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MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION THE 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760 DATE: /0/ MEMORANDUM TO: Robert Hubbard, Chief Division of Development Services and Regulation Department of Environmental Protection (DEP) Gwen Marcus, Historic Preservation Coordinator FROM: Design, Zoning, and Preservation Division M-NCPPC SUBJECT: Historic Area Work Permit The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was: Approved Denied Approved with Conditions:

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

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21202 6 St. Haul St. Applicant: CSXT/ MTA Address: Ke: Kausington Tau Station, 10415 Hourd

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Montgomery County Covernment Historic Preservation Commiss (301) 495-4570	d 20850
APPLICATION FOR Atten. Gwen Marcus HISTORIC AREA WORK PERMIT	
Mult contact person <u>CAPL</u> LOCKU PERT DAYTIME TELEPHONE NO. (410) 767-	100D 3833
TAX ACCOUNT #	
NAME OF PROPERTY OWNER CSXT/MTA DAYTIME TELEPHONE NO. (410) 767-	
ADDRESS 6 ST. PAUL ST. BALTO MD 2120 CITY STATE	
CONTRACTOR GRANIA CONTRACTING TELEPHONE NO. ()	
AGENT FOR OWNER DAYTIME TELEPHONE NO()	
LOCATION OF BUILDING/PREMISE	
HOUSE NUMBER 10415 STREET HOWARD ST (KENSINGTON TRAIN	· · ·
TOWN/CITY KEHSINGTON ST NEAREST CROSS STREET MONTGOMERY	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Siab	Room Addition
Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar We Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other PAP	oodburning Stove
1B. CONSTRUCTION COST ESTIMATE $s_{\pm} \pm 150,000^{-1}$ ω (LIGHT	FIXTURES .
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT #	·
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PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER	
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PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A HEIGHTinches	
3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCA On party line/property line Entirely on land of owner On public right of way/easement .	
I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS COR THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND TO BE A GONDITION FOR THE ISSUANCE OF THIS PERMIT.	
Signature of owner or authorized agent ' Date	
APPROVED X M CANditiens For Chairperson, Historic Preservation Commission DISAPPROVED Signature Signature Date 10/13/45	
APPLICATION/PERMIT NO: 4 C A G A G A G A G A G A G A G A G A G A	······································
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THE FOLLOWING MUST BE COMPLETED AND THE RECEIPTED DOCUMENTS

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

KENSINGTON TRAIN STATION - RECENTLY	RESTORED	BY	MD. MASS
TRANSIT ADMINISTRATION (MTA)		_	

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THIS APPLICATION FOR REPAING OF EXISTING PARKING DOT,	
MODIFICATION OF LOT AND SIDEWALK TO PROVIDE ADA ACCESSIBILITY,	
AND INSTALLATION OF HISTORIC LIGHTING ALONG SIDEWALK + PLATFORM	

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site teatures such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- <u>Schematic construction plans</u>, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>all</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 10/13/95

MEMORANDUM

Historic Area Work Permit Applicants

FROM:

TO:

I: Gwen Marcus, Historic Preservation Coordinator Design, Zoning, and Preservation Division M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

EXPEDITED HISTORIC PRESERVATION COMUSSION STAFF REPORTAddress: 10415 Howard Street (Kensington Train Station)Meeting Date: 10/11/95Resource: Kensington Historic DistrictReview: HAWP/
RETROACTIVECase Number: 31/6-95JTax Credit: NoPublic Notice: 9/27/95Report Date: 10/4/95Applicant: CSXT/MTA (Carl Lockwood)Staff: Robin D. ZiekPROPOSAL: Parking lot repairs, lightingRECOMMEND: APPROVAL

DATE OF CONSTRUCTION: 1880-1910 Primary Resource

SIGNIFICANCE: Individual <u>Master Plan</u> Site <u>X</u> Within a <u>Master Plan</u> Historic District <u>X</u> Primary Resource Secondary Resource <u>Non-Contributing/Out-of-Period Resource</u>

ARCHITECTURAL DESCRIPTION: The Kensington Train Station is a Primary Resource within the Kensington Historic District. It was recently refurbished by CSXT/MTA, with a HAWP approved in May 1993. At that time, the rehabilitation of the building only was addressed.

PROPOSAL: Repave the parking lot by the Train Station, and provide ADA accessibility. Install compatible lighting along sidewalk and platforms.

RECOMMENDATION: <u>X</u> Approval Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

 \underline{X} 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

 \underline{X} 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

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APPLICATION FOR Atten. Gue Marcus
HISTORIC AREA WORK PERMIT
March CONTACT PERSON CAPL LOCKWOOD
PERMT DAYTIME TELEPHONE NO. (410) 767-3833
TAX ACCOUNT #
NAME OF PROPERTY OWNER CSXT/MTA DAYTIME TELEPHONE NO. (410) 767-3833
ADDRESS 6 ST. PAUL ST. BALTO MD 21202 CITY STATE ZIP CODE
CONTRACTOR GRANIA CONTRACTING TELEPHONE NO. ()
CONTRACTOR REGISTRATION NUMBER
AGENT FOR OWNER DAYTIME TELEPHONE NO
LOCATION OF BUILDING/PREMISE
HOUSE NUMBER 10415 STREET HOWARD ST (KENSINGTON TRAIN STATION)
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LOT BLOCK SUBDIVISION
LIBER FOLIO PARCEL
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TO BE A GONDITION FOR THE ISSUANCE OF THIS PERMIT.
Signature of owner or authorized agent Date
APPROVED For Chairperson, Historic Preservation Commission
DISAPPROVED Date Date

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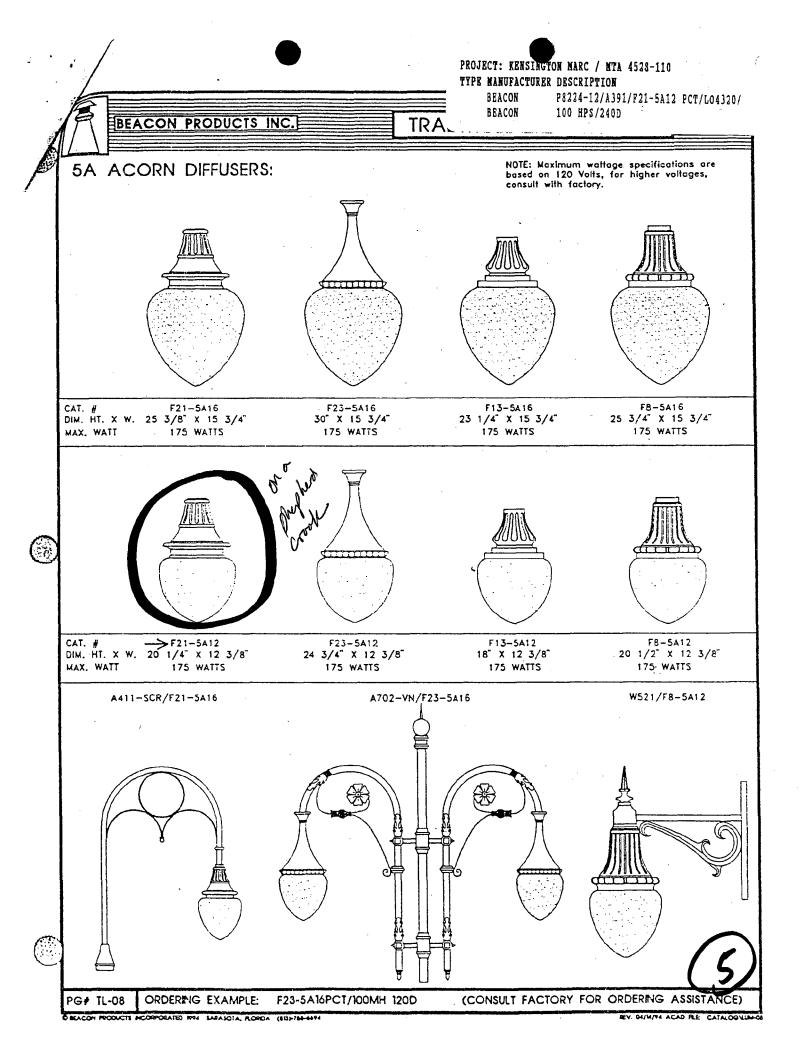
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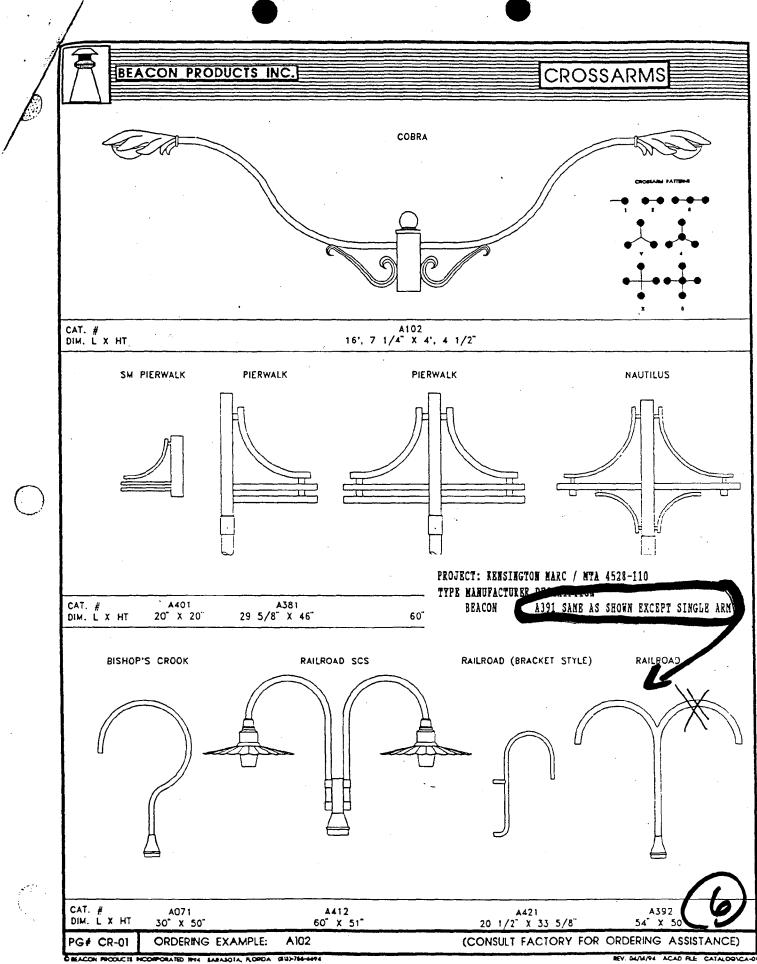
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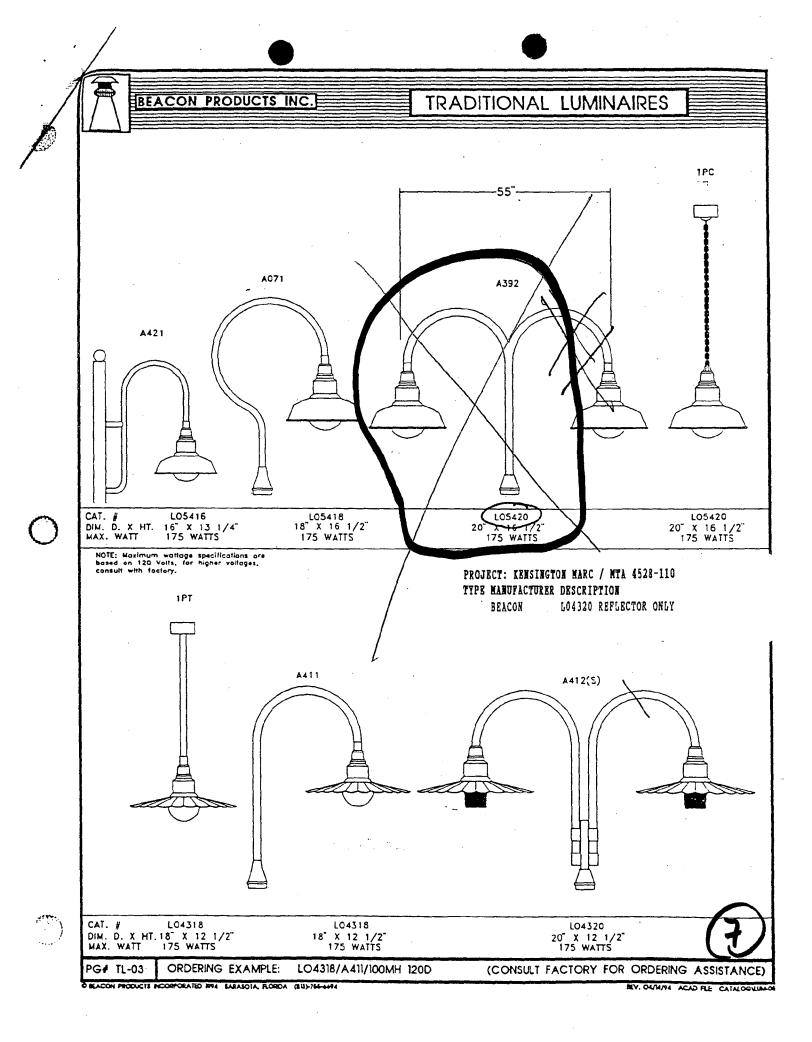
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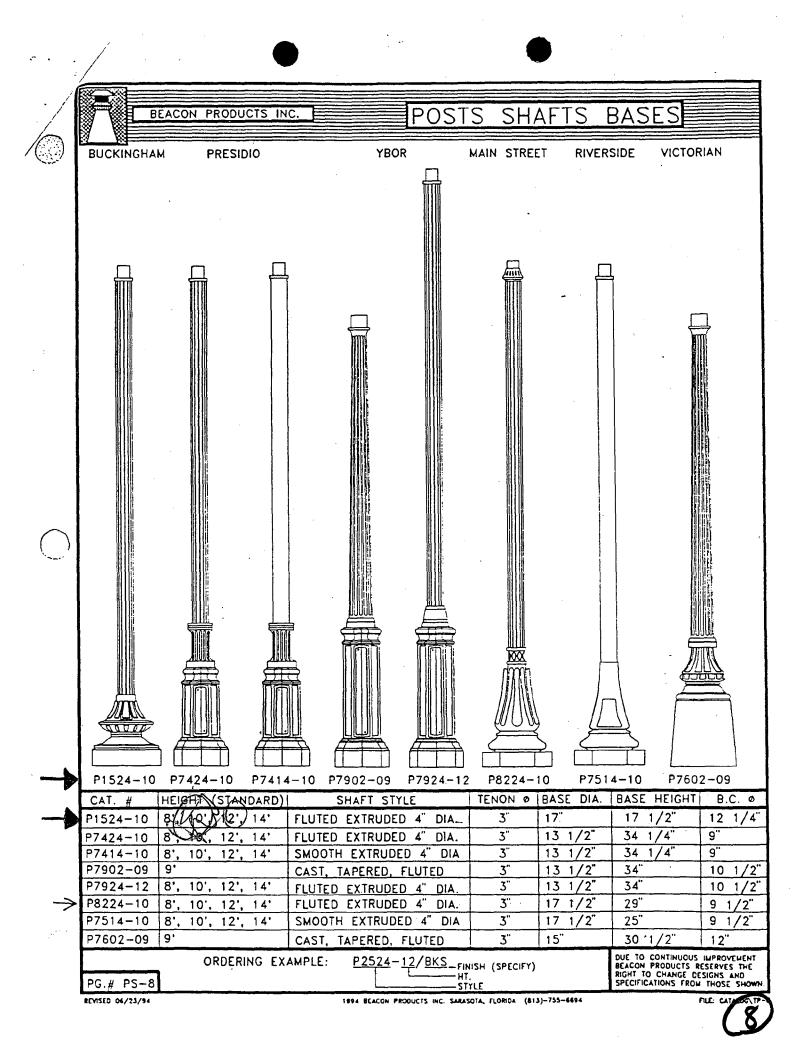
HAWP APPLICATION: AD SSES OF ADJACENT & CONFRONTING COPERTY OWNERS BANK ADJACENT TO SITE ON MONTGOMERY ST. SEPARATED FROM SITE BY TREELING. EXACT ADDRESS UNKNOWN OTHER SIDE OF SITE IS CSX ZOW, + IS UNOCCUPIED ACROSS STREET IS ARE HISTORIC BUILDINGS MANY 2 ENOVATED INTO ANTIGUE SHOPS.

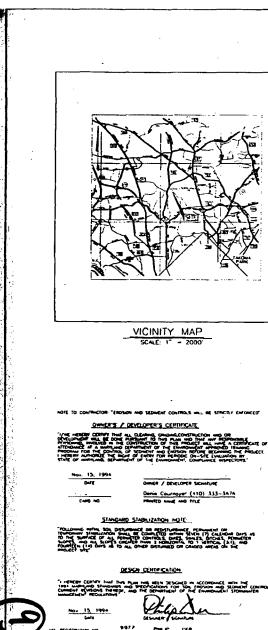




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MARYLAND DEPARTMENT OF TRANSPORTATION MASS TRANSIT ADMINISTRATION CONTRACT DRAWINGS FOR

KENSINGTON STATION HANDICAP ACCESS RENOVATIONS

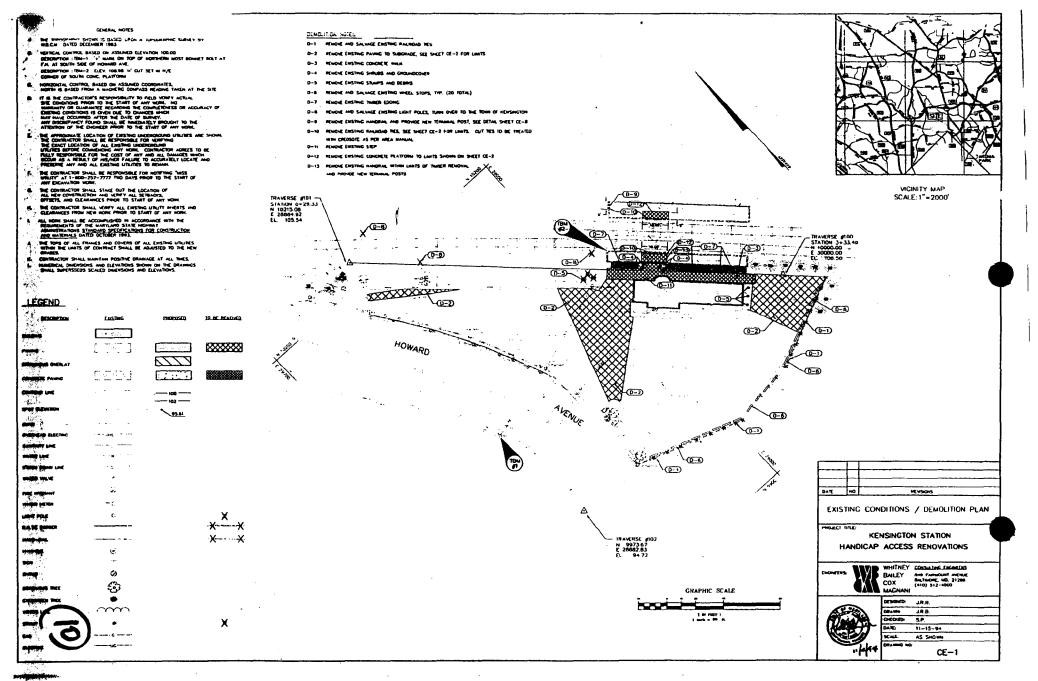
CONTRACT NO. M.T.A. ~4528-110 NOV 15, 1994

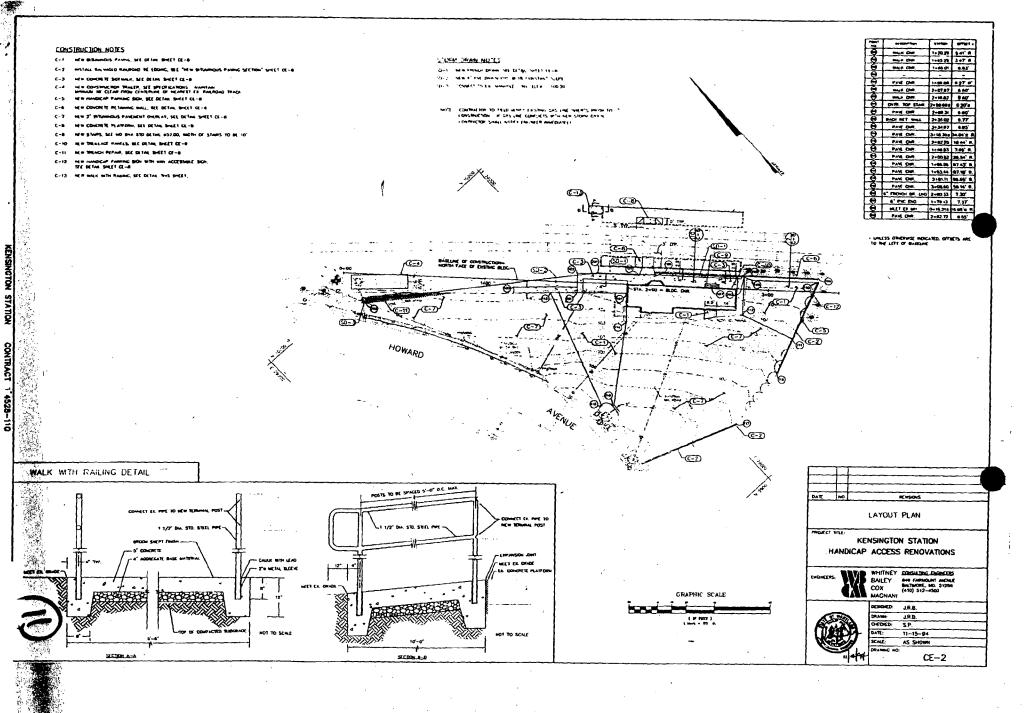
INDEX O	F DRAWINGS
CRAWING NO	DESCHIPTION
- 1-1	DILE SHEET
~CE-1	EXISTING CONDITIONS / DEMOLITION P
~ CE-2	LAYOUT PLAN
- CE - 3	STINDING PLAN
- CE-4	GRADING PLAN
- CE-5	SEDMENT AND EROSION CONTROL PLA
CE~6	SEDIMENT CONTROL NOTES
CE-/	SEDIMENT CONTHON DETALS
- CE-8	SITE DEIALS
- CE-9	SIF DETAILS

2-1 GENERAL NOTES, SYMBOLS, AND AUBHEVIATIONS 2-2 ELECCTRICAL LIGHTING PLAN 2-1 ELECTRICAL DETAILS

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E-1 ELECTHICAL DEPARTS

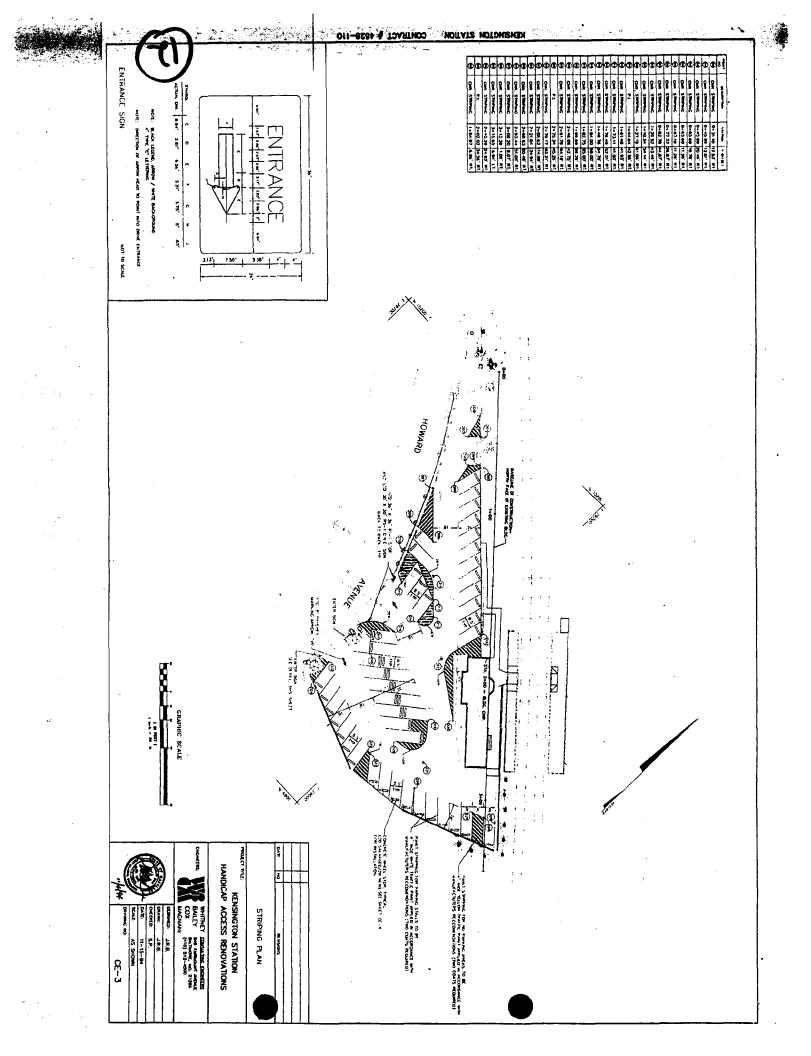


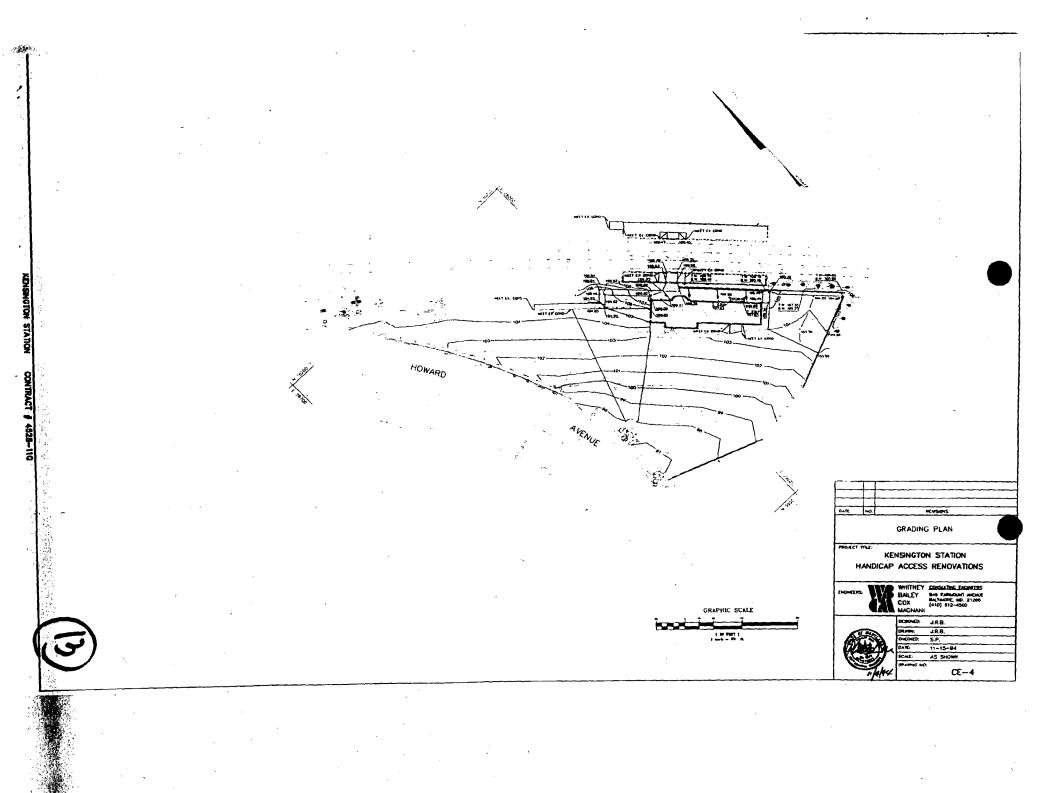


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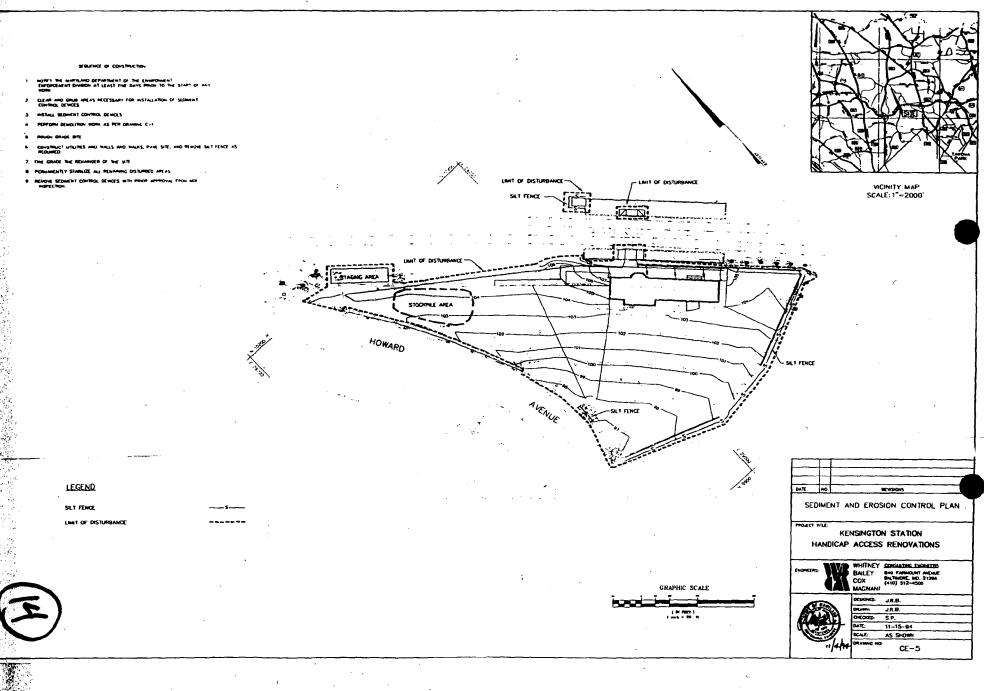
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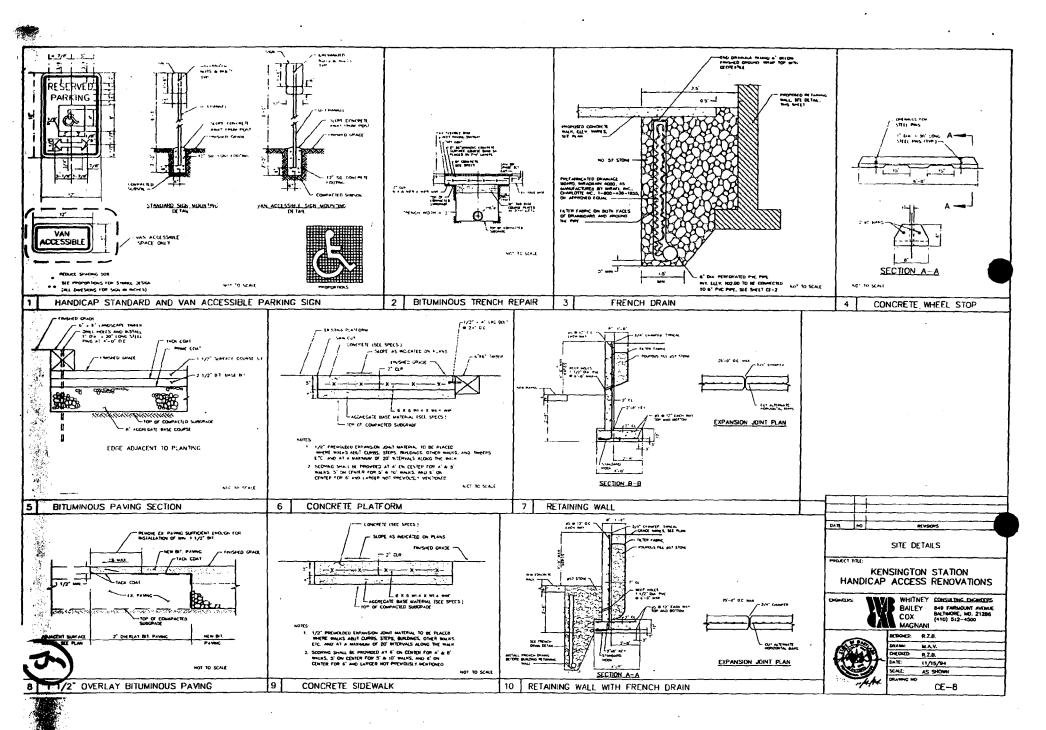


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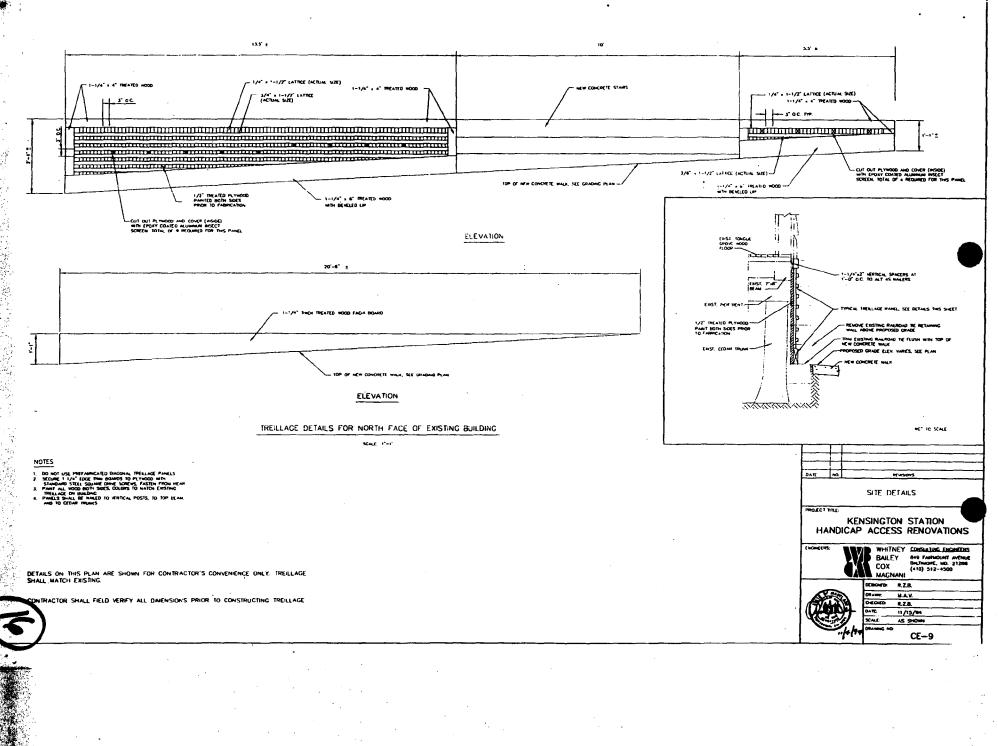
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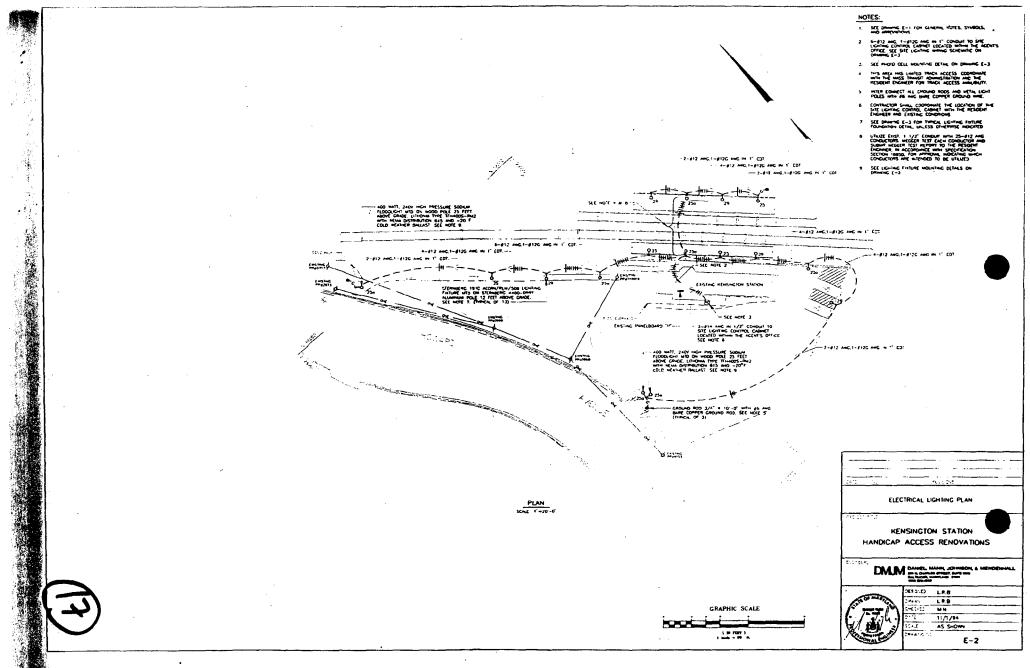
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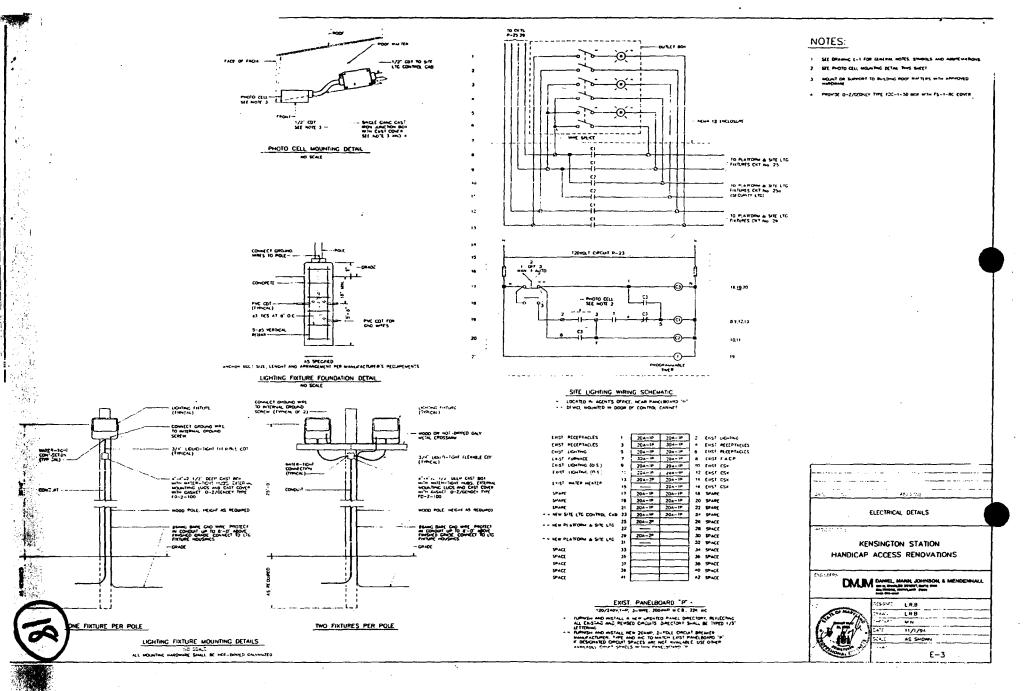


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The LAP met on Thursday, and called up with questions about the levels of illumination, and the color of the light, and the possible effects on the residents on Montgomery Avenue.

Mr. Lockwood provided some additional information:

The lights labeled 25 and 29 will only be on during the hours of train operation (+ 1/2 hour +). That means that, after 9-9:30 pm, only four of the lights with the pendant acorn fixture on the 12' height pole will be on, until approximately 5:45 am.

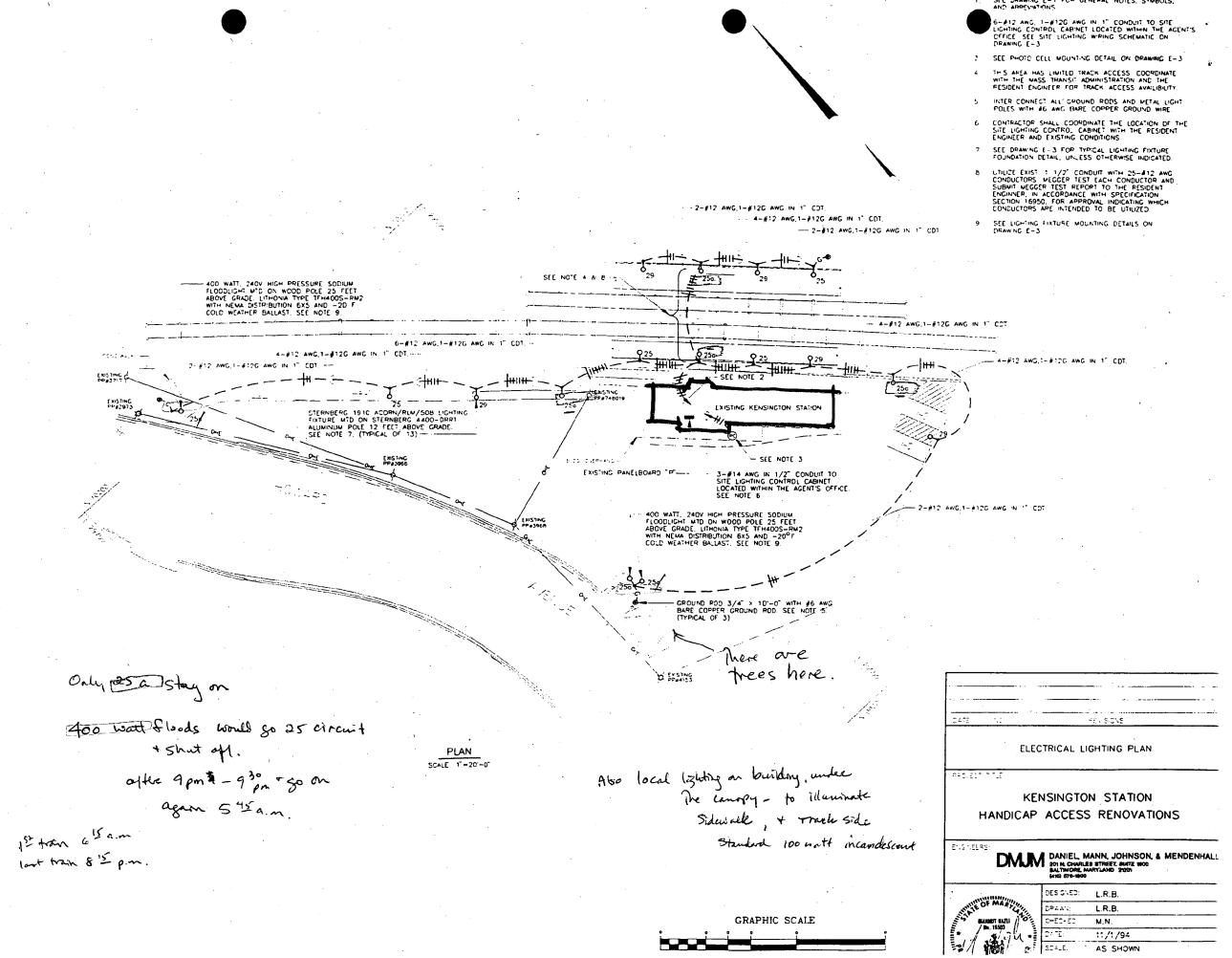
The 12' poles will have 100 watt high-pressure sodium. (The can have up to a maximum of 175 watt bulbs.)

Additional lighting at the station will be provided by bare light bulb downlight fixtures with 100 watt incandescent bulbs, along the sidewalk from the left side of the parking lot, and along the walkway from the right side parking area leading up to the tracks.

The third type of lighting is provided by two 25' wood poles, with 400 watt floodlights, illuminating the parking area, but pointing away from the community. Both of these would operate only during commuting hours.

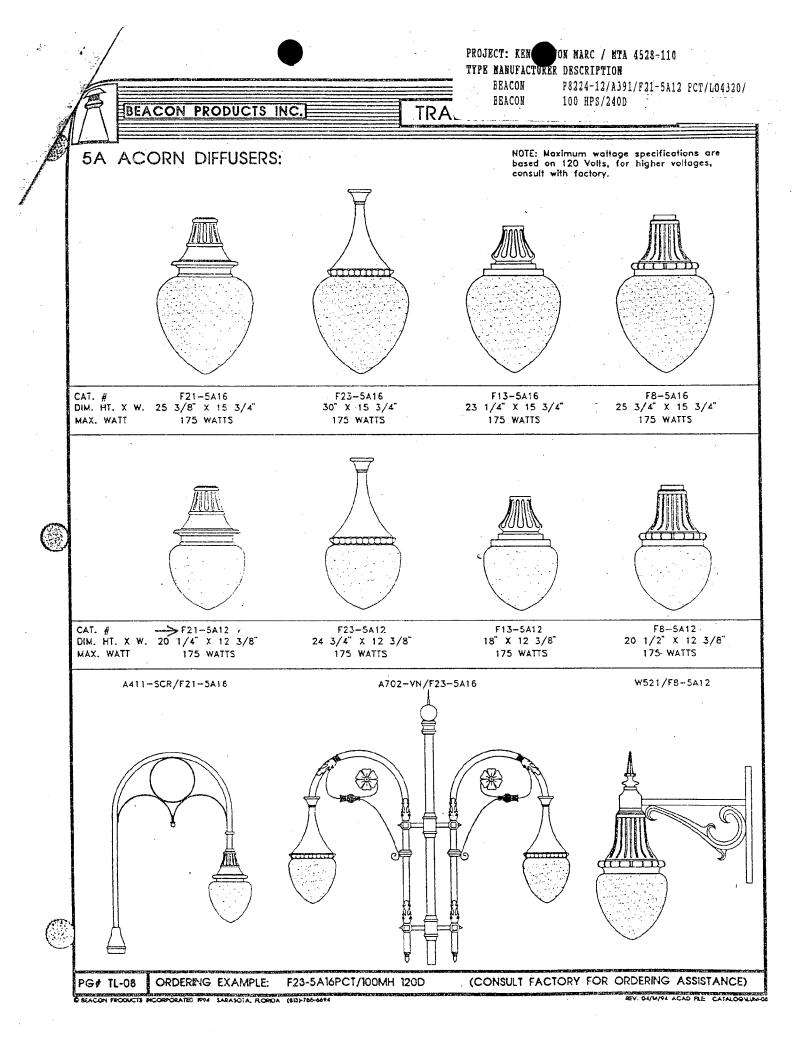
Staff recommends that the HPC consider the proposal with a sense that there may be further options in terms of fine-tuning the levels of illumination, color of the light, etc. HPC could recommend that the Staff work with the community and the MTA to work out details agreeable to all.

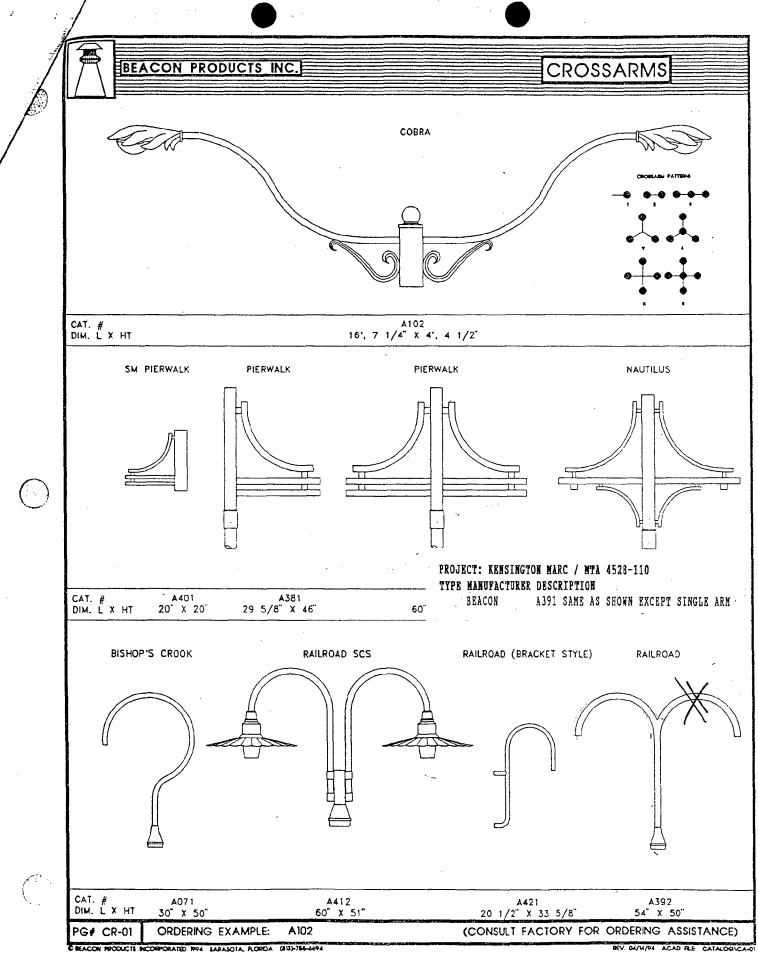
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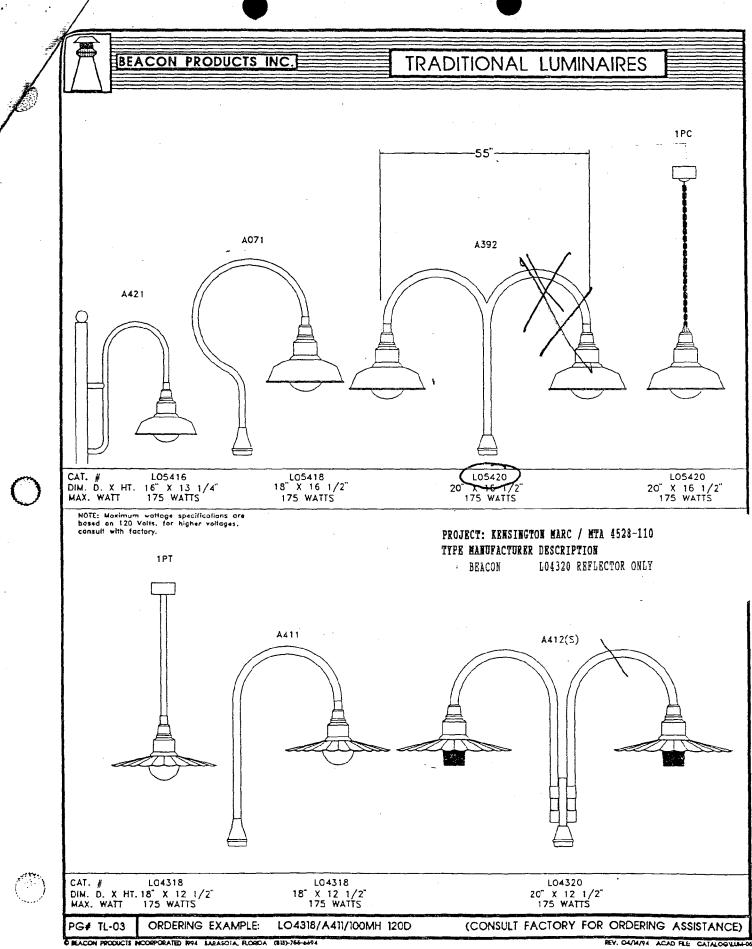


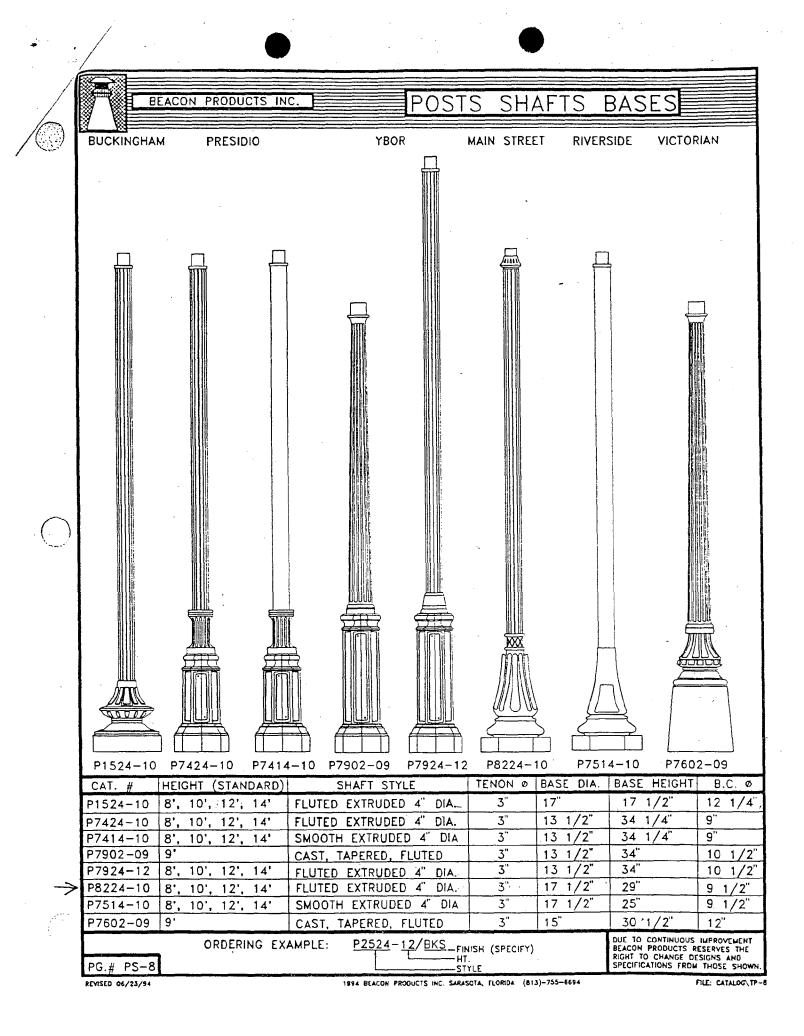
SEE DRAWING E-1 FOR GENERAL NOTES, SYMBOLS, AND ARPEVIATIONS

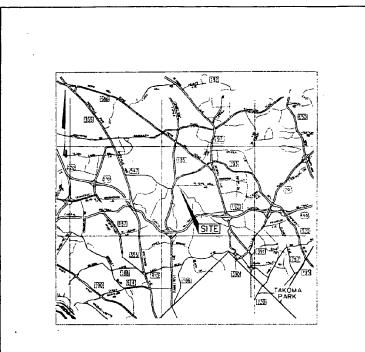
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VICINITY MAP SCALE: 1" = 2000"

NOTE TO CONTRACTOR: "EROSION AND SEDIMENT CONTROLS WILL BE STRICTLY ENFORCED"

OWNER'S / DEVELOPER'S CERTIFICATE

"I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROCRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY STATE OF MARYLAND, DEPARTMENT OF THE ENVIRONMENT, COMPLIANCE INSPECTORS."

lov. 15, 1994	
DATE	OWNER / DEVELOPER SIGNATURE
<	Denis Cournoyer (410) 333-3474
CARD NO.	PRINTED NAME AND TITLE

STANDARD STABILIZATION NOTE:

SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR IZATION SHALL BE COMPLETED WITHIN SIVEN (7) CALENDAR DAYS AS OF ALL PERMIETER CONTROLS, DIKES, SWALES, DICHES, PERIMETER SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1): AND AYS AS TO ALL OTHER DISTURBED ON GRADED AREAS ON THE

DESIGN CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SDIL EROSION AND SEDINENT CONTROL OR CURRENT REMISIONS THEREOF, AND THE DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT REGULATIONS.

Nov. 15, 1994

DATE DESIGNER'S SIGNATURE 9972 PHILIP

305

PRINTED NAME

DER



MARYLAND DEPARTMENT OF TRANSPORTATION MASS TRANSIT ADMINISTRATION CONTRACT DRAWINGS FOR

KENSINGTON STATION HANDICAP ACCESS RENOVATIONS

CONTRACT NO. M.T.A. - 4528 - 110 NOV 15, 1994

INDEX OF DRAWINGS DRAWING NO. DESCRIPTION

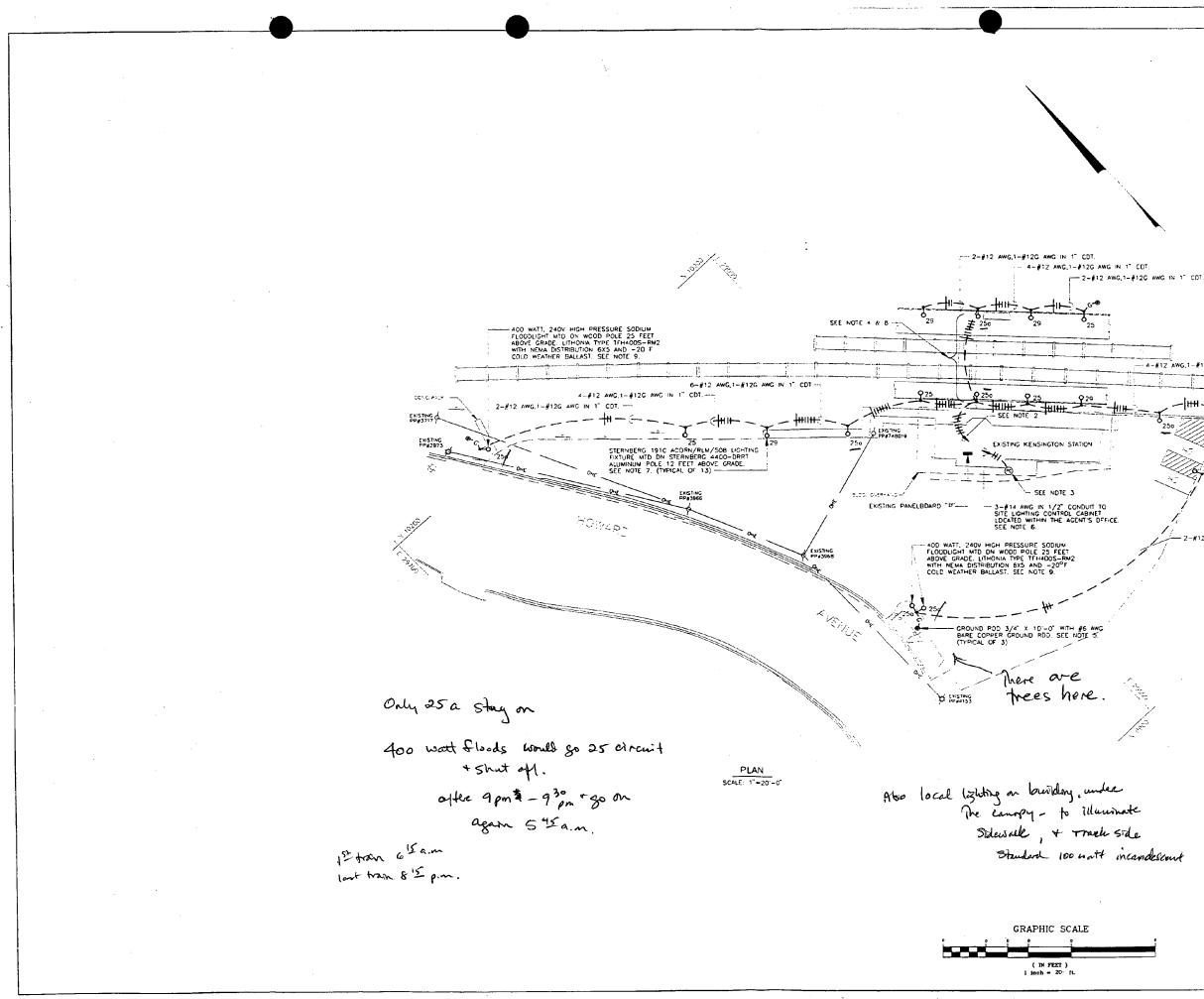
TITLE SHEET - T-1 EXISTING CONDITIONS / DEMOLITION PLAN CE-1 LAYOUT PLAN 🖍 CE-2 STRIPING PLAN - CE-3 GRADING PLAN - CE-4 SEDIMENT AND EROSION CONTROL PLAN - CE-5 SEDIMENT CONTROL NOTES CE-6 CE-7 SEDIMENT CONTROL DETAILS

1

SITE DETAILS - CE-8 - CE-9 SITE DETAILS E-1 GENERAL NOTES. SYMBOLS. AND ABBREVIATIONS - Ε-2 - Ε-3 ELECCTRICAL LIGHTING PLAN ELECTRICAL DETAILS

MANAGER - FACILITIES ENGINEERING DIVISION

DRAWING NO T-1



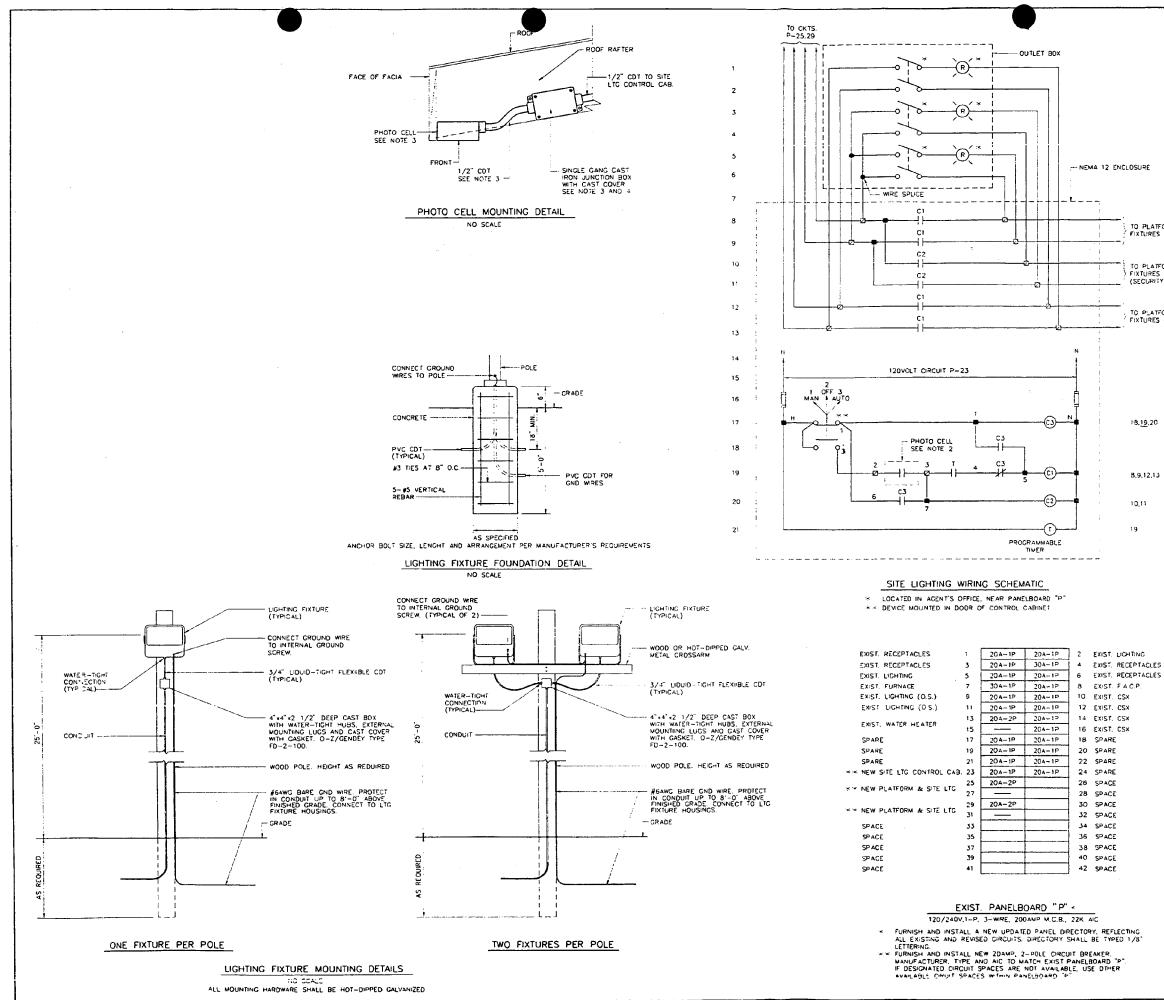
1	101	IES:

- SEE DRAWING E-1 FOR GENERAL NOTES, SYMBOLS, AND ABREVIATIONS
- 2. 6-412 AWG. 1-412G AWG IN 1" CONDUIT TO SITE LIGHTING CONTROL CABINET LOCATED WITHIN THE ACENT'S OFFICE. SEE SITE LIGHTING WIRING SCHEMATIC ON DRAWING E-3.
- 3. SEE PHOTO CELL MOUNTING DETAIL ON DRAWING E-3.
- THIS AREA HAS LIMITED TRACK ACCESS. COORDINATE WITH THE MASS TRANSIT ADMINISTRATION AND THE RESIDENT ENGINEER FOR TRACK ACCESS AVAILIBILITY.
- INTER CONNECT ALL GROUND RDDS AND METAL LIGHT POLES WITH #6 AWG BARE COPPER GROUND WIRE. 5.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SITE LIGHTING CONTROL CABINET WITH THE RESIDENT ENGINEER AND EXISTING CONDITIONS. 6.
- SEE DRAWING E-3 FOR TYPICAL LIGHTING FIXTURE FOUNDATION DETAIL, UNLESS OTHERWISE INDICATED.
- UTILIZE EXIST. 1 1/2" CONDUIT WITH 25-412 AWG CONDUCTORS. MEGGER TEST EACH CONDUCTOR AND SUBMIT MEGGER TEST REPORT TO THE RESIDENT ENCINNER, IN ACCORDANCE WITH SPECIFICATION SECTION 1695D, FOR APPROVAL INDICATING WHICH CONDUCTORS ARE INTENDED TO BE UTILIZED
- SEE LIGHTING FIXTURE MOUNTING DETAILS ON DRAWING E-3. 9.

	AWG IN 1" COT.		
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nate	KE	NSINGTON	STATION
side	HANDICAP	ALLESS	RENOVATIONS
incandescent			
incandescent		DANIEL MA	NN. JOHNSON & MENDENHALL
	DMJN	201 N. CHARLES	NN, JOHNSON, & MENDENHALL BTREET, BUITE 1900 AYLAND 21201
		(410) 578-1900	
	ATTINI AND	DES GNED:	L.R.B.
	STATE OF MARY CALL	OPA'AN:	L.R.B.
	E / In. 16500	CHECKED:	M.N.
	LA STAT	DATE:	11/1/94
		DR4WING NO:	AS SHOWN
	SIONAL ENGINE	DRAW 10 11.1	E-2

E-2





- 1. SEE DRAWING E-1 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- 2. SEE PHOTO CELL MOUNTING DETAIL THUS SHEET.
- MOUNT OR SUPPORT TO BUILDING ROOF RAFTERS WITH APPROVED HARDWARE. 3.
- 4. PROVIDE 0-Z/GEDNEY TYPE FDC-1-50 BOX WITH FS-1-BC COVER.

TO PLATFORM & SITE LTG

TO PLATFORM & SITE LTG FIXTURES CKT No. 250 (SECURITY LTG)

. TO PLATFORM & SITE LTG FIXTURES CKT No. 29

DATE NO H	 R	EV SIGNS
E	ELECTRICAL	DETAILS
980501 P.15		
KEN	ISINGTON	I STATION
HANDICAP	ACCESS	RENOVATIONS
	DANIEL, MA 201 N. CHARLES BALTINGRE, MA (412) 578-1200	ANN, JOHNSON, & MENDENHALL STREET, SUITE 1900 AYLAND 21201
	DESIGNED:	L.R.B.
NUTE OF MARY	DR NWEIT	L.R.B.
Sign Barner well Not	CHECKED	M.N.
the part of	DATE:	11/1/94
	SCALE:	AS SHOWN

GENERAL NOTES

- THE TOPOGRAPHY SHOWN IS BASED UPON A TUPOGRAPHIC SURVEY BY W.B.C.M. DATED DECEMBER 1993
- VERTICAL CONTROL BASED ON ASSUMED ELEVATION 100.00 DESCRIPTION : TBN-1 '+' MARK ON TOP OF NORTHERN MOST BONNET BDLT AT B. F.H. AT SOUTH SIDE OF HOWARD AVE. DESCRIPTION : TBM-2 ELEV. 108.96 '" CUT SET IN N/E CORNER OF SOUTH CONC. PLATFORM
- HORIZONTAL CONTROL BASED ON ASSUMED COORDINATES, NORTH IS BASED FROM A MAGNETIC COMPASS READING TAKEN AT THE SITE C.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. NO WARRANTY OR GUARANTEE REGARDING THE COMPLETNESS OR ACCURACY OF EXISTING CONDITIONS IS GIVEN DUE TO CHANGES WHICH MAY HAVE OCCURRED AFTER THE DATE OF SURVEY. ANY DISCREPANCY FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF ANY WORK. D.
- THE APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERRYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY WORX. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF HIS/HER FALURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "WISS UTILITY" AT 1-BOO-257-7777 TWO DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL STAKE OUT THE LOCATION OF ALL NEW CONSTRUCTION AND VERIFY ALL SETBACKS, OFFSETS, AND CLEARANCES PRIOR TO START OF ANY WORK. G.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INVERTS AND CLEARANCES FROM NEW WORK PRIOR TO START OF ANY WORK.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WARYLAND STATE HIGHWAY ADMINISTRATIONS STATUDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS DATED DCTOBER 1993.
- THE TOPS OF ALL FRAMES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONTRACT SHALL BE ADJUSTED TO THE NEW J. GRADES.
- K. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES, L. NUMERICAL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWINGS SHALL SUPERSSEDS SCALED DIMENSIONS AND ELEVATIONS.

LEGEND

EVERGREEN TREE

WOODS LINE

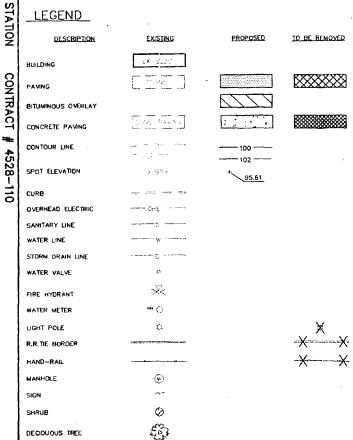
STUMP

GAS

ELECTRIC

KENSINGTON

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- DEMOLITION NOTES
- REMOVE AND SALVAGE EXISTING RAILROAD TIES D-1
- 0-2 REMOVE EXISTING PAVING TO SUBGRADE, SEE SHEET CE-2 FOR LIMITS
- D-3 REMOVE EXISTING CONCRETE WALK
- REMOVE EXISTING SHRUBS AND GROUNDCOVER 0-4
- D-5 REMOVE EXISTING STUMPS AND DEBRIS
- REMOVE AND SALVAGE EXISTING WHEEL STOPS, TYP. (20 TOTAL) 0-6
- D-7 REMOVE EXISTING TIMBER EDGING
- 0-8 REMOVE AND SALVAGE EXISTING LIGHT POLES, TURN OVER TO THE TOWN OF KENSINGTON
- REMOVE EXISTING HANDRAIL AND PROVIDE NEW TERMINAL POST. SEE DETAIL SHEET CE-8 D-9
- REMOVE EXISTING RAILROAD TIES, SEE SHEET CE-2 FOR LIMITS. OUT TIES TO BE TREATED D-10 WITH CREOSULE AS PER AREA MANUAL
- 0-11 REMOVE EXISTING STEP

TRAVERSE #101 STATION 0+29.33 N 10215.08 E 28884.92

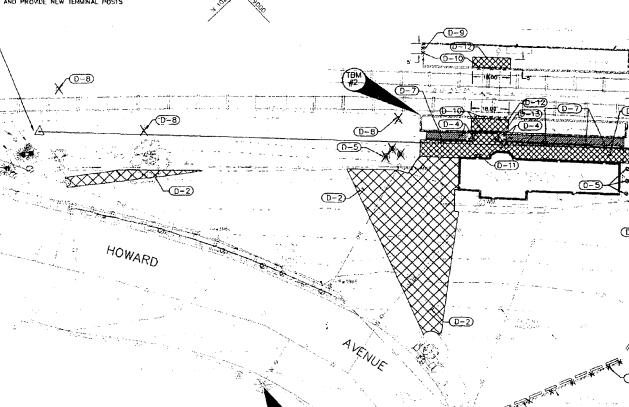
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r. 1.8 100

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- D-12 REMOVE EXISTING CONCRETE PLATFORM TO LIMITS SHOWN ON SHEET CE-2
- 0-13 REMOVE EXISTING HANDRAIL WITHIN LIMITS OF TIMBER REMOVAL
- AND PROVIDE NEW TERMINAL POSTS



ТВМ #1

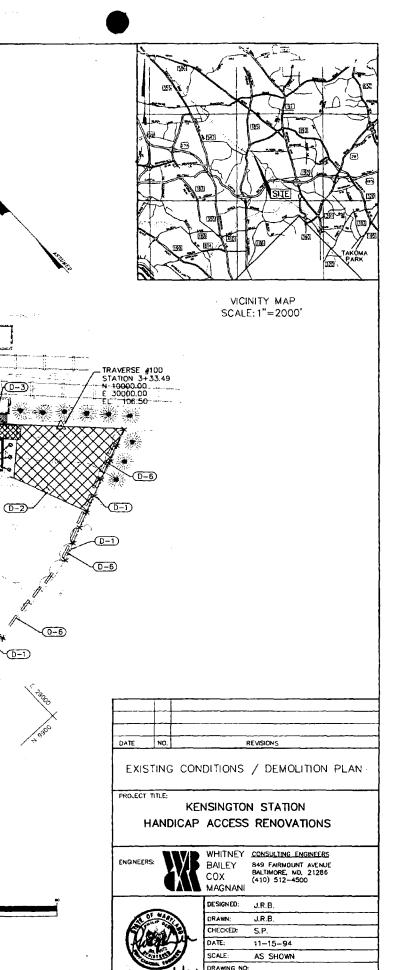


GRAPHIC SCALE (IN FEET) 1 inch = 20 ft

(D-6

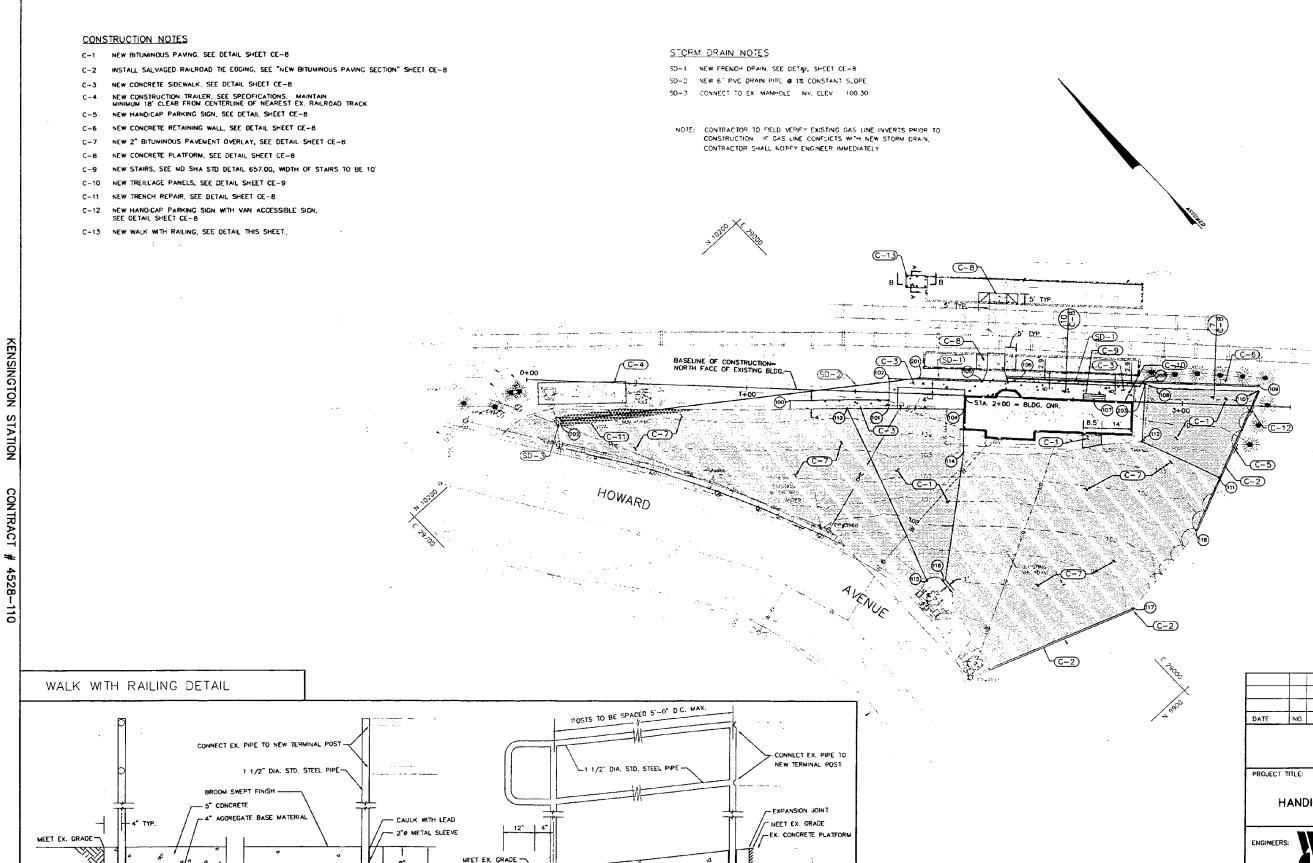
-<u>D-</u>D





11/2/94

CE-1



10°-0"

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SECTION B-B

NOT TO SCALE

XX

NOT TO SCALE

TOP OF COMPACTED SUBGRADE

5'-6"

SECTION A-A

GRAPHIC SCALE (IN FEET) 1 inch = 20 ft

POINT NO.	DESCRIPTION	STATION	OFFSET +
•	WALK CNR,	1+20.29	5.41' R.
•	WALK CNR.	1+65.25	3.47' R.
•	WALK CNR.	1+65.01	6.63'
9	-	-	-
•	PAVE CNR.	1+99.88	6.27' R'
0	WALK CNR.	2+07.97	6.60'
9	WALK CNR.	2+19.82	8.60"
0	CNTR. TOP STAIR	2+59.68±	D.20'±
0	PAVE CNR.	2+88.31	6.60'
9	BACK RET. WALL	3+35.02	9.77
110	PAVE CNR.	3+34.97	6.95
(11)	PAVE CNR.	3+18.35±	34.04'± R
•	PAVE CNR.	2+82.25	18.44" R.
3	PAVE CNR.	1+46.53	7.95' R.
•••	PAVE CNR.	2+00.52	26.54' R.
•••	PAVE CNR.	1+86.06	87.43' R.
•••	PAVE CNR.	1+93.44	87.18° R.
•	PAVE CNR.	2+81.11	96.65' R.
•	PAVE CNR.	3+08.60	59.14' R.
0	6" FRENCH OR. END	2+80.33	7.30
Ð	6" PVC END	1+79.13	7.37
1	MEET EX MH	0+16.21±	18.86'± R
-	PAVE CNR.	2+82.72	8.55'

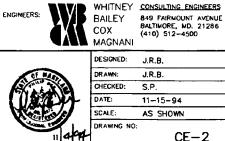
• UNLESS OTHERWISE INDICATED. OFFSETS ARE TO THE LEFT OF BASELINE

DATE	NO.	REVISIONS	

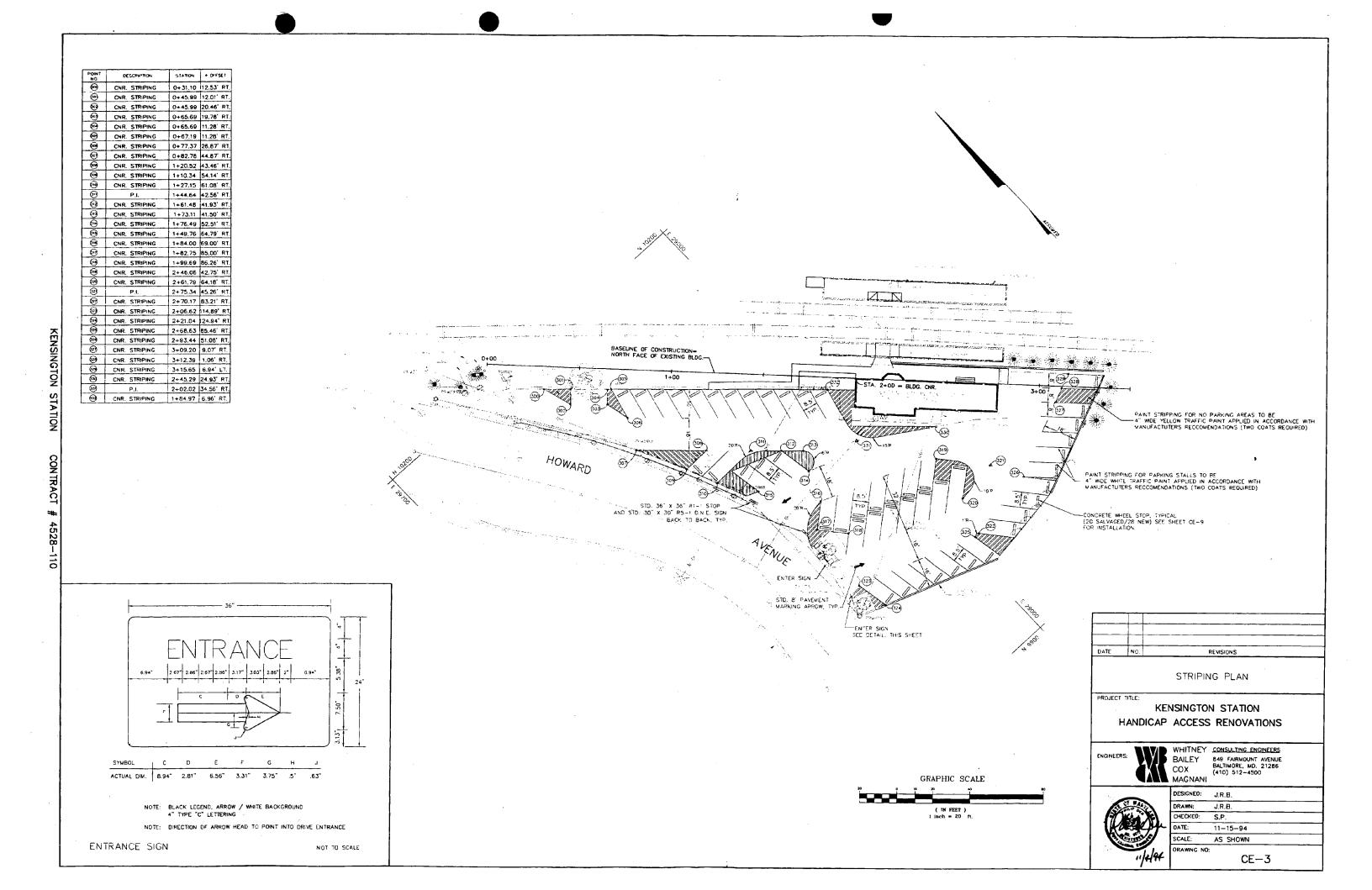
LAYOUT PLAN

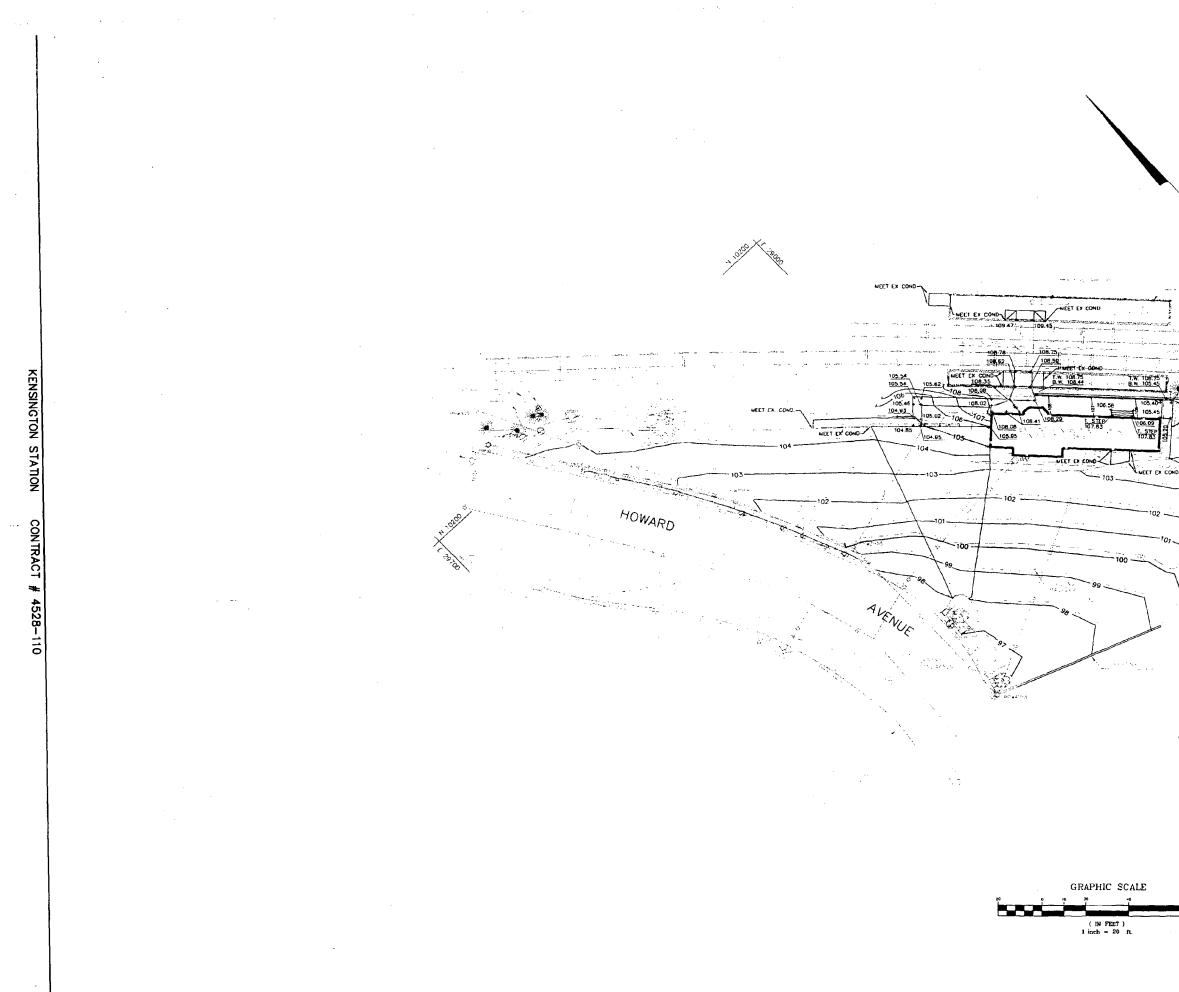
KENSINGTON STATION HANDICAP ACCESS RENOVATIONS

CE-2



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+ 590 ^C	DATE	N0.	DE VEGALE	
		T 140' [GRADING PLAN	
	PROJECT	NTLE:		
	Н	•	NSINGTON STATION ACCESS RENOVATIONS	
	ENGINEERS		WHITNEY CONSULTING ENGINEERS BAILEY 849 FAIRMOUNT AVENUE BAILIMORE, MD. 21286 (410) 512-4500	
BO		TAT	MAGNANI DESIGNED: J.R.B.	
	100 M		DRAWN: J.R.B. CHECKED: S.P.	
		A A	DATE: 11-15-94	
	(ale	E.	SCALE: AS SHOWN DRAWING NO:	

SEQUENCE OF CONSTRUCTION

- I. NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT ENFORCEMENT DIVISION AT LEAST FIVE DAYS PRIOR TO THE START OF ANY WORK.
- 2. CLEAR AND GRUB AREAS NECESSARY FOR INSTALLATION OF SEDIMENT CONTROL DEVICES
- 3. INSTALL SEDIMENT CONTROL DEVICES
- PERFORM DEMOLITION WORK AS PER DRAWING C-1.
- 5. ROUGH GRADE SITE
- 5. CONSTRUCT UTILITIES AND WALLS AND WALKS, PAVE SITE, AND REMOVE SILT FENCE AS REQUIRED.
- 7. FINE GRADE THE REMAINDER OF THE SITE.
- B. PERMANENTLY STABILIZE ALL REMAINING DISTURBED AREAS.
- 9. REMOVE SEDIMENT CONTROL DEVICES WITH PRIOR APPROVAL FROM MDE INSPECTION.

110

SILT FENCE

LIMIT OF DISTURBANCE

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STAGING AREA

HOWARD

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LIMIT OF DISTURBANCE

STOCKPILE AREA

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LIMIT OF DISTURBANCE

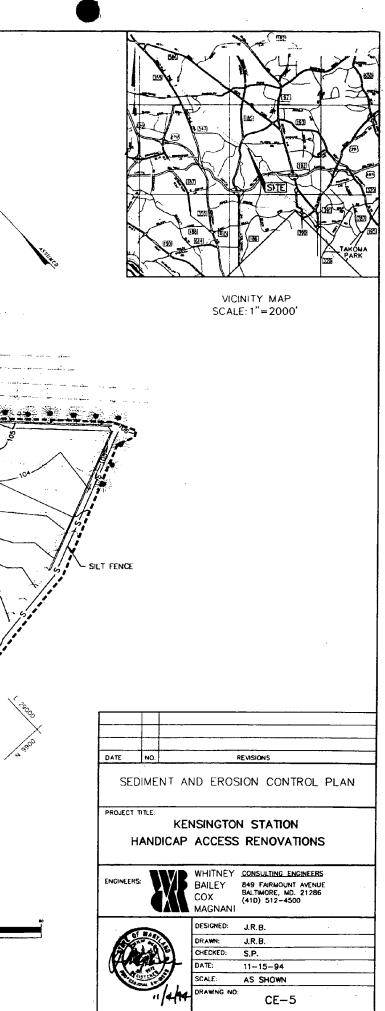
AVENUE

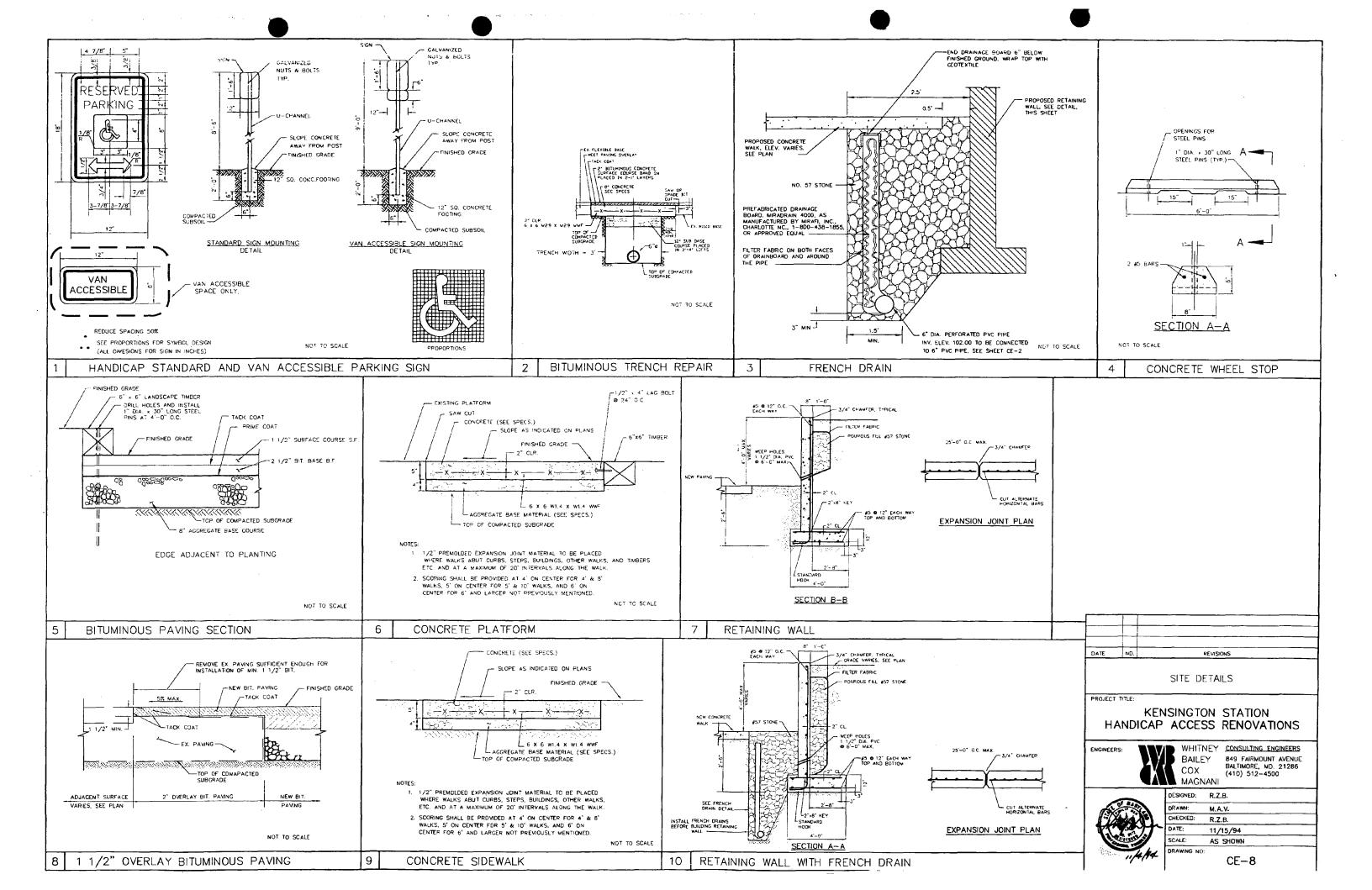
SILT FENCE

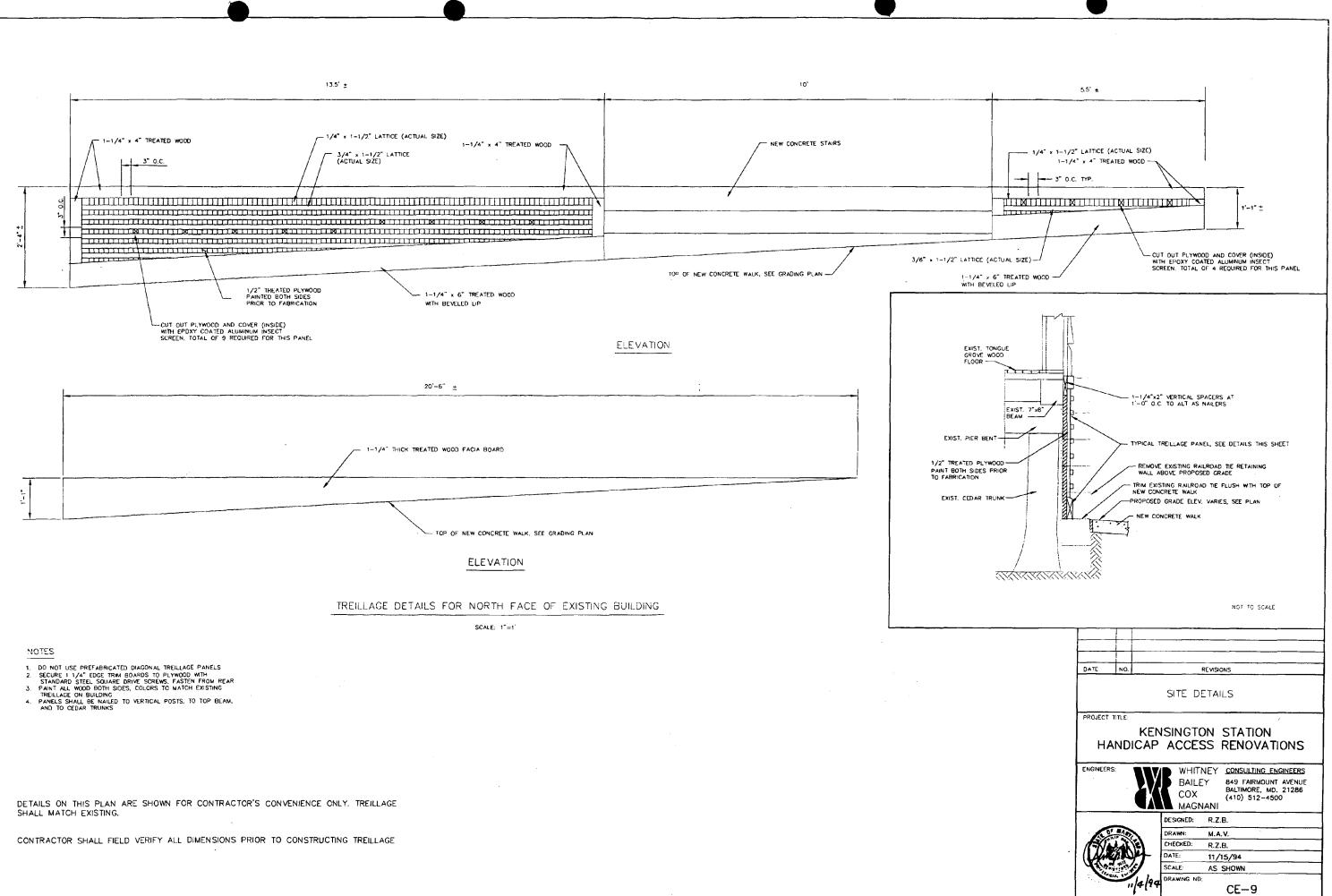
GRAPHIC SCALE

- LIMIT OF DISTURBANCE

-SILT FENCE







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