

31/6 3944 Baltimore St.
HAWP 12-87



Montgomery County Government

Historic Preservation Commission
51 Monroe Street
Rockville, Maryland 20850

3116 3944 Baskin
Street



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 0269555
 NAME OF PROPERTY OWNER Stephen + Mary Hash TELEPHONE NO. 942-6855
 (Contract/Purchaser) (Include Area Code)
 ADDRESS 3944 Balt. St. ~~NE~~ Kens, Md. CITY 20895 STATE _____ ZIP _____
 CONTRACTOR MATCO - Mary Hash TELEPHONE NO. _____
 CONTRACTOR REGISTRATION NUMBER 942-6855
 PLANS PREPARED BY Don Little TELEPHONE NO. _____
 (Include Area Code)
 REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number _____ Street Baltimore St.
 Town/City Kens Election District 13
 Nearest Cross Street Prospect + Balt. St.
 Lot 17 Block 11 Subdivision Kens. Park
 Liber 7603 Folio 502 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision
 Circle One: A/C Slab Room Addition
 Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other _____
 1B. CONSTRUCTION COSTS ESTIMATE \$ _____
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____
 1E. IS THIS PROPERTY A HISTORICAL SITE? yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL
 01 () WSSC 02 () Septic 03 () Other _____
 2B. TYPE OF WATER SUPPLY
 01 () WSSC 02 () Well 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 4/30/87
 APPROVED X 24A-8 (b)(1)+(2)* For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature Roberta Hale Date 5/12/87

APPLICATION/PERMIT NO: HAWP 12-87 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

* Approve plans as attached except that applicants must return to HPC for approval of treatment of railing and pickets on both porches. **SEE REVERSE SIDE FOR INSTRUCTIONS**



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER _____ TELEPHONE NO. _____
(Contract/Purchaser) (Include Area Code)

ADDRESS _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

CONTRACTOR REGISTRATION NUMBER _____

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number _____ Street _____

Town/City _____ Election District _____

Nearest Cross Street _____

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

| | | | | | | |
|------------|------------|----------------|-----------|---------------------------------|------|-------------------|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition |
| Wreck/Raze | Move | Install | Revocable | Porch | Deck | Fireplace |
| | | | Revision | Fence/Wall (complete Section 4) | Shed | Solar |
| | | | | | | Woodburning Stove |
| | | | | | | Other _____ |

1B. CONSTRUCTION COSTS ESTIMATE \$ _____

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. TYPE OF SEWAGE DISPOSAL

| | |
|--------------------|---------------|
| 01 () WSSC | 02 () Septic |
| 03 () Other _____ | |

2B. TYPE OF WATER SUPPLY

| | |
|--------------------|-------------|
| 01 () WSSC | 02 () Well |
| 03 () Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 5/12/87

APPROVED X 24A-8 (B) 1261 For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date 5/12/87

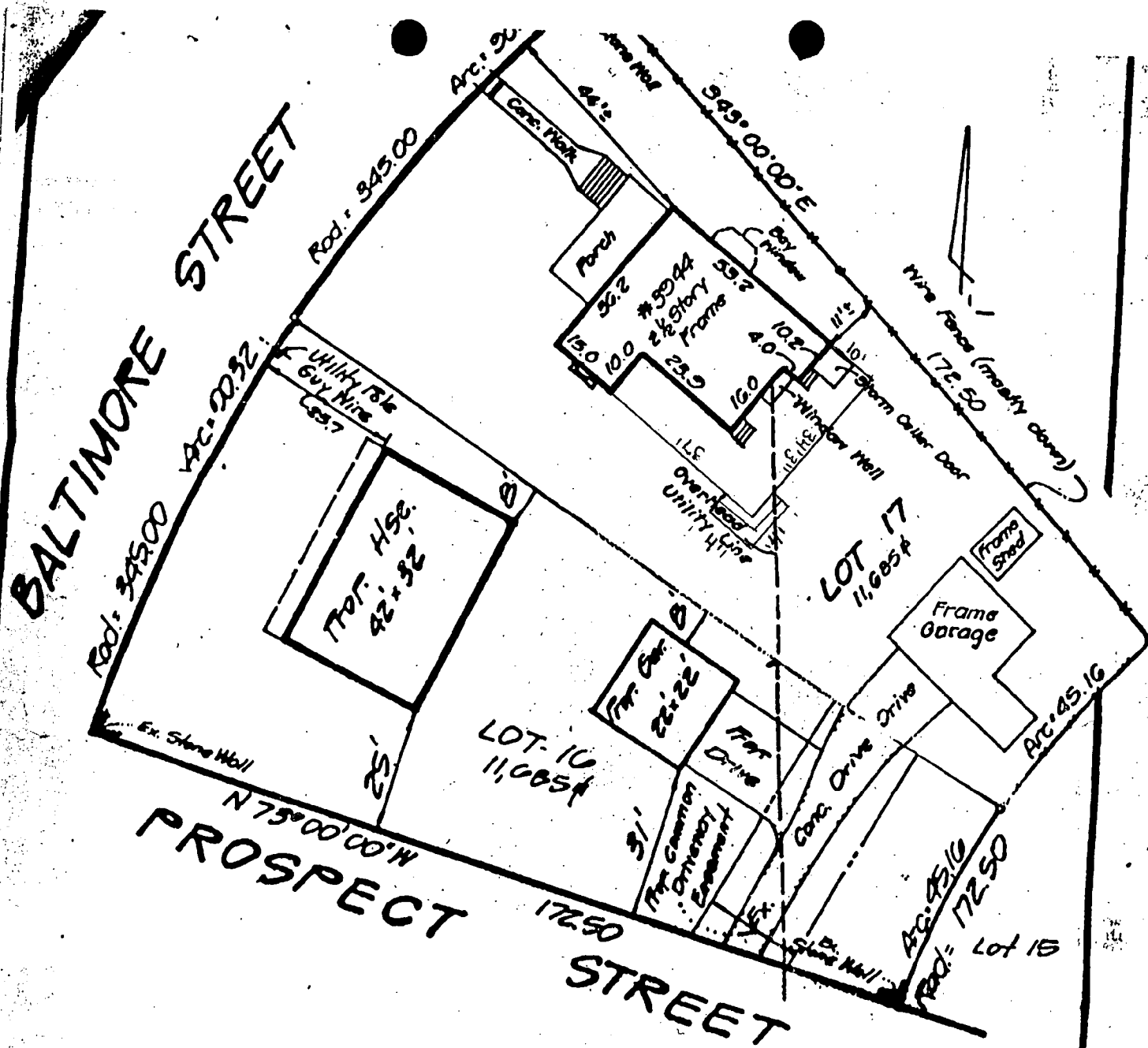
APPLICATION/PERMIT NO: HAWP 17-87 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

Approved plans to be installed. SEE REVERSE SIDE FOR INSTRUCTIONS
except that applicants must return to DPC for approval of exact use of building and placards on both parties.



PLAN
 1" = 30'

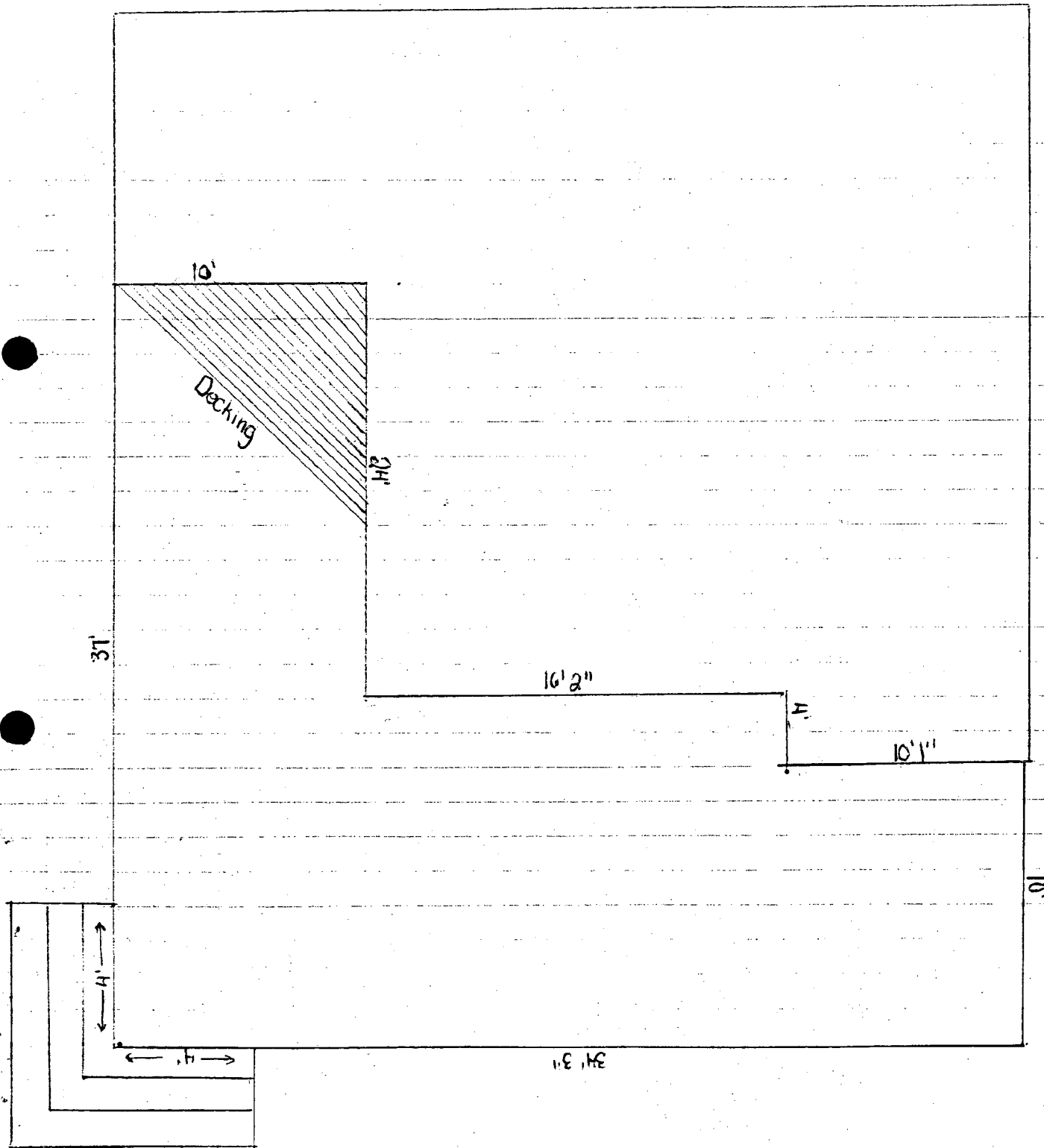
Zone: R-60
 Setbacks: Front - 25'
 Side - 8 min.
 Total - 25'
 Rear - 20'

127180

Macris, Hendricks and Witmer P.A.
 Engineers • Planners • Surveyors
 Suite 220
 8220 Wightman Road
 Gaithersburg, Maryland
 20879
 (301) 670-0840

SITE PLAN
 LOT-16 BLOCK-11
KENSINGTON PARK
 FB B F 4
 MONTGOMERY CO. MARYLAND

86.145



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

a. Located within the KENSINGTON historic district.

b. This is a Master Plan Atlas historic district (circle one).

c. Address of Property: 3944 BALTIMORE ST.
KENSINGTON, MD.

d. Property owner's name, address and phone number:

MARY BAILEY-HASH & STEVE HASH

ABOVE

(h) _____ (w) _____

e. Is this property a contributing resource within the historic district? Yes No _____

f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No _____

II. Description of work proposed

a. Briefly describe proposed work:

WIDEN DORMER AT FRONT, NEW GABLE @ ATTIC LEVEL REAR,
NEW WINDOWS, DOORS, AND PORCH ROOF @ 1ST FL. REAR,
NEW DOORS @ S. SIDE 1ST FLOOR, REPLACE PAIR OF WINDOWS
WITH SINGLE WINDOWS ALONG FIREPLACE 2ND FL. SOUTH SIDE, NEW DECK,

b. Is this work on the front, rear, or side of the structure? REMOVE FRONT PORCH ENCLOSURE

c. Is the work visible from the street?

YES

d. What are the materials to be used?

WOOD TRIM & SHINGLE SIDING, ASPHALT SHINGLE ROOF

e. Are these materials compatible with existing materials? How? If not, why?

YES SAME

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

1) , 2)

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

DECK RAILING MUST BE COMPATIBLE W/
FRONT PORCH RAILING

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

Date on which application received: 4-30-87

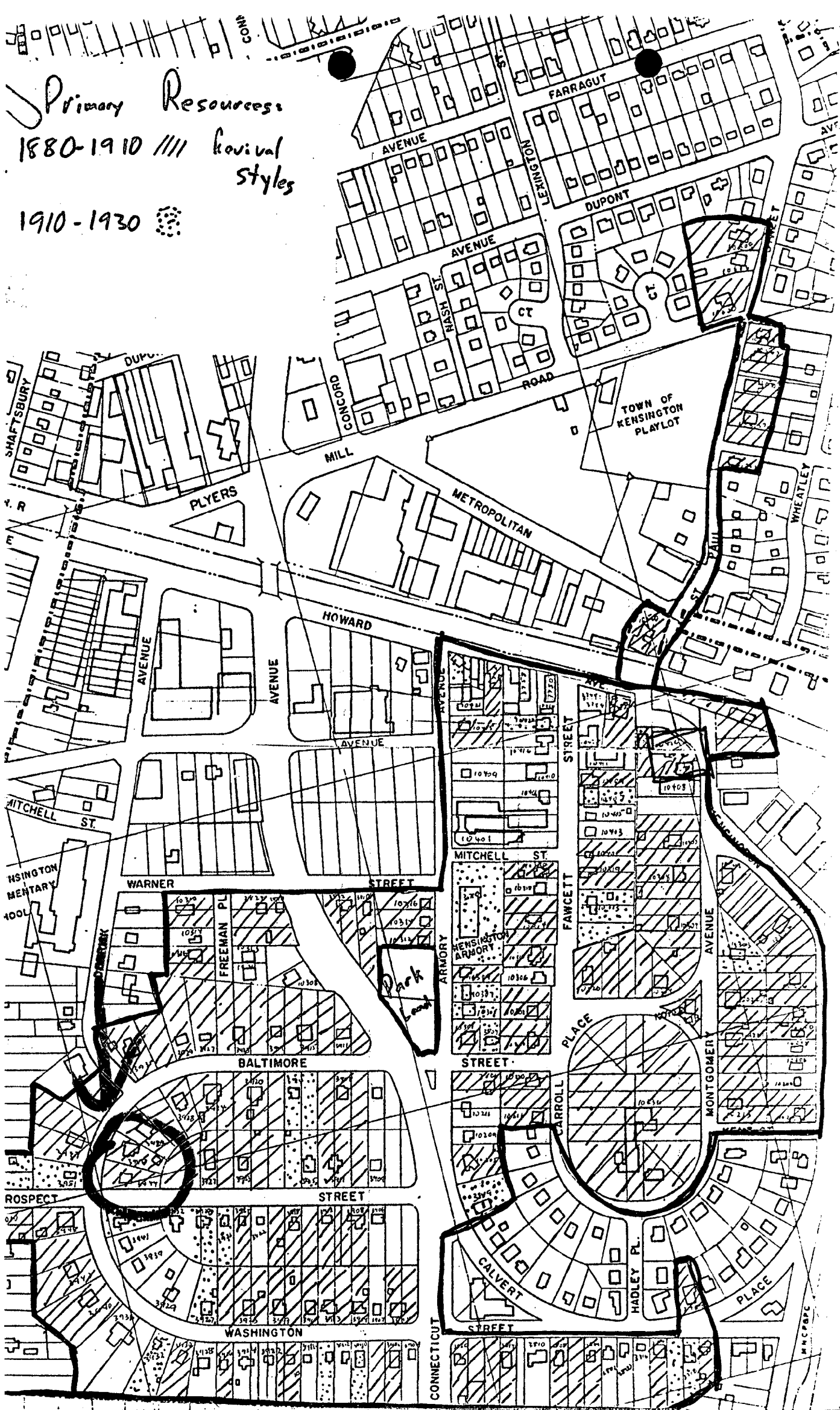
Date of LAC meeting at which application was reviewed: 5-4-87

Form completed by: Donald H. Little Title: CHAIRMAN

Member of: KENSINGTON LAC

Date: 5-6-87

Primary Resources
1880-1910 /// Colonial
styles
1910-1930 . . .



Montgomery Journal

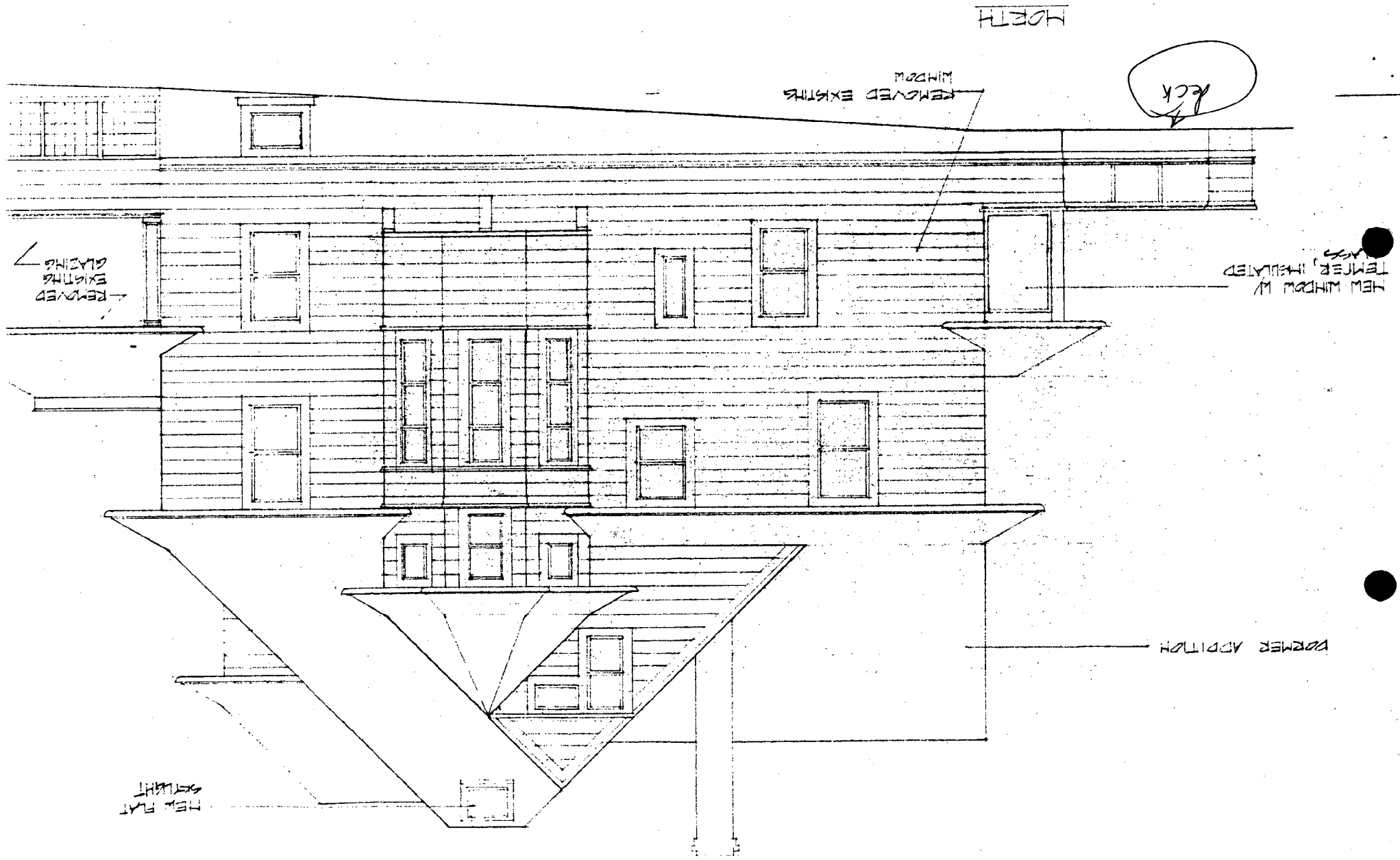
May 6, 1987

1. Continuation of the April 2 hearing on the application of John Gladchuck to change the windows at 204 Market St., Brookeville historic district (#23/65).
2. Application of Steuben Granger to enclose a side-front porch of 10410 Montgomery Ave., Kensington historic district (#31/6).
3. Application of Carter, Inc., to construct a new house at 3933 Baltimore St., Kensington historic district (#31/6).
4. Application of Mr. & Mrs. Hash, 3944 Baltimore Ave., Kensington historic district, to enlarge the front dormer, remove existing glazing from the front porch, enlarge rear porch, and add a rear dormer and deck.
5. Application of Legend Enterprises to construct a storage building, install a fence, and build a concrete pad at the rear of 15130 Barnesville Road, Boyds historic district (#18/8).

The Public Hearing will be held on Thursday, May 7, 1987 at 9:00 p.m. at 8787 Georgia Ave., Silver Spring, in the 3rd floor conference room. For further information contact Bobbi Hahn, 279-8097, at the Historic Preservation Commission Office, 51 Monroe St., Room 1009, Rockville, MD 20850.

May 6, 1987

O547802300





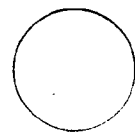
SOUTH

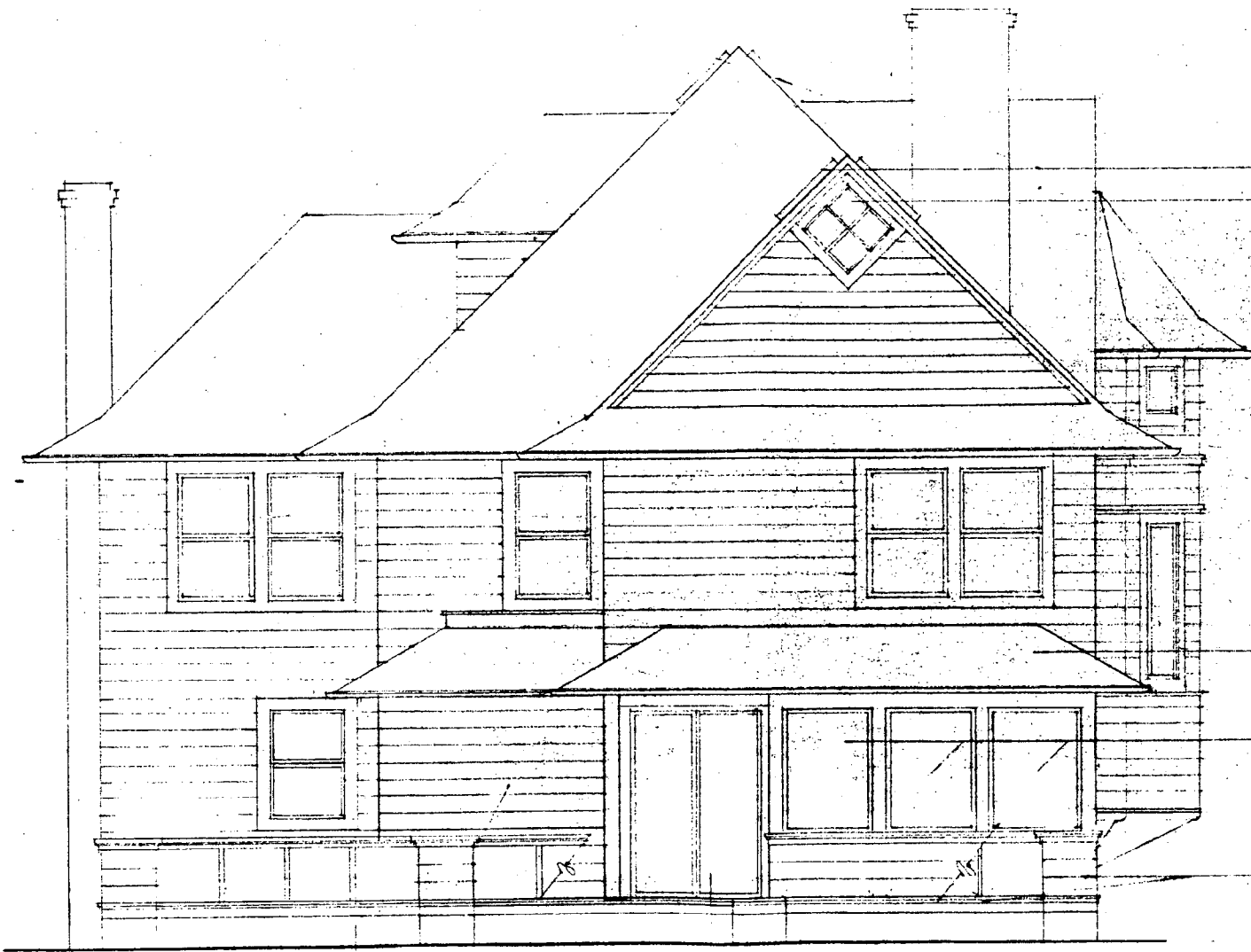
NEW DECKING -
NEW WINDOW W/
TEMPER, INSULATED
GLASS.

NEW DOORS W/ TEMPER
INSULATED GLASS.

ELEVATION 1/4
12' x 10'

| |
|----------|
| 4.29.87 |
| REVISED: |
| 5.5.87 |
| |
| |





NEW SKYLIGHTS
NEW WINDOW

EXTENSION OF
EXISTING ROOF

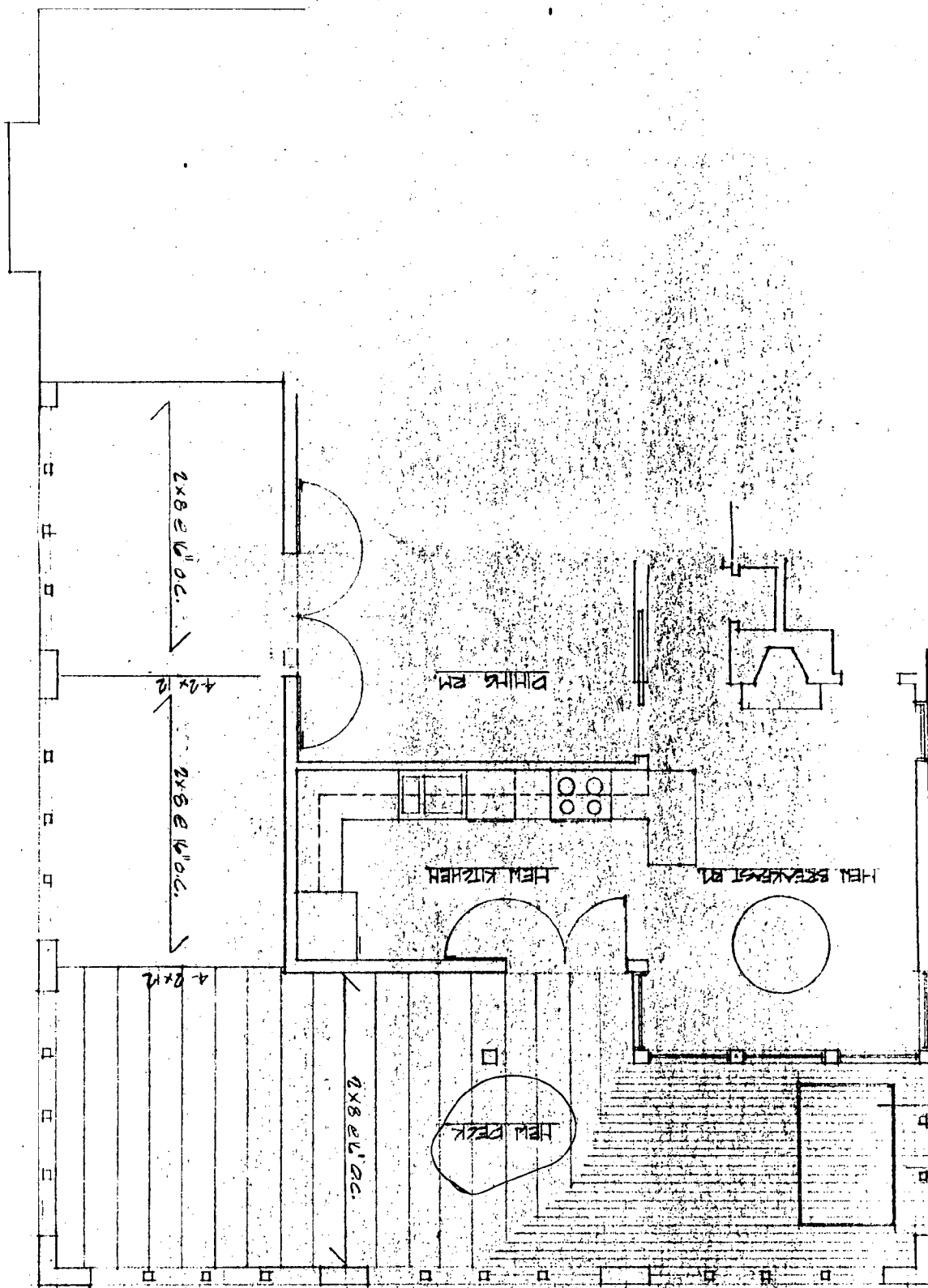
NEW WINDOWS W/
TEMPER, INSULATED
GLASS

NEW DECKING

REMOVED EXISTING
WINDOW
NEW DECKING

NEW DOORS W/ TEMPERED
INSULATED GLASS

EAST





Montgomery County Government

Historic Preservation Commission
51 Monroe Street
Rockville, Maryland 20850

Hash House

~~Mr. Thomas Twyman
7315 Willow Ave.
Takoma Park~~







AREA OF REAR DECK









AREA OF REAR DECK









WINDOWS TO BE THE DOOR
SOUTH 1st FL. DRIVING





FRONT PORCH JALOUSIES TO
BE REMOVED



W.E.



East - side



North - rear



WEST (REAR) EXTEND ROOF,
NEW WINDOWS @ BREAK RM



Lower - Hash

South - front

4-9-87



N.W.

M E M O R A N D U M

June 10, 1987

TO: David Bietz
DEP

FROM: Bobbi Hahn *BH*
Historic Preservation Commission

SUBJECT: HAWP 12-87, 3944 Baltimore St., Kensington

The above permit application by Stephen and Mary Hash may be amended as presented on the attached plans. The primary changes are 1) removing the existing shingle and 4 1/2" reveal clapboard siding and replacing it with 6" reveal wood clapboard; 2) constructing a two story rear bay with skylights; and 3) changing the rear roofline.

Attachment

BH:gk:0183E

REMOVED EXISTING
WINDOWS

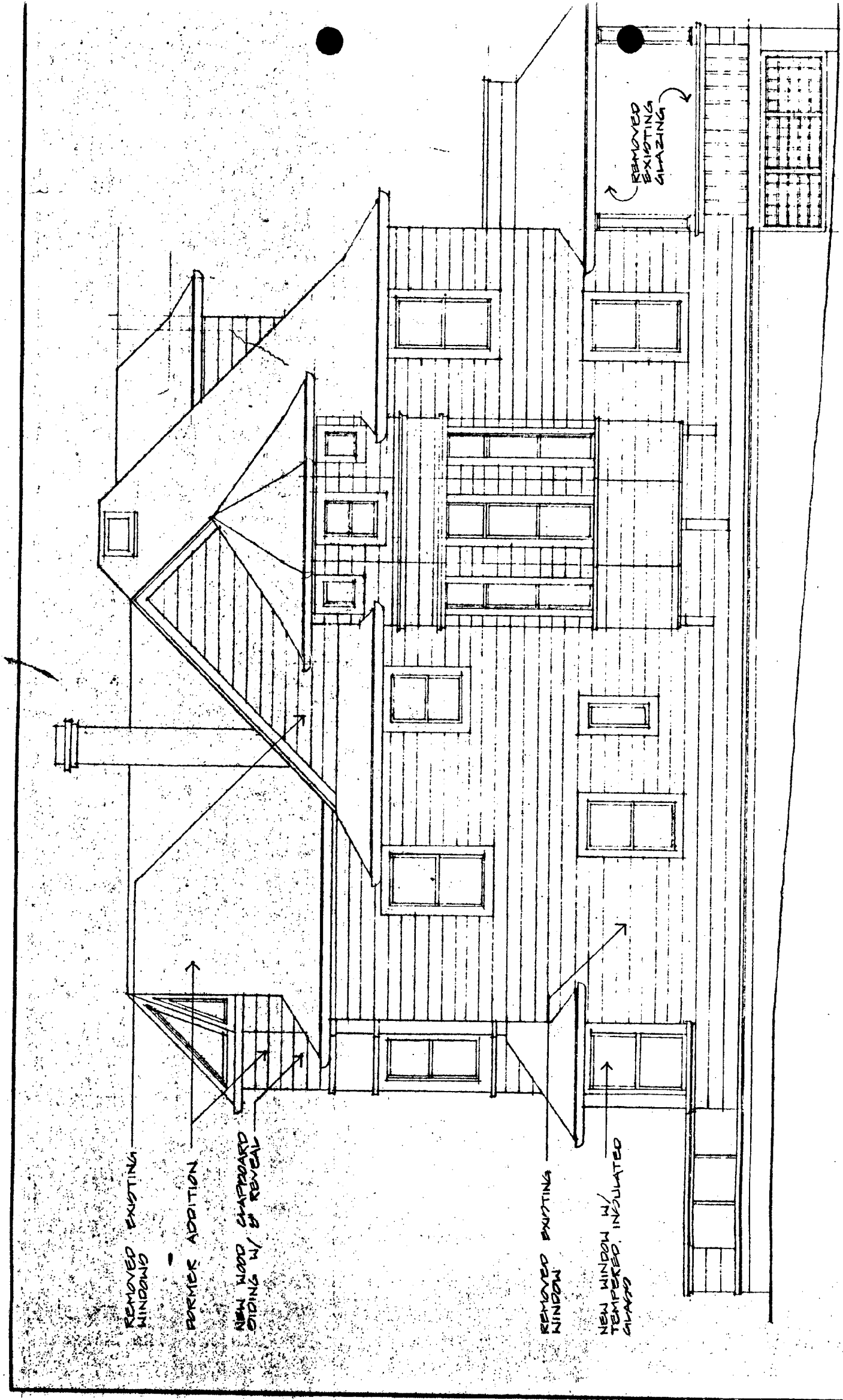
FORMER ADDITION

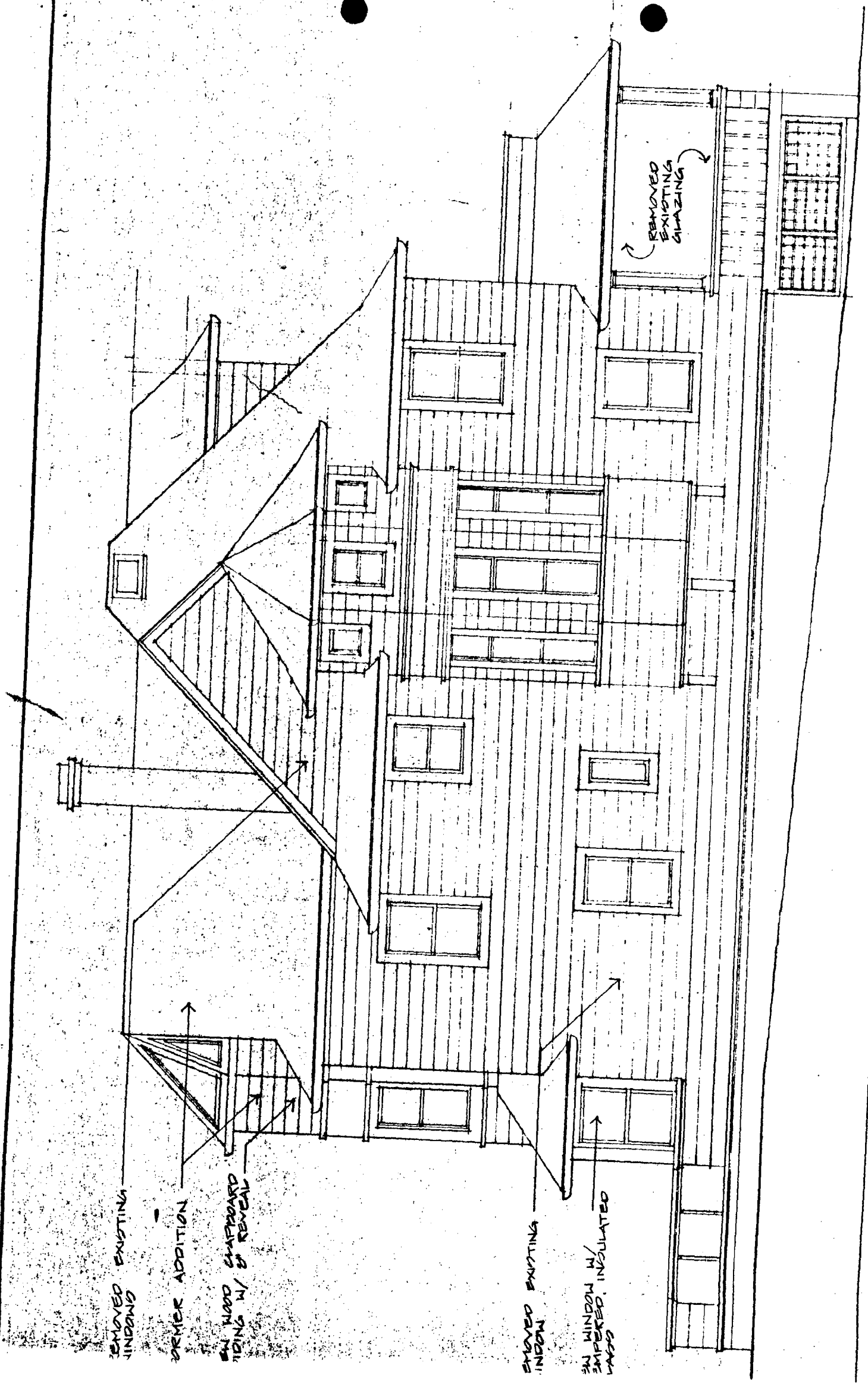
NEW WOOD SHAPBOARD
SIDING W/ S REVEAL

REMOVED EXISTING
WINDOW

NEW WINDOW W/
TEMPERED, INSULATED
GLASS

REMOVED
EXISTING
GLAZING





REMOVED EXISTING
WINDOWS

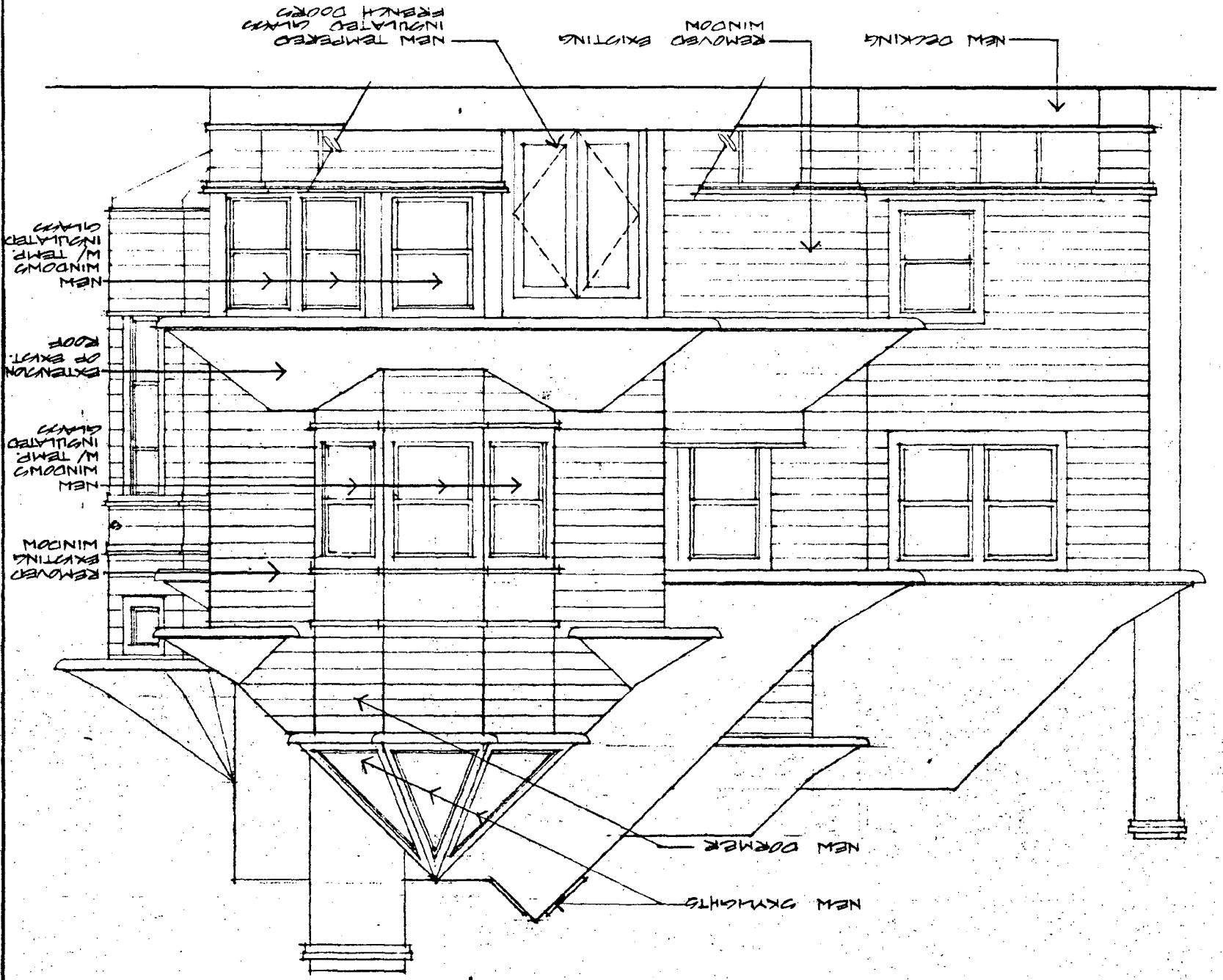
BRICK ADDITION

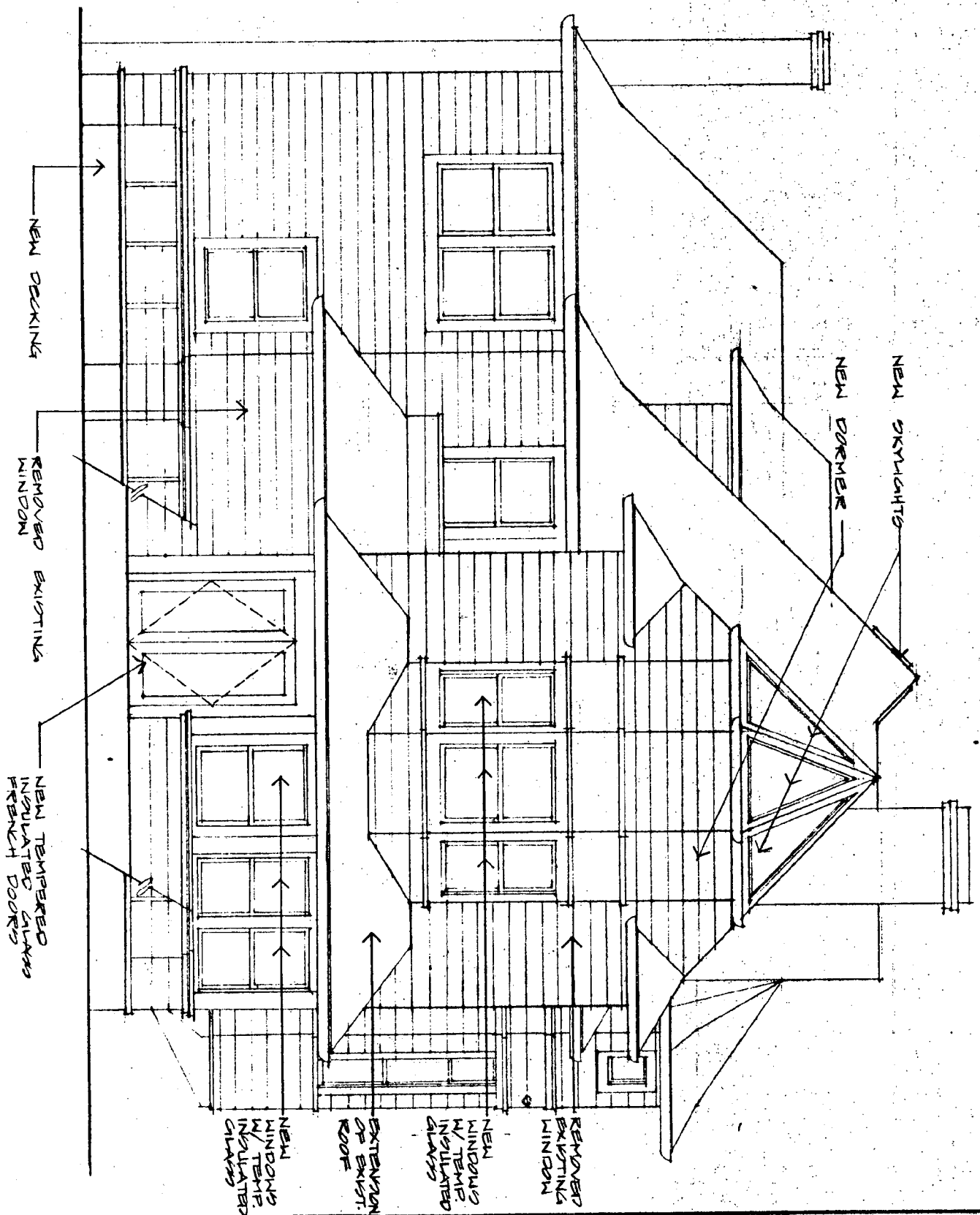
NEW WOOD SHIMBOARD
SIDING W/ 2" REVEAL

REMOVED EXISTING
WINDOW

NEW WINDOW W/
IMPROVED INSULATED
GLASS

REMOVED
EXISTING
GLAZING





CROSS
LITTLE +

ARCHITECTS

1210 1/2 N. 4th St.

11421 RESIDENCE

CROSS SECTION

ARCHITECTS

1910 Ave. 15, Boston

114511 PERMITS

