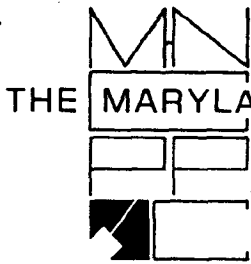


37/3-97Y 7318 Carroll Avenue
(Takoma Park Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 9, 1997

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: ^{PDZ} Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

 Approved Denied

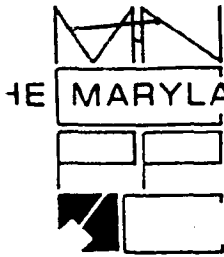
 X Approved with Conditions: (1) New windows to match existing windows on the building in color, material & form; (2) New windows shall fill the original window openings entirely, so that the new window opening is the same size as the original window opening; (3) Rear porch & basement steps may be enclosed with a frame wall, with 2 exterior grade flush doors (RETROACTIVE); (4) The rear portion of the building may be sided with vinyl clapboard (RETROACTIVE); (5)

THE THIRD STORY ADDITION SHALL BE REMOVED & THE ORIGINAL ROOF SHALL BE REPAIRED;
(6) The window(s) on the alley elevation which are currently bricked in will receive RETROACTIVE approval.
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MIGUEL VACA

Address: 7318 CARROLL AVE., TAKOMA PARK, MD. 20912

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 9, 1997

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus ^{DM} Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

* You have to revise your drawings to reflect the removal of the third floor addition, & bring the revised set in for HAWP stamp prior to going to DPS for your building permit



TURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MIGUEL VACA
Daytime Phone No.: 202-321-1988

Tax Account No.: _____
Name of Property Owner: MIGUEL A. VACA Daytime Phone No.: 202-321-1988
Address: 7318 CARROLL AVENUE, TAKOMA PARK, MD 20912
Street Number City Street Zip Code
Contractor: SELF - OWNER Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7318 CARROLL AVENUE Street: CARROLL AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: 410 - EAST WEST HIGHWAY
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: ROOF RAISE
1B. Construction cost estimate: \$ 10,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Miguel A. Vaca Signature of owner or authorized agent Date: 6-20-97

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 7/10/97
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

LEAKY ROOF IS BEING REPLACED BY CATHEDRAL CEILING IN MASTER
BEDROOM. MASTER BEDROOM IS LOCATED ON THE BACK PORTION OF THE
PROPERTY. CURRENT APPROXIMATELY 2 1/2" x 1 1/2" ROOF IS ONLY THE
NEW ROOF LINE CAN BE SEEN FROM THE STREET AND THIS IS AN INDICATION
TO THE CANADIAN OR TO THE USE OF THE BUILDING IS CONTINUED
OR EXPAND.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO EFFECT ON HISTORIC LINE IS BARELY VISIBLE FROM THE STREET.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

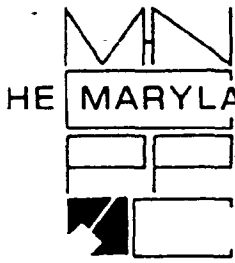
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question; as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 9, 1997

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, ^{POZ} Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7318 Carroll Avenue

Meeting Date: 7/9/97

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-97Y **RETROACTIVE**

Tax Credit: No

Public Notice: 6/25/97

Report Date: 7/2/97

Applicant: Miguel A. Vaca

Staff: Robin D. Ziek

PROPOSAL: Alterations & 3rd floor addition

RECOMMENDATIONS:
APPROVAL w/ CONDITIONS

PROJECT DESCRIPTION

- 5th floor needed

RESOURCE: Contributing Resource in Takoma Park Historic District

STYLE: Colonial Revival Commercial

DATE: c1930's - 1940's

The subject property is a 2-story blond and red brick commercial building in the heart of the Takoma Junction shopping district. It is one of many commercial buildings along the west side of Carroll Avenue, between Grant Avenue and Lee Avenue. There is a small alley in the middle of the block adjacent to the subject property, and also a rear alley which provides parking and delivery access for this commercial strip, with its main access off of Lee Avenue. The buildings are variously 1- and 2-story buildings, with shops on the first floor, and offices or residential quarters on the second floors.

This commercial district has been the subject of facade upgrades and streetscape improvements by the City of Takoma Park. There is a public park across the street from the subject property, with the revamped gas station cum park pavilion. The Takoma Park-Silver Spring Food Co-op will be relocating to Takoma Junction, in what had originally been a Safeway grocery store. The adjacent lot is open, and will be developed at some point.

The commercial area is immediately adjacent to the residential portion of Takoma Park. The residential buildings are mostly single-family houses, although several apartment buildings were developed in the 1960's along Lee Avenue, behind the commercial strip.

The subject property consists of a storefront space on the first floor, with a residential apartment on the second floor. The building measures 18' x 73'; the rear 8' is an open porch on the ground floor, with apartment space above. Access to the storefront is directly from Carroll

Avenue. Access to the apartment above the store is at the rear, from the back porch. There is also a full basement, and the stairs to that are also at the rear, in an offset adjacent to the rear porch. (See Circle // .) The building currently has vinyl double-hung windows, except at the rear, where the windows were wooden sash. The applicant has indicated that the rear windows were actually "carpenter-constructed" and were in poor condition. The rear porch is a 2-story frame section adjoining the brick building. This section was sided with corrugated metal sheets which are deteriorated/rusted.

PROJECT PROPOSAL

The owner notes in his letter (see Circle 8-9) that he intends to move into the second story apartment himself, and rent out the store below. He notes some safety issues which tenants have reported to him, and some of the proposed changes have been developed to address these concerns.

The applicant has proceeded with his construction project without the necessary approvals, and is currently subject to a Stop Work Order from the County. Therefore, he is coming to the HPC with a request for retroactive approval of his proposal, with the hopes of completing the work as per his original design. Changes to the original building include the following:

- 1) The rear porch has been enclosed, with a rear door added at the porch steps. The door is a solid of a flush design.
- 2) The basement steps have been enclosed and a flush door added to provide access to the basement.
- 3) The rear windows have been removed.
- 4) The siding has been partially removed, with the intention of applying vinyl siding at the rear. This work is partially completed.
- 5) A third floor has been framed out at the back portion of the building, proposed to provide some floor space at the third floor level, as well as a "cathedral ceiling" for the existing room below on the second floor. (See Circle 13.)

STAFF COMMENTS

This project has several components. Most of the work is at the rear of the building; much of it is not at all visible from the public right-of-way. The third floor addition is the one aspect of the proposed work which is readily apparent from Carroll Avenue and which has an impact on the main facade of the structure and on the streetscape of the historic district.

The Takoma Park Guidelines note that the Design Standards for Takoma Junction (Ordinance #1985-30) should be used by the HPC in reviewing applications for HAWPS in the commercial areas (p. 17). These design standards are attached as part of the Takoma Park Master

Plan amendment as Appendix B. (See Circle 27-35.) The standards address maintenance, repairs, alterations and new construction.

The standards note that the size of the **window** openings shall be maintained, and shall not be closed down with the installation of new windows [p. 51 - 5(b)(1)]. The standards also dictate that all the windows in a single facade shall be of matching design. [5(b)(1)]. The standards provide less guidance for the installation of new **doorways** at the rear of a structure. The primary focus is on the storefront doorways, and doorways on the front facade.

The standards address **massing and materials** from the point of view of preservation, that the original materials should be kept in good repair, and should be retained. It is only under the discussion of Redevelopment (p. 56) that the standards address massing and materials for new construction, or for changes. Here [12(a, c, d)], the standards direct that the massing and the materials for new construction should be "visually compatible" with the surrounding environment. (See Circle 34.)

The proposed replacement of corrugated metal **siding** at the rear of the structure with vinyl siding to approximate the appearance of wood is probably acceptable in its immediate context, which is that of the rear alley. The rear portion of this commercial strip is a utility space, characterized by diverse materials, massing and construction. This stands in marked contrast to the front facade, where there is a unity of presentation in terms of materials (brick, glass, wood) and form..

There is, however, no parallel for the proposed **third floor addition** to this commercial structure. The standards are clear that the height and shape of the roof should be visually compatible with the adjacent buildings. All of the buildings in the commercial strip utilize a flat roof form, sloping from front to back to provide for drainage. The form is consistent, whether the building is a 1-story or 2-story structure. In addition, there are no three-story buildings at all in this commercial strip. The general pattern for the 2-story buildings was to provide housing for the shop keeper above the store. None of these buildings were designed as apartment buildings, with a variety of apartment spaces.

The proposed third floor addition is an intrusion in the historic district, and disrupts the scale of the streetscape. Staff feels it should be removed. This is particularly important in light of the upcoming new construction in Takoma Junction, on the empty lot adjacent to the old Safeway building (future site of TPSS Food Co-op). Further, the applicant has argued that there are apartment buildings on Lee Street that are taller than his building; and that there have been changes and alterations to residences on Carroll Avenue near the Fire Station that have affected the height of those buildings.

Staff feels that the historic structures should set the standard for the new construction in the historic district, rather than the other way around. All proposed changes and alterations are considered in their specific context. In this case, the proposed third floor addition is not characteristic of the historic commercial strip, and would compromise the strength and character of this strip.

The applicant has indicated that the roof was leaking, and that the third floor addition might address that problem. Staff feels that a more direct approach would be to provide a new roof for the structure, repair any internal drains, and perhaps consider addressing the slope of the roof if this is inadequate for proper drainage.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal meets the Takoma Park Guidelines and the Design Standards (Ordinance 1985-30) for Contributing Resources - Commercial that state:

“All of the windows in a single facade shall be of matching design and shall have the same height and width they did at the time that the wall in which the openings are located was originally built.”

“The relationship of the materials, texture, and color of the facade of a building should be visually compatible with the predominant materials used in the buildings to which it is visually related.”

“The height and shape of the roof of a building should be visually compatible with the buildings to which it is visually related both adjacent to it and within the commercial area overall.”

and, that the proposal is consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

CONDITIONS:

- 1) The new windows shall match the existing windows on the building in color and material and form.
- 2) The new windows shall fill the original window openings entirely, so that the new window opening is the same size as the original window opening.
- 3) The rear porch and basement steps may be enclosed with a frame wall, and with two exterior grade flush doors.
- 4) The rear frame portion of the building may be sided with vinyl clapboard.
- 5) The third story addition will be removed, and the original roof will be repaired.

6) Also including closing up side windows w/ brick.

plumber opposes, all other approve.

4

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



RE: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MIGUEL A. VACA
Daytime Phone No.: 202-321-1988

Tax Account No.: _____
Name of Property Owner: MIGUEL A. VACA Daytime Phone No.: 202-321-1988
Address: 7318 CARROLL AVENUE, TAKOMA PARK, MD 20912
Street Number City Street Zip Code
Contractor: SELF - OWNER Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7318 CARROLL AVE NWE Street: CARROLL AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: 410 - EAST WEST HIGHWAY
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: ROOF RAISE

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Miguel A. Vaca Signature of owner or authorized agent 6-20-97 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

6

THE FOLLOWING ITEMS MUST BE COMPLETED IN THE REQUIRED MOMENTS OF AN APPLICATION.



HISTORIC PRESERVATION COMMISSION

301452-4570

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

LEAKY ROOF IN **REAR PORCH** AND **CEILING IN MASTER BEDROOM**. **MASTER BEDROOM IS LOCATED ON THE BACK PORTION OF THE HOUSE**. **ONLY THE NEW ROOF LINE CAN BE SEEN FROM THE STREET AND THUS, NO ALTERATION TO THE FACADE OR TO THE USE OF THE BUILDING IS CONTEMPLATED**
NO EVIDENT ISSUES

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO EFFECT. THE NEW ROOF LINE IS BARELY VISIBLE FROM THE STREET.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale; north arrow, and data;
- b. dimensions of all existing and proposed structures; and

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resources as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which he directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

MIGUEL A. VACA
7318 CARROLL AVENUE
TAKOMA PARK, MD 20912
(301)593-0288
(202)321-1988

Montgomery County
Historic Preservation Commission
1109 Spring Street
8th Floor
Silver Spring, MD 20910
Attn: Robin

Re: Renovation of 7318 Carroll Avenue, Takoma Park, MD

Dear Robin:

I have walked around the neighborhood of the above referenced address and have become more convinced that the proposed addition on top of the building has no impact on the historic character of the building, and in fact improves the area.

I have come to that conclusion for several reasons. First, walking around the back of the property, you can notice that the four story brick apartment buildings fronting Willow Avenue and immediately behind 7318 Carroll Avenue, are not only taller than my building, but are also boarded up in places and poorly maintained. If you walk further down Willow, you will notice that the other apartment buildings are also taller than my building and are also showing signs of deteriorating conditions and trash accumulation.

Second, if you walk across the street and to the right, going toward the center of town and on the side of the fire house, as seen from the street, you will notice that the other houses on Carroll Avenue are also taller than my building as currently built and as renovated with the proposed addition.

Third, the proposed addition to my property cannot be seen either from the intersection at the corner of Route 410/Philadelphia Avenue and Carroll Avenue, or from immediately across the street at the Takoma Junction Park.

Fourth, as I mentioned to you, in the past, I have had tenants in the commercial portion of the property and in the rear where a tenant accessed her apartment. Both tenants were victimized by criminals at different times. The latin grocery store that rented the commercial store got robbed four (4) times and finally decided to relocate rather than remain exposed to the danger there. The apartment tenant got assaulted, knifed, and robbed by assailants waiting for her and hiding in the back porch. She moved out as well. Further, trash was constantly

being dumped on the rear of the property, and despite many clean-up efforts and efforts to stop the dumping, as an absentee landlord the problem never disappeared.

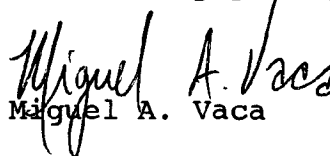
For the last two (2) years I have unsuccessfully attempted to rent out the commercial store and the apartment. Not surprisingly, the criminal elements that have moved into the area have affected the viability of the building as a going concern or as a potential building for sale at a reasonable price. As I mentioned to you, I plan to reside at the property and I will incur substantial expense to create a residence that will improve the look of the area as well as maintain or improve the market price of the property and the vicinity. Living at the property will also keep a better control of the trash accumulation that existed there before.

As you accurately observed, I want to create a "suburban look in an urban area" by creating a cathedral ceiling in my property in Takoma Park. On that note, please notice that my proposed addition when finished, will have the effect of creating an "attic look" to the back one-third (1/3) portion of the building only. When or where seen from the street, the proposed attic look fits well within the historic character of other properties in the neighborhood. Further, please note that when I purchased the property ten (10) years ago, I considered and still consider Takoma Park to be a suburb and wish to enjoy it as such without accounting for all the characteristics that an urban center possesses. When completed, the property will look cleaner, brighter, and well kept. It will also improve the security in the neighborhood by eliminating a known hideout for criminal elements in the back porch.

Finally, it is important to note that should the Historic Preservation Commission, after due consideration, find that the historic character of the property and the vicinity is negatively affected by the proposed renovation, my architect will work closely with the Commission to adapt or amend the proposed addition so that it may conform to the existing texture of the neighborhood and vicinity.

Thank you in advance for your kind consideration to my proposal.

Attentively yours,


Miguel A. Vaca

June 25, 1997

HAND DELIVERED

Historic Preservation Commission
Maryland National Capital Park and Planning
1109 Spring St, 8th Floor
Silver Spring, MD 20910
Attn.:Robin

RE: 7316-7318 Carroll Avenue, Takoma Park, MD 20912

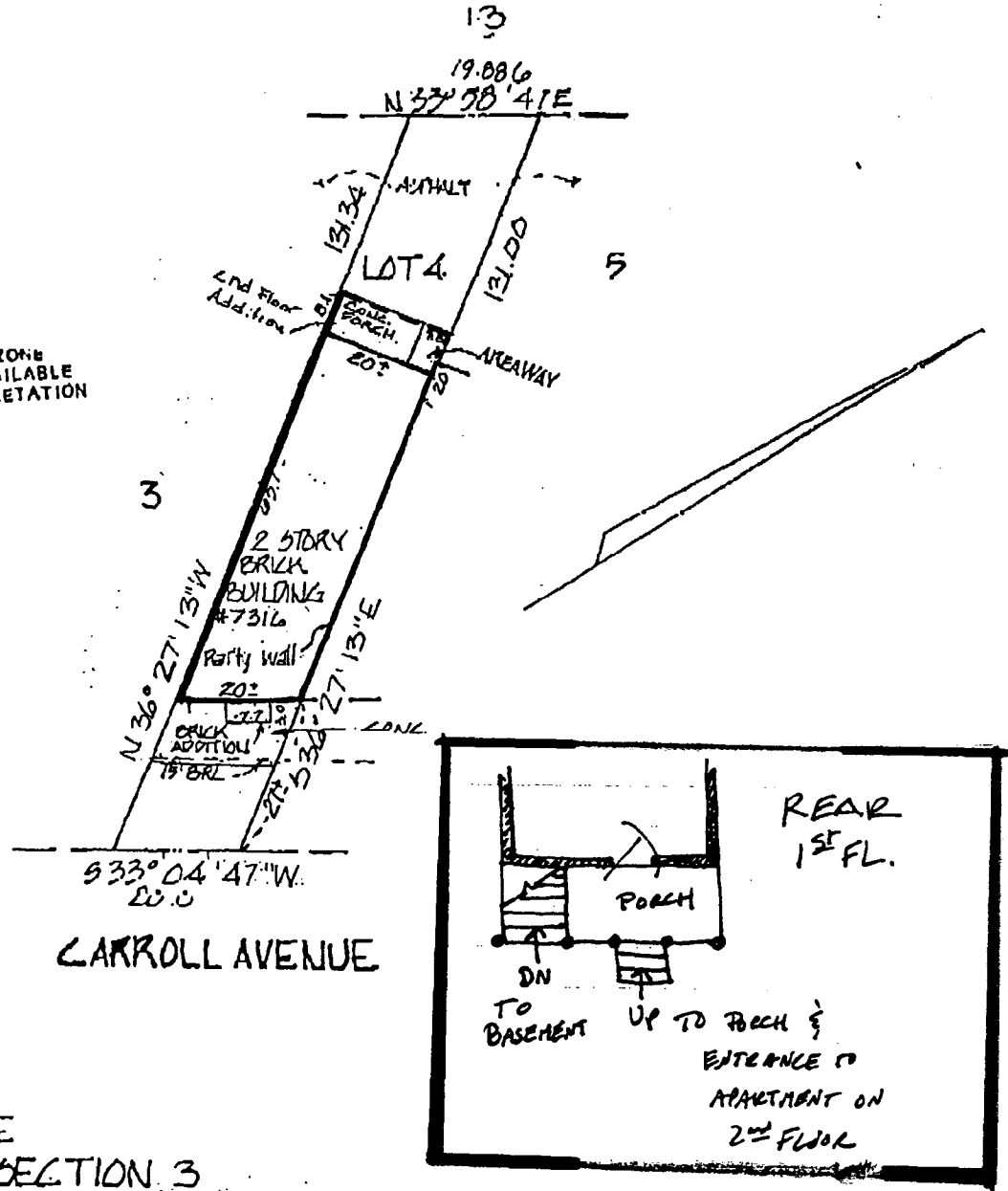
HAWP Application:
Addresses of Adjacent and Confronting Property Owners

- | | | |
|--------------------------|--|---|
| 1. SUSAN ROBB | 203 MANOR CIRCLE
TAKOMA PARK, MD 20912 | CONFRONTING PROPERTY
OWNER |
| 2. MARGARET HOWARD | 7312 CARROLL AVENUE
TAKOMA PARK, MD 20912 | ADJACENT PROPERTY
OWNER (RIGHT SIDE) |
| 3. RENEE WORLD
TRAVEL | 7320 CARROLL AVENUE
TAKOMA PARK, MD 20912 | ADJACENT PROPERTY
OWNER (LEFT SIDE) |

4. S.S. Carroll Citizens Association
Attn:

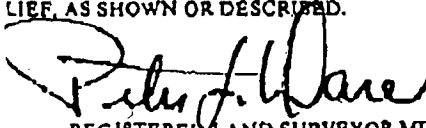



BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

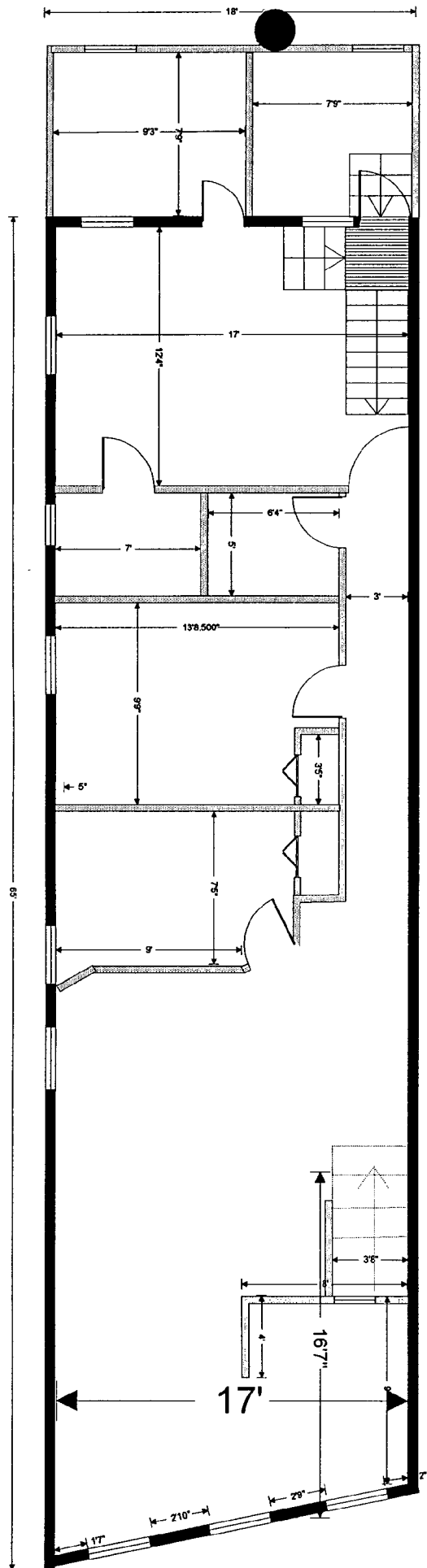


LOCATION OF HOUSE
 LOT 4, PART OF SECTION 3
 H.H. VOTAW'S SUBDIVISION OF TAKOMA PARK
 MONTGOMERY COUNTY, MD.

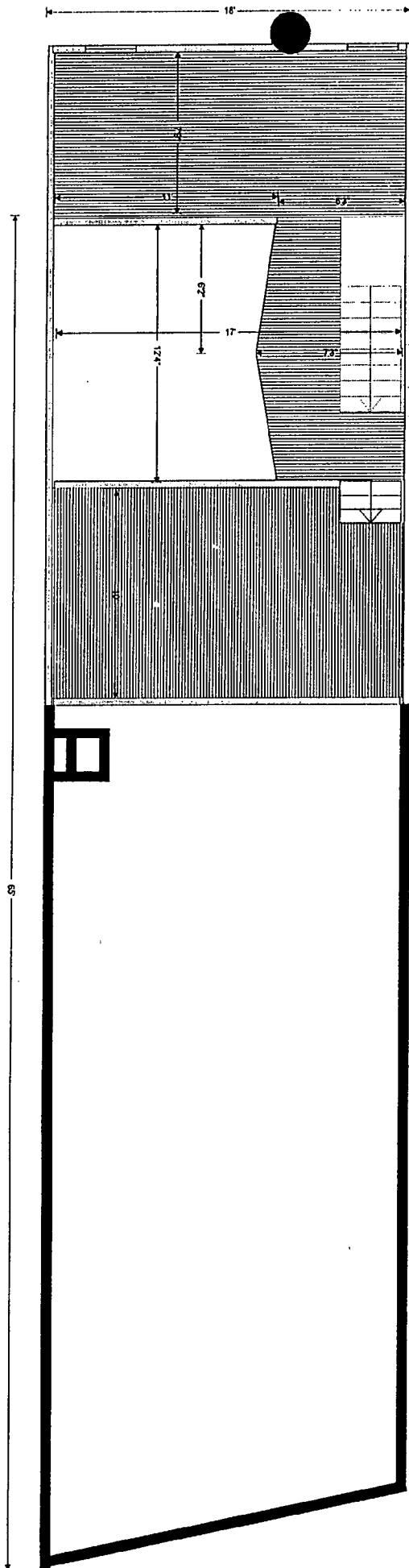
HUD PANEL NOT AVAILABLE

SURVEYOR'S CERTIFICATE THE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND DIMENSIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.  REGISTERED LAND SURVEYOR MD #224	REFERENCES PLAT BK. 4 PLAT NO. 325	 SNIDER, BLANCHARD & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 286 Montevue Lane Frederick, MD 21701 (301) 694-3344 2 Professional Dr., Suite 216 Gaithersburg, MD 20879 (301) 948-2100	DATE OF LOCATIONS SCALE: 1" = 30'
	LIBER FOLIUM		WALL CHECK: HSE. LOC.: 11-B-05 BOUNDARY:

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EXISTING 2nd FL.



3rd FL.

OPEN TO 2nd FL BELOW.

3rd FL

NEW CONSTRUCTION

3rd FLOOR

RENOVATION PROJECT:

7318 CARROLL AVE.
TAKOMA PARK, MARYLAND

MATERIAL SPECIFICATIONS

STRUCTURAL:

A. SECOND FLOOR:

-EXTERIOR:

Existing brick wall 8"
New R-11 and R-19 type insulation
7/16 Sheathing for new replacement framing
Vynil Siding over replaced framing (White shadow ridge style)

-INTERIOR:

Existing Wall Framing in 2x4 wood studs

B. ADDITION TO ROOF:

-EXTERIOR:

Wall framing in 2x4 wood studs
New R-11 and R-19 type insulation
7/16 Sheathing for new framing
Vynil Siding (White shadow ridge style)
Headers in 2x10 wood planks
Joists and trusses in 2x8 wood planks
1/2" rated CDX plywood underlayment for roof
Sheathing paper
Asphalt shingles (gray)

-INTERIOR:

Wall framing in 2x4 wood studs
3/4" rated CDX plywood flooring

A = 3" PVC Pipe

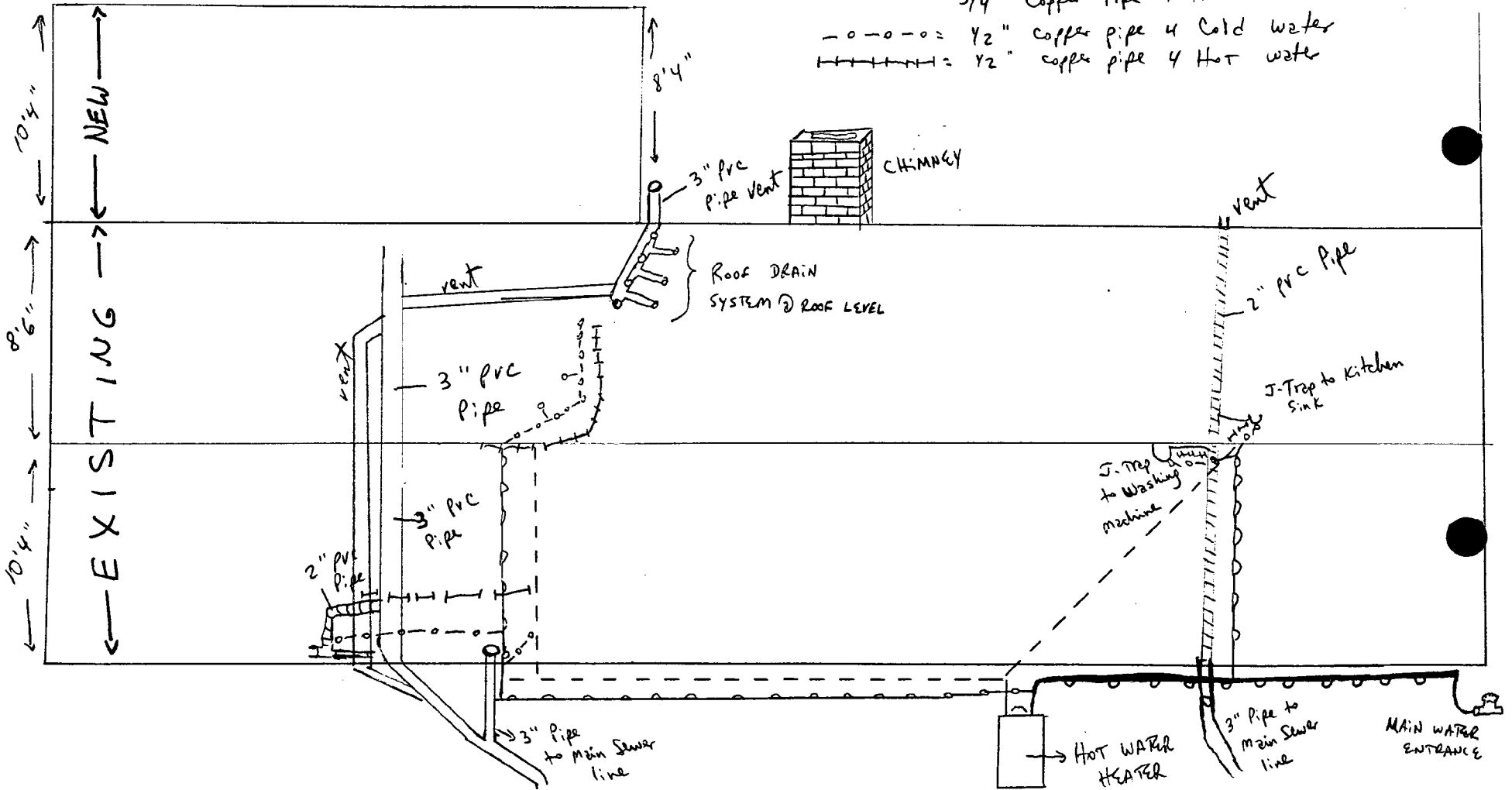
B = 2" PVC Pipe

--- = 3/4" Copper Pipe 4 COLD WATER

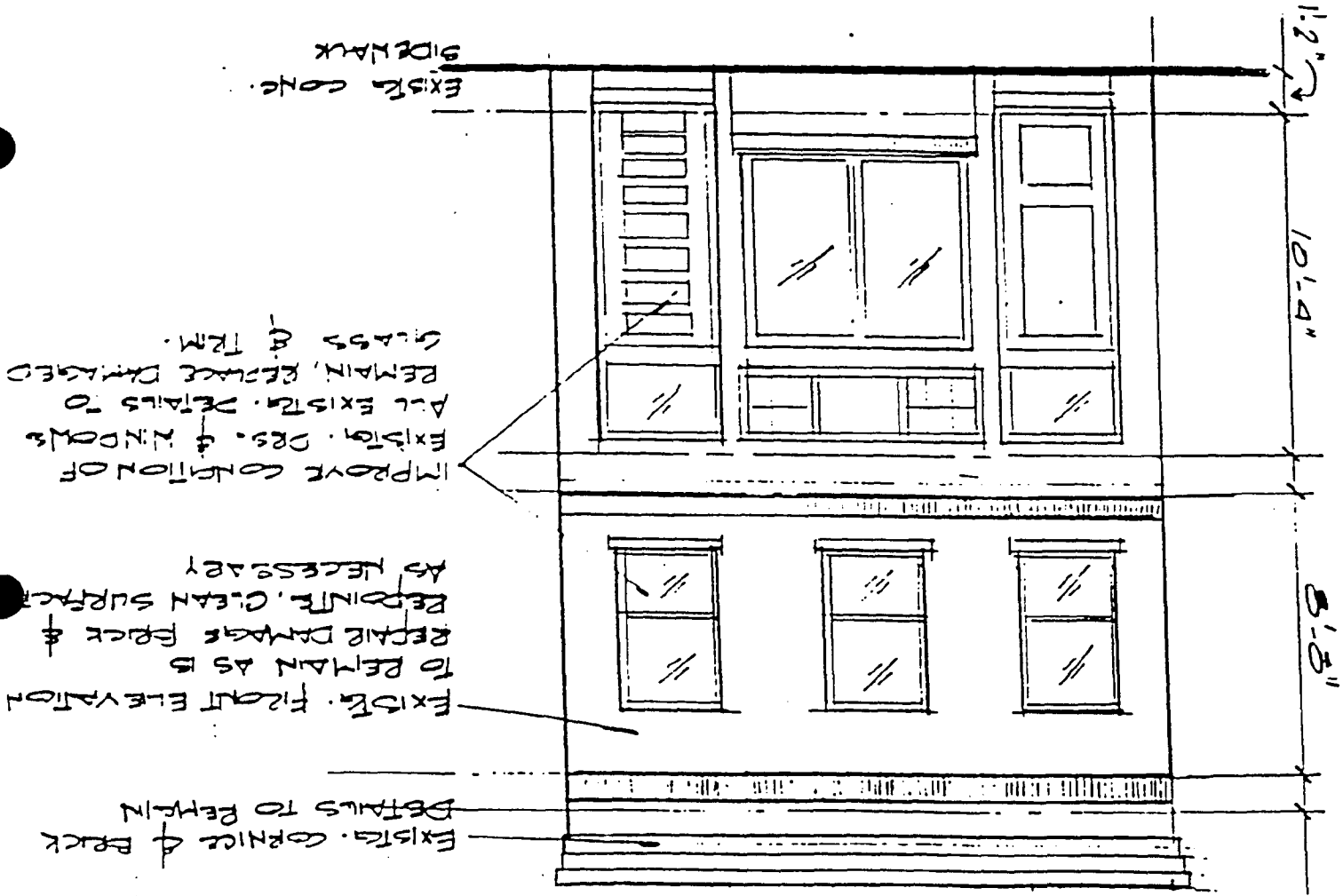
----- = 3/4" Copper Pipe 4 HOT WATER

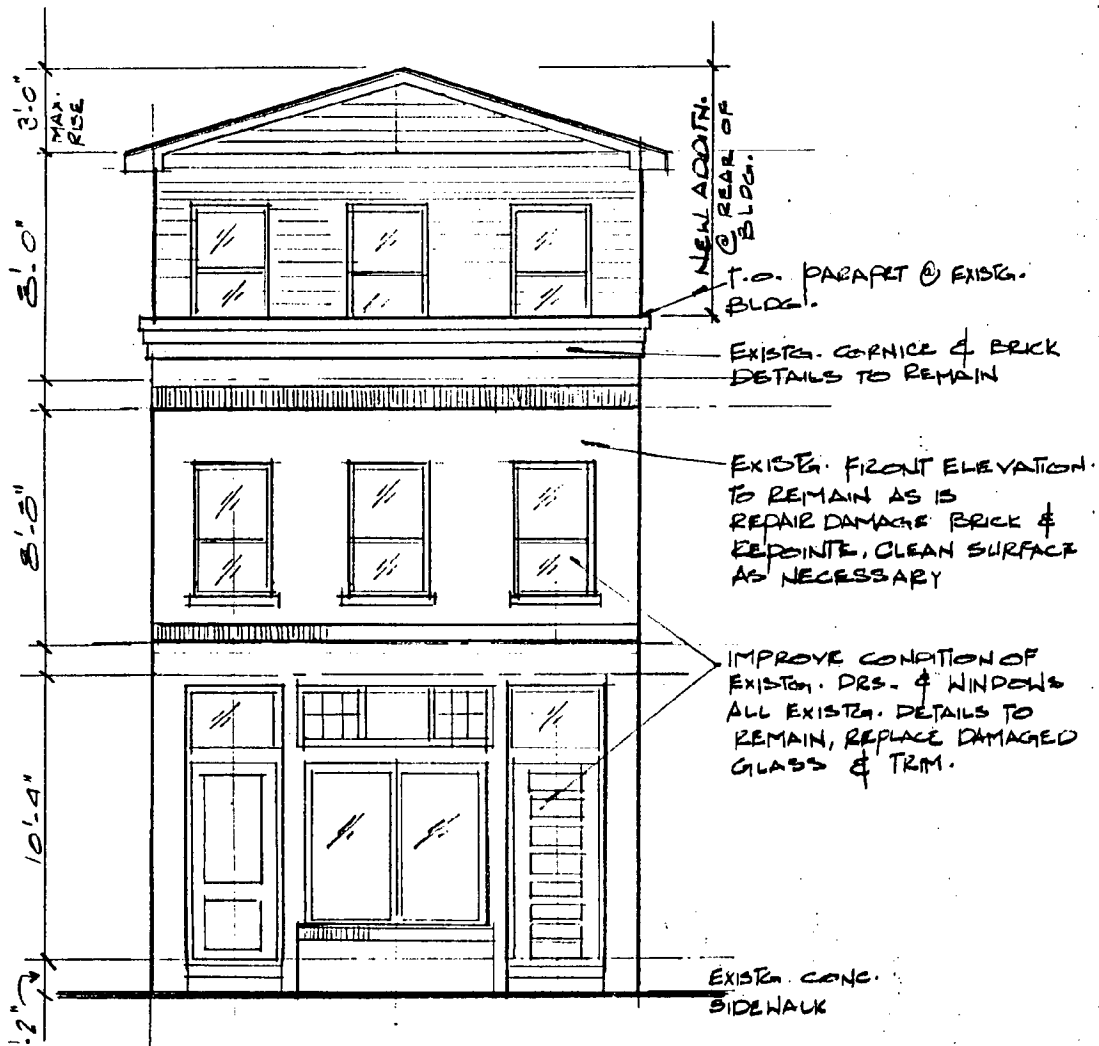
-o-o-o- = 1/2" copper pipe 4 Cold water

+++++ = 1/2" copper pipe 4 Hot water

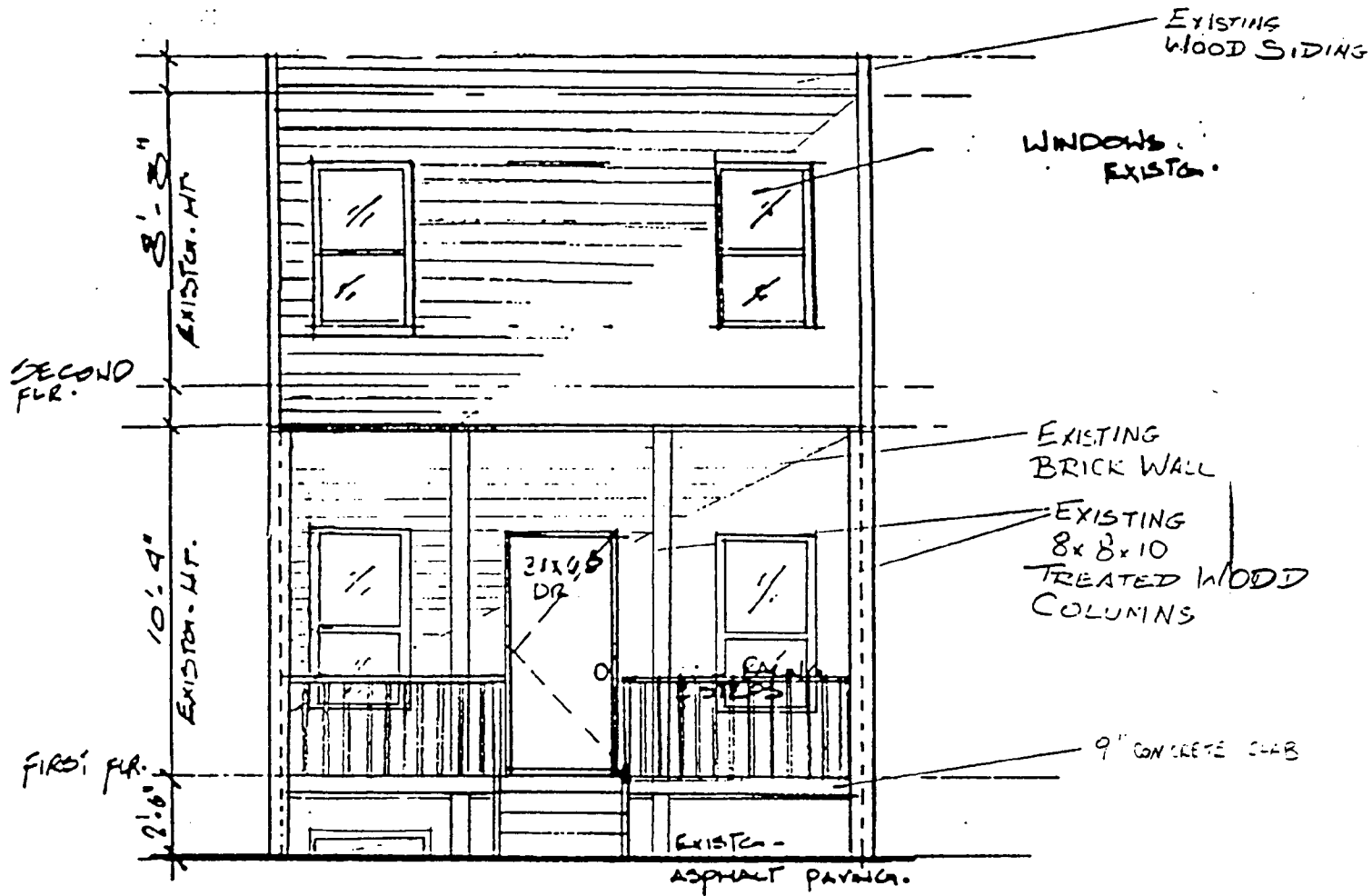


EXISTING FRONT ELEVATION
1/4 - 110th 73rd CARROLL AVE. TAKOMA PK. MD.



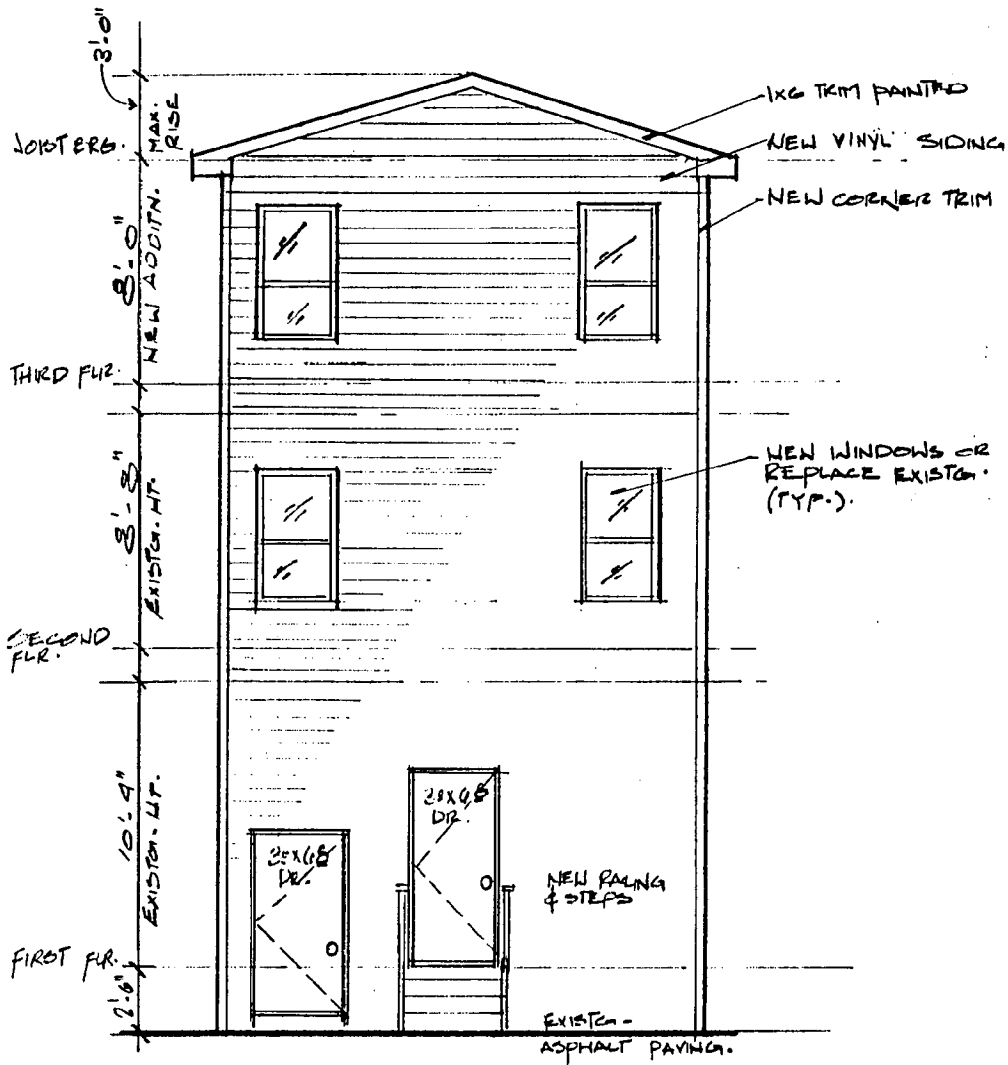


PROPOSED FRONT ELEVATION
 1/4" = 1'-0" 7316 CARROLL AVE. TAKOMA PK., MD.

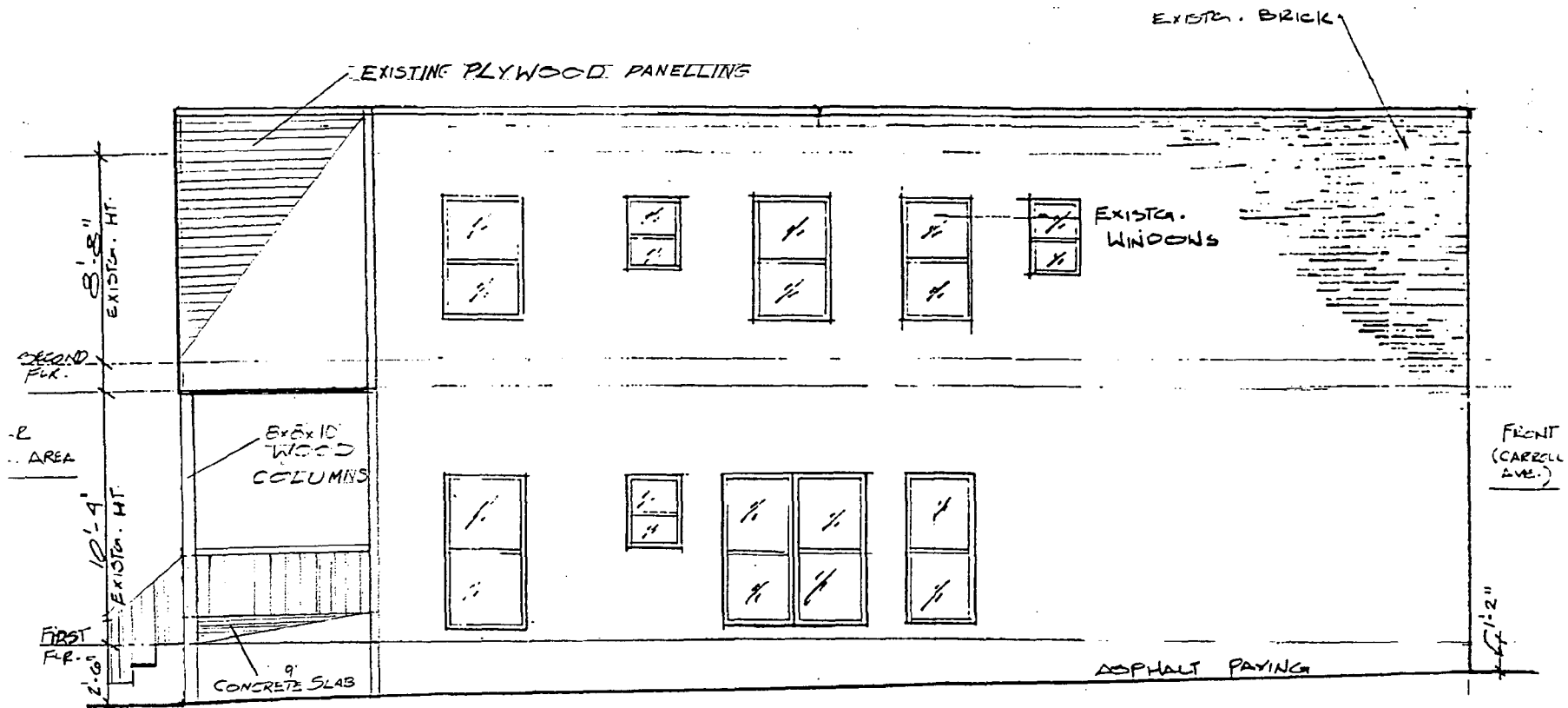


EXISTING REAR ELEVATION

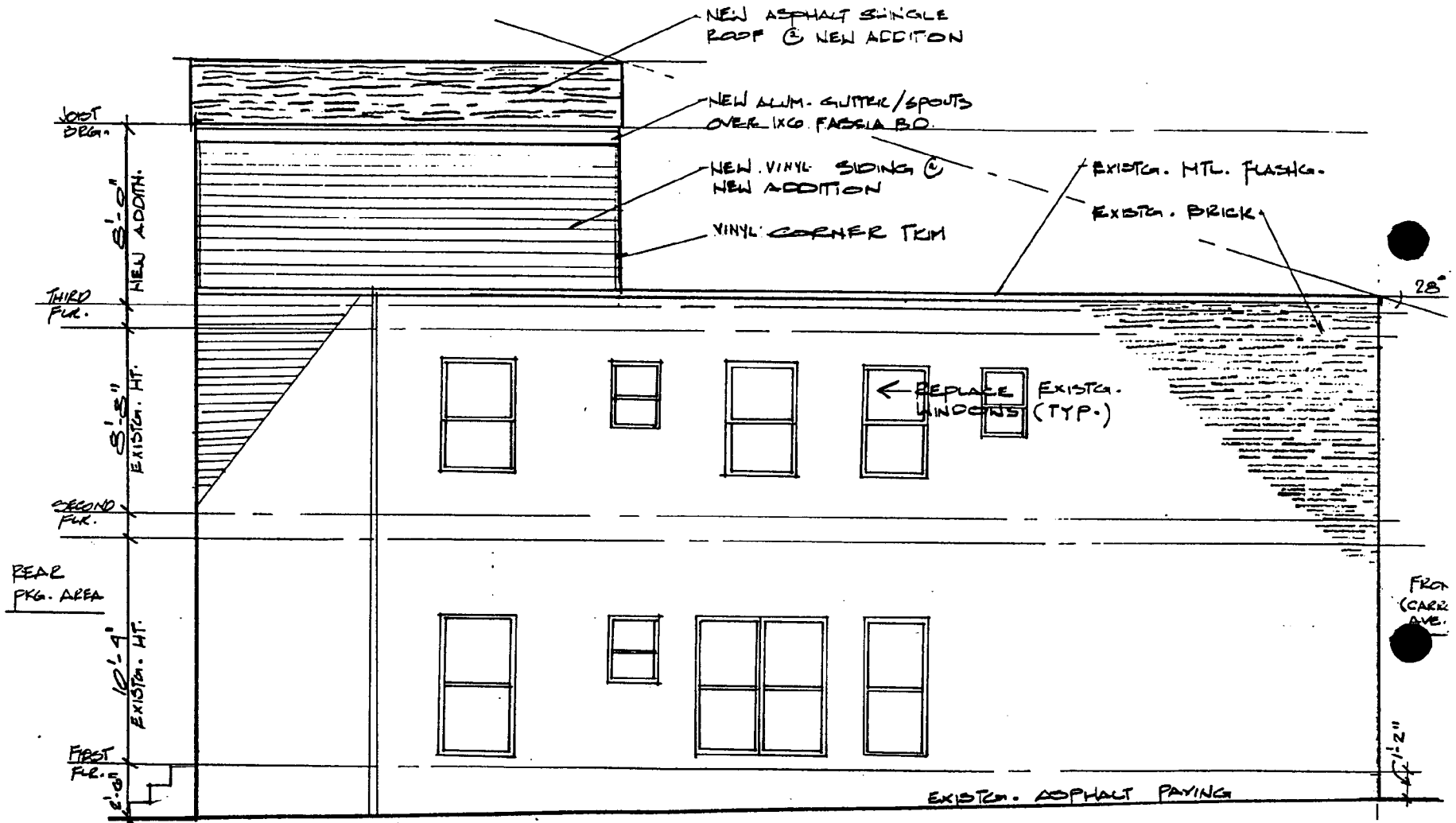
1/4" = 1'-0" 73K CARROL AVE. TAKOMA PK., MD.



PROPOSED REAR ELEVATION
 1/4" = 1'-0" 7316 CARROL AVE. TAKOMA PK., MD.



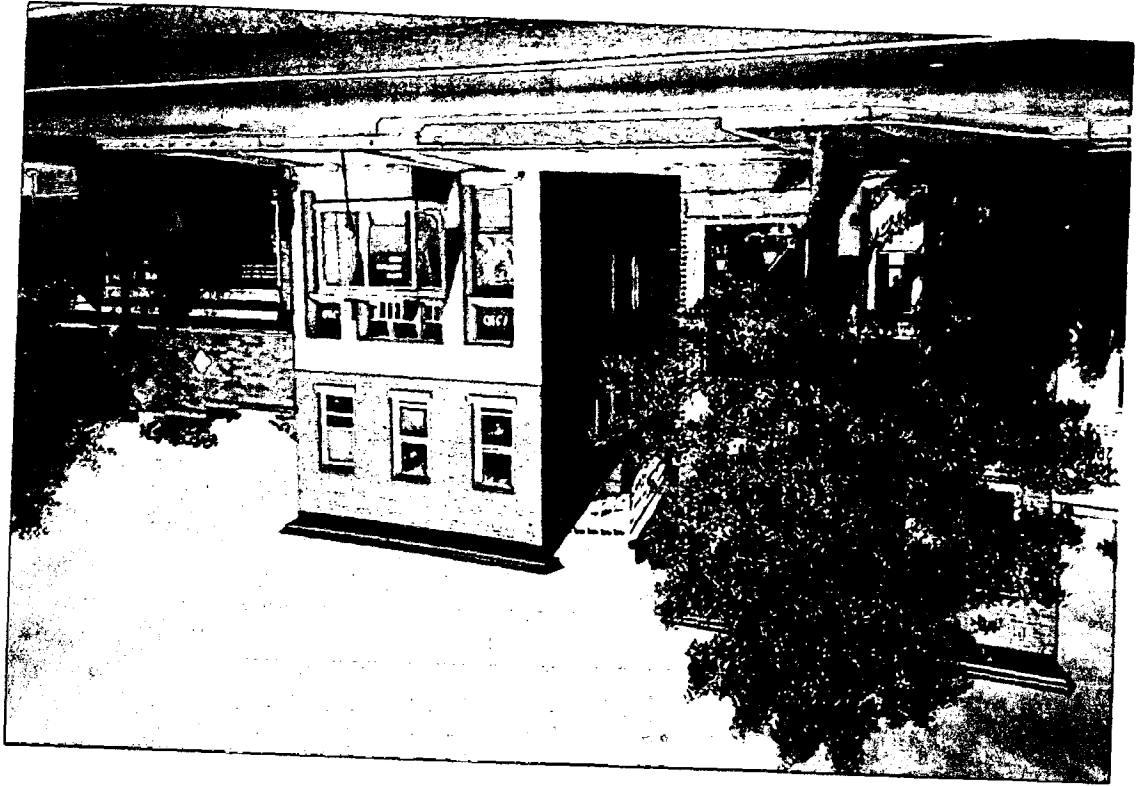
EXISTING SIDE ELEVATION
 1/4" = 1'-0" 7316-12 CARROLL AVE. TAKOMA PARK, MD



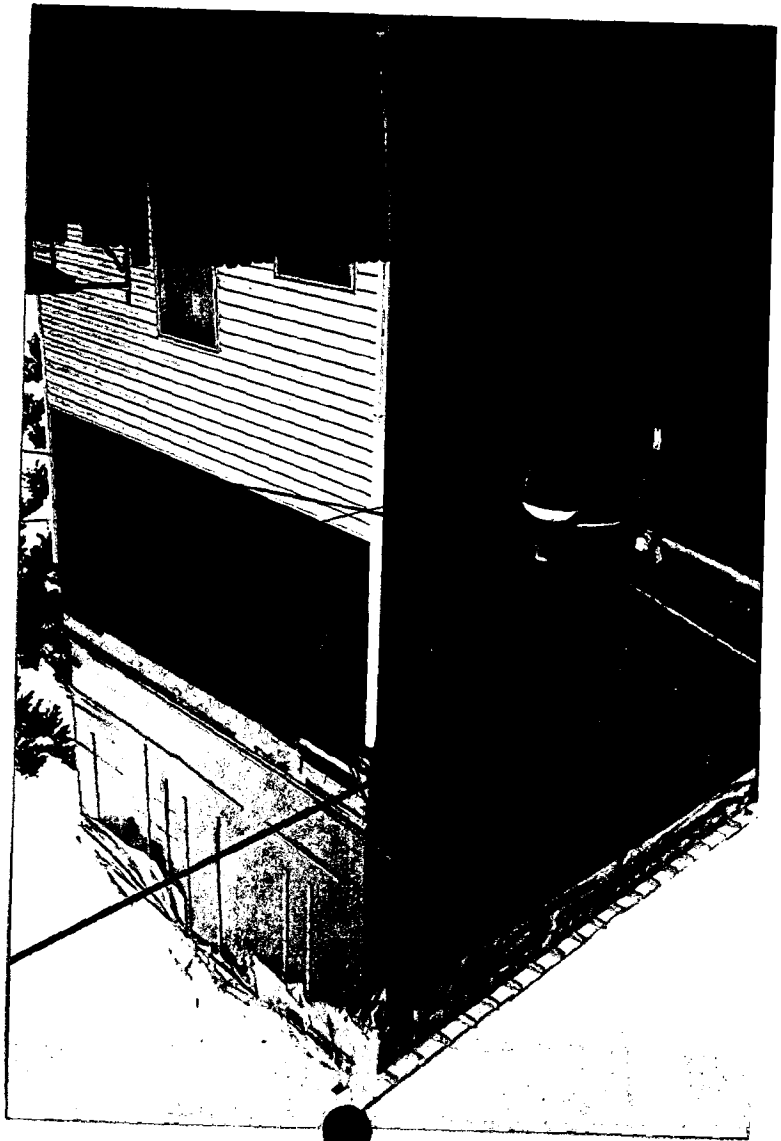
PROPOSED SIDE ELEVATION
 1/4" = 1'-0" 7314 SCARROLL AVE. TAKOMA PK., MD.

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VIEW
FROM
ACCESS
CARROLL
AVENUE.



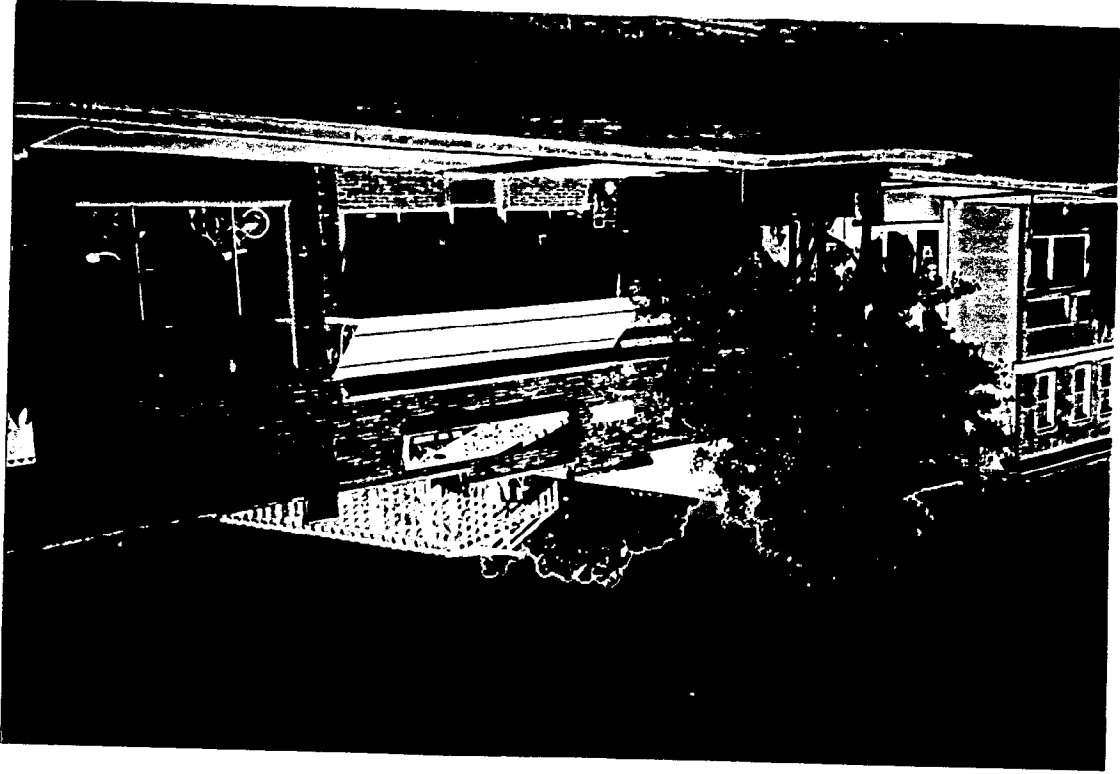
REAR ADDITION/
RENOVATION



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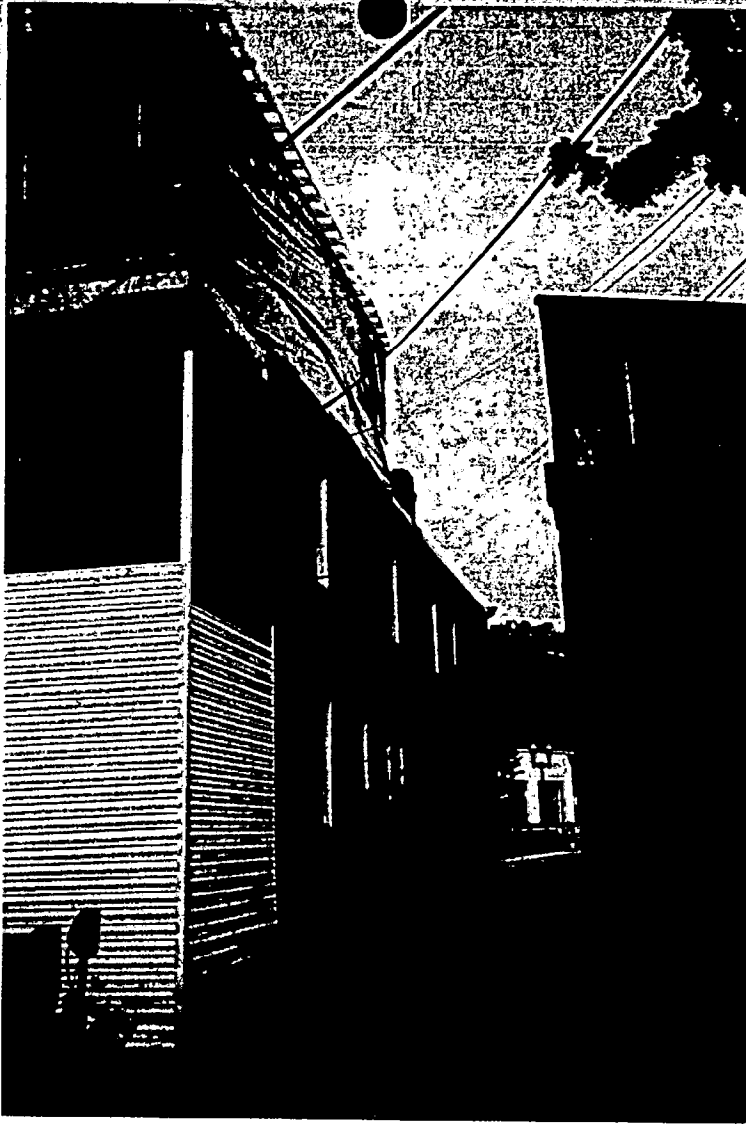
N. OF SITE

VIEW FROM CARROLL AVE.



FRONT ELEVATION





VIEW FROM REAR ALLEY,
LOOKING DOWN SIDE
ALLEY TOWARDS CARROLL
AVENUE.



REAR
OF
BUILDING

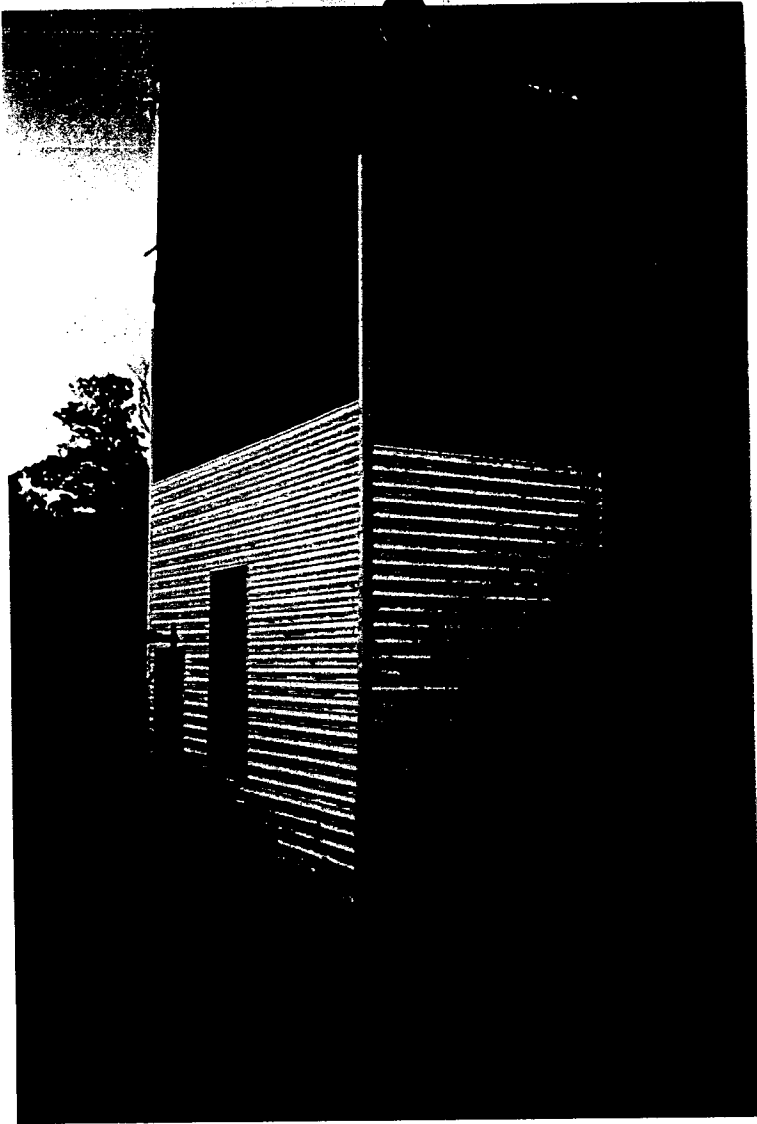


↖ VIEW FROM CARROLL AVE.
S. OF SITE

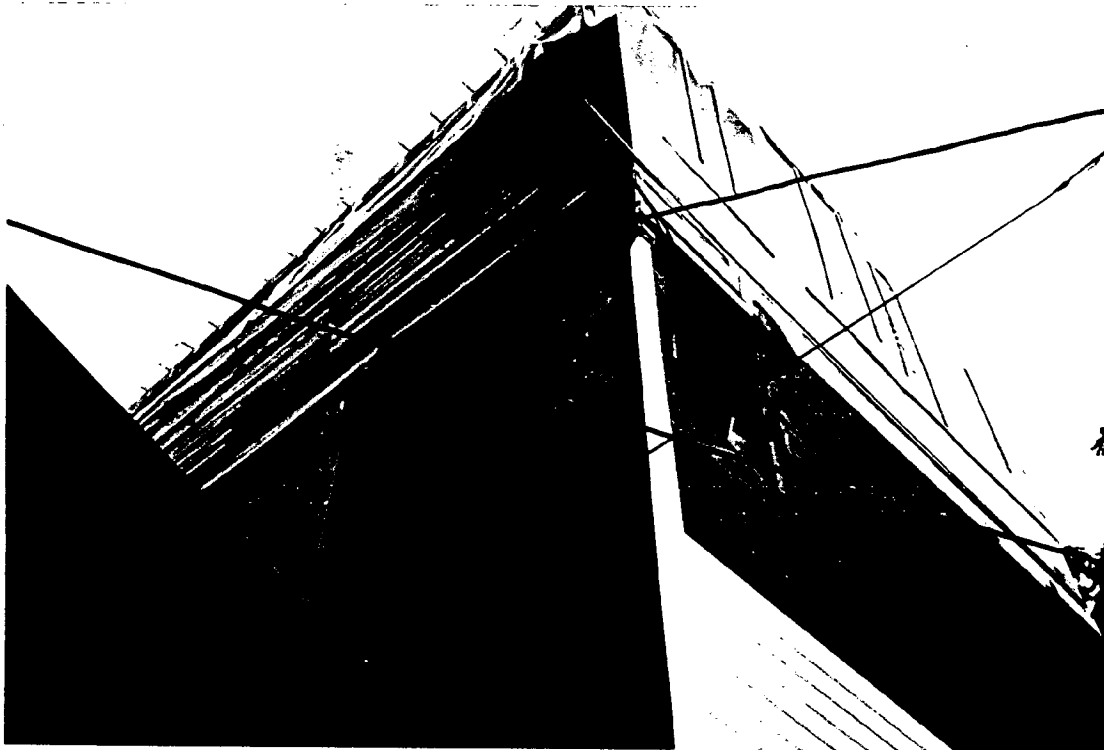


NEW
SIDING →

VIEW OF NEW CONSTRUCTION
IN REAR ALLEY



NEW CONSTRUCTION



NOTE ORIGINAL
METAL
SIDING
STILL IN
PLACE.

Ordinance No. 1985-30

WHEREAS, the Mayor and Council of Takoma Park, Maryland have designated Takoma Junction as a Commercial Revitalization Area; AND

WHEREAS, the City's commitment to commercial revitalization extends to the provision of substantial public improvements in Takoma Junction; AND

WHEREAS, to achieve success in commercial revitalization, these public commitments must be accompanied by private design improvements; AND

WHEREAS, design standards have been found to be a necessary and integral part of any commercial revitalization program.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF TAKOMA PARK, MARYLAND

SECTION 1. THAT over and above the codes and ordinances of the City of Takoma Park, the following additional standards shall be applied to all commercial uses within the area described below in section B, "Boundary Description."

A. PURPOSE

The purpose of these design standards is to promote and enhance the existing architectural character and historic richness of Takoma Junction so that it provides a stable, healthy business environment serving the needs of a broad community. These standards will help create a neighborhood business district with enhanced economic viability, attractiveness and convenience for residents of the surrounding neighborhoods and the broader community. The standards have been developed to regulate facade and building treatments in order to protect and enhance property values by ensuring compliance by all property owners; to cultivate a clear and consistent image for business operations; to bring about a general physical improvement of the area through coordinated private and public improvements; and to promote the public welfare.



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B. BOUNDARY DESCRIPTION

The standards set forth below shall apply to all commercial structures within the officially designated area of the Takoma Junction commercial district. This area includes both sides of Carroll Avenue, bounded on the northeast by Lee Avenue, and on the southwest by Philadelphia Avenue, to include the first blocks of Lee Avenue, Grant Avenue, and Sycamore Avenue.

C. ROOFS

(1) For pitched roofs visible from the sidewalk across the street either in front of, or to one side of a building, the following roof requirements shall apply:

(a) The finished roofing material shall be limited to the following materials: terne metal (steel with a corrosion resistive coating of either lead or tin); standing seam, painted sheet metal roofing; asphalt shingle or tile; slate; built-up flat roof; clay tile;

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wooden shakes.

(b) The finished roofing material shall be clean and in a good state of repair.

(c) The finished roofing material shall have a color compatible with the building color scheme.

(d) Dormers shall be compatible with the design of the building and street facade. The finished materials and colors shall be harmonious with both the roof and facade of the buildings. ←

(e) Skylights and solar collectors shall be integrated into the building profile, and all metal parts shall be coordinated with roofing material. Skylights shall be kept to the rear of the ridge of the roof whenever feasible. ←

(2) General Provisions.

(a) Rooftop mechanical equipment shall be located far enough back from the edge of the roof so that it cannot be seen from the sidewalk across the street, either in front of or to one side of the building. Functional equipment may be retained until major repair or replacement of the equipment becomes necessary, at which time it shall be removed from view. All mechanical equipment shall be painted with a flat paint in a color compatible with the color of the front of the building upon which it rests or the existing roof.

(b) All chimneys or other auxiliary structures on the roofs shall be clean and kept in good repair. All deteriorated masonry chimneys shall be either replaced or restored. All future metal chimneys shall be located so that they cannot be seen from the sidewalk across the street either in front of, or to one side of, the building.

(c) Flashing visible from the sidewalk must be neat and free of pitch. Visible flashing shall be painted to match the surface of the wall above it.

(d) Television and radio antennae shall be located so as to be as inconspicuous as possible, preferably to the rear of the buildings.

(e) All inoperative or otherwise extraneous equipment, including but not limited to, signs and billboards shall be removed.

D INTERIOR WALLS

(1) All exterior building walls should be of the original architectural character of the building and in good condition. ←

(2) All structural and decorative elements of building fronts and rear sides shall be repaired, replaced or uncovered in a workmanlike manner to match as closely as possible the original materials and construction of that building.

(3) All miscellaneous elements on the exterior walls of the structures such as empty electrical boxes, conduits, pipes, unused sign brackets, alarm units, etc., shall be removed.

(4) All brick walls shall be cleaned, repaired, and repointed as required. Brick walls shall be either preserved in their natural color or painted a color compatible with the colors of the neighboring structures. Cleaning of brick walls by means of sand or grit blasting shall not

be permitted (since this destroys the protective coating of the brick and allows it to deteriorate).

(5) All natural stone walls shall be cleaned, repaired, and pointed as necessary.

(6) All stucco surfaces shall be cleaned and repaired and shall have a similar texture to the existing surface. All stucco surfaces shall be in a color compatible with the colors of the neighboring structures.

(7) All tile finishes shall be removed and the original wall construction behind them restored.

(8) Asphalt shingle siding shall be removed and only a permissible exterior finish shall be allowed. ←

(9) All rotten, broken, or deteriorated wood siding shall be replicated. Existing material in sound condition and permissible under the local building code shall be cleaned and painted or stained. All wood siding shall be designed to be compatible with the design of the building and the neighborhood. Textured plywood and/or plywood shall not be used.

(10) Use of air-conditioning units of the window type on the fronts of buildings should be avoided wherever possible. The location of wall-mounted air-conditioning units shall be in a place harmonious and functional to the store front design, not to interfere or be hazardous to pedestrian circulation and shall not drain to the sidewalk wherever possible.

(11) Metal gutters and downspouts shall be repaired or replaced as necessary and shall be neatly located and securely installed. Gutters and downspouts shall be painted to harmonize with other building facade colors.

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E. ARCHITECTURAL DETAILS

(1) Cornices. Where cornices exist, they shall be restored to their original design. The removal of cornice work, without prompt replacement of similar design, will not be permitted. Where cornices have been removed during previous renovation work, new cornices shall be installed. New cornices shall be compatible with the design of the building. All cornices shall be made structurally sound, and rotted or weakened portions shall be removed and repaired or replaced to match the original patterns. All exposed wood shall be painted or stained.

(2) Windows.

(a) All of the windows in a single facade shall be of matching design. All window openings shall, within reason, have the same height and width they did at the time that the wall in which the openings are located was originally built. Filling in these openings at the top, bottom, or sides shall not be permitted. ←

(b) All windows shall be kept in good repair. Vinyl-clad wood or metal or other weather resistant materials may be used provided that they are kept painted or have an acceptable integral color. Damaged or broken glass shall be replaced with a suitable glazing material. ←

(c) All windows must be tight-fitting and have sashes of proper size and design. Sashes with rotten wood, broken joints, or broken or loose mullions or muntins shall be

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replaced. All broken and missing windows shall be glazed. All exposed wood shall be painted or stained.

(d) Ornamental window grilles and balconettes of iron or similar materials may be incorporated as a decorative or security device.

(e) The lintels over windows shall be preserved or restored. Rotten wood lintels shall be replaced. Brick archwork and stone lintels shall be restored.

(f) Window sills shall be preserved, replaced, or restored to match the original design of the building, as closely as possible.

(g) Boarding up or filling in windows on the front facade shall not be permitted. Reflective materials to cover glazing shall not be permitted.

(h) Windows facing alleys, yards, or side streets shall be kept properly repaired or, with the Fire Department's approval, may be closed with materials and a design that matches or is compatible with the material design and finish of the adjacent wall. Plywood will not be allowed as an infill material.

(3) Doors. In cases where there are doorways to buildings that are not incorporated in the storefront, the character of the original doorway shall be preserved. Where possible, the original style of these doorways, including solid, paneled, wood doors; wood frames; brick or stone sills; transoms; overhangs; and glazed sidelights, shall be incorporated into the design of the remodeled shopfront. The following additional requirements shall apply to all doorways and entrances:

(a) Storm and screen doors shall be compatible with entrance doors.

(b) Hardware, including large exterior locks, visible from the outside should not detract from the overall appearance of the door.

(c) Any grilles, bars, and grates covering doors or windows shall be designed to be compatible with the design of the building and of the neighboring structures, and the public improvement design intent.

(d) New doorways shall be designed with consideration for the needs of the handicapped and the elderly.

(e) Where steps or stoops are required at a doorway or entrance, they shall be designed to match the original design. In cases where there are more than two risers, the steps or stoops shall be provided with a railing of compatible design.

(4) Awnings. The use of awnings, canopies, or other overhangs for the purpose of protection over the sidewalk in front of an establishment is encouraged.

(a) Soft, retractable awnings are permitted over the first floor and on upper floors above windows only.

(b) Awnings should be flame retardant.

(c) Awnings should not project from the building front so as to interfere with street trees, lamp posts, etc.

(d) Awnings shall terminate against the building at a height not higher than one inch

below the second floor window sill.

(e) Awnings should be coordinated in color and/or design to unify the commercial block.

(f) The width of front valance of awnings should not exceed one foot (1'-0") and size of striping at one foot (1'-0") maximum.

(g) Rigid or fixed awnings, sun screens, or permanent canopies are permitted if these are compatible, harmonious and consistent with the original scale and character of the structure.

(h) Signs, symbols or designs painted or sewn onto awnings are permitted.

(i) If graphics are to be placed on an awning, they should be on the awning valance.

F. SHOPFRONTS

(1) A shopfront as a part of the building facade shall be defined to include: the building face, porches, the entrance area leading to the door, side-lights, transoms, display platforms, devices including lighting and signing designed to be viewed from the public right-of-way and/or the areas visible to the public prior to entering the interior portion of the structure.

(2) General Provisions.

(a) Shopfronts, entrances, signs, lighting, sun protection, porches, security grilles, etc., shall be compatible, harmonious, and consistent with the original scale and character of the structure.

(b) All extraneous and unused hardware, signing, and equipment shall be removed.

(c) All broken, rotten, or damaged elements shall be removed and replaced with elements that are harmonious with the design of the building and with the neighborhood.

(d) Ribbed or patterned metal are not permitted as acceptable replacement materials for shopfront windows. Stained glass is permitted if compatible and consistent with original scale and character of the building.

(e) At such time as sign panels covering or replacing shop cornices are removed or deemed to need replacement, they shall be removed permanently and the cornice permanently restored.

(f) Grates, bars, and grilles shall be designed so as to be as inconspicuous as possible. They shall be kept painted and free of rust. In all cases they shall be kept open during the normal daylight business hours. Non-metal grilles and screens shall be prohibited. Enclosures and housings for security grilles and screens shall be as inconspicuous as possible and shall be compatible with the design of the shopfront. Mesh security wire is permissible if removed during normal business hours.

(g) Solid, permanently enclosed, covered, or reflective covered shopfront windows shall not be permitted. Where the window treatment of the first floor must be modified, such that the window openings will be made smaller, these new openings will

not be smaller in size than the openings of the second or third floor windows of the subject structure.

(h) Vending machines shall not be located within 25 feet of the sidewalk and shall not be placed within the area defined as a shopfront in paragraph (1) of this section.

G. SIGNS AND COMMERCIAL ADVERTISING

(1) Signage materials shall be in harmony with the rest of facade materials and be easily maintained, such as: treated fabric; natural or painted wood; metal; cut-out letters of metal, wood, or plastic; and individual painted letters.

(2) Signs should be placed where they conceal the least amount of architectural detail.

(3) Signs may be a maximum of thirty (30) inches high and project not more than eight (8) inches from the outside face of the exterior wall. All signs shall be designed to be harmonious with the design of the building facade and the neighboring structures. The maximum allowable sign area shall be two times the frontage of the building in feet. Sign area shall be construed to include space between letters.

(4) Lettering applied to ground floor show windows or entrance doors shall not exceed four (4) inches in height and shall be limited to 50% of the glazed area. Signs identifying the occupant shall be permitted at rear entrance doors but shall not exceed six (6) square feet in size and shall be nonluminous.

(5) Signs may be painted on the inside surface of the shopfronts but must be designed to be compatible with the design of the entire facade. Signs painted on the facade or on the inside glass should be limited to lettering no greater than six (6) inches in height. When these signs are the only identifying sign for the property, twelve (12) inch lettering is permissible. These signs shall not exceed twenty percent (20%) of the area of the shopfront window.

(6) Non-illuminated secondary signs shall be permitted for the identification of commercial tenants occupying the upper floors of a building. These signs shall be designed to be harmonious with the facade of the building. Each tenant shall be allowed one sign to be limited to 6 sq. ft. in area. Such signs may be perpendicular to the building but must be limited to 6 sq. ft. and may not project more than 3 ft. from the building exterior wall.

(7) "Temporary" signs may be displayed within shopfront windows provided that these signs are not larger than twenty percent (20%) of the square footage area of the window in which they are displayed and are on display not more than thirty (30) consecutive days.

(8) Permanent signs on the building facade shall be limited to signs identifying the business.

(9) If the shopfront design includes a cornice, the sign shall be incorporated in the cornice design or shall be placed in the shop window. If a shopfront cornice is not used, the sign shall be placed either in the shop window or on the portion of the building facade above the shop window and below the sill of the second floor windows.

(10) Flat signs may not be luminous but may be illuminated by any acceptable method listed below in the Lighting section.

(11) Flashing or moving signs other than barber poles shall not be permitted.

(12) Rooftop signs, above the parapet of the building, billboards, or outdoor advertising signs painted or mounted on the buildings shall not be permitted.

(13) Signs projecting perpendicular to the building are permitted but must be limited to 6 sq. ft.

(14) No signs painted on buildings will be permitted.

(15) Freestanding commercial billboards other than signage identifying Takoma Junction shall not be permitted and shall be removed in their entirety.

(16) Abandoned and unused signs and billboards, including posts and structures, shall be removed from premises within thirty (30) days of disuse.

H. LIGHTING

(1) Exterior lighting shall be limited to lighting fixtures designed to be in harmony with the character of the buildings and the streetscape design intent. Such fixtures shall be mounted in the entrance ways and on the front facade of the building. Flood lighting concealed above a storefront roofing may be used to light the facades of buildings. Lighting of the shops is encouraged during evening hours. Lighting of the facades of the buildings may be accomplished with projecting fixtures at the roofline or at the storefront cornice line. Such fixtures shall be inconspicuous, harmonious with the design of the building, and project no more than twenty-four (24) inches from the face of the building.

(2) The following lighting methods are permitted:

(a) Fully recessed downlights or wallwashers in projecting metal boxes.

(b) Shielded fluorescent lamps with diffusers in projecting metal boxes.

(c) "Gooseneck incandescent," porcelain enamel reflector on bent metal tube arm. Housing to prevent glare at pedestrian eyeline.

(d) Individually back-lit letters or signs.

(4) Lights shall not blink, black out, flash, or have any mechanical motion.

(5) Electrical elements such as wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes shall be in metal conduit or otherwise concealed from view or integrated into the building design.

I. COLORS

(1) There should be continuous color treatment both in the overall base color and the trim accent color to create a unified appearance.

(2) All painting shall attempt to highlight existing architectural detailing of the building.

(3) Individual buildings should be one base color for cohesiveness. Building individuality is encouraged through accent colors, graphics, awnings, and signage.

J. REAR AND SIDE YARDS

- (1) All yards should be neat in appearance and should not in any way obstruct passersby, nor detract from the appearance of the building.
- (2) An unenclosed rear yard may be used as a parking or loading area providing that it is properly surfaced or paved with the use of gravel, asphalt, concrete, or other similar materials. Further, the yard should be illuminated and maintained.
- (3) Merchants shall be responsible for the maintenance of their parking areas. No storage or trash containers shall be allowed in these areas except when housed in permanent structures of acceptable design. Commercial compactors in good repair shall be considered acceptable trash containers.
- (4) All parking areas shall be effectively screened from adjoining residential property and shall have adequate landscaping and screening on property lines adjacent to public sidewalks.
- (5) All outdoor refuse storage areas shall be screened from the view of adjacent properties and public rights-of-way. Screening shall consist of a masonry wall or durable fence or combination thereof, painted harmoniously, not less than four (4) feet in height. In lieu of such wall or fence, a compact evergreen hedge of not less than four (4) feet in height at time of original planting may be used.
- (6) Method of refuse storage and collection shall be such that waste material will remain entirely contained at all times so as not to pose a potential or real litter problem to the area or its environs.

K. STANDARDS FOR REDEVELOPMENT

- (1) New buildings should respect the traditional quality of the surrounding commercial area and of the residential neighborhood. They should be designed in such a way as to be consistent with the design standards and intent as outlined in this ordinance.

L. RELATIONSHIP OF MATERIALS, TEXTURE, AND COLORS FOR NEW DEVELOPMENT

- (1) The relationship of the materials, texture, and color of the facade of a building should be visually compatible with the predominant materials used in the buildings to which it is visually related.
- (2) All new buildings should attempt to create a richness of detail which will enhance the existing character and the public improvements and be consistent with design standards and intent as outlined in this ordinance.
- (3) The height of proposed buildings should be visually compatible with adjacent buildings and in conformance with zoning regulations.
- (4) The shape of the roof of a building should be visually compatible with the buildings to which it is visually related both adjacent to it and within the commercial area overall.
- (5) The relationship of solids to voids in the front facade of a building should be visually

compatible with buildings, open spaces, and places to which it is visually related.

(6) The relationship of the width of the windows to the height of the windows in a building should be visually compatible with the buildings, open spaces, and places to which the building is visually related.

(7) The relationship of buildings to open space between it and adjoining buildings should be visually compatible to the buildings, open spaces, and places to which it is visually related.

(8) The relationship of the width of the building to the height of the front elevation should be visually compatible to the buildings, open spaces, and places to which it is visually related.

(9) Items placed next to the sides of a building such as walls, wrought iron, evergreen landscaping, fences, etc., should form cohesive walls of enclosure along the street. These items should insure visual compatibility between the buildings and open spaces.

(10) The relationship of entrances and porch projections to sidewalks of a building should be visually compatible to the buildings, open spaces, and places to which it is visually related.

M. COMPLIANCE

(1) Rehabilitation - All business or property owners are encouraged to submit design plans for any exterior rehabilitation to the City Administrator before proceeding with work. Any owner benefiting from public financial assistance in meeting these design standards is required to submit design plans to the City Administrator before proceeding with work.

(2) Review of New Development - The City encourages the development of appropriate new development in the areas identified in the Commercial Revitalization Plan. The City requires the review and approval of developers' plans and specifications with respect to their conformance with the provisions of the Commercial Revitalization Plan and design standards in order to achieve harmonious development of the designated area. The City also reserves the right to refuse to approve any such drawings, plans, or specifications that are not suitable or desirable for aesthetic or functional reasons; and in so passing upon such drawings, plans, and specifications, it shall have the right to take into consideration, but shall not be limited to, the suitability of the site plan, architectural treatment, building plans, elevations, materials and color, construction details, streets, sidewalks, and the harmony of the plans with the surroundings. The City shall inform the Montgomery County Department of Environmental Protection of its decision in each case.

N. DEMOLITION

(1) All applications for demolition permits shall be first submitted to the City of Takoma Park for review and approval. If the City finds that the proposal is consistent with the objectives of the Commercial Revitalization Plan, the City shall recommend approval by the Department of Environmental Protection. If the City finds that the proposal is inconsistent with the objectives of the Plan, the City shall recommend disapproval to the Department of Environmental Protection.

Petition

July 9, 1997

We, the undersigned, are opposed to the addition being built at 7316 Carroll Avenue. We feel that any third floor addition would be incompatible with the adjoining 1 and 2 story buildings.

Name	Address
Kate Kaufman	214 Manor Circle Takoma Park MD 20912
Anne Richardson	251 Manor Circle, Takoma Park 20912
Tom Kaufman	214 MANOR CIR TAKOMA PARK, MD 20912
Susan [unclear]	203 Manor Cir Takoma PK MD
Derrick Leonard	208 Manor Cir Takoma PK MD
Albert + Ida Frederick	209 Manor Circle TK, PK, MD.
Robert + Rose Beverly Hawks	211 S. MANOR CIRCLE T.P. MD
[unclear]	208 MANOR Cir Tak. PK. MD
Greg Milledet	7410 Jackson Ave TK PK, MD 20912
Fran [unclear]	210-MANOR CIRCLE TK PK MD 20912
Lucy [unclear]	212 Manor Cr. Takoma Park MD
David Della Rada	213 S. MANOR CIRCLE T.P. MD
Shirley Haney	213 S. Manor Circle T.P. Md 20912

 FAX Transmission

Susan Robb

From: Susan Robb PICTURE RESEARCH
Questions? Call 301-270-0297 203 Manor Circle
Fax 301-270-1844 Takoma Park, MD 20912

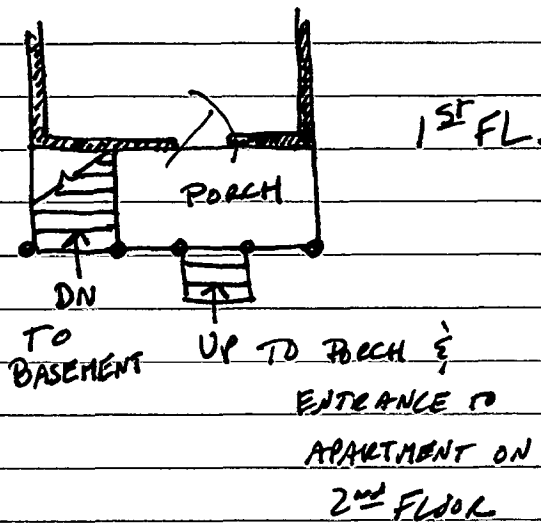
To: Robin Zeik
Company: Montgomery County Historic 301-495-1307, 301-495-4570
Preservation

Address:
Date: July 9, 1997
Time: 1:57 PM Pages: One (including this one)

Robin, some things have come up since I spoke with you this morning and I'm not sure I'll be able to attend the hearing tonight regarding the permit for the property in the 7300 block of Carroll Avenue. I hope this informal note will suffice for your file.

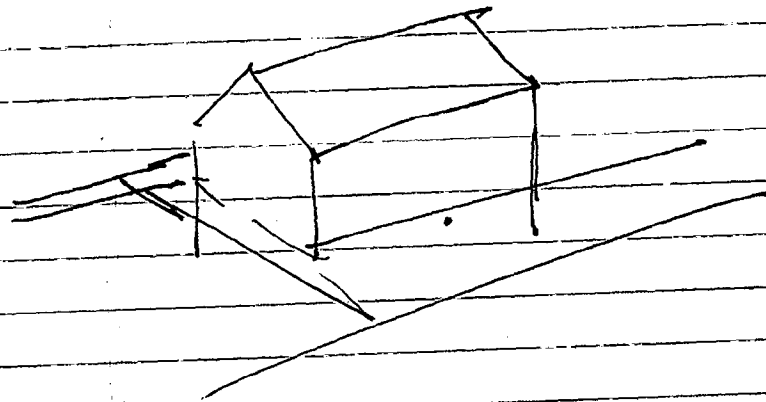
As a neighbor in full view of the in-progress addition, I support the staff's recommendation not to approve the Historic Preservation permit for this property. The third floor addition is visible from a number of vantage points in the neighborhood, and, from my understanding of the Historic Preservation guidelines, it is not in keeping with the intent of the Historic District.

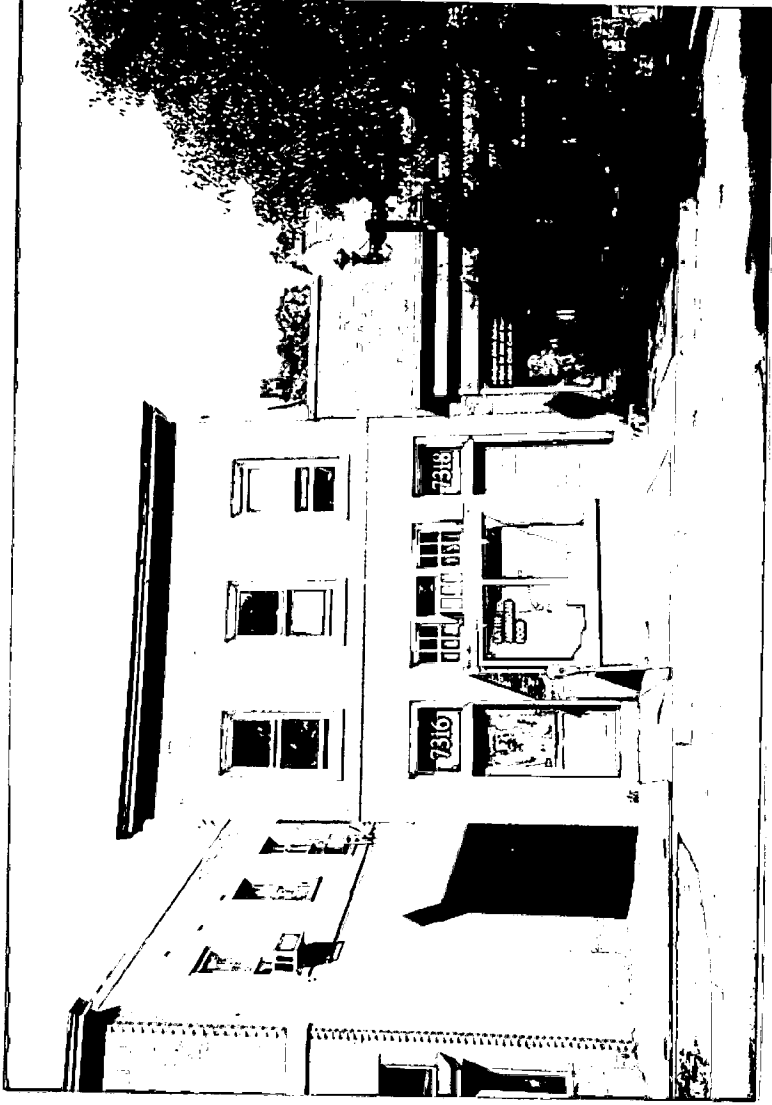
I'm hoping to get some signatures from neighbors this evening, provided the predicted storm does not interfere. I know several people I've talked to share my views. Thank you.



1. Enclosed porch
2. Extended enclosure to basement steps
3. Added 2 doors at rear 1st fl./gr.
4. (2) Changing windows
home cast. wood fixed to
double-hung vinyl to match
all other windows
5. Changing siding from corrugated metal

Sheets to vinyl lap siding.
6. Adding a 3rd fl. at rear 1/3 of
building.





FRONT ELEVATION

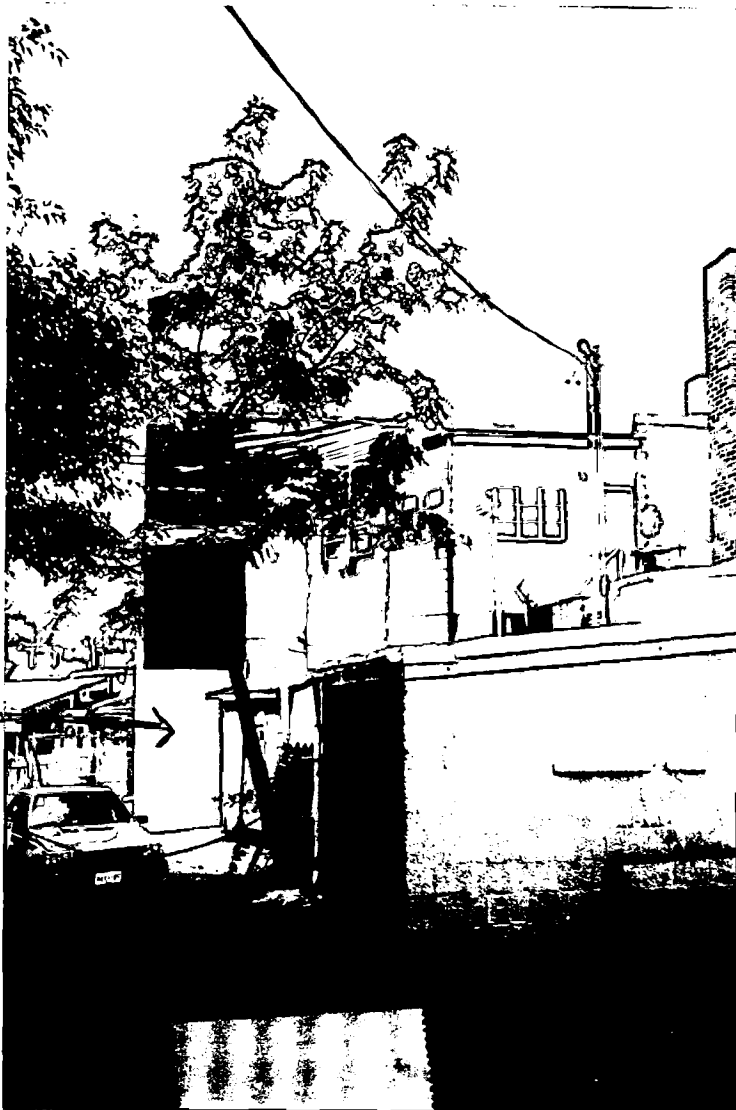


VIEW FROM CARROLL AVE.

N. OF SITE



VIEW FROM CARROLL AVE.
S. OF SITE



VIEW OF NEW CONSTRUCTION
IN REAR ALLEY

Hamlet Place Rents Townhouses

Hamlet Place in Chevy Chase, Md., was opened last November, a group of 76 rental townhouses on Chevy Chase Lake Drive between Connecticut Avenue and Rock Creek Park.

Obviously, the location on a dead-end street is one which would be hard to duplicate in the market for new housing. Designed by Bagley & Soule in Georgian style, the homes feature underground utility wires, parklike landscaping, a

guarded gatehouse and illuminated driveways and parking areas.

The three models have two to four bedrooms, two and three baths, vinyl-tiled entrance foyers, enclosed patios with sliding glass doors and finished recreation rooms. The kitchens, with space for meals, are equipped with double self-cleaning ovens, disposers and dishwashers.

Heating and air conditioning are electrical. The laundry

and utility area is in the basement. Rents, including utilities, range from \$325 to \$580 per month.

Meadowbrook, Inc., builder of the Fall Festival Preview of '67 Homes community and rental agent as well, is headed by Monroe Warren, a Washington building pioneer. One of the founders of the Home Builders Association of Metropolitan Washington—then known as the Operative Builders Association of Wash-

ington—he served several terms as its president.

He also was the first developer in the area to build an FHA-insured project, Fairlawn Village near Anacostia Park, in the 1930s. For two years he was reputed to be the nation's leading home builder, but "an unwillingness to 'let the job run me'" has resulted in a more relaxed pace in recent years.

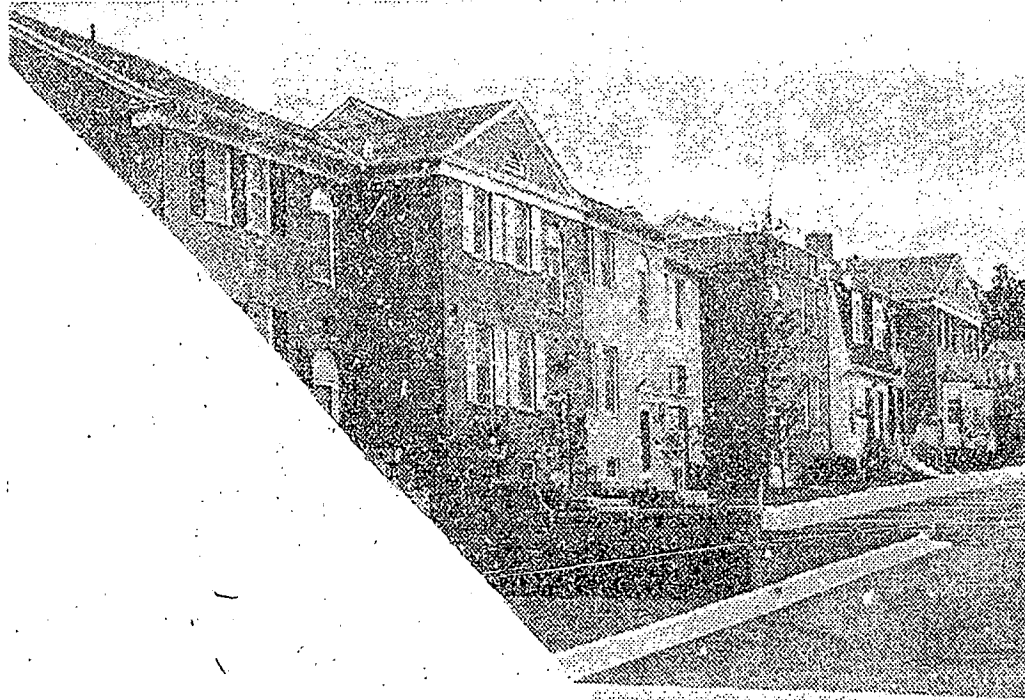
One of his associates in Meadowbrook is his brother Hugh. The construction superintendent, Paul Fox, is a grandson of J. E. Fox, who held the same post with Warren's uncle, John L. Warren. It was the latter who gave his nephew a start by letting him "swing a few deals" while at the University of Virginia, and then took him into his firm in 1919 after "Mon" was mustered out of the Army.

Previous projects of Monroe Warren include Woodley Gardens, Preston Place Townhouses, Chevy Chase Lake Apartments, Woodley Hill, Rockcrest, Landover Hills, Arlington Forest, the Kennedy-Warren, Tilden Gardens, 2540 Massachusetts Ave. NW and 1661 Crescent Place NW.

Directions for reaching Hamlet Place, as provided by the builder, are:

"Drive out Connecticut Avenue past the Columbia Country Club to Chevy Chase Lake Drive and turn right to the townhouses. Or, from the Capital Beltway, go south on Connecticut and turn left on Chevy Chase Lake Drive."

For an approximate location of Hamlet Place with respect to the Washington area, see No. 40 on the Fall Festival map.



Units of five to eight on Chevy Chase Lake Drive and Rock Creek Park,

4
48
240
48
720



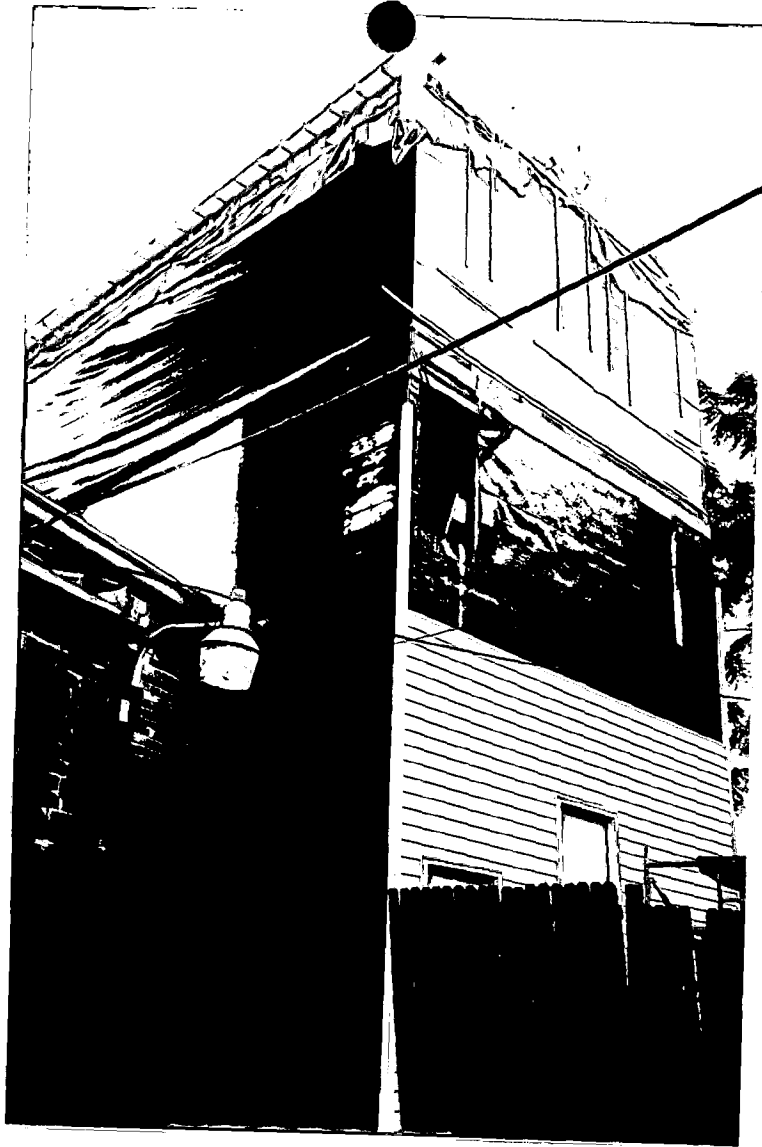


VIEW FROM REAR ALLEY,
LOOKING DOWN SIDE
ALLEY TOWARDS CARROLL
AVENUE.



REAR
OF
BUILDING

@PJL RDYMSG DISPLAY = "Wordperfect Job"
@PJL SET RESOLUTION = 600
@PJL ENTER LANGUAGE = PCL

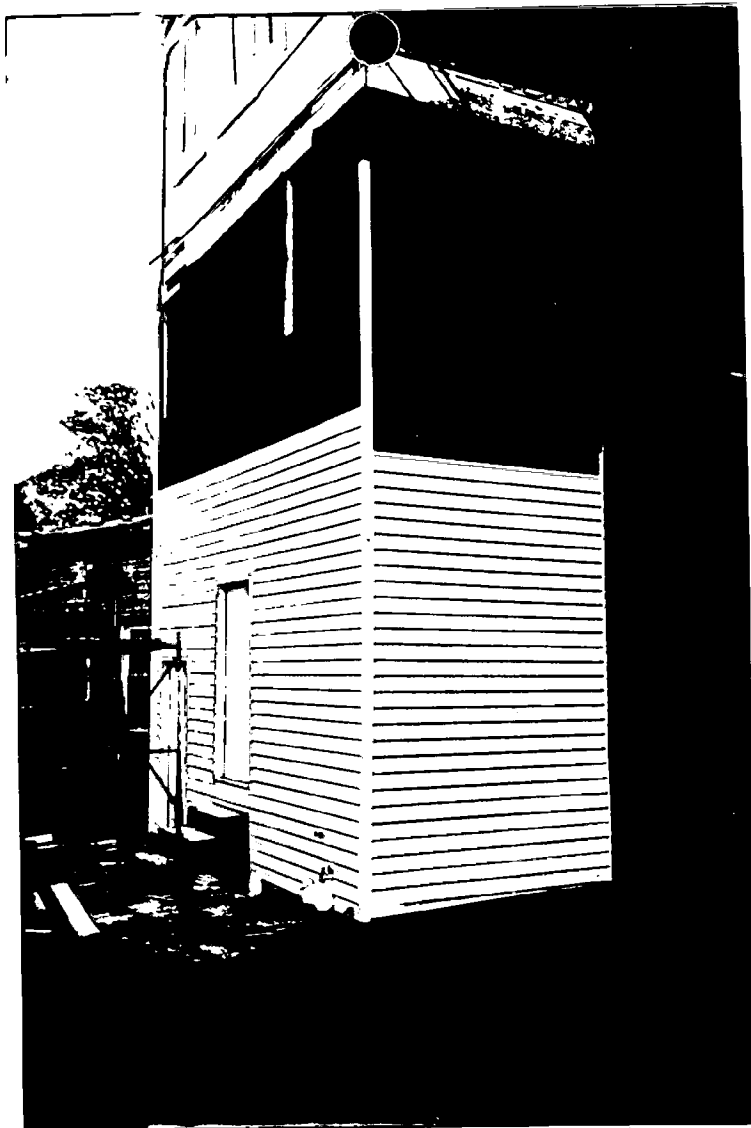


REAR ADDITION/
RENOVATION



VIEW
FROM
ACROSS
CARROLL
AVENUE.

@PJL RDYMSG DISPLAY = "WordPerfect Job"
@PJL SET RESOLUTION = 600
@PJL ENTER LANGUAGE = PCL



NEW CONSTRUCTION



NOTE ORIGINAL
METAL
SIDING
STILL IN
PLACE.

CHEVY CHASE, MARYLAND SURVEY DISTRICT

SURVEY REPORT: PHASE TWO

GWEN WRIGHT
Historic Preservation Coordinator

WILLIAM B. BUSHONG
Historic Preservation Planner

CLARE LISE CAVICCHI
Historic Preservation Planner

7202 Maple Avenue, Arthur Heaton, architect 1930.
Prints and Photographs Division, Library of Congress.

JUNE 1997

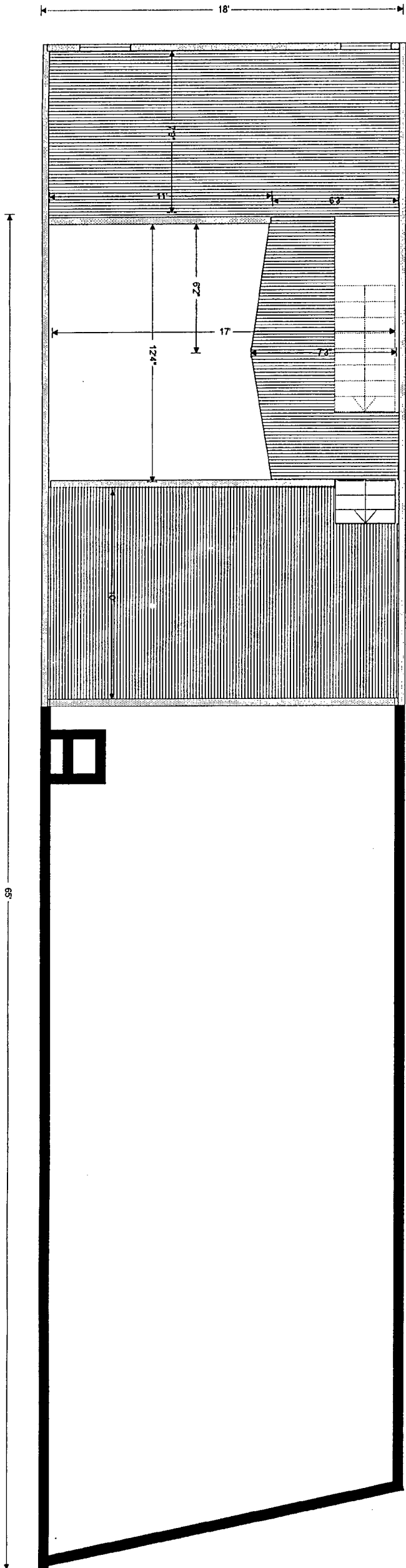
MONTGOMERY COUNTY

HISTORIC PRESERVATION COMMISSION

7318 Carroll Ave
Takoma Park
July 1997



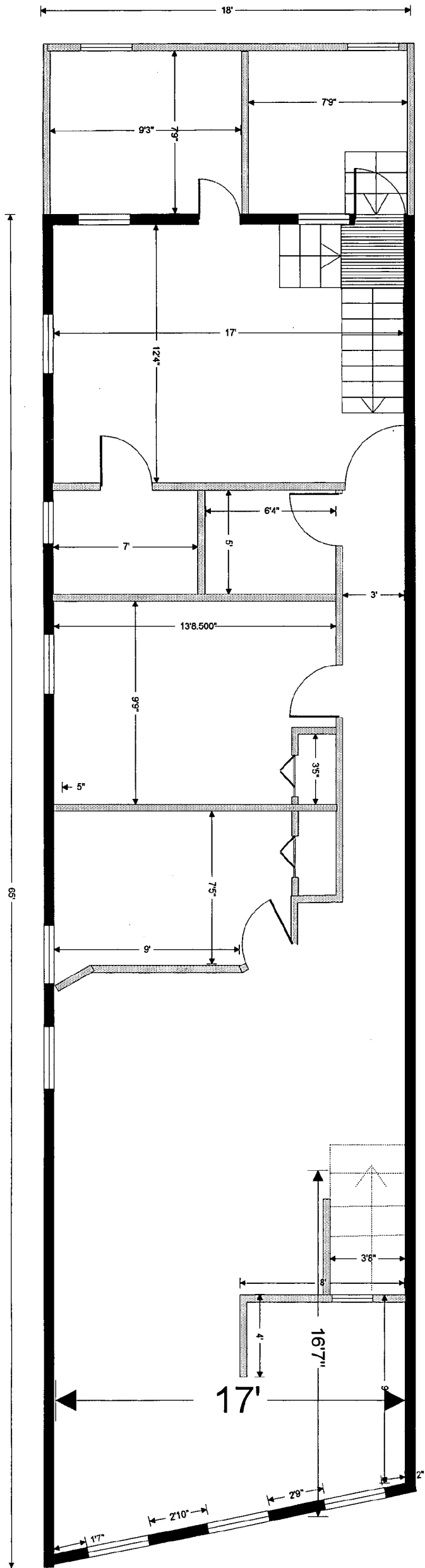
Drawings to be
revised to reflect
removal of 3rd fl.
7.10.97



} 3rd FL.

} OPEN TO 2nd FL BELOW.

} 3rd FL



EXISTING 2nd FL.

A = 3" PVC Pipe

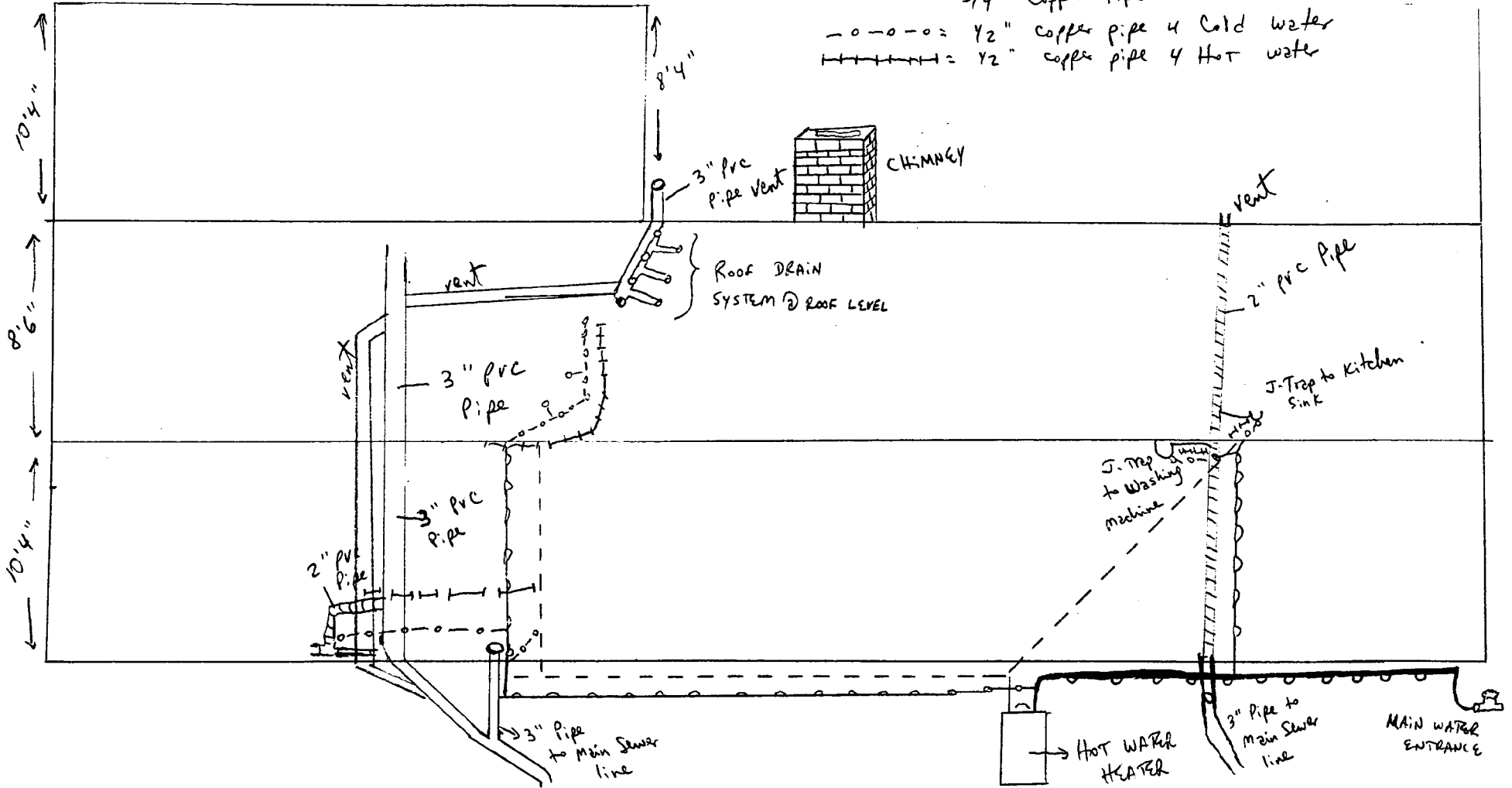
B = 2" PVC Pipe

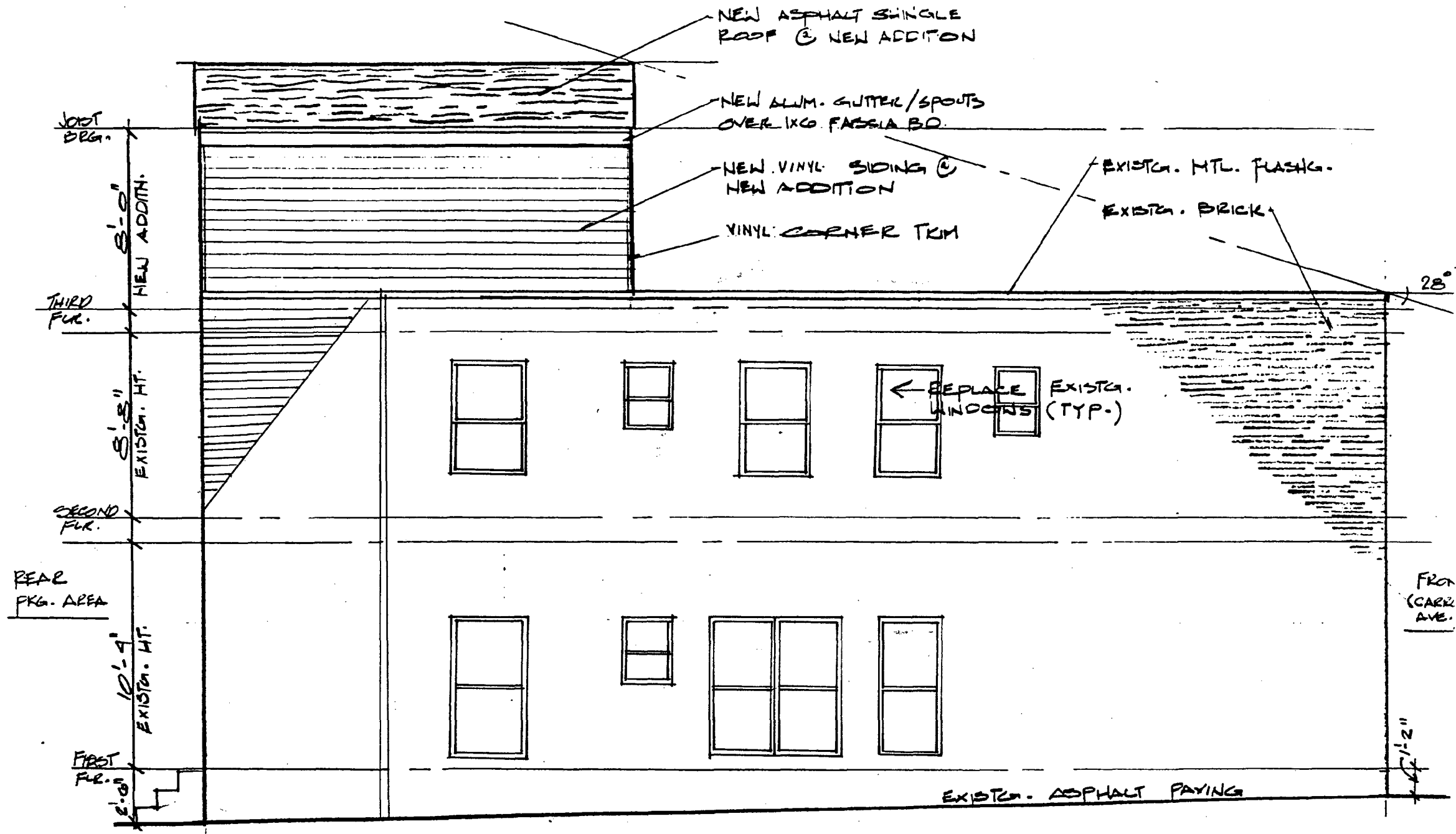
--- = 3/4" Copper Pipe 4 COLD WATER

----- = 3/4" Copper Pipe 4 HOT WATER

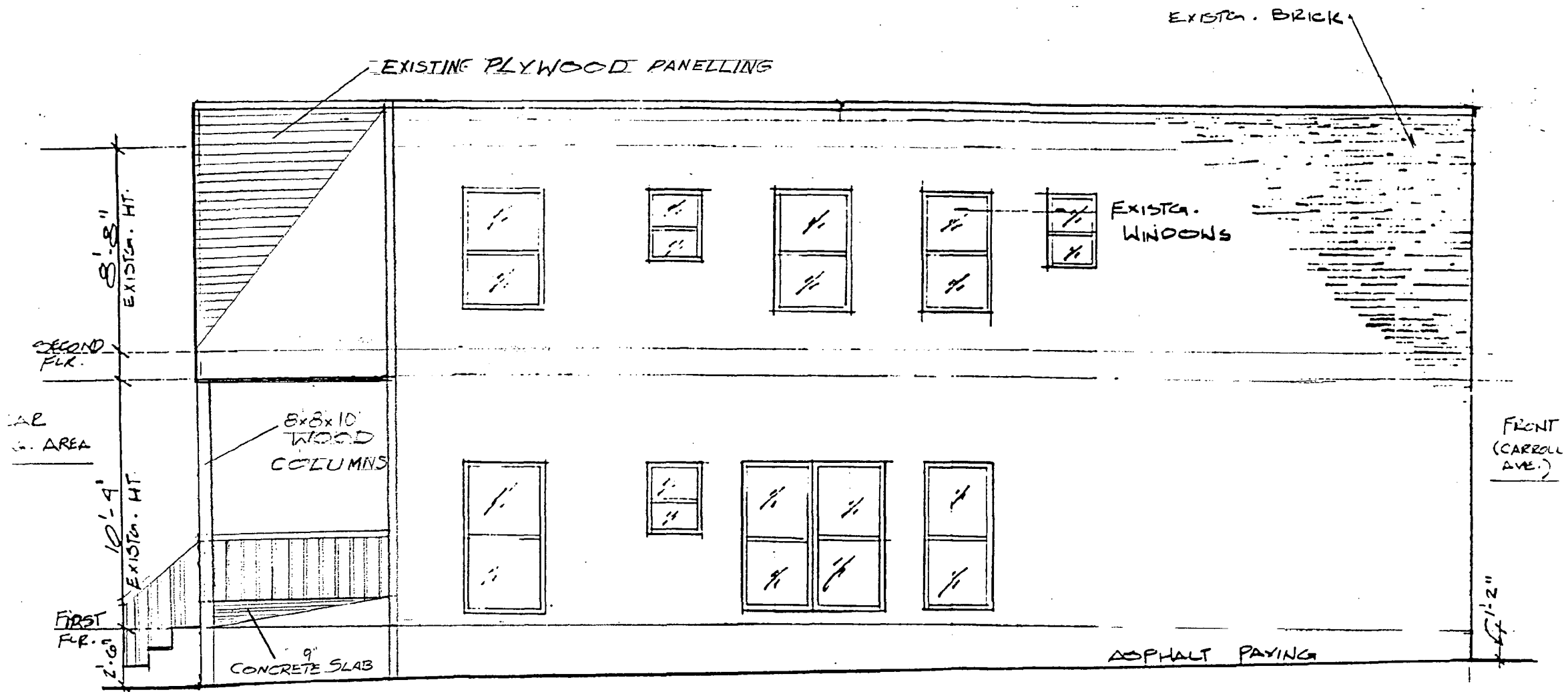
-o-o-o- = 1/2" copper pipe 4 Cold water

++++ = 1/2" copper pipe 4 Hot water

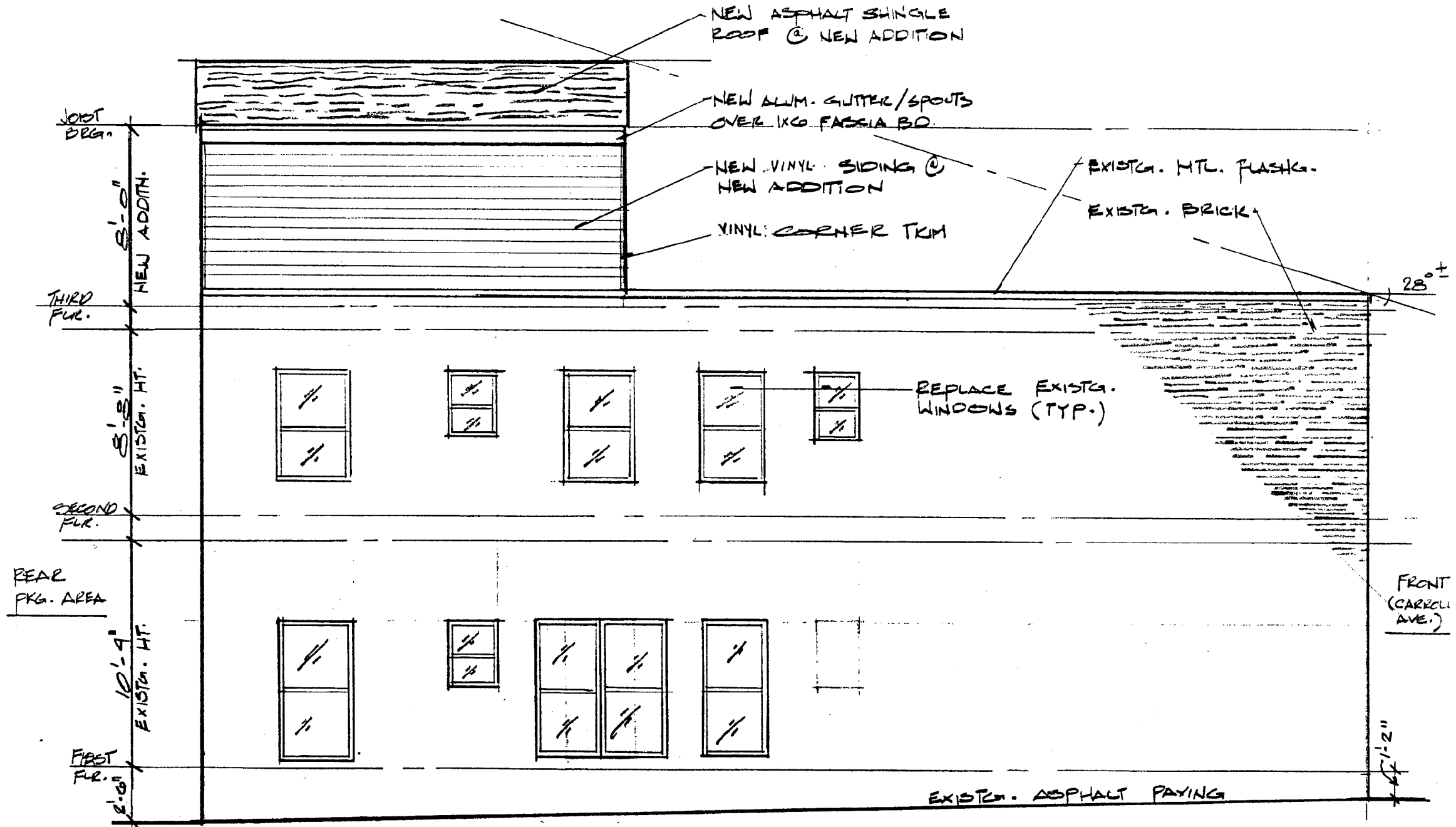




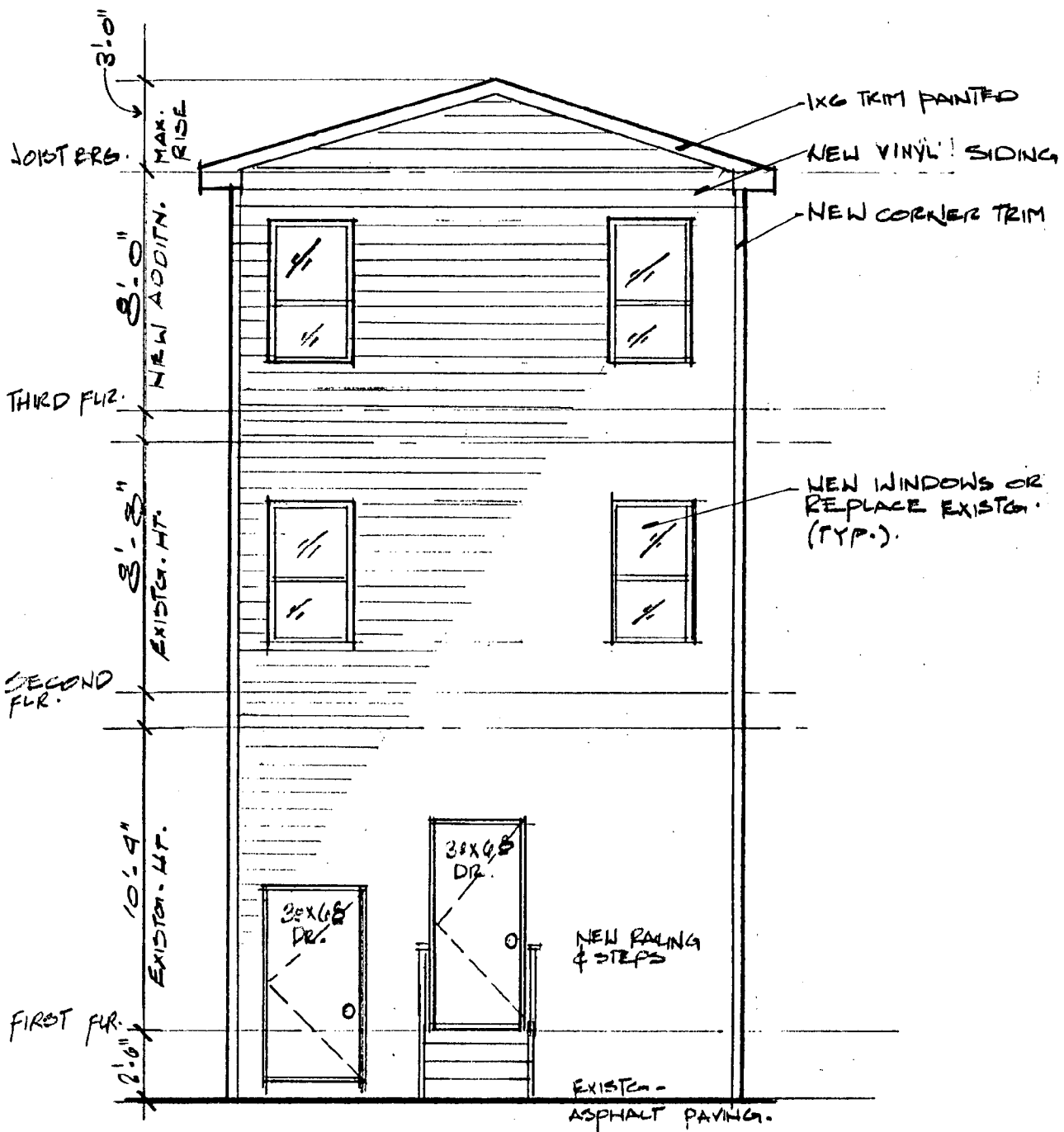
PROPOSED SIDE ELEVATION
 1/4" = 1'-0" 7314-18 CARROLL AVE. TAKOMA PK., MD.



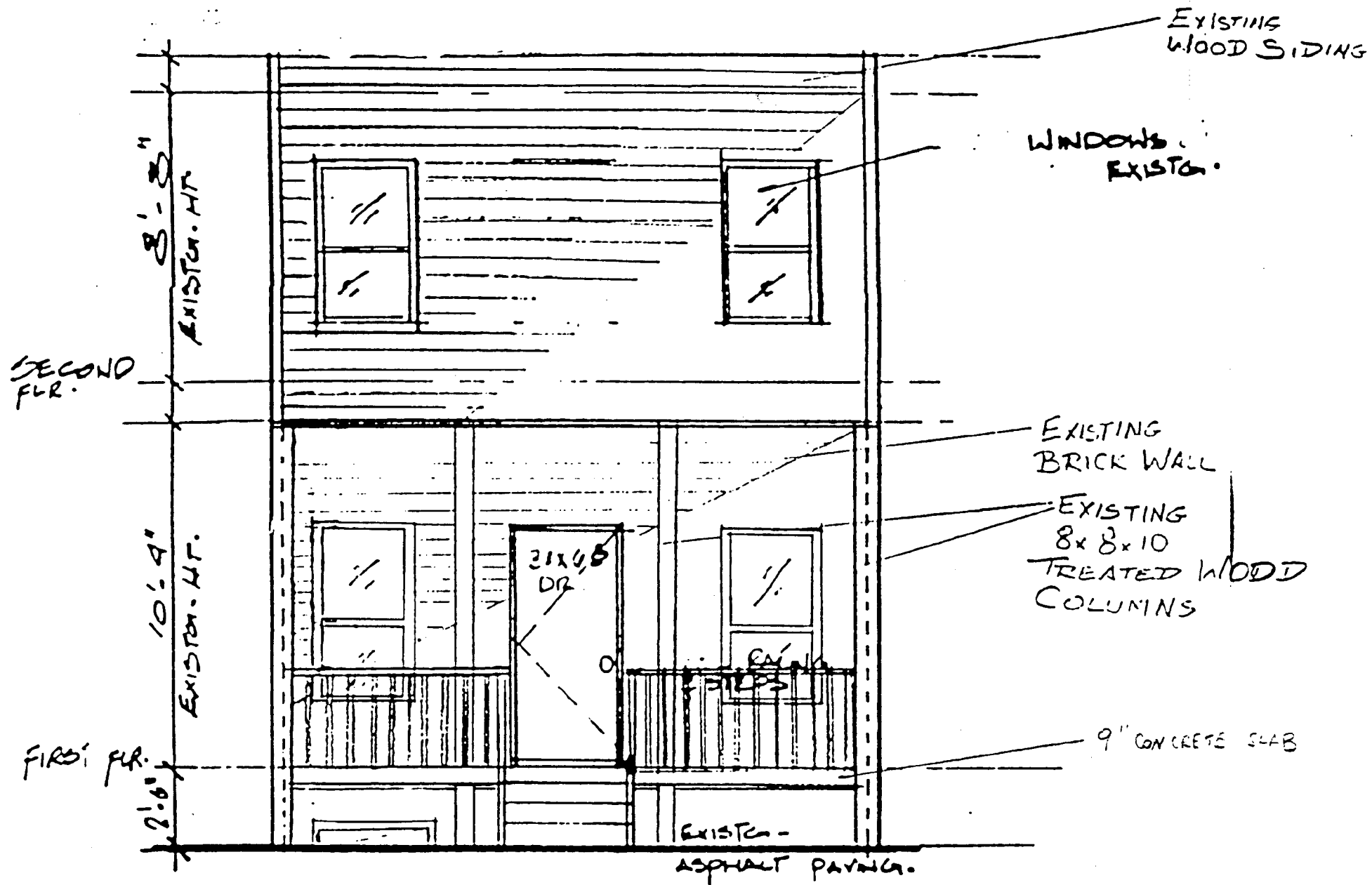
EXISTING SIDE ELEVATION
 1/4" = 1'-0" 7314-12 CARROLL AVE. TAKOMA PARK, MD



PROPOSED SIDE ELEVATION
 1/4" = 1'-0" 7314 CARROLL AVE. TAKOMA PK., MD.

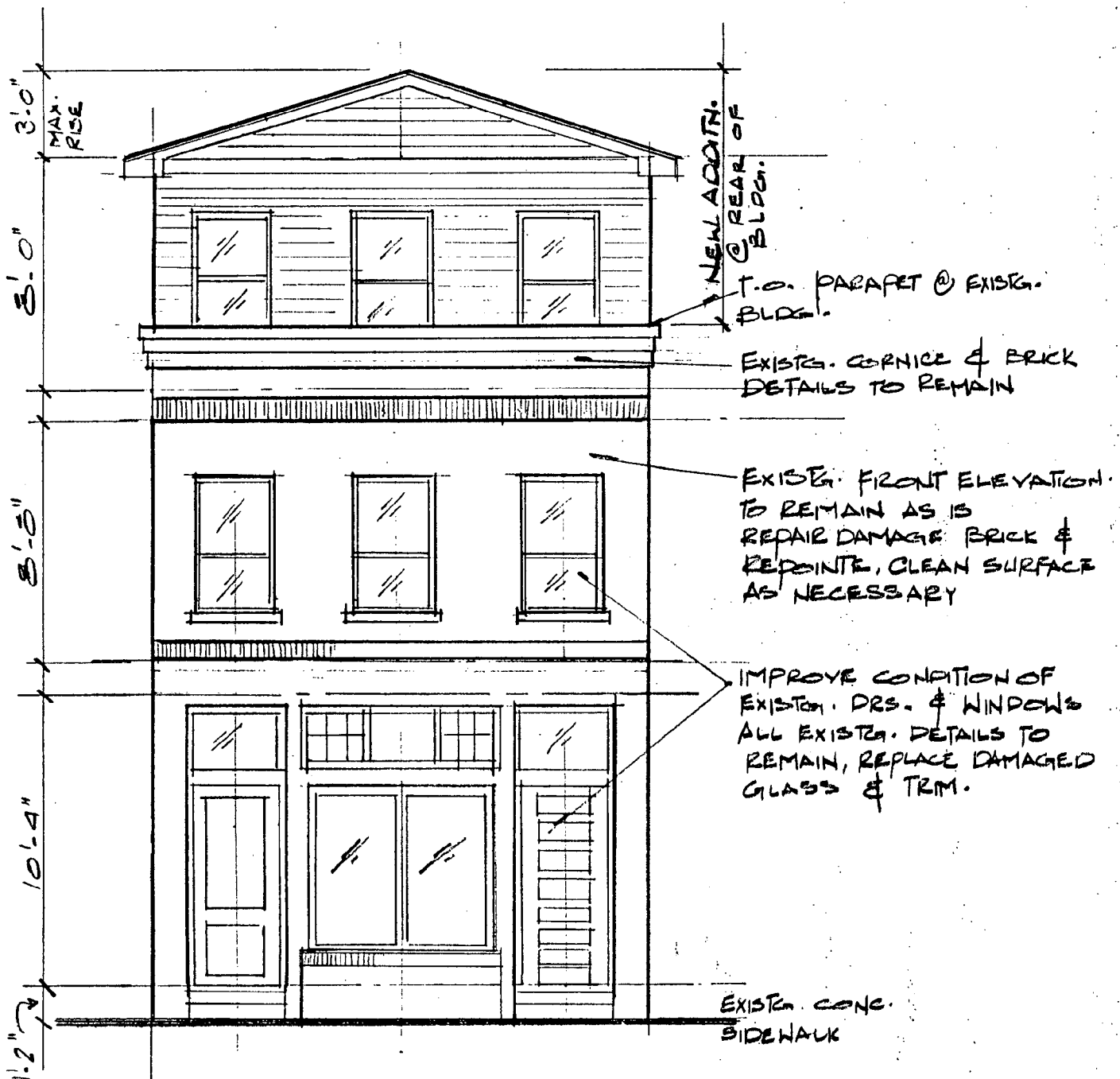


PROPOSED REAR ELEVATION
 1/4" = 1'-0" 7316 CARROL AVE. TAKOMA PK., MD.

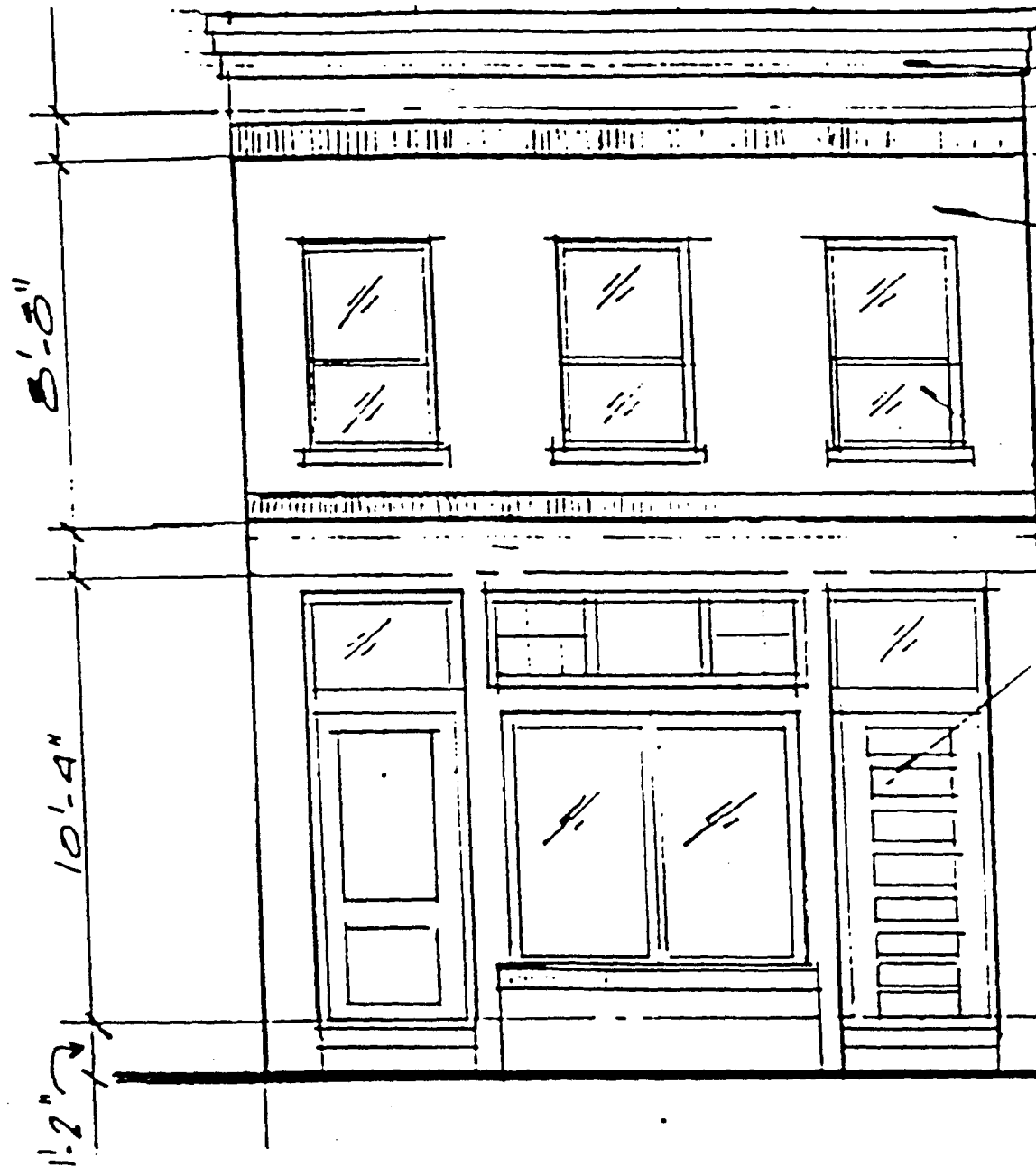


EXISTING REAR ELEVATION

1/4" = 1'-0" 73K CARROL AVE. TAKOMA PK., MD.



PROPOSED FRONT ELEVATION
 1/4" = 1'-0" 734 CARROLL AVE. TAKOMA PK., MD.



EXISTG. CORNICE & BRICK
DETAILS TO REMAIN

EXISTG. FRONT ELEVATION
TO REMAIN AS IS
REPAIR DAMAGE BRICK &
REPOINT. CLEAN SURFACE
AS NECESSARY

IMPROVE CONDITION OF
EXISTG. DR. & WINDOWS
ALL EXISTG. DETAILS TO
REMAIN, REPLACE DAMAGED
GLASS & TRM.

EXISTG. CONC.
SIDEWALK

EXISTING FRONT ELEVATION

1/4" = 1'-0" 7316 CARROLL AVE. TAKOMA PK., MD.

D.C. Court Affirms Denial of Application for Rear Rooftop Addition

The District of Columbia Court of Appeals has affirmed the denial of an application to construct a third floor deck and roof top addition to a townhouse in the Dupont Circle Historic District, upholding the District of Columbia's determination that the proposed changes were not consistent with its historic preservation law. Among other things, the court found that the Mayor's Agent had not erred in concluding that, under D.C. law, the applicant must establish that the proposed changes are consistent with not just the frontal view, but "all vistas it effects."

The court's ruling underscores the high level of deference generally accorded to administrative agencies in applying historic preservation laws to particular cases. Preservation commission or review board decisions are generally upheld unless the findings of fact are not supported by "substantial evidence" and the conclusions of law do not "flow rationally" from those findings. The decision also highlights that requirements of general compatibility can

rationally be interpreted to require compatibility with all viewpoints within a historic district, not just with the street on which the structure abuts. [Reneau v. District of Columbia, 475 A.2d 913 (D.C. App. 1996).]

Paul Reneau purchased a three-story townhouse in the Dupont Circle Historic District, and hired architects and contractors to convert the single-family townhouse into condominiums. Three months later, a stop work order was issued for failure to obtain necessary permits as required under several laws, including the District's "Historic Landmark and Historic District Protection Act."

In response, Mr. Reneau initiated the process for review by the Historic Preservation Review Board (the "HPRB"). He simultaneously submitted two applications, both of which the HPRB rejected while providing recommendations for modifications that would reduce the visibility and intrusion of a fourth floor roof top addition "as perceived from the front facade." Other proposed changes, including the construction of rear decks, were found consistent with the Act and upheld.

Mr. Reneau subsequently presented the HPRB with a new appli-

cation, which included plans to modify the proposed rooftop addition. Upon consideration of staff comments, however, Mr. Reneau withdrew his rooftop proposal from consideration and instead requested consideration of a rear deck. Upon review of the evidence, the HPRB voted to deny the rear deck and sent official notification to Mr. Reneau that his applications for the roof top addition and proposed rear deck had not been approved.

Mr. Reneau, accordingly, appealed the HPRB's decision to the Mayor's Agent. After holding a public hearing on the matter and considering all the evidence, the Mayor's Agent denied the permit and dismissed the application with prejudice. The agent found that the property owner had failed to establish that the proposed additions were either compatible with the historic district or necessary to "encourage their adaptation for use."

In making its finding of facts and conclusions of law, the Mayor's Agent noted that no permit could be issued under D.C. law unless the addition was "compatible with the historic district." In considering the meaning of this requirement, the agent determined that "the test of compatibility must be measured not just from the view immediately in front of a structure but from the entire historic district." The agent also stressed that while "the character in some neighborhoods may be affected by a change in visibility

from directly across the front facades," the "neighbors of this community, as well as presumably the majority of most Historic neighborhoods, are concerned about their views from all streets."

The Court's Decision. The D.C. Court of Appeals upheld the Mayor's Agent decision, finding that it was "supported by substantial evidence in the record considered as a whole" and that its conclusions of law "flow[ed] rationally" from those findings. In reaching its decision, the court observed that "[a]lthough the decision is not a model of clarity,

"[A]lthough the decision is not a model of clarity, a close reading reveals that it contains a cogent analysis of the record evidence, flows rationally from the findings of fact, and contains no erroneous interpretations of law."

a close reading reveals that it contains a cogent analysis of the record evidence, flows rationally from the findings of fact, and contains no erroneous interpretations of law." According to the court, the agent's findings were supported by "substantial record evidence."

Notably, in upholding the Mayor's Agent's decision, the court rejected a separate argument raised by Mr. Reneau that the agent had erred "because he had failed to state why he [rejected] the contradicted expert testimony offered [on Mr. Reneau's behalf at the hearing]." The court, however, dismissed this claim, noting that the agent was only required to give some indication as to why he rejected expert testimony and he met that requirement. According to the court, the agent had properly noted that the applicant's expert failed to indicate which of the additions she

testified about had been added before the area had been designated as a historic district and her testimony "did not focus on the impact of the proposed additions on the vistas being 'affected' in the area."

Finally, the court determined that the Mayor's Agent had not committed error as a matter of law by improperly construing one of the purposes of the Act. Under the court's analysis, "no grounds for setting aside his decision" existed, since the Mayor's Agent determined both that the owner was required to prove under the Act that the proposed additions were compatible with the character of the historic district and that Mr. Reneau had failed to meet his burden of proof. The court also determined that the Agent's apparent combining of two different but related statutory provisions, by its statement that the owner had failed "to show that the proposed changes were necessary to 'encourage their adaptation for use,'" could not be said to be "unreasonable under the circumstances here."

Accordingly, the court affirmed the Mayor's Agent's decision, finding that substantial evidence in the record supported his decision and the Agent's interpretation of the District's preservation law was "reasonable." In closing, the court stressed that it must "be particularly deferential to the agency's determination where the decision lies within the agency's expertise."

Analysis. The decision of the District of Columbia Court of Appeals in *Reneau v. District of Columbia* is important in two respects. First, it underscores the degree of deference generally accorded to preservation commissions

and review boards in ruling on applications to alter or add on to properties in historic districts. Second, the decision recognizes that in preserving the character of the historic district, it is important to consider all views within that district. In other words, the court's decision provides important guidance on the application of compatibility requirements in historic preservation ordinances to *all* facades, not just those facades visible from the street on which the structure abuts.

[Richard W. Luchs, Esq. of Washington, D.C. and Jacques B. DePuy, Esq. represented Paul Reneau. Charles F.C. Ruff, Corporation Counsel, and Charles L. Reischel, Deputy Corporation Counsel, represented the District of Columbia. Richard A. Friedman, Esq. of Washington, D.C. represented the Dupont Circle Conservancy, Inc., who intervened in support of the District in this case.]