

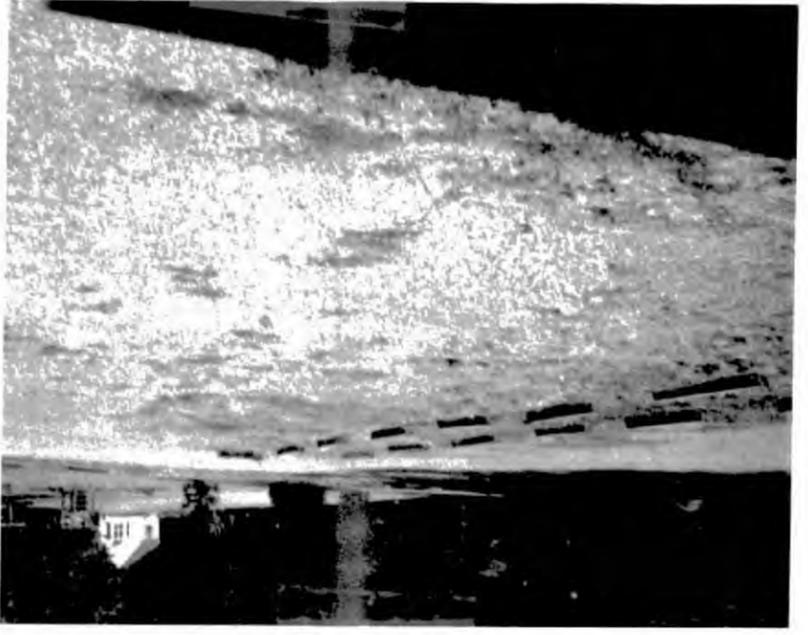
23/65-99C Salem UMC (continued)
(Brookeville Historic District)

mjp

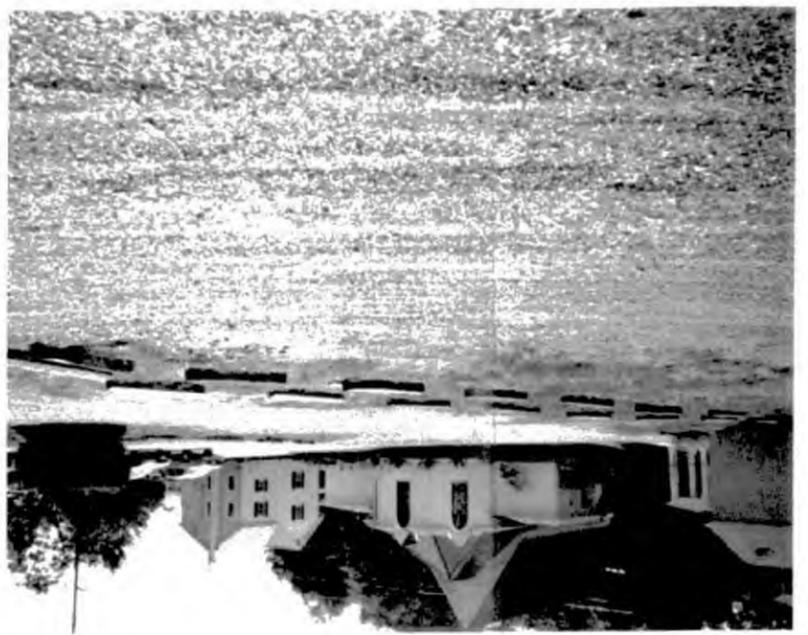
Salem Vmc
slides

Salem Unit Methodist Church
12 Hill Street
Brooksville MD 20833

facing right rear of
parking area to be
gravelled only



Rear of parking
area
Gravel only



New
wheel stops

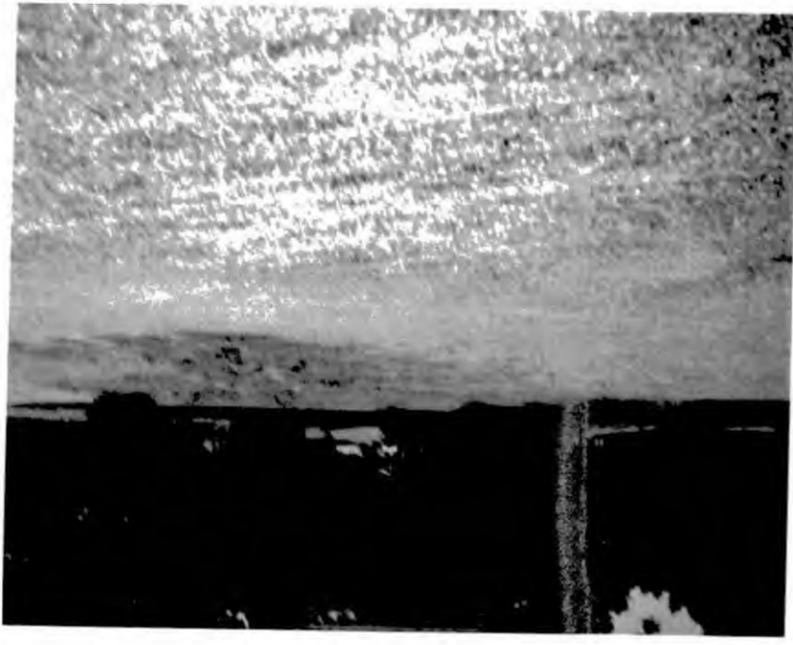
Existing Blacktop - connect this entrance
with Blacktop



Left side of parking area
with wheel stops
to be gravelled



Remnant of bush end
15X13 for backing of
vision
Right hand bush.



Handicap Ramp for bc
blacktopped





RETURN TO: DEPARTMENT OF PERMITTING SERVICE
250 HUNGERFORD DRIVE, 2nd FLOOR, BROOKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 732146

Name of Property Owner: Salem United Methodist Church Daytime Phone No.: 301-774-7772

Address: 12 High Street Brookville MD 20833
Street Number City State Zip Code

Contractor: A B Vicks and Sons Inc Phone No.: 301-670-3600

Contractor Registration No.: 524

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 12 Street High Street

Town/City: Brookville Nearest Cross Street: Church Street

Lot: _____ Block: _____ Subdivision: BROOK GROVE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Gravel parking lot

1B. Construction cost estimate: \$ 23400.00 5000 sq ft. blacktop on Handicap parking area

1C. If this is a revision of a previously approved active permit, see Permit # connect two entrance

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Frederic C. Ames, Jr.
Signature of owner or authorized agent

8-26-1999
Date

Approved: W/ CONDITIONS For Chairman, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 10-28-99

Application/Permit No.: 990826086 Date Filed: 8/26/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
Gravel over existing gravel 3" of 21-A crusher run. Install cement wheel stops

~~Blacktop to connect both entrances and handicap parking area.~~

~~Remove part of a peninsula and re-locate bush. This blocks the view of the cars.~~

This will make our parking lot easier for people to walk, and use canes,

walkers or wheel chairs to enter our buildings.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of wells, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

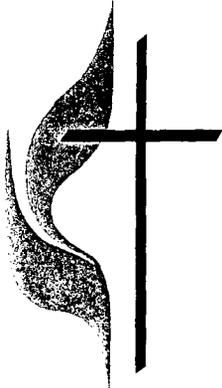
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Salem United Methodist Church

12 HIGH STREET

BROOKEVILLE, MARYLAND 20833

(301) 774-7772

November 17, 1999

Chairman
The Maryland National Capitol Park & Planning Commission
8787 Georgia Avenue
Silver Spring, MD 20910-3760



Dear Mr. Kousolus:

This addresses the questions that the commission had at the conclusion of our recent hearing on the improvements to the parking lot of Salem Church. They concerned the finality of our action concerning the blacktopping of the parking lot, and the possibility of water run-off affecting our church neighbors as a result of the requested permit.

- 1) The church has no plan to petition the commission for any further expansion of the improvements to the church parking lot; that is, we have no intention of putting any more blacktop on the balance of our parking lot.
- 2) While no problems concerning water run-off have been brought to our attention recently, our insurance policy covers any future problems that may arise over water run-off from the parking lot as it affects the neighboring properties.

We appreciate the time and effort that your staff has put into our request.

Respectfully,

Gary Sheffield-James
Pastor

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 10-28-99

TO: Local Advisory Panel/Town Government BROOKVILLE LAD

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 10-27-99.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G:\wp\laphawp.ltr

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 10-28-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

<p>B.A. Ray #6 High Street Brookeville, md 20833</p>	<p>American Federal mortgage Corp. 1700 Rockville Pike Rockville md 20850 #1 Church Street</p>
<p>TODD + MARGARET VANGELDER 306 MARKET STREET BROOKEVILLE MD 20833</p>	<p>Mr + Mrs Greg Horton 14 High Street BROOKEVILLE MD 20853</p>
<p>LESLIE + JOE UNGLESBEE 308 MARKET STREET BROOKEVILLE MD 20833</p>	
<p>DAVID E. LANG 310 MARKET STREET BROOKEVILLE MD 20833</p>	
<p>R.T. + SUSAN BARTLEY #5 Church Street Brookeville md 20833</p>	

STAFF DISCUSSION

This proposed asphalt driveway and asphalt paved handicapped parking area will be located at the rear of the property and would not be visible from High Street. However, this driveway and parking area would be visible from Church Street, a public gravel road and would be located in a public parking lot. The applicant's proposal is in response to the church's need for accessibility for its elderly and handicapped congregation. In 1997, the commission approved a covered handicap ramp and walkway accessed from the gravel driveway and handicapped spaces to provide access. At the September 22, 1999 meeting the applicant gave testimony that the current request for additional paving was to provide a means for its handicapped and elderly congregation to have access to the parking lot from the front entrance on Georgia Avenue. Staff would point out that access is provided along the paved driveway on the side of the church and with the installation of the covered walkway in 1997. The proposed paving would not increase the accessibility of the church for its patrons. In order to maintain the existing integrity of the historic landscape, staff would recommend a level, well-maintained gravel driveway and parking lot.

During the September 22, 1999 meeting the commission heard testimony from adjacent property owners concerned about the proposed asphalt driveway. Several owners testified that they have an existing problem with water run-off from the church parking lot. These property owners are concerned that the proposed driveway would increase the flow of run-off to their properties. The commissioners asked staff to speak to the contractor about these concerns and to have the contractor address the impact of the proposed driveway on these property owners. A letter from the contractor is attached, which indicates there would be no further impact from increased paving. As there are concerns about the existing conditions, staff would encourage the applicant to address the drainage issues with its adjacent property owners before any work on the parking lot is approved.

The grass peninsula with its large yew bush has become a blind spot in the parking lot. It should be noted that due to the size of the bush, relocation is not an option. The yew bush is not historic plant material. Staff supports the removal of the peninsula and yew bush.

The replacement of the wood wheel stops with precast concrete wheel stops is considered a loss of traditional material, but since it is removable staff would not oppose its installation.

The replacement in kind of the crushed stone parking area does not require a HAWP if the stone is of similar size and color.

The Brookeville LAP is in favor of the staffs recommendations.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

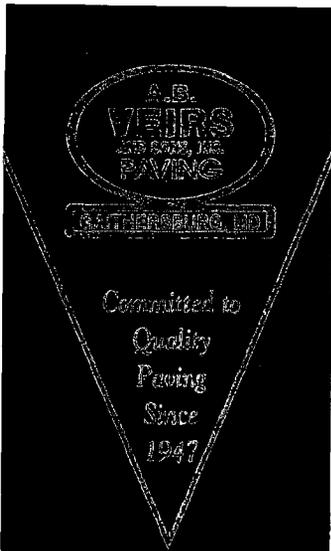
and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

CONDITIONS

1. The asphalt paving is eliminated from the proposal.
2. The existing trees or plant material are protected from damage during the gravel installation.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits**, and that after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



September 28, 1999

Maryland National Capital Park &
Planning Commission
8787 Georgia Avenue
Silver Spring, Md. 20910

Attn: Michelle Naru
Historic Preservation

**RE: Salem United Methodist Church
Brookeville, Md.**

Dear Ms. Naru:

Our firm has been selected by The Salem United Methodist Church of Brookeville, Maryland to make minor improvements to the Church's parking facilities. The scope of our work is as follows:

1. Install asphalt paving in the ingress-egress drive lane and handicap parking area. Approximate area of new paving is 4,300 square feet, which represents a little less than 20% of the existing stoned area behind the Church.
2. Grade the remaining portion of the existing stone lot and install additional stone in order to make the lot more pedestrian friendly.
3. Install new precast concrete wheel stops.

It is our understanding that there may be a concern about additional water runoff from the parking lot resulting from these improvements. Our experience would indicate otherwise. The portion of the existing stone lot to be paved with asphalt is a relatively small portion of the overall lot and should not generate additional runoff nor cause any adverse affects to either the Church property or that of the surrounding neighbors. Please remember that more than 80% of the existing stone lot will "Remain" as stone thus "Buffering" what would be considered by us to be no more than a residential driveway.

Again, let us say that we believe this work to be normal maintenance work on the Church's parking lot and will not add to, detract from, or in any way, change what now exist as far as parking facilities are concerned.

Should you have any questions we would be more than happy to discuss the issue in further detail.

Sincerely,
A.B. Veirs and Sons, Inc.

Alvin B. Veirs, Jr.

7411-L
Lindbergh Drive
Gaithersburg, MD
20879

(301) 670-3800
Fax (301) 977-2132

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 732146

Name of Property Owner: Salem United Methodist Church Daytime Phone No.: 301-774-7772

Address: 12 High Street Brookville MD 20833
Street Number City State Zip Code

Contractor: A Buicars and Sons Inc Phone No.: 301-670-3800

Contractor Registration No.: 524

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 12 Street: High Street

Town/City: Brookville Nearest Cross Street: Church Street

Lot: _____ Block: _____ Subdivision: BROOK GROVE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|---|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: <u>Gravel parking Lot</u> | | | |

1B. Construction cost estimate: \$ 23400.00 5000 sq. ft. blacktop on Handicap parking area

1C. If this is a revision of a previously approved active permit, see Permit # _____ connect two entrance

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Trisha C. Greig, Trustee
Signature of owner or authorized agent

8-26-1999
Date

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
Gravel over existing gravel 3" of 21-A crusher run. Install cement wheel stops

Blacktop to connect both entrances and handicap parking area.

Remove part of a peninsula and re-locate bush. This blocks the view of the cars.

This will make our parking lot easier for people to walk, and use canes,

walkers or wheel chairs to enter our buildings.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

B.A. Ray
#6 High Street
Brookeville, md 20833

American Federal Mortgage Corp.
1700 Rockville Pike
Rockville md 20850

#1 Church Street

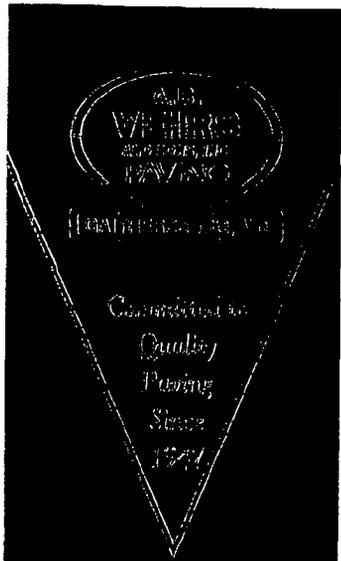
TODD + MARGARET VANGELDER
306 MARKET STREET
BROOKEVILLE MD 20833

Mr & Mrs Greg Horton
14 High Street
BROOKEVILLE MD 20853

LESLIE + JOE UNGLESBEE
308 MARKET STREET
BROOKEVILLE MD 20833

DAVID E. LANG
310 MARKET STREET
BROOKEVILLE MD 20833

R.T. + SUSAN BARTLEY
#5 Church Street
Brookeville md 20833



What would the impact of the 25' asphalt drive way —

Aug. 2, 1999

Mrs. Frieda Gregg
Salem United Methodist Church
12 High Street
Brookeville, Md. 20833

Phone: 301-774-7390

Dear Mrs. Gregg:

We are pleased to offer our proposal for services on the above referenced project in accordance with the specifications listed below:

1. Cut out grass peninsula island to a depth six inches (6") below surrounding parking area. Install stone to bring area level with surrounding lot.
2. Remove all wood wheel stops and replace with precast concrete wheel stops.
3. Undercut area of old tree stump and replace with compactable CR-6 crushed stone.
4. Grade entire stone parking and drive area and remove any vegetation generated by grading.
5. Dig out area between ± 30' x 175' plus handicap parking area 20' x 25' to a depth of 2 to 3 inches.
6. Roll subgrade and install asphalt drive lanes with 2-1/2" of compacted asphalt base and 1-1/2" of compacted asphalt topping.
7. Place approximately 3" of 21-A crushed stone over remaining portion of parking area and roll for compaction.

FOR THE SUM OF: \$23,400.00

Respectfully submitted,
A. B. Veirs & Sons, Inc.

Alvin B. Veirs, Jr., #18762

NOTE: A. B. Veirs & Sons, Inc. have the right to withdraw this proposal if not accepted within 30 days.

Acceptance of Proposal: The prices, specifications and conditions set forth in this proposal are satisfactory and are hereby accepted. You are authorized to do the work as specified. **Payment Terms:** A deposit of one third (1/3) due upon acceptance of contract; one third (1/3) will be due upon commencement of work; **balance** due upon completion of work. Please **sign and initial** each page in the space provided. Upon our acceptance a signed copy will be returned for your records.

Authorized Signature:	Title:
Please Print Name:	Date:

7411-L
Lindbergh Drive
Gaithersburg, MD
20879

(301) 670-3800
Fax (301) 977-2132

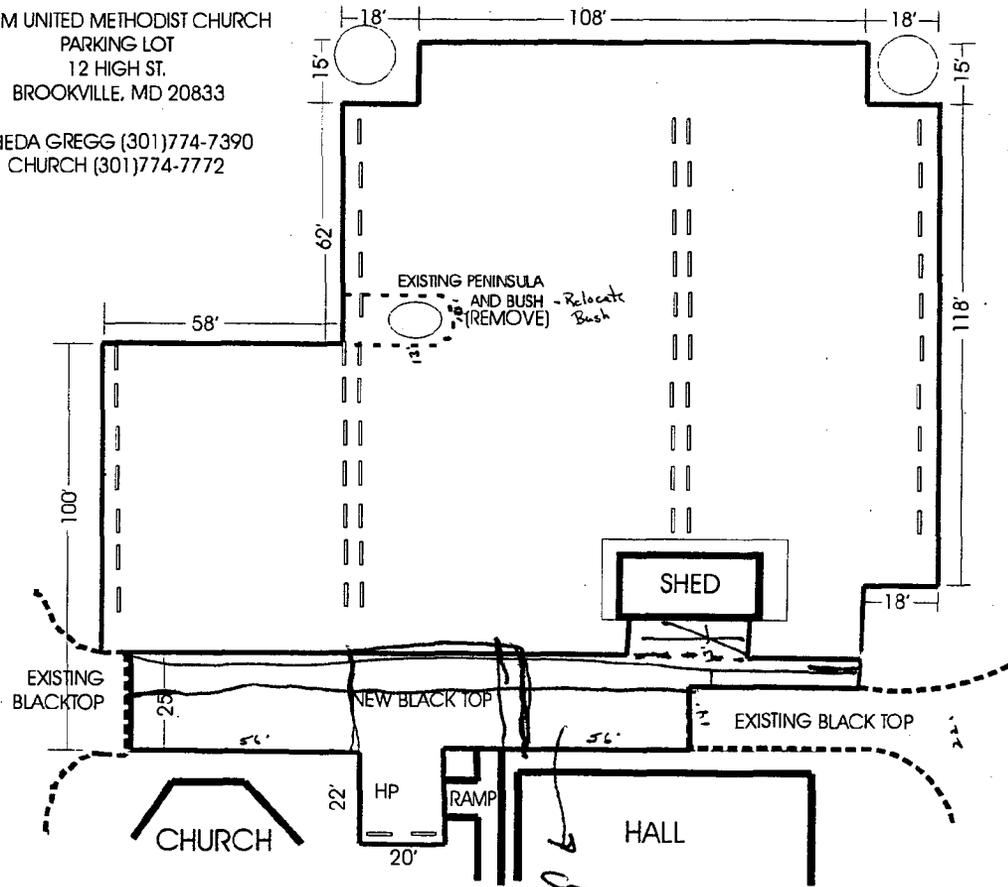
Maryland Home Improvement Contract License # 584
See attached Terms, Conditions and Exclusions

Initials	
----------	--

Att: John Donovan

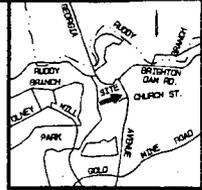
SALEM UNITED METHODIST CHURCH
PARKING LOT
12 HIGH ST.
BROOKVILLE, MD 20833

FRIEDA GREGG (301)774-7390
CHURCH (301)774-7772



SITE AREAS RUNOFF SUMMARY

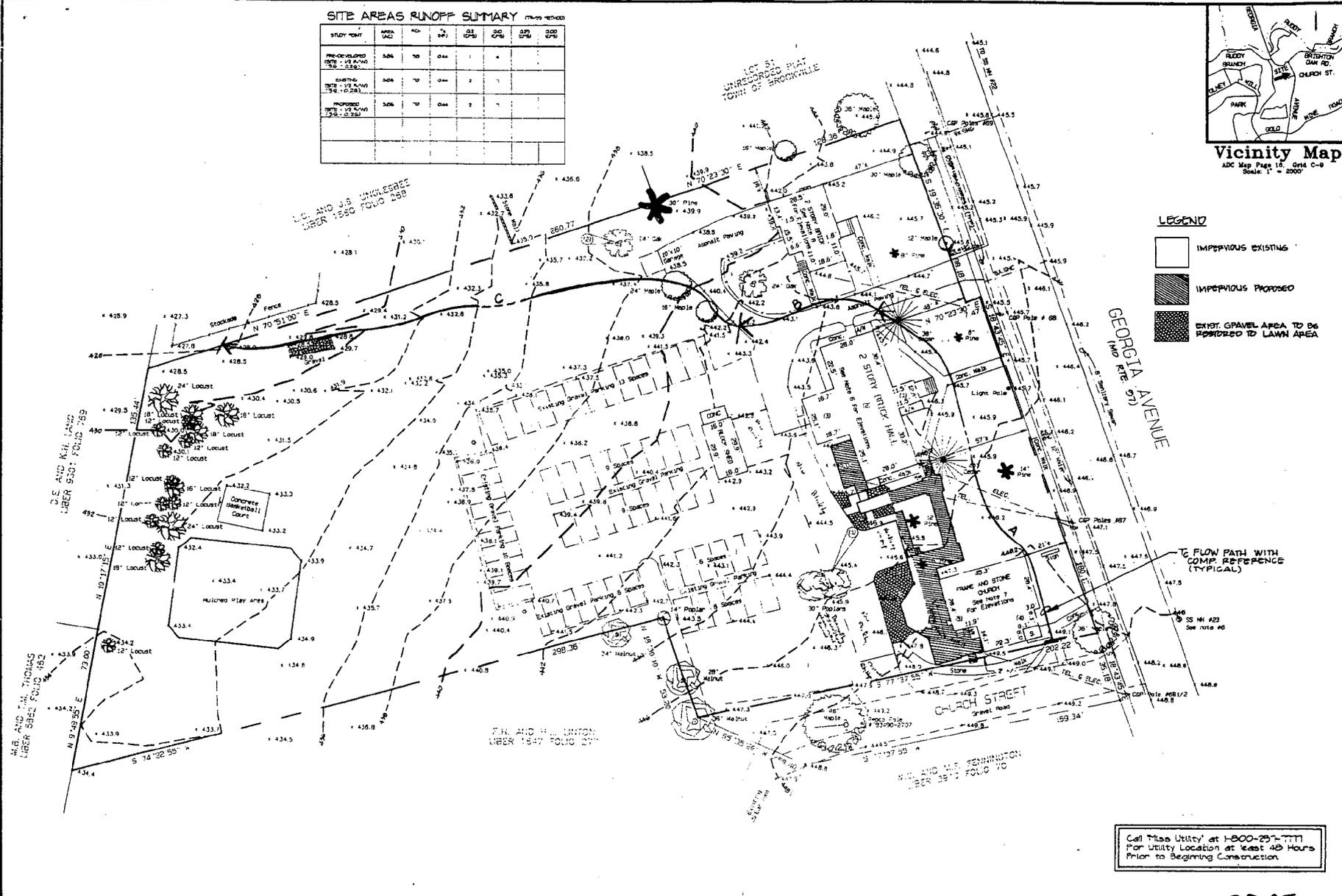
STUDY UNIT	AREA (AC)	IMP.	PERC.	Q1	Q2	Q3	Q4
REDEVELOPED SITE - 1/2 ACRE	0.06	70	0.44	1	1		
EXISTING SITE - 1/2 ACRE	0.06	70	0.44	2	1		
PROPOSED SITE - 1/2 ACRE	0.06	70	0.44	2	1		



Vicinity Map
ADC Map Page 16, Grid C-9
Scale 1" = 200'

LEGEND

- IMPERVIOUS EXISTING
- IMPERVIOUS PROPOSED
- EXIST. GRAVEL AREA TO BE REPAIRED TO LAWN AREA



DATE	10/24/94
BY	C.H.T.
SCALE	1" = 20'

PROPERTY OF
SALEM METHODIST CHURCH
Oney (6th) Election District
Montgomery County, Maryland
S.W.M. WAIVER - DRAINAGE STUDY PLAN

SNIDER & ASSOCIATES
LAND PLANNING CONSULTANTS
2 Professional Drive, Suite 211
Gaitherburg, Maryland 20878
301-460-3100

Call Miss Utility at 1-800-257-7777
For Utility Location at least 48 Hours
Prior to Beginning Construction

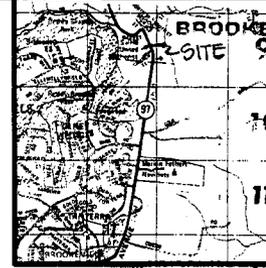
7-7-95

GENERAL NOTES

- 1) Zoning: Town of Brookeville.
- 2) Water Category - 1 Sewer Category - 1
- 3) Boundary from a Plat of Survey entitled 'PARTS OF TRACTS OF LAND CALLED ADDITION TO BROOK-GROVE', by R. K. Maddox & Associates, dated May, 1991
- 4) 9-foot contour data from M-NCP4 PD Records.
- 5) Site Area = 3.6 AC +/-
- 6) Property shown on Tax Map HU 962, P. 602, P. 603 & P. 640.
- 7) Property shown on WSSC 200' Sheet ZT1 NW 3.
- 8) Property shown on Montgomery County Soils Survey Map No. 14. Soil types on and around site: B, C, I60 & F6.
- 9) Flood Zone 'C' per HLD, FRM1 maps, Community Panel No. 240166-000-A.
- 10) Site is located in the Hawlings River watershed.

SITE AREAS RUNOFF SUMMARY (TR-55 METHOD)

STUDY POINT	AREA (AC)	RCN	Tc (HR)	Q2 (CFS)	Q10 (CFS)	Q25 (CFS)	Q100 (CFS)
PRE-DEVELOPED (SITE + 1/2 R/W)	3.66	50	0.44	1	4		
EXISTING (SITE + 1/2 R/W)	3.66	70	0.44	2	7		
PROPOSED (SITE + 1/2 R/W)	3.66	70	0.44	2	7		



VICINITY MAP
MDC MAP PAGE 18, GRID C-9
SCALE: 1" = 2000'

DATE	BY	REVISION

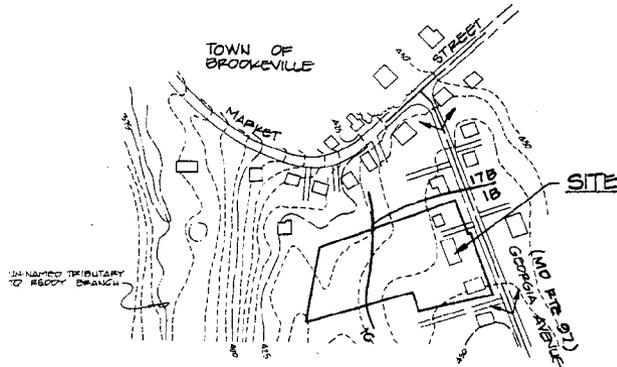
PROPERTY OF
SALEM METHODIST CHURCH
Olney (6th) Election District
Montgomery County, Maryland
DRAINAGE AREA MAP

SNIDER & ASSOCIATES
LAND PLANNING CONSULTANTS
2 Professional Drive, Suite 216
Catharsburg, Maryland 20879
301/448-0100 • Fax 301/448-1228



LEGEND

- EXISTING/PROPOSED DRAINAGE DIVIDES
(SEE DRAINAGE STUDY PLAN) TO FLOW PATH WITH CORP. REFERENCE
- SOIL TYPE BOUNDARY



CALL 988 UTILITY AT 1-800-293-7771
FOR UTILITY LOCATION AT LEAST 48 HOURS
PRIOR TO BEGINNING CONSTRUCTION

SALEM METHODIST CHURCH
DRAINAGE AREA MAP

7-7-95

12

