

12/31-97A 20900A Martinsburg Rd.  
Dickerson (MP #12/31)

9/5/97  
AK

Send copies of staff report + agenda  
to:

①

MICHAEL PROFFITT

PROFFITT & PRYOR ARCHITECTS

100 NORTH MARKET ST.

FREDERICK, MD. 21701

②

HAMID OMIDVAR

DEPT. OF PUBLIC WORKS & TRANSPORTATION

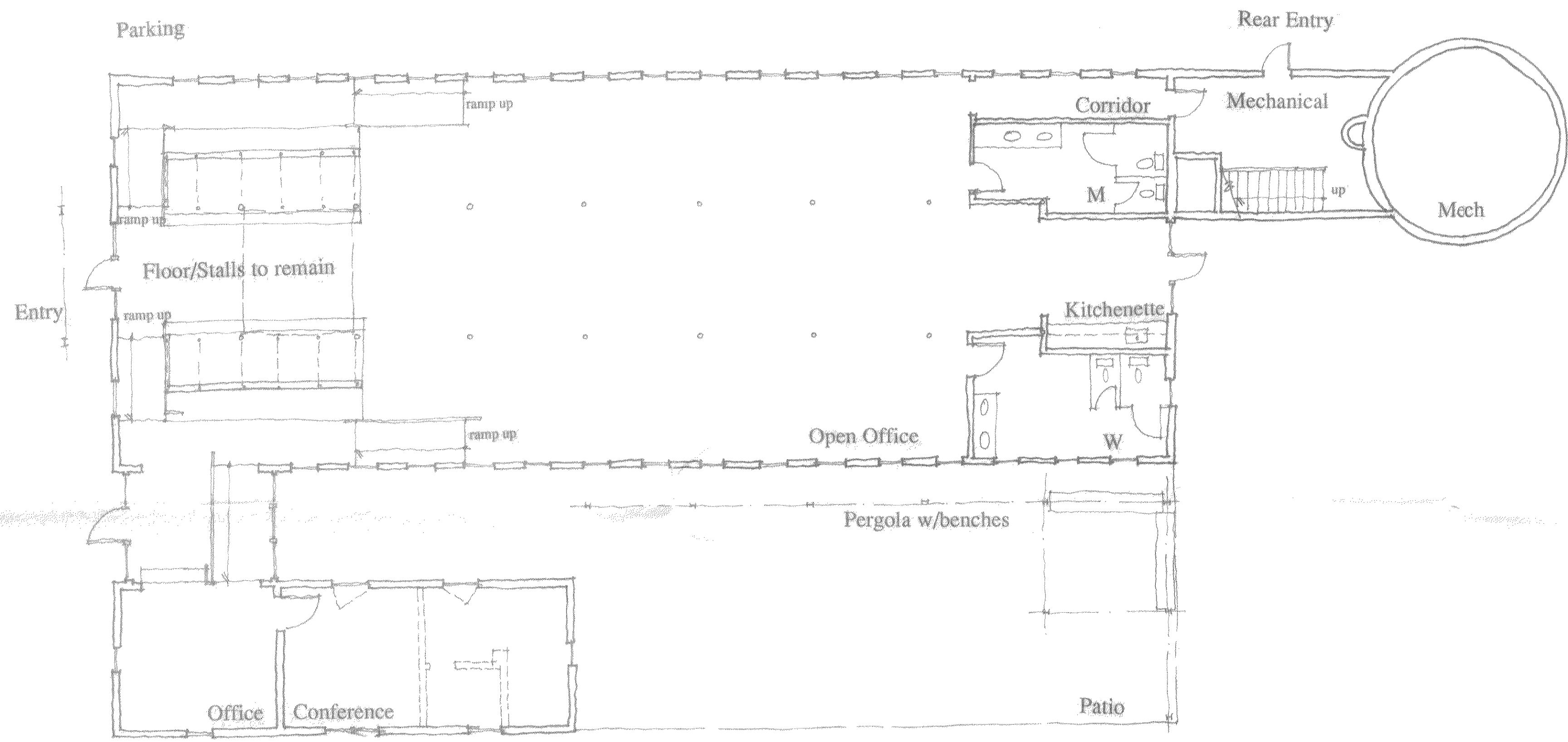
CAPITAL PROJECTS MANAGEMENT

110 N. WASHINGTON ST. SECTION

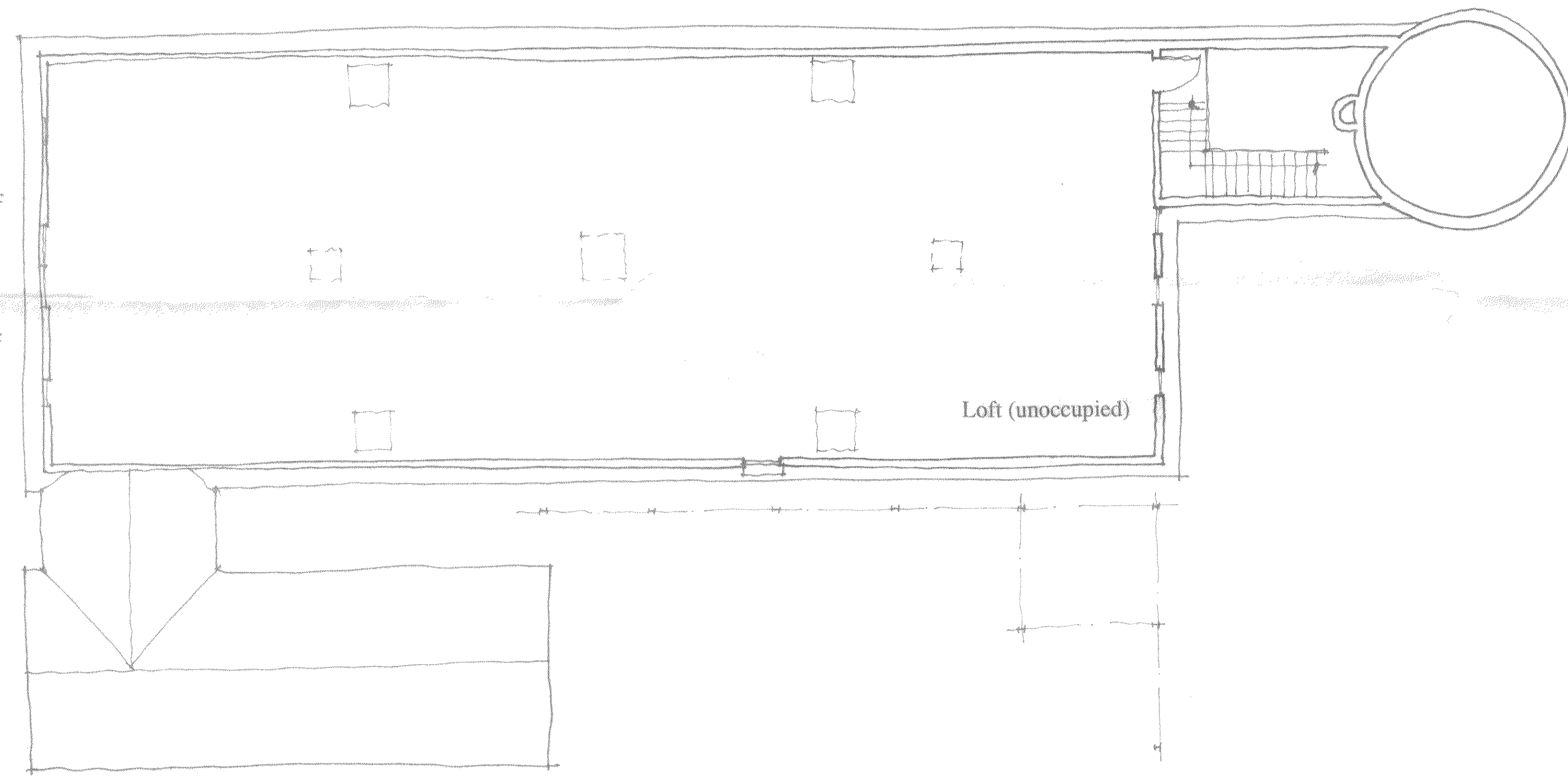
3RD FLOOR

ROCKVILLE, MD. 20850

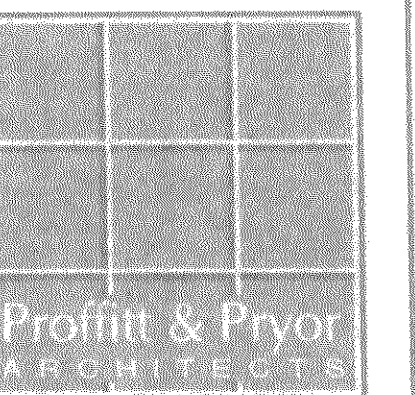
(OVER)



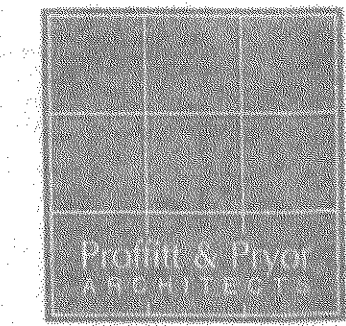
**First Floor Plan**  
1/8"=1'-0"



**Loft Floor Plan**  
1/8"=1'-0"



113 East Patrick Street  
Frederick, Maryland 21701  
(301) 662-8532



**OUTLINE DESCRIPTION OF WORK**

Renovation of a Barn for  
Sugarloaf Citizens Association  
Dickerson, Maryland  
Project # 96-74  
March 1997

*Architectural*

**General Approach:** To maintain the appearance of a barn, retaining all major elements of the existing exterior structure. Interiors are to be open and flexible, again, consistent with the interior historically. Existing sloping floor slab to be removed and replaced with new floor slab, at the lower height. Roof to be insulated with batt insulation between the major structural members. Environmentally sensitive materials and methods will be utilized to the fullest extent possible.

**Fire Separation Assemblies:** None required. See attached code analysis.

**Interior Construction:** Interior partitions to be removable/operable through custom designed system. See drawings.

**Doors/Windows:** Interior doors will be solid core wood doors, or hollow metal doors, with a veneer of sheet zinc.

**Interior Wall Finishes:** Paint on existing plaster walls, patched and repaired. Restrooms will be bare concrete floor, with plate steel base or ceramic tile base, and ceramic tile wainscot to 48" A.F.F. on all walls in all baths.

**Interior Floor Finishes:** Concrete with finish system, possibly an epoxy paint or stain. Floor will be inlaid with a brass bar, to indicate the path of the hinging partitions.

**Interior Ceilings:** Wainscoting to remain, patched, repaired and painted.

**Furniture:** As determined by the Owner.

**Specialties:** None anticipated.

*Structural*

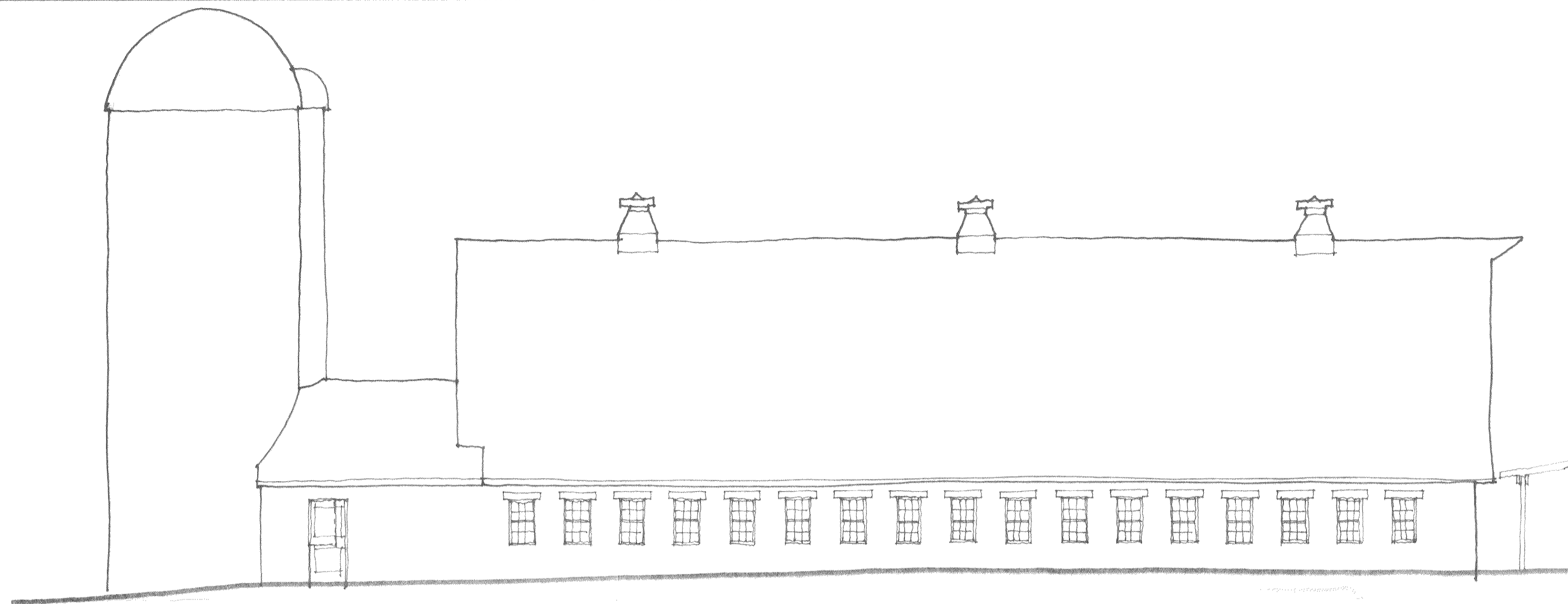
**Concept:** Existing wood construction w/ exterior masonry bearing wall. Steel columns shall be replaced in their entirety.  
**Columns:** Standard tube sections.  
**Beams:** Existing to remain.  
**Roof support:** Existing to remain.

Alterations to:  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

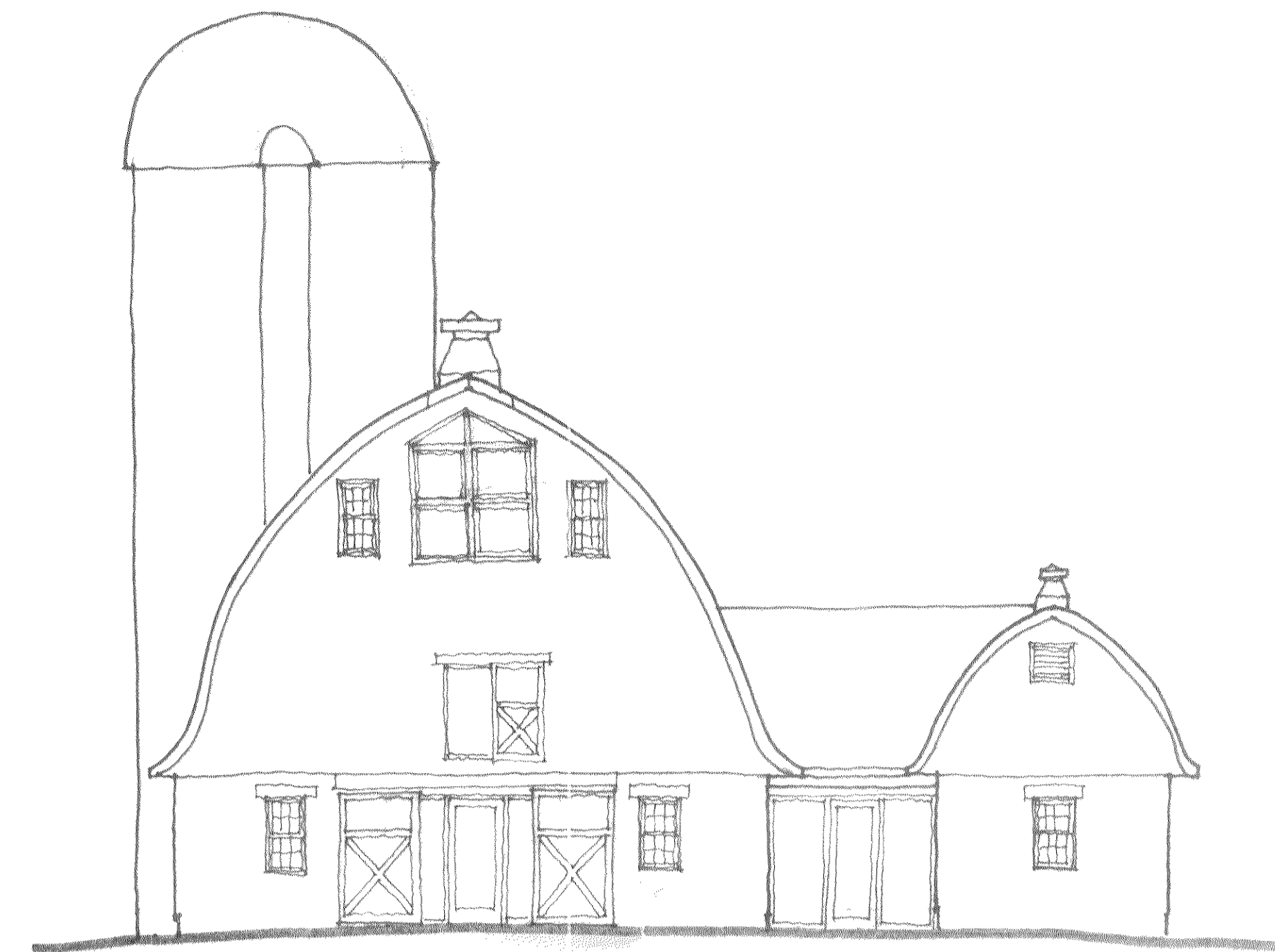
Proj No: 96-80  
File No: 08-SHT1

Date: 10 ARP 97  
Rev:

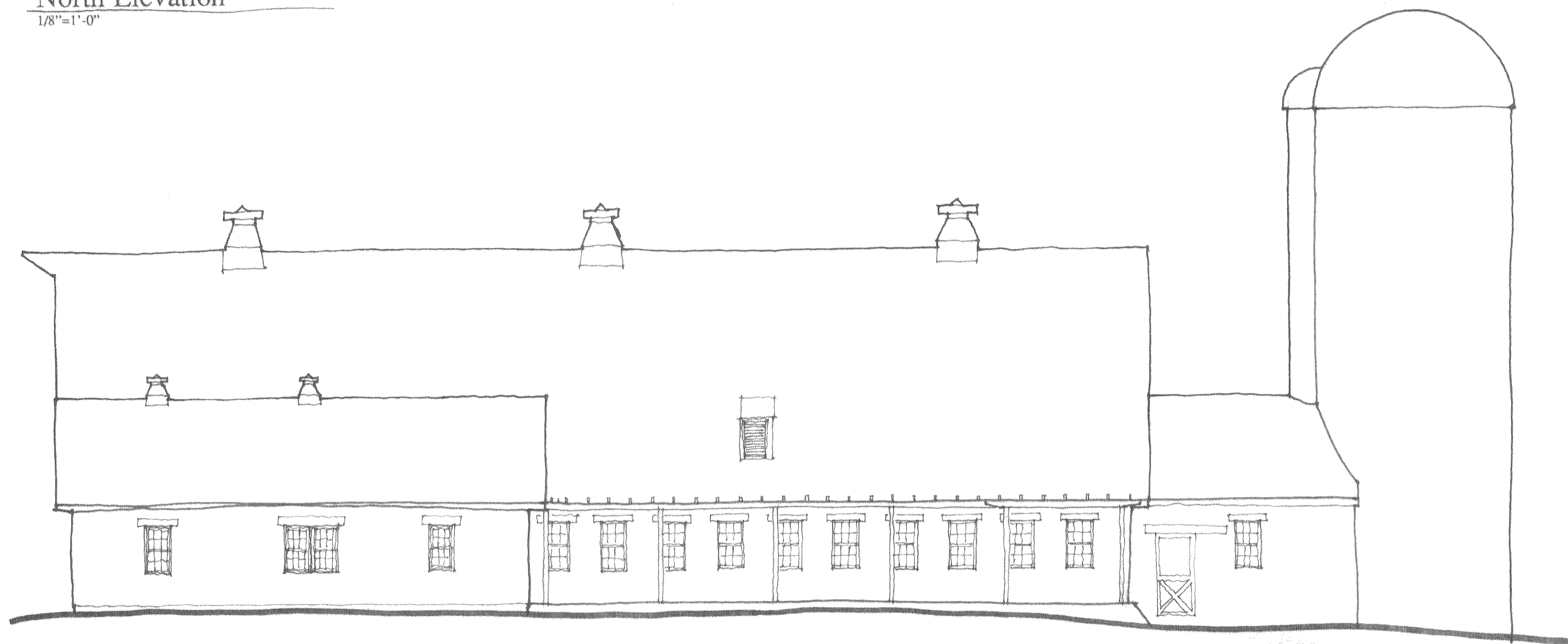
**SD1**



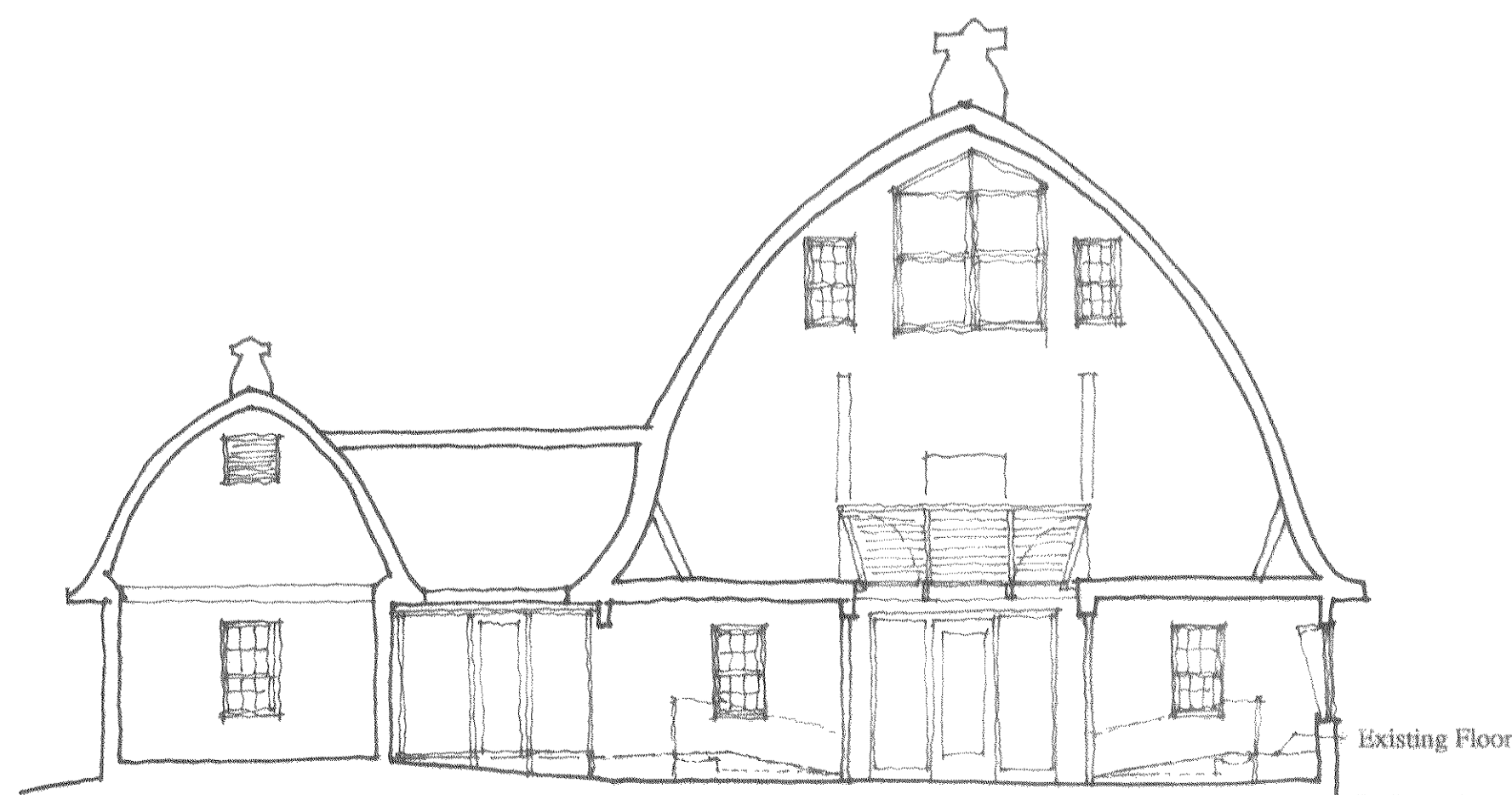
North Elevation  
1/8"=1'-0"



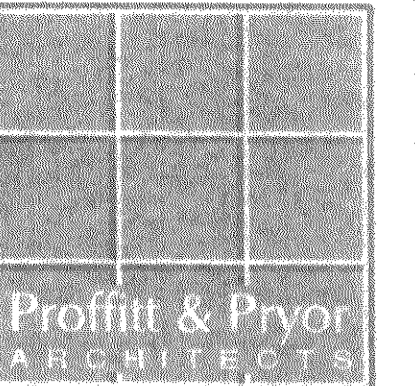
West Elevation  
1/8"=1'-0"



South Elevation  
1/8"=1'-0"



Cross Section  
1/8"=1'-0"



Proffitt & Pryor  
ARCHITECTS

113 East Patrick Street  
Frederick, Maryland 21701  
(301) 662-8532

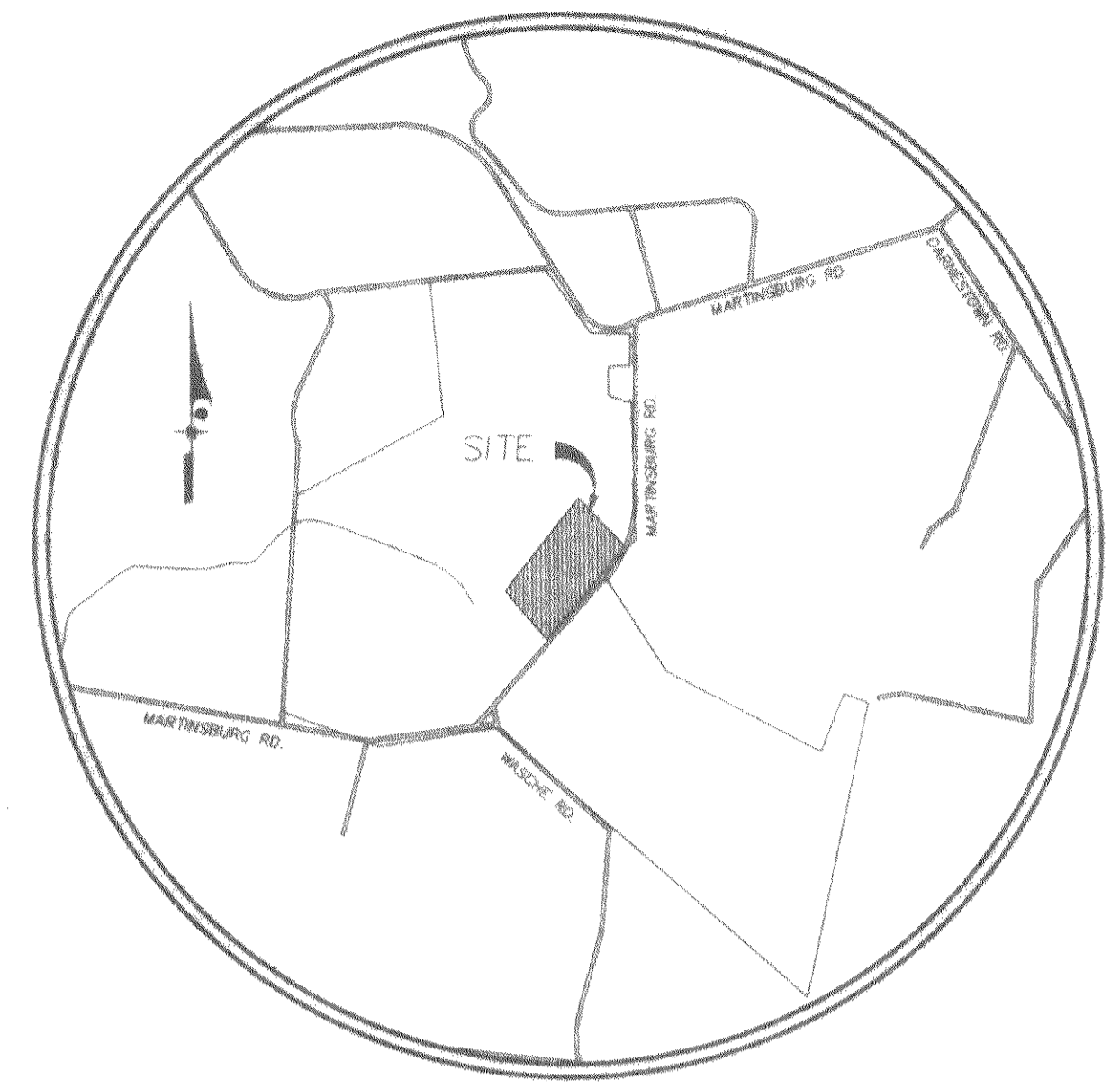
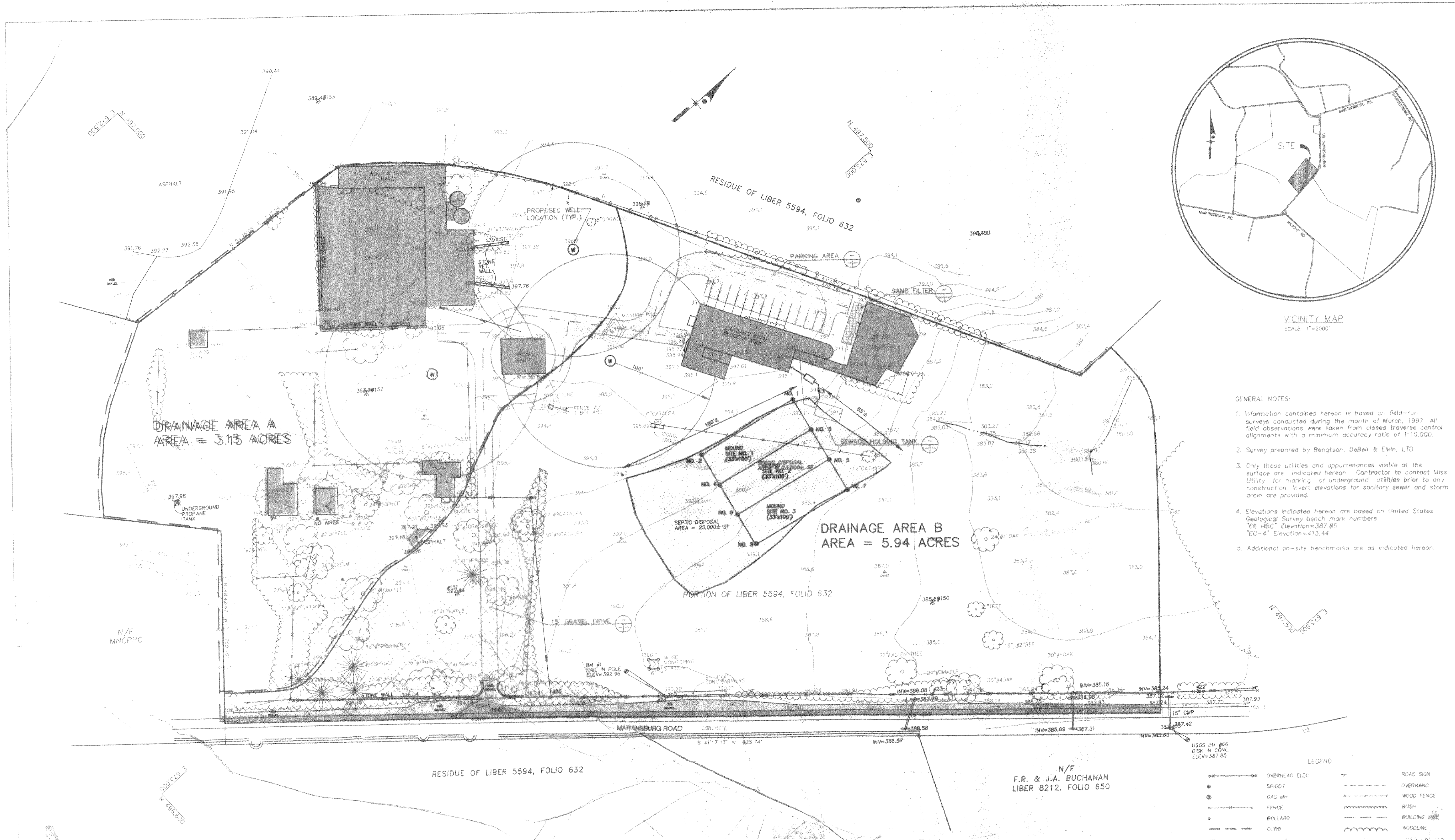
Alterations to  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickenson, Maryland

Proj No: 96-80  
File No: GB-SHT1

Date: 2 APR 97  
Rev:

**SD2**

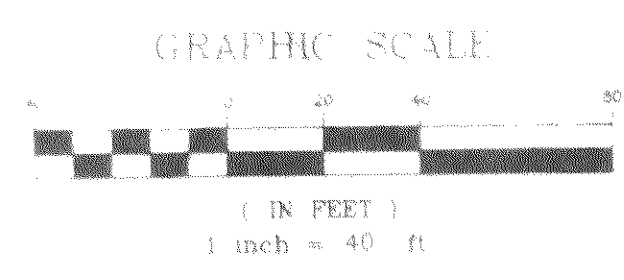




- GENERAL NOTES:
- Information contained hereon is based on field-run surveys conducted during the month of March, 1997. All field observations were taken from closed traverse control alignments with a minimum accuracy ratio of 1:10,000.
  - Survey prepared by Bengtson, DeBell & Elkin, LTD.
  - Only those utilities and appurtenances visible at the surface are indicated hereon. Contractor to contact Miss Utility for marking of underground utilities prior to any construction. Invert elevations for sanitary sewer and storm drain are provided.
  - Elevations indicated hereon are based on United States Geological Survey bench mark numbers:  
"66 HBC" Elevation=387.85  
"EC-4" Elevation=413.44
  - Additional on-site benchmarks are as indicated hereon.

# DESIGN DEVELOPMENT SUBMITTAL

PROGRESS DRAWING  
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL  
THIS PLAN IS NOT FOR FINAL BID OR CONSTRUCTION



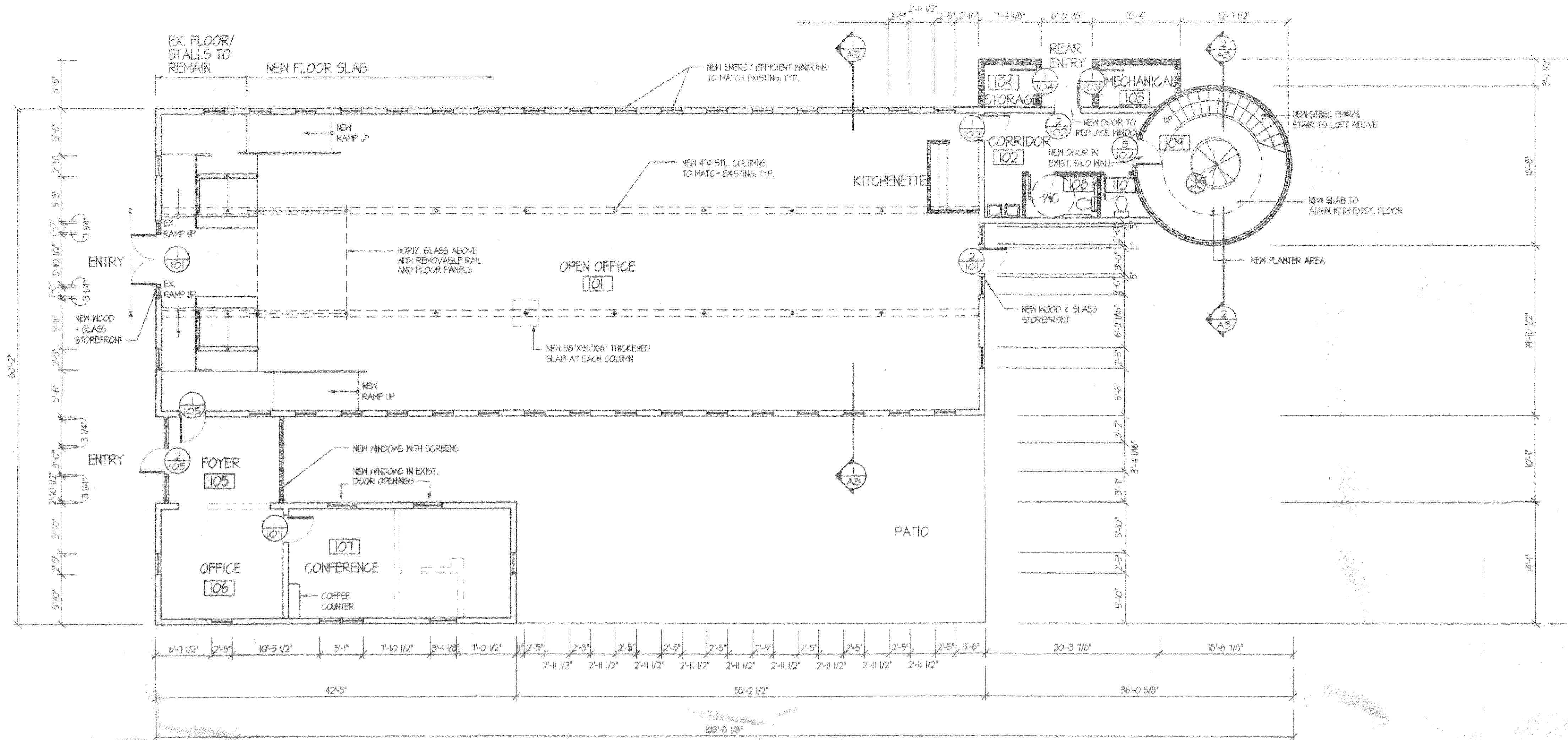
DRW BY: JCM	No.	Date	Revision	Description	Rev By
CHK BY: RJH	1				
APP BY: RJH	2				
DATE: 5/97	3				
SCALE: 1"=40'	4				

GOTHIC DAIRY BARN  
PORTION OF LIBER 5594, FOLIO 632  
20900A MARTINSBURG RD  
MONTGOMERY COUNTY, MARYLAND

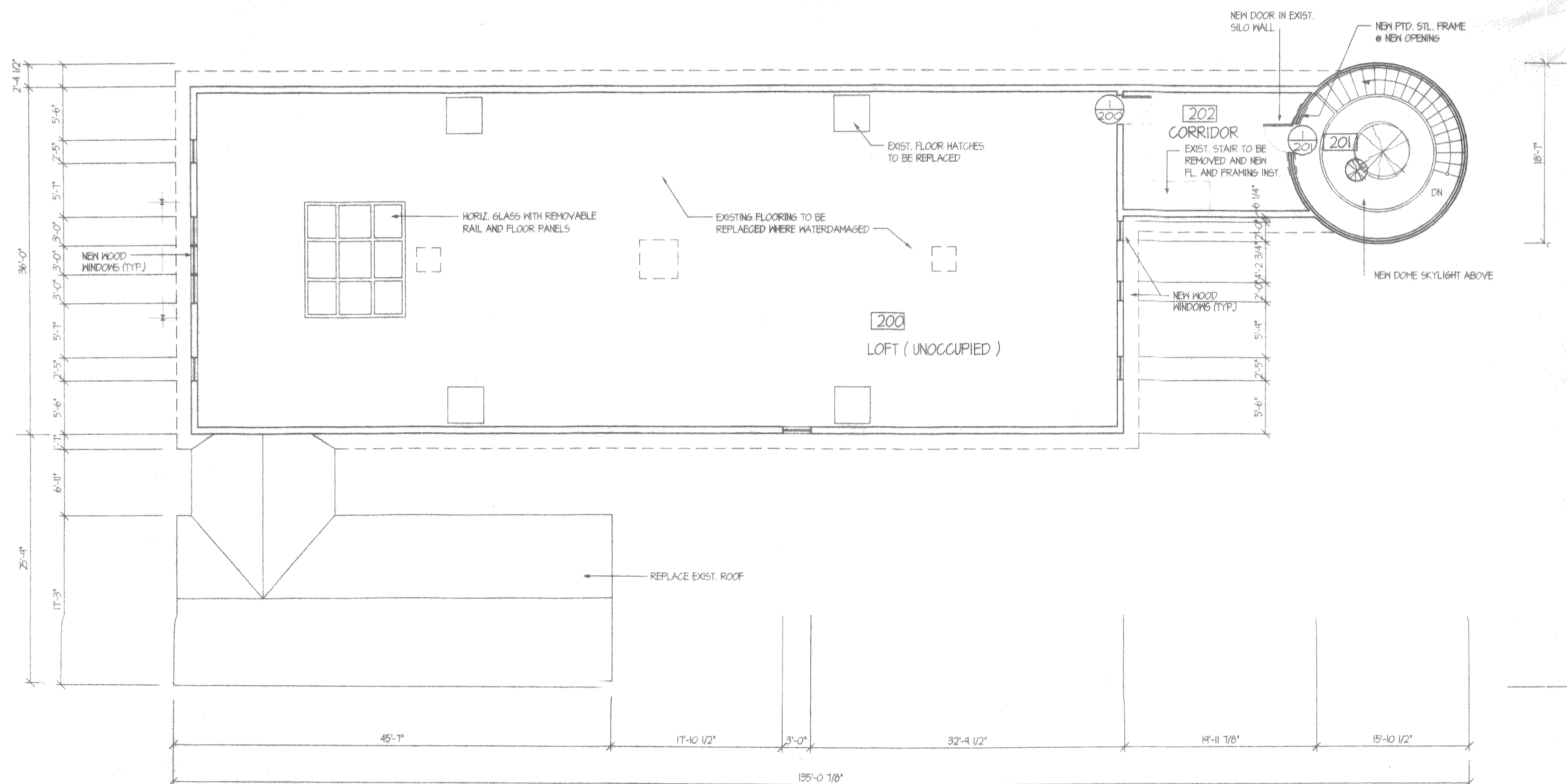
CHESTER ENGINEERS  
Project No: 5446-01  
Sheet 1 of 1

LEGEND

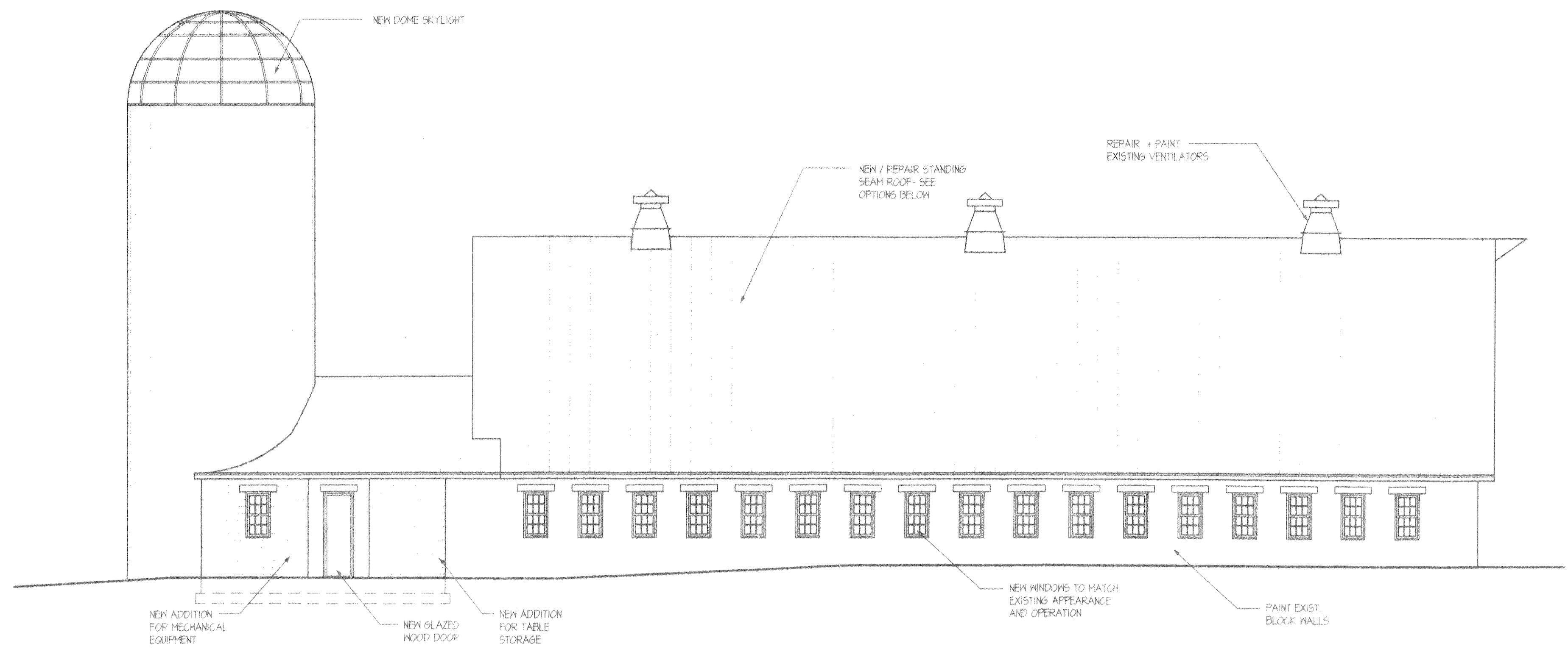
—●—	OVERHEAD ELEC	—	ROAD SIGN
●	SPIGOT	- - -	OVERHANG
○	GAS MH	- - -	WOOD FENCE
○	FENCE	- - -	BUSH
○	BOLLARD	- - -	BUILDING LINE
—	CURB	- - -	WOODLINE
○	WELL	○	WELL
○	SEWER	○	SEWER
○	WATER	○	WATER
○	ELECTRIC	○	ELECTRIC
○	TRAVERTISE	○	TRAVERTISE



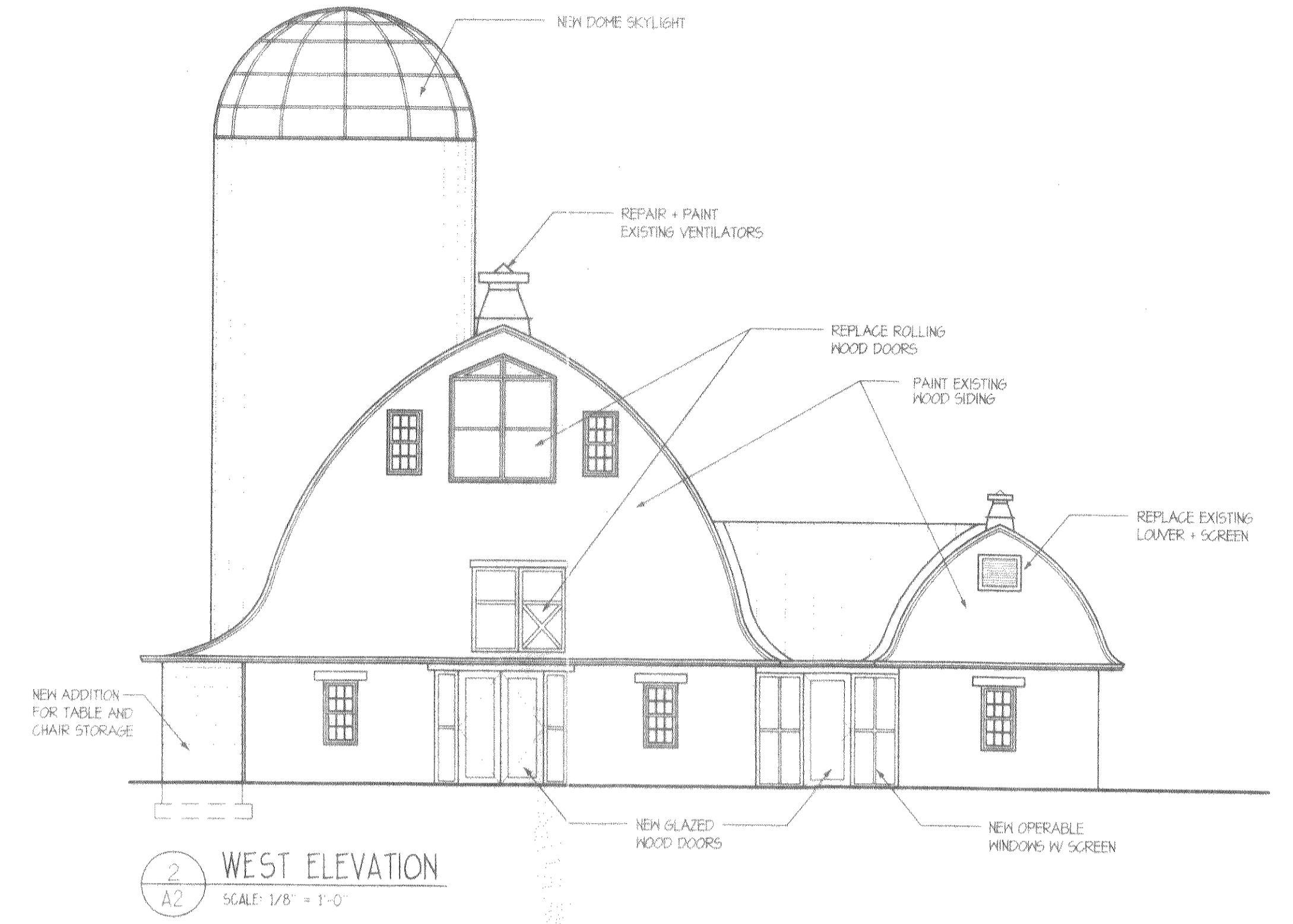
1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



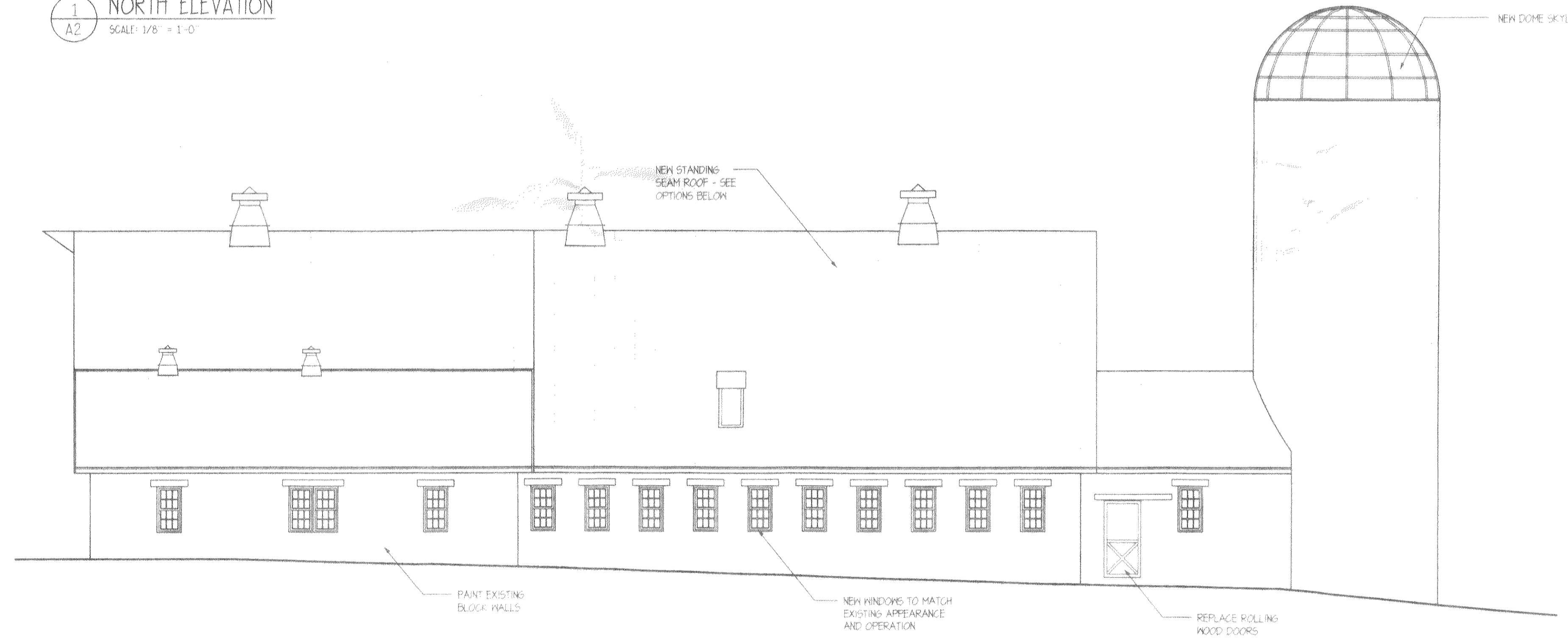
2 LOFT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



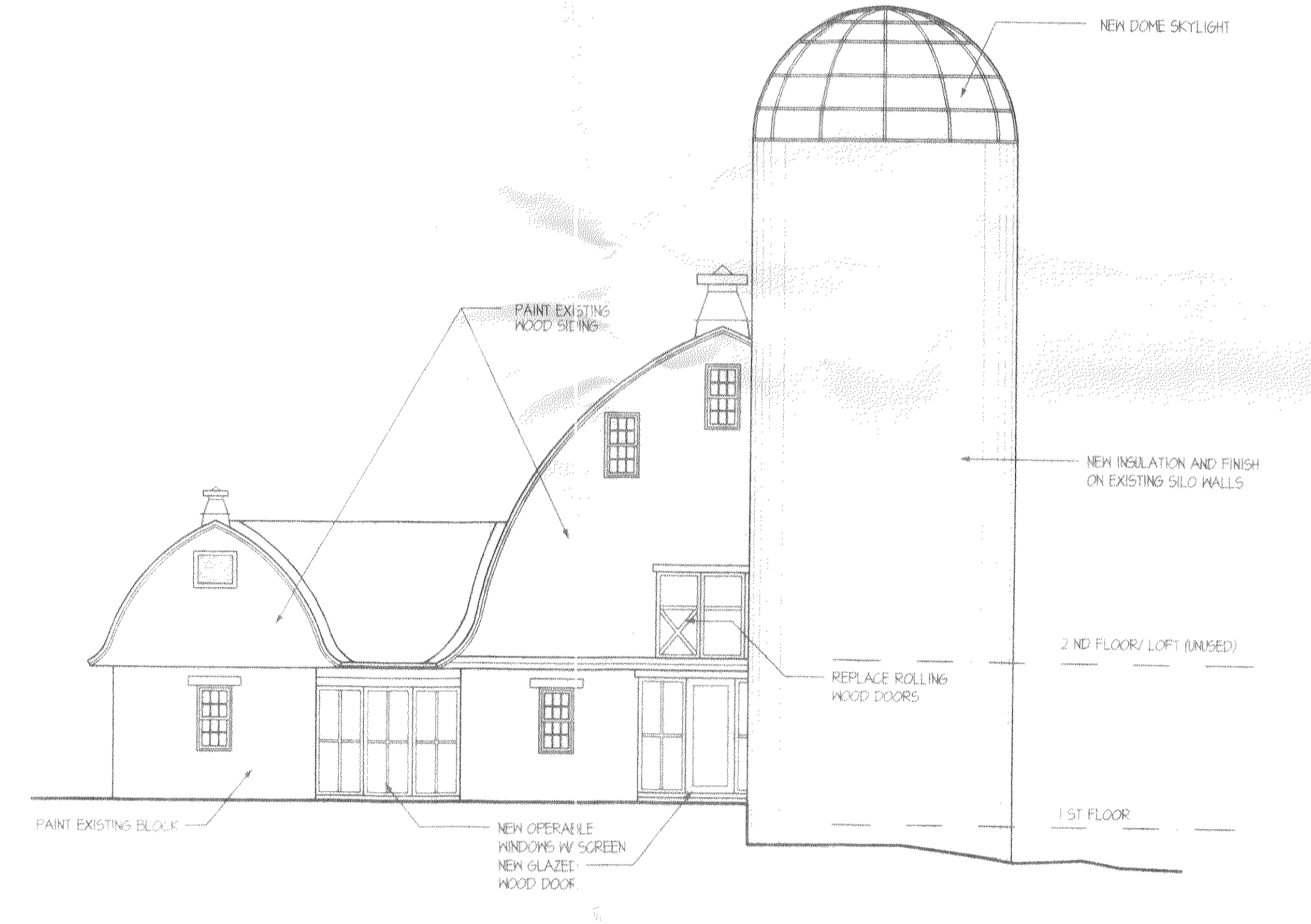
1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



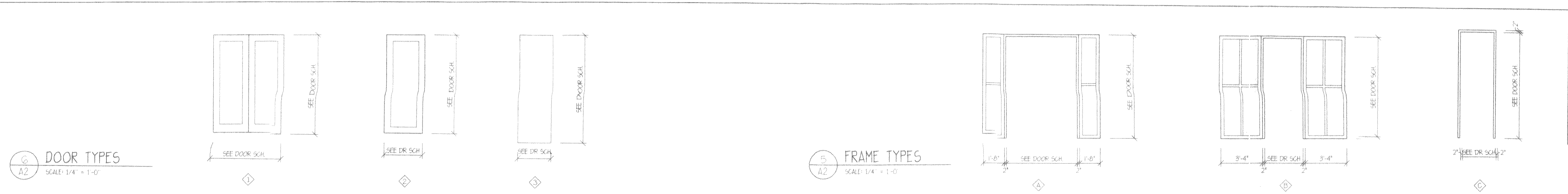
2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



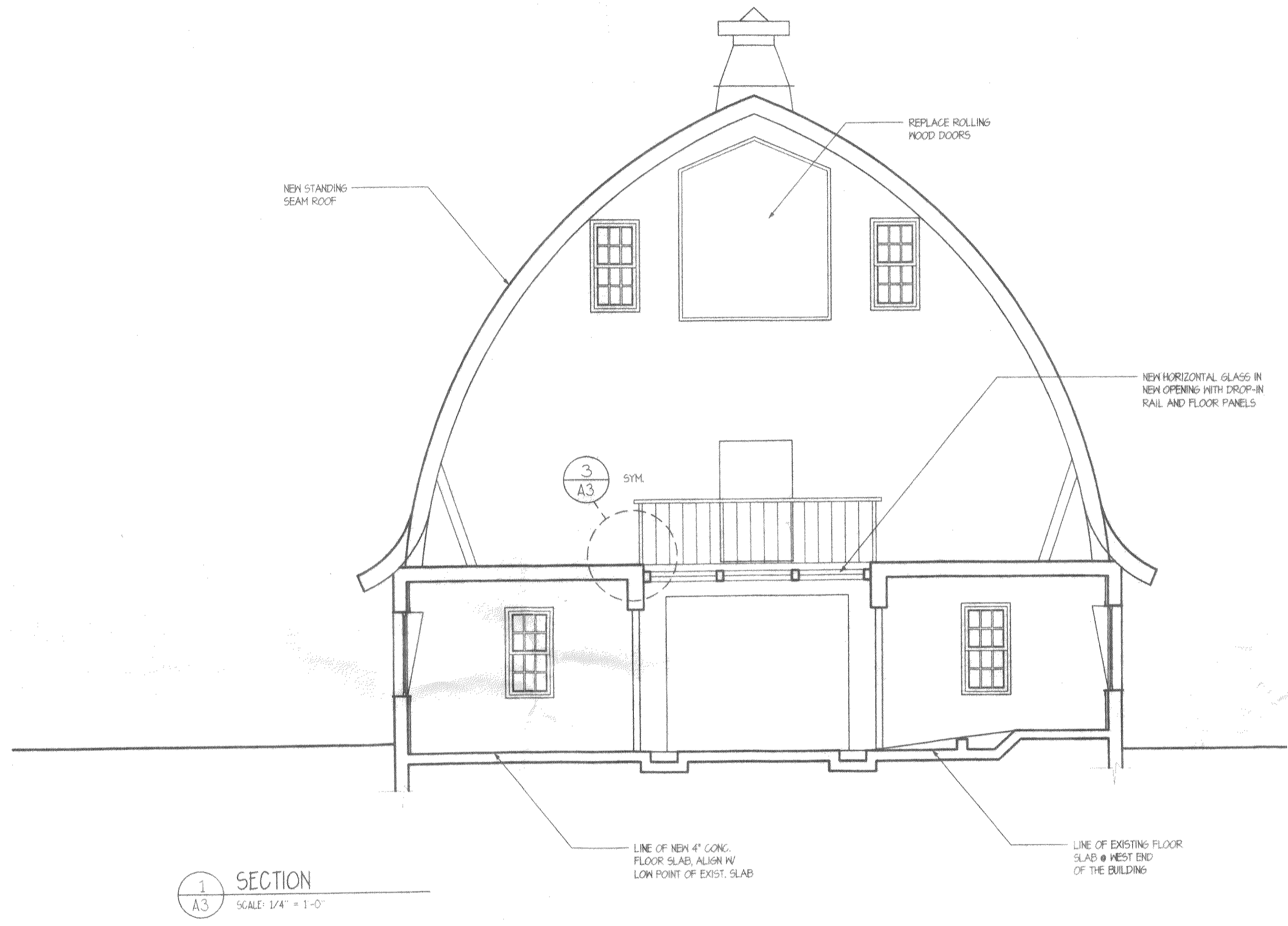
6 DOOR TYPES  
SCALE: 1/4" = 1'-0"

5 FRAME TYPES  
SCALE: 1/4" = 1'-0"

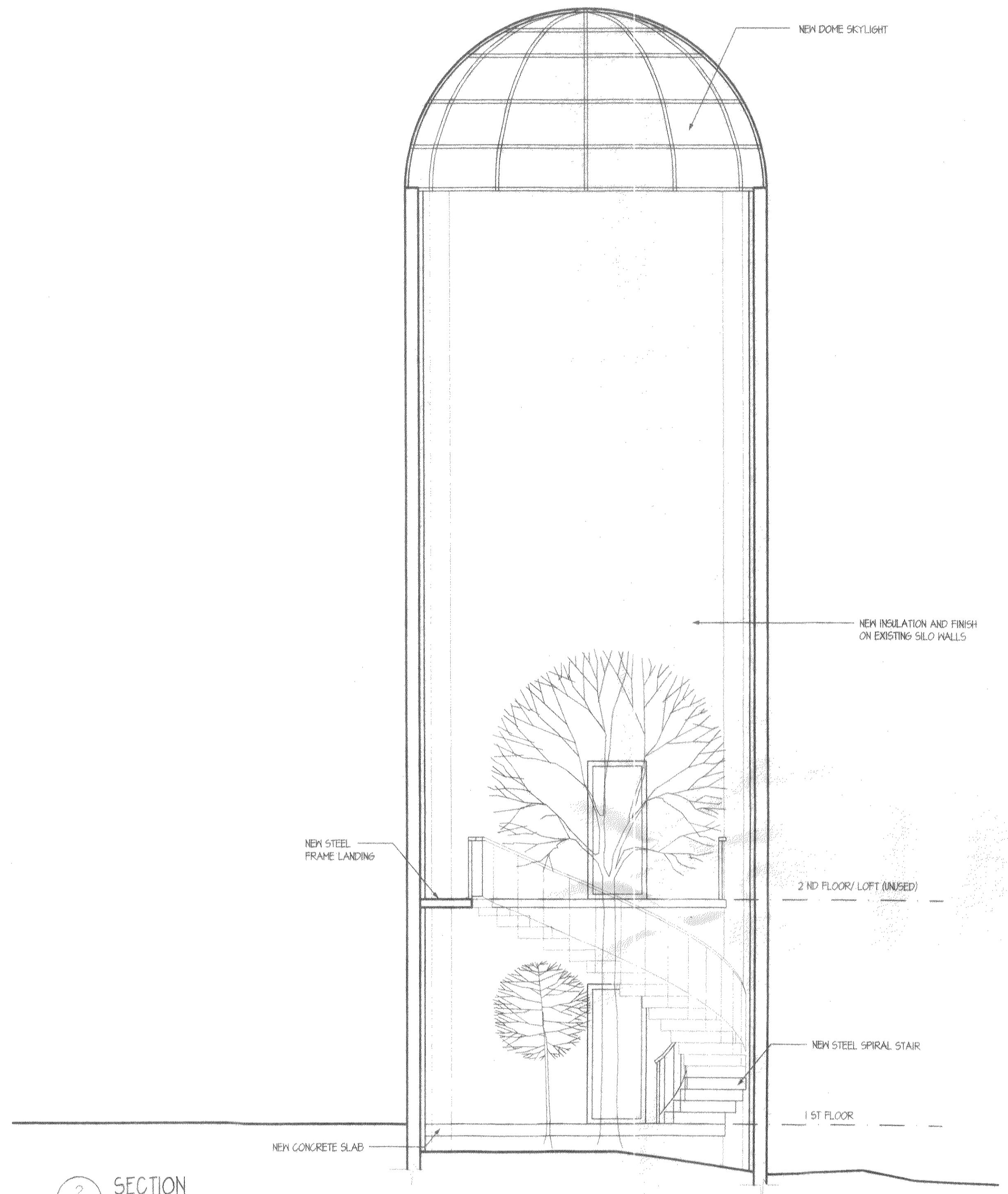
Alterations to  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickinson, Maryland

Proj No: 96-74  
File No: 08-A2 MA  
Date: 26 DEC 96  
Rev: 14 JULY 97

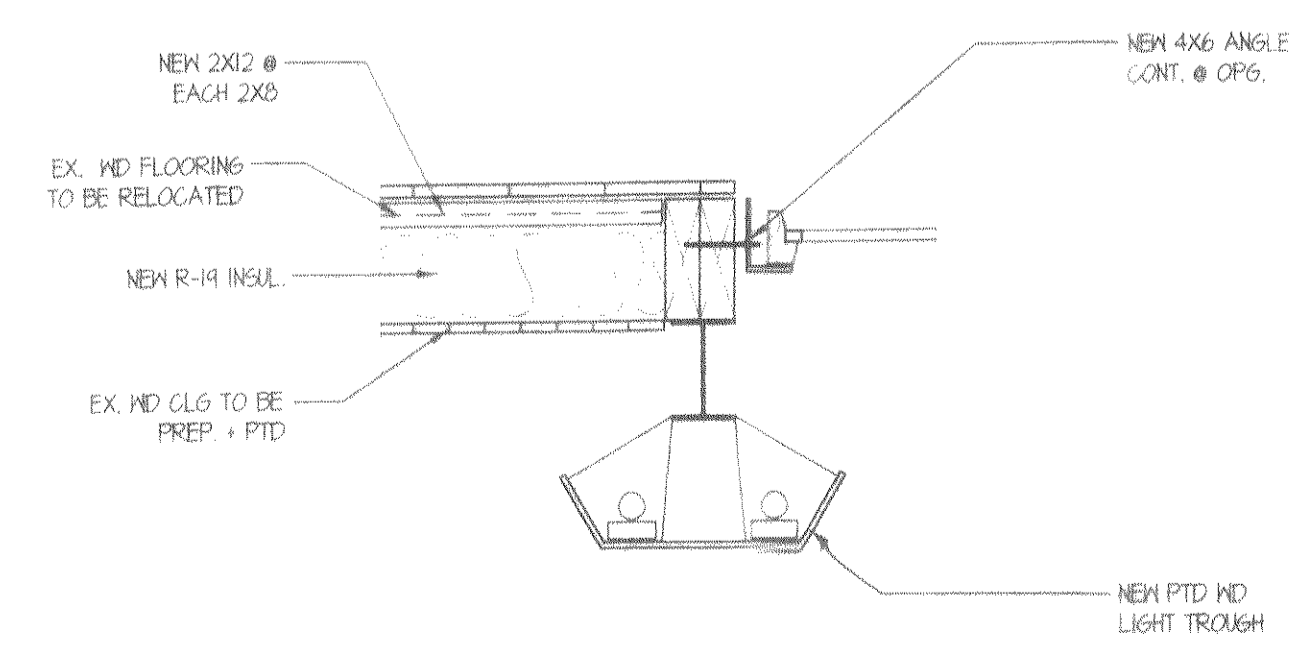




1 SECTION  
A3 SCALE: 1/4" = 1'-0"



2 SECTION  
A3 SCALE: 1/4" = 1'-0"



3 TYP. DTL. • STEEL BEAM  
A3 SCALE: 3/4" = 1'-0"

DOOR SCHEDULE

OPG. NO.	SIZE / WIDTH	HEIGHT	THICK.	DOOR		FRAME		JAMB TYPE	HRDWR SET	REMARKS
				TYPE	MATERIAL	TYPE	MATERIAL			
1-101	6'-0"	8'-0"	1 3/4"	1	WD	A	WD			
2-101	3'-0"	10'-0"	1 3/4"	2	WD	B	WD			
1-102	3'-0"	6'-8"	1 3/4"	3	WD	C	WD			
2-102	3'-0"	8'-0"	1 3/4"	2	WD	C	WD			
3-102	3'-0"	7'-0"	1 3/4"	2	WD	C	WD			
1-103	3'-0"	6'-8"	1 3/4"	3	WD	C	HM			
1-104	3'-0"	6'-8"	1 3/4"	3	WD	C	HM			
1-105	3'-0"	6'-8"	1 3/4"	2	WD	C	WD			
2-105	3'-0"	8'-0"	1 3/4"	2	WD	B	HM			
1-107	3'-0"	6'-8"	1 3/4"	2	WD	C	WD			
1-108	3'-0"	6'-8"	1 3/4"	3	WD	C	HM			
1-110	3'-0"	6'-8"	1 3/4"	3	WD	C	HM			
1-200	3'-0"	6'-8"	1 3/4"	3	WD	C	WD			
1-201	3'-0"	7'-0"	1 3/4"	2	WD	C	WD			

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS				WALLS				CEILING		REMARKS
		MATERIAL	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT			
101	OPEN OFFICE	SEALED CONC.	-	PTD EX.	PTD EX.	PTD EX.	PTD EX.	PTD EX. WD	8'-6"			
102	CORRIDOR	SEALED CONC.	-	PTD EX.	PTD CMU	PTD EX.	PTD CMU	PTD EX. WD	8'-0"			
103	MECHANICAL	SEALED CONC.	-	PTD CMU	PTD CMU	PTD CMU	PTD CMU	EXP/STRUCT.	8'-0"			
104	STORAGE	SEALED CONC.	-	PTD CMU	PTD CMU	PTD CMU	PTD CMU	EXP/STRUCT.	8'-0"			
105	FOTER	SEALED CONC.	-	PTD CMU	GLASS	-	GLASS	PANT EX. WD	8'-0"			
106	OFFICE	SEALED CONC.	-	-	PTD CMU	PTD GB	PTD GB	PANT EX. WD	8'-0"			
107	CONFERENCE	SEALED CONC.	-	PTD GB	PTD GB	PTD GB	PTD CMU	PANT EX. WD	8'-0"			
108	WC	SEALED CONC.	-	CT	CT	CT	CT	PANT EX. WD	8'-0"			
109	STAIR	SEALED CONC.	-	PTD GB	PTD GB	PTD GB	PTD GB	-	-	1 HR. FIRE RATED		
110	WC	SEALED CONC.	-	CT	CT	CT	CT	PANT EX. WD	8'-0"			
200	LOFT	EXIST. WD	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-			
202	CORRIDOR	EXIST. WD	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-			

DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

Proj No: 96-74  
File No: GB-A3  
Date: 10 APRIL 97  
Rev: 23 JULY 97

LEGEND		ABBREVIATIONS	
	BRICK	AC	ANGLE
	CMU	ACOB	ACROBATIC
	CONCRETE	AD	ADJUSTABLE
	FINISHED WOOD	ADJ	ADJUSTING
	ROUGH WOOD	A.F.F.	AS FURNISHED
	PLYWOOD	AL	ALUMINUM
	METAL	ALUM.	ALUMINUM
	GYPSUM BOARD	AN	ANCHORED
	RIGID INSULATION	AP	APPROXIMATE
	BATT INSULATION	APPRX.	APPROXIMATE
	NEW PARTITION - SEE HALL TYPES	AR	ARCHITECT
	NEW LOW PARTITION W/ FIN. HD. CAP (6'-0" A.F.F.)	AS	ASSEMBLED
	NEW PARTITION - DEMOUNTABLE	AT	ATTACHED
	NEW 1 HOUR RATED PARTITION - SEE HALL TYPES	AV	AVAILABILITY
	EXISTING DOOR/FRAME TO REMAIN	AW	AWAY
	EXISTING EQUIPMENT OR CASEWORK TO REMAIN	AX	AXIS
	EXISTING DOOR/FRAME TO BE REMOVED	AY	AYERS
	EXISTING EQUIPMENT OR CASEWORK TO BE REMOVED	AZ	AZURE
	DOOR/FRAME - SEE SCHEDULE	BA	BALANCE
	ROOM NUMBER	BB	BALANCE
	COLUMN REFERENCE	BC	BALANCE
	INDICATES DIRECTION OF CUTTING PLANE	BD	BALANCE
	INDICATES SECTION NO. TO LOCATE SECTION	BE	BALANCE
	INDICATES DETAIL SHL TO SYMBOL ABOVE	BF	BALANCE
	INDICATES ELEVATION NO. TO LOCATE ELEVATION	BG	BALANCE
	REVISION NOTE	BH	BALANCE
	FIRE EXTINGUISHER CABINET, LOCATIONS TO BE VERIFIED BY FIRE EXTINGUISHER VENDOR	BI	BALANCE

- ### GENERAL NOTES
- CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND CONDITIONS BEFORE SUBMITTING SHOP DRAWINGS, AND BEFORE COMMENCING WORK.
  - UNLESS OTHERWISE INDICATED, EXTEND ALL NEW INTERIOR FIRE RATED WALLS, AND ALL NEW FRAMING TO DECK ABOVE.
  - UNLESS OTHERWISE NOTED, EXTEND ALL NEW INSULATION TO THE FACE OF THE EXTERIOR WALL/ROOF; EXTEND ALL FINISHES IN INSULATED AREAS TIGHT TO DECK/SURFACE, TO HOLD INSULATION IN PLACE.
  - UNLESS OTHERWISE NOTED, EXTEND ALL FINISHES IN NON-INSULATED AREAS, AND ALL INTERIOR WALLS (NOT FIRE RATED) TO A MINIMUM OF 6" ABOVE THE LINE OF THE FINISH CEILING.
  - DISTURB AS SMALL AN AREA OF THE SITE AS POSSIBLE DURING CONSTRUCTION OPERATIONS, UNLESS OTHERWISE NOTED, PREPARE AND SEED DISTURBED AREAS AT THE COMPLETION OF THE PROJECT.
  - REFER TO THE SPECIFICATIONS.
  - FIRESTOP ALL FRAMED PARTITIONS AS REQUIRED BY CODE.
  - REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT.

- A-0 COVER SHEET  
CIVIL PLAN  
A-1 FLOOR PLANS  
A-2 ELEVATIONS  
A-3 SECTIONS/ SCHEDULES
- M-1 MECHANICAL PLANS  
M-2 MECHANICAL SCHEDULES
- E-1 ELECTRICAL PLANS

### RENOVATION OF GOTHIC DIARY BARN FOR SUGARLOAF CITIZENS ASSOCIATION

STRUCTURAL ENGINEER : Pecora Engineering  
222 West Patrick St.  
Frederick, MD 21701

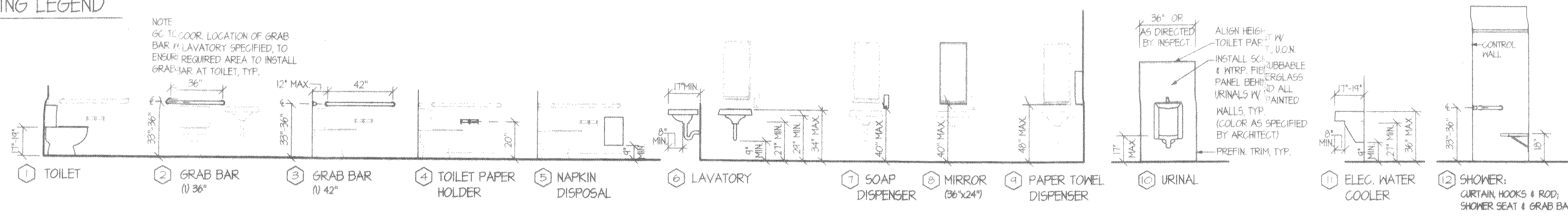
CIVIL ENGINEER : Chester Engineers  
818 West Diamond Ave.  
Gaithersburg, MD 20878

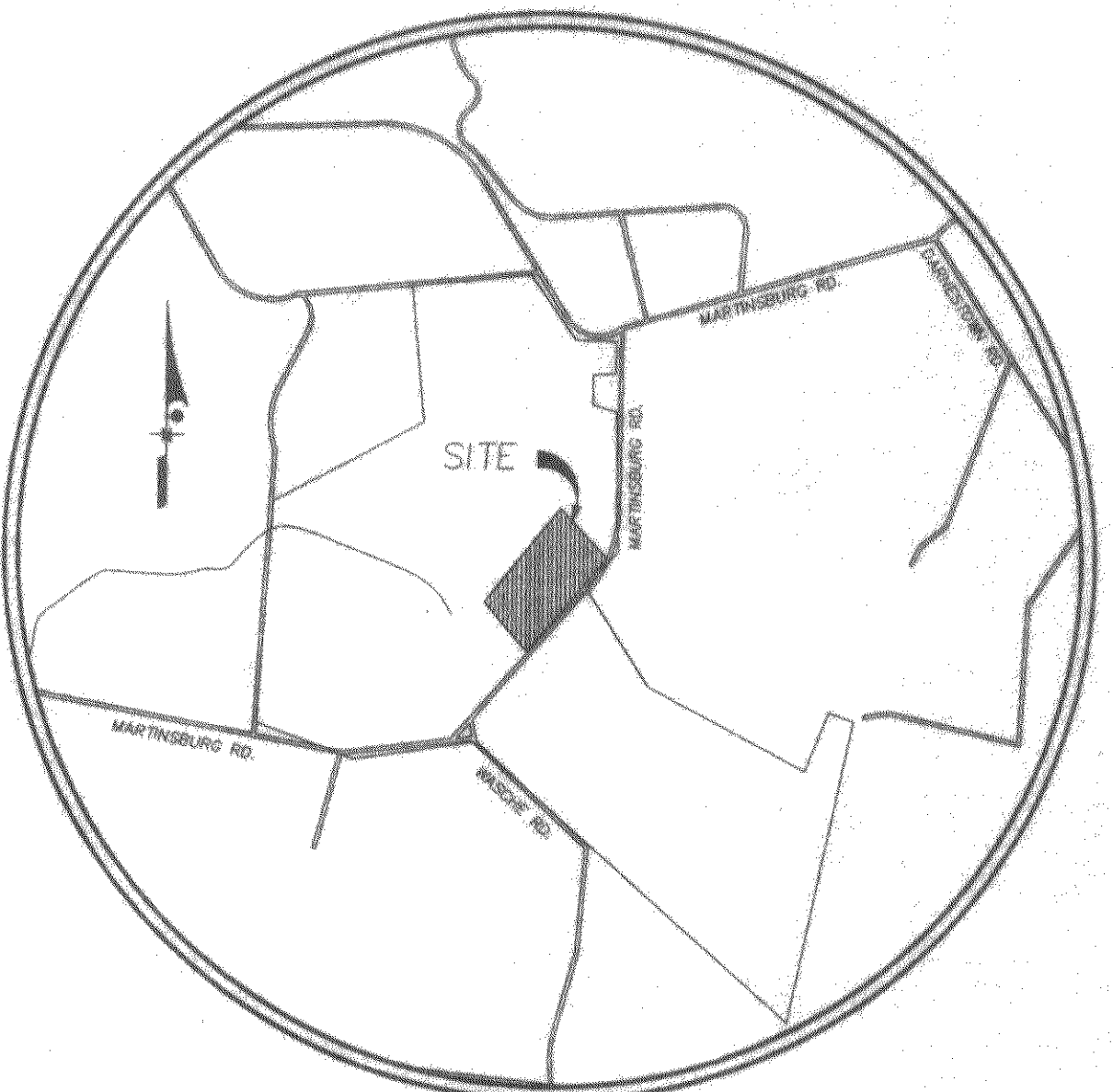
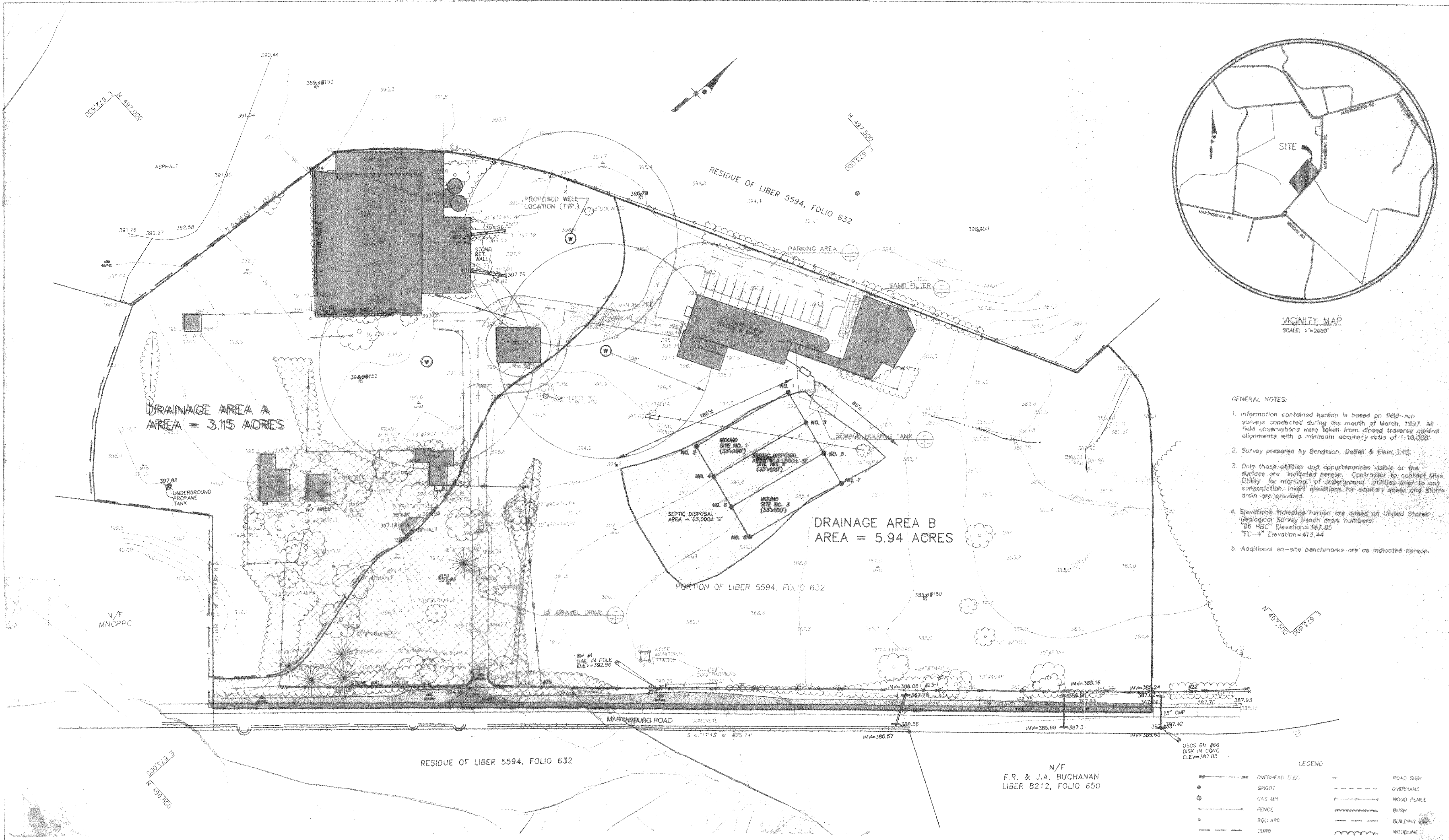
MECH./ ELECTRICAL ENGINEER : WEDGCO Engineering  
15020 Shady Grove Rd., Suite 450  
Rockville, MD 20850

### 'ADAAG' ACCESSIBILITY REQUIREMENTS ACCESSORY/ FIXTURE MOUNTING LEGEND

SCALE: 1/4" = 1'-0"

NOTE: LOC TO DOOR LOCATION OF GRAB BAR IN LAVATORY SPECIFIED TO ENSURE REQUIRED AREA TO INSTALL GRAB-BAR AT TOILET, TYP.



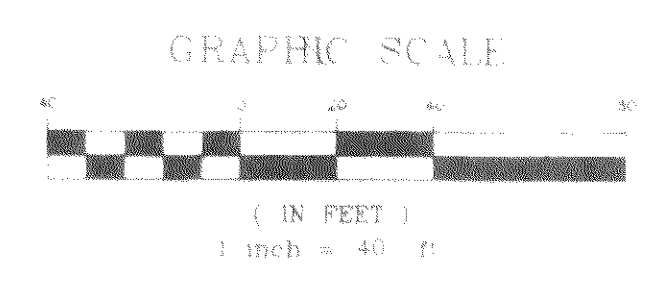


VICINITY MAP  
SCALE: 1"=2000'

- GENERAL NOTES:
- Information contained herein is based on field-run surveys conducted during the month of March, 1997. All field observations were taken from closed traverse control alignments with a minimum accuracy ratio of 1:10,000.
  - Survey prepared by Bengtson, DeBell & Elkin, LTD.
  - Only those utilities and appurtenances visible at the surface are indicated hereon. Contractor to contact Miss Utility for marking of underground utilities prior to any construction. Invert elevations for sanitary sewer and storm drain are provided.
  - Elevations indicated hereon are based on United States Geological Survey bench mark numbers: "66 HBC" Elevation=387.85 "EC-4" Elevation=413.44
  - Additional on-site benchmarks are as indicated hereon.

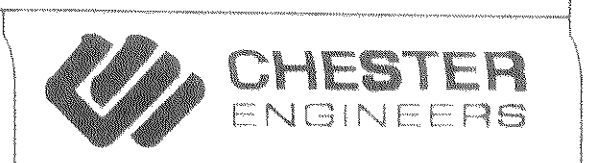
DESIGN DEVELOPMENT SUBMITTAL

PROGRESS DRAWING  
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL  
THIS PLAN IS NOT FOR FINAL BID OR CONSTRUCTION



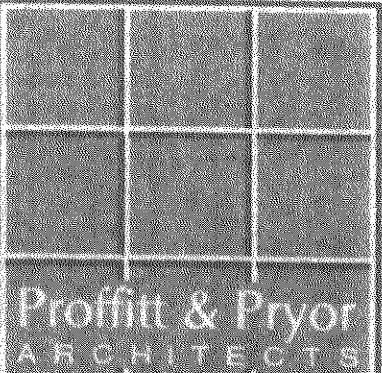
Rev.	Description	Rev. By
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

GOthic DAIRY BARN  
PORTION OF LIBER 5594 FOLIO 632  
20900A MARTINSBURG ROAD  
MONTGOMERY COUNTY, MARYLAND



Project No: 5446-01  
Sheet 1 OF 1

Printed July 10, 1997

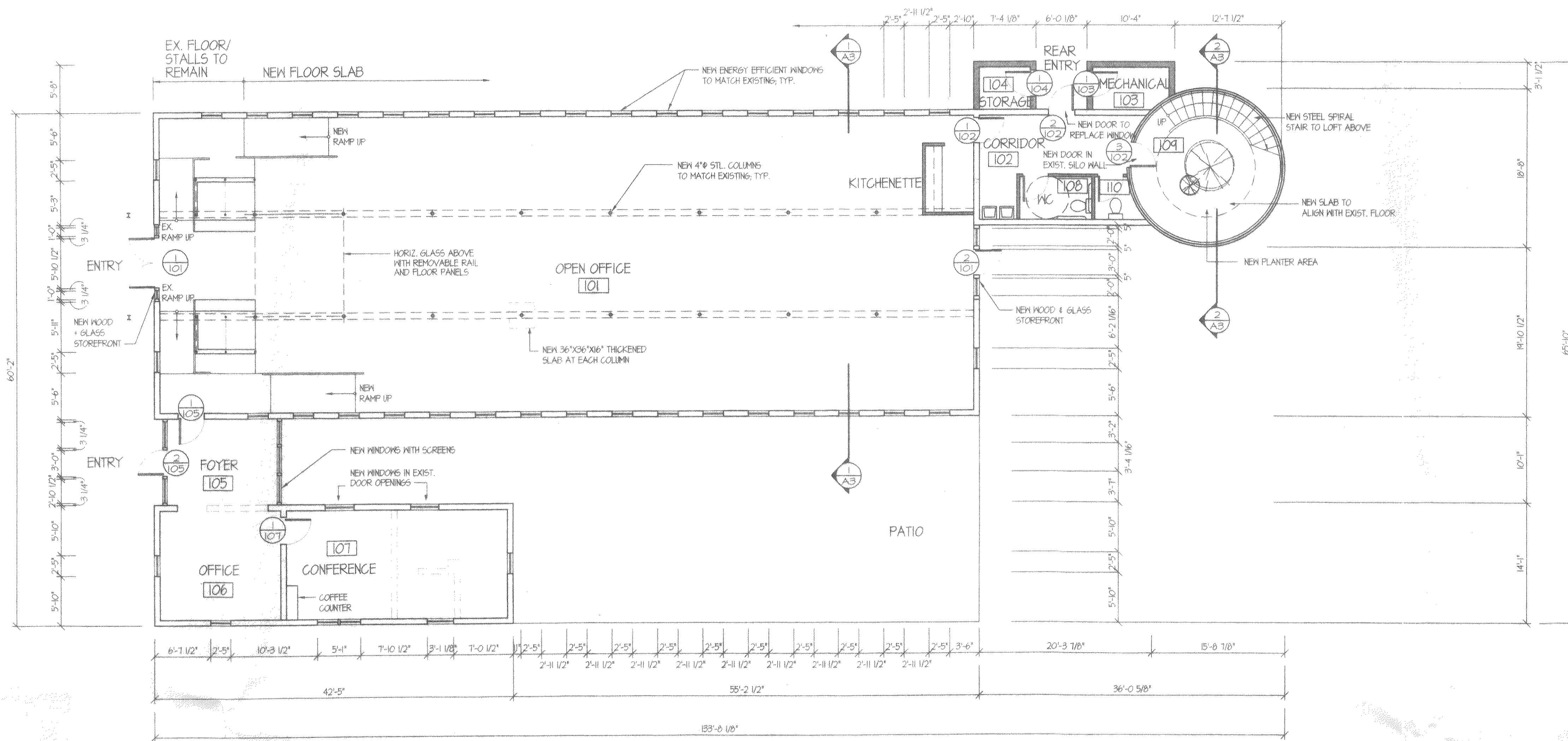


100 North Market Street  
 Frederick, Maryland 21701  
 (301) 662-8532

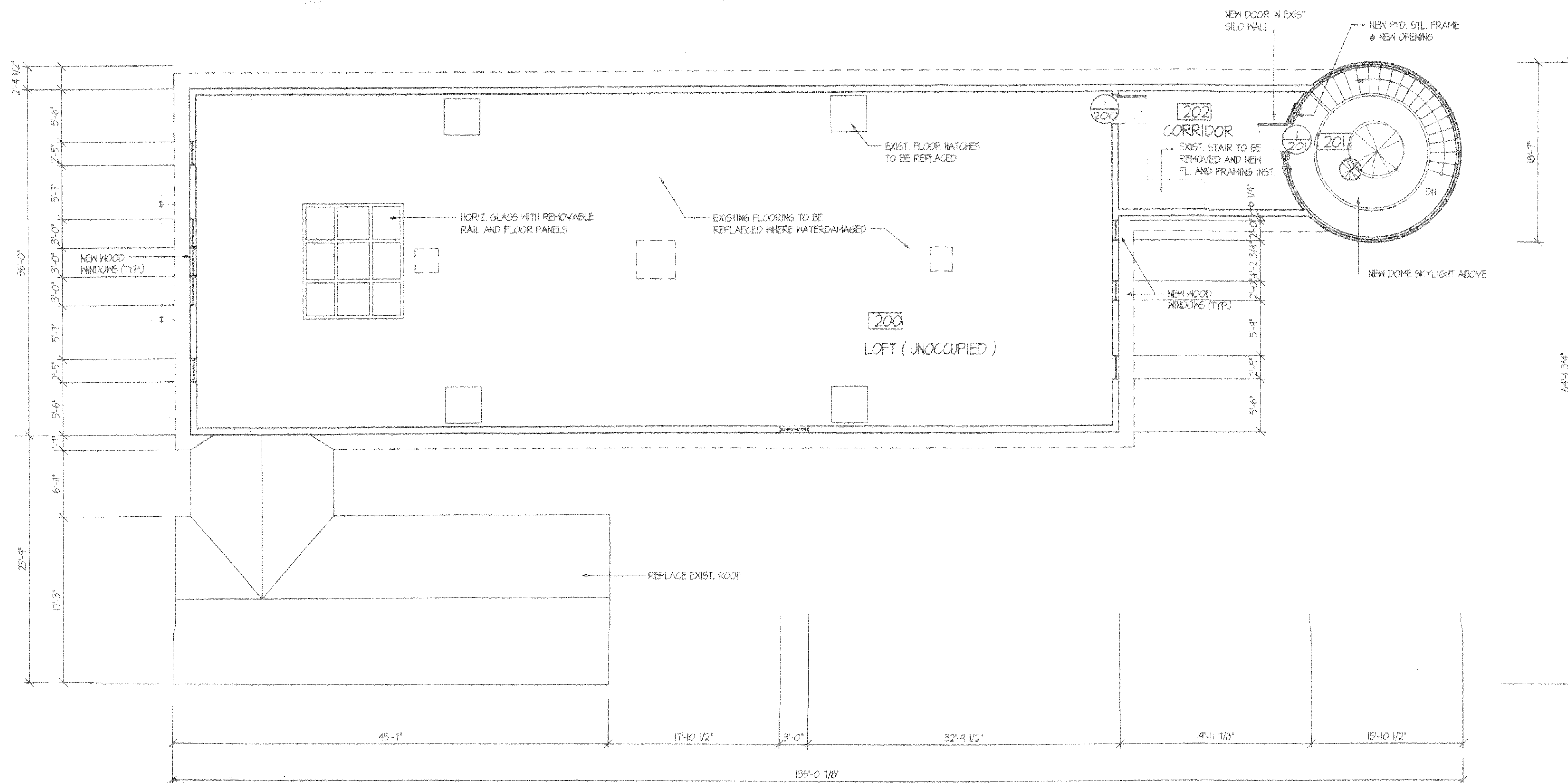
DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
 Old Matthews Farm On Martinsburg Road  
 Dickerson, Maryland

Proj No: 96-74  
 File No: GB-A1 MA

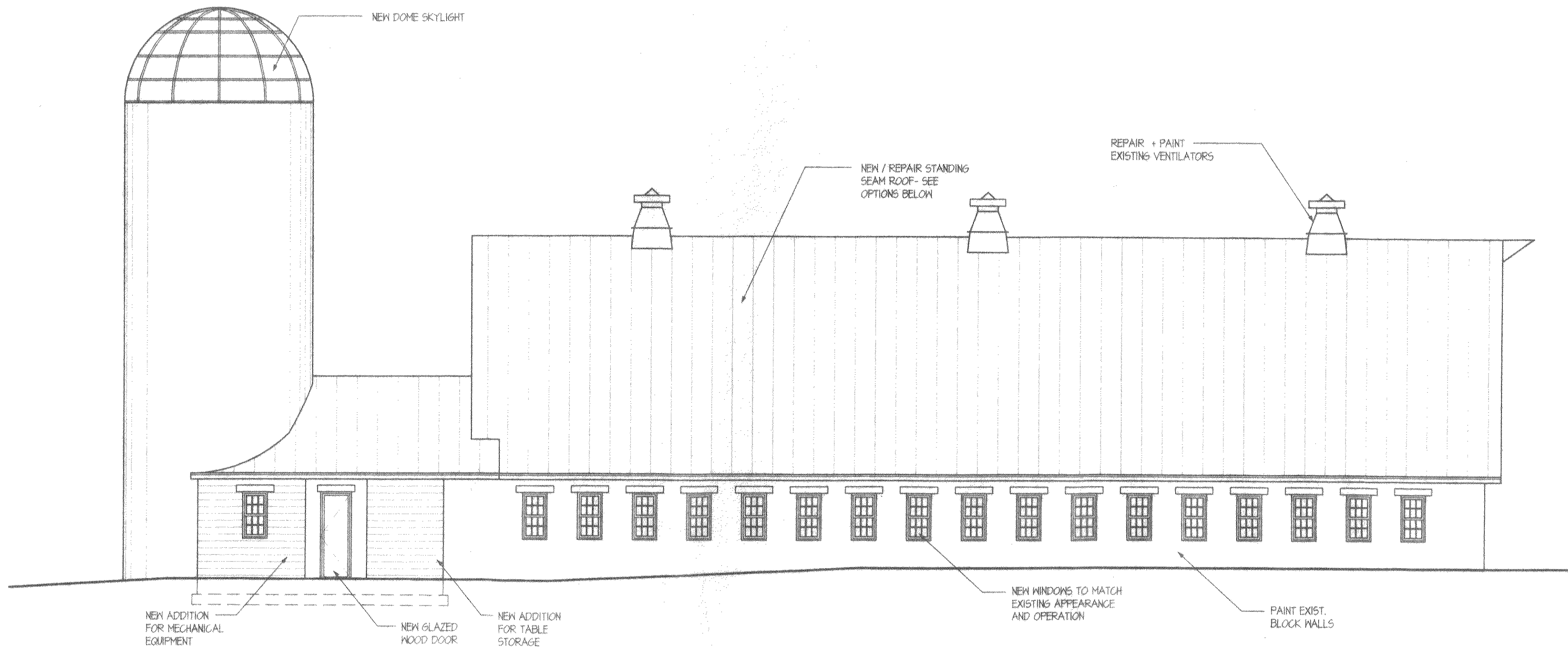
Date: 10 APRIL 97  
 Rev: 22 JULY 97



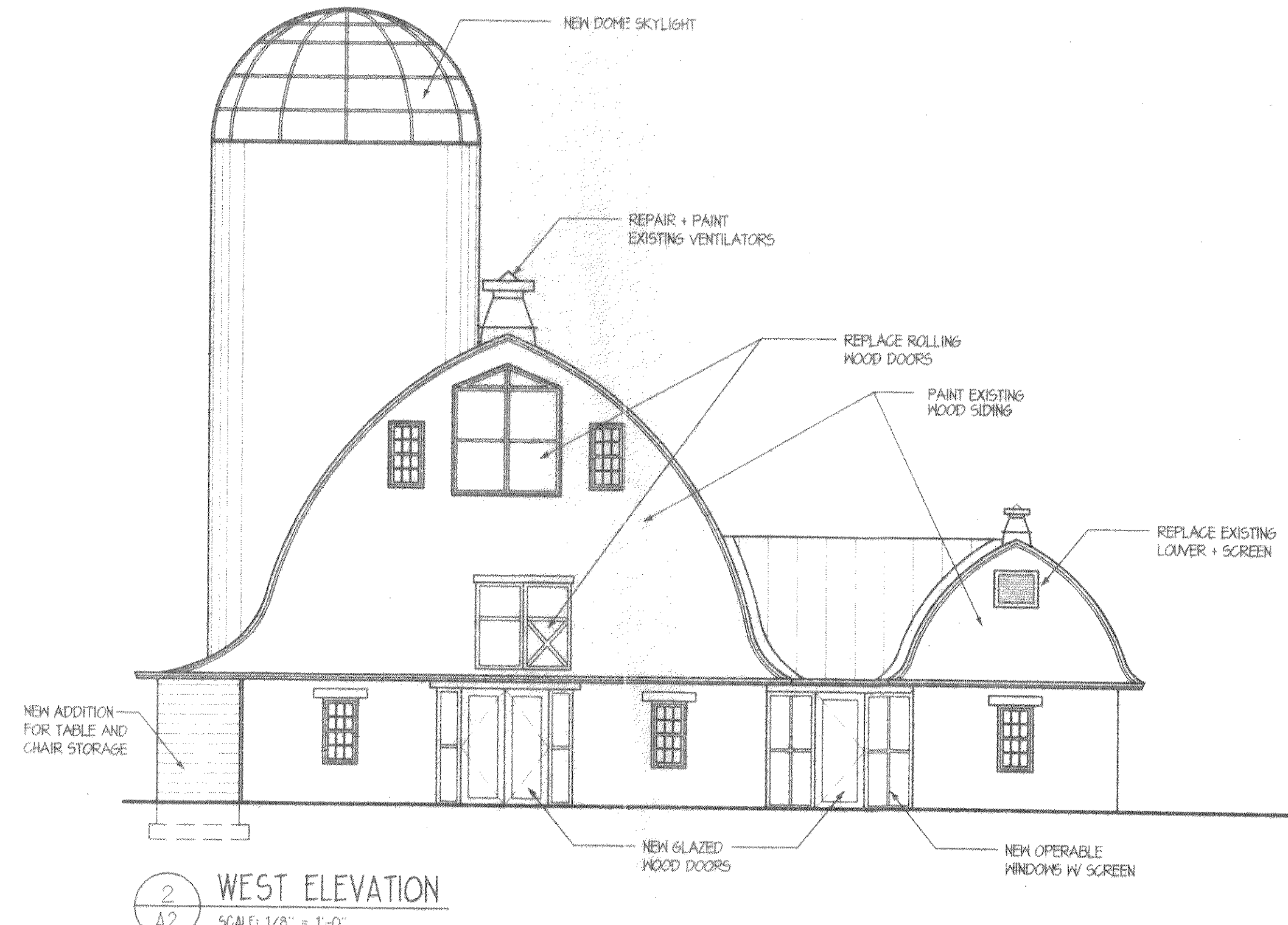
**FIRST FLOOR PLAN**  
 SCALE: 1/8\"/>



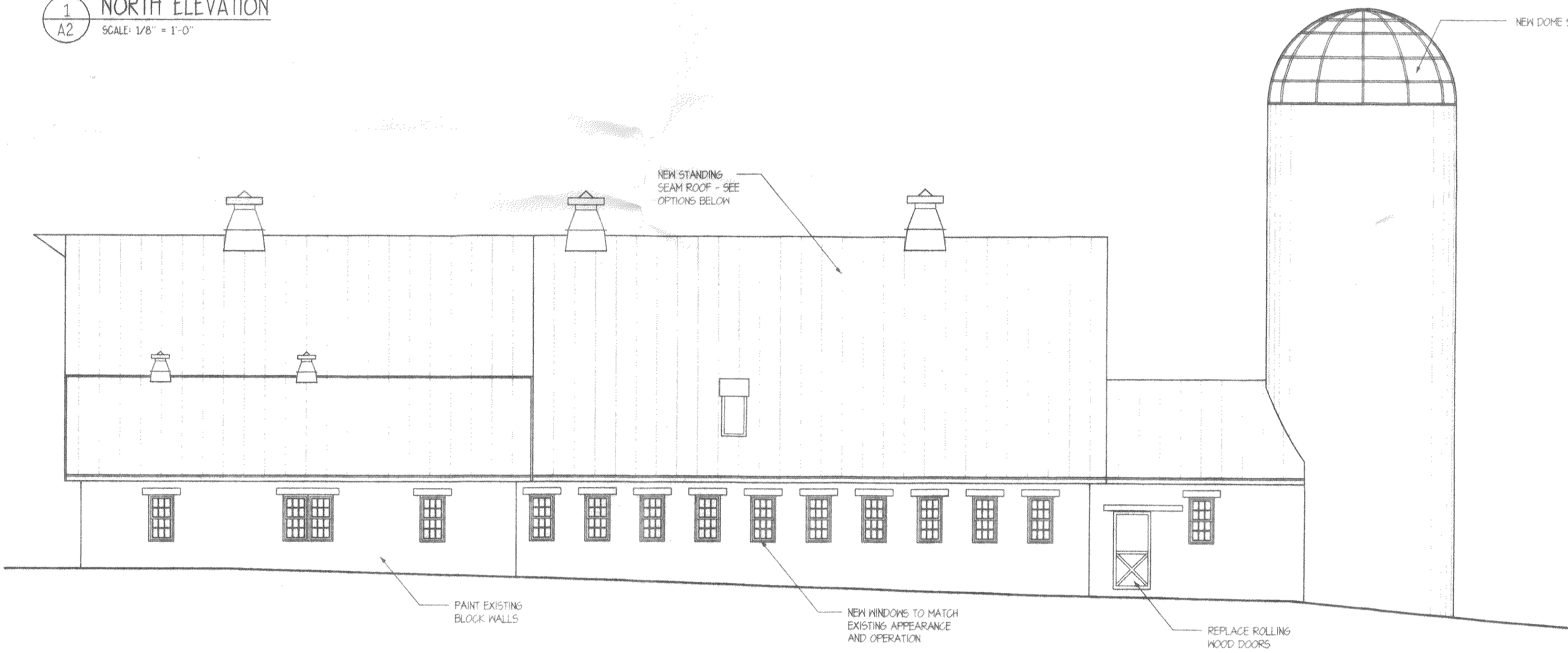
**LOFT FLOOR PLAN**  
 SCALE: 1/8\"/>



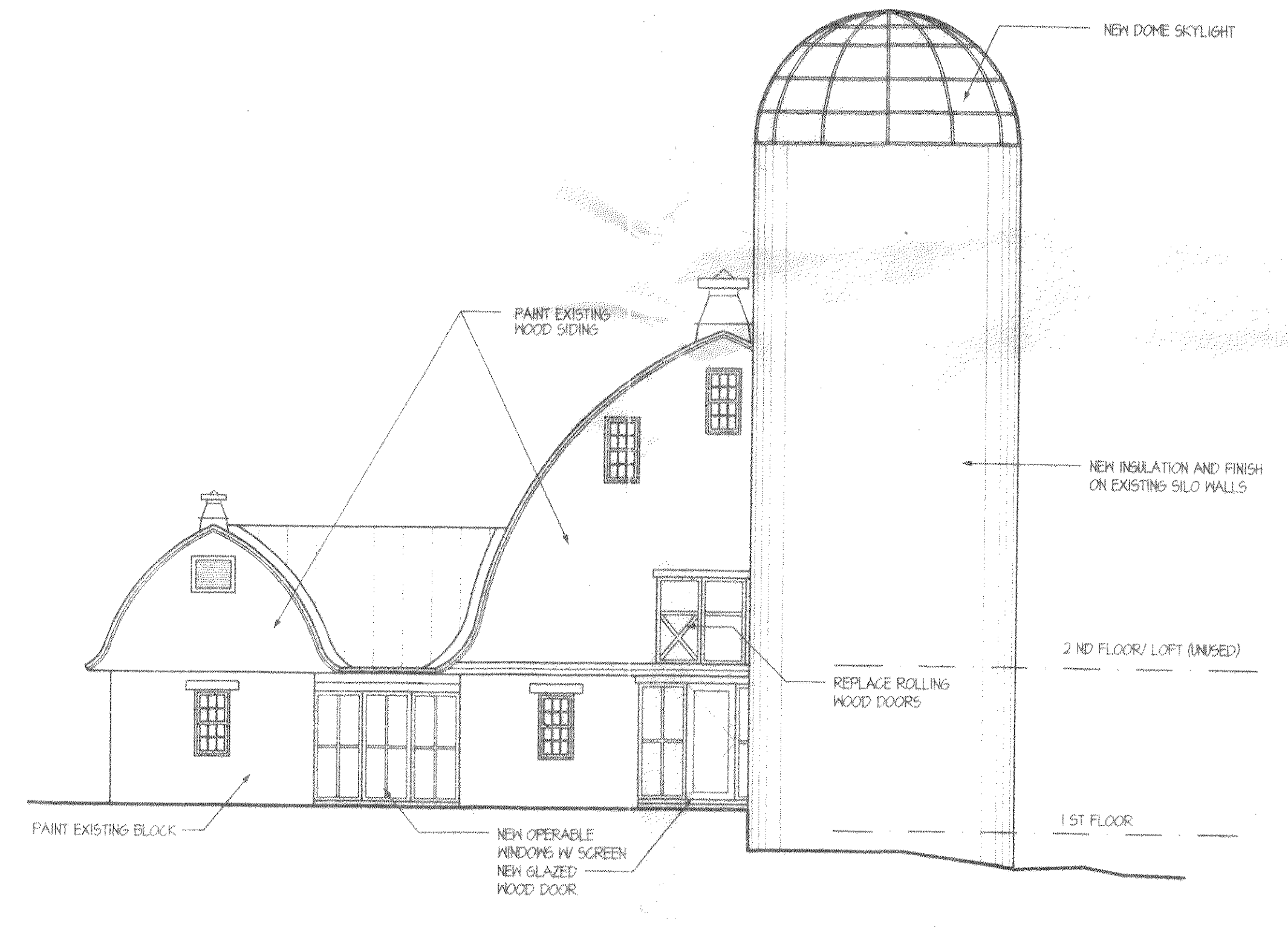
1 NORTH ELEVATION  
A2 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
A2 SCALE: 1/8" = 1'-0"

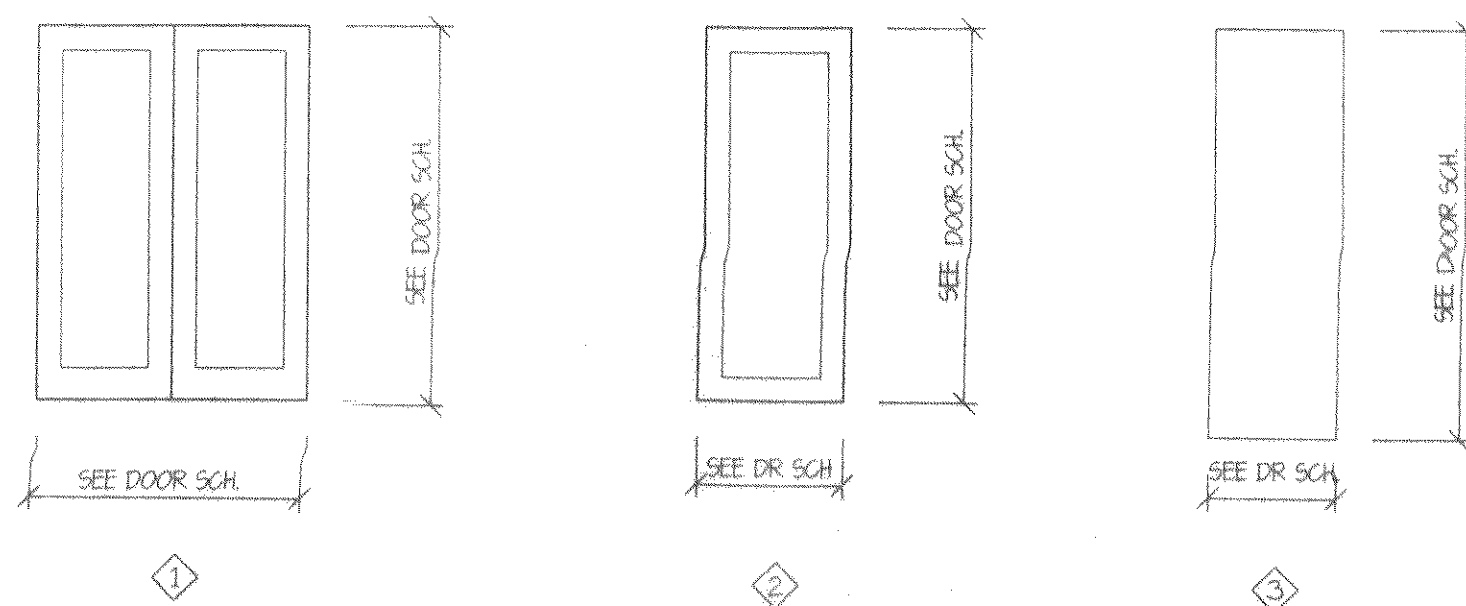


3 SOUTH ELEVATION  
A2 SCALE: 1/8" = 1'-0"

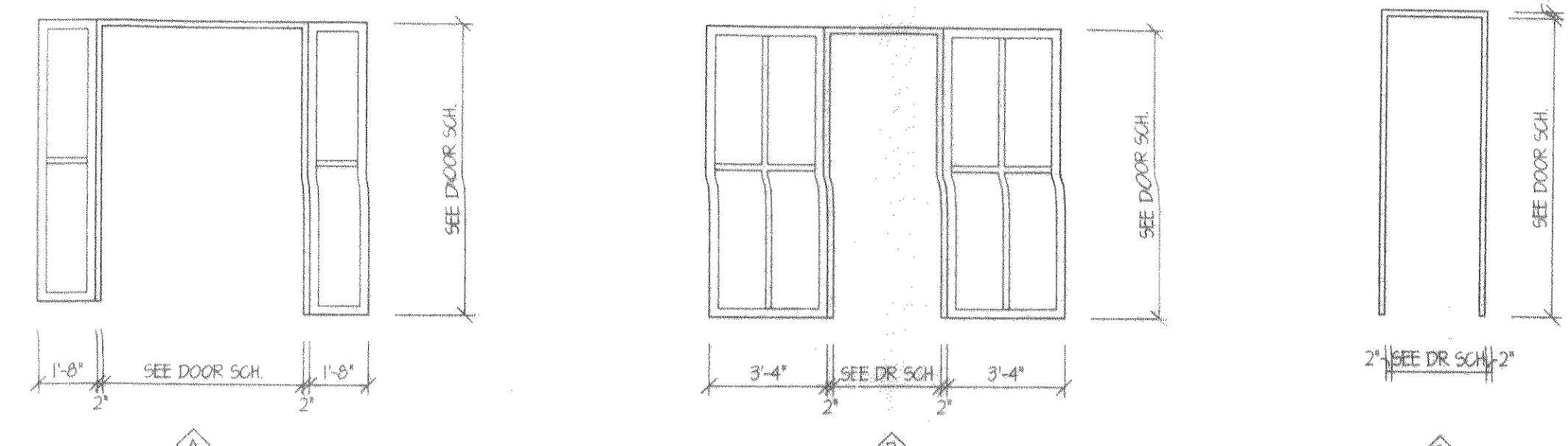


4 EAST ELEVATION  
A2 SCALE: 1/8" = 1'-0"

6 DOOR TYPES  
A2 SCALE: 1/4" = 1'-0"



5 FRAME TYPES  
A2 SCALE: 1/4" = 1'-0"







**MARYLAND  
ENVIRONMENTAL  
SERVICE**

**Parris N. Glendening**  
Governor

**James W. Peck**  
Director

June 24, 2002

Historic Preservation Commission  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

**Re:** Gothic Dairy Barn/Lawrence White Farm  
Roof Maintenance Project  
20900A Martinsburg Road  
Dickerson, Maryland 20842

Dear Commission Members:

This correspondence is to provide information on upcoming maintenance planned to occur on the referenced property.

Since the completion of the renovation of this structure (Case Number 12/31-97A), several small leaks have been discovered in the Gothic Barn's roof. On or about July 2002, a project to maintain the standing seam metal roof will begin.

Fitzgerald Heavy Timber Construction, Inc. (Fitzgerald) of 10801 Powell Road, Thurmont, Maryland will clean and repair areas of the roof where standing seams are inadequately fastened or otherwise not weather tight. Fitzgerald will then apply a surface coating to preserve and restore the appearance of the standing seam metal roof. The surface coating product will be AcryMAX® reinforced elastomeric membrane coating from Preservation Products of Media, Pennsylvania. The color will match the existing roof color. The product is meant to "form a durable, weatherproof fully reinforced elastomeric membrane ... on standing seam 'tin' roofs" according to the manufacturer and improve the appearance of the standing seam metal roof.

My understanding is that since new construction, demolition or exterior alterations are not involved in this maintenance project, a Historic Area Work Permit is not required.

Enclosed please find information regarding the AcryMAX® product and Fitzgerald Heavy Timber Construction, Inc. If you have any questions, please contact me in Annapolis at (410) 974-7254.

Sincerely,

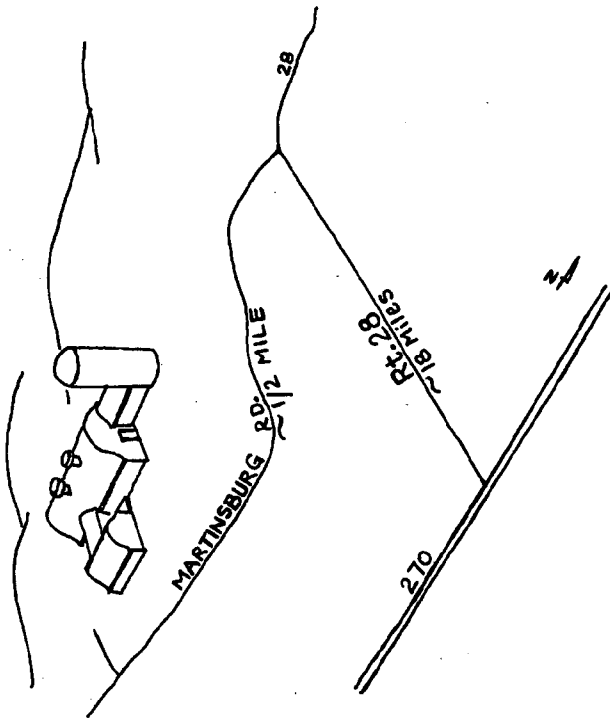
Rhody Holthaus  
Project Manager  
Waste Management Services

Enclosures (2)



Directions

Take I-270 to exit Rt. 28 West.  
Proceed on Rt. 28 for 18 miles to Martinsburg Road.  
Follow signs to the Gothic Dairy Barn.



Montgomery County, Maryland  
and

Sugarloaf Citizens Association

cordially invite you and your family to attend the

**Grand Opening Celebration**  
of the  
**Historic Gothic Dairy Barn**  
at Linden Farm

Saturday, May 22, 1999  
11:00 a.m. to 3:00 p.m.

Gothic Dairy Barn Building  
20900 Martinsburg Road  
Dickerson, Maryland

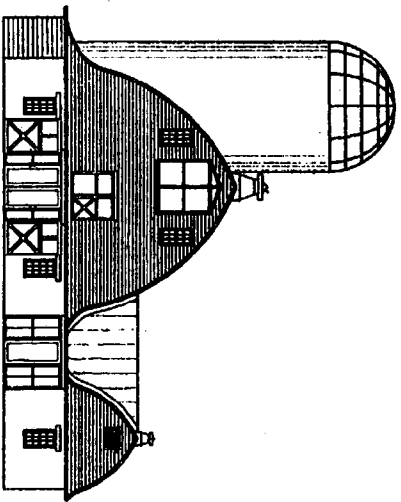


Ribbon Cutting Ceremony at 11:00 a.m.

R.S.V.P. by May 14h to Denise Martin, 301/217-3611,  
Fax: 301/217-2681, E-mail: [denise.martin@co.mo.md.us](mailto:denise.martin@co.mo.md.us)



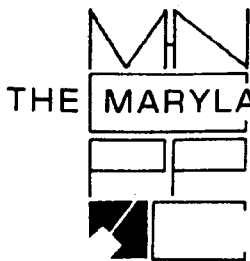
*Historic Gothic Dairy Barn  
at Linden Farm*



*Grand Opening Celebration*

 Printed on recycled paper





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 9/15/97

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen <sup>WRIGHT</sup> ~~Marcus~~, Historic Preservation Coordinator *Wright*  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: MONTGOMERY COUNTY / MICHAEL PROFFITT

Address: 20900 A MARTINSBURG RD., DICKERSON


\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION**  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 9/15/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen <sup>WRIGHT</sup> Marcus, Historic Preservation Coordinator   
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of Application/ Release of Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850  
301/217-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/495-4570**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: MICHAEL PROFFITT  
Daytime Phone No.: 301 662 8532

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: MONTGOMERY COUNTY Daytime Phone No.: 301 217 2111  
Address: 110 N. WASHINGTON ST. ROCKVILLE MD. 20850  
Street Number City State Zip Code

Contractor: TBA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: MICHAEL PROFFITT, ARCHITECT Daytime Phone No.: 301 662 8532

**LOCATION OF BUILDING/PREMISE**

House Number: 20900A Street: MARTINSBURG RD.  
Town/City: DICKERSON Nearest Cross Street: WAGON RD  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 5892 Folio: 632 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 500,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 8/15/97  
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 9/10/97

Application/Permit No.: 9708200069 Date Filed: 8-20-97 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING 1940'S GOTHIC DAIRY BARN TO BE CONVERTED  
TO OFFICE BUILDING FOR SUGARLOAF CITIZENS ASSOC.  
RURAL SETTING IN UN-MOWN FIELD ALONG 1/2 LANE ROAD  
FORM + EXTERIOR FEATURES ARE SIGNIFICANT - SEE DRAWINGS

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2 SMALL ADDITIONS TO REAR FOR UTILITIES / STORAGE  
REPLACE ROOF WINDOWS + DOORS. REPAINT BLOCK  
+ WOOD SIDING. NEW CAP ON EXIST SILO. ALL TO ALLOW  
BARN TO REMAIN IN USE AS A WATERTIGHT BUILDING

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

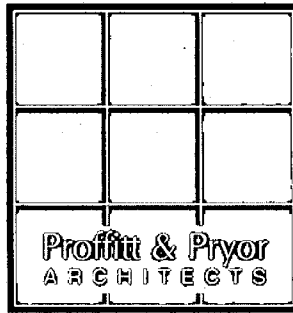
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



20 August 1997

Sugarloaf Barn Renovation  
Master Plan Site 12/31  
Lawrence White Farm  
Martinsburg Road  
Dickerson, Maryland

Proj. No.: 96-74

List of Neighboring Property Owners:

Montgomery County  
110 North Washington Street  
Rockville, Maryland 20850

F.R. & J.A. Buchanan  
20700 Darnstown Road  
Dickerson, Maryland 20842

**LEGEND**

	BRICK
	CMU
	CONCRETE
	SHINGLED WOOD
	BOARD WOOD
	PLYWOOD
	METAL
	GYPSUM BOARD
	RIGID INSULATION
	SALT INSULATION
	NEW PARTITION - SEE WALL TYPE
	NEW LOW PARTITION w/ FULL CORE OF AFF
	NEW PARTITION - REMOVABLE
	NEW - NON RATED PARTITION - SEE WALL TYPE
	EXISTING DOORFRAME TO REMAIN
	EXISTING SASHMENT OR CASEMENT TO REMAIN
	EXISTING DOORFRAME TO BE REPLACED
	EXISTING SASHMENT OR CASEMENT TO BE REPLACED
	EXISTING WINDOW
	EXISTING WALL
	EXISTING FLOOR
	EXISTING CEILING
	EXISTING FOUNDATION
	EXISTING FOOTING
	EXISTING COLUMN
	EXISTING BEAM
	EXISTING JOIST
	EXISTING TRUSS
	EXISTING ROOF
	EXISTING SIDING
	EXISTING PAINT
	EXISTING FINISH
	EXISTING FIXTURE
	EXISTING EQUIPMENT
	EXISTING MECHANICAL
	EXISTING ELECTRICAL
	EXISTING PLUMBING
	EXISTING HVAC
	EXISTING FIRE PROTECTION
	EXISTING SECURITY
	EXISTING ACCESSIBILITY
	EXISTING SUSTAINABILITY

**ABBREVIATIONS**

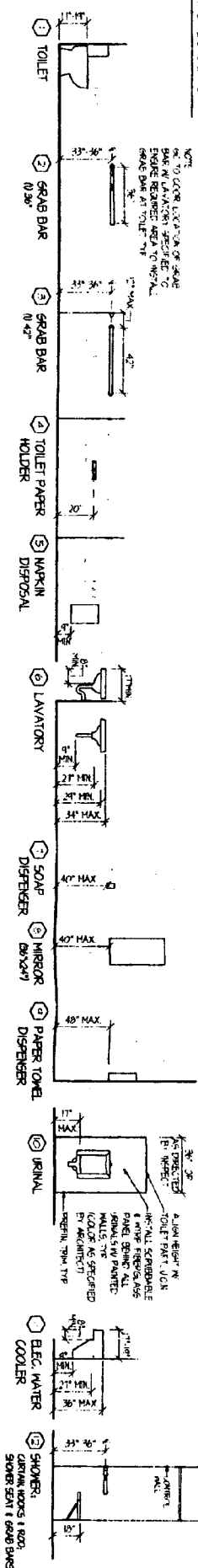
A-0	COVER SHEET
A-1	CIVIL PLAN
A-2	FLOOR PLANS
A-3	ELEVATIONS
A-4	SECTIONS / SCHEDULES
M-1	MECHANICAL PLANS
M-2	MECHANICAL SCHEDULES
E-1	ELECTRICAL PLANS

**GENERAL NOTES**

- CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND CONDITIONS BEFORE SUBMITTING SHOP DRAWINGS AND BEFORE COMMENCING WORK. UNLESS OTHERWISE NOTICED, EXISTING WALLS AND INTERIOR FINISHES SHALL REMAIN IN PLACE.
- UNLESS OTHERWISE NOTICED, EXISTING ALL FINISHES IN NEARBY AREAS AND ALL INTERIOR WALLS NOT FINISHED SHALL REMAIN IN PLACE.
- UNLESS OTHERWISE NOTICED, EXISTING ALL FINISHES IN NEARBY AREAS AND ALL INTERIOR WALLS NOT FINISHED SHALL REMAIN IN PLACE.
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APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sharon Wright*  
9/10/97

**ADAAG ACCESSIBILITY REQUIREMENTS ACCESSORY/FIXTURE MOUNTING LEGEND**



**RENOVATION OF GOTHIC DIARY BARN FOR SUGARLOAF CITIZENS ASSOCIATION**

**STRUCTURAL ENGINEER:**  
Elyria Engineering  
212 West Park St.  
Frederick, MD 21701

**CIVIL ENGINEER:**  
Cresler Engineers  
916 West Diamond Ave.  
Gothierberg, MD 20878

**MECH/ELECTRICAL ENGINEER:**  
MEBECO Engineering  
5020 Shodi Grove Rd., Suite 450  
Rockville, MD 20850

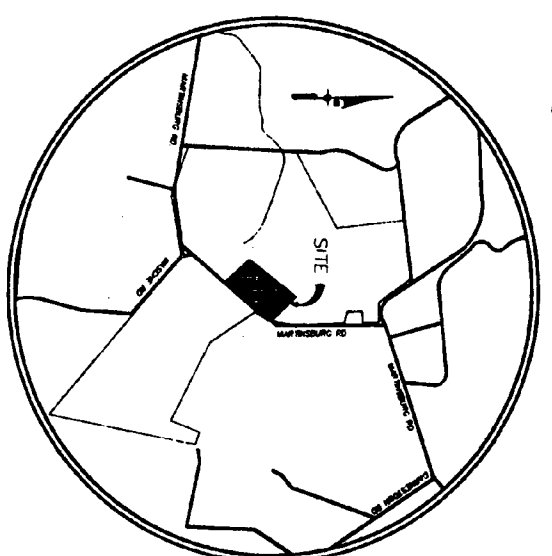
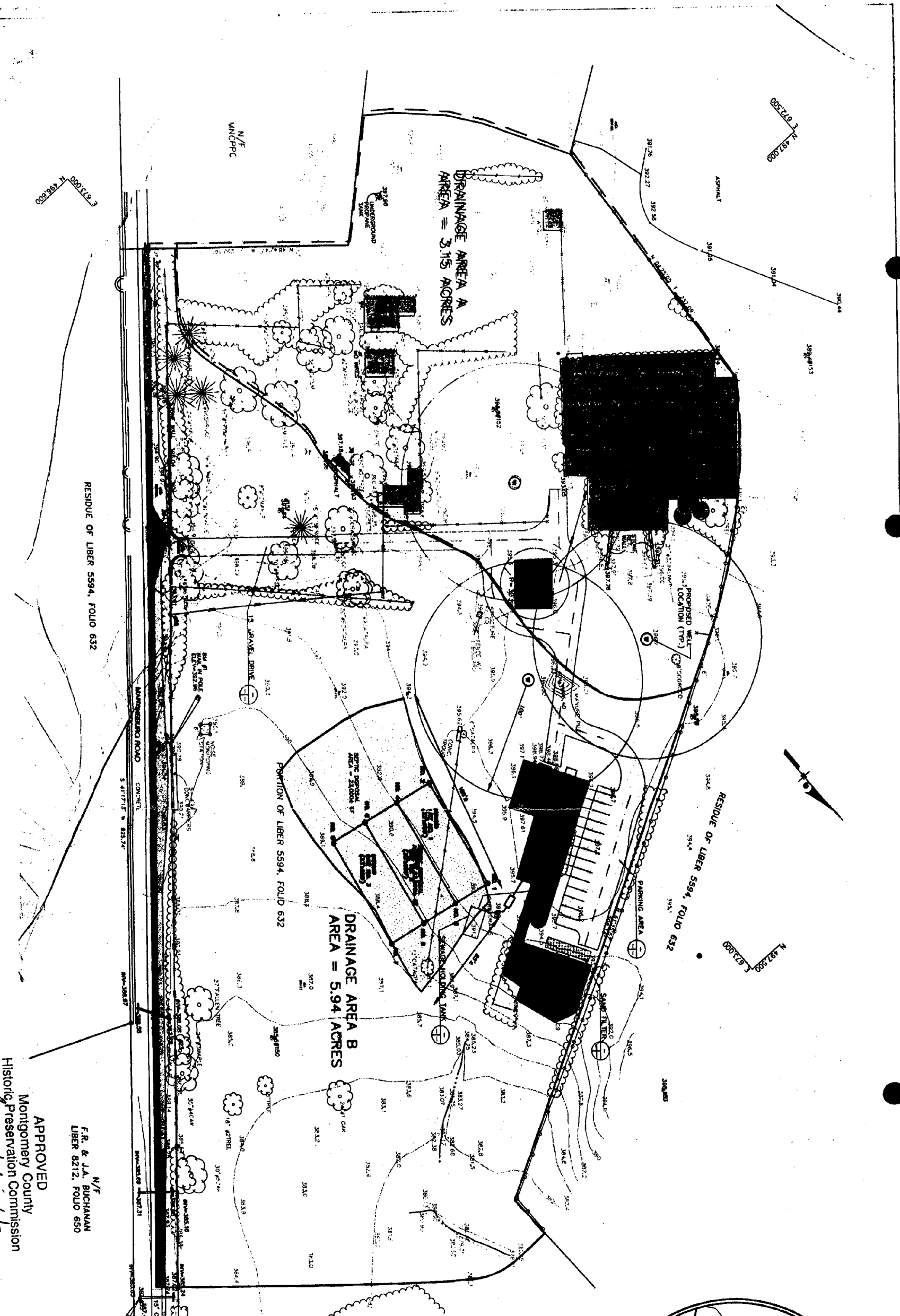
DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

Proj. No. 98-74  
Rev. No. 08-00  
Date: 10 JULY 97

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.

PROGRESS DRAWING

# DESIGN DEVELOPMENT SUBMITTAL

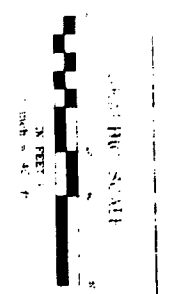
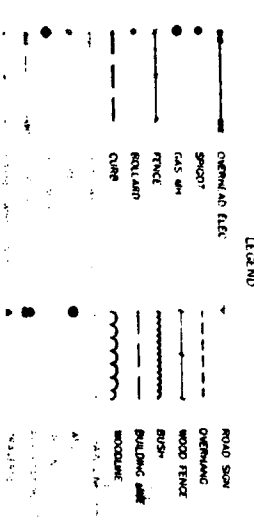


- GENERAL NOTES
- 1 Information contained hereon is based on field-run surveys conducted during the month of March, 1997. All field observations were taken from closed traverse control alignments with a minimum accuracy ratio of 1:10,000.
  - 2 Survey prepared by Bengtson, Debeli & Ehn, LTD
  - 3 Only those utilities and appurtenances visible at the site were indicated hereon. Contractor to contact Miss Utility for marking of underground utilities prior to any construction. Invert elevations for sanitary sewer and storm drain are provided.
  - 4 Elevations indicated hereon are based on United States Geological Survey bench mark numbers:  
66 MGC Elevation=397.85'  
EC-4 Elevation=413.44'
  - 5 Additional on-site benchmarks are as indicated hereon.

APPROVED  
Montgomery County  
Historic Preservation Commission

*Ann M. Wright*  
9/10/97

N/F  
F.R. & J.A. BUCHANAN  
LIBER 8212, FOLIO 650



NO.	DATE	DESCRIPTION
1	5.27	DATE
2	5.27	DATE
3	5.27	DATE
4	5.27	DATE
5	5.27	DATE
6	5.27	DATE
7	5.27	DATE
8	5.27	DATE
9	5.27	DATE
10	5.27	DATE

NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

GOTHIC DAIRY BARN

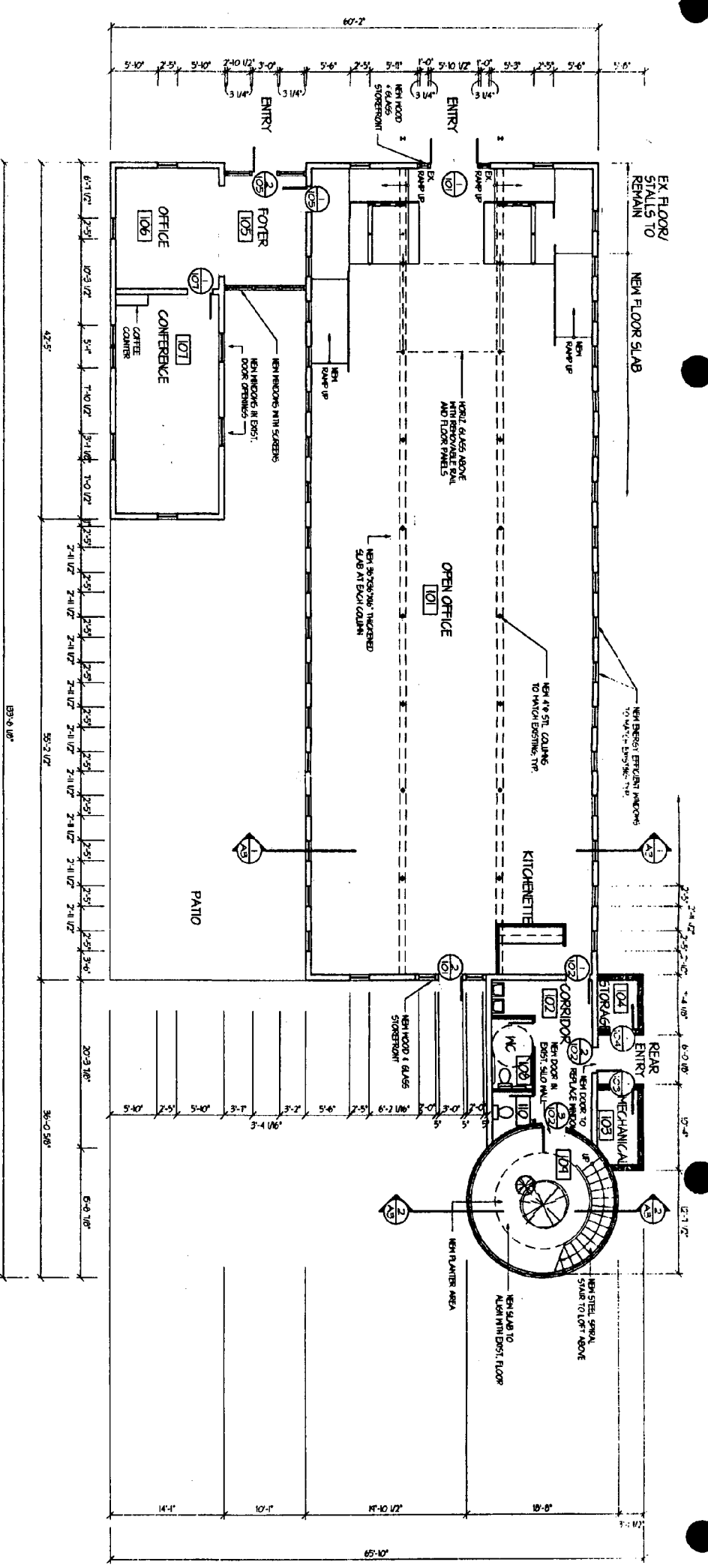
CHESTER ENGINEERS

5446-01

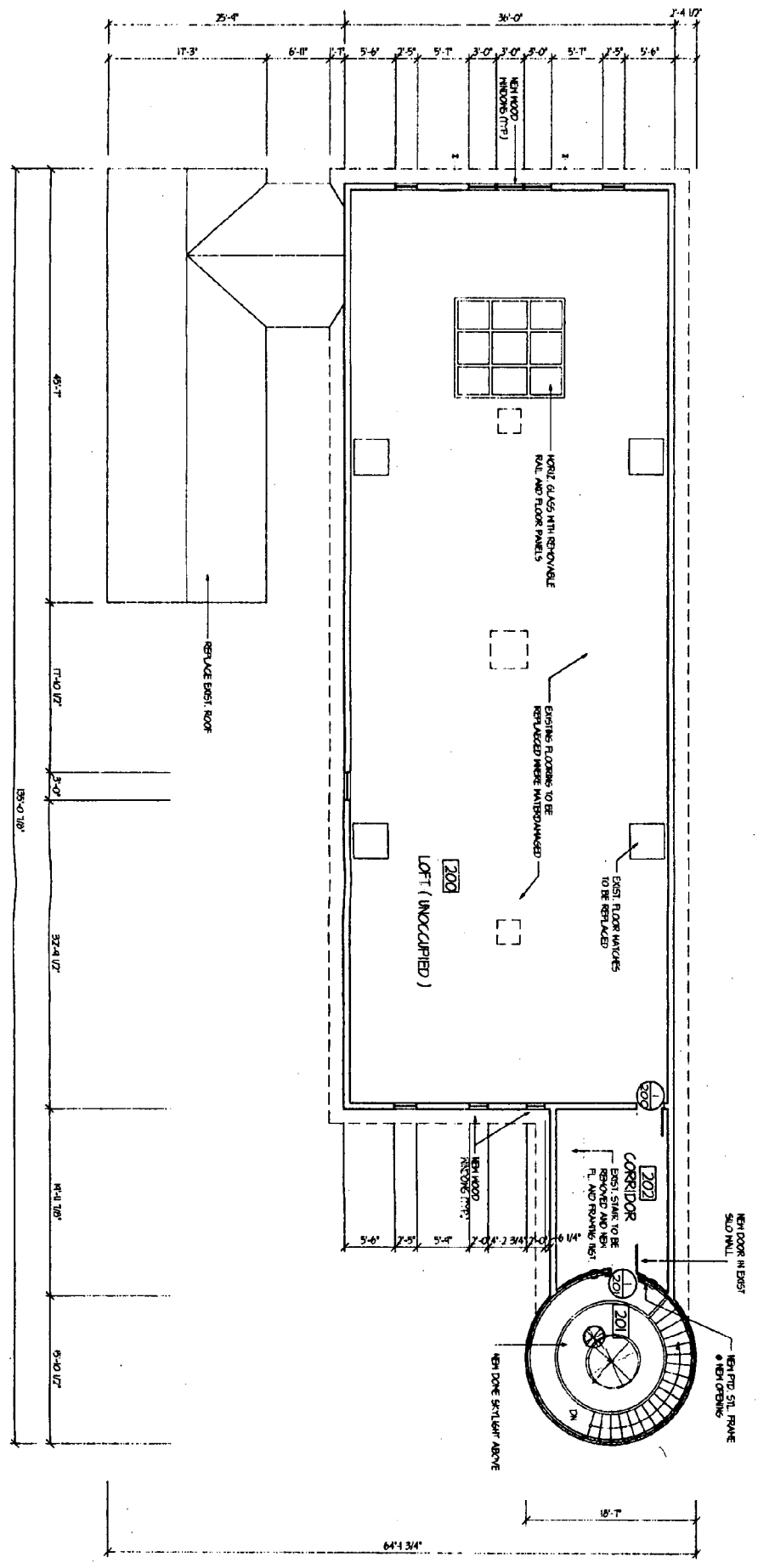
1 of 1



1 FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"



2 LOFT FLOOR PLAN  
SCALE 1/8" = 1'-0"

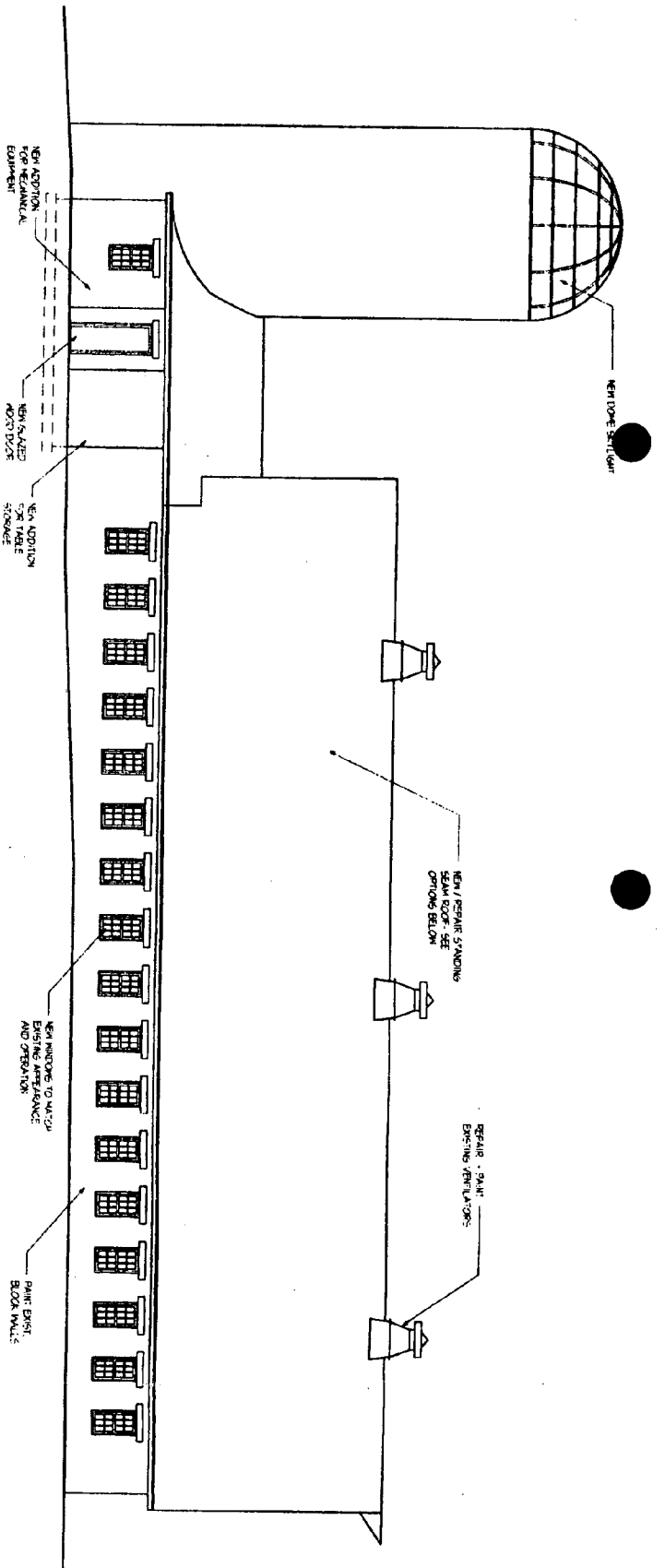


APPROVED  
Montgomery County  
Historic Preservation Commission  
*Annemarie Wright*  
9/10/97

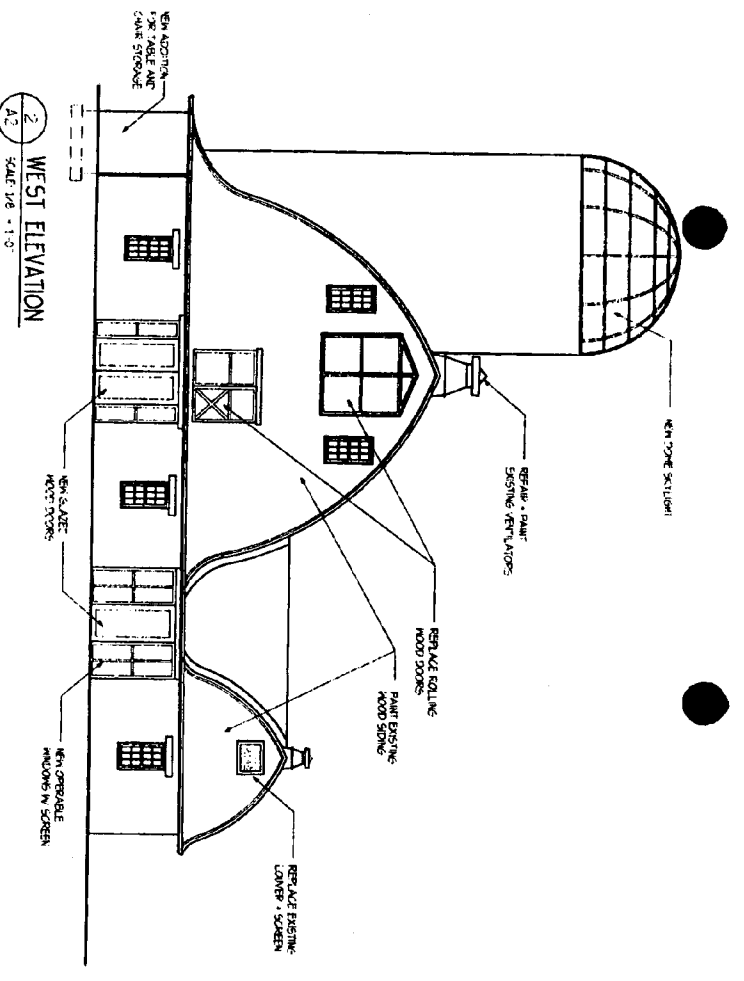
Profit & Payor  
100 North Market Street  
Frederick, Maryland 21701  
(301) 692-8532

DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

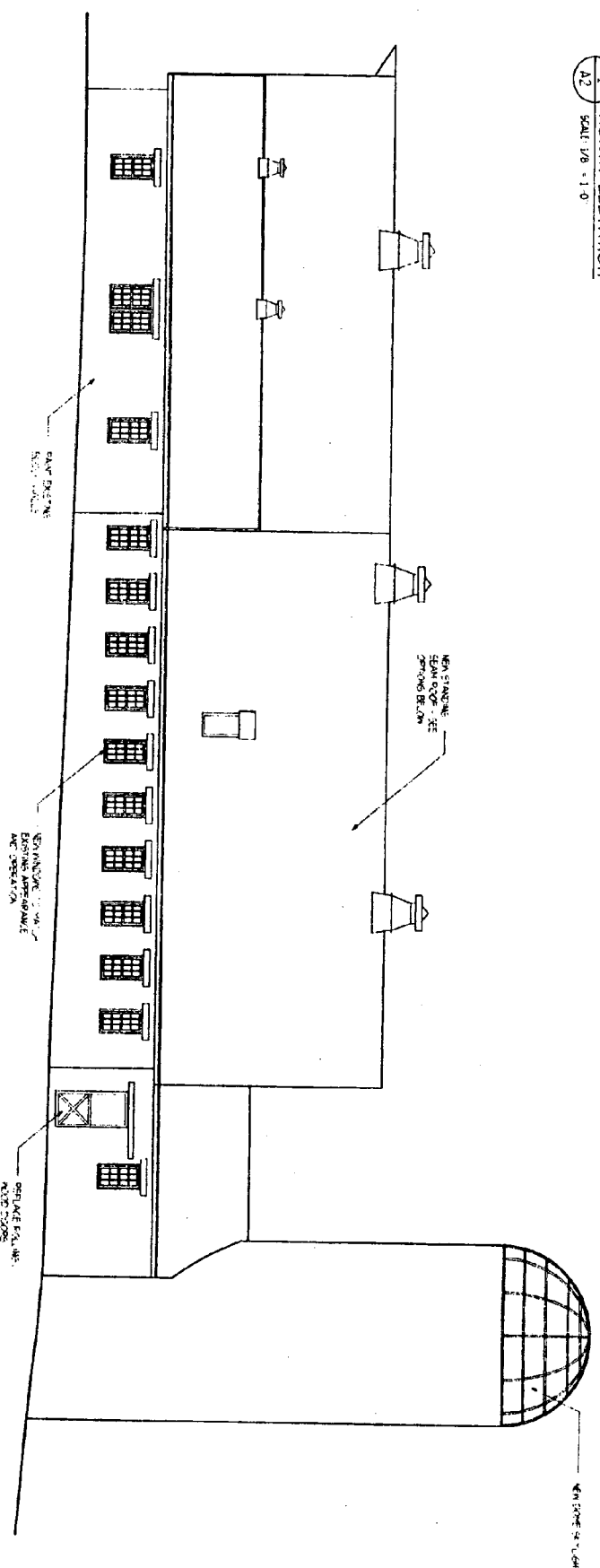
Proj No: 96-74  
File No: 08-A1  
Date: 10 APRIL 97  
Rev: 22 JULY 97  
AM  
**A1**



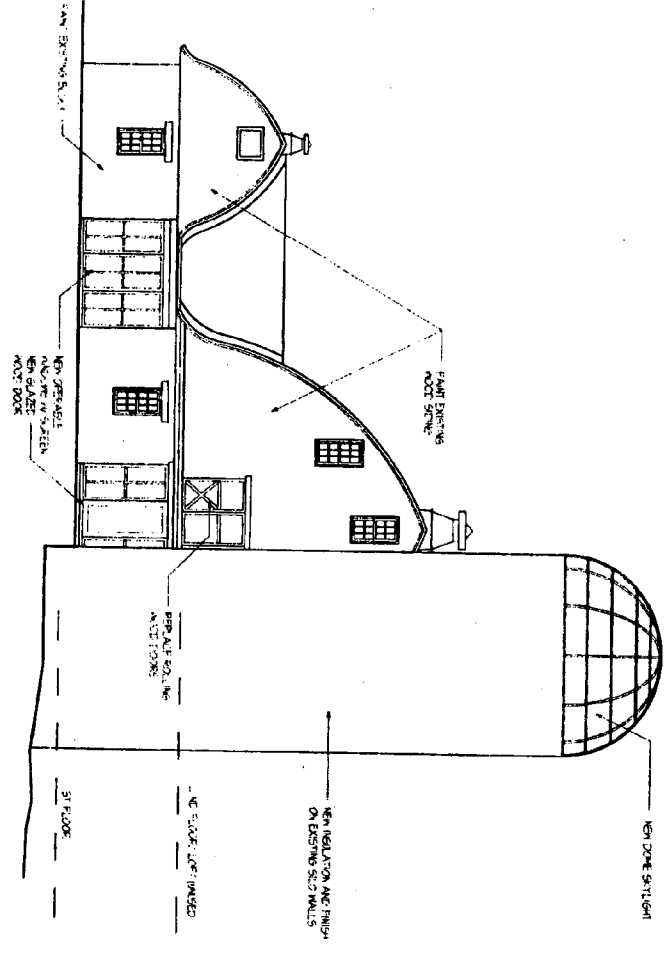
1 NORTH ELEVATION  
SCALE 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE 1/8" = 1'-0"

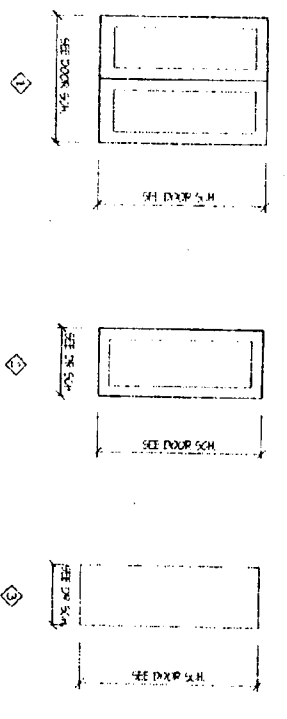


3 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

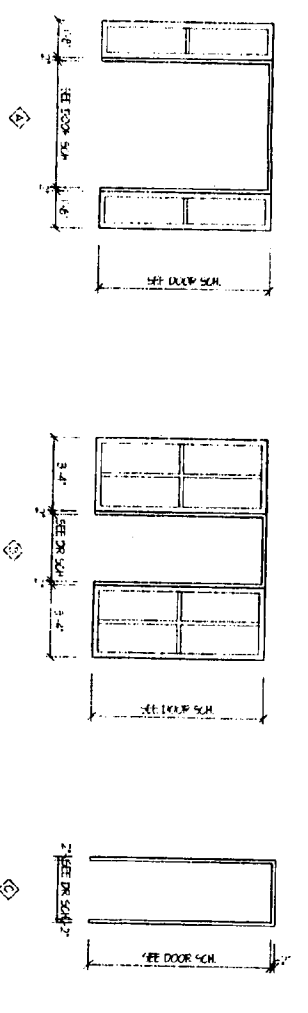


4 EAST ELEVATION  
SCALE 1/8" = 1'-0"

5 DOOR TYPES  
SCALE 1/4" = 1'-0"



6 FRAME TYPES  
SCALE 1/4" = 1'-0"



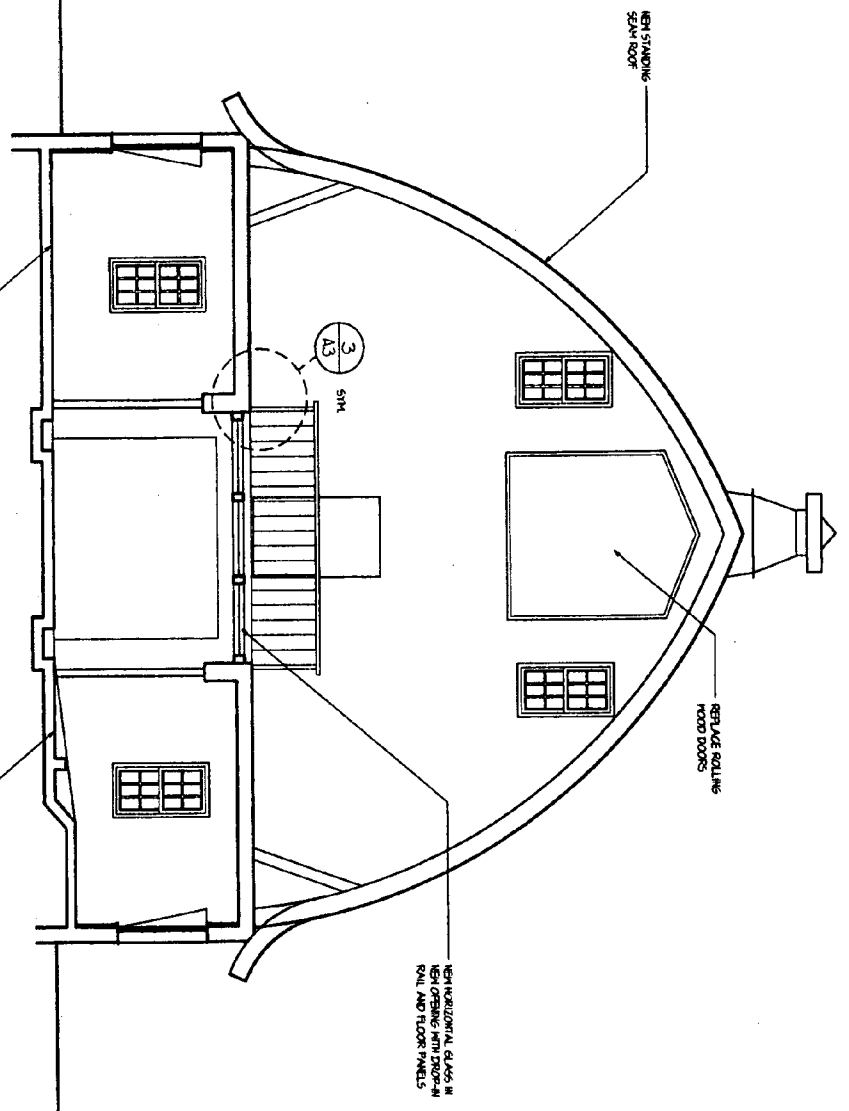
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sharon M. White*  
9/10/97

**Profit & Pryor**  
ARCHITECTS  
113 East Patrick Street  
Frederick, Maryland 21701  
(301) 682-8532

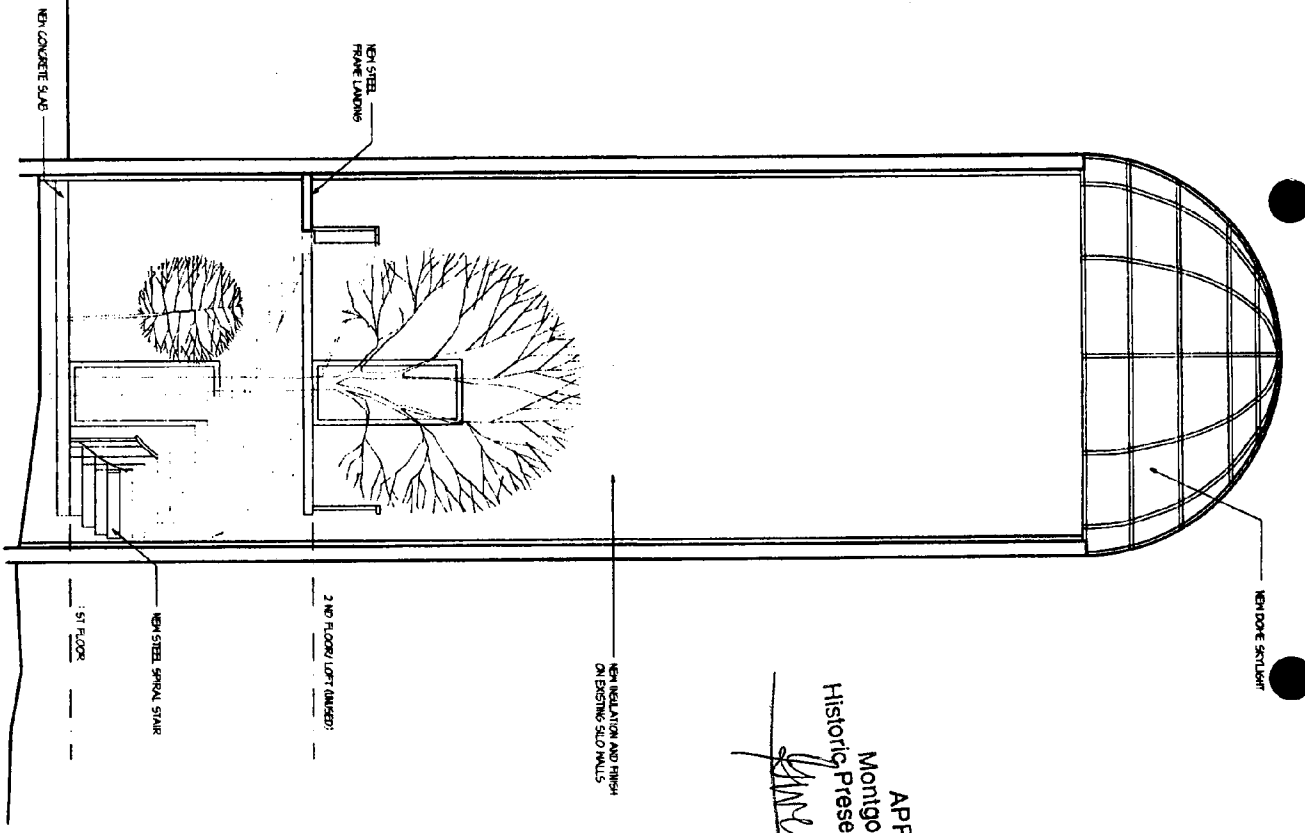
Alterations to  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickenson, Maryland

Proj No 88-74  
Date 08-23  
Rev 14 JUL 97

A2

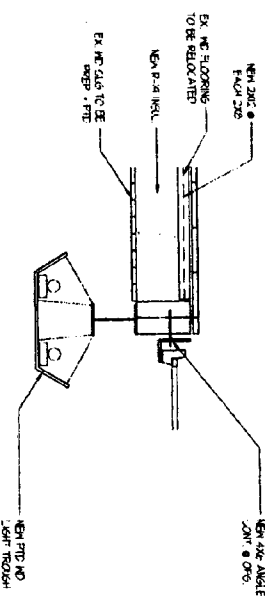


SECTION 1  
SCALE: 1/4" = 1'-0"



SECTION 2  
SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Anna Wright*  
9/10/97



SECTION 3  
SCALE: 3/4" = 1'-0"

DOOR SCHEDULE

DRC NO.	SIZE/ WIDTH	HEIGHT	THICK.	DOOR		FRAME		JOB SET	REMARKS
				TYPE	MATERIAL	TYPE	MATERIAL		
1-101	6'-0"	8'-0"	1 3/4"	1	WD	A	WD		
2-101	3'-0"	10'-0"	1 3/4"	2	WD	B	WD		
1-102	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
2-102	3'-0"	8'-0"	1 3/4"	2	WD	C	WD		
3-102	3'-0"	7'-0"	1 3/4"	2	WD	C	WD		
1-103	3'-0"	6'-8"	1 3/4"	3	WD	C	PH		
1-104	3'-0"	6'-8"	1 3/4"	3	WD	C	PH		
1-105	3'-0"	6'-8"	1 3/4"	2	WD	C	WD		
2-105	3'-0"	8'-0"	1 3/4"	2	WD	B	PH		
1-107	3'-0"	6'-8"	1 3/4"	2	WD	C	PH		
1-108	3'-0"	6'-8"	1 3/4"	3	WD	C	PH		
1-110	3'-0"	6'-8"	1 3/4"	3	WD	C	PH		
1-200	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-201	3'-0"	7'-0"	1 3/4"	2	WD	C	WD		

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS		WALLS				CEILING	REMARKS
		MATERIAL	BASE	NORTH	EAST	SOUTH	WEST		
101	OPEN OFFICE	SEALED CONC.	-	PTD EX	PTD EX	PTD EX	PTD EX	PTD EX, WD	8'-6"
102	CORRIDOR	SEALED CONC.	-	PTD EX	PTD EX	PTD EX	PTD EX	PTD EX, WD	8'-0"
103	MECHANICAL	SEALED CONC.	-	PTD CHU	PTD CHU	PTD CHU	PTD CHU	EXP/STRUCT	8'-0"
104	STORAGE	SEALED CONC.	-	PTD CHU	PTD CHU	PTD CHU	PTD CHU	EXP/STRUCT	8'-0"
105	FOYER	SEALED CONC.	-	PTD CHU	GLASS	-	GLASS	PAINT EX, WD	8'-0"
106	OFFICE	SEALED CONC.	-	-	PTD CHU	PTD CHU	PTD CHU	PAINT EX, WD	8'-0"
107	CONFERENCE	SEALED CONC.	-	PTD CHU	PTD CHU	PTD CHU	PTD CHU	PAINT EX, WD	8'-0"
108	WC	SEALED CONC.	-	CT	CT	CT	CT	PAINT EX, WD	8'-0"
109	STAIR	SEALED CONC.	-	PTD CHU	PTD CHU	PTD CHU	PTD CHU	-	1 BK FIRE RATED
110	WC	SEALED CONC.	-	CT	CT	CT	CT	PAINT EX, WD	8'-0"
200	LOFT	EXIST. WD	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
202	CORRIDOR	EXIST. WD	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-

DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

100 North Market Street  
Frederick, Maryland 21701  
(301) 692-5532  
**Proffitt & Pryor**  
ARCHITECTS

**A3**

Proj No: 86-74  
Rev: 10 APRIL 97  
Date: 23 JULY 97  
Rev: 23 JULY 97

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20900A Martinsburg Road, Dickerson

Meeting Date: 9/10/97

Resource: Gothic Dairy Barn/Lawrence White Farm  
Master Plan Site #12/31

Review: HAWP

Case Number: 12/31-97A

Tax Credit: Partial

Public Notice: 8/27/97

Report Date: 9/3/97

Applicant: Montgomery County/Division of Facilities & Services Staff: Gwen Wright

PROPOSAL: Renovation of historic dairy barn

RECOMMEND: Approval

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**DATE OF CONSTRUCTION:** Approximately 1930s-1940s.

**SIGNIFICANCE:** Individual Master Plan Site - Gothic Dairy Barn at Lawrence White Farm

**ARCHITECTURAL DESCRIPTION:** Dairy barn with concrete block walls, standing seam metal roof, and wood siding.

### **PROJECT PROPOSAL:**

Montgomery County is working with Sugarloaf Citizens Association to renovate the Gothic Dairy Barn at the Lawrence White Farm (a.k.a. the Matthews Farm). The current proposal includes work to convert the barn into offices and meeting space for the Sugarloaf Citizens Association. Work proposed is as follows:

- Replace existing standing seam metal roof with a new standing seam metal roof (Note: as this is replacement with exactly matching materials, this proposal does not technically need HPC approval through the HAWP process.)
- Replace all 6/6 windows (most of which are currently missing or damaged beyond repair) with new wooden 6/6 windows with insulated glass, applied muntins and shadow bars. These are not double-hung windows, but are rather fixed 6/6 sashes which tilt inward to open. This mode of operation will be retained.
- Repair/paint existing ventilators on roof of barn; paint existing concrete block walls and existing wood siding (Note: as painting is considered regular repair/maintenance work,

this proposal does not technically need HPC approval through the HAWP process.)

- Install new wood and glass doors and/or large wooden windows in barn openings on the west and east elevations, including the breezeway between the main barn and the milkhouse. These original openings were large to accommodate the movement of farm animals and machinery. The sense of openness is to be retained through the extensive use of glass in these openings, while making the building weathertight and functional as an office. Existing rolling wood doors will be retained/replaced and can be used to cover some of the glass areas when the building is closed.
- Build two small additions at the rear northeast corner of the building for mechanical and storage purposes. These additions would be of a similar material as the main barn structure and would be relatively unobtrusive (sizes: 7' X 10' and 7' X 7').
- Add a dome skylight atop the silo to make the structure weathertight and allow light into the space.
- Add parking spaces along the rear facade of the barn (the north elevation).

#### **BACKGROUND:**

The Gothic Dairy Barn at the Lawrence White/Matthews Farm was designated as a historic site in 1993. It is one of the few remaining outbuildings from a 19th century farmstead along historic Martinsburg Road. The farm has belonged to Montgomery County for a number of years and the area behind the farm buildings is used as the County's Composting Facility.

The main farmhouse burned to ground in 1990, leaving only a bank barn, a corncrib, a dairy barn, a board and batten tenant house, and a log structure. Although all of these structures were recommended for historic designation, the County Council chose to designate only the Gothic Dairy Barn with an environmental setting of only the area immediately around the footprint of the barn. The other outbuildings are still extant, except for the log structure, which was dismantled and moved to another farm site in western Montgomery County. Negotiations are underway for the ultimate retention of a number of the other outbuildings, even though they are not officially designated as historic.

As the result of a lawsuit brought by Sugarloaf Citizens Associations against Montgomery County, the County has entered into an agreement with the civic group to undertake a number of projects in the Dickerson area - including renovation of the Gothic Dairy Barn as offices for the Sugarloaf Citizens Association. The group has worked closely with the Division of Facilities and Services (DFS) and the Department of Public Works and Transportation (DPWT) on selection of an architect for this project, on review of the design concepts at each stage, and on the ultimate approval of the architectural plans. There have been large group meetings with the civic association as well as a working committee that has included Jane Hunter (Sugarloaf Citizens Association), Jeff Dunkel (DPWT), Hameed Omidvar (DFS), and Gwen Wright (M-NCPPC).

There current HAWP submission is the result of the work done by the committee noted above in conjunction with the architect, Proffitt & Pryor.

**STAFF DISCUSSION:**

Staff applauds the effort which has been made to retain the character of this historic agricultural building while adaptively reusing it as offices for the Sugarloaf Citizens Associations. Many farm buildings which no longer have agricultural functions are left to deteriorate - it is fortunate that a good new use has been found for this unique Gothic-roofed structure. And it is appropriate that preservation of the exterior features of the building has been a major priority in the design work on the project.

Staff feels that the roof replacement (with a new standing seam metal roof) and the painting are appropriate and necessary maintenance work which could be approved without a HAWP, but which are brought to the HPC for their information.

The 6/6 windows must be replaced as the majority of the historic windows are missing or damaged beyond repair. The barn has been vacant for many years and the windows have been destroyed by weather and vandalism. Retention of the function of the windows (tilting in to open rather than being double-hung) is a feature which is particularly reflective of the original agricultural use of the building - it is very appropriate that this mode of functioning is being retained. The use of windows with insulated glass with applied muntins and shadow bars has been generally favored by the HPC when new windows are required. Staff feels that this proposal should be approved.

The "glassing in" of the large openings on the east and west elevations in an appropriate way to deal with adaptive reuse of this farm buildings for an office function. It allows the openings to still read as voids in the solid concrete block wall. Staff encourages the retention of as many rolling wooden doors as possible so that these historic features can also be used (when the building is closed) to simulate the original appearance of the barn as much as possible. In addition, staff particularly notes that the windows in the breezeway which is to be enclosed will be operable - in good weather, the windows can be opened to simulate the original function of the breezeway. All the new windows/doors in these openings will be wood with insulated glass and no muntins.

The two small additions on the rear, northeast corner of the building are unobtrusive and should be approved as proposed. By adding this small additions, it is possible to retain a great deal of the openness of the main interior space - which is another important feature of the historic character of the barn.

The glass skylight atop the silo is a creative solution to the use of this farm structure and staff supports its use. Silos are an important emblem of the farm landscape, but are difficult to adaptively reuse. This silo will be a circular staircase and a planting area - it will become an integral part of the functioning of the new office use in the barn. The glass skylight will allow light into the space without punching holes in the silo walls and will make it usable space.

Although a glass skylight is not historically what one would find atop a silo, its form is appropriate and its differentiated materials clearly identify the building as having a new and modern function. Staff feels this is a good example of Secretary's Standard #9, "...The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features..."

Finally, the parking and proposed site work seem appropriate to the rural character of this property. However, staff is very concerned about the mound system sewage area shown to the south of the barn structure (between the barn and Martinsburg Road). Such a mound system would severely detract from the historic character of the entire site.

**STAFF RECOMMENDATION:**

Staff recommends approval of this HAWP as it is in accord with Criteria 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with Secretary of the Interior's Standards #1, #5, #9 and #10.

# HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL PROPPITT

Daytime Phone No.: 301 662 8532

Tax Account No.: \_\_\_\_\_

Name of Property Owner: MONTGOMERY COUNTY

Daytime Phone No.: 301 217 626

Address: 110 N. WASHINGTON ST. ROCKVILLE MD. 20860  
Street Number City State Zip Code

Contractor: TBA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MICHAEL PROPPITT, ARCHITECT Daytime Phone No.: 301 662 8532

## LOCATION OF BUILDING/PREMISE

House Number: 20900A Street: MARTINSBURG RD.

Town/City: DICKERSON Nearest Cross Street: WASCHE RD

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: 539 Folio: 632 Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 550,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

8/15/97  
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 9708200069 Date Filed: 8-20-97 Date Issued: \_\_\_\_\_

5



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**



**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING 1940S GOTHIC DAIRY BARN TO BE CONVERTED  
TO OFFICE BUILDING FOR SUGARLOAF CITIZENS ASSOC.  
RURAL SETTING IN UN-MOWN FIELD ALONG 1/2 LANE ROAD  
FORM + EXTERIOR FEATURES ARE SIGNIFICANT - SEE DRAWINGS

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2 SMALL ADDITIONS TO REAR FOR UTILITIES / STORAGE  
REPLACE ROOF WINDOWS + DOORS. REPAINT BLOCK  
+ WOOD SIDING. NEW CAP ON EXIST SILO. ALL TO ALLOW  
BARN TO REMAIN IN USE AS A WATERTIGHT BUILDING

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

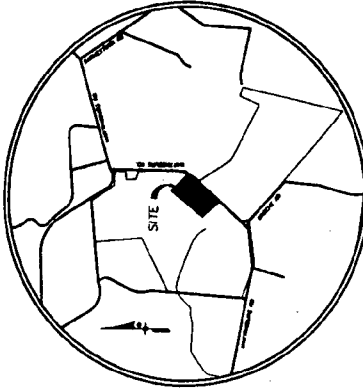
**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6

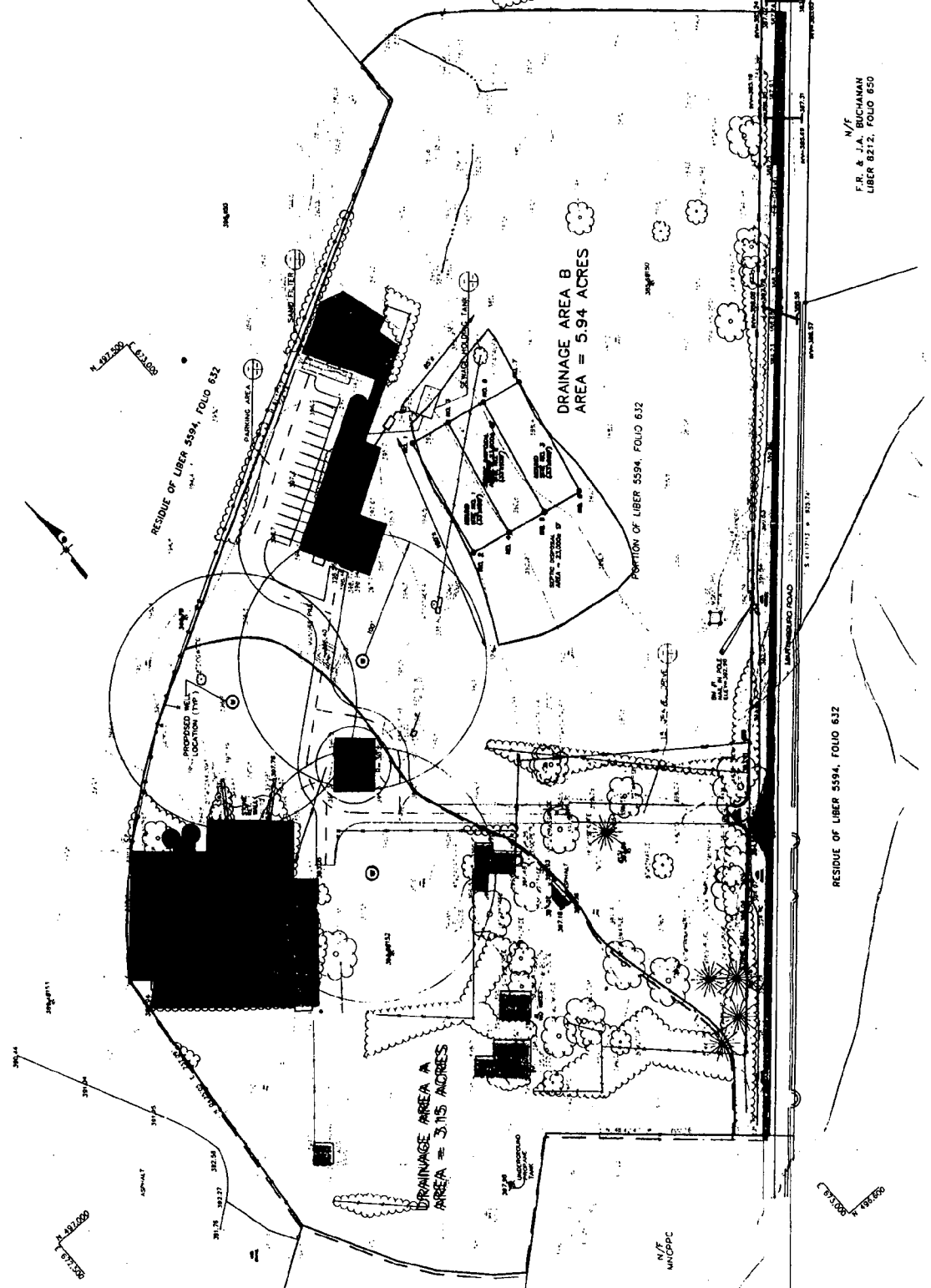


VICINITY MAP  
SCALE 1"=200'

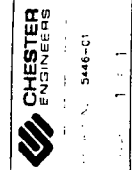
- GENERAL NOTES**
1. Information contained herein is based on field-survey data conducted during the month of March, 1997. All measurements were taken from established permanent control monuments with a Leica TCA 1100 total station.
  2. Survey conducted by Bechtel, Baker & Chan, LTD.
  3. Only those utilities and structures shown on the site plan are to be shown. All other utilities to be shown on the site plan are to be shown as indicated on the site plan. All other utilities to be shown on the site plan are to be shown as indicated on the site plan.
  4. Elevation indicated herein are based on United States Mean Sea Level (MSL).
  5. Additional on-site benchmarks are as indicated herein.

**LEGEND**

[Symbol]	PROPOSED
[Symbol]	EXISTING
[Symbol]	PROPERTY
[Symbol]	STREET
[Symbol]	RAILROAD
[Symbol]	UTILITY
[Symbol]	TOP
[Symbol]	OBSTACLE
[Symbol]	... ..
[Symbol]	...
[Symbol]	...
[Symbol]	...
[Symbol]	...



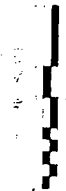
N/F  
F. R. & J.A. BUCHANAN  
LIBER 8212, FOLIO 650



COTHC DAIRY BARN

SCALE 1"=111'

**DESIGN DEVELOPMENT SUBMITTAL**

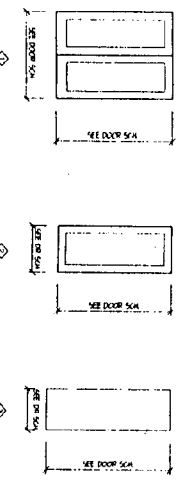


PROGRESS DRAWING  
HAS NOT RECEIVED FINAL APPROVAL  
NOT FOR FINAL SUBMISSION

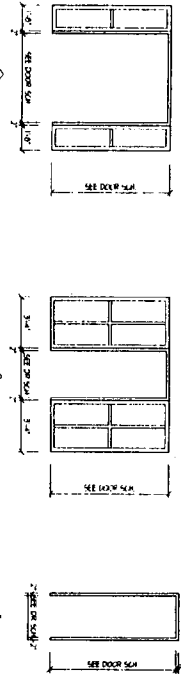
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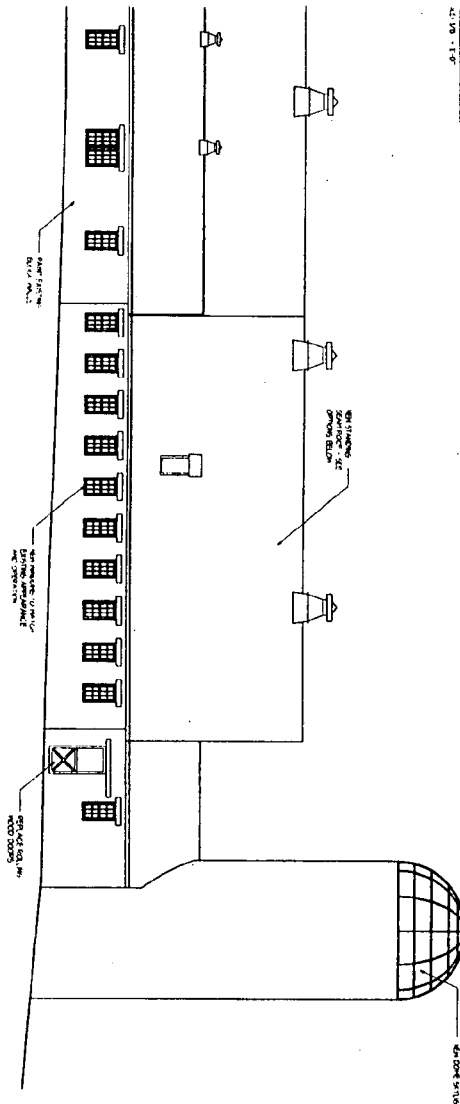
1-10 TYPES



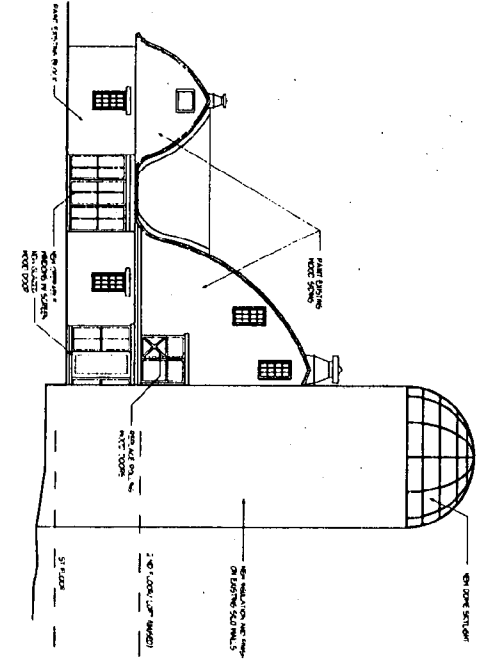
5 FRAME TYPES



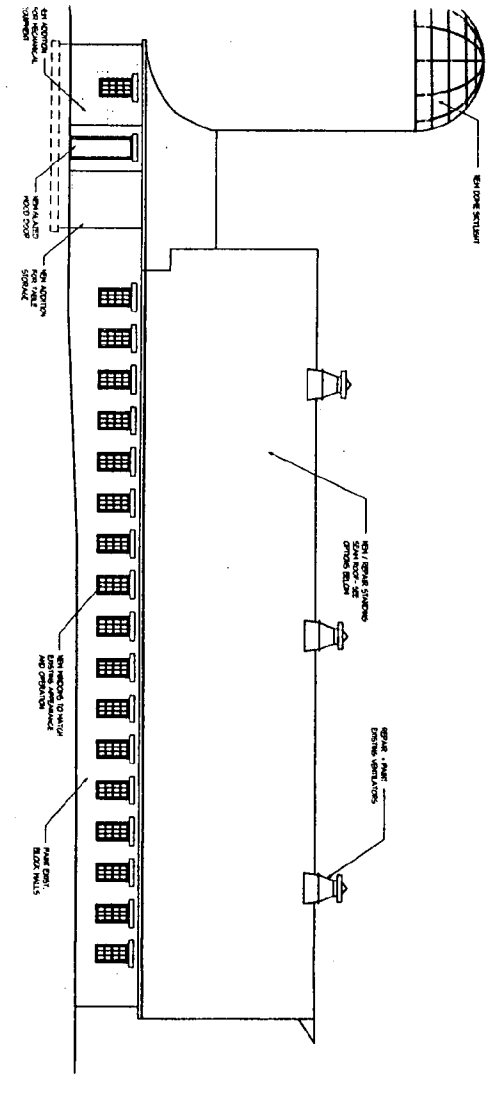
30TH ELEVATION



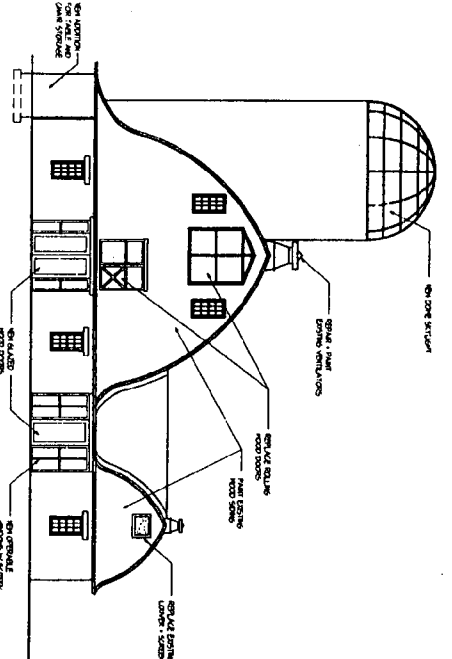
4 EAST ELEVATION



30TH ELEVATION



2 WEST ELEVATION



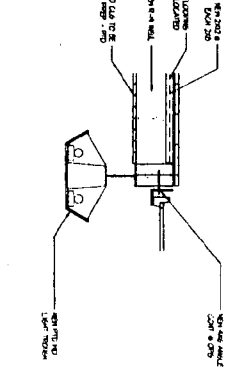
Proj No: 88-11  
Date: 28 DEC 86  
Doc: 11 JAN 87  
A2

Alterations to  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickenson, Maryland

Proffit & Proff  
113 East Potomac Street  
Frederick, Maryland 21701  
(301) 462-7822

6

### 3 TYP. DET. STEEL BEAM



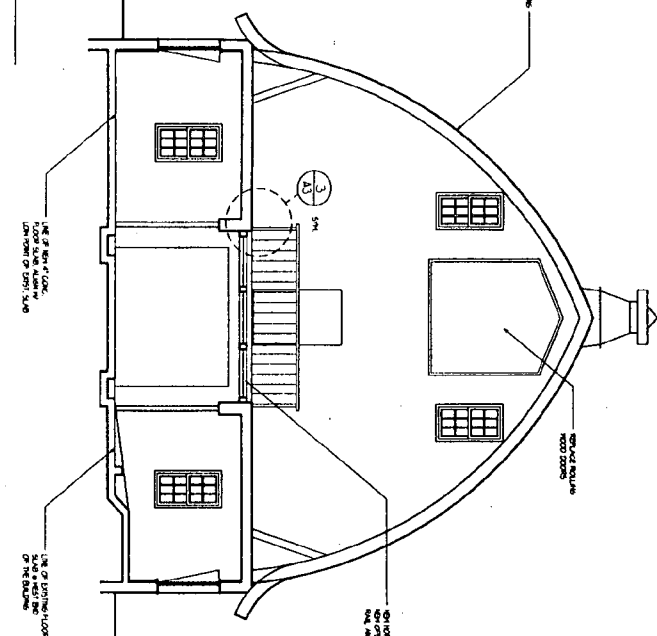
#### DOOR SCHEDULE

DOR. NO.	SET/B. WIDTH	HEIGHT	THICK.	DOOR				LAMP	REMARKS
				TYPE	MATERIAL	FRAME	MATERIAL		
1-201	6'-0"	8'-0"	1 3/4"	1	WD	A	WD		
2-201	3'-0"	30'-0"	1 3/4"	2	WD	B	WD		
1-202	3'-0"	8'-0"	1 3/4"	2	WD	C	WD		
2-202	3'-0"	8'-0"	1 3/4"	2	WD	C	WD		
3-202	3'-0"	7'-0"	1 3/4"	2	WD	C	WD		
1-100	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-200	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-300	3'-0"	6'-8"	1 3/4"	2	WD	C	WD		
2-100	3'-0"	8'-0"	1 3/4"	2	WD	B	WD		
1-301	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-101	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-201	3'-0"	6'-8"	1 3/4"	3	WD	C	WD		
1-301	3'-0"	7'-0"	1 3/4"	2	WD	C	WD		

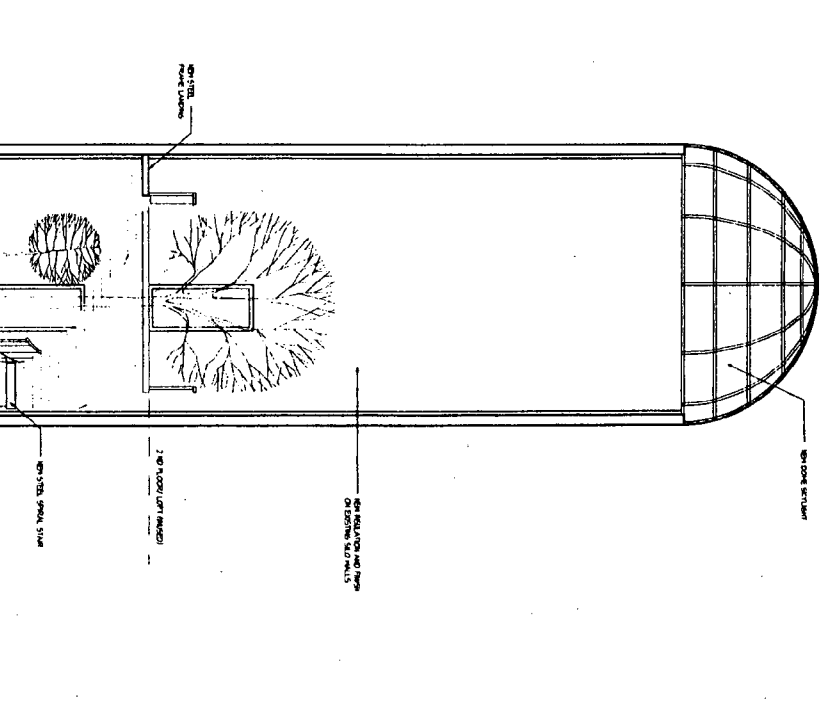
#### FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORING	CASING	WALLS	CEILING	DOORS	REMARKS
101	OFFICE	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
102	CORRIDOR	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
103	REAR PORCH	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
104	STORAGE	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
105	ATTIC	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
106	CORRIDOR	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
107	STAIR	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
108	LOFT	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
109	LOFT	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
200	CORRIDOR	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	
201	CORRIDOR	FLOOR	FLOOR	FR. PL.	FR. PL.	FR. PL.	

### 1 SECTION



### 2 SECTION

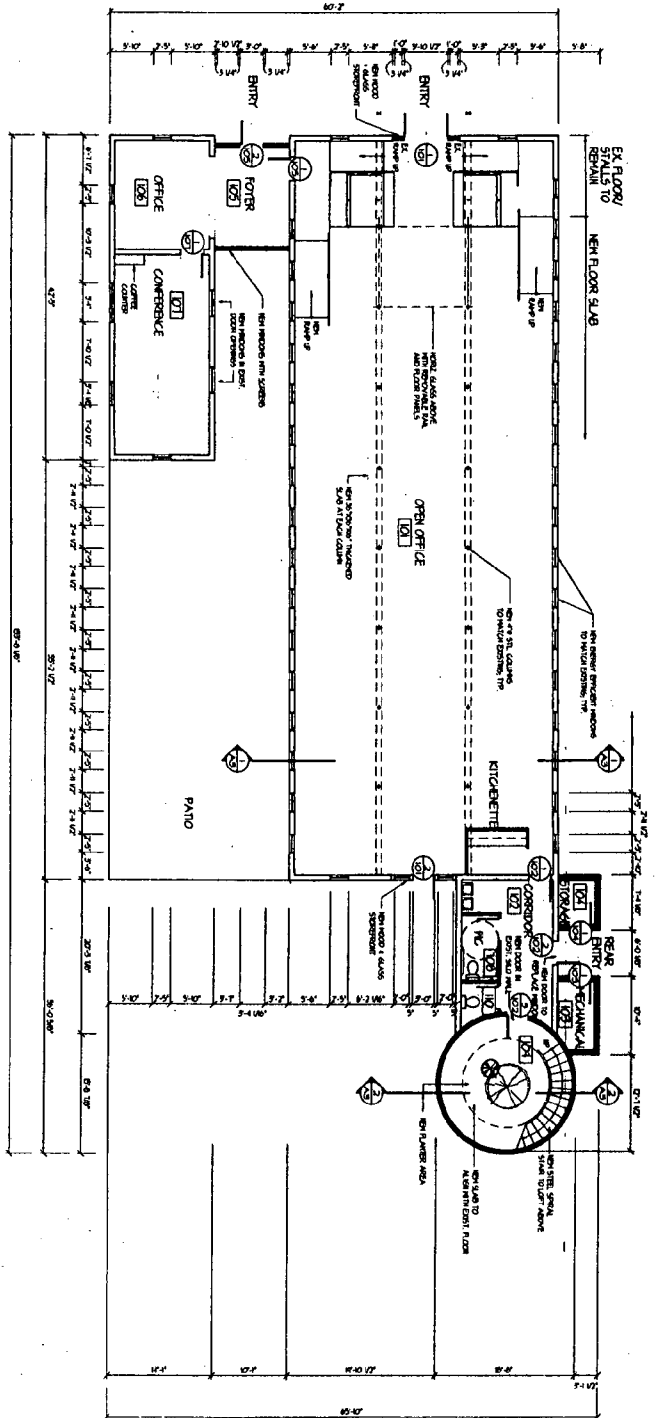


Rev. No. 98-74  
Date: 10 April 97  
Rev. 23 July 97  
**A3**

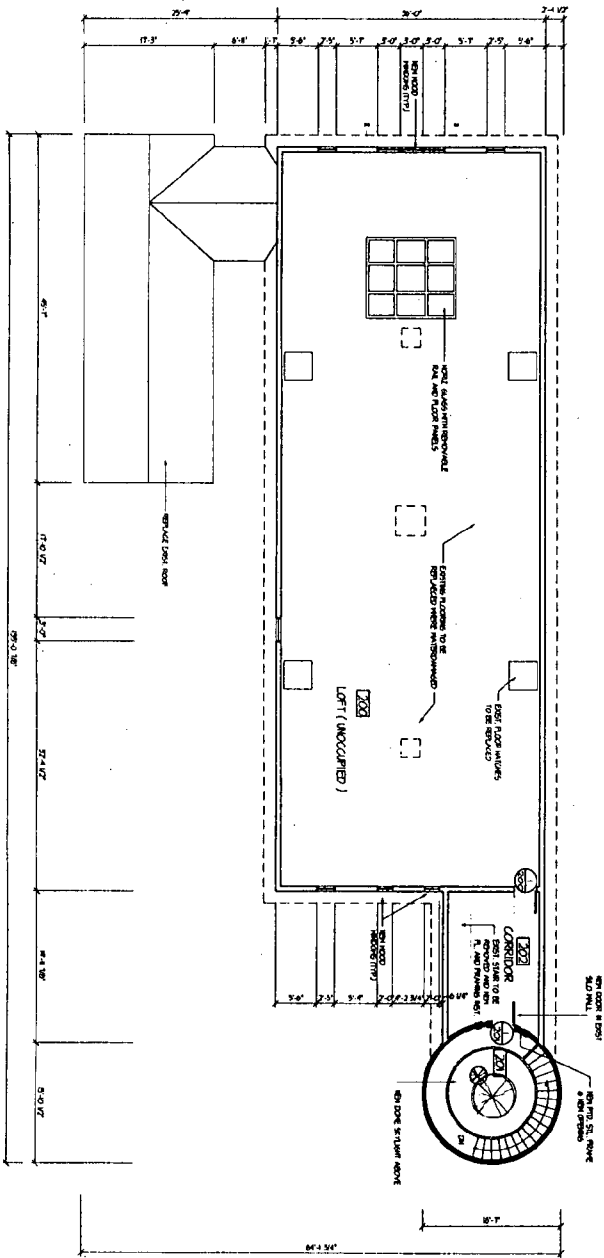
DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickerson, Maryland

**Petfit & Pryor**  
100 North Market Street  
Frederick, Maryland 21701  
(301) 862-8822


5T FLOOR PLAN  
1/16" = 1'-0"

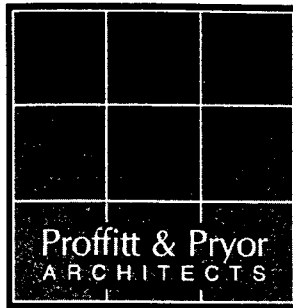


FT FLOOR PLAN  
1/16" = 1'-0"



10

<b>A1</b>	DESIGN DEVELOPMENT SUBMITTAL <b>A GOTHIC BARN</b> Old Matthews Farm On Martinsburg Road Dickerson, Maryland	Project: 10 Date: 10 JUN 97 Rev: 22 JUL 97	100 North Laurel Street Frederick, Maryland 21701 (301) 662-8532	Preston N. Jiroud



20 August 1997

Sugarloaf Barn Renovation  
Master Plan Site 12/31  
Lawrence White Farm  
Martinsburg Road  
Dickerson, Maryland

Proj. No.: 96-74

List of Neighboring Property Owners:

Montgomery County  
110 North Washington Street  
Rockville, Maryland 20850

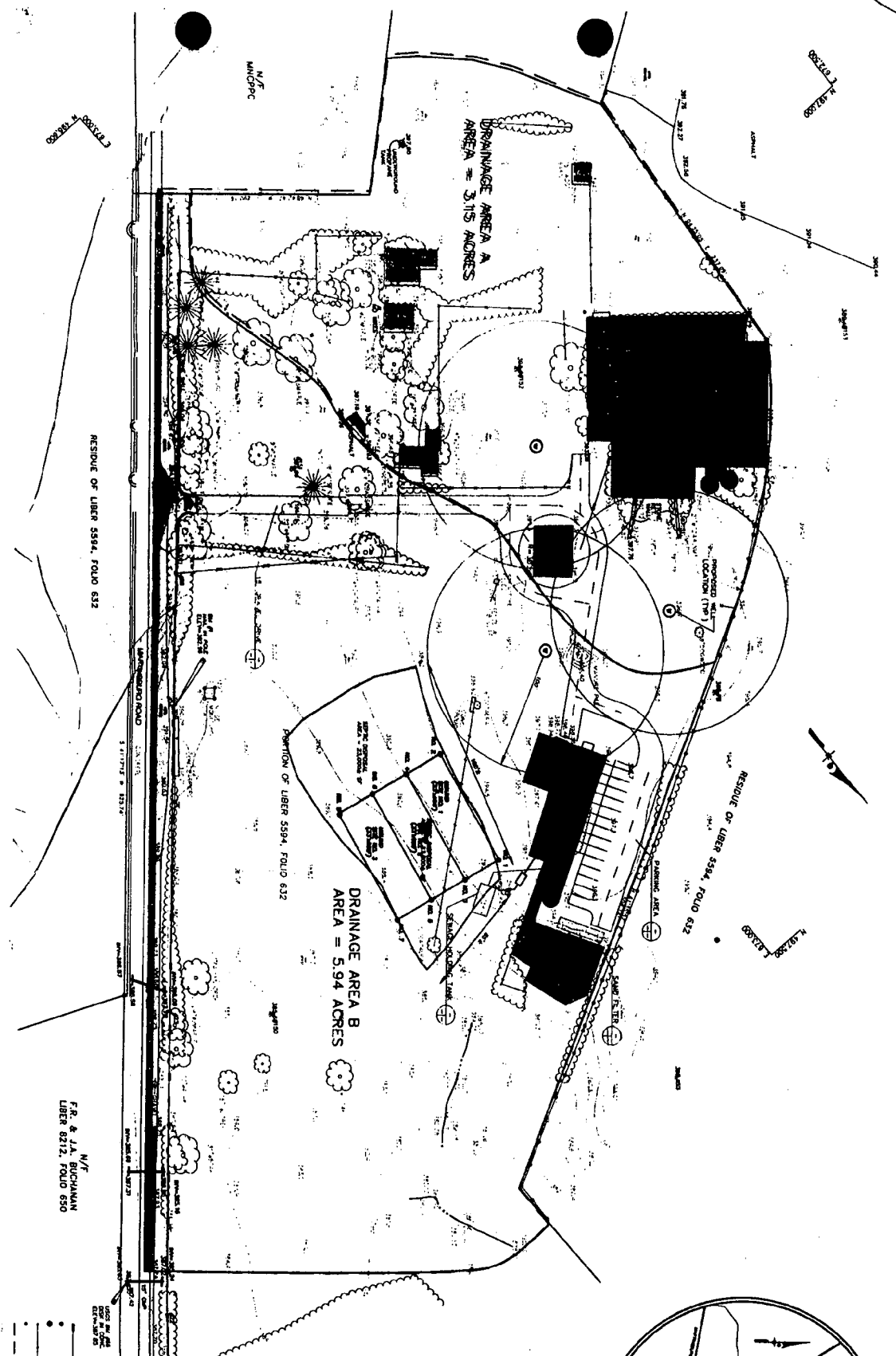
F.R. & J.A. Buchanan,  
20700 Darnstown Road  
Dickerson, Maryland 20842

11



PROGRESS DRAWING  
 PLAN HAS NOT RECEIVED FINAL APPROVAL  
 THIS IS NOT FOR FINAL SO OR CONSTRUCTION

# DESIGN DEVELOPMENT SUBMITTAL



1:2000

1:2000

DRAINAGE AREA B  
 AREA = 5.94 ACRES

DRAINAGE AREA A  
 AREA = 3.15 ACRES

1:2000

### GENERAL NOTES

1. Information contained herein is based on aerogram surveys conducted during the month of March, 1997. All dimensions with a fractional decimal are to be at 1:10,000.
2. Survey prepared by Brayton, Gabel & Day, LTD.
3. Only those utility and transportation needs at the time of the survey are shown. The owner is responsible for verifying the location of underground utilities prior to any excavation or construction for sanitary sewer and storm sewer.
4. Conditions indicated herein are based on United States 1983 NAD, Contours 430725, Contours 431075, Contours 431325.
5. Additional on-site benchmarks are as indicated herein.

### LEGEND

DRAINAGE AREA		PROPERTY LINES		UTILITIES		ROADS	
Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description
(Solid line)	Area Boundary	(Dashed line)	Property Line	(Double line)	Sanitary Sewer	(Double line)	Asphalt Road
(Dashed line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Storm Sewer	(Single line)	Gravel Road
(Solid line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Water	(Single line)	Dirt Road
(Dashed line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Gas	(Single line)	Gravel Driveway
(Solid line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Electric	(Single line)	Dirt Driveway
(Dashed line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Telephone	(Single line)	Gravel Path
(Solid line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Optical Fiber	(Single line)	Dirt Path
(Dashed line)	Area Boundary	(Dotted line)	Property Line	(Single line)	Other	(Single line)	Other



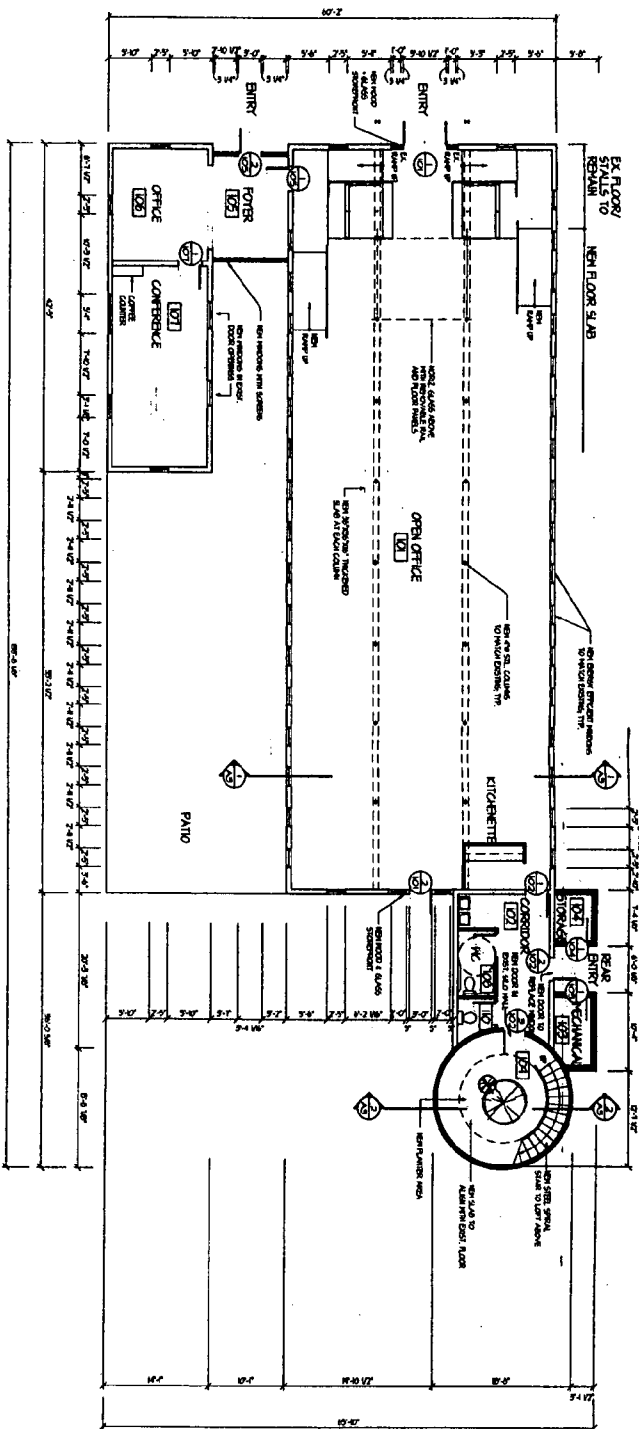
GOTHIC DAIRY BARN  
 ENGINEERS  
 5446-01  
 CHESTER ENGINEERS  
 5446-01



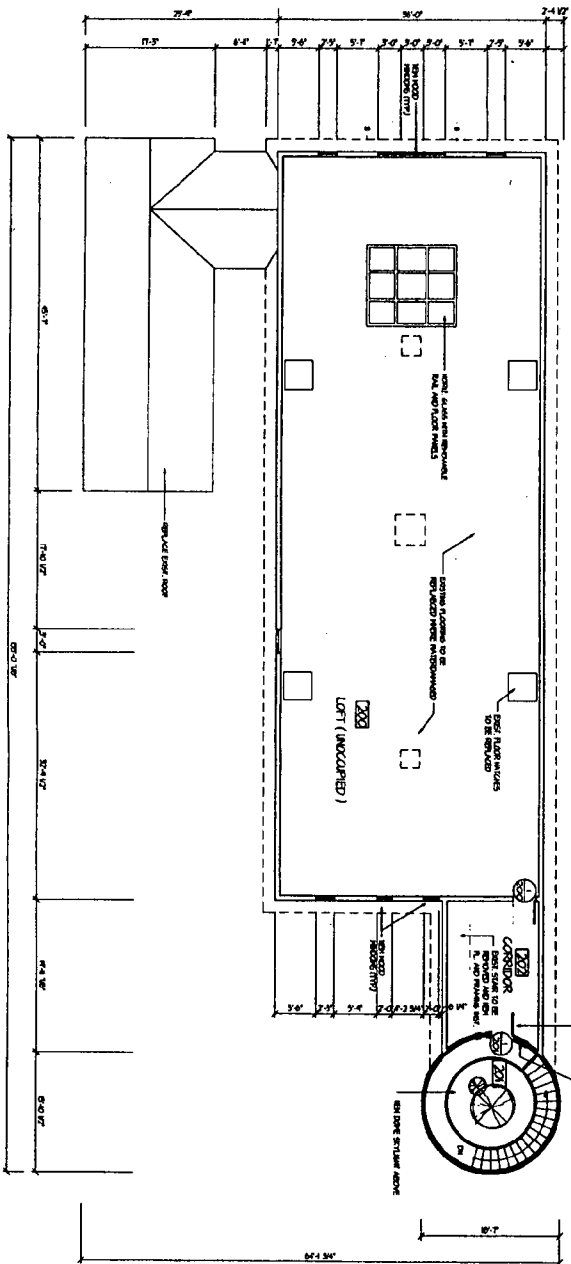
1:1



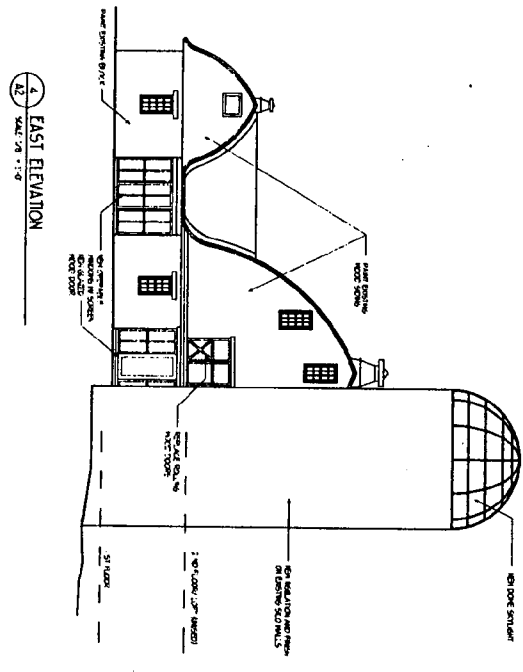
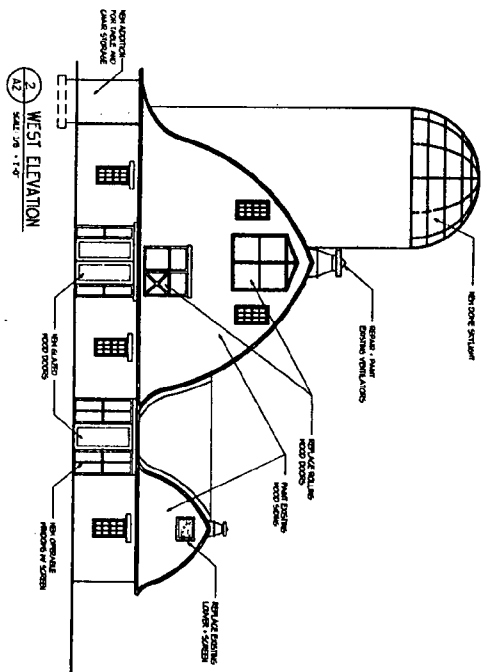
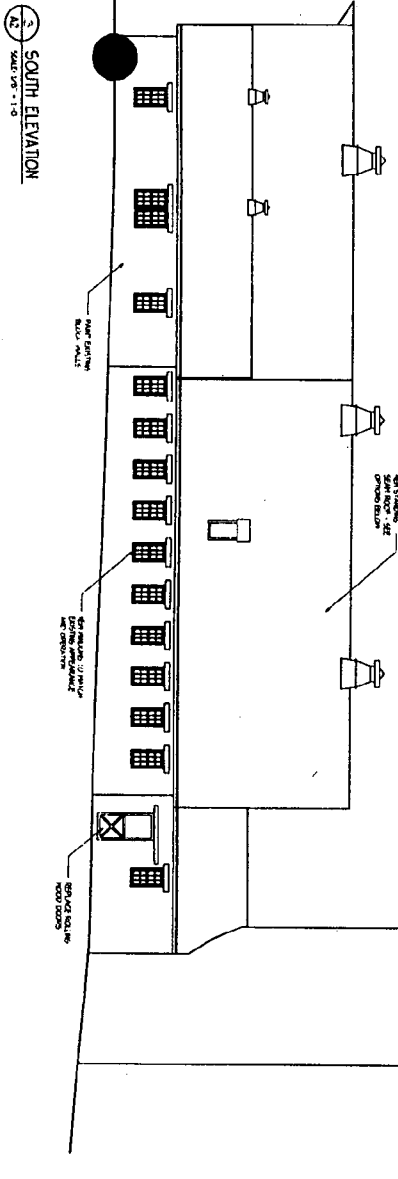
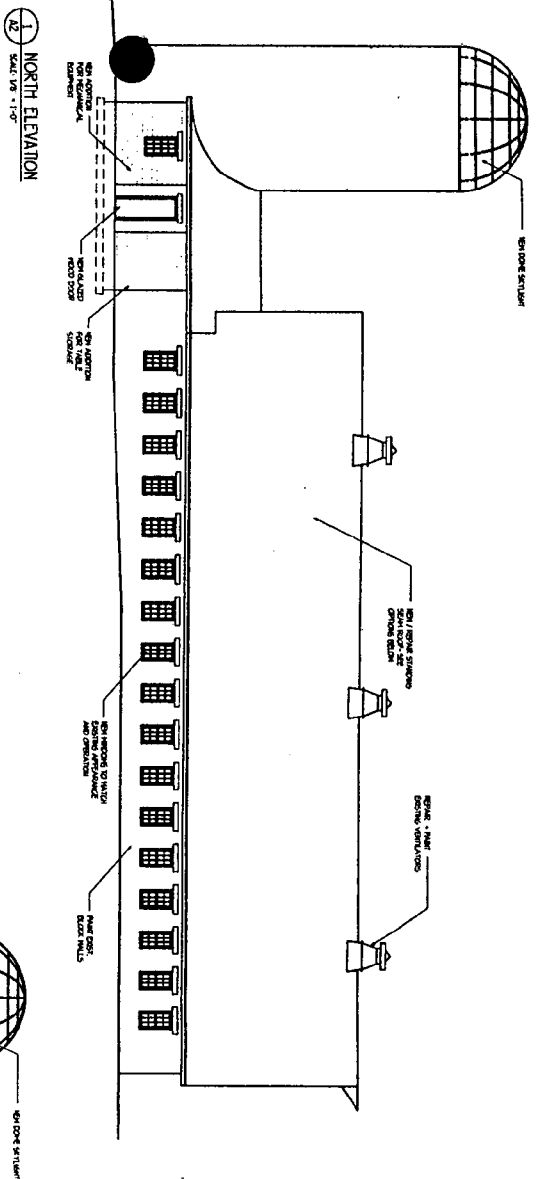
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



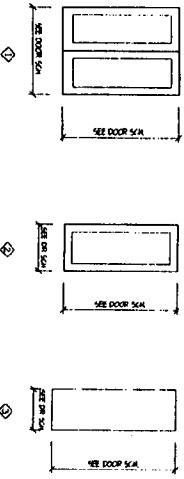
LOFT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



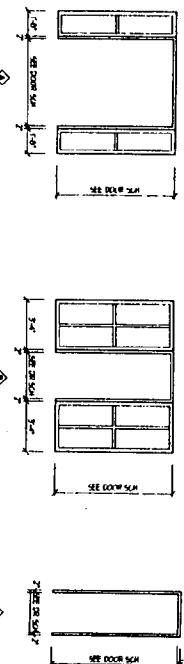
<b>A1</b>	DESIGN DEVELOPMENT SUBMITTAL <b>A GOTHIC BARN</b> Old Matthews Farm On Martinsburg Road Dickerson, Maryland	80 South Market Street Frederick, MD 21701 (301) 661-5532
	Date: 10 APRIL 97 Rev: 22 APR 97	



DOOR TYPES  
SCALE: 3/8\"/>



FRAME TYPES  
SCALE: 3/8\"/>



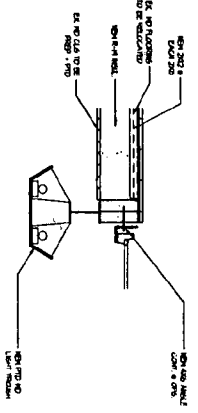
A2

DATE: 25 DEC 98  
BY: 14 JAN 99

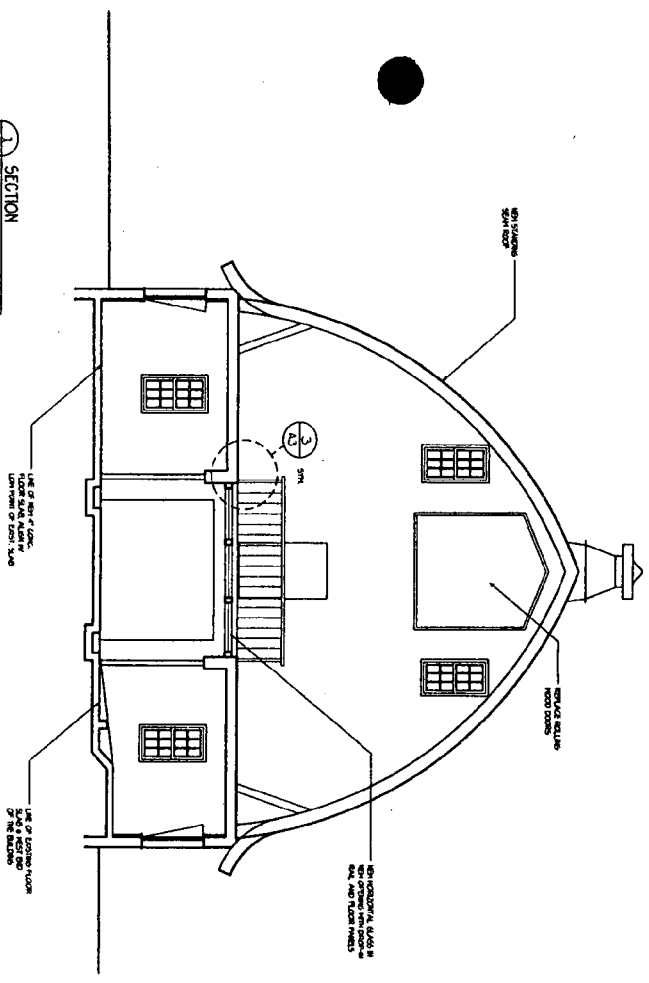
Alterations to  
**A GOTHIC BARN**  
Old Matthews Farm On Martinsburg Road  
Dickenson, Maryland

Proctor & Fryer  
113 East Potomac Street  
Frederick, Maryland 21701  
(301) 462-8522

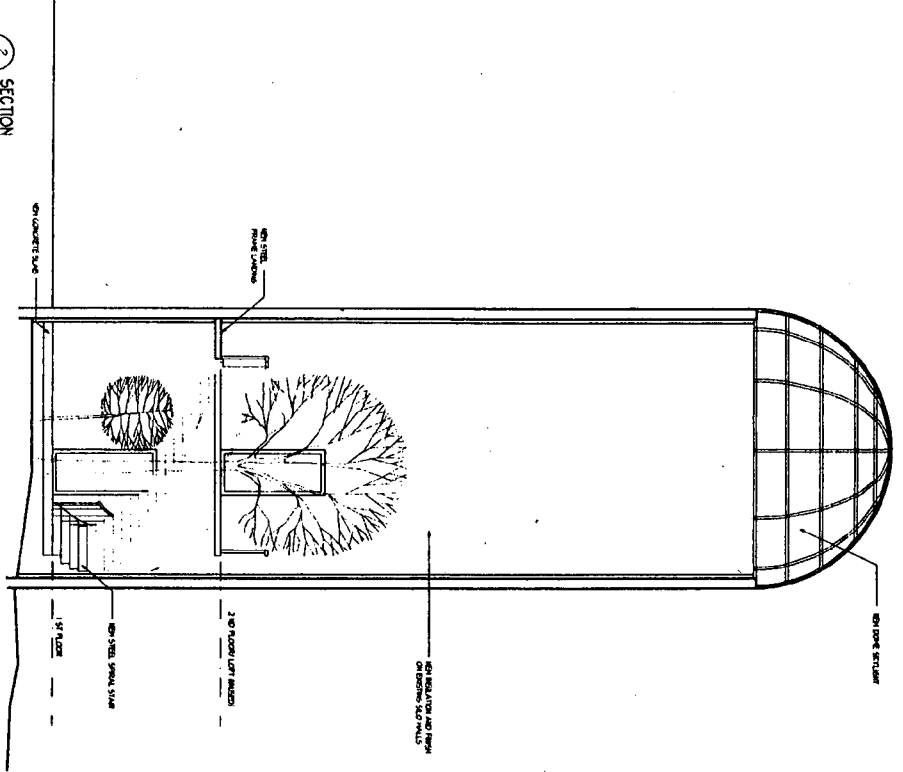
**3** TYP. DTL. • STEEL BEAM  
SCALE 3/4" = 1'-0"



**1** SECTION  
SCALE 1/4" = 1'-0"



**2** SECTION  
SCALE 1/4" = 1'-0"



**DOOR SCHEDULE**

DOC. NO.	SIZE/ HEIGHT	HEIGHT	WALK	DOOR TYPE		FRAME		FIN. STR.	REMARKS
				TYPE	MATERIAL	TYPE	MATERIAL		
1-101	6'-0"	8'-0"	1.3x4"	1	WD	A	WD		
2-101	3'-0"	8'-0"	1.3x4"	2	WD	B	WD		
1-102	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
2-102	3'-0"	8'-0"	1.3x4"	2	WD	C	WD		
3-102	3'-0"	7'-0"	1.3x4"	2	WD	C	WD		
1-103	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-104	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-105	3'-0"	6'-6"	1.3x4"	2	WD	B	WD		
1-106	3'-0"	6'-6"	1.3x4"	2	WD	C	WD		
1-107	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-108	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-109	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-110	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		
1-111	3'-0"	6'-6"	1.3x4"	3	WD	C	WD		

**FINISH SCHEDULE**

ROOM NO.	ROOM NAME	FLOORING	WALLS	CEILING	REMARKS
101	OPEN OFFICE	SKATED CONC.	PRG. EA.	PRG. EA.	
102	CONFERENCE	SKATED CONC.	PRG. EA.	PRG. EA.	
103	RECREATIONAL	SKATED CONC.	PRG. EA.	PRG. EA.	
104	STORAGE	SKATED CONC.	PRG. EA.	PRG. EA.	
105	TOILET	SKATED CONC.	PRG. EA.	PRG. EA.	
106	OFFICE	SKATED CONC.	PRG. EA.	PRG. EA.	
107	CONFERENCE	SKATED CONC.	PRG. EA.	PRG. EA.	
108	WC	SKATED CONC.	PRG. EA.	PRG. EA.	
109	STORAGE	SKATED CONC.	PRG. EA.	PRG. EA.	
110	WC	SKATED CONC.	PRG. EA.	PRG. EA.	
111	LOBBY	SKATED CONC.	PRG. EA.	PRG. EA.	
112	CONFERENCE	SKATED CONC.	PRG. EA.	PRG. EA.	

**PROFIT & PLOTT**  
 100 North Market Street  
 Frederick, Maryland 21701  
 (301) 565-5522

DESIGN DEVELOPMENT SUBMITTAL  
**A GOTHIC BARN**  
 Old Matthews Farm On Martinsburg Road  
 Dickerson, Maryland

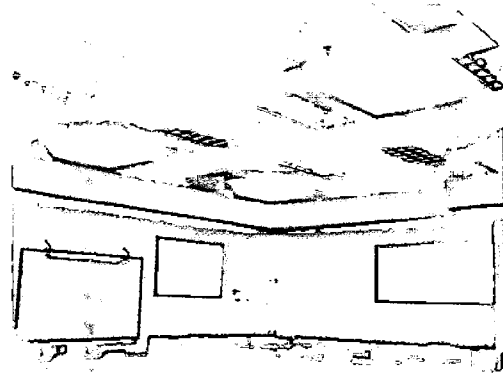
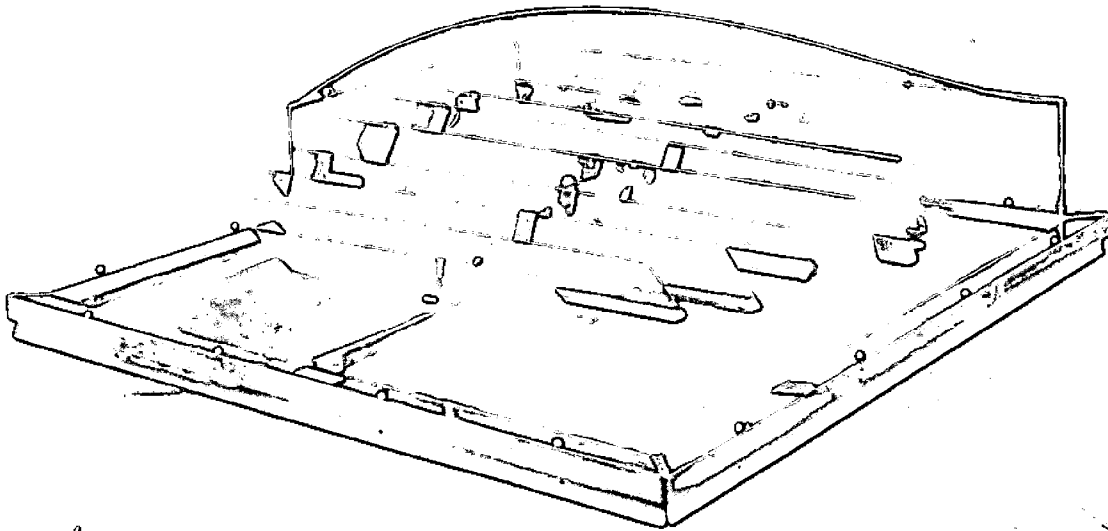
Proj. No. 02-21  
 Date: 10 April, 97  
 Rev: 23 July 97

**A3**

Natural Lighting Co., Inc. presents the

# under-the-dome

## UTD-2000 ACTIVE DAYLIGHTING SYSTEM™



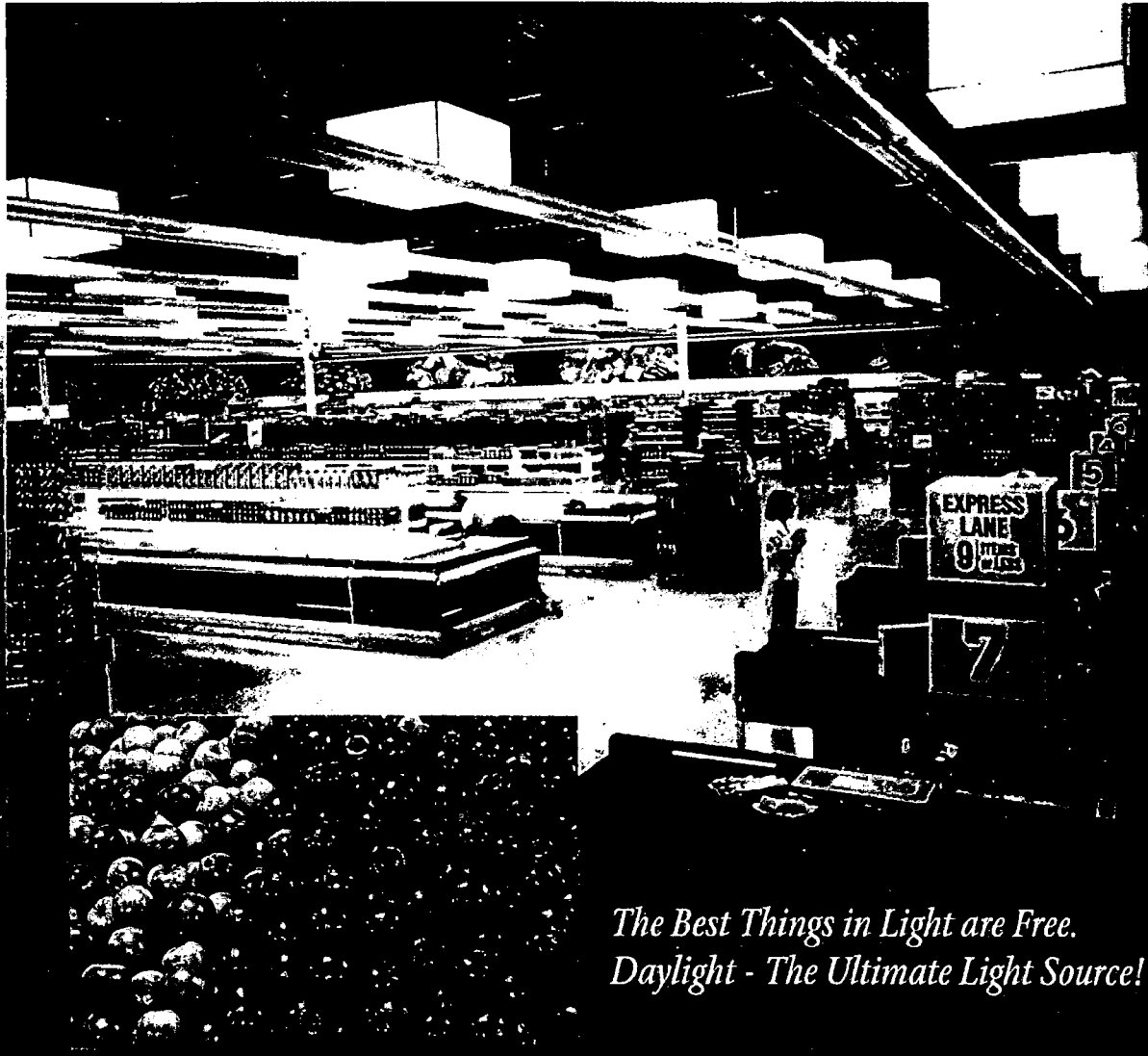
*The Best Thing in Light*

7021 West Augusta, Suite 106 • Glendale, Arizona 85308  
Phone (602) 435-6542 • FAX 939-0677

DAYLIGHTING  
by Natural  
Lighting Co.

# DAYLIGHTING

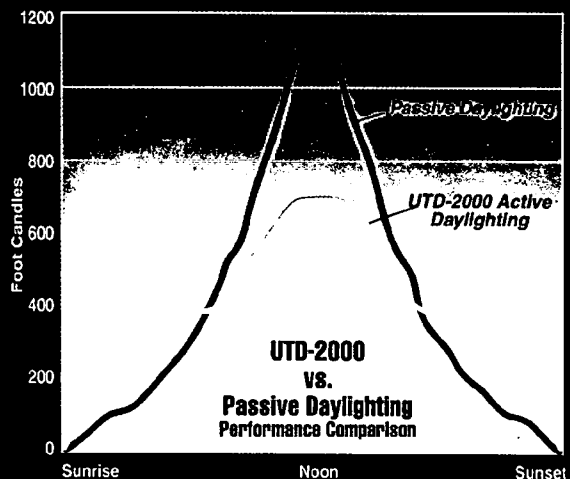
by Natural Lighting Co.

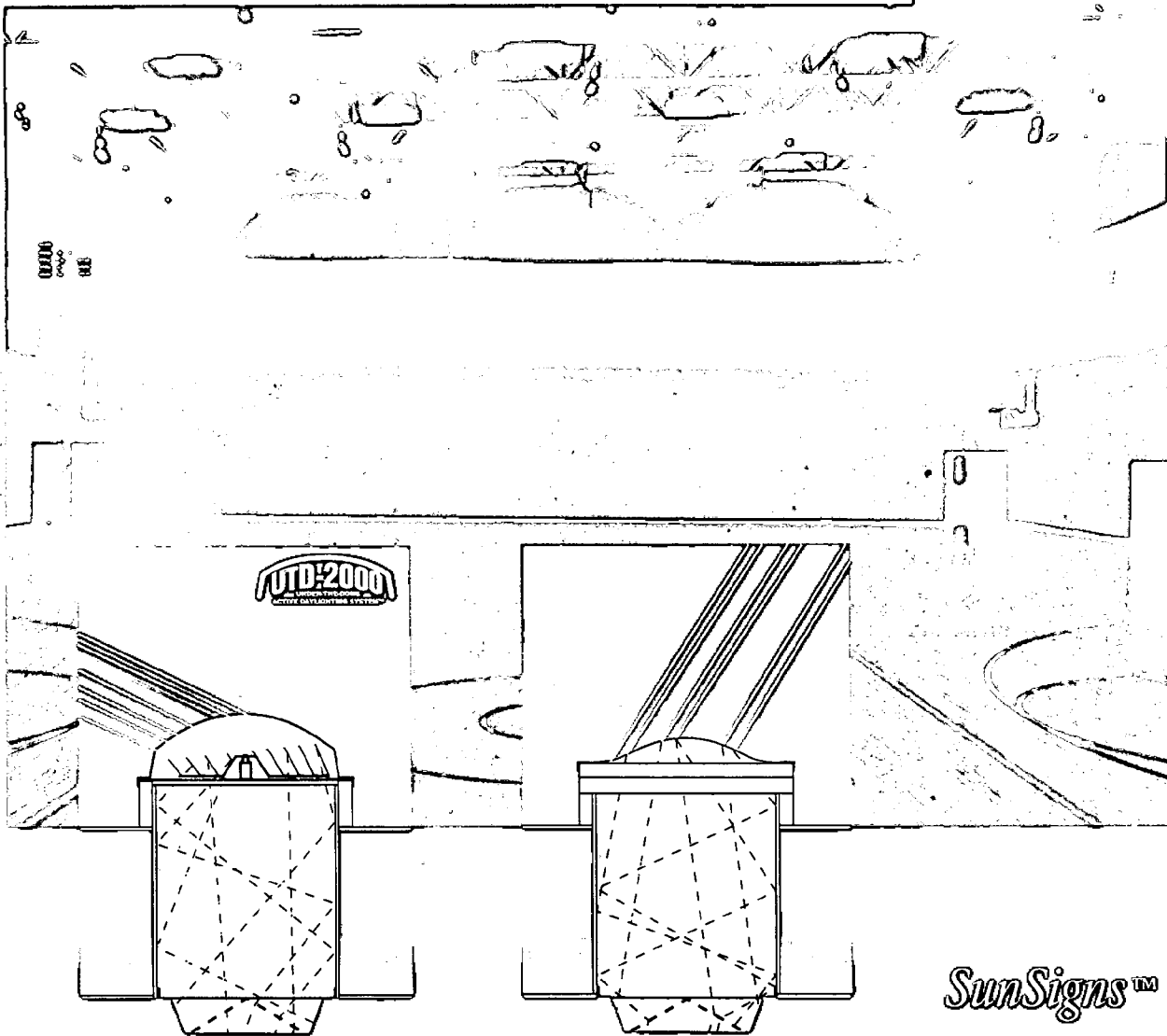


*The Best Things in Light are Free.  
Daylight - The Ultimate Light Source!*

Daylighting by Natural Lighting Co. provides the best lighting in the world because full-spectrum, natural daylight...

- *Maximizes color perception.* It has a color- rendition index of 100; cool-white fluorescent light has an index of 67. Therefore, colors are rich, true and vibrant.
- *Enhances object definition.* Improves visual acuity by providing superior recognition of surface detail, text and graphics.
- *Is cooler.* Contains half as much heat per unit of illumination as other light sources.
- *Easy on the eyes.* No harsh glare, intense brightness, hot spots or flicker.





*SunSigns™*

The SunSigns™ advertising method developed by Natural Lighting Co., Inc. allows retail customers to sell advertising space on the SunPointe™ interior diffusing lens to their vendors.

Facility uses and operating hours dictate to some degree the choice of applying Active or Passive Daylighting. A "one size fits all" design will not accomplish the goal of turning off lights on sunny or bright cloudy days. The goal is reached by delivering high levels of full spectrum daylight, well diffused over a predetermined space.

Active Daylighting by Natural Lighting Co. applies a sun tracking mirror assembly to the Passive System to introduce greater amounts of sunlight at low sun angles. The mirrors redirect sunlight in the morning, the afternoon and all day during winter months.

Automatic light controls can be used on either the Passive or Active System to turn lights off when the daylighting system is providing desired light levels.

Passive Daylighting by Natural Lighting Co. is built around a high tensile strength, leak proof, skylight frame and retainer. It utilizes direct and ambient sunlight striking an impact resistant acrylic dome. A reflective light shaft transmits sunlight onto an interior diffusing lens that spreads the light evenly over the space below.



**SunSigns™**

natural lighting  
co., inc.

PATENT PENDING

# Questions you may have...

**Q**, *Is this just another skylight?*

**A**, No. Skylights are little more than a window in the roof with no capability to illuminate rooms with drop ceilings. Additionally, they admit high-glare light and radiant heat at high sun angles, and are minimally effective at low sun angles. Both Natural Lighting Co. systems increase sunlight admitted to the building throughout the day and project the light downward as much as 12 feet via the reflective light shaft and evenly illuminate the space

below. The length of time the daylight can be effective will vary depending on the use of the Active or Passive System.

**Q**, *Won't the daylighting units bring in a lot of heat?*

**A**, No. Heat gain from the units is less than the heat produced by electric lighting sources and other skylights because: (1) natural light contains half as much heat per lumen as artificially produced light; (2) unlike skylights, the mirror panels on the active units provide partial shade from

intense mid-day summer sun, reducing radiant heat; (3) the sealed light duct with multiple lenses insulates against conducted heat much like a Thermopane window; (4) the diffusion

process breaks up radiant heat and eliminates hot spots. Use of the So-Dark Motorized Shade Screen in either the Passive or Active System can be used to manage the amount of light and thus heat.

**Q**, *Can a leak-proof installation be assured?*

**A**, Yes. Natural Lighting Co. units will not leak when installed in accordance with our field-tested installation procedure using space-age elastomeric sealants.

**Q**, *Will intruders find Natural Lighting Co. units a point of easy building access?*

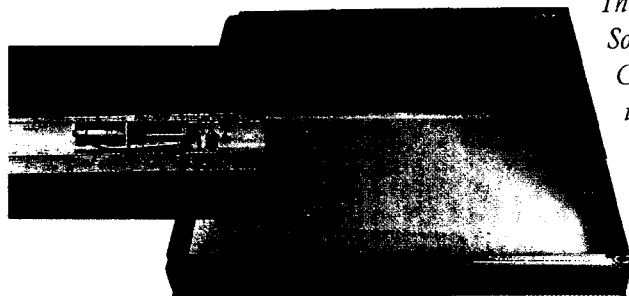
**A**, No. In high crime areas, or where the value of the building contents so dictate, "burglar bars" can be installed within the light duct without significantly diminishing the transmission of light. Polycarbonate secondary lenses are available to insure that the openings are burglar resistant.

**Q**, *Is there a way to directly off-set the purchase cost of Natural Lighting Co. products?*

**A**, Yes. All Natural Lighting Co. products can be leased or financed. In addition, energy savings, depreciation, artificial lighting maintenance savings and incentives from local utility companies will contribute to off-set the total cost of a system, in some cases as short as 3.5 years.



## Managing the Sun...



*The use of a 3 position wall switch activates the built in So-Dark Motorized Shade Screen assembly by Natural Lighting Co., allowing the user to manage the amount of sunlight being introduced into a room. This simple yet dynamic device when drawn across the skylight frame, allows a teacher, for example, to darken or black-out a room to show video or slide presentations.*

*So-Dark can be designed for use in both Passive and Active Daylighting Systems.*



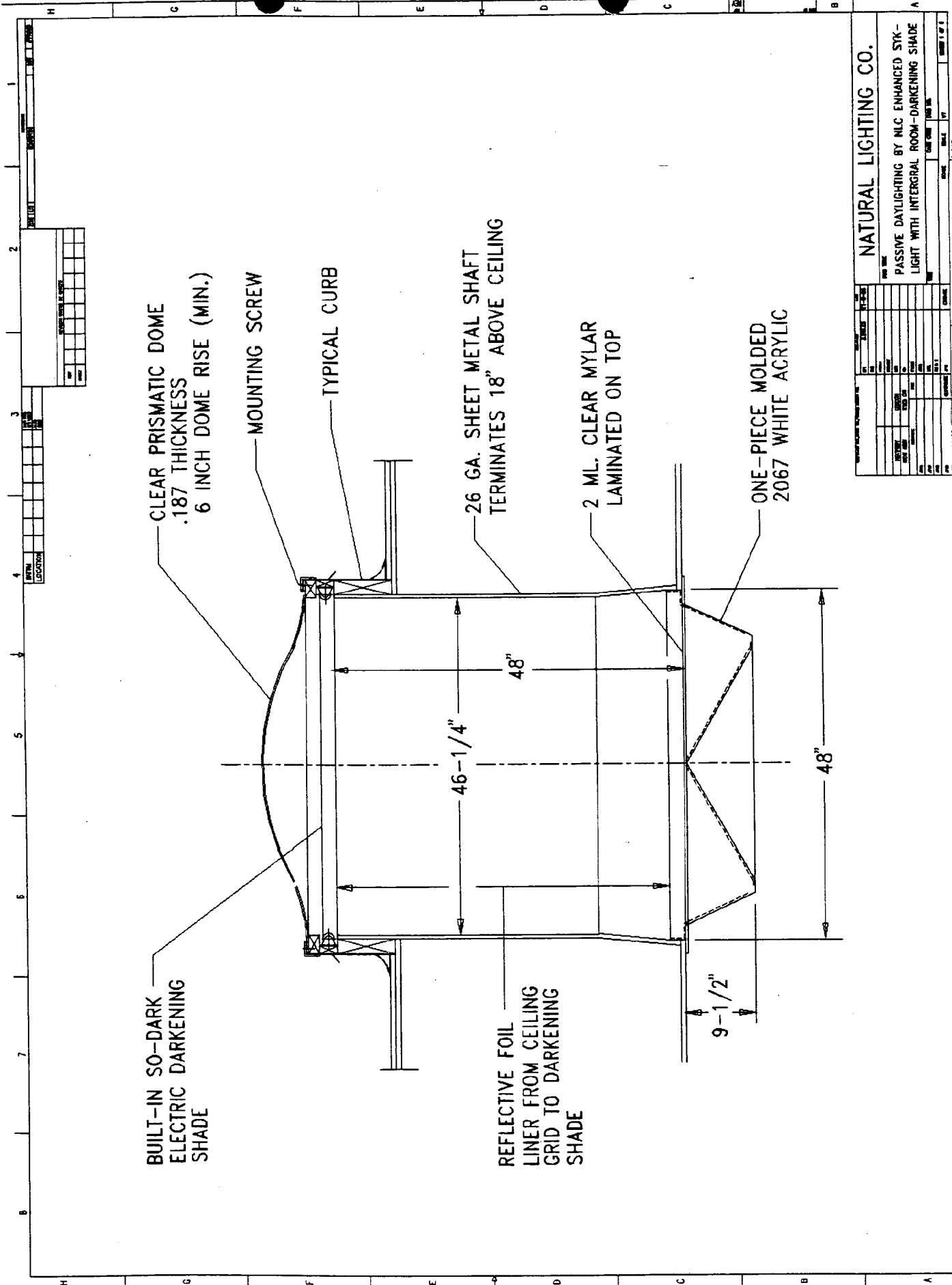
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*Awarded  
Outstanding Achievement in  
Lighting Design by  
Illuminating Engineering Society of North America*

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COMMISSION

SO-DARK MOTORIZED SHADE SCREEN IS PROTECTED BY U.S. PATENT NO. 5,088,543.  
SUNPOINTE DIFFUSION LENS IS PROTECTED BY U.S. PATENT NO. D 352,081.  
OTHER PATENTS APPLIED FOR AND PENDING BY NATURAL LIGHTING CO., INC.

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NATURAL LIGHTING CO.	
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NATURAL LIGHTING CO.  
 PASSIVE DAYLIGHTING BY NLC ENHANCED STK-  
 LIGHT WITH INTEGRAL ROOM-DARKENING SHADE



**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION**

**8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907**