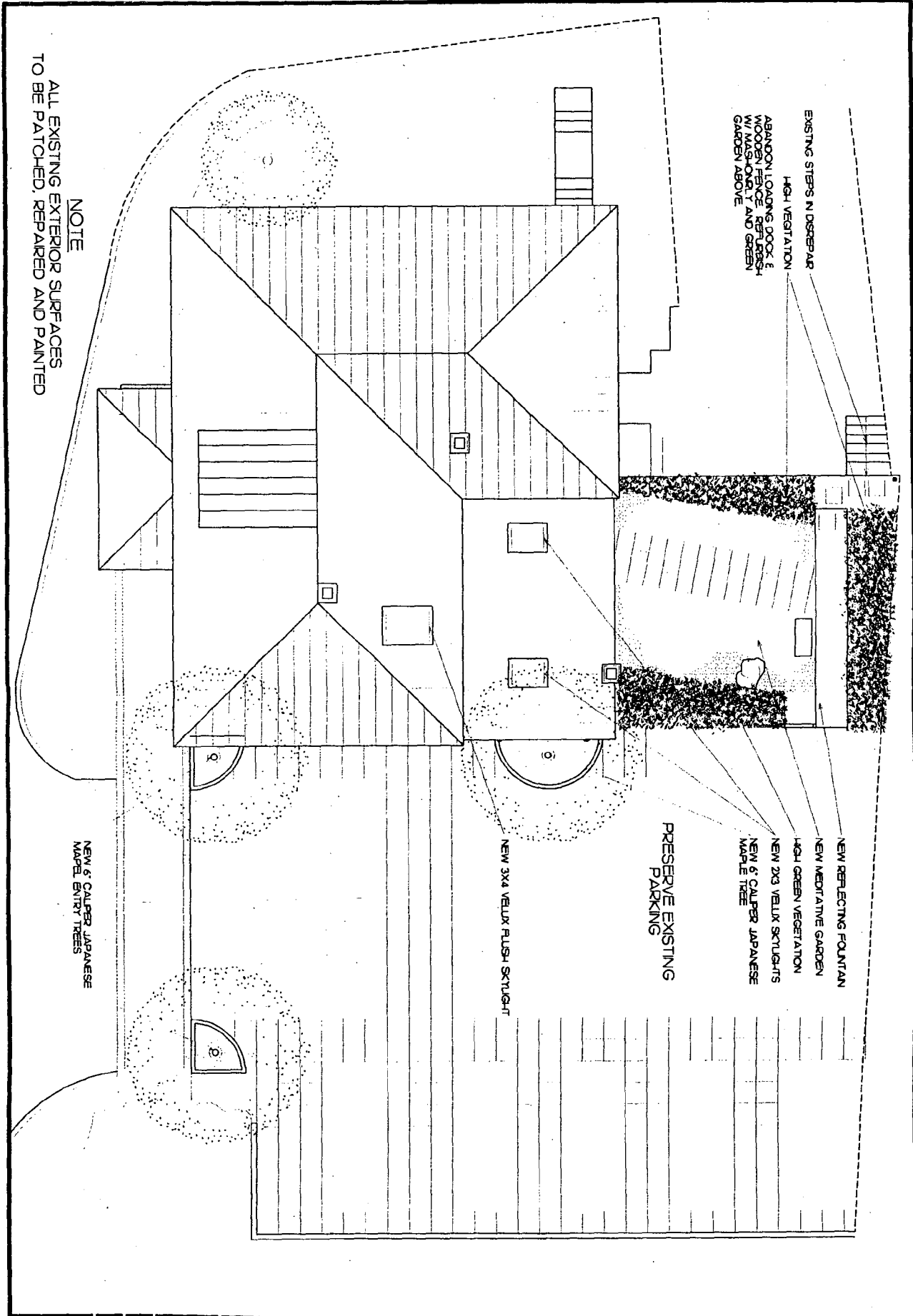
A001	1 SEPT. 99	1/8" = 1'-0"	ISSUE
DRAWING NUMBER	DATE	SCALE	REVISIONS

**EXISTING SITE PLAN**

**BELL & FRECH OFFICE**  
Brookeville, Maryland

**Travis Price architects**  
7050 Carroll Avenue, Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

51



NOTE  
 ALL EXISTING EXTERIOR SURFACES  
 TO BE PATCHED, REPAIRED AND PAINTED

EXISTING STEPS IN DISCREPANT  
 HIGH VEGETATION  
 ABANDON LOADING DOCK &  
 WOODEN FENCE. REPAIR FRESH  
 MAPLE AND GREEN  
 GARDEN ABOVE

PREPARE EXISTING  
 PARKING

NEW REFLECTING FOUNTAIN  
 NEW MEDITATIVE GARDEN  
 HIGH GREEN VEGETATION  
 NEW 2X3 YALUX SKYLIGHTS  
 NEW 6' CALPER JAPANESE  
 MAPLE TREE

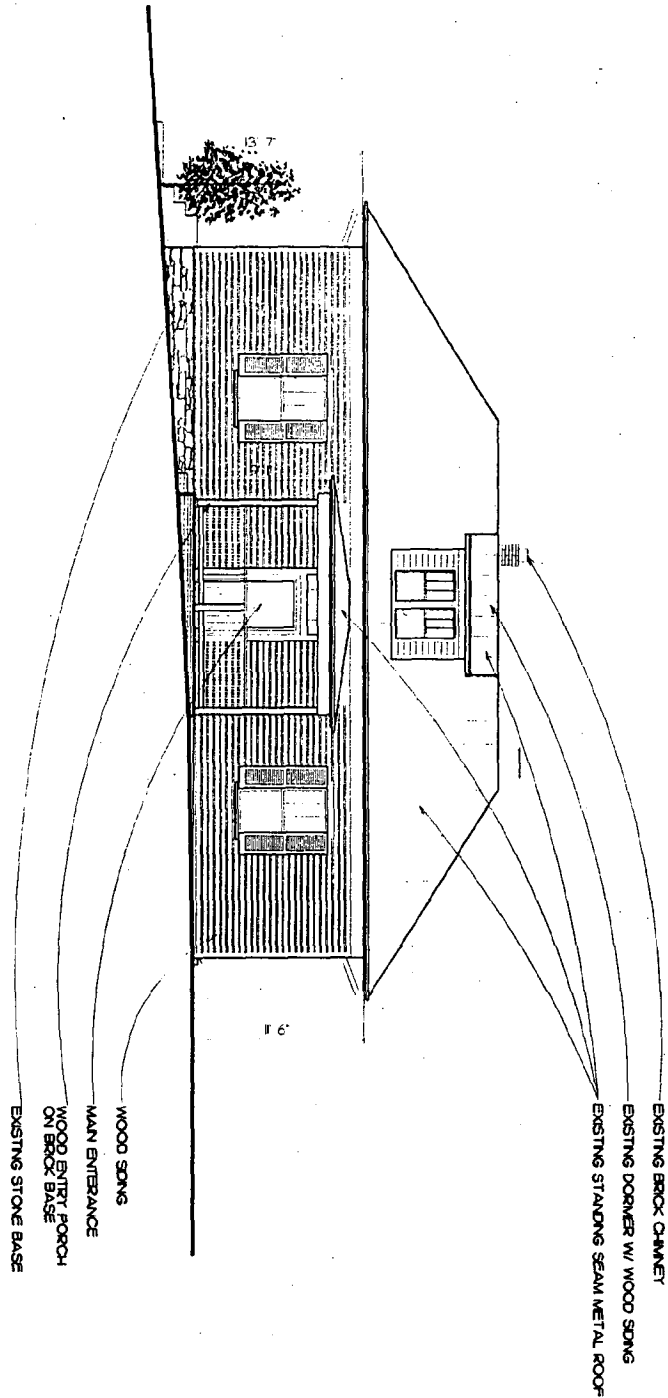
NEW 3X4 YALUX FLUSH SKYLIGHT

NEW 6' CALPER JAPANESE  
 MAPLE ENTRY TREES

A101	1 SEPT. 99	1/8" = 1'-0"	REVISIONS	<b>SITE PLAN</b>	<b>BELL &amp; FRECK</b> <b>OFFICE</b> Brookeville, Maryland	<b>TRAVIS PRICE</b> architects <small>7050 Carroll Avenue Takoma Park, Maryland 20912   301-270-9222   fax 301-270-4209</small>
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9

NOTE  
EXISTING WEST ELEVATION  
IN THE PUBLIC VIEW



A002  
DRAWING NUMBER

1 SEPT. 99  
DATE

1/8" = 1'-0"  
SCALE

REVISIONS

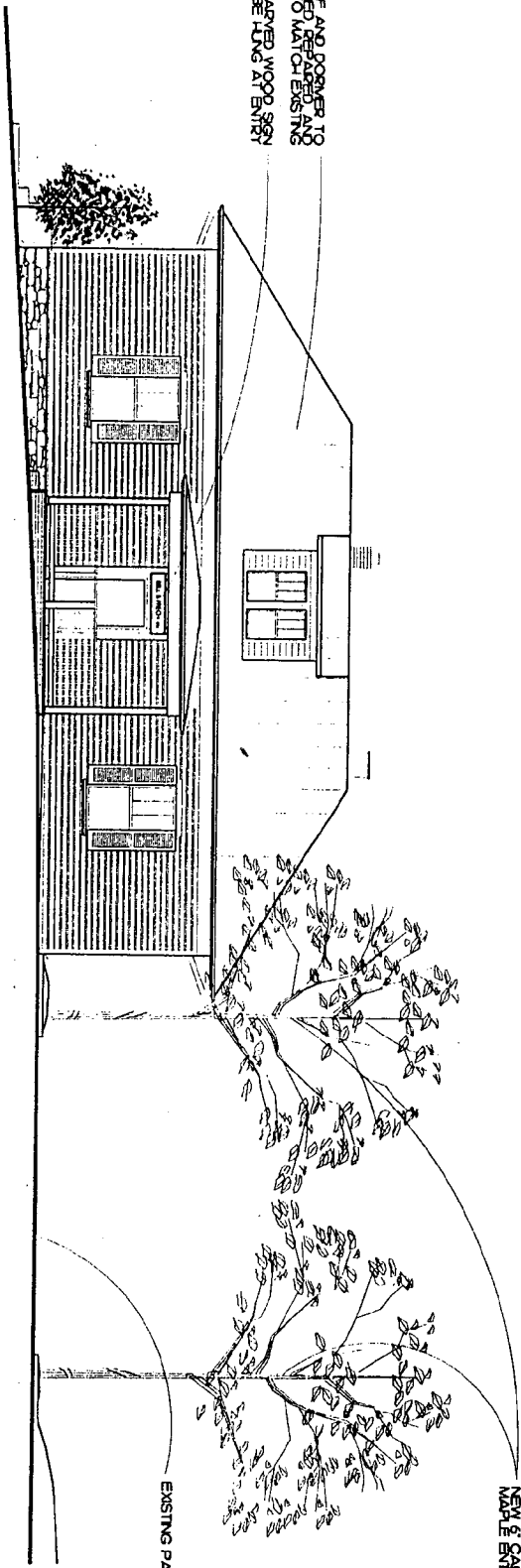
EXISTING WEST ELEVATION

BELL & FRECH  
OFFICE  
Brookeville, Maryland

TRAVIS PRICE architects  
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9212 | fax 301-270-4209

7

EXISTING ROOF AND DOORWAY TO BE PAINTED REPAIRED AND NEW HAND-CARVED WOOD SIGN TO BE HUNG AT ENTRY



NOTE: ALL EXISTING EXTERIOR SURFACES TO BE MATCHED, REPAIRED AND PAINTED

NEW & SAFFER JAPANESE MAPLE ENTRY TREES

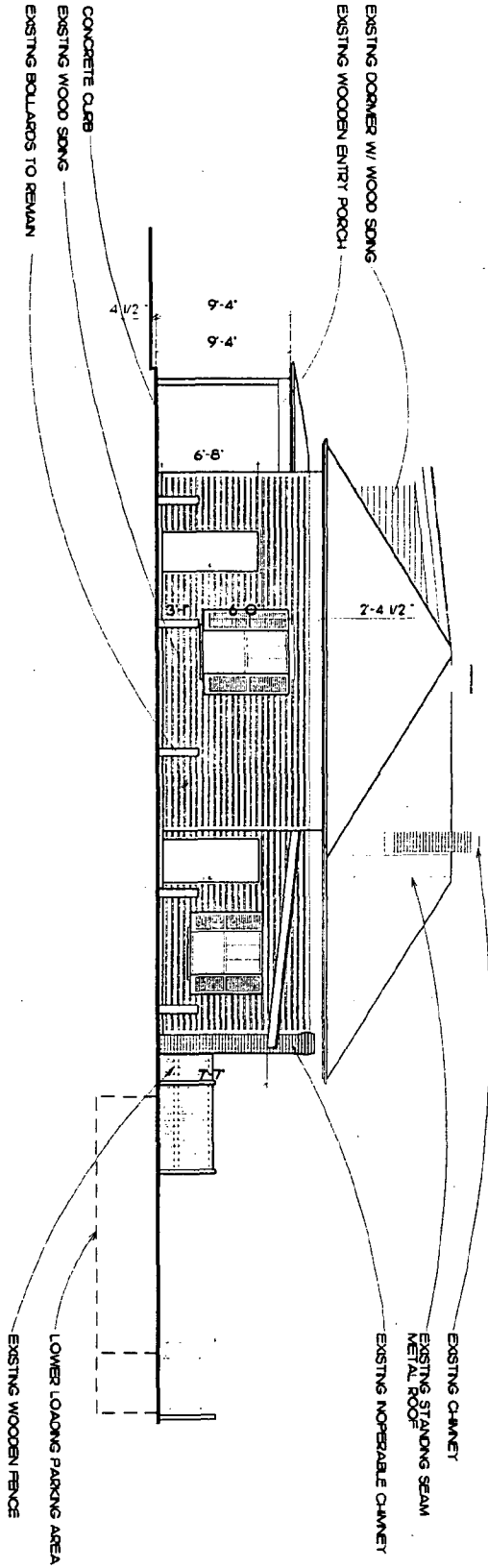
EXISTING PARKING LOT

DRAWING NUMBER <b>A102</b>	DATE 31 SEPT. 99	SCALE 1/8" = 1'-0"	REVISIONS	<b>WEST ELEVATION</b>	<b>BELL &amp; FRECH OFFICE</b> Brookeville, Maryland	<b>TRAVIS PRICE architects</b> 7050 Carroll Avenue Takoma Park, Maryland 20912   301-270-9222   fax 301-270-4209
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8

NOTE  
PARTIALLY IN PUBLIC VIEW



A003  
DRAWING NUMBER

1 SEP 99  
DATE

1/8" = 1'-0"  
SCALE

NO.	REVISIONS

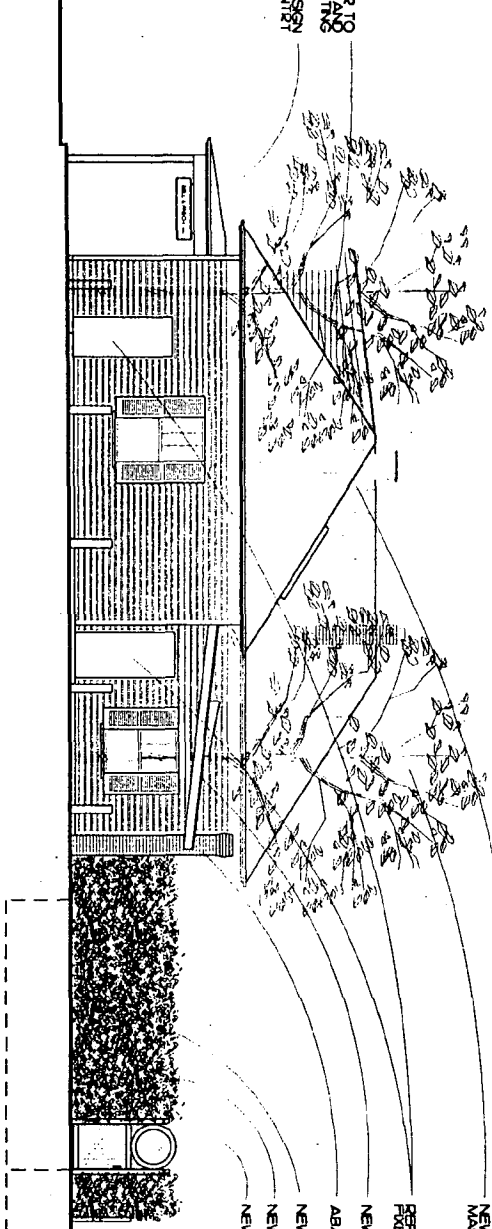
EXISTING SOUTH ELEVATION

BELL & FRECH  
OFFICE  
Brookeville, Maryland

TRAVIS PRICE architects  
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax: 301-270-4209

9

EXISTING ROOF AND DOORWAY TO BE PATCHED, REPAIRED AND PAINTED TO MATCH EXISTING  
NEW HAND-CARVED WOOD SIGN TO BE HUNG AT ENTRY



NEW 3/4" FLUSH VELUX SKYLIGHT  
NEW 6" CARPENTER JAPANESE  
MAYA LE ENTRY TRUSS

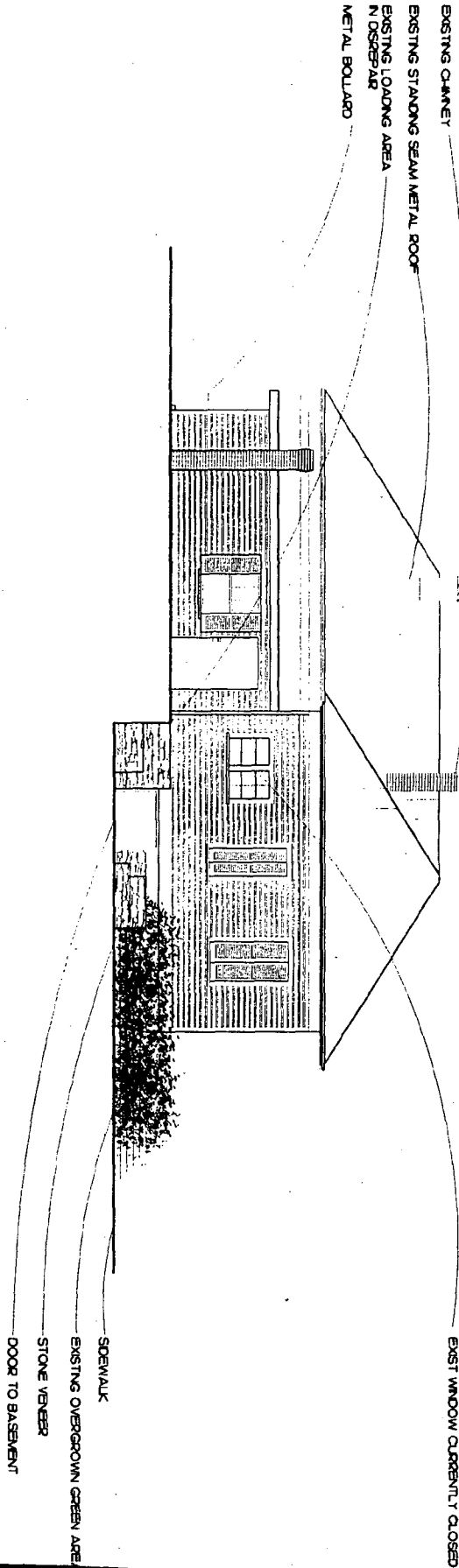
REPLACE METAL DOORS WITH  
REINFORCED GLASS FOR SOLAR GAIN AND LIGHT  
NEW 2X3 VELUX SKYLIGHT  
ABANDONED CHIMNEY TO REMAIN  
NEW MEDITATIVE GARDEN  
NEW HIGH VEGETATION  
NEW CEDAR MOONGATE

NOTE: ALL EXISTING EXTERIOR  
SURFACES TO BE PATCHED,  
REPAIRED AND PAINTED

<p>A103 DRAWING NUMBER</p>	<p>1 SEP 95 DATE</p>	<p>1/8" = 1'-0" SCALE</p>	<p><b>SOUTH ELEVATION</b></p>	<p><b>BELL &amp; FREED</b> OFFICE Brookeville, Maryland</p>	<p><b>TRAVIS PRICE architects</b> 7050 Carroll Avenue Takoma Park, Maryland 20912   301-270-9222   fax 301-270-4209</p>
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9

NOTE: NOT IN THE PUBLIC VIEW

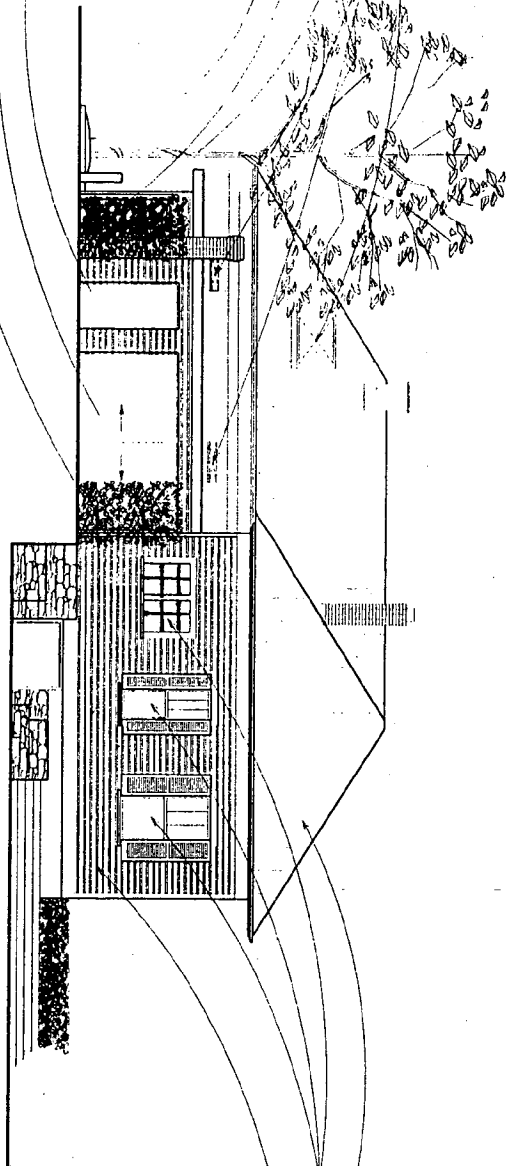


DRAWING NUMBER <b>A004</b>	ISSUE 1 SEP 99	SCALE 1/8" = 1'-0"	DIVISION <b>EXISTING EAST ELEVATION</b>	<b>BELL &amp; FRECH OFFICE</b> Brookeville, Maryland	<b>TRAVIS PRICE architects</b> <small>7050 Carroll Avenue, Takoma Park, Maryland 20912 301-270-9122 fax 301-270-0209</small>
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NEW 3X4 VELUX FLUSH SKYLIGHT  
 2 NEW 2X3 VELUX SKYLIGHT  
 NEW 6 CALPER JAPANESE  
 MAPLE ENTRY TREES  
 HIGH GREEN VEGETATION  
 EXISTING BOLDER TO REMAIN

NEW FIXED GLASS  
 NEW FOUR GLASS PANEL GLIDING  
 FRENCH DOOR - EXTERIOR  
 PAINTED DOVE GREY  
 HIGH GREEN VEGETATION

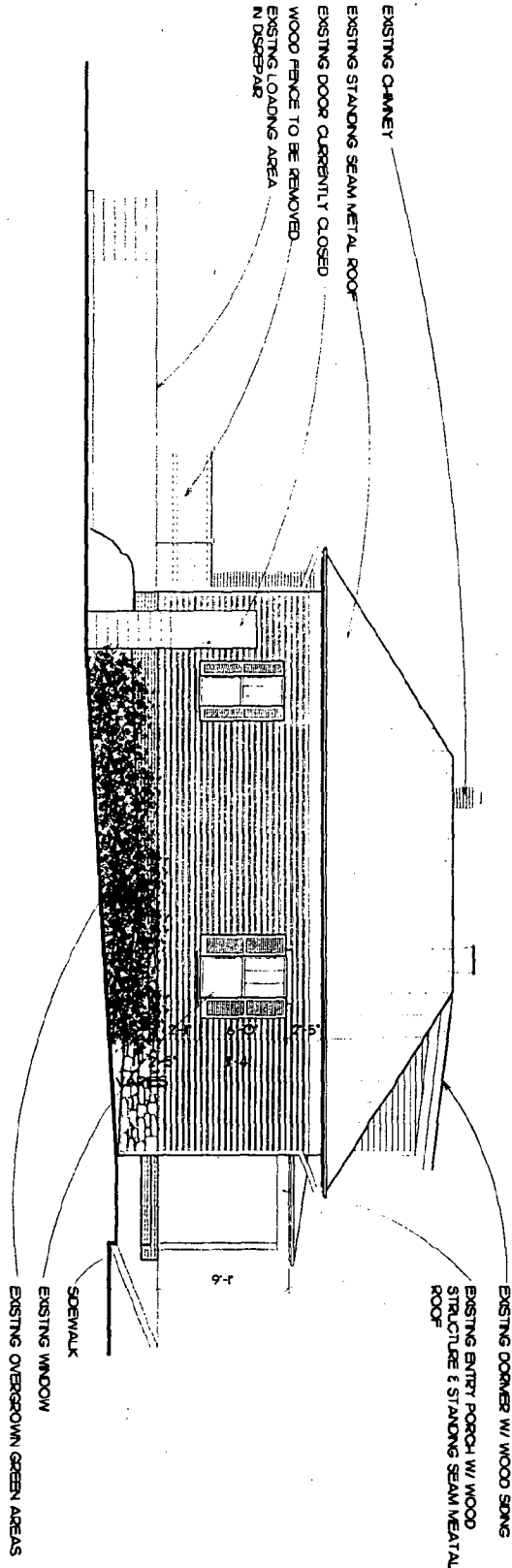


EXISTING ROOF TO BE REPAINTED  
 MATCH EXISTING  
 EXISTING WINDOWS (CURRENTLY  
 CLOSED) TO BE OPEN  
 ALL EXTERIOR SURFACES TO BE  
 PATCHED, REPAIRED AND REPAINTED  
 TO MATCH EXISTING

DRAWING NUMBER <b>A104</b>	ISSUE 1 SEP 1999	SCALE 1/8" = 1'-0"	REVISIONS 	EAST ELEVATION	BELL & FRENCH OFFICE Brookeville, Maryland	TRAVIS PRICE architects 7650 Carroll Avenue Takoma Park, Maryland 20912   301-270-9222   fax 301-270-4209
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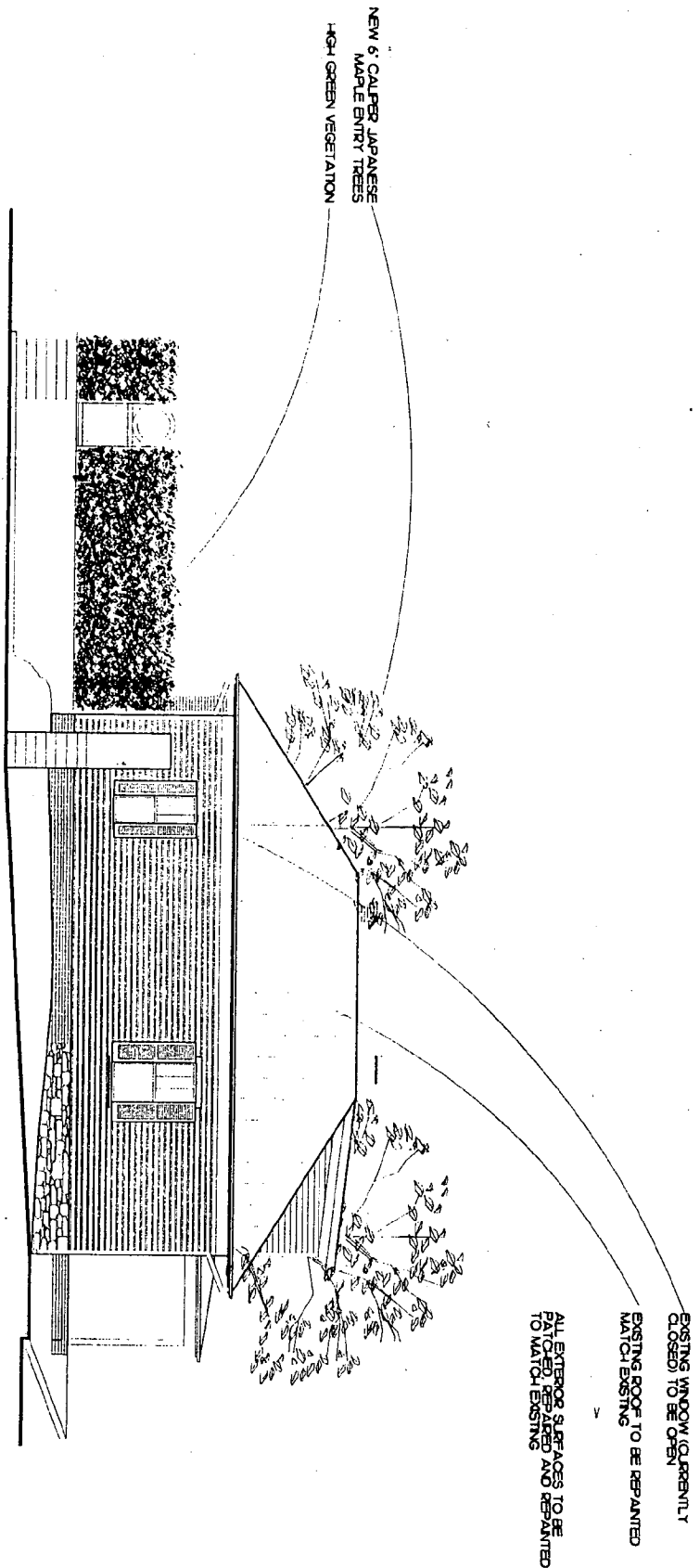
(12)

NOTE: IN THE PUBLIC VIEW.



<p><b>A005</b> DRAWING NUMBER</p>	<p>1/8" = 1'-0" SCALE 1 SEPT. 99 ISSUE</p>	<p>REVISIONS</p>	<p><b>EXISTING NORTH ELEVATION</b></p>	<p><b>BELL &amp; FRECH OFFICE</b> Brookeville, Maryland</p>	<p><b>TRAVIS PRICE architects</b> 7050 Carroll Avenue Takoma Park, Maryland 20912   301-270-9222   fax 301-270-6269</p>
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13

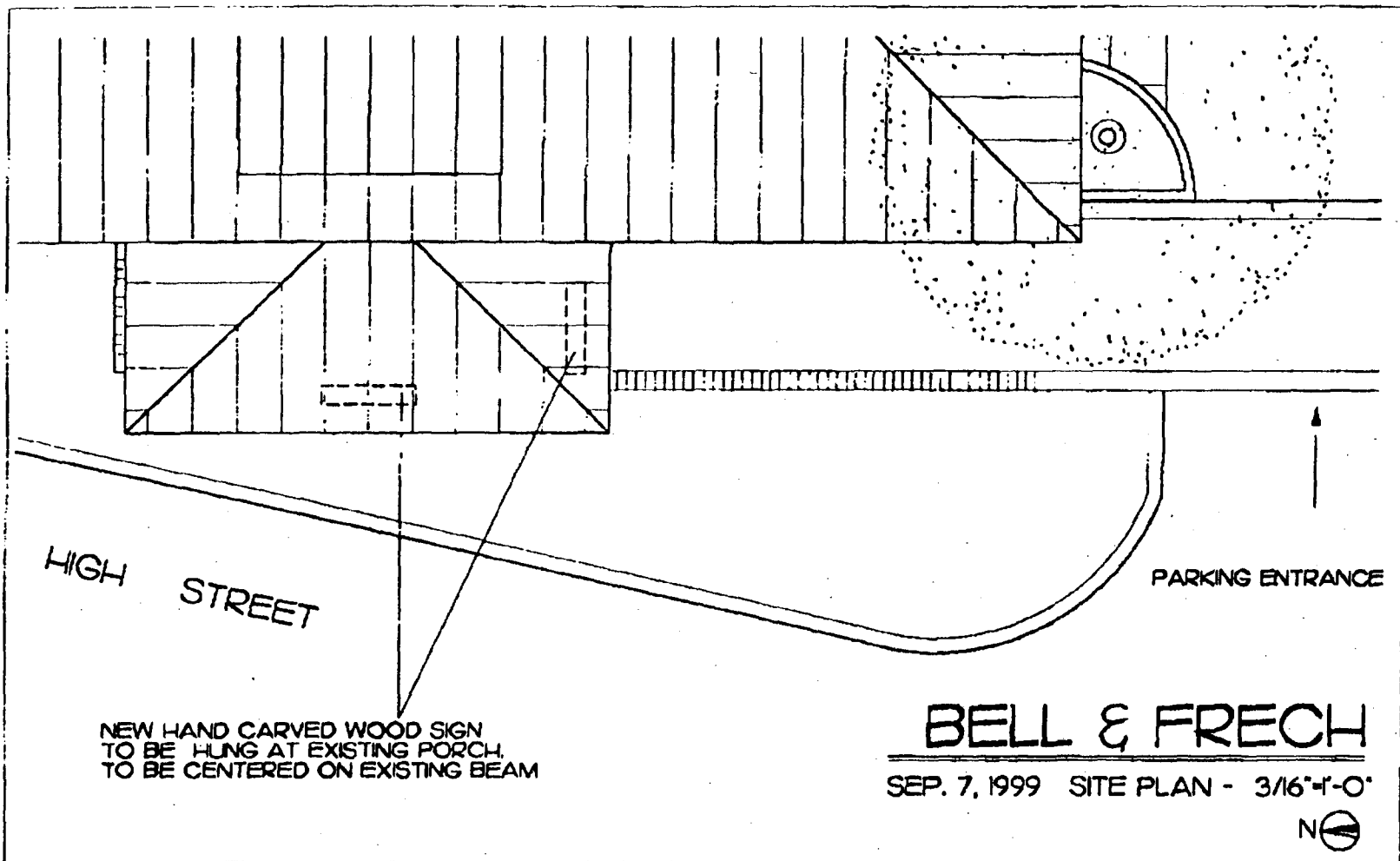


EXISTING WINDOW (CURRENTLY CLOSED) TO BE OPEN

EXISTING ROOF TO BE REPAINTED MATCH EXISTING

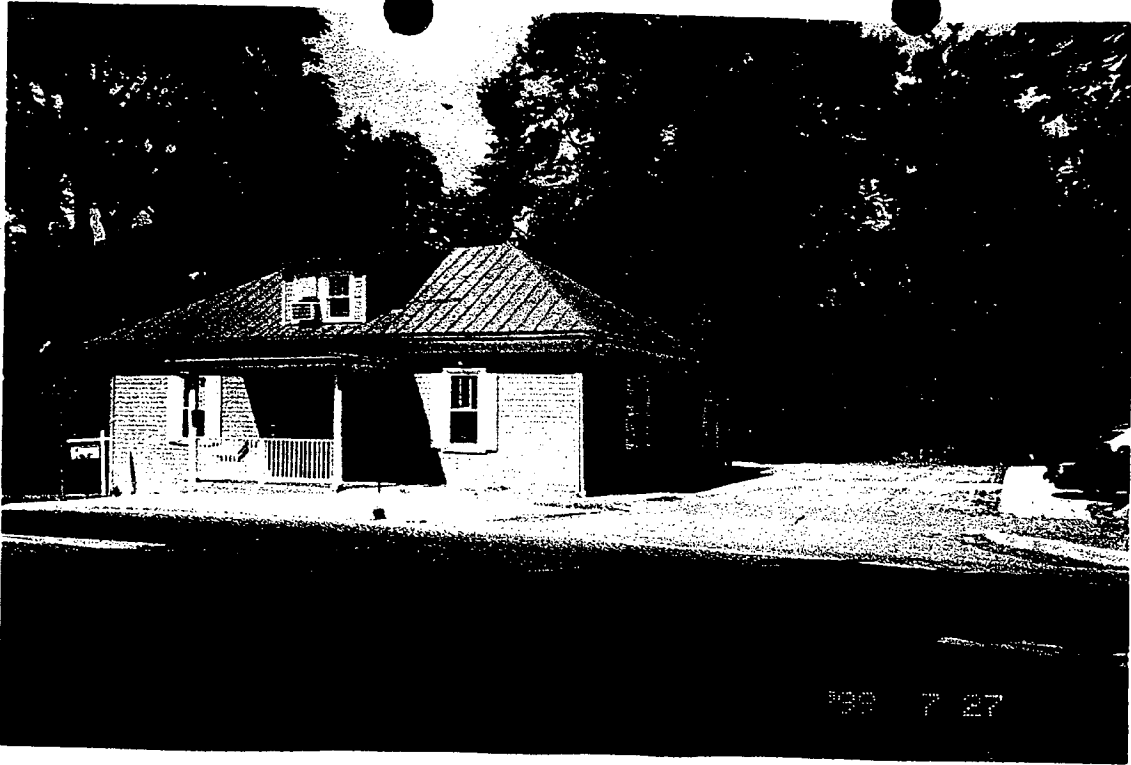
ALL EXTERIOR SURFACES TO BE PATCHED, REPAIRED AND REPAINTED TO MATCH EXISTING

DRAWING NUMBER <b>A105</b>	ISSUE 1 SEP 1999	SCALE 1/8" = 1'-0"	REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>							NORTH ELEVATION	BELL & FRESH OFFICE Brookeville, Maryland	TRAVIS PRICE architects 7050 Carroll Avenue Takoma Park, Maryland 20912 301-270-9222 fax 301-270-4309



Travis Price architects  
INC.

14



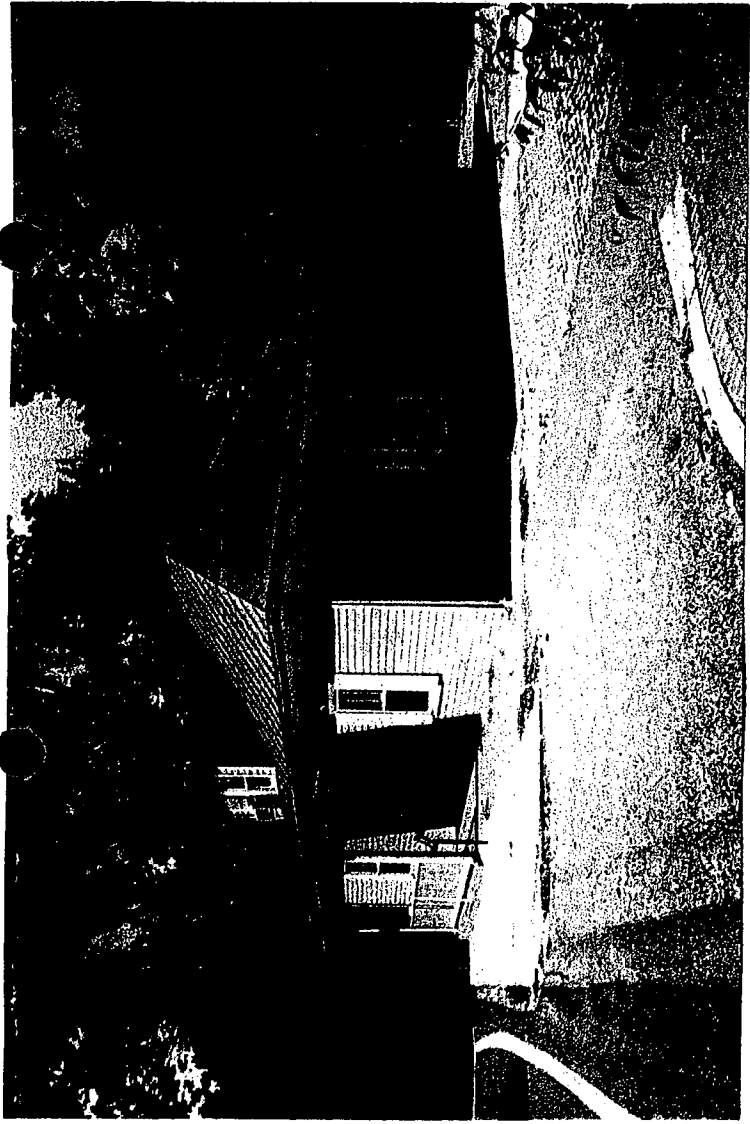
VIEW 1 A



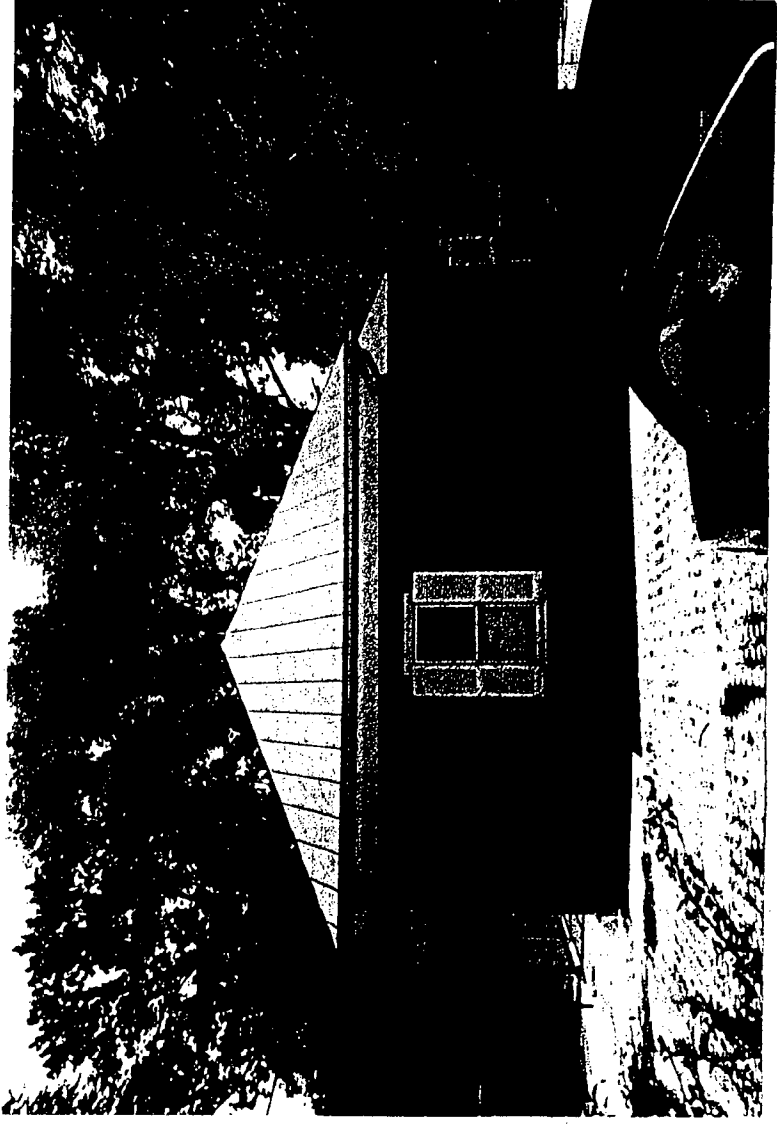
VIEW 1 B

(15)

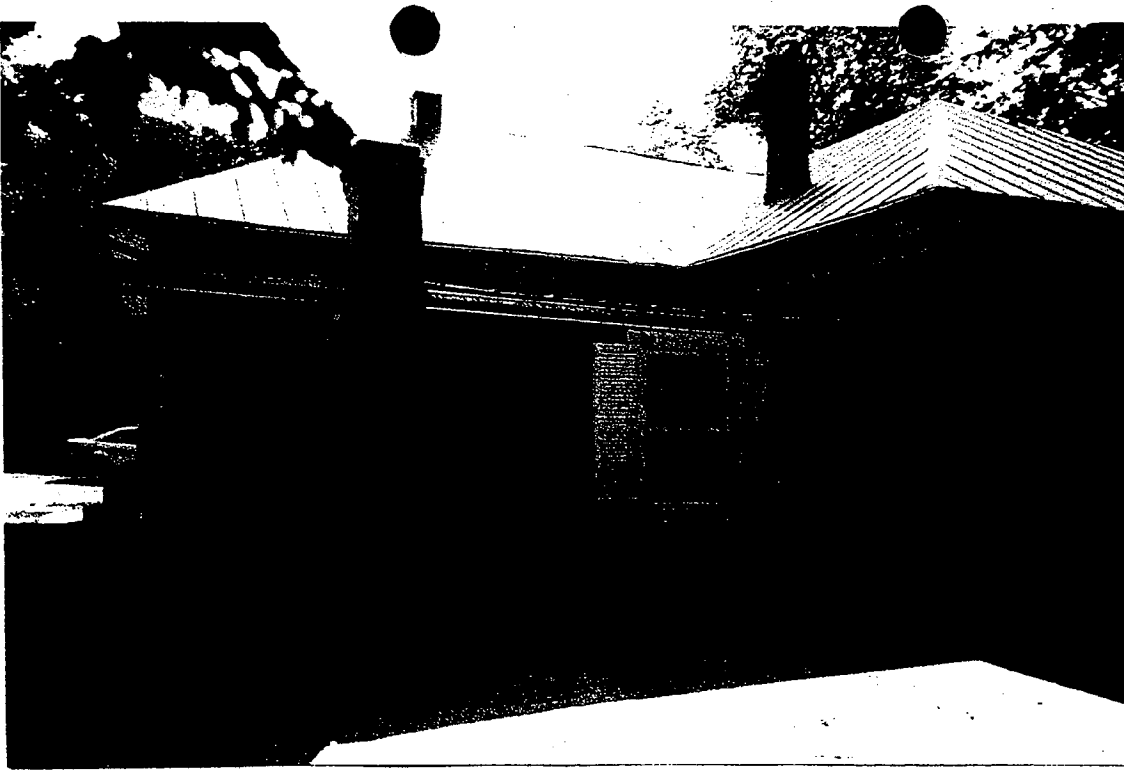




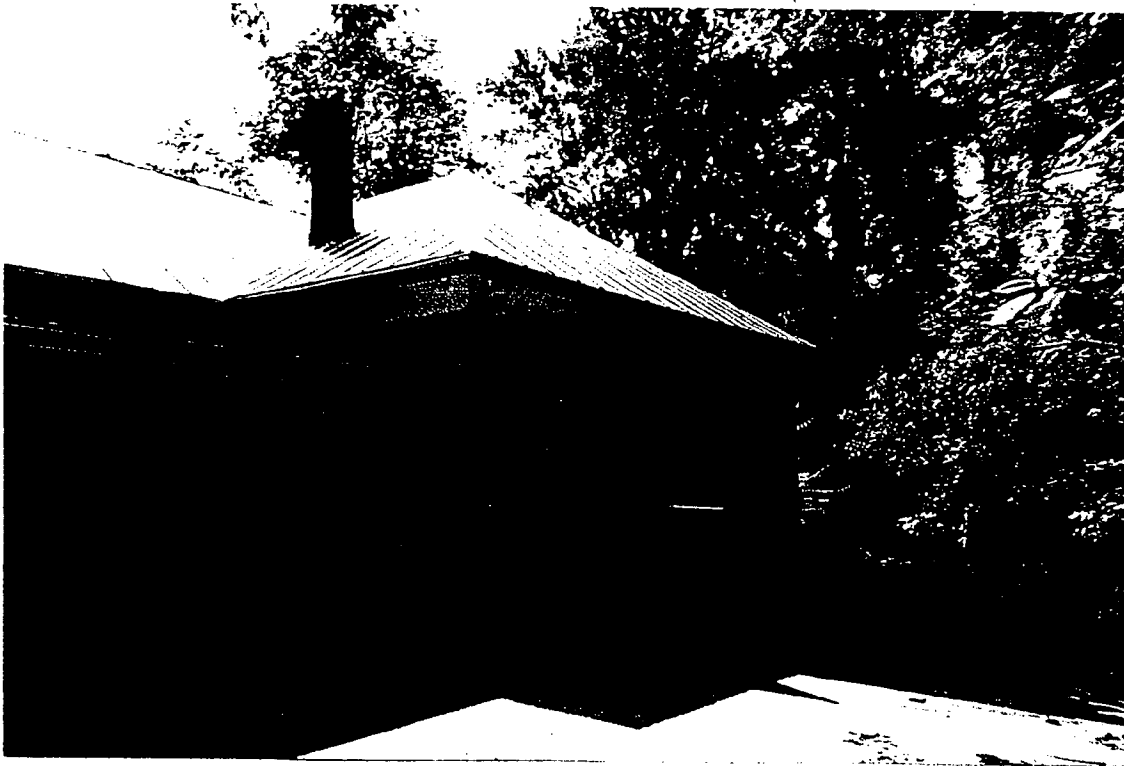
VIEW 2



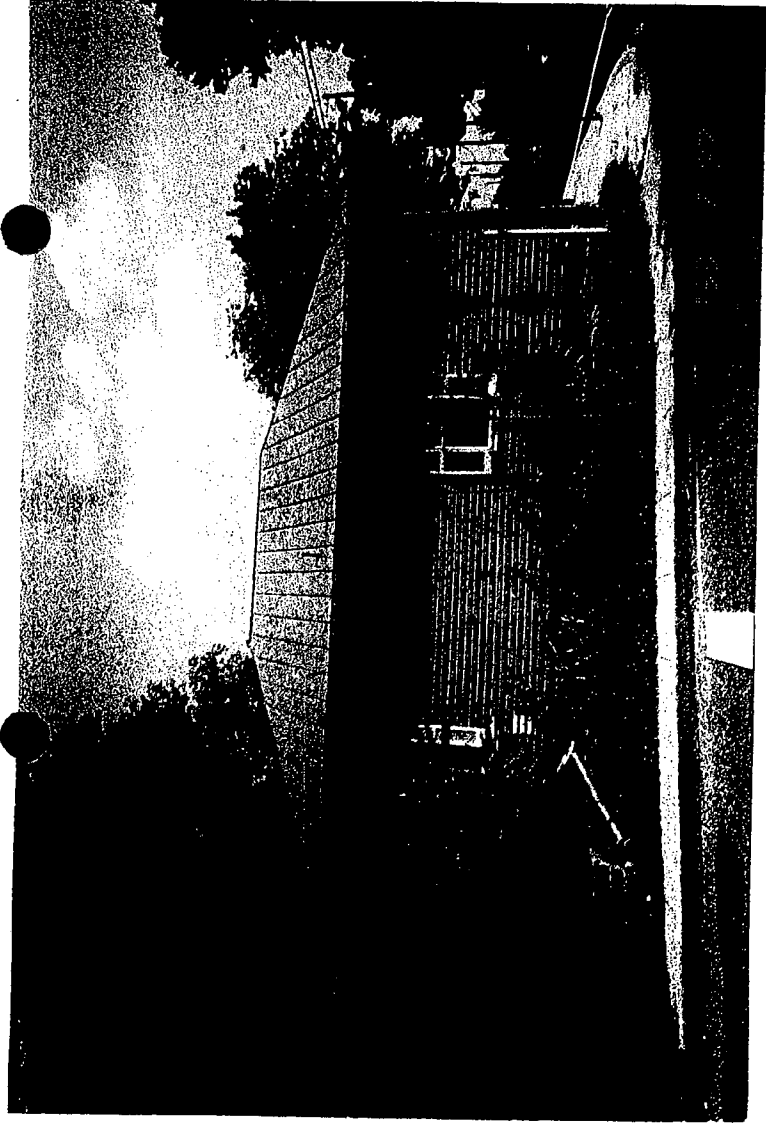
VIEW 3



VIEW 4 A



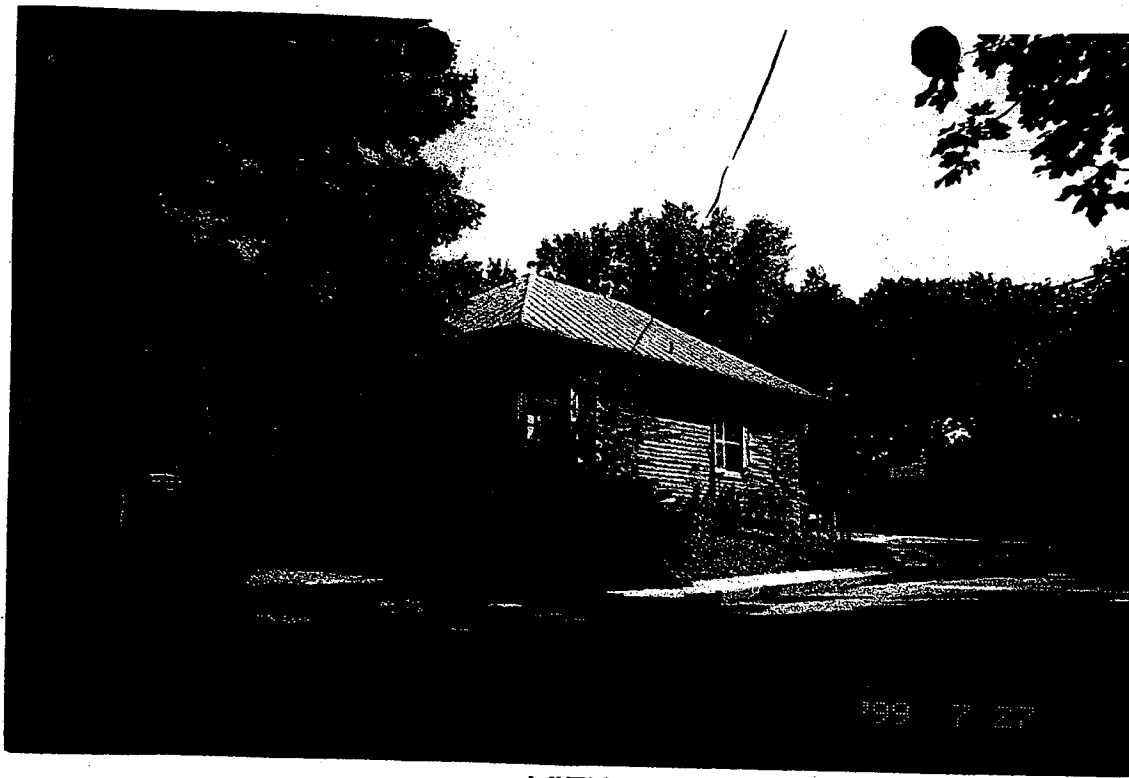
VIEW 4 B



VIEW 5



VIEW 6



VIEW 7

**BELL & FRECH**  
Certified Public Accountants  
Fax Transmittal Form

To: *Green Wight*  
FAX 301 563-341

DATE: September 1, 1999

FAX #: 301-370-4309

TO: Patrice

FROM: Lee Ann

PAGES: 1

*Michelle Marie*

COMMENTS: This is the information I was able to get my hands on concerning the properties right around the Post Office property.

Tracy Brown, 2 High Street, Brookeville, MD 20833, Phone - Unpublished

Kevin & Lynda Richards, 3 High Street, Brookeville, MD 20833, 301-774-5626

*owner - not resident*

Harry Montgomery, 211 Market Street, Brookeville, MD 20833, 301-774-2814

Christopher Scanlon, 212 Market Street, Brookeville, MD 20833, 301-268-0246

Sidney Rotter, 301 Market Street, Brookeville, MD 20833, 301-924-2663

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If you have received this communication in error, please notify us by telephone at (301) 762-7005

*Sept 14, 1999*

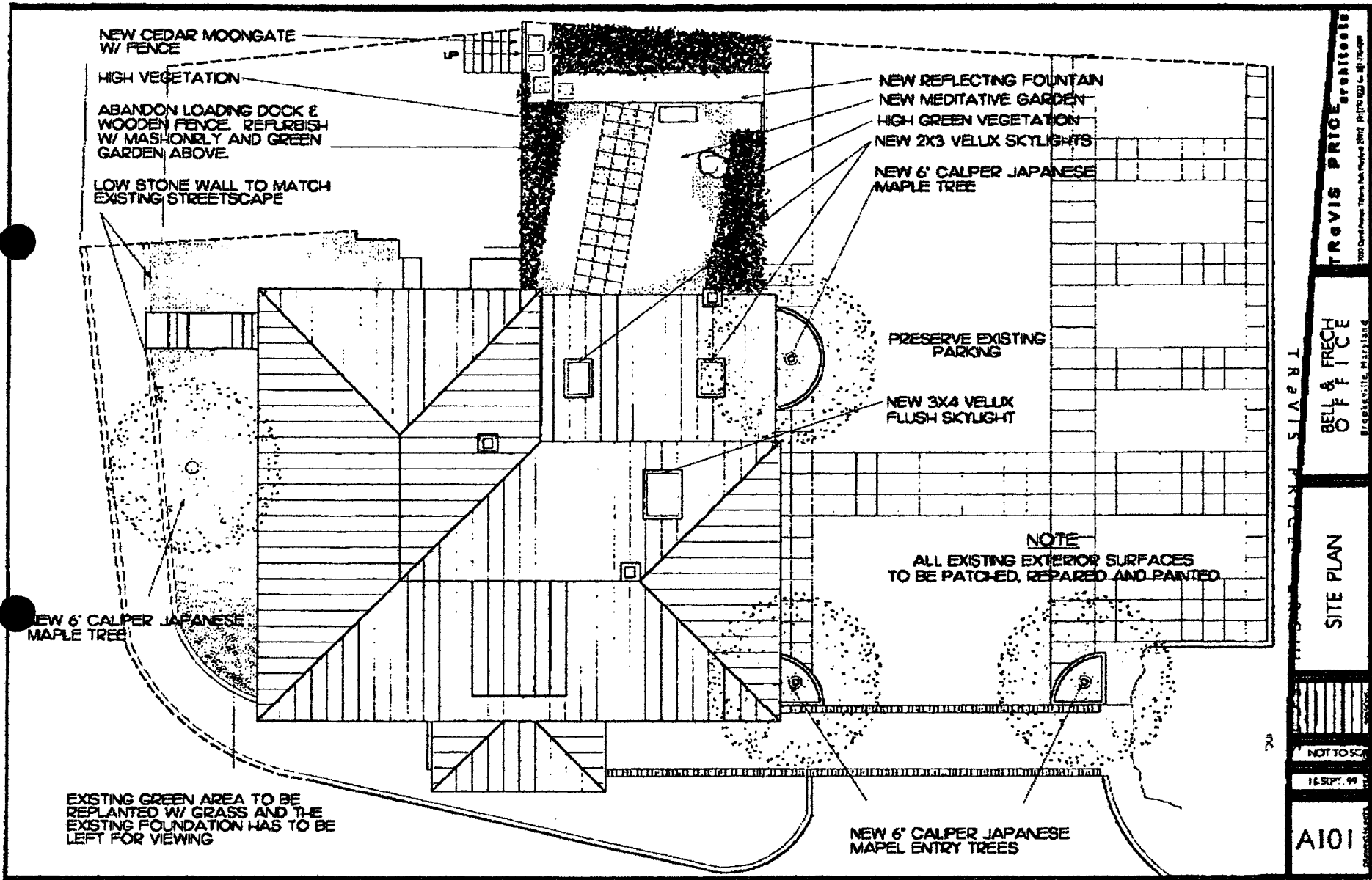
*Mr. + Mrs. Montgomery would prefer that the lower parking area (on Market St.) be used for parking. The garden + the upper area be used for parking. The noise + unattractiveness of the parking for a commercial business would be better on Co. Ave.*

*Karen Montgomery*

*(20)*

1B

P. 02



SEP-17-99 FRI 13:14

TREVIS PRICE ARCHITECTS  
2000 Dardanelles, Warren Hills, Parkway 2004, Raleigh, NC 27603

BELL & FRECH  
OFFICE  
Raleigh, NC, 27603

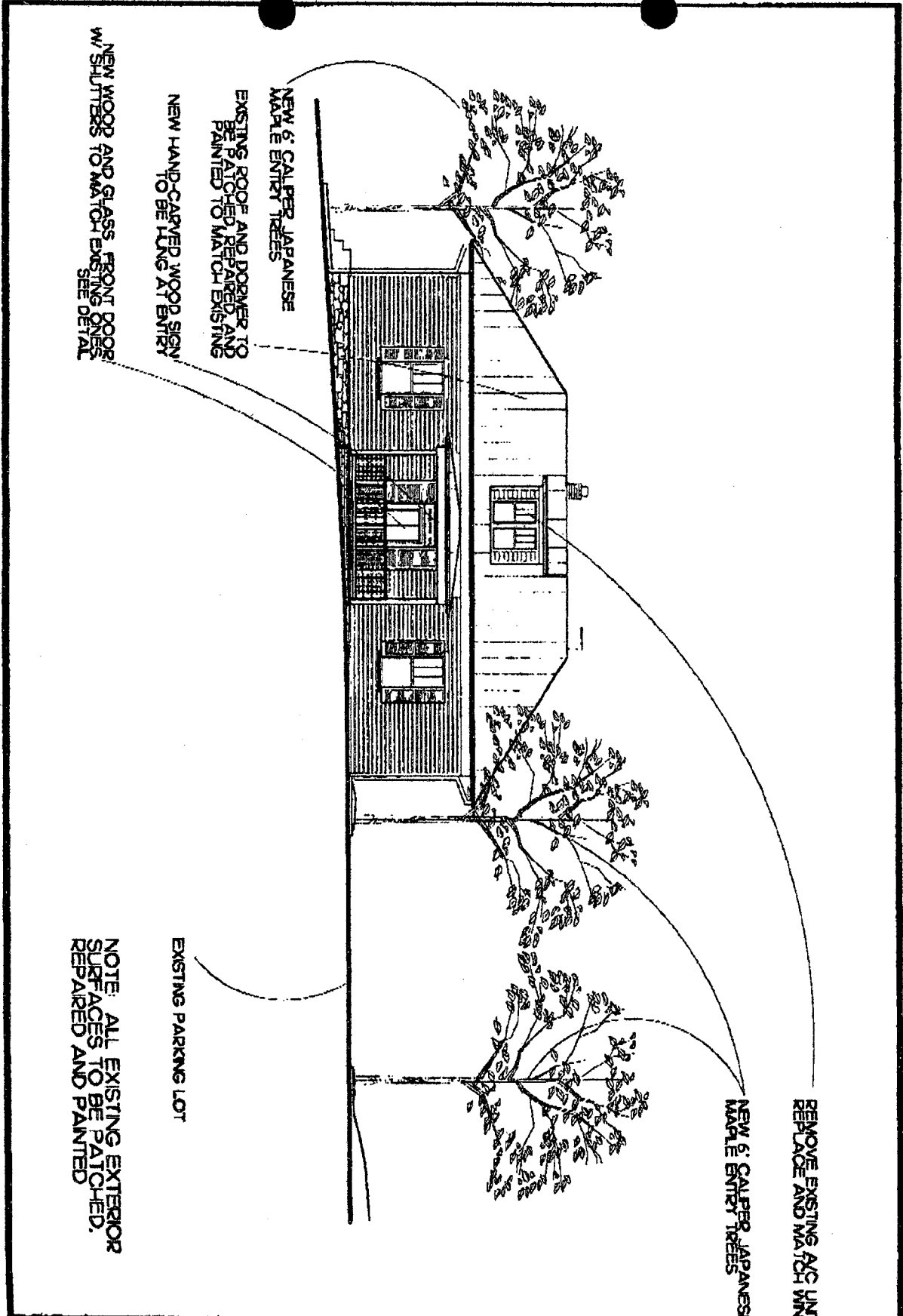
TREVIS PRICE ARCHITECTS

SITE PLAN

NOT TO SCALE

16 SEP 99

A101



NEW 6' CALIFER JAPANESE MAPLE ENTRY TREES

EXISTING ROOF AND DORMER TO BE PATCHED REPAIRED AND PAINTED TO MATCH EXISTING

NEW HAND-CARVED WOOD SIGN TO BE LONG AT ENTRY

NEW WOOD AND GLASS FRONT DOOR W/ SHUTTERS TO MATCH EXISTING SEE DETAIL

EXISTING PARKING LOT

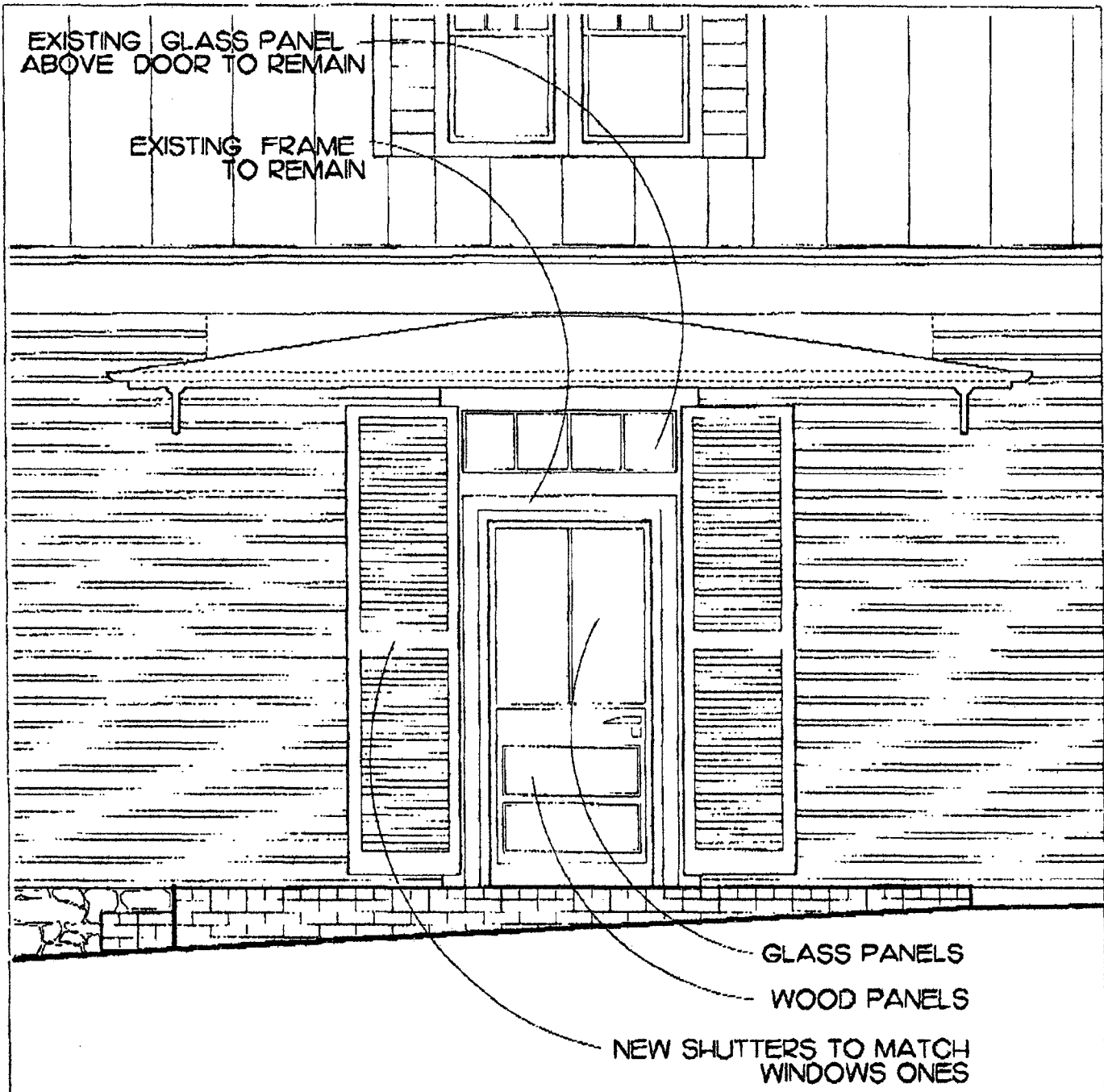
NOTE: ALL EXISTING EXTERIOR SURFACES TO BE PATCHED, REPAIRED AND PAINTED

REMOVE EXISTING A/C UNIT REPLACE AND MATCH WINDOW

NEW 6' CALIFER JAPANESE MAPLE ENTRY TREES

A102	NOT TO SCALE 15 SEPT. 99	WEST ELEVATION	BELL & FRECH OFFICE Brunnsville, Maryland	TRAVIS PRICE architects Architects License No. 10012, Registered Professional Engineer License No. 10012
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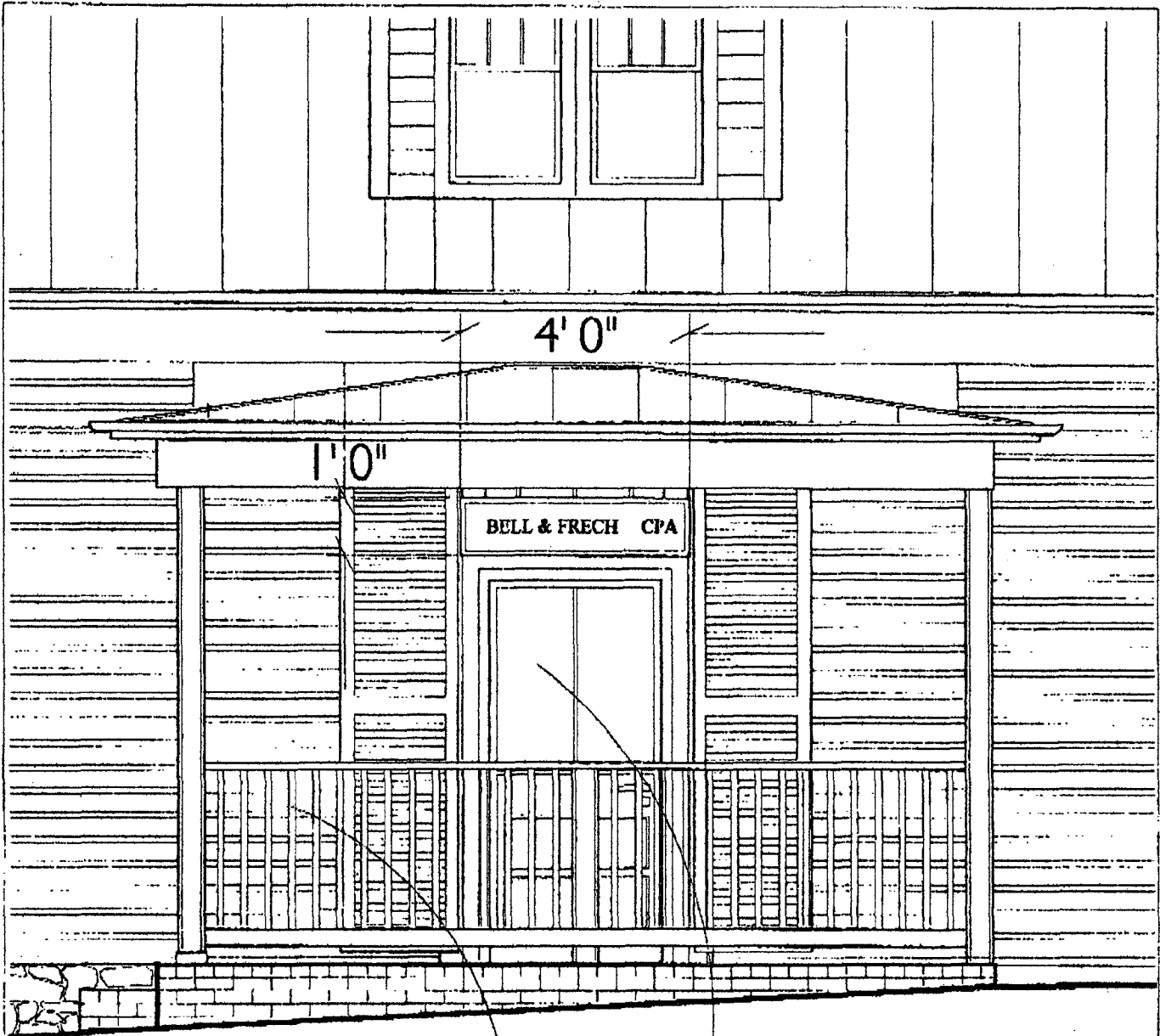
2B



NEW DOOR AT ENTRY  
WEST ELEVATION

3B



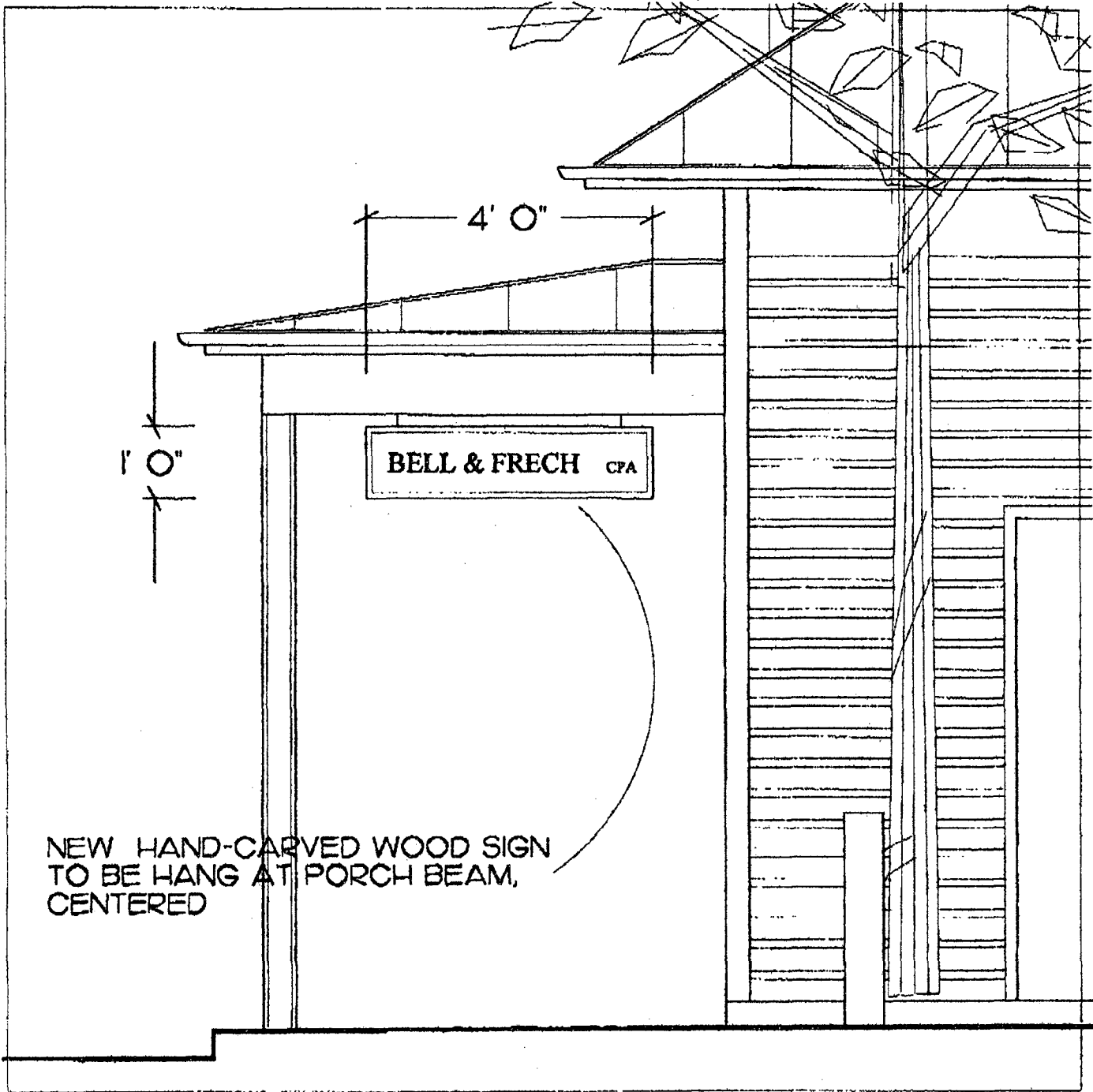


RAILING NOT ORIGINAL BUT TO BE PAINTED AND MAINTAINED FOR NOW

NEW HAND-CARVED WOOD SIGN TO BE HUNG AT PORCH BEAM, CENTERED

NEW SIGN AT ENTRY  
WEST ELEVATION

4B



NEW SIGN AT ENTRY  
SOUTH ELEVATION

5B

LEP

NEW 3X4 VELUX FLUSH SKYLIGHT  
 2 NEW 2X3 VELUX SKYLIGHT  
 NEW 6" CALIPER JAPANESE  
 MAPLE ENTRY TREES  
 HIGH GREEN VEGETATION

EXISTING ROOF TO BE REPAINTED  
 MATCH EXISTING

EXISTING WINDOWS (CURRENTLY  
 CLOSED) TO BE OPENED AND  
 RESTORED

NEW 6" CALIPER JAPANESE  
 MAPLE ENTRY TREES



EXISTING BOULDER TO REMAIN

NEW FIXED GLASS, REMOVED WINDOW  
 TO BE STORED IN PLACE

NEW FOUR GLASS PANEL SLIDING  
 PATIO DOOR - EXTERIOR PAINTED  
 DOVE GREY

HIGH GREEN VEGETATION

ALL EXTERIOR SURFACES TO BE  
 PATCHED, REPAIRED AND REPAINTED  
 TO MATCH EXISTING

TRAVIS PRICE ARCHITECTS  
1000 Grand Avenue, Memphis, TN 38103, 901-525-1100

BELL & BRECH  
 OFFICE  
800-875-5555, MEMPHIS

EAST ELEVATION



NOT TO SCALE

16 SEP 1999

A104

7B

P. 05

NEW 6" CALIPER JAPANESE  
MAPLE ENTRY TREES

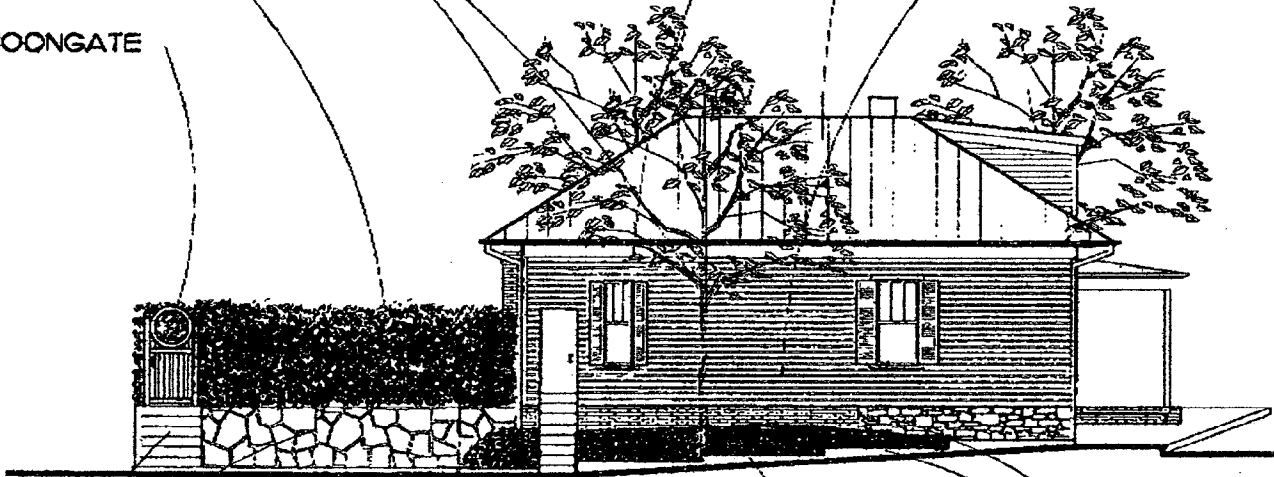
HIGH GREEN VEGETATION

NEW CEDAR MOONGATE

EXISTING WINDOW (CURRENTLY  
CLOSED) TO BE OPEN

EXISTING ROOF TO BE REPAINTED  
MATCH EXISTING

ALL EXTERIOR SURFACES  
TO BE PATCHED, REPAIRED  
AND REPAINTED  
TO MATCH EXISTING



NEW LOW STONE WALL  
TO MATCH EXISTING STREETSCAPE

EXISTING STONE STAIR AND  
LOADING DECK WALL TO BE  
RESTORED

EXISTING GREEN AREA TO BE PLANTED W/  
GRASS. EXISTING FOUNDATION TO BE EXPOSED

TRAVIS PRICE architects  
7200 Oakwood Avenue, Napa, CA 94558  
707.251.1234

BELL & FRECH  
OFFICE  
EUREKA, CALIFORNIA

NORTH ELEVATION

NOT TO SCALE

16 SEP 1999

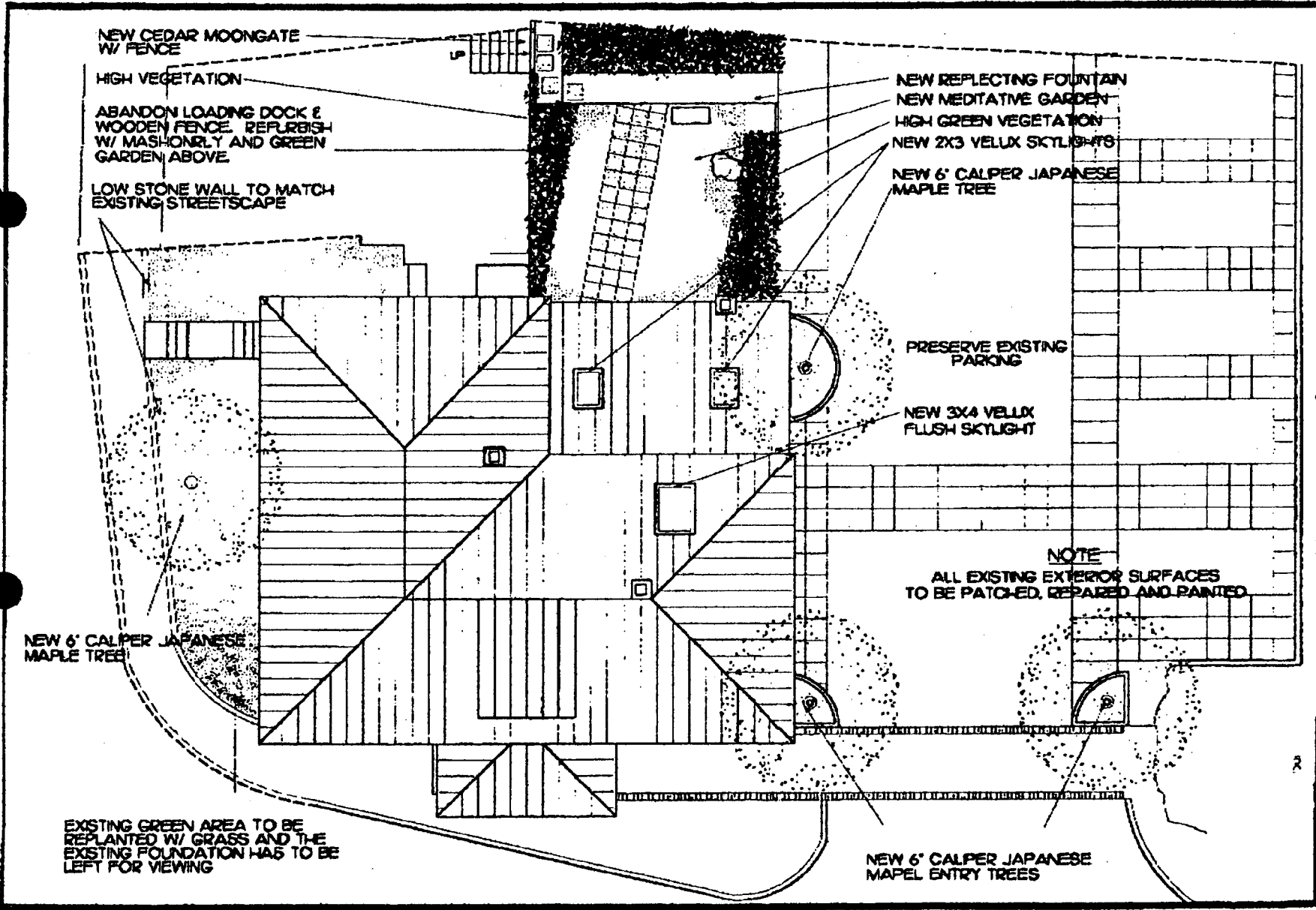
A105

SEP-17-99 FRI 13:16

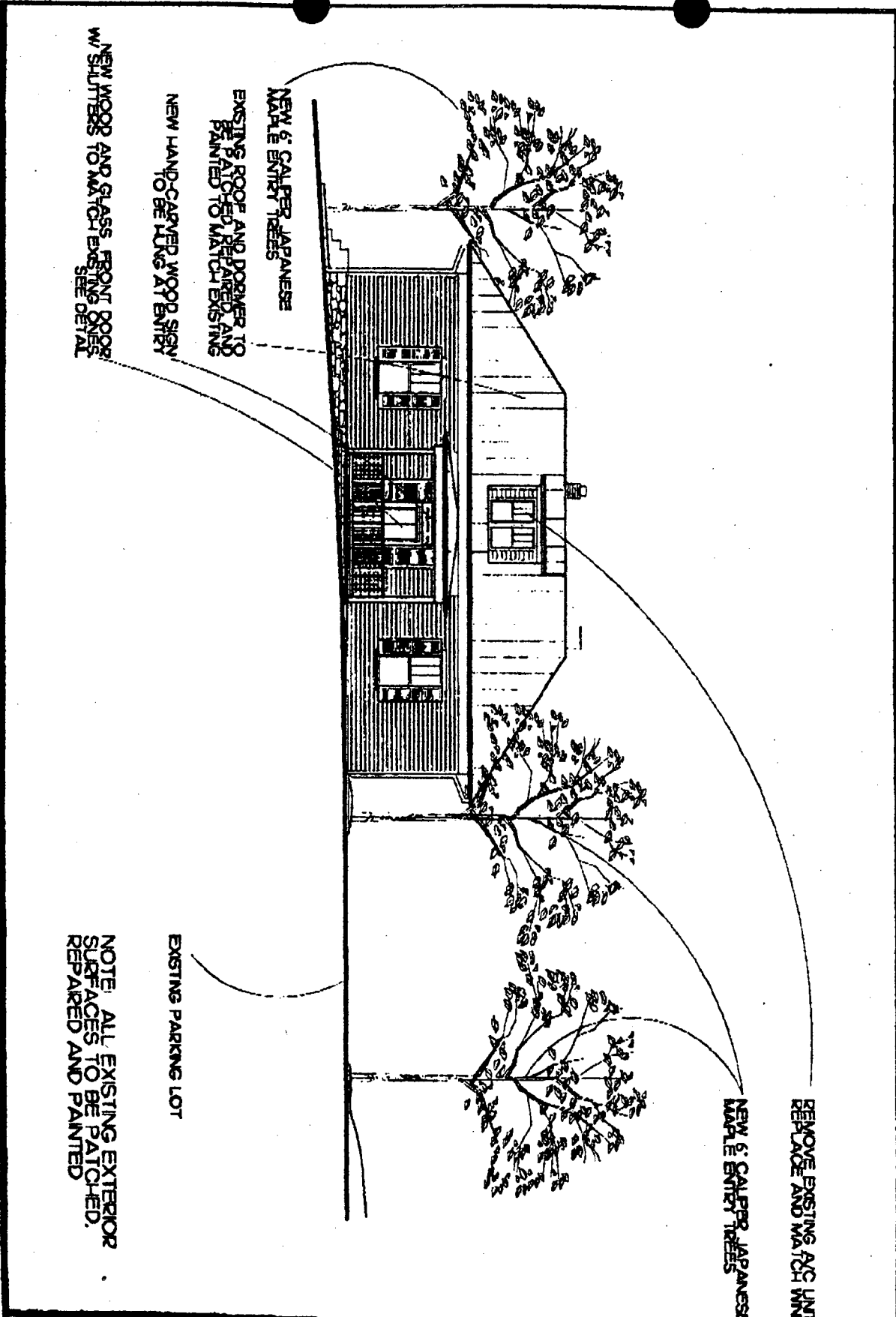
RAVENSVILLE POST OFFICE 2/2/05 DR. B.P. 02

SEP-17-99 FRI 13:14

(1B)



TRAVIS PRICE architects  
 TRAVIS PRICE architects  
 BELL & FRECH OFFICE  
 ENGINEERS, ARCHITECTS  
 1000 Chestnut Street, Philadelphia, PA 19107  
 215.563.1234  
 16 SEP '99  
 A101



NEW 6' CALPER JAPANESE  
MAPLE ENTRY TREES

EXISTING ROOF AND DORMER TO  
BE PATCHED REPAIRED AND  
PAINTED TO MATCH EXISTING

NEW HAND-CARVED WOOD SIGN  
TO BE LONG AT ENTRY

REMOVE EXISTING A/C UNIT  
REPLACE AND MATCH WINDOW

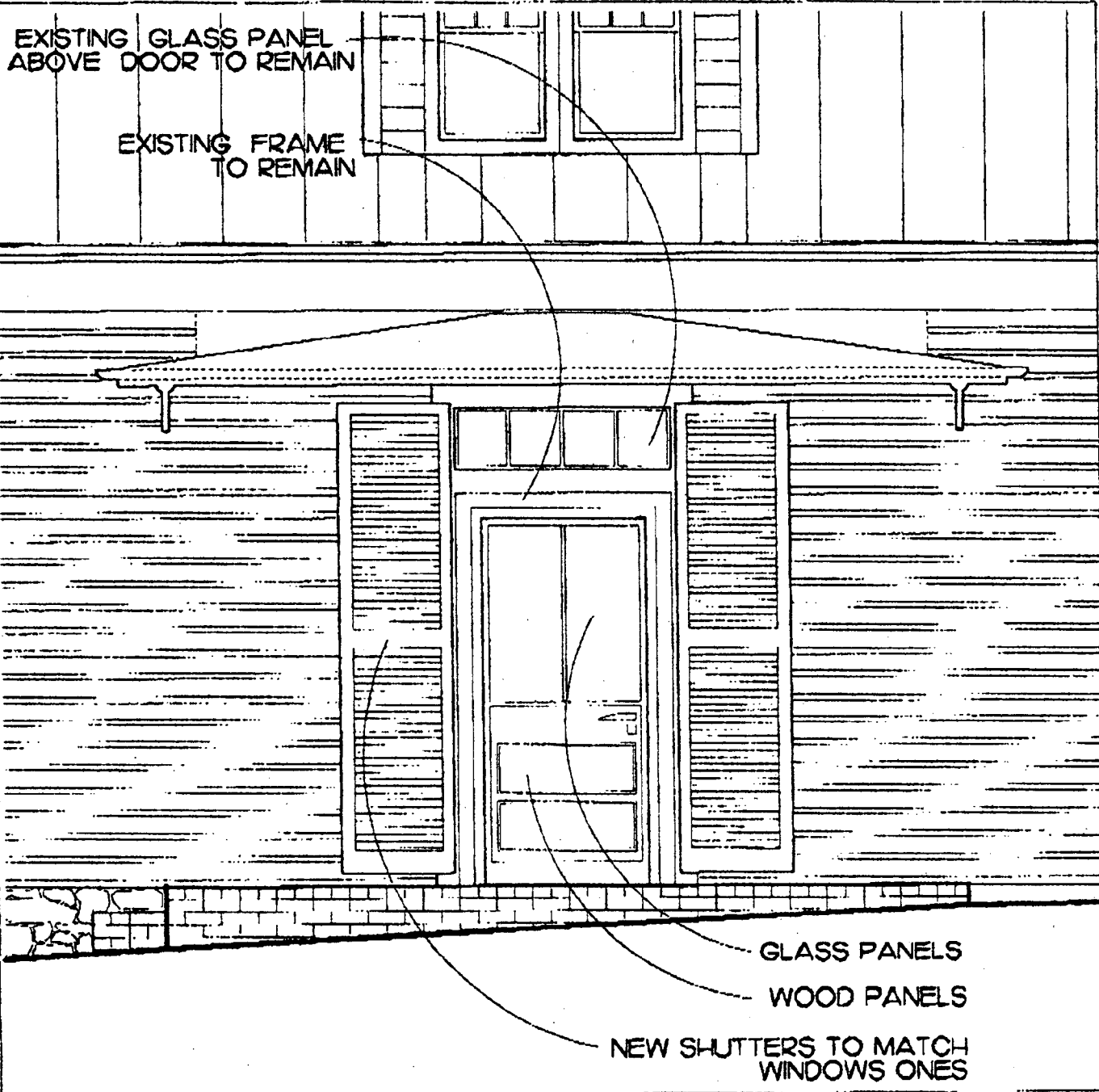
NEW 6' CALPER JAPANESE  
MAPLE ENTRY TREES

EXISTING PARKING LOT

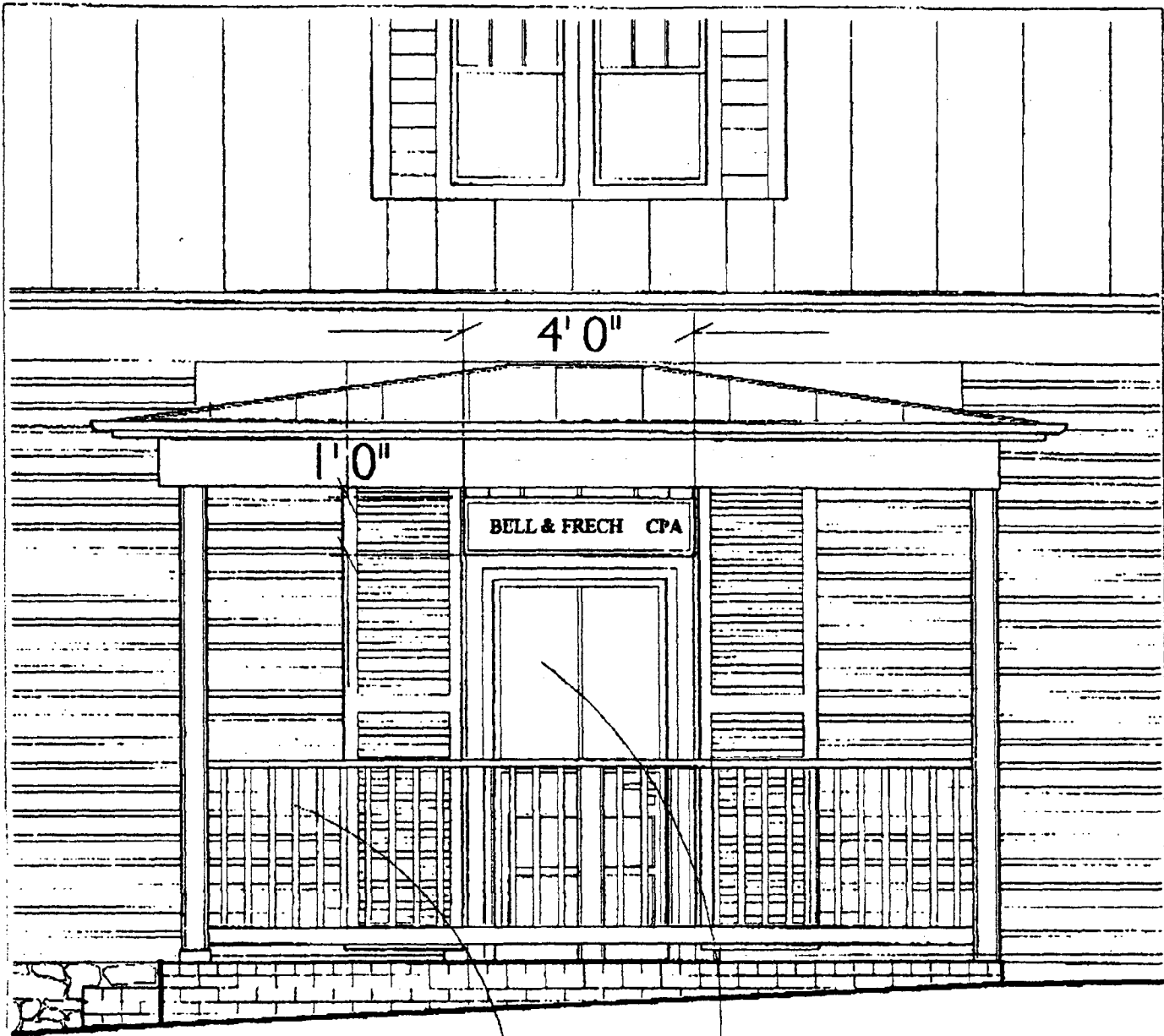
NOTE: ALL EXISTING EXTERIOR  
SURFACES TO BE PATCHED,  
REPAIRED AND PAINTED.

A102	NOT FOR CONSTRUCTION 10/11/99	WEST ELEVATION	BELL & FRECH OFFICE Brancheville, Maryland	TRAVIS PRICE architects All Construction Items Not Shown Subject to 10-317-00
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(2B)



NEW DOOR AT ENTRY  
WEST ELEVATION



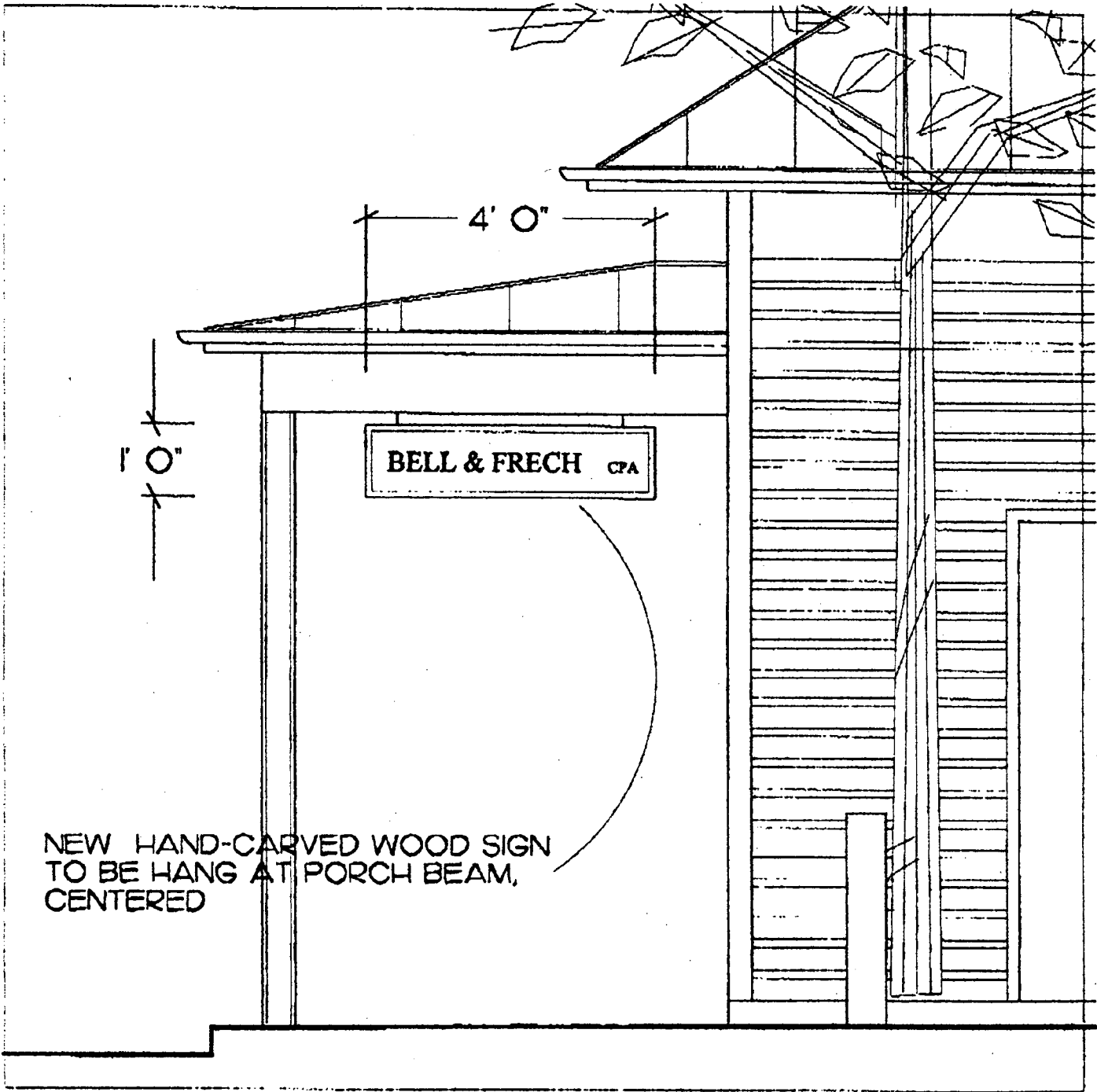
RAILING NOT ORIGINAL BUT TO BE PAINTED AND MAINTAINED FOR NOW

NEW HAND-CARVED WOOD SIGN TO BE HUNG AT PORCH BEAM, CENTERED

NEW SIGN AT ENTRY  
WEST ELEVATION

4B

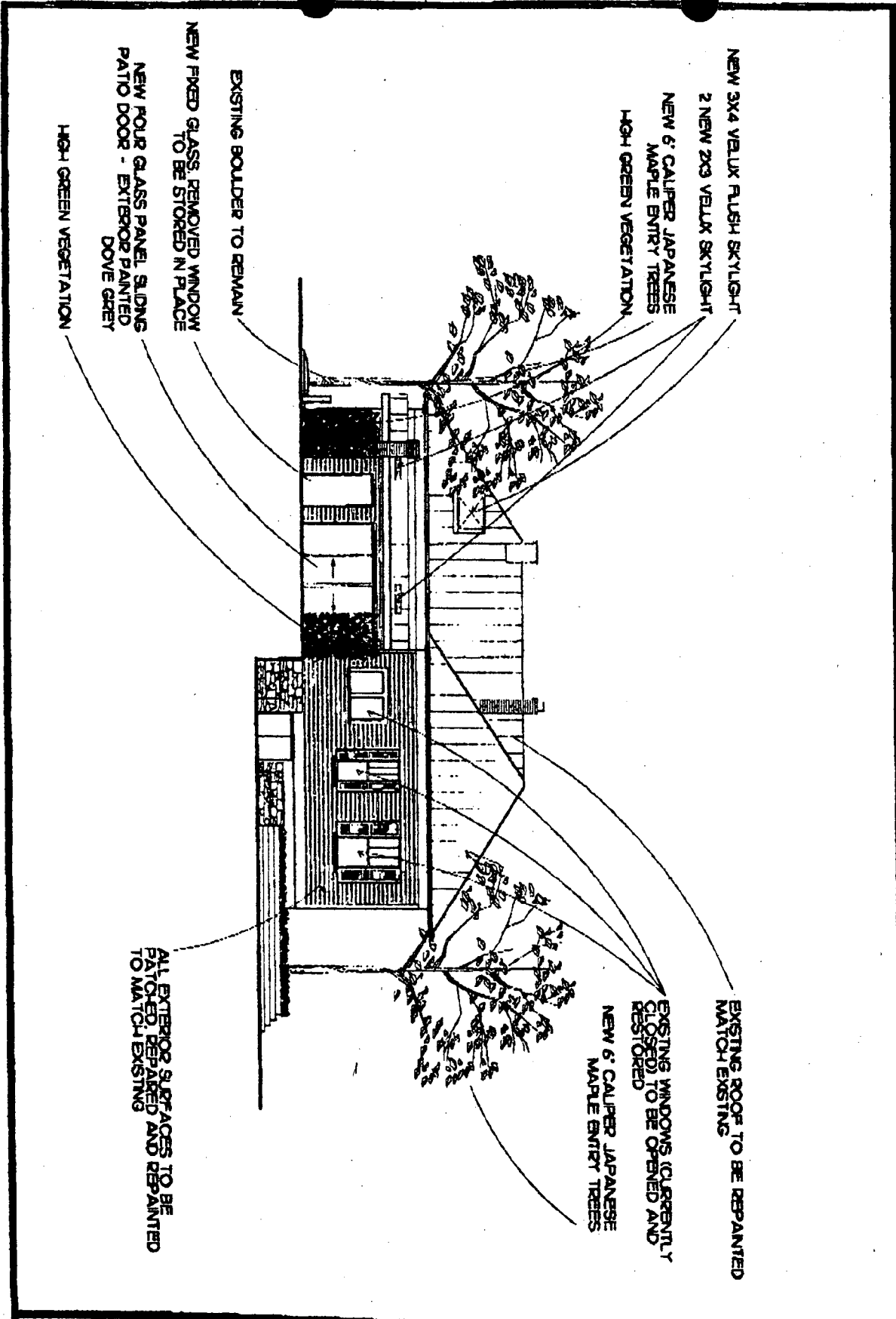




NEW HAND-CARVED WOOD SIGN  
TO BE HANG AT PORCH BEAM,  
CENTERED

NEW SIGN AT ENTRY  
SOUTH ELEVATION

5B



A104	NOT TO BE USED 16 SEP 1999	EAST ELEVATION	BELL & FRECH OFFICE Baltimore, Maryland	TRAVIS PRICE architects 100 Conch Avenue, Suite 100, P.O. Box 100, Annapolis, MD 21403
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LeB

7B

P. 05

NEW 6" CALIPER JAPANESE  
MAPLE ENTRY TREES

HIGH GREEN VEGETATION

NEW CEDAR MOONGATE

EXISTING WINDOW (CURRENTLY  
CLOSED) TO BE OPEN

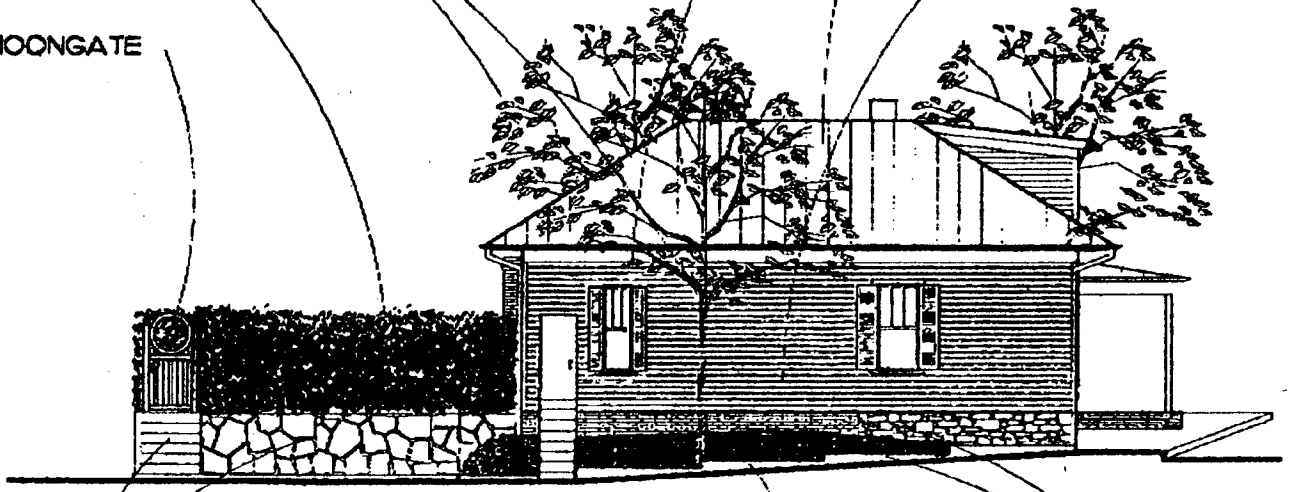
EXISTING ROOF TO BE REPAINTED  
MATCH EXISTING

ALL EXTERIOR SURFACES  
TO BE PATCHED, REPAIRED  
AND REPAINTED  
TO MATCH EXISTING

NEW LOW STONE WALL  
TO MATCH EXISTING STREETSCAPE

EXISTING STONE STAIR AND  
LOADING DECK WALL TO BE  
RESTORED

EXISTING GREEN AREA TO BE PLANTED W/  
GRASS. EXISTING FOUNDATION TO BE EXPOSED



TRAVIS PRICE  
ARCHITECTS

BELL & FRECH  
OFFICE  
Greenville, S.C.

NORTH ELEVATION

NOT TO SCALE

16 SEP 1999

A105

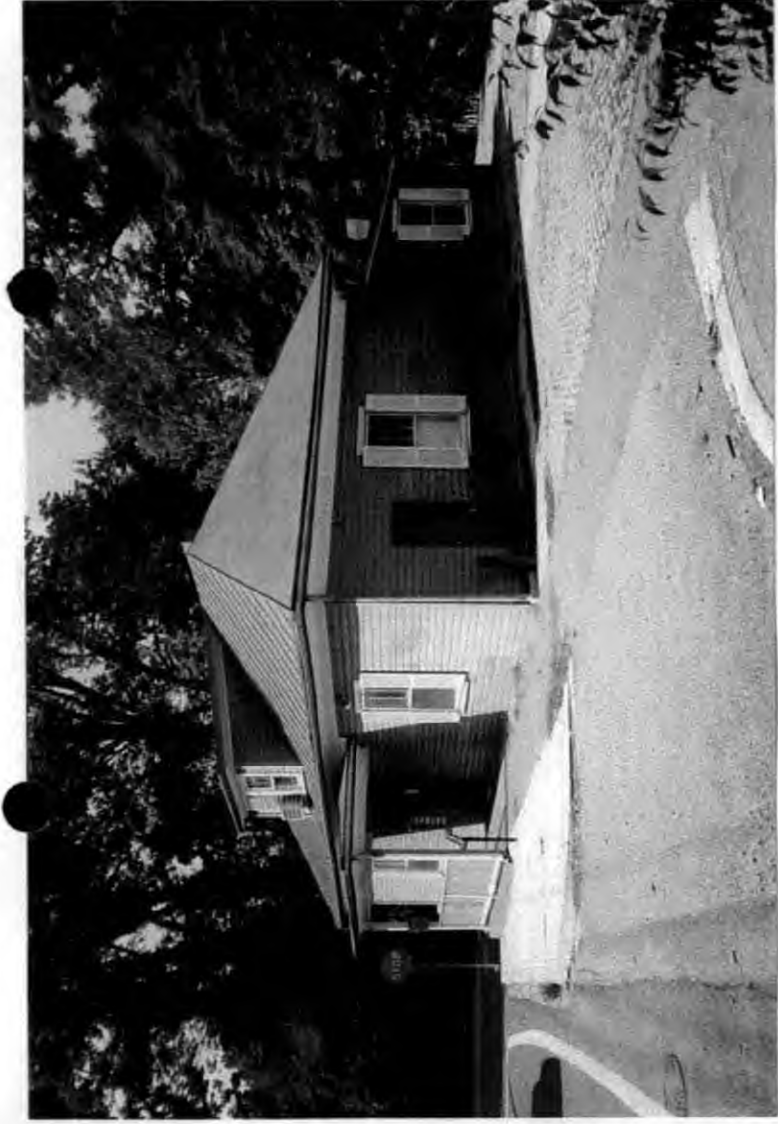
SEP-17-99 FRI 13:16



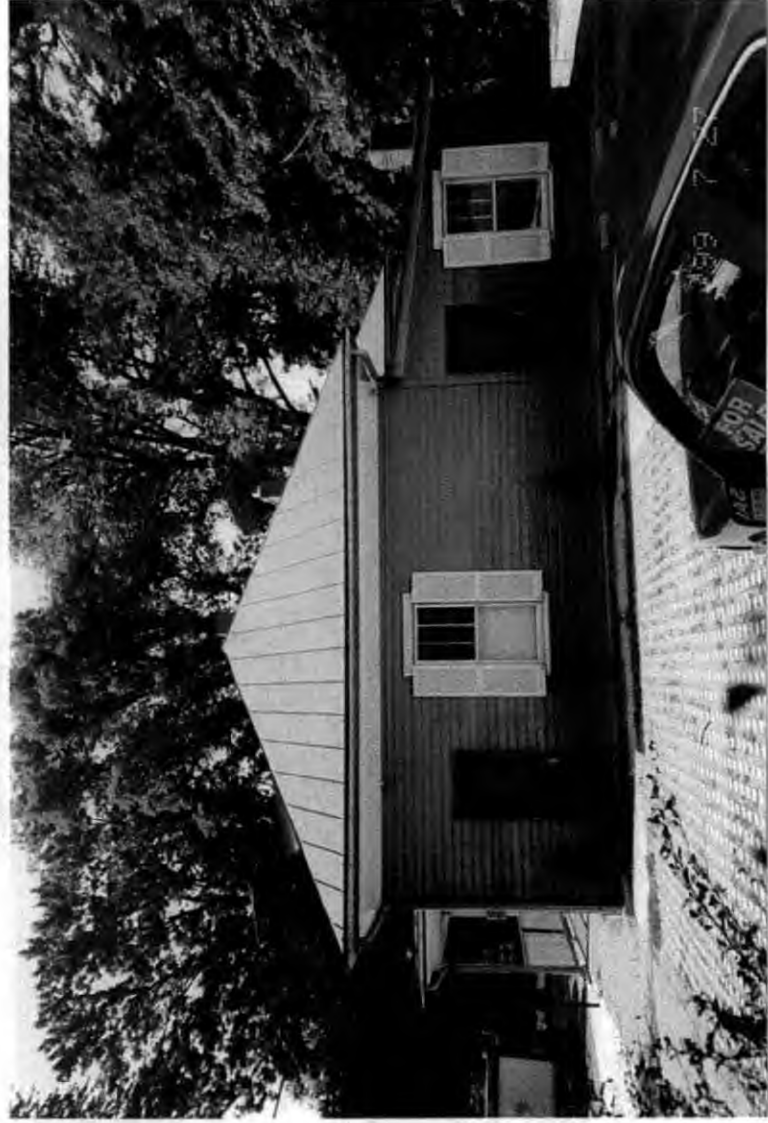
VIEW 1 A



VIEW 1 B



VIEW 2



VIEW 3



VIEW 4 A



VIEW 4 B



VIEW 5



VIEW 6





VIEW 7



# BELL & FRECH

BROOKVILLE, MARYLAND

A000	CONTENTS	A101	NEW SITE PLAN
A001	EXISTING SITE PLAN	A201	NEW WEST ELEVATION
A003	EXISTING WEST ELEVATION	A202	NEW SOUTH ELEVATION
A004	EXISTING SOUTH ELEVATION	A203	NEW EAST ELEVATION
A005	EXSITING EAST ELEVATION	A204	NEW NORTH ELEVATION
A006	EXISTING NORTH ELEVATION	A501	NEW ENTRY DOOR
		A502	NEW SIGN

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
09-28-99

REVISIONS

N.T.S. SCALE

22 SEP 99 ISSUE

A000 DRAWING NUMBER

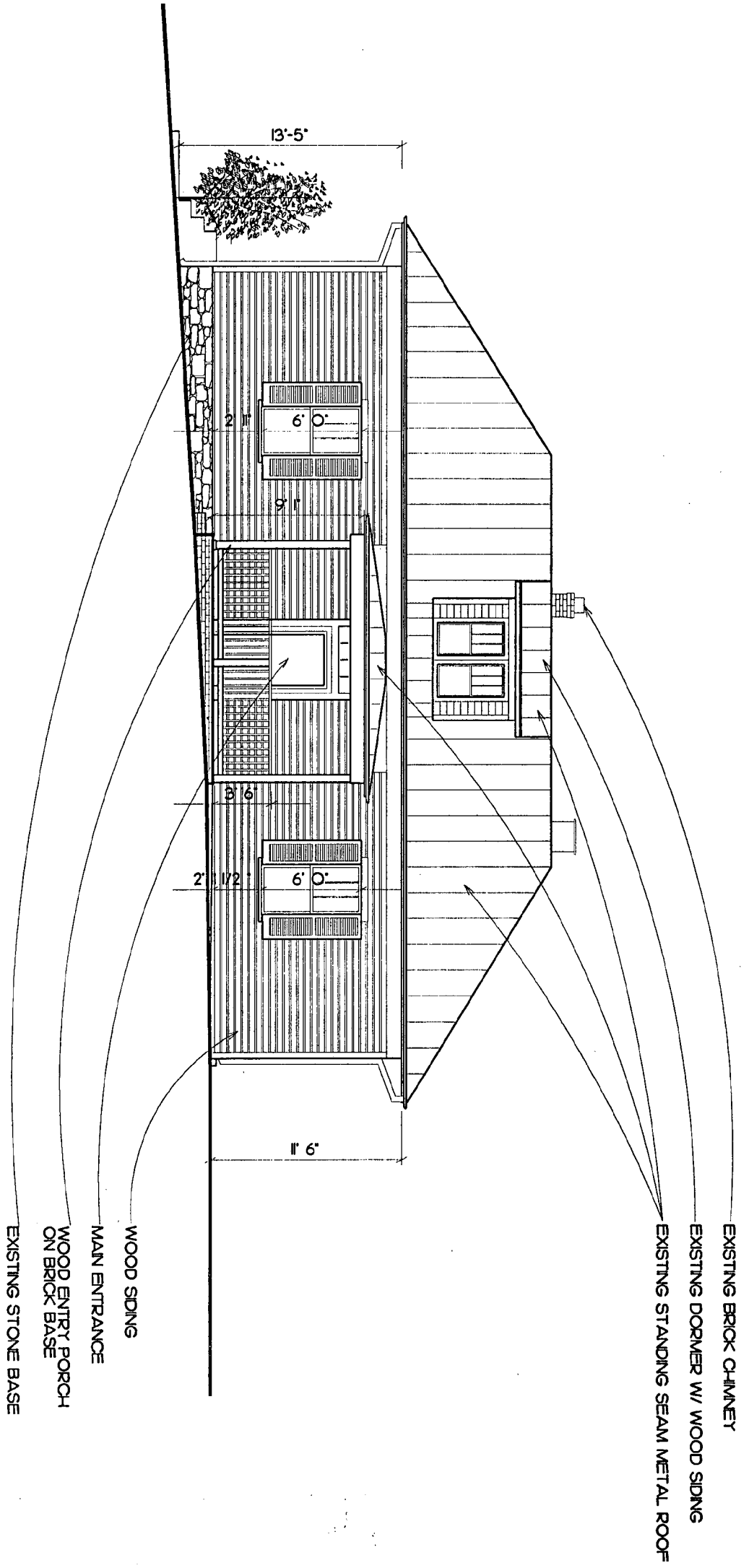
CONTENTS

BELL & FRECH  
OFFICE  
Brookville, Maryland

TRAVIS PRICE architects  
7050 Carroll Avenue Takoma Park, Maryland 20912 301/270-9222 fax 301-270-4209



NOTE  
 EXISTING WEST ELEVATION  
 IN THE PUBLIC VIEW



A003  
 DRAWING NUMBER

22 SEPT. 93  
 ISSUE

1/8" = 1'-0"  
 SCALE

NO.	REVISIONS

EXISTING WEST  
 ELEVATION

BELL & FRECH  
 OFFICE  
 Brookeville, Maryland

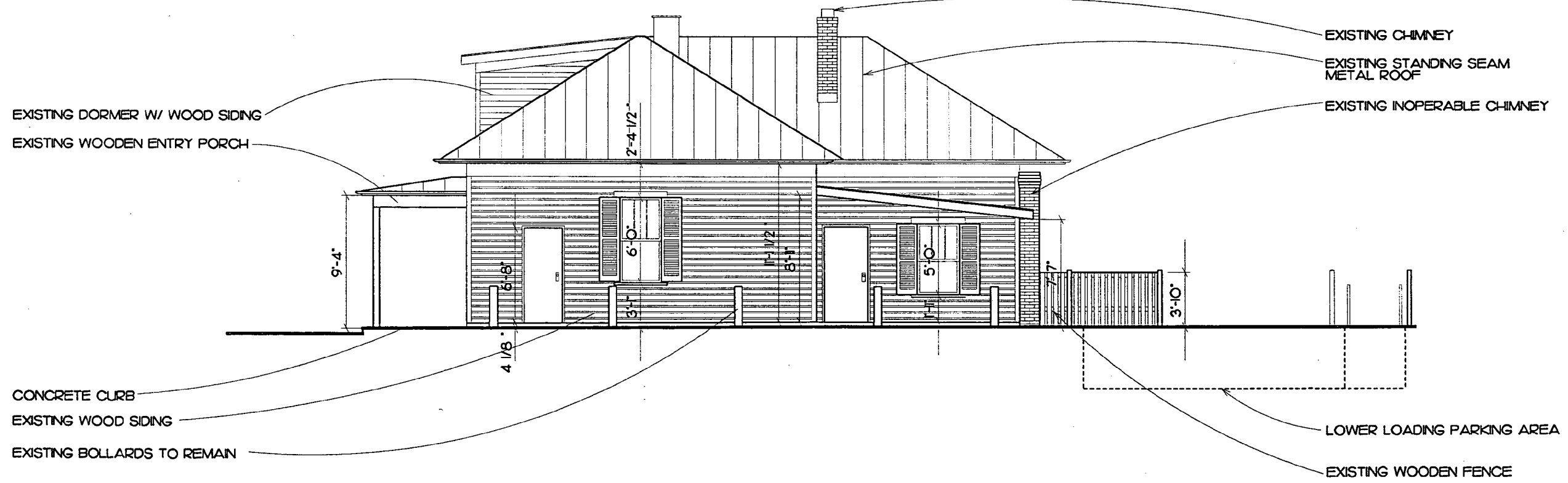
TRAVIS PRICE architects  
 7050 Carroll Avenue Takoma Park, Maryland 20912 301-270-9222 fax 301-270-4209

NO.	REVISIONS

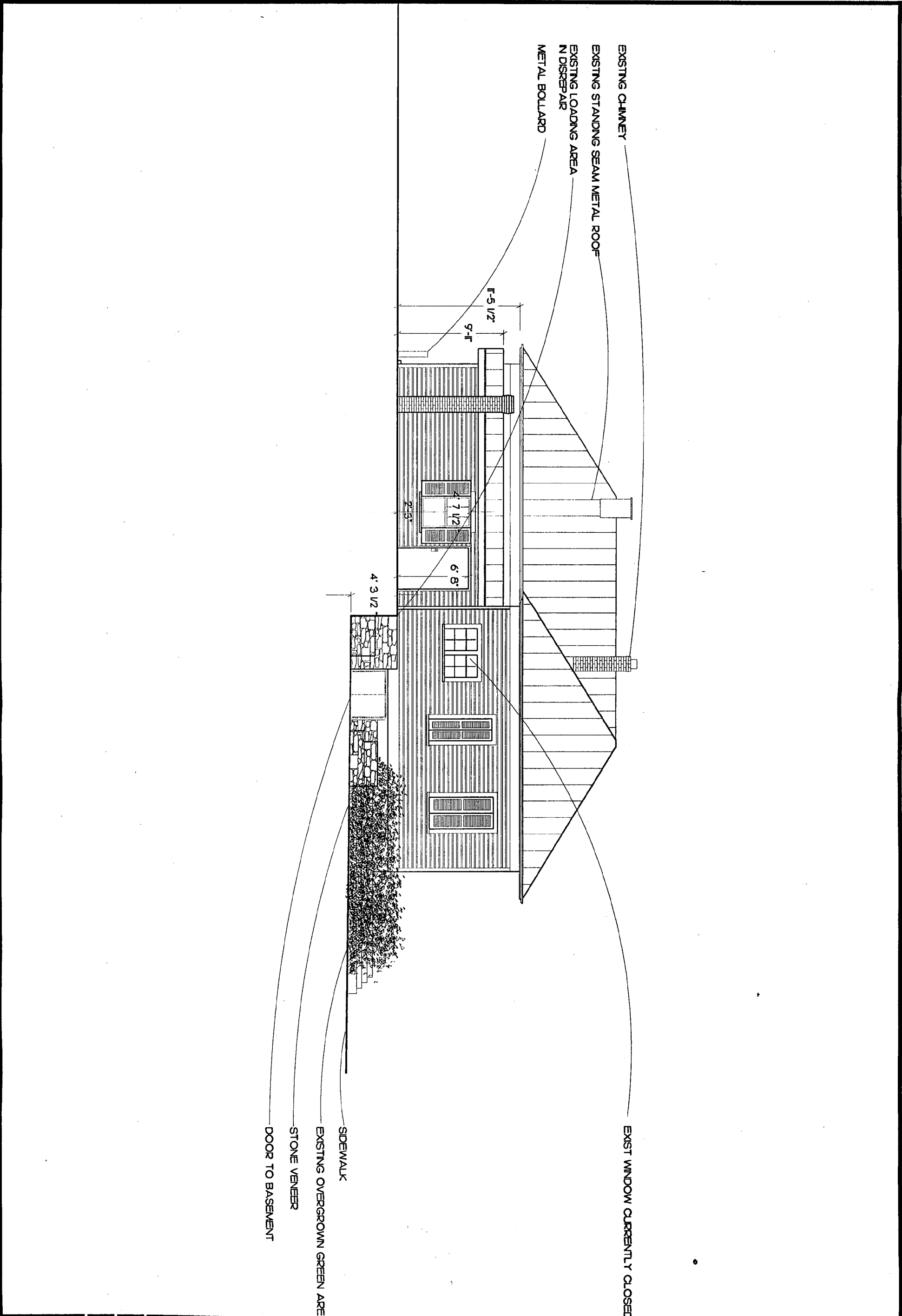
1/8" = 1'-0" SCALE

22 SEP 99 ISSUE

A004  
 DRAWING NUMBER



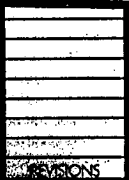
NOTE  
 PARTIALLY IN PUBLIC VIEW



**A005**  
DRAWING NUMBER

22 SEP 99  
ISSUE

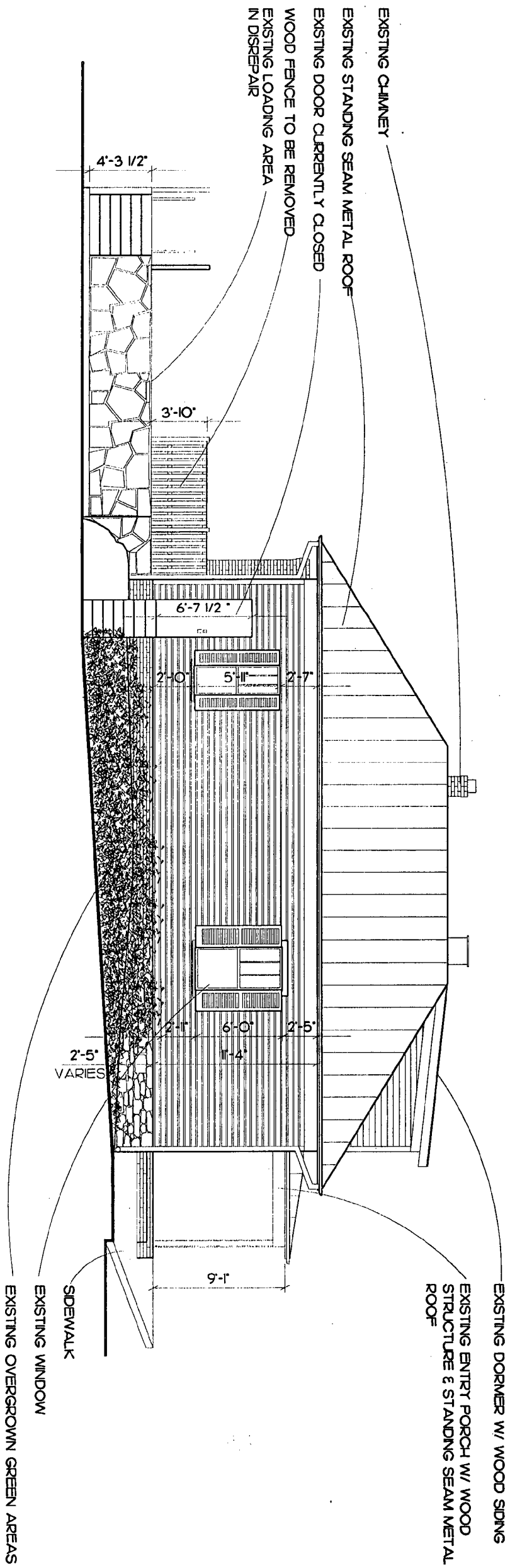
1/8" = 1'-0"  
SCALE



**EXISTING EAST ELEVATION**

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EXISTING NORTH ELEVATION

BELL & FRECH  
OFFICE  
Brookeville, Maryland

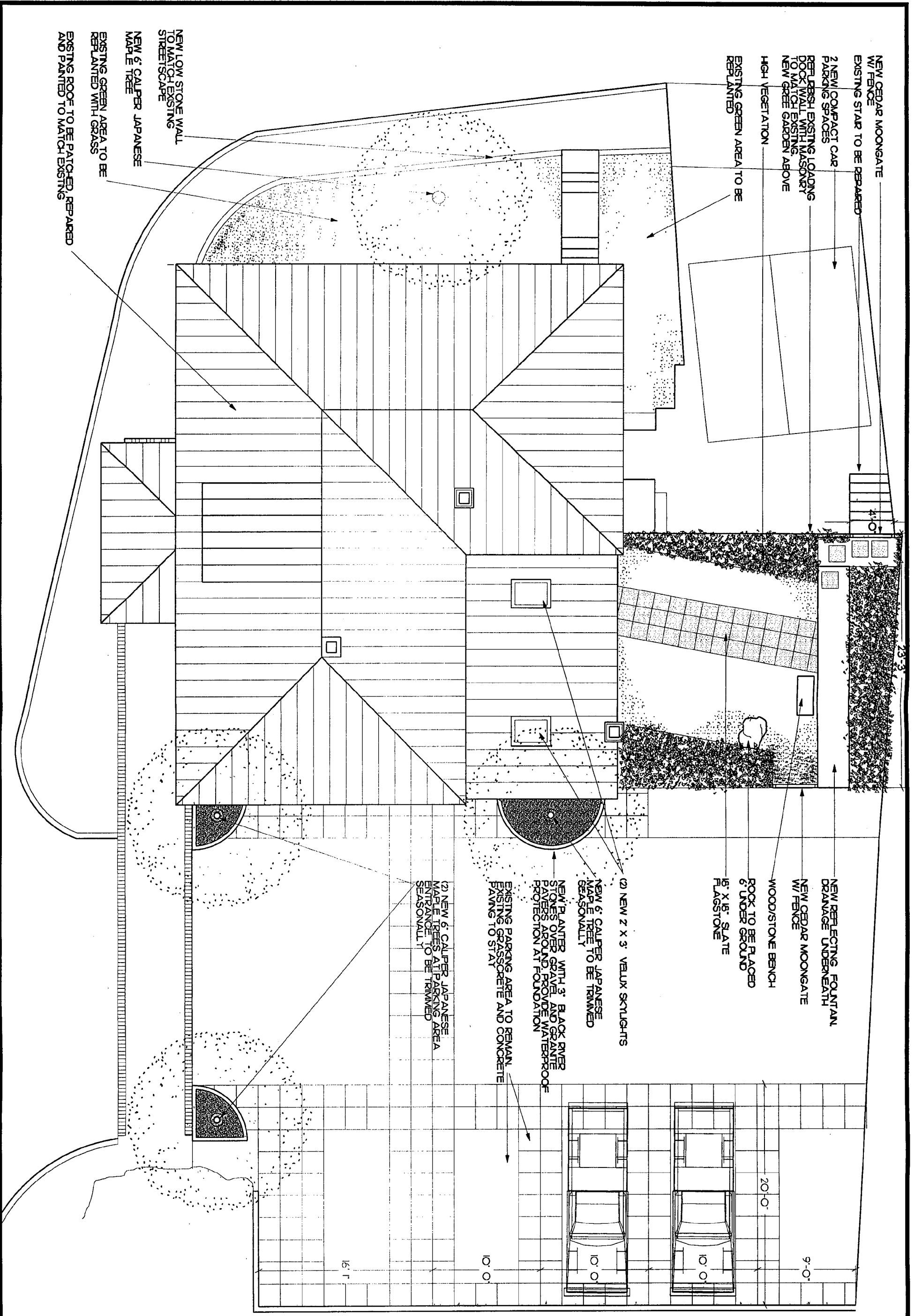
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A0006  
DRAWING NUMBER

22 SEPT. 99  
ISSUE

1/8" = 1'-0"  
SCALE

REVISIONS



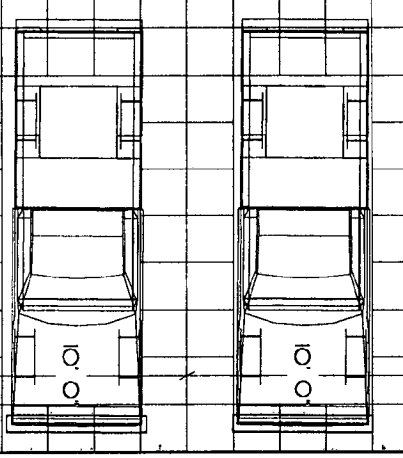
NEW CEDAR MOONGATE  
 W/ FENCE  
 EXISTING STAIR TO BE REPAIRED  
 2 NEW COMPACT CAR  
 PARKING SPACES  
 REPAIR EXISTING LOADING  
 DOCK WALL WITH MASONRY  
 TO MATCH EXISTING  
 NEW GREE GARDEN ABOVE  
 HIGH VEGETATION  
 EXISTING GREEN AREA TO BE  
 REPLANTED

NEW LOW STONE WALL  
 TO MATCH EXISTING  
 STREETSCAPE  
 NEW 6' CALPER JAPANESE  
 MAPLE TREE  
 EXISTING GREEN AREA TO BE  
 REPLANTED WITH GRASS  
 EXISTING ROOF TO BE PATCHED, REPAIRED  
 AND PAINTED TO MATCH EXISTING

NEW REFLECTING FOUNTAIN  
 DRAINAGE UNDERNEATH  
 NEW CEDAR MOONGATE  
 W/ FENCE  
 WOOD/STONE BENCH  
 ROCK TO BE PLACED  
 6' UNDER GROUND  
 18' X 18' SLATE  
 FLAGSTONE

(2) NEW 2' X 3' VELUX SKYLIGHTS  
 NEW 6' CALPER JAPANESE  
 MAPLE TREE TO BE TRIMMED  
 SEASONALLY  
 NEW PLANTER WITH 3' BLACK RIVER  
 STONES OVER GRAVEL AND GRANITE  
 PAVERS AROUND AND PROVIDE WATERPROOF  
 PROTECTION AT FOUNDATION  
 EXISTING PARKING AREA TO REMAIN.  
 EXISTING GRASS/CONCRETE AND CONCRETE  
 PAVING TO STAY

(2) NEW 6' CALPER JAPANESE  
 MAPLE TREES AT PARKING AREA  
 ENTRANCE TO BE TRIMMED  
 SEASONALLY



NEW SITE PLAN

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A101	22 SEPT. 99	1/8" = 1'-0"	REVISIONS
DRAWING NUMBER	ISSUE	SCALE	REVISIONS

NEW 6" CALPER JAPANESE  
MAPLE ENTRY TREES

EXISTING ROOF AND DORMER TO  
BE PATCHED, REPAIRED AND  
PAINTED TO MATCH EXISTING

NEW HAND-CARVED WOOD SIGN  
TO BE HUNG AT ENTRY

NEW WOOD AND GLASS FRONT DOOR  
W/ SHUTTERS TO MATCH EXISTING ONES.  
SEE DETAIL.

NEW 6" CALPER JAPANESE  
MAPLE ENTRY TREES

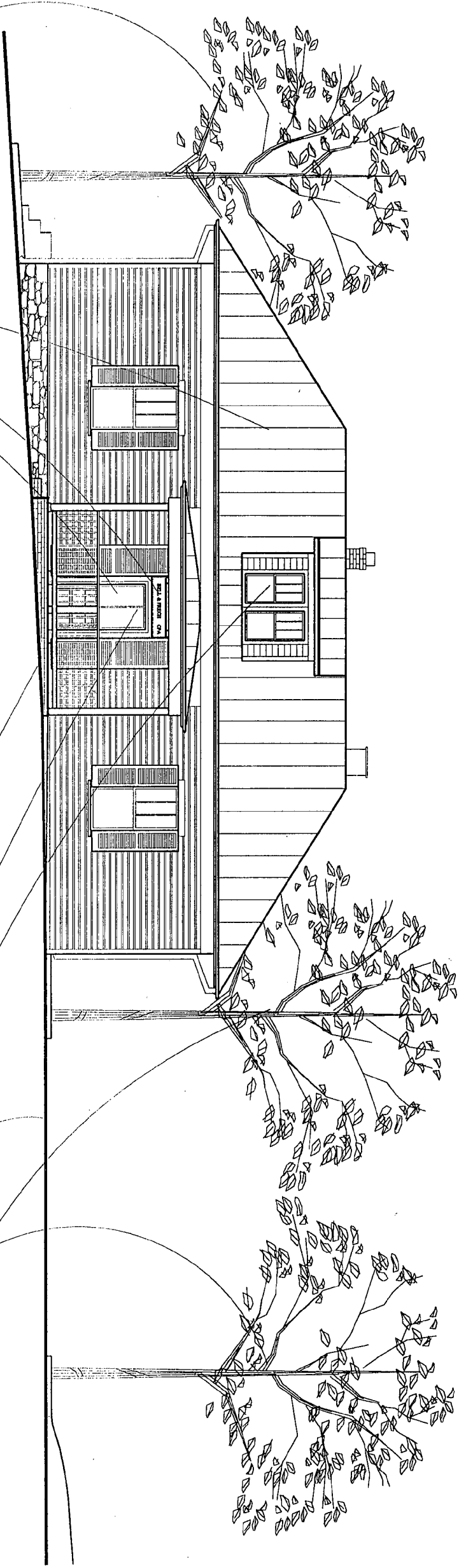
EXISTING PARKING LOT

REMOVE EXISTING A/C UNIT  
REPLACE AND MATCH WINDOW

NEW HAND-CARVED WOOD SIGN  
TO BE HUNG AT PORCH BEAM, CENTERED

RAILING NOT ORIGINAL, BUT TO BE  
PAINTED AND MAINTAINED FOR NOW

NOTE: ALL EXISTING EXTERIOR  
SURFACES TO BE PATCHED,  
REPAIRED AND PAINTED



A201

DRAWING NUMBER

22 SEPT. 99

ISSUE

1/8" = 1'-0"

SCALE


REVISIONS

NEW WEST  
ELEVATION

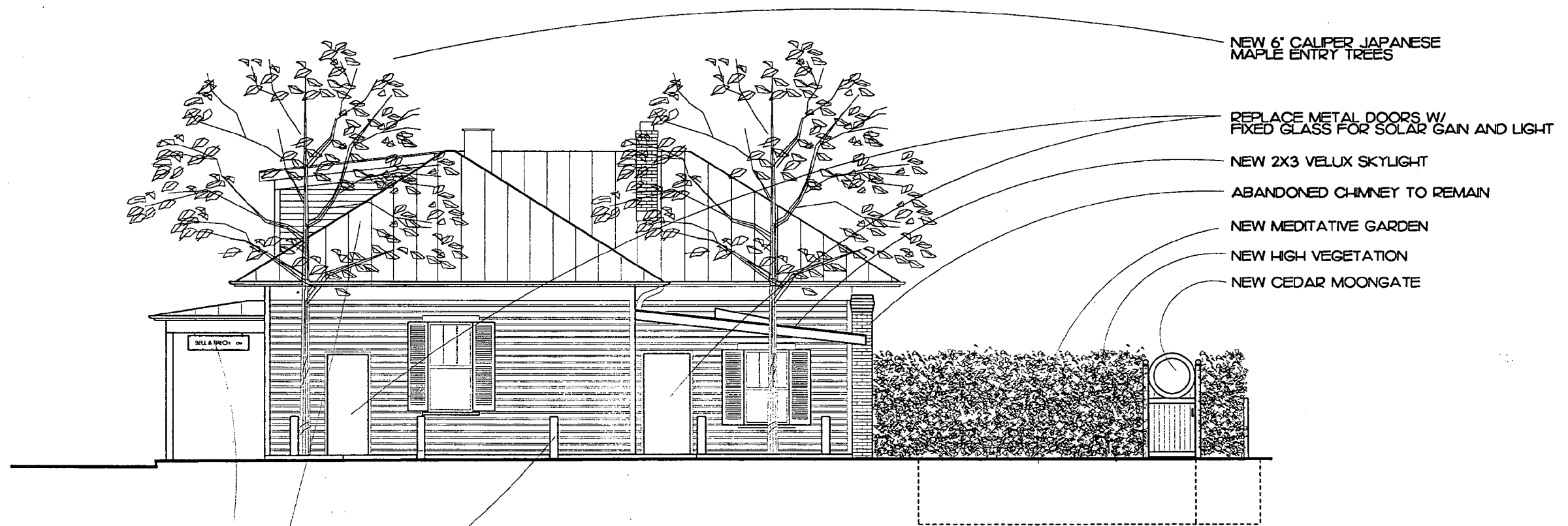
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NEW 6" CALIPER JAPANESE MAPLE ENTRY TREES

REPLACE METAL DOORS W/ FIXED GLASS FOR SOLAR GAIN AND LIGHT

NEW 2X3 VELUX SKYLIGHT

ABANDONED CHIMNEY TO REMAIN

NEW MEDITATIVE GARDEN

NEW HIGH VEGETATION

NEW CEDAR MOONGATE

NEW HAND-CARVED WOOD SIGN TO BE HUNG AT ENTRY

EXISTING ROOF AND DORMER TO BE PATCHED, REPAIRED, AND PAINTED TO MATCH EXISTING

EXISTING BOLLARDS TO REMAIN

NOTE: ALL EXISTING EXTERIOR SURFACES TO BE PATCHED, REPAIRED AND PAINTED

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NEW SOUTH ELEVATION

REVISIONS
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1/8" = 1'-0" SCALE

22 SEP 99 ISSUE

A202 DRAWING NUMBER

NEW EAST  
 ELEVATION

NO.	REVISIONS

1/8" = 1'-0" SCALE

22 SEP 1999 ISSUE

A203  
 DRAWING NUMBER



- 2 NEW 2X3 VELUX SKYLIGHT
- NEW 6" CALIPER JAPANESE MAPLE ENTRY TREES TO BE TRIMMED SEASONALLY
- HIGH GREEN VEGETATION
- EXISTING BOULDER TO REMAIN
- NEW FIXED GLASS, REMOVED WINDOW TO BE STORED IN PLACE
- NEW FOUR GLASS PANEL SLIDING PATIO DOOR - EXTERIOR PAINTED DOVE GREY
- HIGH GREEN VEGETATION

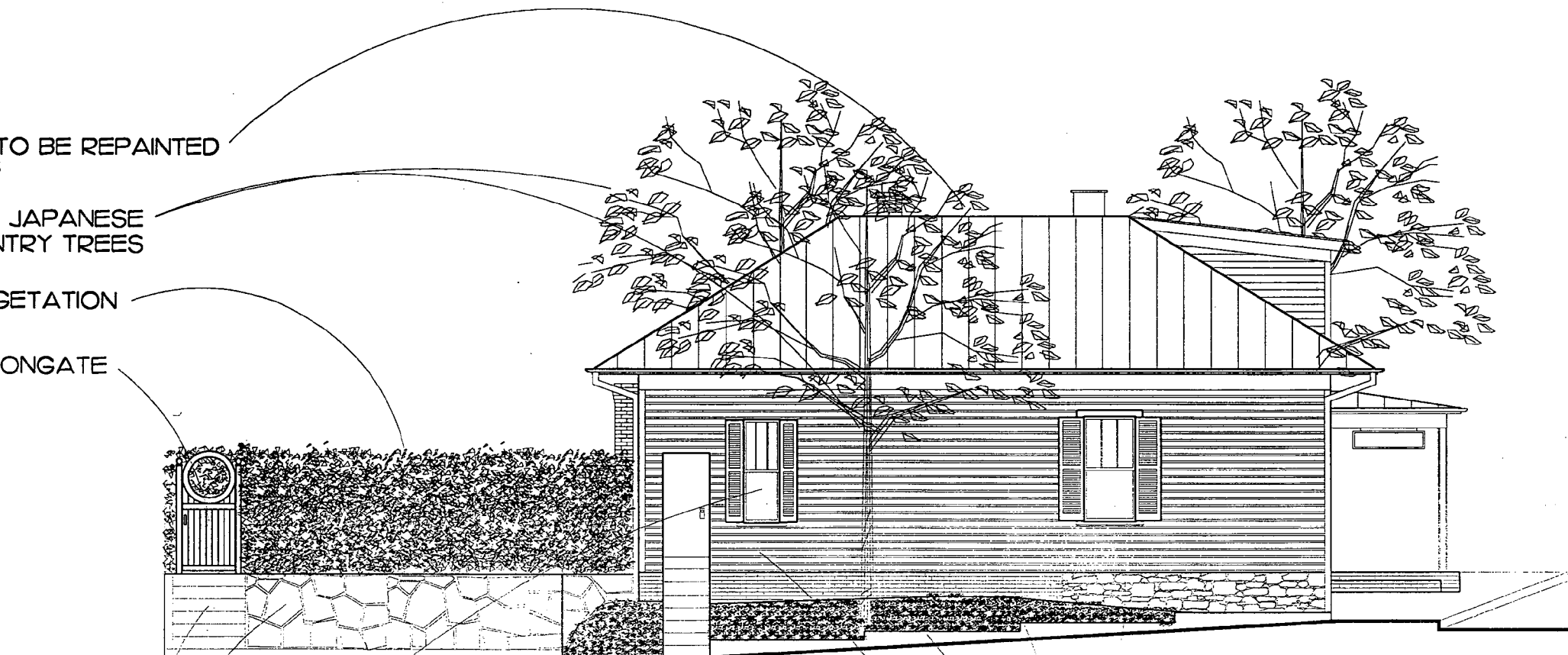
- NEW 6" CALIPER JAPANESE MAPLE ENTRY TREES
- ALL EXTERIOR SURFACES TO BE PATCHED, REPAIRED AND REPAINTED TO MATCH EXISTING
- EXISTING WINDOWS (CURRENTLY CLOSED) TO BE OPENED AND RESTORED
- EXISTING ROOF TO BE REPAINTED MATCH EXISTING

EXISTING ROOF TO BE REPAINTED  
MATCH EXISTING

NEW 6" CALIPER JAPANESE  
MAPLE ENTRY TREES

HIGH GREEN VEGETATION

NEW CEDAR MOONGATE



EXISTING STONE STAIR AND  
LOADING DECK WALL TO BE  
RESTORED

EXISTING WINDOW (CURRENTLY  
CLOSED) TO BE OPEN

EXISTING GREEN AREA TO BE PLANTED W/  
GRASS. EXISTING FOUNDATION TO BE EXPOSED

NEW LOW STONE WALL  
TO MATCH EXISTING STREETScape

ALL EXTERIOR SURFACES TO BE PATCHED,  
REPAIRED AND REPAINTED TO MATCH EXISTING

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NEW NORTH  
ELEVATION

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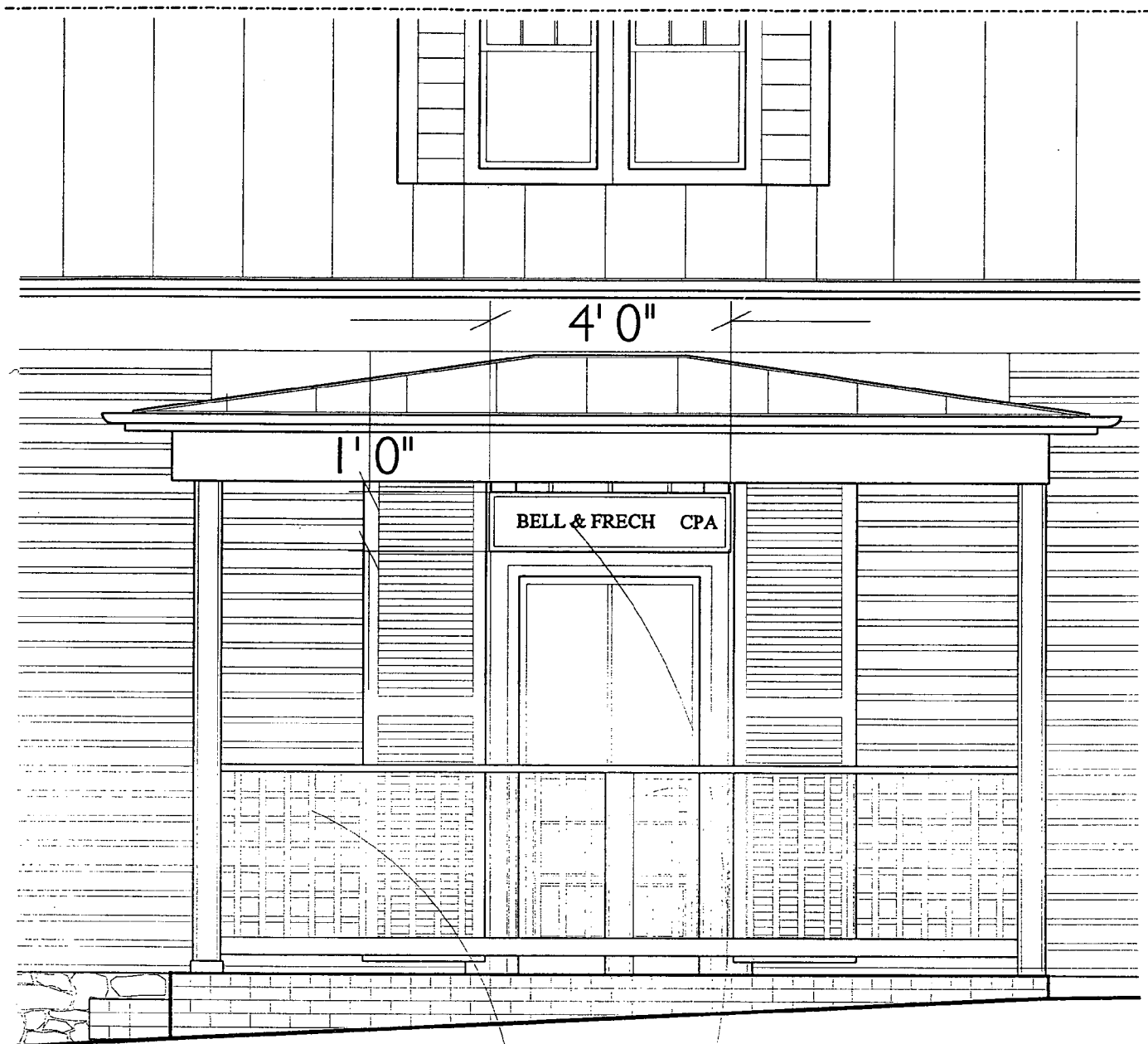
1/8" = 1'-0" SCALE

22 SEP 1999 ISSUE

A204

DRAWING NUMBER

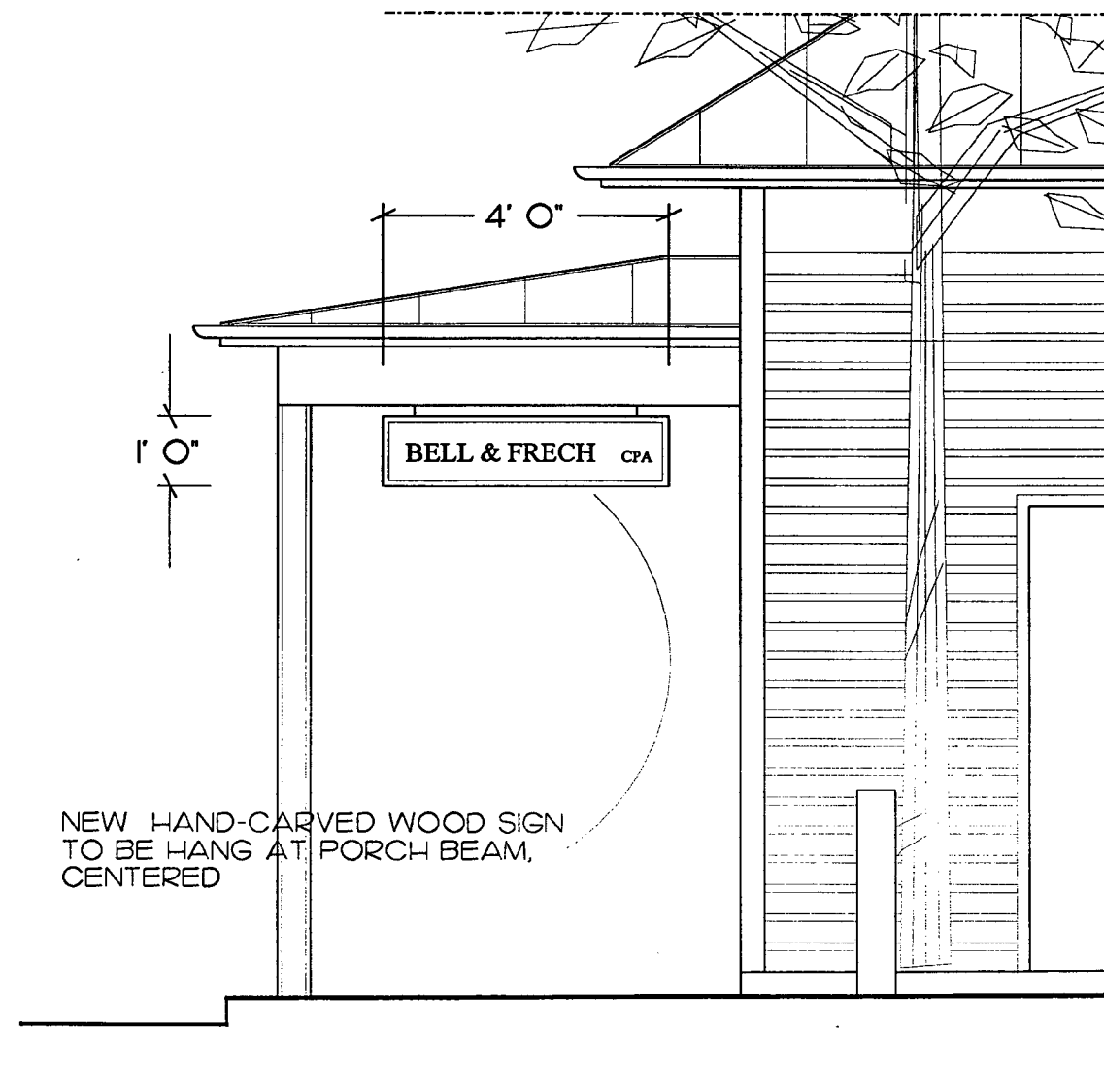




RAILING NOT ORIGINAL BUT TO BE PAINTED AND MAINTAINED FOR NOW

NEW HAND-CARVED WOOD SIGN TO BE HUNG AT PORCH BEAM, CENTERED. SAME AT SOUTH ELEVATION

NEW SIGN AT ENTRY  
WEST ELEVATION



NEW HAND-CARVED WOOD SIGN TO BE HUNG AT PORCH BEAM, CENTERED

NEW SIGN AT ENTRY  
SOUTH ELEVATION

REVISIONS

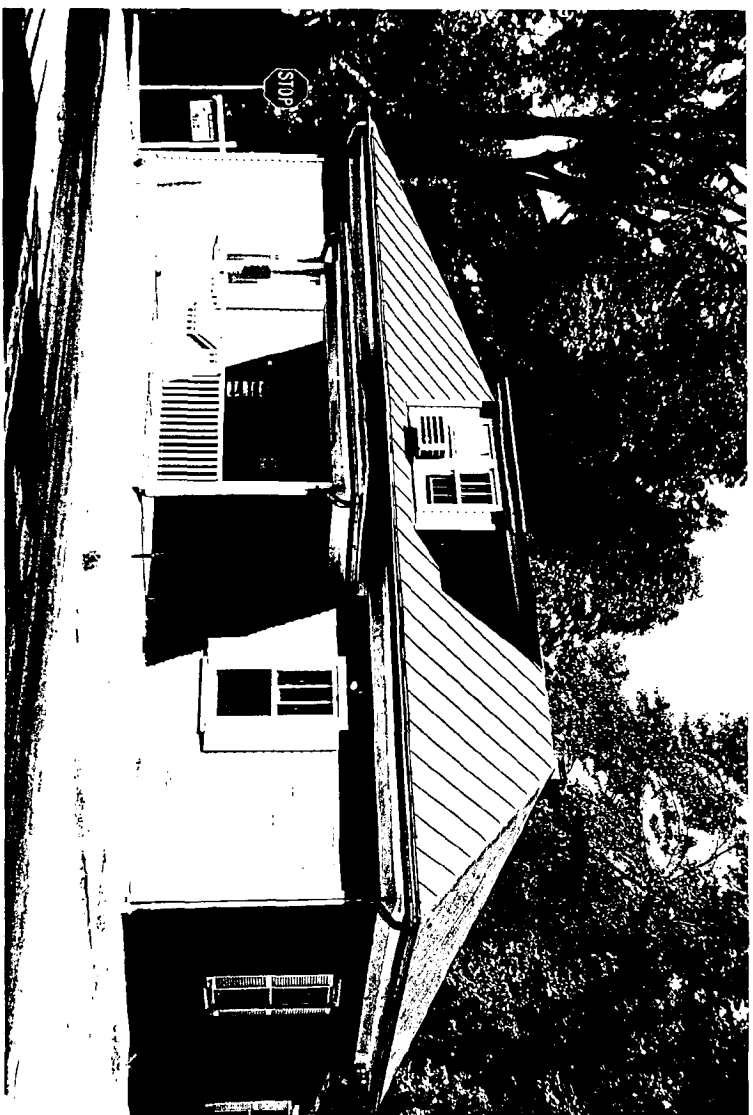
3/8" = 1'-0" SCALE

22 SEP 1999 ISSUE

A502  
DRAWING NUMBER



VIEW 1 A



VIEW 1 B



VIEW 2



VIEW 3

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