

31/6 3928 Baltimore St.
HAWP 21-88



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1023360

NAME OF PROPERTY OWNER MIRIAM T & JAMES W ORME TELEPHONE NO. 301-944-1259
(Contract/Purchaser) (Include Area Code)

ADDRESS 3928 Baltimore St, Kensington, Md 20895 CITY STATE ZIP

CONTRACTOR Wagon Contracting Co TELEPHONE NO. 901-977-1030
CONTRACTOR REGISTRATION NUMBER 1005

PLANS PREPARED BY KEM DESIGN TELEPHONE NO. 301-762-3128
ROBE E MOLORET R.N. (Include Area Code)

REGISTRATION NUMBER 6099-1A

LOCATION OF BUILDING/PREMISE

House Number 3928 Street BALTIMORE ST

Town/City KENSINGTON Md Election District _____

Nearest Cross Street _____

Lot 12 Block # 11 Subdivision KENSINGTON PARK WHEATON DIST 7/13
TOWN OF KENSINGTON

Liber 558 Folio 17 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition			
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace	Shed	Solar	Woodburning Stove
			Revision	Fence/Wall (complete Section 4) Other _____					

1B. CONSTRUCTION COSTS ESTIMATE \$ \$ 30,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 () Well
03 () Other <u>4747 PLMP</u>	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Miriam T. Orme James W. Orme
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Robert Val... Date 7/25/88

APPLICATION/PERMIT NO: HPWP-1-88 FILING FEE: \$ _____

DATE FILED: 6/10/88 PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

*Condition: Windows and doors must be real divided lights with wood muntins, not snap-in dividers

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

- See plans & pictures for description
- See construction notes for materials

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

a. Located within the Kensington historic district.

b. This is a Master Plan/Atlas historic district (circle one).

c. Address of Property: 3928 Baltimore St.

Kensington Md. 20905

d. Property owner's name, address and phone number:

Murtha & Jane W. Orme

3928 Baltimore St.

949-1259

(h) 949-1259

(w) _____

e. Is this property a contributing resource within the historic district? Yes No

f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No

II. Description of work proposed

a. Briefly describe proposed work:

Proposal for an one story addition to the rear of the house

b. Is this work on the front, rear, or side of the structure?

Rear

c. Is the work visible from the street?

Minimally

d. What are the materials to be used?

Materials to be the same as existing house

e. Are these materials compatible with existing materials? How? If not, why?

Yes - compatible to existing structure

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

*24-A-8b-2 & 3
= a) - all new windows shall have wood mutton and not snap in muttons*

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

Approval unanimous w/ one condition

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

*Rear addition - possible code violation
Overlapping of house and greenhouse.
2) ineffective collar beams*

Date on which application received: 6/10/88

Date of LAC meeting at which application was reviewed: 7/11/88

Form completed by: Andrew Demster title: Chairman

Member of: Kensington LAC

Date: 7/12/88

Notice of a Public Hearing before the Historic Preservation Commission for the purpose of acting on the following:

1. Application of Carol Jean Cancer Foundation for repairs to Oliver Watkins Farm, 23400 Ridge Road, Cedar Grove (#13/3) and installation of a handicapped ramp.
2. Application of Susan & Reven Uberman, 10403 Fawcett Street, Kensington Historic District, (#331/6) to install front fence.
3. Application of P/B Zuckerman Assoc. For new construction at 10309 Freeman Place, Kensington Historic District (#31/6).
4. Application of James and Mirtha Orme, 3928 Baltimore Street, Kensington, Historic District (#31/6) for a one-story addition to the rear of the house.
5. Application of Charles and Helen Wilkes, 3923 Prospect Street, Kensington Historic (#31/6) for enclosure of rear porch and other work.
6. Application of Warren and Freda Chu, 10306 Fawcett Street, Kensington Historic District (#31/6) for room addition.
7. Application of Elizabeth P. Kabban and Mason B. Flagg, 10006 Pratt Place, Capitol View Historic District (#31/7) to install a rear fence on common property area.
8. Request for amendment to HAWP #6/88 for new construction at 10209 Merio Avenue, Capitol View Park Historical District (#31/7) to situate house 12 feet closer to front property line than originally approved.
9. Application of Mt. Pleasant United Methodist Church (#23/13), 4012 Munger Mill Road, Norbeck, for addition to front vestibule.
10. Application of Morris and Jack Potekoff to remove the marquee from the Druid Theatre (#11/6), 9840 Main Street, Damascus.
11. Application of Department of Parks to install a helicopter pad at Woodlawn, 16501 Norwood Road, Norwood (Site #28/14).

The Public Hearing will be held on Thursday, July 21, 1988, at 8:30 a.m., Executive Office Building, tenth floor conference room, 101 Monroe Street, Rockville, MD. For further information contact Bobbi Hahn, 279-8097, at the Historic Preservation Commission Office, 51 Monroe St., Room 1001, Rockville, MD 20850.

July 20, 1988

Q717801200

Kensington Historic District

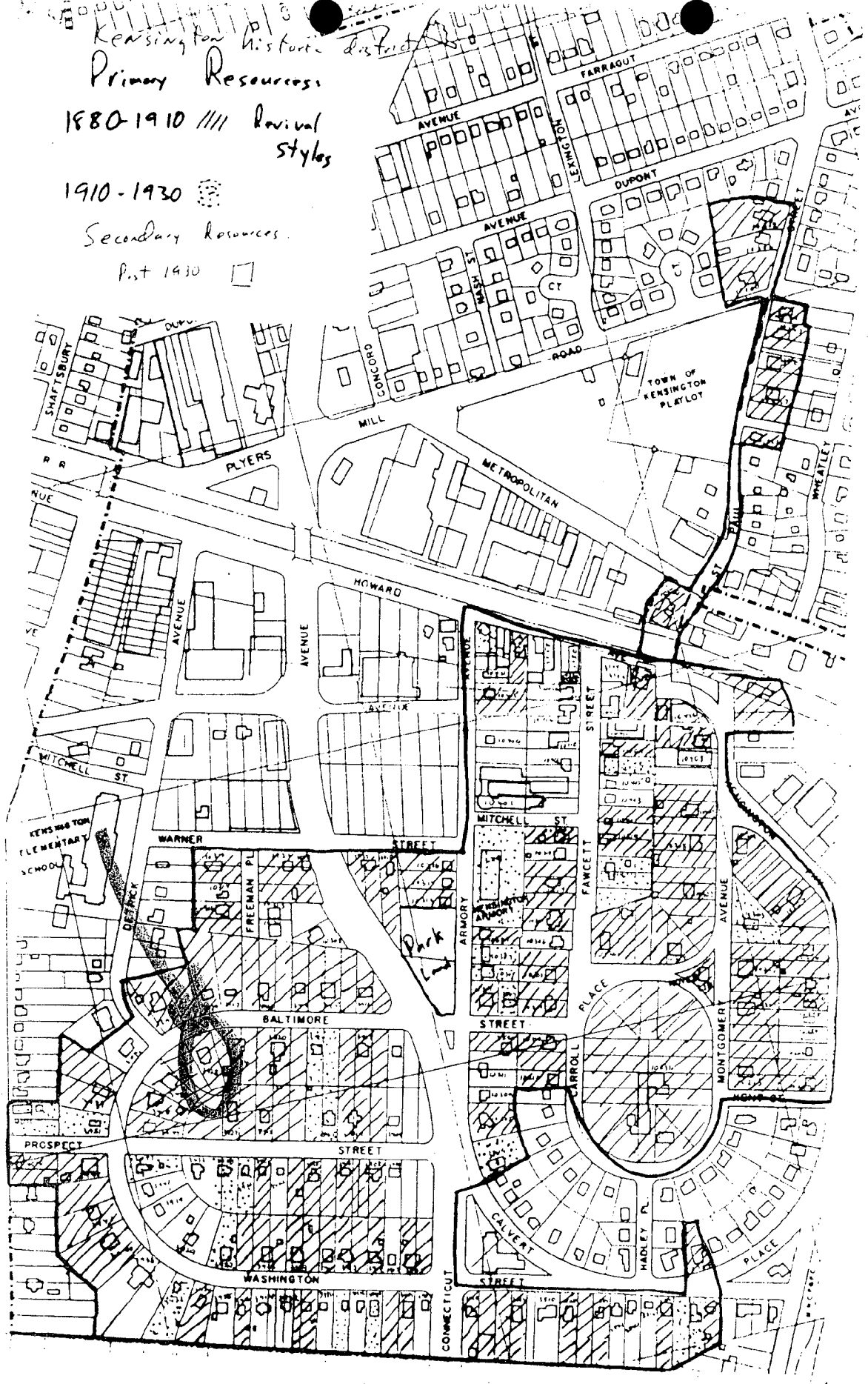
Primary Resources

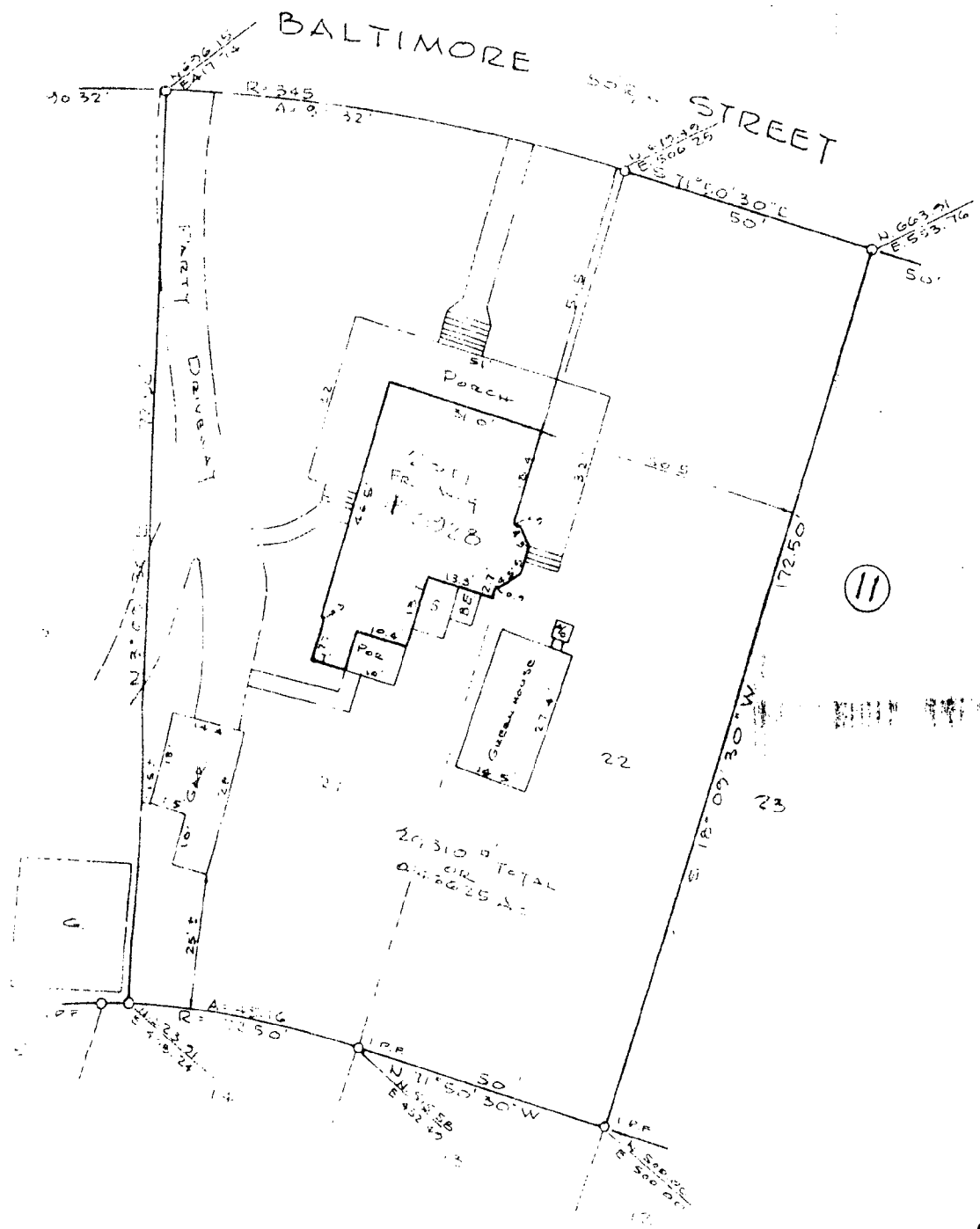
1880-1910 /// Revival styles

1910-1930

Secondary Resources

Post 1930





PLA
 • KI

These lots are not in
 subdivision area.

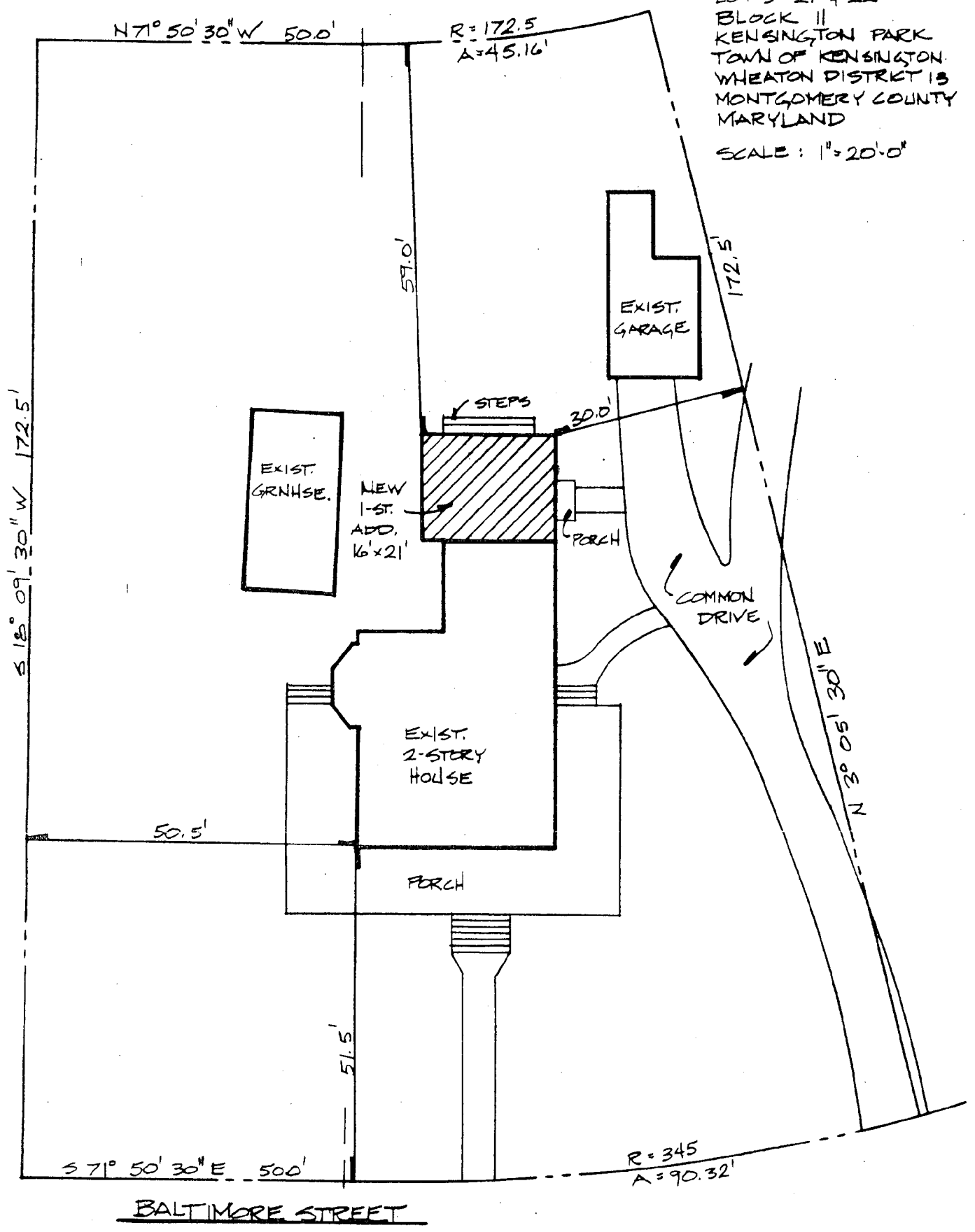
SURVEYOR'S CERTIFICATE

I hereby certify that the plan shown hereon is correct,
 that the location of all the existing improvements on the
 above property have been carefully established by a
 full tape survey and that all the same are shown thereon
 as shown.

R. K. MADDOX, Surveyor No. 228
 ROCKVILLE, MARYLAND

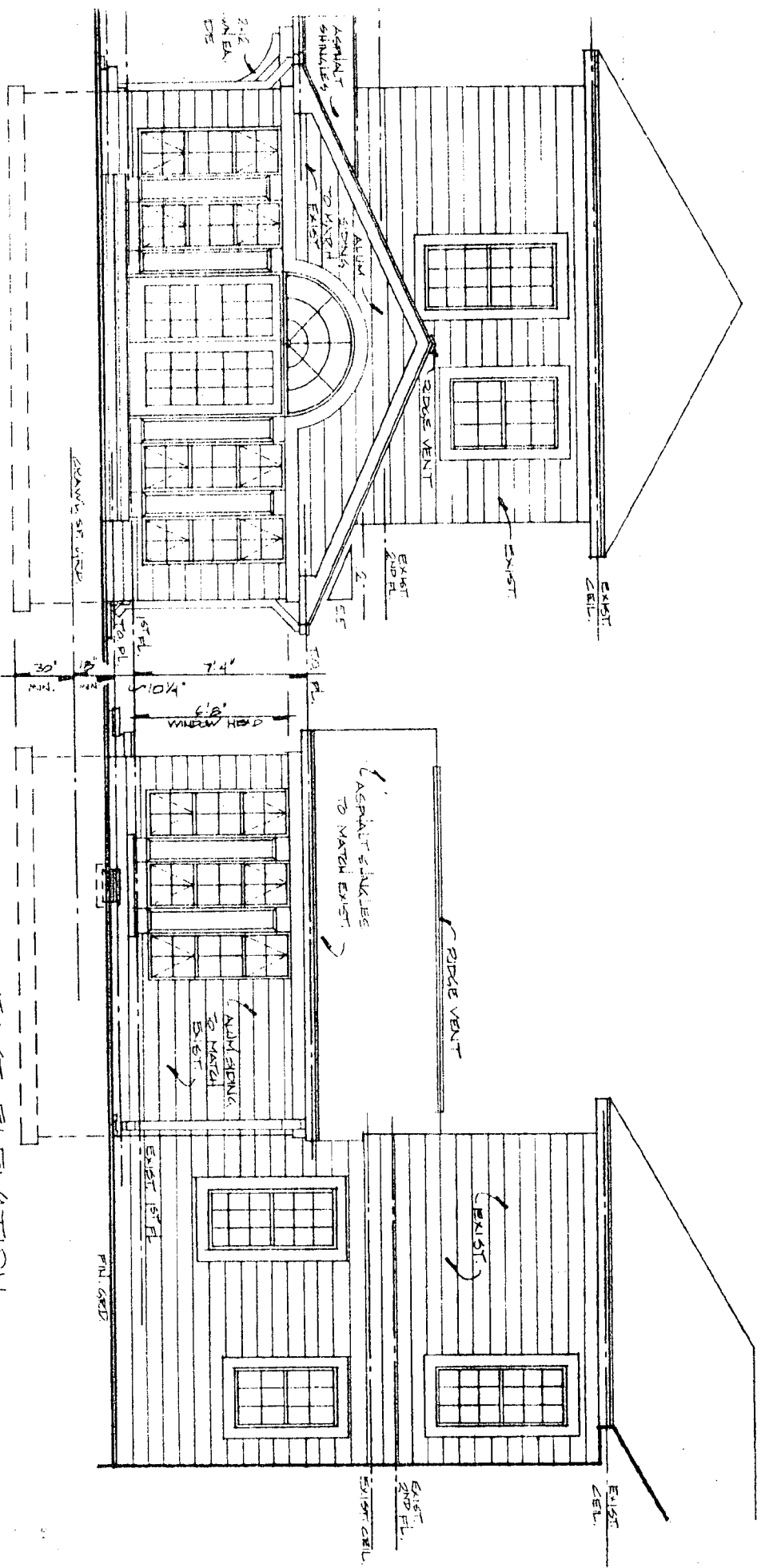


LOTS 21 & 22
 BLOCK 11
 KENSINGTON PARK
 TOWN OF KENSINGTON
 WHEATON DISTRICT 13
 MONTGOMERY COUNTY
 MARYLAND
 SCALE: 1" = 20'-0"



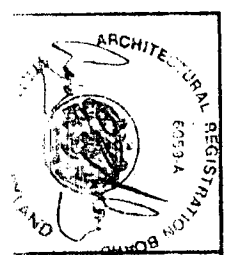
ORME RESIDENCE
 3928 BALTIMORE ST., KENSINGTON, MD.

CEM DESIGN
 520 ANDERSON AVENUE
 ROCKVILLE, MARYLAND
 301-782-3128 20860

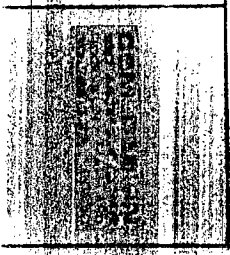


SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

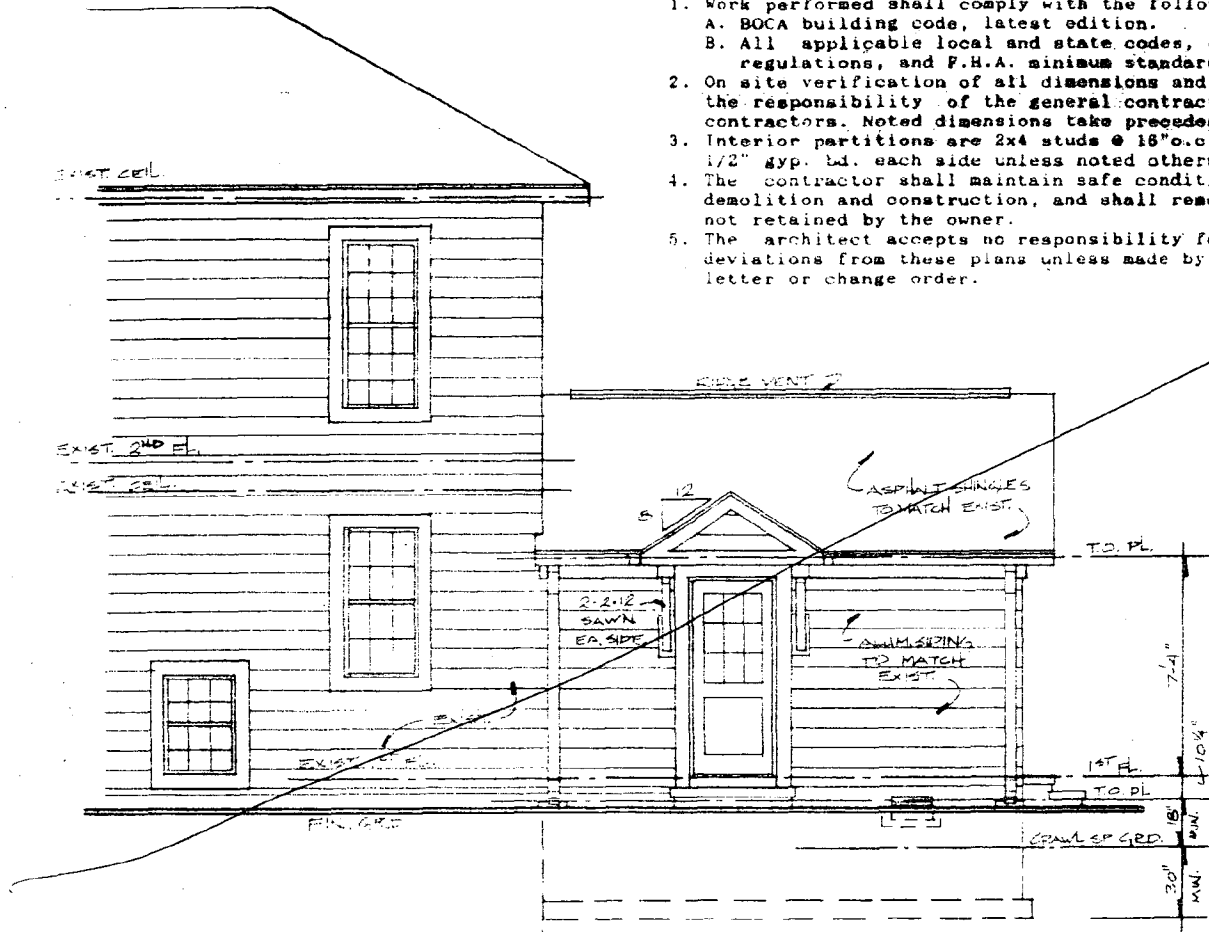


ORME
ADDITION
KENSINGTON, MARYLAND



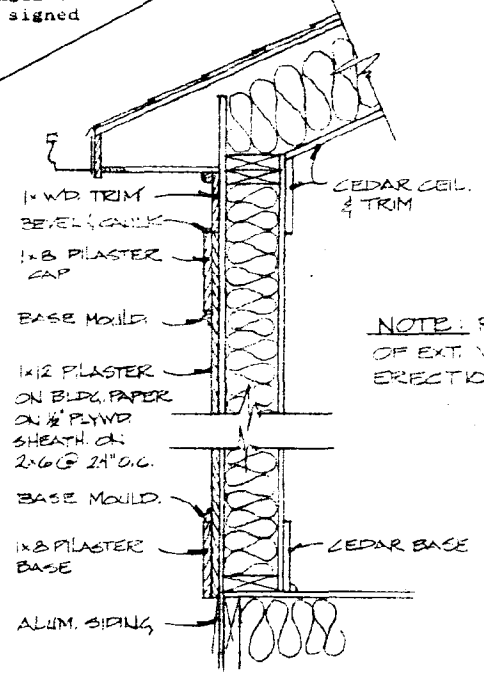
GENERAL REQUIREMENTS:

1. Work performed shall comply with the following:
 - A. BOCA building code, latest edition.
 - B. All applicable local and state codes, ordinances and regulations, and F.H.A. minimum standards.
2. On site verification of all dimensions and conditions shall be the responsibility of the general contractor and his sub-contractors. Noted dimensions take precedence over scale.
3. Interior partitions are 2x4 studs @ 16" o.c. with one layer of 1/2" gyp. bd. each side unless noted otherwise.
4. The contractor shall maintain safe conditions throughout the demolition and construction, and shall remove all materials not retained by the owner.
5. The architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.



WEST ELEVATION

SCALE: 1/4" = 1'-0"



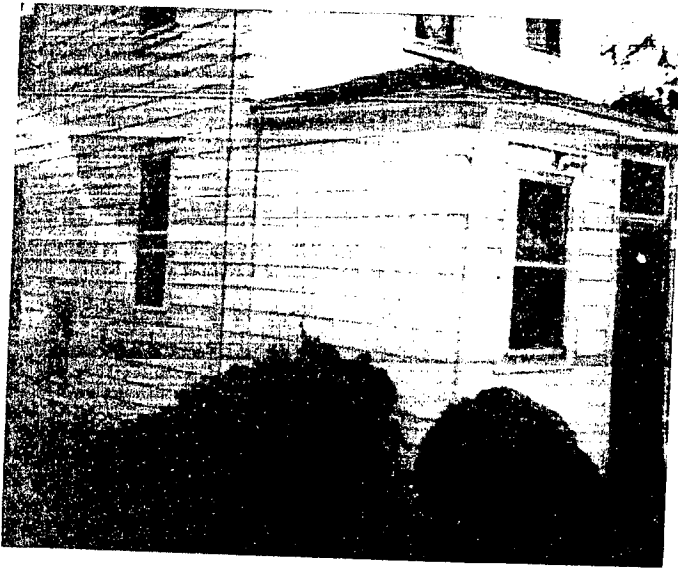
SECTION @ PLASTER

SCALE: 1" = 1'-0"

	<p>ORME</p> <hr/> <p>ADDITION</p> <hr/> <p>KENNINGTON, MARYLAND</p>	
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rear





Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

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TAX ACCOUNT # 1023360

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(Contract/Purchaser) (Include Area Code)

ADDRESS 3978 Baltimore St Kensington Md 20895
CITY STATE ZIP

CONTRACTOR Virginia Construction Co TELEPHONE NO. 901-977 9131
CONTRACTOR REGISTRATION NUMBER 1105

PLANS PREPARED BY KEM DE SIK TELEPHONE NO. 302-762 3125
CRAIG E MOLONEY R.H. (Include Area Code)
REGISTRATION NUMBER 6059

LOCATION OF BUILDING/PREMISE

House Number 3978 Street BALTIMORE ST

Town/City KENSINGTON Md Election District _____

Nearest Cross Street _____

Lot 2142 Block # 11 Subdivision KENSINGTON PARK WHE
Liber 485FB Folio 17 Parcel TOWN OF KENSINGTON

1A. TYPE OF PERMIT ACTION: (circle one)

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			Revision	Fence/Wall (complete Section 4) Other _____		

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2A. TYPE OF SEWAGE DISPOSAL

01 <u>(X)</u> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <u>(X)</u> WSSC	02 () Well
03 () Other <u>HEAT</u>	<u>121/113</u>

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Mirta T. Orme _____
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Walter Hahn Date 7/25/88

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CONSTRUCTION NOTES

CONCRETE AND MASONRY

1. Concrete work shall conform to ACI-308-83 and ACI-301-72 Specifications for Structural Concrete for Buildings.
2. Provide 95% backfill compaction per ASTM D-698.

FOUNDATION

1. Footings shall bear a minimum of 2'-6" below finished grade.
2. Depths and sizes of all footings shall be subject to change if soil conditions are other than assumed.

MASONRY

1. Design and construction of all brick and C.M.U. walls shall conform to the requirements and specifications of B.I.A. and N.C.M.A. codes, latest edition, and A.S.T.M. masonry standards.
2. Provide continuous horizontal joint reinforcement (Dur-o-wall) at 16" o.c. in all masonry walls.

LUMBER GRADE

1. All lumber shall No. 2 HEM-FIR or better.
2. Stress grade lumber shall be stamped with the Lumber Inspection Assoc. seal. Fabrication and erection shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
3. All lumber shall have a moisture content not greater than 20%. Air dried or kiln dried lumber may be used.
4. All wood in contact with masonry or concrete shall be pressure-treated.

JOIST HANGERS

1. All purlins, joists and beams not framed over supporting members shall be supported by means of "TECO" joist hangers or an approved equal.

BOLTS IN WOOD FRAMING

1. All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.

ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, substituted, notched, cut, blocked out or relocated without prior approval by the architect.

BRIDGING AND BLOCKING

1. Provide one line of 2x bridging in every eight feet of span in floor and roof framing. Block solid at all bearing supports where adequate lateral support is not provided. Provide 2x firestops at mid-point of stud walls.

PLYWOOD

1. Plywood shall be Douglas fir manufactured and graded in accordance with "Product Standard P-1-66" for soft plywood, construction and industrial.
2. All floors shall be glued and nailed with ring shanked nails.
3. Roof and ext. wall sheathing shall be standard INT-DEPA, Group 2 or 3.

NAILING

1. All nailing shall comply with BOCA code, latest edition and all State and local building codes.

FURRED CEILINGS

1. For location, extent and height of furred areas, see drawings.
2. Furred ceilings shall be constructed with 2x4's at 16" o.c. hung from structural floor or roof framing with 2x4 hangers at 4'-0" o.c. maximum.

HEADERS

1. Provide 2 - 2x10 lintels in all partition openings unless noted.
2. Provide double trimmers under all headers.

INSULATION

1. Ceilings under roof, floors over crawl spaces, and exterior stud walls shall be insulated per requirements of State and local building codes.
2. All pipes, conduit, and ducts in unconditioned areas or in exterior walls, floors, or ceilings shall be insulated.
3. Provide sound insulation around all toilet and bathrooms, and around plumbing risers adjacent to inhabited spaces.

ROOFING

1. Roofing shall be 240# self-sealing asphalt shingles over one layer of 15# asphalt saturated felt underlay.

FLASHING

1. Flashing and counter-flashing shall be 26 ga. corrosion resistant metal.
2. Flash all exterior openings and all building corners with approved waterproof building paper to extend at least 4" behind wall covering.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be installed and fastened in accordance with the BOCA code, latest edition, and State and local codes.

DOORS AND WINDOWS

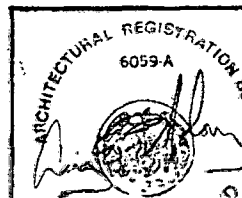
1. Interior doors are to match existing as closely as possible.
2. Ext. swinging door to be Morgan or equal with tempered "low-E" glazing.
3. Windows and sliding door to be Anderson tempered "low-E" glazed or equal.

ELECTRICAL

1. All work shall comply with all codes, rules and regulations of governing agencies and with the requirements of the power and telephone companies.
2. Equipment exposed to weather shall be weather-proof.
3. Receptacles in kitchen shall be installed above work-top where noted. All other receptacles shall be installed vertically 12" above the sub-floor.
4. Wall switches are to be 48" above the sub-floor.

HEATING AND AIR CONDITIONING

1. Provide an electric heat pump of the size and capacity required for the addition and kitchen areas. Locate compressor in the existing basement.



ORME
ADDITION
KENSINGTON, MARYLAND

CEM DESIGN
1030 ANDERSON AVENUE
BETHESDA, MARYLAND 20814
TEL: 703-408-8280

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DOORS AND WINDOWS

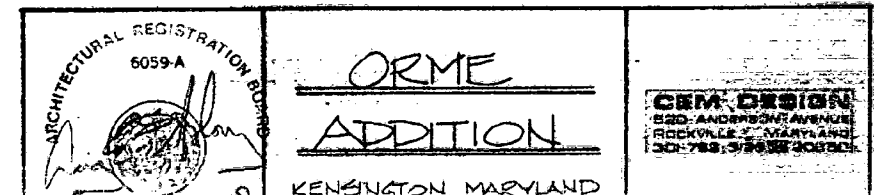
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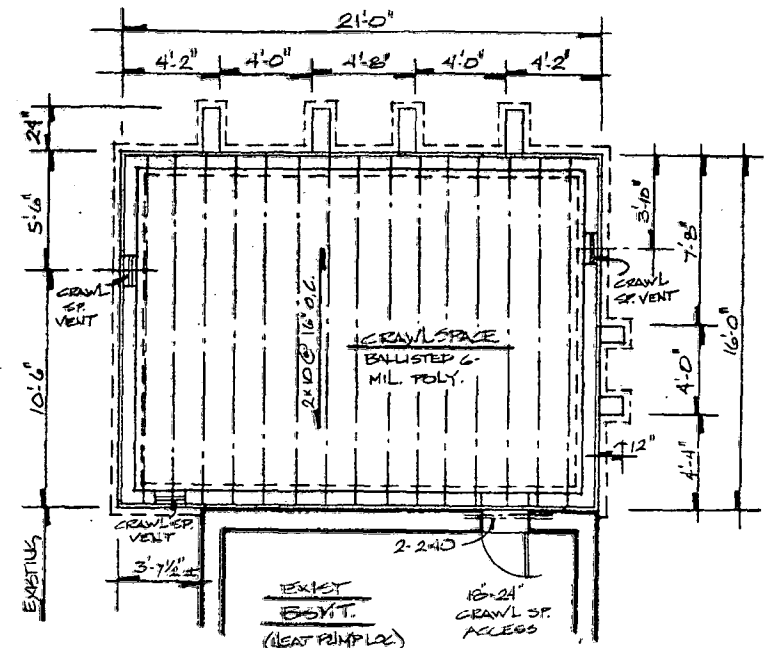
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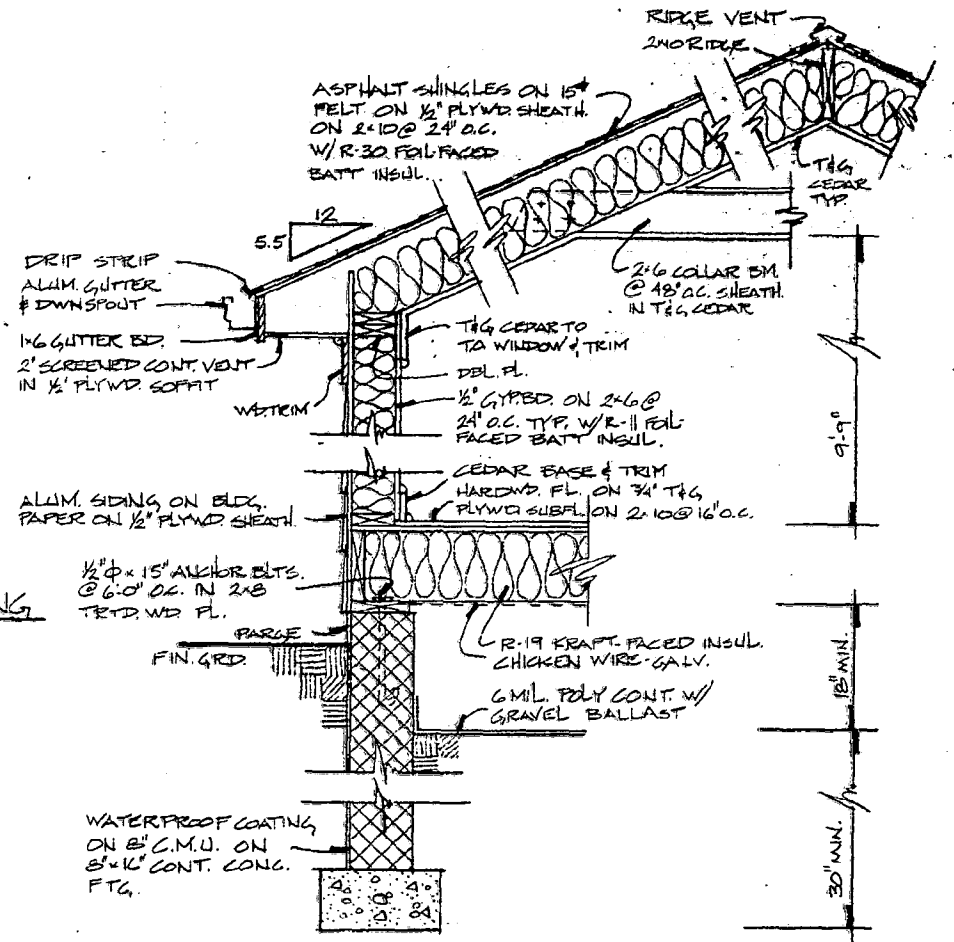
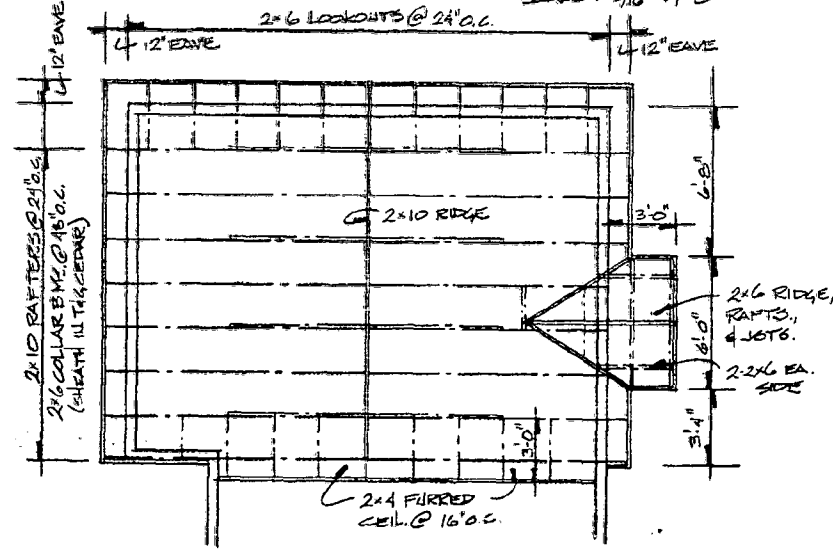
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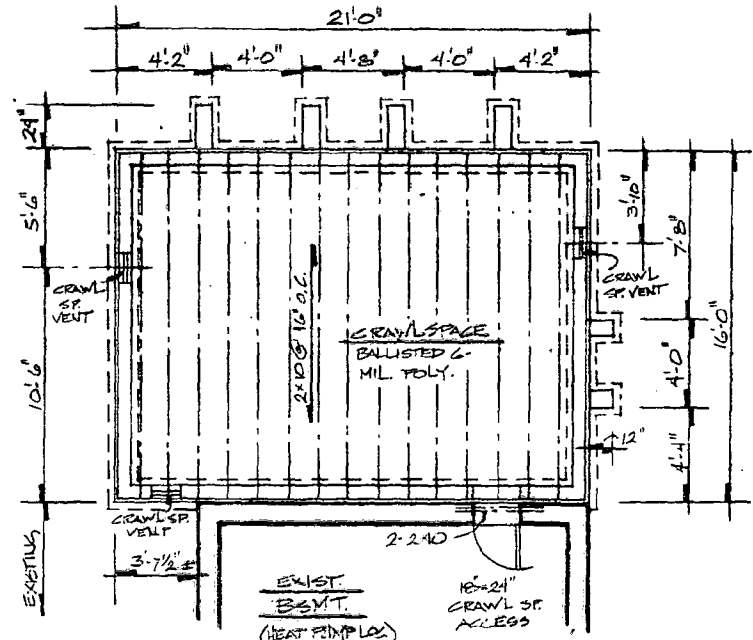


FOUNDATION & 1ST FL FRAMING
 SCALE: 3/16" = 1'-0"

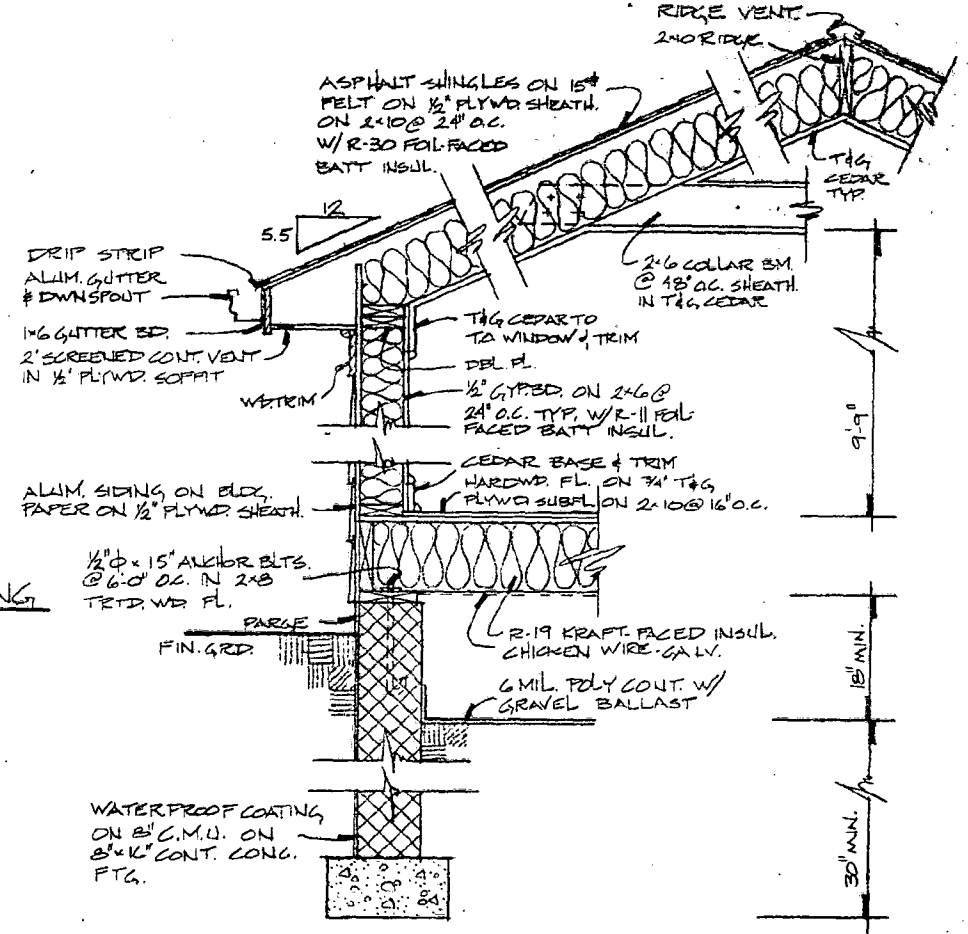
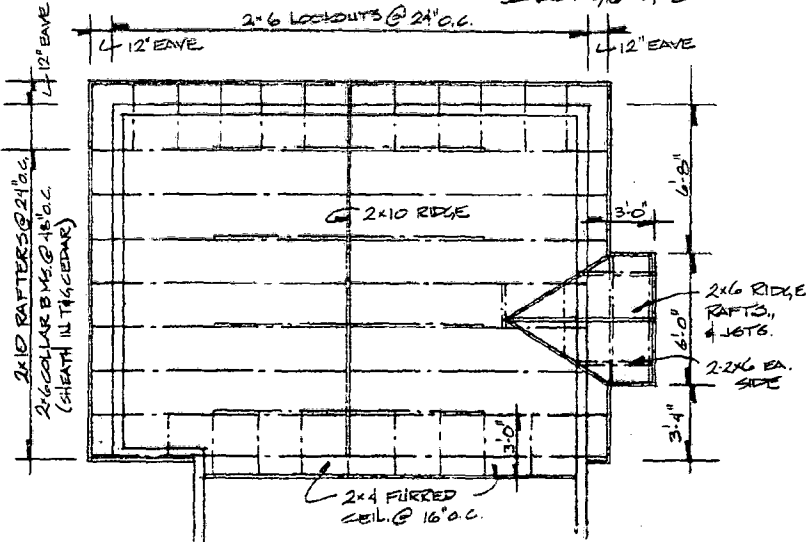


WALL SECTION
 SCALE: 3/4" = 1'-0"


ARCHITECTURAL REGISTRATION BOARD 6059-A 	ORME <hr/> ADDITION	CEM. DESIGN 500 ANDERSON AVENUE ROCKVILLE, MARYLAND TEL: 782-2128 FAX: 782-2882
	KENSINGTON MARYLAND	



FOUNDATION & 1ST FL. FRAMING
SCALE: 3/16" = 1'-0"

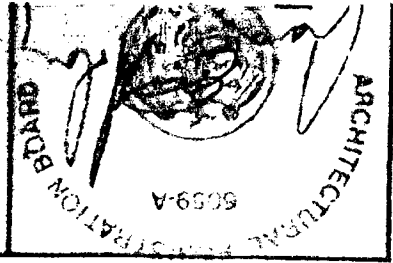


WALL SECTION
SCALE: 3/4" = 1'-0"

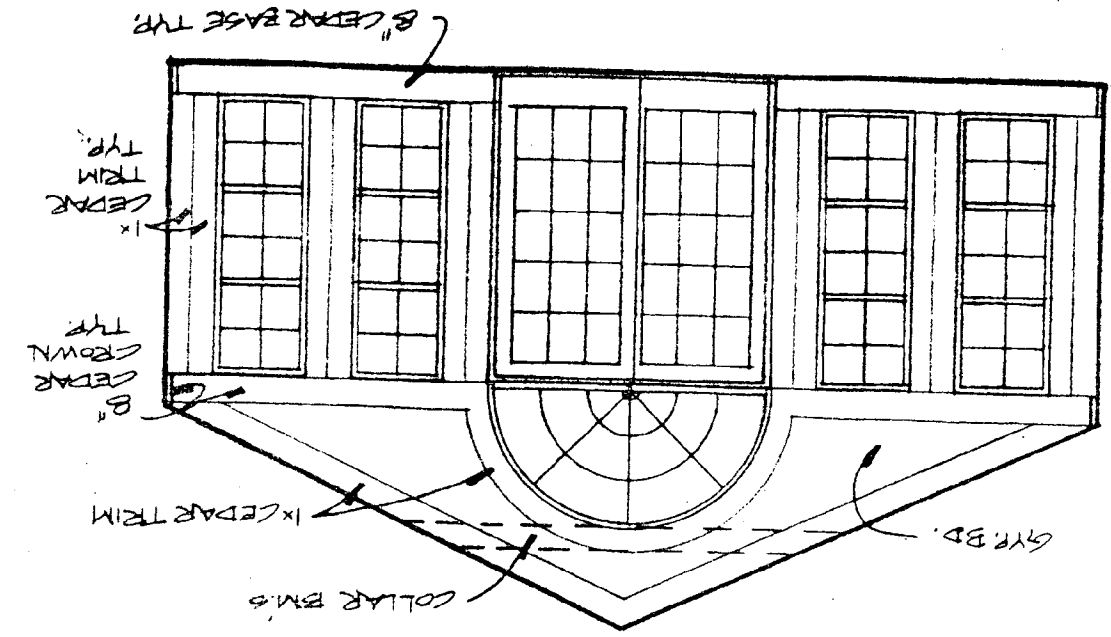
ARCHITECTURAL REGISTRATION BOARD 6059-A 	<p style="text-align: center;">ORME</p> <hr/> <p style="text-align: center;">ADDITION</p> <p style="text-align: center;">WASHINGTON, MARYLAND</p>	<p style="text-align: center;">CBM DESIGN</p> <p style="text-align: center;">350 ANDERSON AVENUE ROCKVILLE, MARYLAND 301-782-3122</p>
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GEN DESIGN
 300 W. 10th St.
 ANCHORAGE, ALASKA 99501
 282-4444

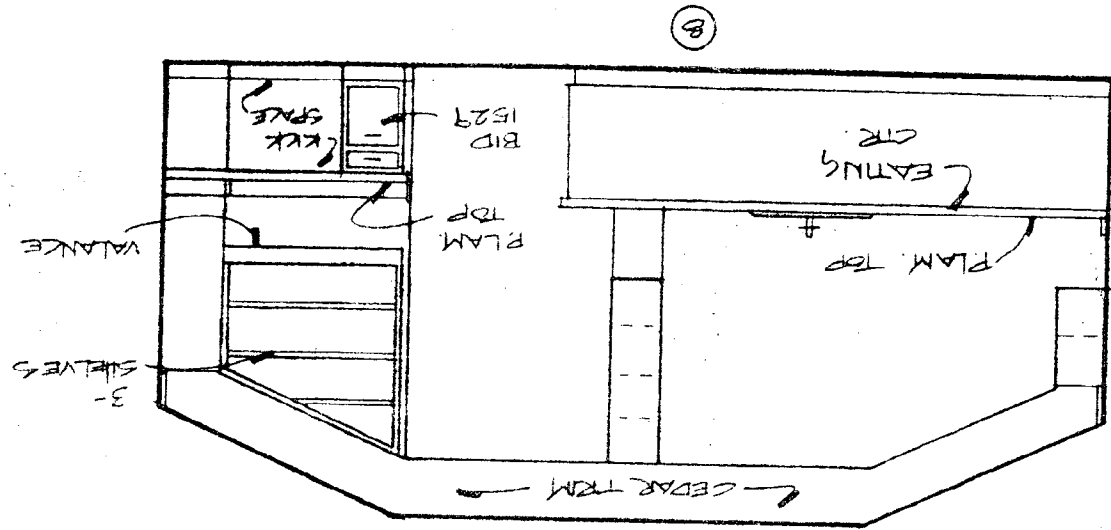
ORME
 ADDITION



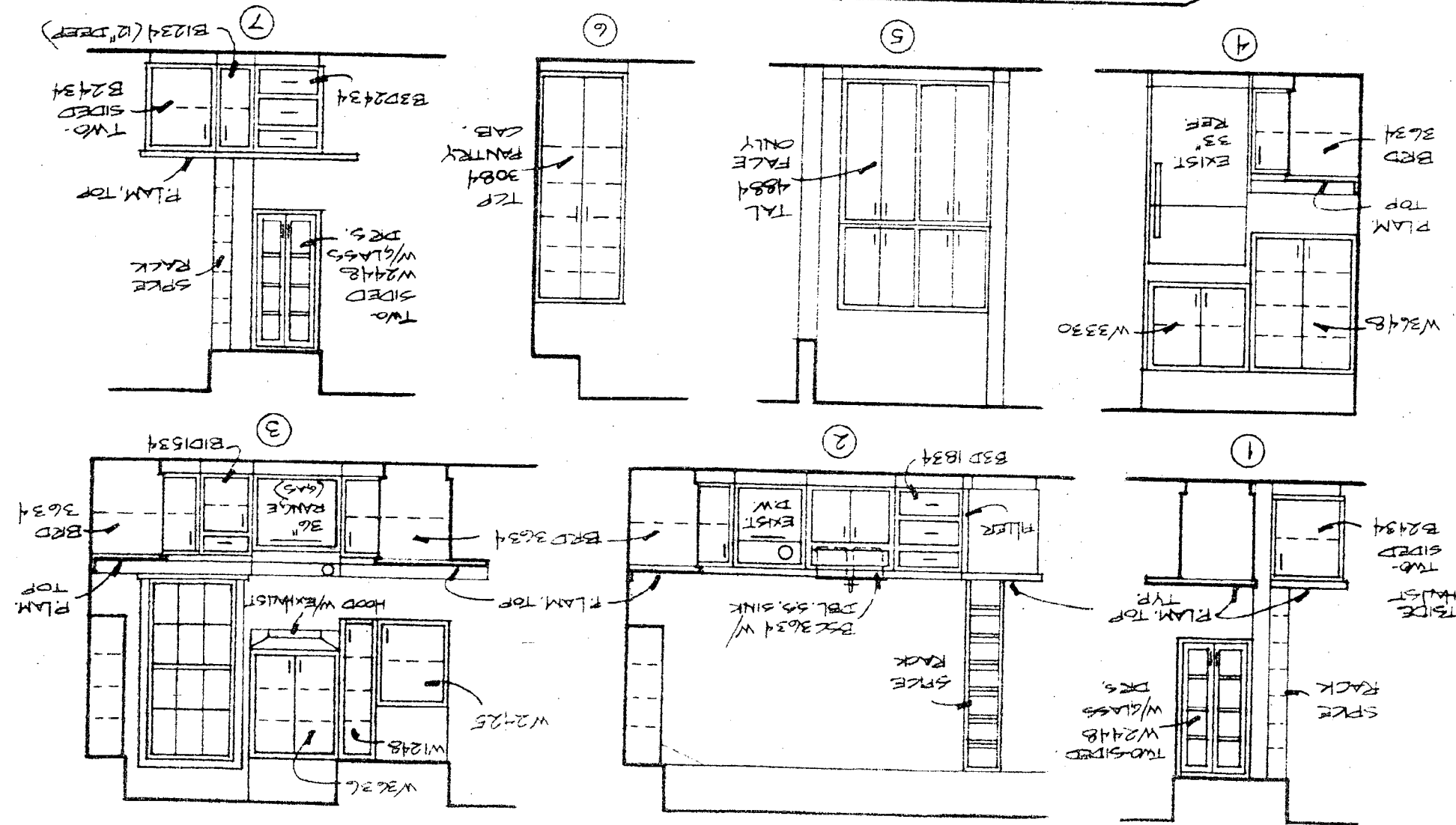
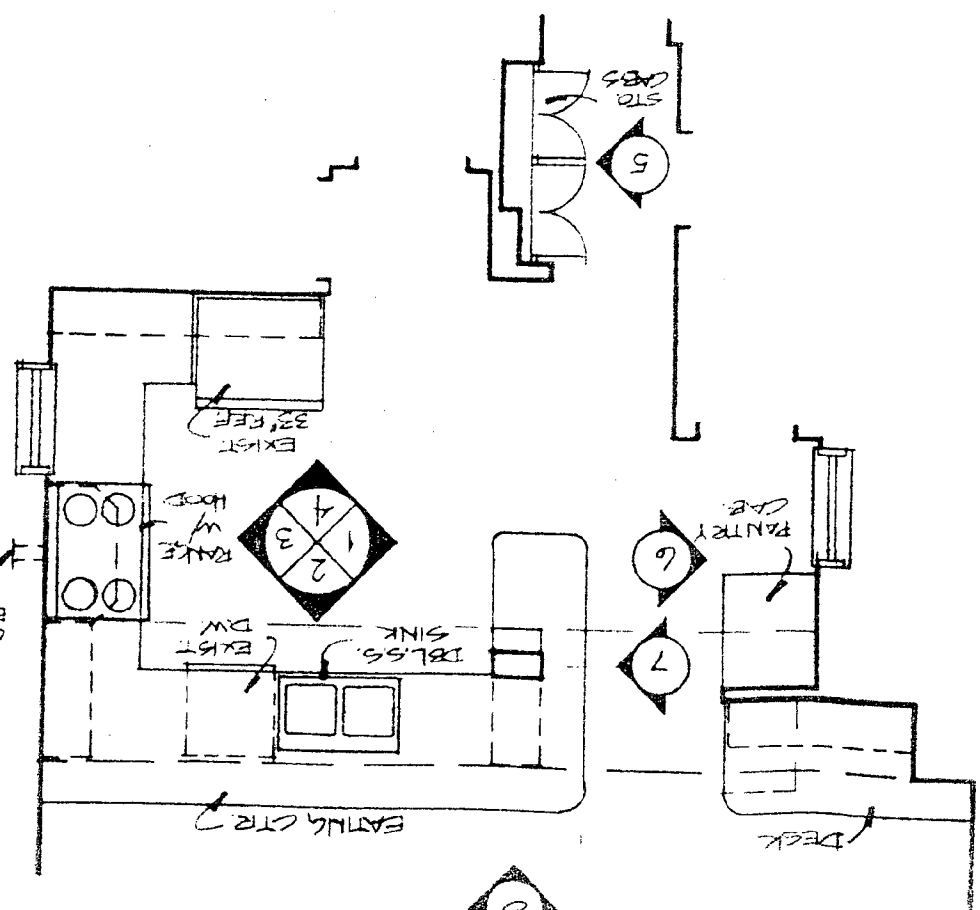
FAMILY RM. ELEV SCALE: 1/4" = 1'-0"

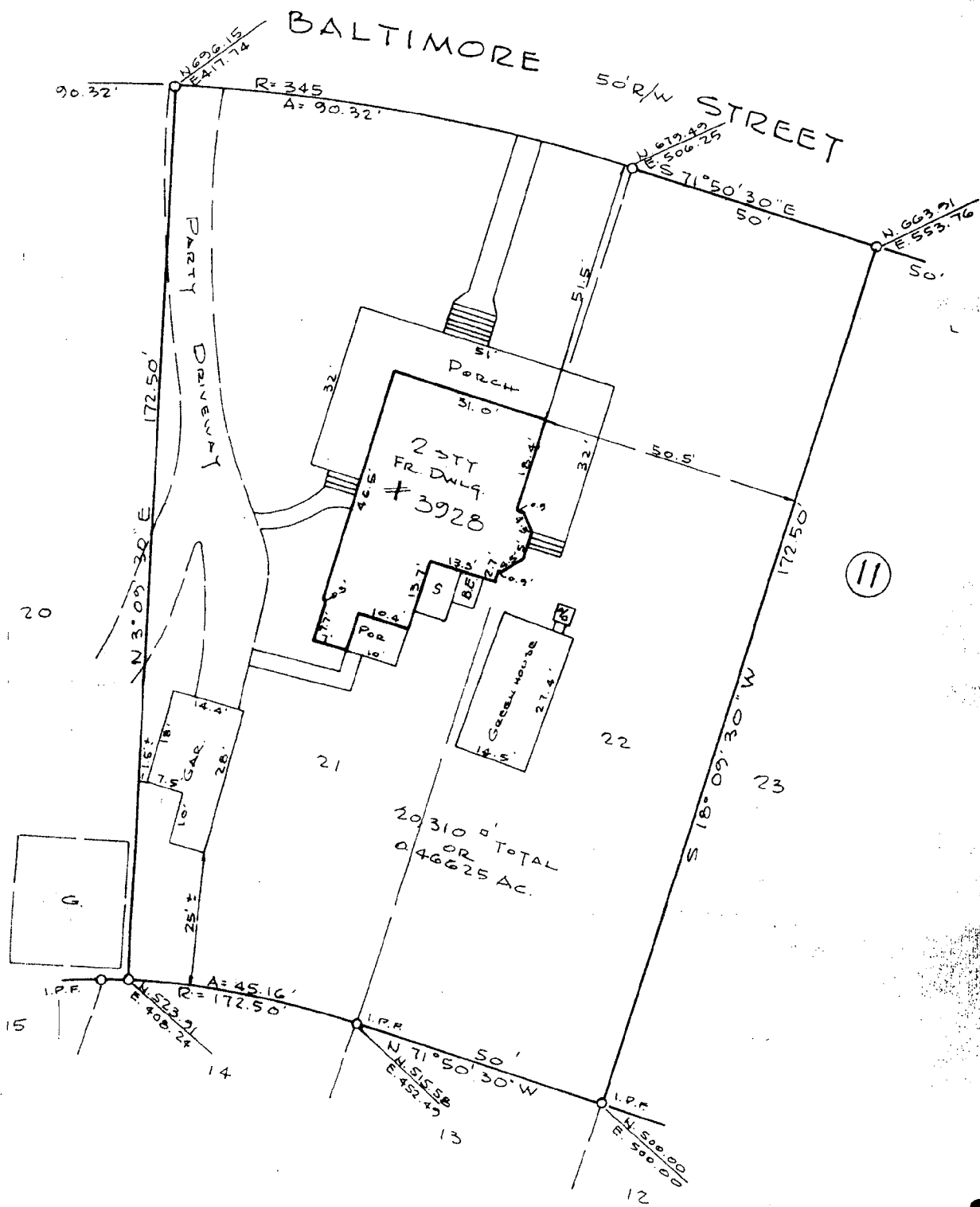


KITCHEN ELEVATIONS SCALE: 1/4" = 1'-0"



KITCHEN PLAN SCALE: 1/4" = 1'-0"



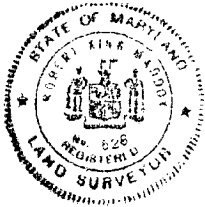


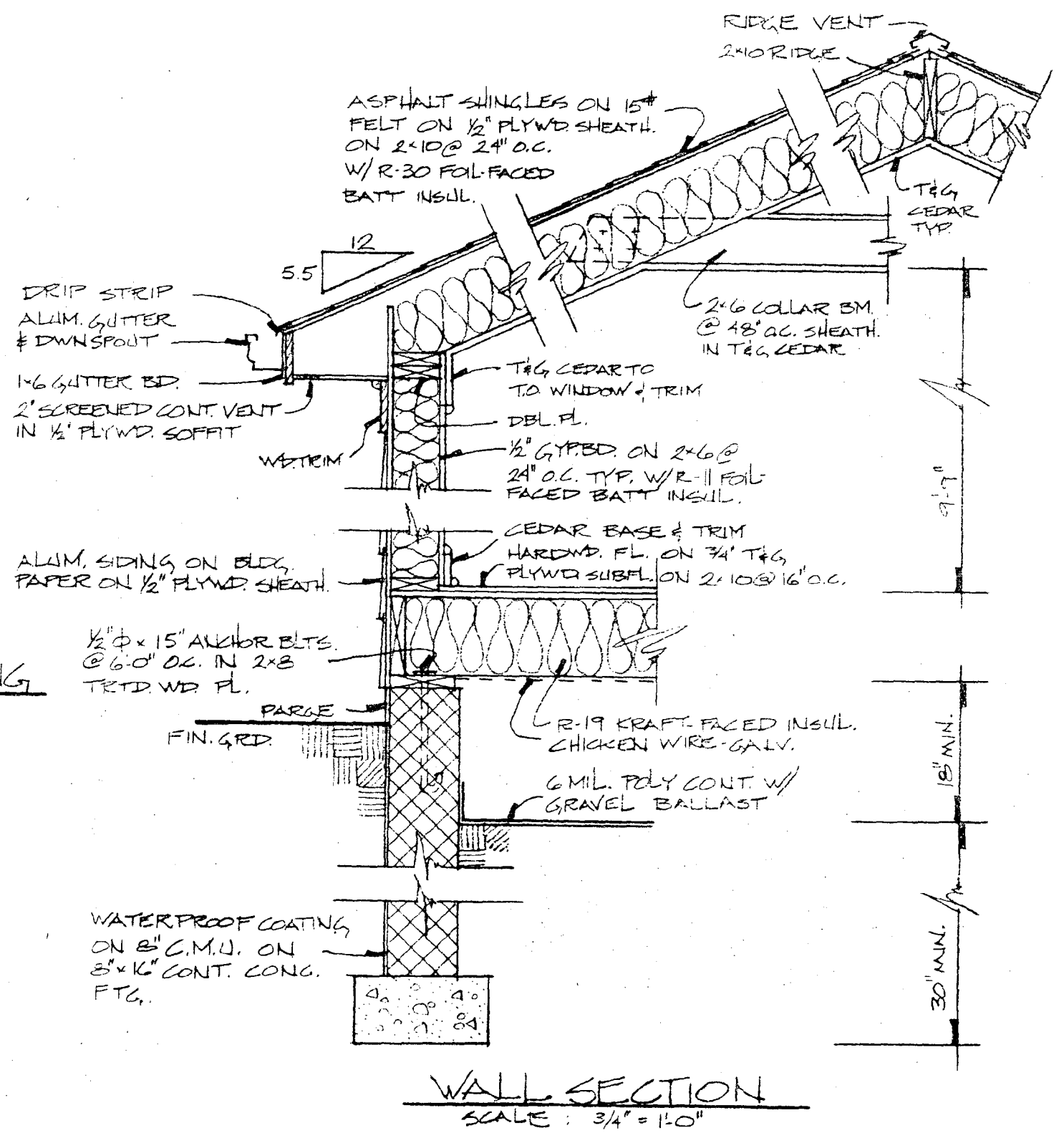
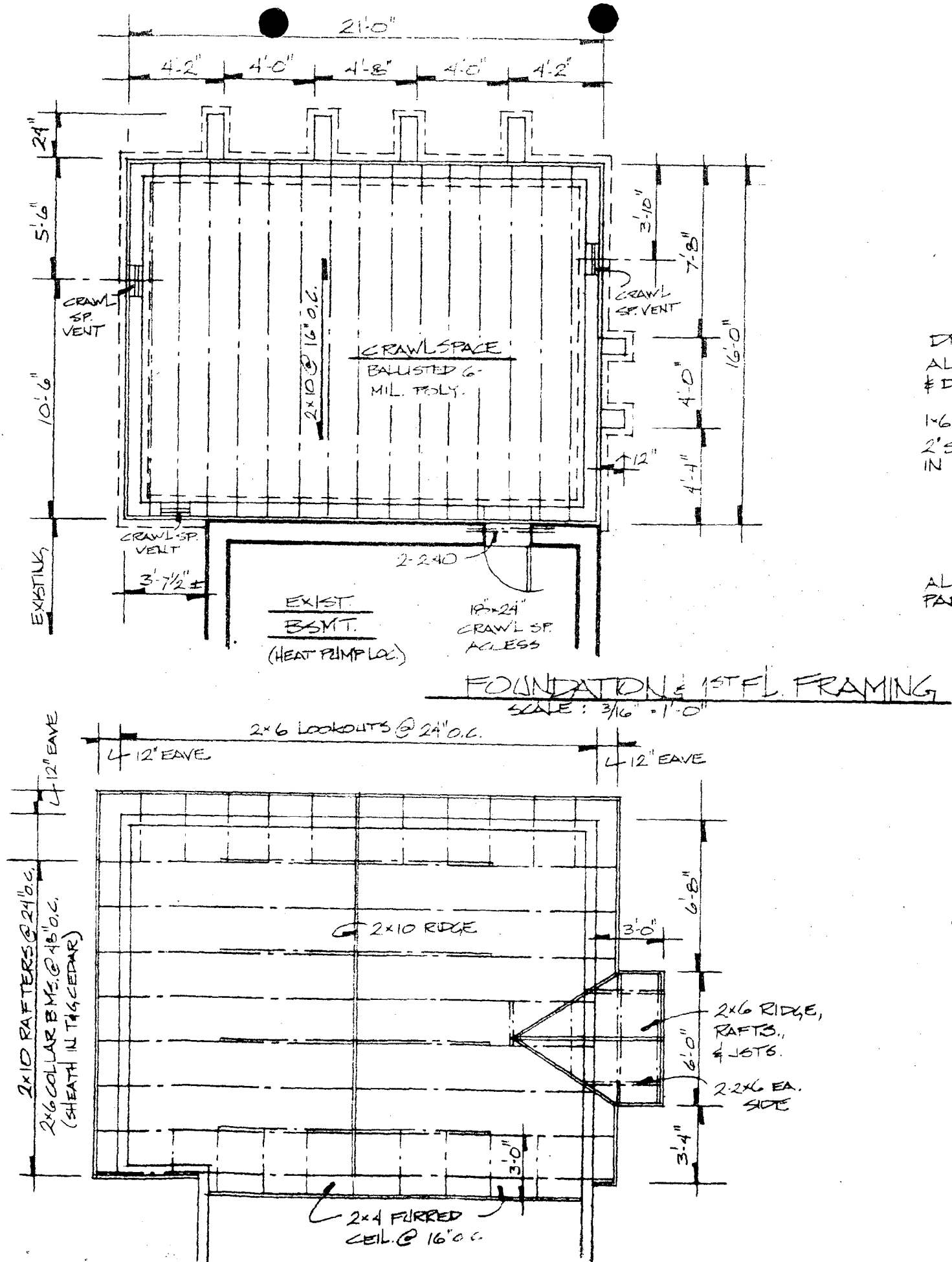
NOTE:
 These lots are not in
 floodplain area.


SURVEYOR'S CERTIFICATE

I hereby certify that the plan shown hereon is correct,
 and that the location of all the existing improvements on the
 described property have been carefully established by a
 transit-tape survey and that unless otherwise shown there are
 no encroachments

R.K. MADDOX, Surveyor #528 PLS.
 ROCKVILLE, MARYLAND

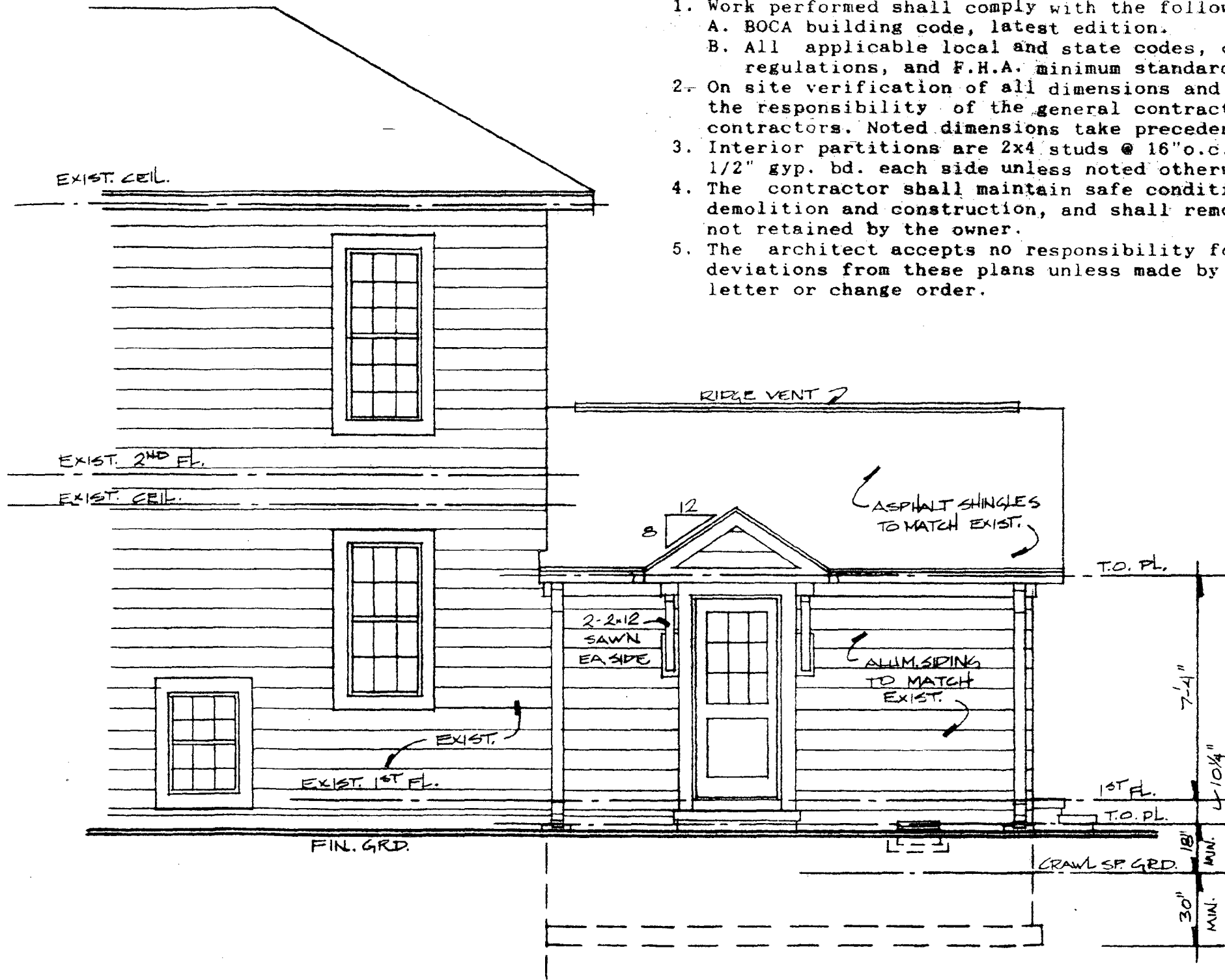




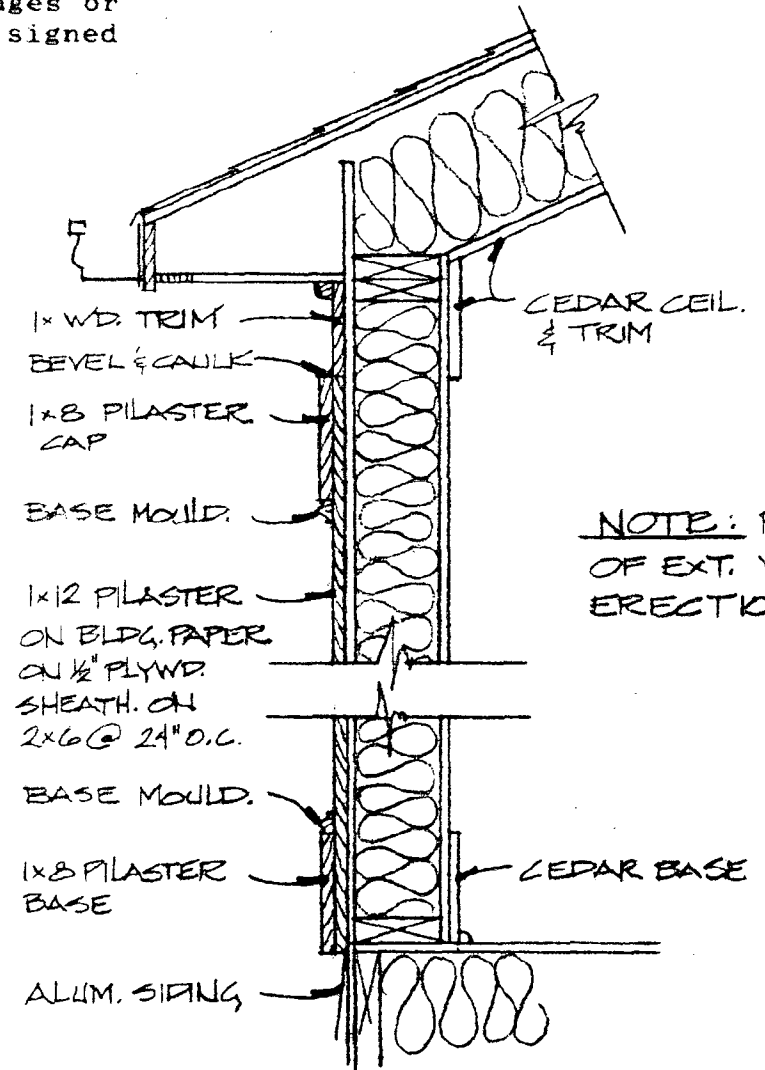
ARCHITECTURAL REGISTRATION BOARD 6059-A 	<h1>ORME</h1> <h2>ADDITION</h2>	CEM DESIGN 520 ANDERSON AVENUE ROCKVILLE, MARYLAND
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GENERAL REQUIREMENTS:

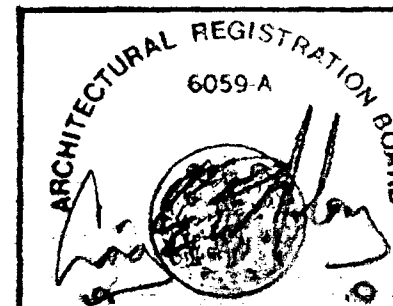
1. Work performed shall comply with the following:
 - A. BOCA building code, latest edition.
 - B. All applicable local and state codes, ordinances and regulations, and F.H.A. minimum standards.
2. On site verification of all dimensions and conditions shall be the responsibility of the general contractor and his sub-contractors. Noted dimensions take precedence over scale.
3. Interior partitions are 2x4 studs @ 16" o.c. with one layer of 1/2" gyp. bd. each side unless noted otherwise.
4. The contractor shall maintain safe conditions throughout the demolition and construction, and shall remove all materials not retained by the owner.
5. The architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SECTION @ PLASTER
SCALE: 1" = 1'-0"

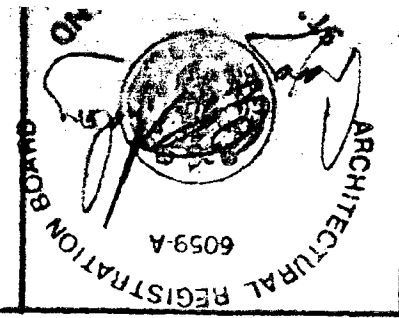


ORME
ADDITION
KENSINGTON, MARYLAND

GEM DESIGN
320 ARCADE AVENUE
ROCKVILLE, MARYLAND
301-785-1888 20880

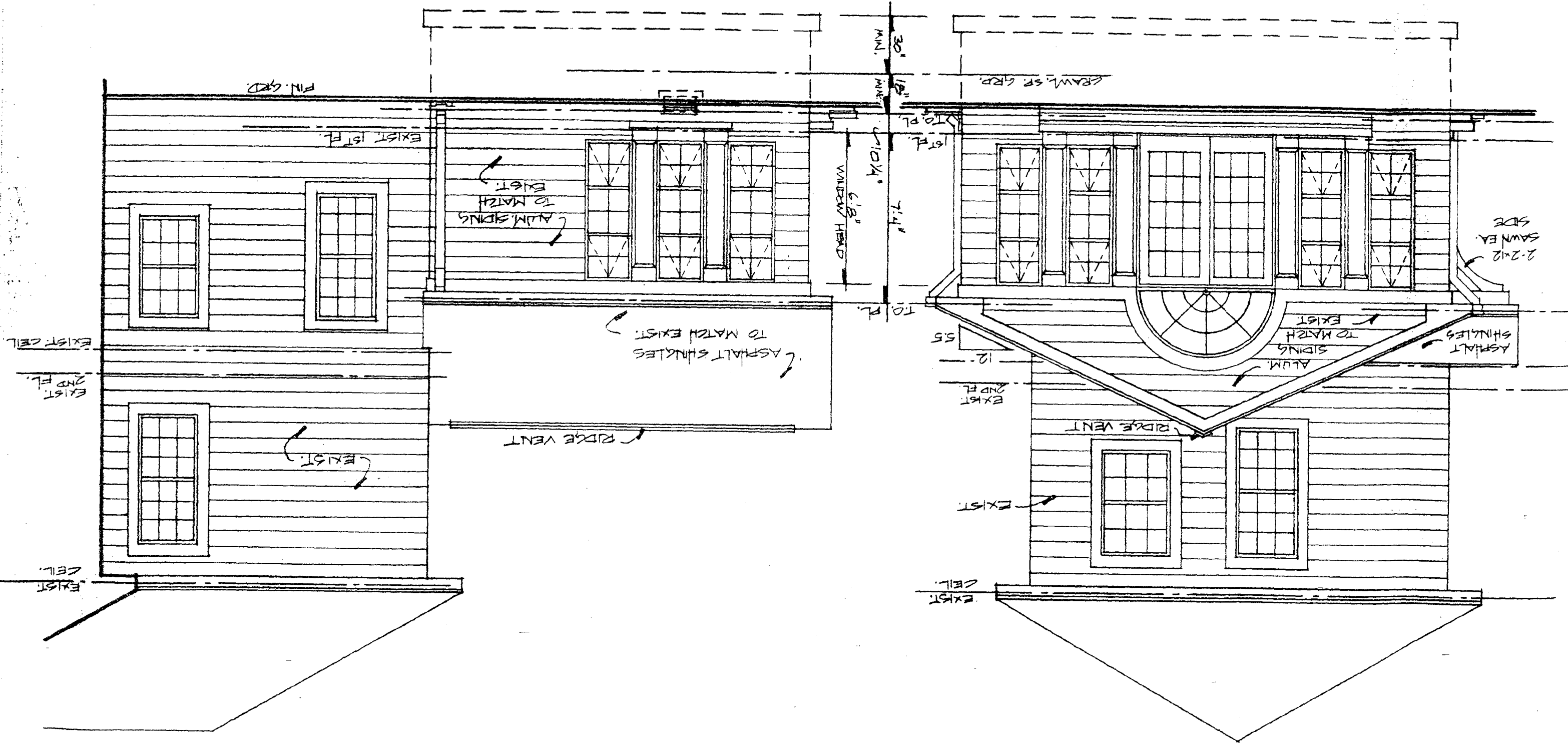
CEM DESIGN
350 ANDERSON AVENUE
ROCKVILLE, MARYLAND
301.782.3100

KENNINGTON, MARYLAND
ADDITION
ORME

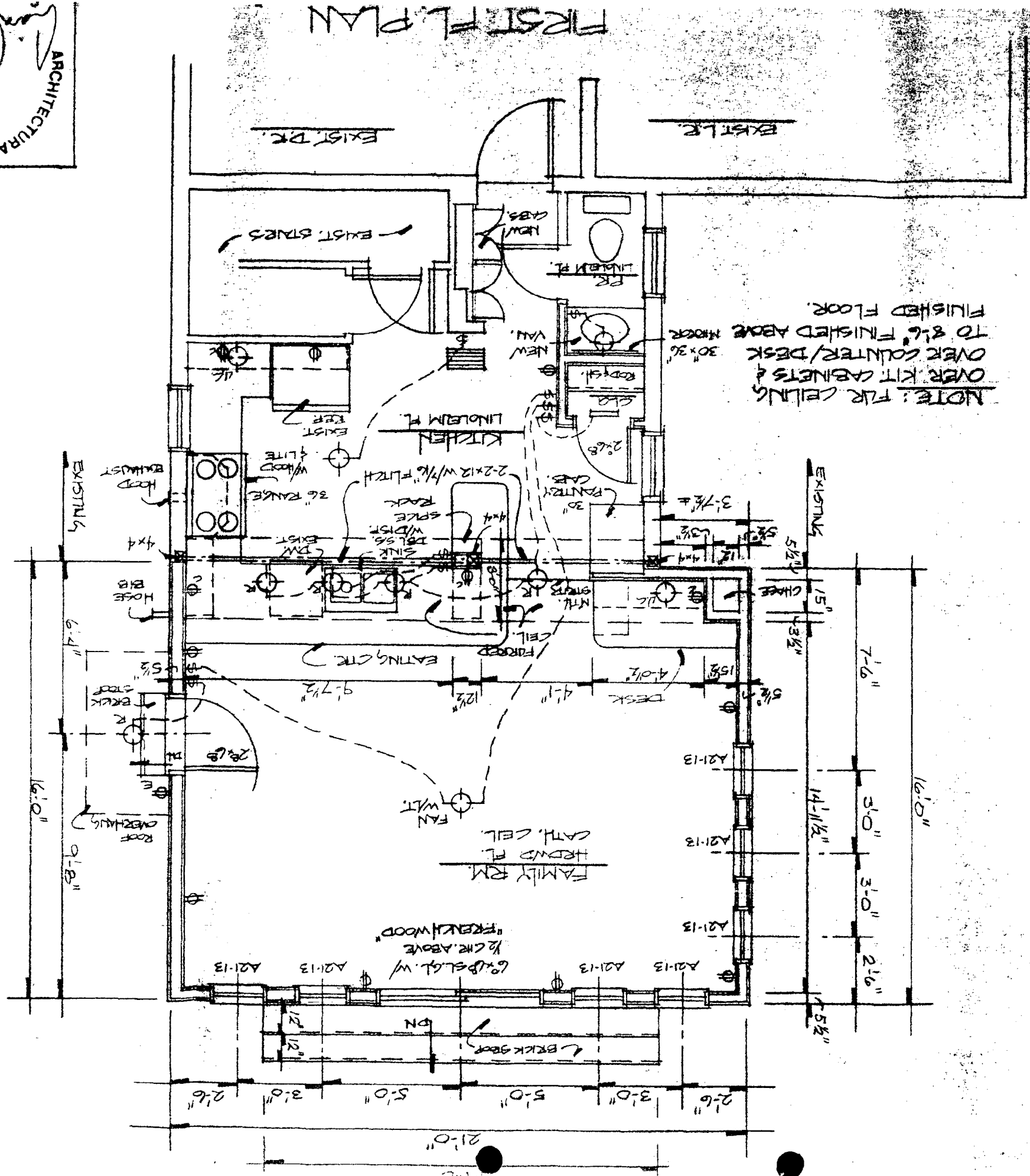
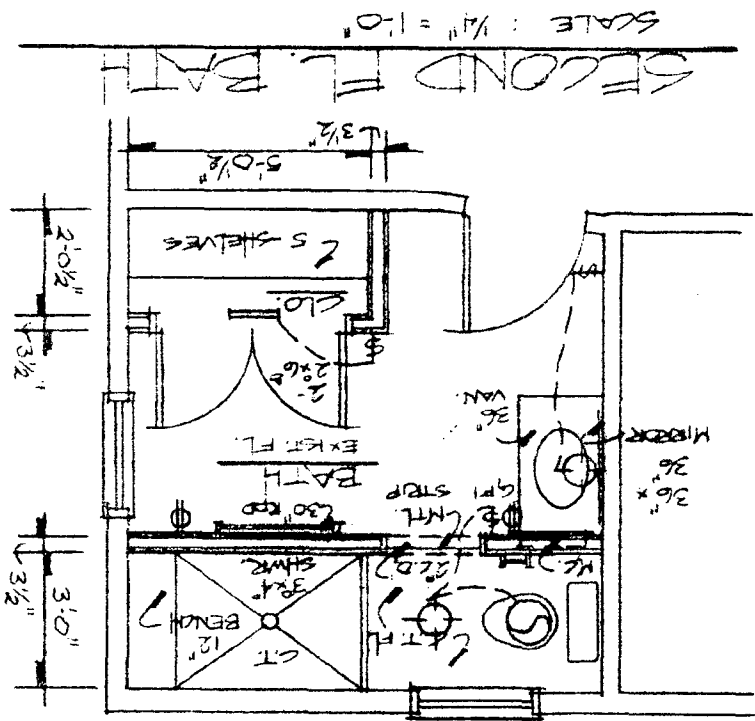


EAST ELEVATION
SCALE: 1/4" = 1'-0"

SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: RELOC. EXIST. W/D TO SECOND FL.



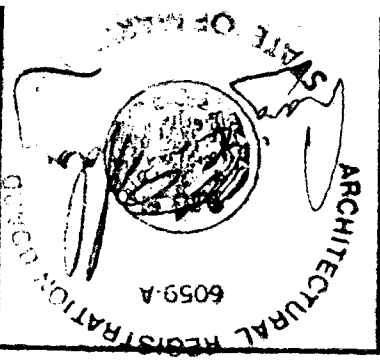
NOTE: FUR CEILING
OVER KIT CABINETS &
OVER COUNTER/DESK
30x36
TO 8'-6" FINISHED ABOVE
FINISHED FLOOR.

CEM DESIGN
330 ANDERSON AVENUE
ROCKVILLE, MARYLAND 20850
PHONE 301-762-3333

KENSINGTON, MARYLAND

ADDITION

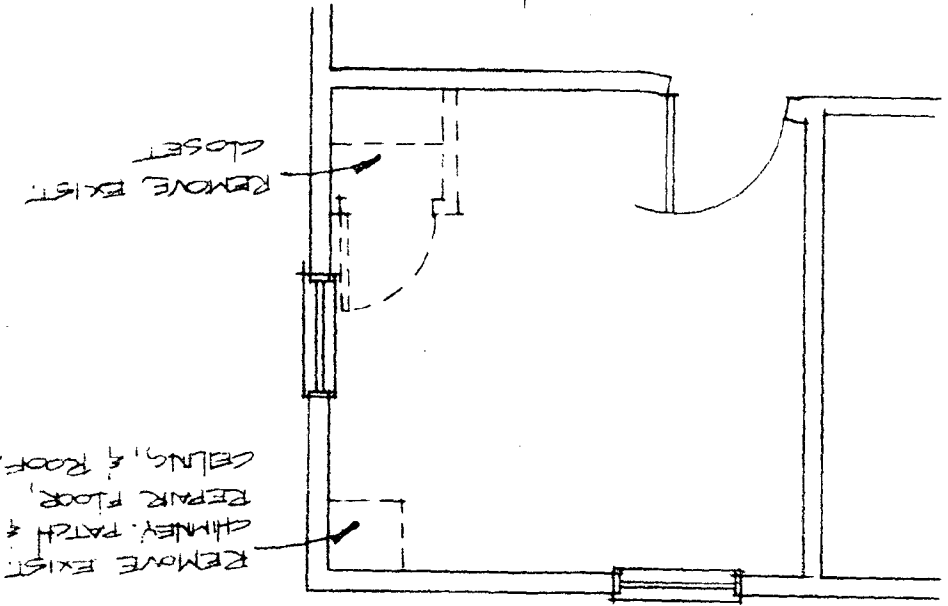
ORME



SECOND FL. DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

NOTE: REMOVE EXIST SHOWER STALL IN
FUTURE LAUNDRY.



FIRST FL. DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

