

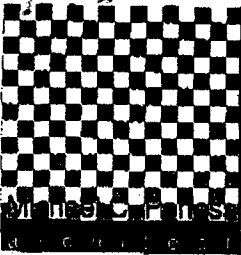
37/3-98L 7325 Baltimore Avenue
(Takoma Park Historic District)



Michael C. Pones, AIA
Design Principal

® - ®

Walton • Madden • Cooper • Robinson • Pones Inc
8100 Professional Place Landover Maryland 20785 (301) 459-9500 FAX (301) 459-2639



7208 willow avenue
takoma park, maryland
2 0 9 1 2

Transmittal

7325 Belt. Ave

37/3-98L

To: ROBIN ZIEK

From: MIKE FINESS

Project: GINSBERG/ANDERSON RESIDENCE

File:

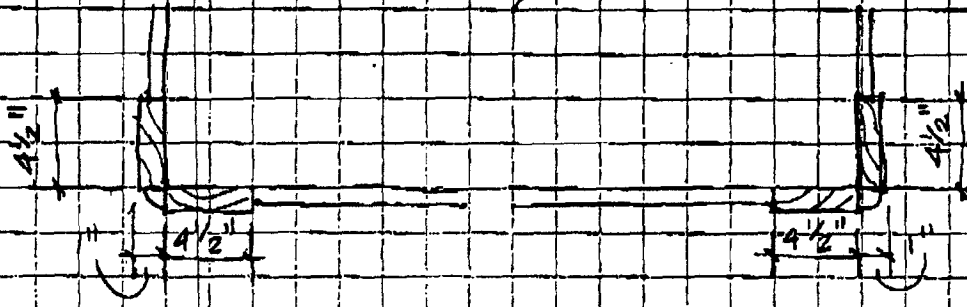
Number of Pages (Inclusive):
2

Date: 4-10-98 - SKETCH OF CORNER CONDITION
AT INTERSECTION OF NEW
ADDITION TO OLD HOUSE

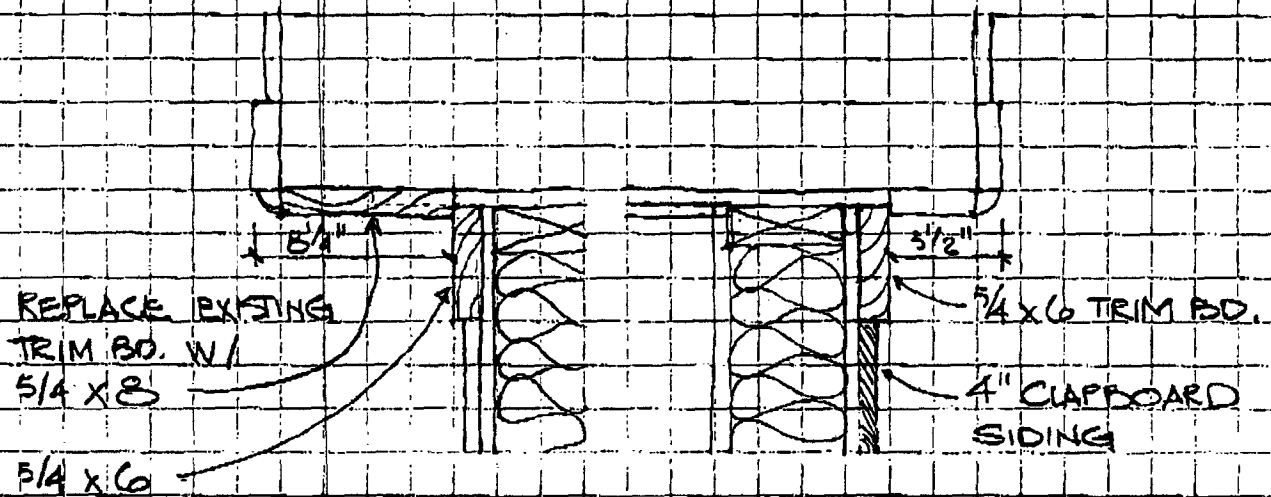
Message: ROBIN - THE DETAILS SHOW THE
CURRENT (EXISTING) CONDITION AND
THE PROPOSED NEW DETAIL.

PLEASE LET ME KNOW IF THIS LOOKS
O.K.

"Looks OK"
Robm
4-20-98



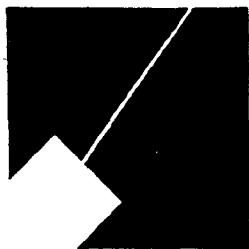
EXISTING CONDITION



PROPOSED DETAIL

GINSBERG/ANDERSEN RESIDENCE
TACOMA PARK
4-10-98

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 3/25/98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *GW*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

 Approved Denied

Approved with Conditions: _____

(1) The replacement windows + doors will not utilize snap-in grills.

(2) Applicant to provide permit set to APC staff for review + stamping prior to applying to DPS for building permit.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Mark Gonsberg & Elaine Anderson

Address: 7325 Baltimore Avenue, Takoma Park, MD 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RE: TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: ELAINE ANDERSON
Daytime Phone No.: 301-587-4055 (H)

Tax Account No.: 1074701
Name of Property Owner: MARK GINSBERG (ELAINE ANDERSON) Daytime Phone No.: 410-516-0289
Address: 7325 BALTIMORE AVE TAKOMA PARK MD 20912
Street Number City State Zip Code
Contractor: N/A Phone No.: N/A
Contractor Registration No.: N/A
Agent for Owner: MICHAEL C POWESS, AIA Daytime Phone No.: 301-459-9500

LOCATION OF BUILDING/PREMISE

House Number: 7325 Street BALTIMORE AVE
Town/City: TAKOMA PARK Nearest Cross Street: ALBANY
Lot: 9A Block: 7B Subdivision: TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 75,000
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael C Powess, AIA 2/28/98
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 3/25/98
Application/Permit No.: 98030406 Date Filed: 3-4-98 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

37/3-98L

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 3/26/98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator ^{PD2}
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7325 Baltimore Avenue Meeting Date: 3/25/98
Resource: Takoma Park Historic District Review: HAWP
Case Number: 37/3-98L Tax Credit: No
Public Notice: 3/11/98 Report Date: 3/18/98
Applicant: Mark Ginsberg & Elaine Anderson Staff: Robin D. Ziek
PROPOSAL: Rear Addition RECOMMENDATIONS: APPROVAL
w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Contributing Resource in the Takoma Park Historic District

STYLE: Victorian Vernacular

DATE: c1906

The subject property is a 2-1/2 story front-gable structure with wood siding. It has a prominent wrap-around front porch with turned columns, and a steeply pitched roof. At the rear, there have been two additions already built at some time in the past. The first was a 2-story addition with a shed roof which is 10' wide. This has provided kitchen space on the first floor, and a sleeping porch at the second floor. The second addition is a one-story screened porch with an open deck along the rear of the first addition (see photograph on Circle 25).

PROPOSAL

The applicant proposes to remove the existing screened porch and deck at the rear of the house, and construct a new addition in that same location. A new deck to the rear of the new addition, and a new patio space on the south side, would also be built (see Circle 13).

The new addition is a modern work designed to fit the owner's program for a Great Room. It will provide an opportunity for storage and closets in the existing 10' addition with the introduction of a new side entrance. The Great Room addition will include space for a new kitchen, a family room area, and a dining area. There will be a loggia mediating between the Great Room and the new deck. The massing of the new addition is essentially a complex shed roof with a corner tower. The existing second-story sleeping porch is currently unheated, and will become an interior overlook in the new addition. The existing windows will be removed, leaving cased openings.

①

The proposal would include only a few visible changes on the original structure with its existing addition: two new double-hung windows in the rear gable end, and a new doorway on the south elevation into the 10' wide section (see Circle 14).

The new addition would be offset from the existing house by 1' on the south side, and by 6" on the north side. The new addition would have a combination of siding including 4" painted clapboard or with a new wood-product material known as "prefinished werzalit siding" which would also have a 4" lap on the side elevations; and 4" vertical siding on the tower and rear elevation (see Circle 14).

STAFF DISCUSSION

This project proposes a bold new addition which utilizes a modern vocabulary rather than one that is replicative of the original structure. Such an approach is approvable by the HPC if the proposal is compatible in terms of massing, materials and scale. The Secretary of the Interior's Standards for Rehabilitation (#2, #9, #10) provides guidance for new additions in relation to the historic resources and the environmental setting, noting that the new work shall be differentiated from the old and be compatible with the massing, size, scale and architectural features...of the historic property (see Circle 7).

Further, the Takoma Park Guidelines for Contributing Resources notes that the design review emphasis will be restricted to changes that are at all visible from the public right-of-way. In addition, the Guidelines note that exterior alterations [to the original structure] should be generally consistent with the predominant architectural style..., but that additions should be compatible but are not required to be replicative of earlier architectural styles (p.16).

With that guidance in mind, staff feels that the proposed addition is suitably sited at the rear of the property, and that it defers to the original structure through the use of setbacks and massing. The roof form is bold, but will not be visible from the public right-of-way at all. The corner tower is the one feature of the massing which will be visible from the street, but it is at the rear of the addition and clearly stands apart from the original structure as something new.

The choice of materials seems compatible with the historic district. The proposal includes several options for both the vertical or horizontal siding. The choices include wood (4" clapboard, cedar, or porch ceiling soffit) or a wood-product substitute which utilizes a baked-on acrylic finish which is more durable than paint which is applied on-site. This new product approximates the look of wood with a dense substrate composed of wood and glue. In contrast to both vinyl or aluminum siding, this new product doesn't flex and performs in a manner similar to typical wood siding. It appears to be a good substitute material for such new construction.

The applicant proposes to use a vinyl- or aluminum-clad wood window (Anderson or similar) and door product. This seems appropriate in the new construction, but might raise some concern in the new windows proposed for the gable end in the original portion of the house, and the side door in the 10'-wide addition to the existing structure. Staff notes, however, that the proposed new windows in the rear gable will not be visible at all from the street, and the side door

will be barely visible from the street since it is towards the rear of the structure. With that in mind, staff feels that these proposed changes could also be approved.

Staff feels that the applicant is using quality materials in the new addition, and that changes to the existing structure are minimal. The proposed new addition will be painted, as is the existing structure. The south elevation of the existing house is marked by a side-gable offset where the front porch wraps around on this side. The additional expanse on this south elevation should be alleviated by the proposed setback for the new addition which will clearly demark the new and the existing structure.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

CONDITIONS:

1. The replacement windows and doors will not utilize snap-in grills.
2. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ELAINE ANDERSON
Daytime Phone No.: 301-587-4055 (H)

Tax Account No.: 1074701

Name of Property Owner: MARK GINSBERG, ELAINE ANDERSON Daytime Phone No.: 410-516-0289

Address: 7325 BALTIMORE AVE, TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: N/A Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: MICHAEL C POWESS, AIA Daytime Phone No.: 301-459-9500

LOCATION OF BUILDING/PREMISE

House Number: 7325 Street: BALTIMORE AVE ZIP CODE: 20912

Town/City: TAKOMA PARK Nearest Cross Street: ALBANY

Lot: 9A Block: 78 Subdivision: TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael C. Powess, AIA
Signature of owner or authorized agent

2/28/98
Date

Approved: _____ For Chairperson, Historic Preservation Commission

(4)



HISTORIC PRESERVATION COMMISSION

301432-4270

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED DESCRIPTION

HISTORIC AREA WORK PERMIT

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED DESCRIPTION

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

5

Ginsberg/Anderson Residence
Historic Area Work Permit Application

Contiguous Properties to Site

North of Site:

Stanley Reed and Joyce Branda - 7327 Baltimore Ave.
(301) 585-7105

South of Site:

Scott Busby and Anne Glusker - 7319 Baltimore Ave.
(202) 544-0481

West of Site:

Robert Rini and Lori Klein-Rini - 7322 Baltimore Ave.
(301) 589-2163

East of Site :

David and Vicki Walker - 7328 Piney Branch Rd.
(301) 585-1691

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing standards for all national preservation programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed or eligible for listing in the National Register of Historic Places.

The Standards for Rehabilitation, a section of the Secretary's Standards for Historic Preservation Projects, address the most prevalent preservation treatment today: rehabilitation. Rehabilitation is defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

The Standards that follow were originally published in 1977 and revised in 1990 as part of Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). They pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Ginsberg/Anderson Residence
Historic Area Work Permit Application

Description of existing structure

This single family residence located at 3825 Baltimore Avenue, Takoma Park, was constructed circa 1906 and has been identified as a category 2 resource. The house has many of the qualities of Victorian Revival and Farmhouse Colonial structures of the period including front facing gable, wrap-around porch, clapboard siding, double-hung windows, steep pitched shingle roof. It does not possess the more elaborate detailing of some Stick-Style, Carpenter Gothic or Victorian Queen Anne style homes found in the broader Historic District.

The wrap-around porch, front door placement, and side dormer presents an asymmetrical facade to the street. The original house was added to probably in the 30's or 40's. This 10' deep addition runs the full width of the house and. It contains a kitchen (modernized in the early 70's) and a sleeping porch on the second floor (weatherized but not heated in the 80's) A screened porch and deck were added to rear in the late 80's.

The neighboring houses that establish the fabric of the historic district are representative of the eclectic mix of styles found throughout Takoma Park. Immediately to the north is a contemporary style house with stained siding. Next to that is a one story brick structure that is hard to categorize and was probably an in-fill lot. The house to the immediate south continues in the same vein as the subject property as do many of the houses across the street.

Ginsberg/Anderson Residence
Historic Area Work Permit Application

Description of proposed addition

The proposed addition to the rear of the house is a contemporary design solution to a modern program, that of a family room/kitchen or "great room". As the largest room in the house this addition (approximately 25' x 16') is given spatial and architectural expression appropriate to its function.

The addition is set off from the main structure as much as practicable by setting back the side walls (1' on the south side and 6" on the north side). This clearly maintains the reading of the corners of the shed addition which itself is flush with the original structure. These wall setbacks were carefully considered after an initial meeting with HPC staff and further study of constraints of the existing structure such as the location of second floor windows and the desire to align the doorway to the new kitchen with the existing doorway of the dining room. The second floor windows will be removed, replaced by trimmed out cased openings overlooking the second floor.

Although contemporary in style there are many features in the design that make the proposed addition compatible with the existing structure:

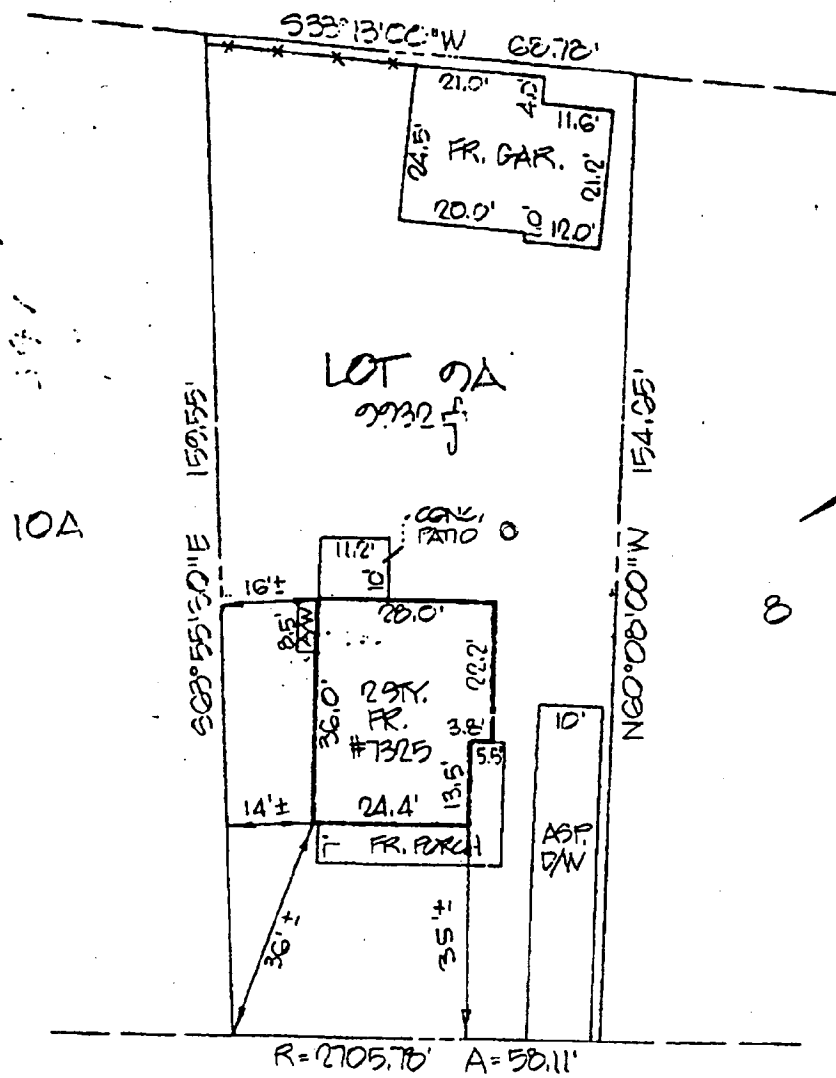
1. The north and south side walls are set in from the existing house clearly marking new from old.
2. The south wall is a simple facade composed largely of clapboard siding and windows proportioned to be similar to those found elsewhere on the existing house.
3. The north wall is a simple shed roof profile not that different from the screened porch that exist today.
4. A corner tower element capped with a standing seam metal roof is a reference to a typical Victorian device or element. The design of the tower updates this notion by engaging the south facade. It will be finished with a vertical siding.

5. A raised walkway runs along the north elevation to connect to a new deck. The railing along this walkway will match the one found on the front porch.

In support of the criteria "that the proposal would not substantially alter the exterior of the historic site" the following factors are noted:

1. The addition is at the rear of existing house.
2. Due to the mature trees and shrubs to be retained the view of the new work from the street will be minimized and certainly fleeting.
3. The larger scaled window openings are located at the rear (east) facade, impossible to view from the street.
4. The proposed addition replaces an existing screened porch that projects from the house approximately the same distance.

The application also includes a new rear deck or porch and a side patio. The project entails the removal of the current screened porch, deck and a 12" caliper wild cherry tree located within the proposed construction area.



BALTIMORE AVENUE

BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

LOCATION OF HOUSE
 LOT 9A BLOCK 7B
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

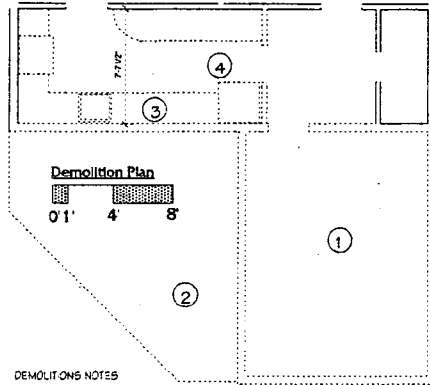
H.U.D. FLOOD PANEL NOT AVAILABLE

SURVEYOR'S CERTIFICATE THE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND DIMENSIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.	REFERENCES PLAT BK. 47 PLAT NO. 3543	SNIDER, BLANCHARD, LAUGHLAND & TACIK, INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 341 W. Patrick Street Frederick, MD 21701 (301) 694-1544	
	LIBER FOLIO	DATE OF LOCATIONS WALL CHECK: HSE. LOC: 10-17-87 DRAWN BY: BLF	SCALE: 1" = 30' JOB NO.: 87-3978

[Signature]
 REGISTERED LAND SURVEYOR MD # 01164

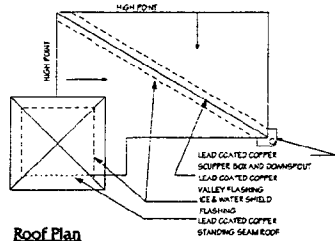
EXISTING PLAT

(11)

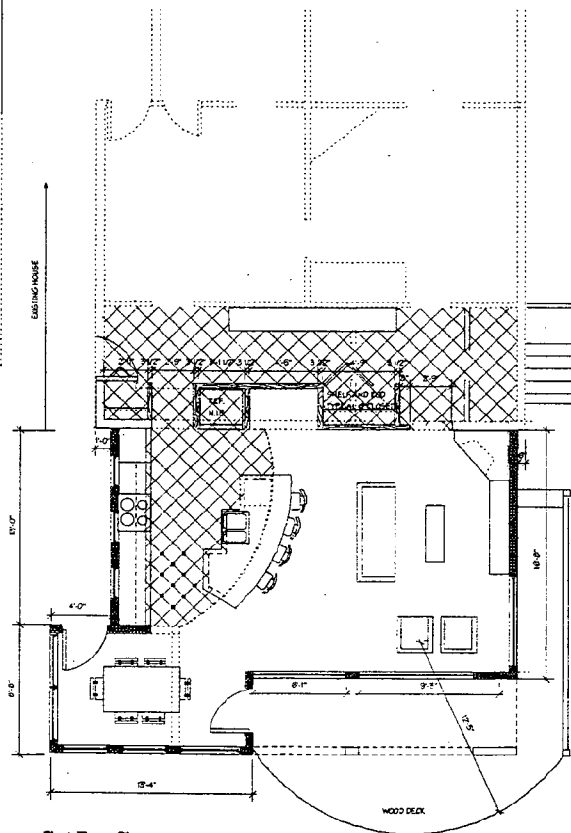


DEMOLITIONS NOTES

1. REMOVE EXISTING SCREEN PORCH INCLUDING FOUNDATION. SALVAGE FLOOR FRAMING FOR REUSE IN NEW DECK.
2. REMOVE EXISTING DECK. SALVAGE MATERIAL FOR REUSE IN NEW DECK.
3. REMOVE EXISTING KITCHEN APPLIANCES, COUNTERTOPS, CABINETS. RE-INSTALL DISHWASHER AND REFRIGERATOR.
4. REMOVE EXISTING PARTITIONS, CEILING, WIRING, PIPING FINISHES, DEVICES TO ACCOMMODATE NEW WORK.



Roof Plan
0' 1' 8' 16'



First Floor Plan
0' 1' 4' 8'



7208 WILLOW AVENUE
TAROMA PARK, MARYLAND
20912

**GINSBERG/ANDERSON
RESIDENCE**

OWNER:
MR. & MRS. MARK GINSBERG
1325 BALTIMORE AVENUE
TAROMA PARK, MARYLAND
20912

DRWO. TITLE

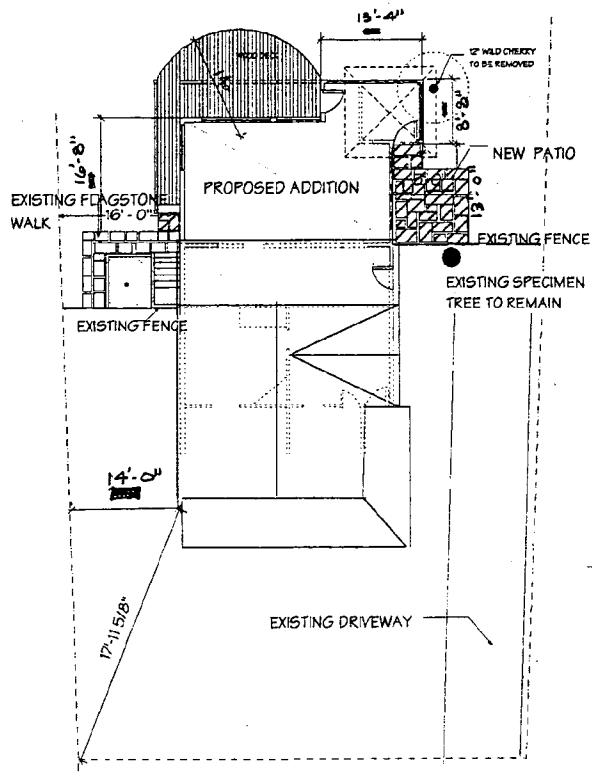
DATE

REVISIONS

DRWO. NO.

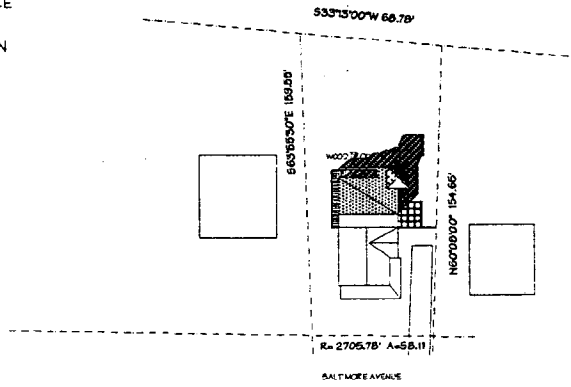
A-1

12



Detail Site Plan

BY: [Signature]
01' 8" 16'



Overall Site Plan
NOT TO SCALE



7208 Willow Avenue
Towson Park, Maryland
21091-2

GINSBURG/ANDERSON
RESIDENCE

OWNER:
MR. & MRS. MARK GINSBURG
7325 BALTIMORE AVENUE
TOWSON PARK, MARYLAND
21012

DATE/TITLE

DATE

REVISIONS

DATE/NO.

SP-1

PROPOSED SITE PLAN

13

choices {

NEW WINDOWS

STANDING SEAM METAL ROOF

4" VERTICAL SIDING

-PAINTED T & G CEDAR

-PAINTED T & G PORCH CEILING SOFFIT

-WERZALIT VERTICAL SIDING

CLAD WOOD DOUBLE HUNG AND FIXED SASH WINDOWS

ASPHALT SHINGLE ROOF TO MATCH EXISTING

CLAD WOOD SLIDING GLASS DOORS

East Elevation

0' 1' 4' 8'

choices {

4" PAINTED CLAPBOARD SIDING OR PREFINISHED WERZALIT SIDING

EXISTING HOUSE
1X4 TRIM @ NEW DOOR

South Elevation

0' 1' 4' 8'

North Elevation

0' 1' 4' 8'



7200 Willow Avenue
Takoma Park, Maryland
20912

GINSBERG/ANDERSON
RESIDENCE

OWNER:
MR. & MRS. MARK GINSBERG
7325 BALTIMORE AVENUE
TAKOMA PARK, MARYLAND
20912

DRWG. TITLE

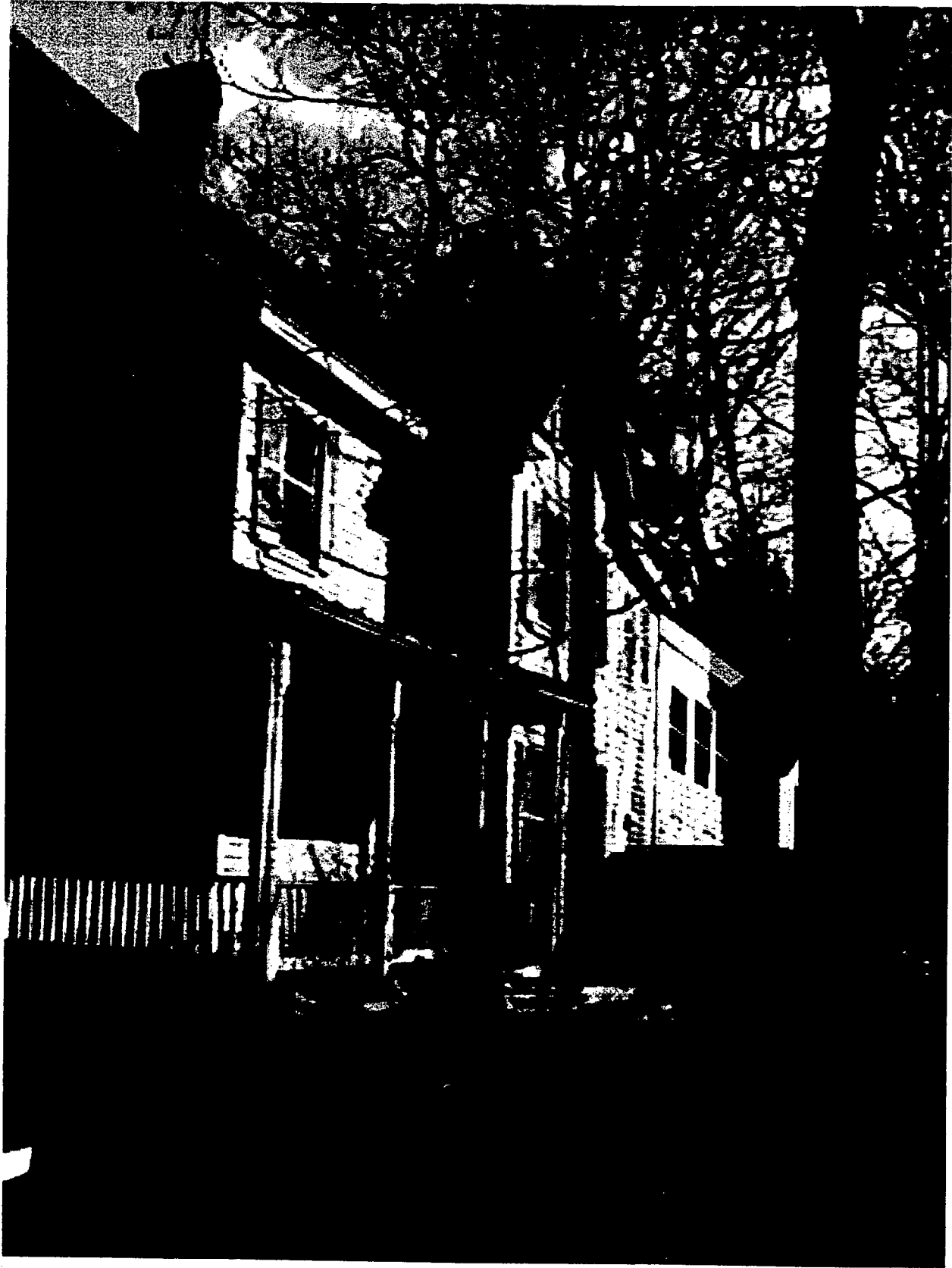
DATE

REVISIONS

DRWG. NO.

A-2

14



SOUTH ELEVATION

IMAGE PROTECTION OF
EXISTING HOUSE & PROPOSED ADDITION

15



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



PROJECTED IMAGE OF
PROPOSED REAR ADDITION

REAR ELEVATION

(17)

Werzalit Colorpan products offer the perfect combination of natural wood materials and a sophisticated bonding process to create a cladding suitable for almost any application.

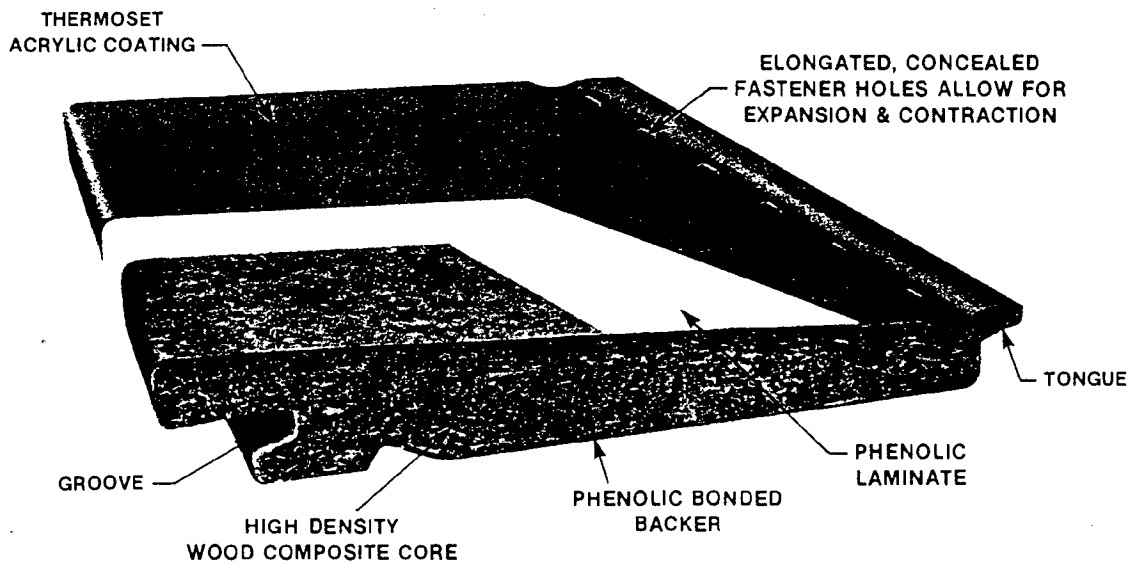
Colorpan Cladding is a tongue and groove building material that resists the damaging effects of snow, ice, sun, heat, humidity and fungus like no ordinary wood cladding.

During the life cycle of the building, Werzalit Colorpan Cladding provides genuine

economy by reducing the costs associated with repainting, replacement and repair plus the costs associated with these disruptions. Where long life cycle value is required, Colorpan Cladding represents the most cost effective cladding alternative.

Available in a wide range of Colorpan thermoset acrylic colors, Werzalit finishes stand up to all the conditions of nature. The strong bonding of the core to the outer finish makes Colorpan an ultra tough panel.

TYPICAL COLORPAN PANEL STRUCTURE



FEATURES AND BENEFITS

ACRYLIC COATING

- Resists all weather
- Will not blister, flake, or peel
- Resists splitting, cracking, and splintering
- Resists stains
- Will not support mold or fungus
- Hard surface
- Easy to clean
- Little maintenance needed
- Readily cleaned of graffiti

CORE MATERIAL

- Resistant to exposure, mold & fungus
- Won't rot
- Can be installed in any climate
- Asbestos free
- Rigid
- Resists vandalism
- Dent resistant
- Easily worked with simple tools
- Flame retardant (optional)
- Termite resistant (optional)
- Natural woodgrain or soft sand-grain texture

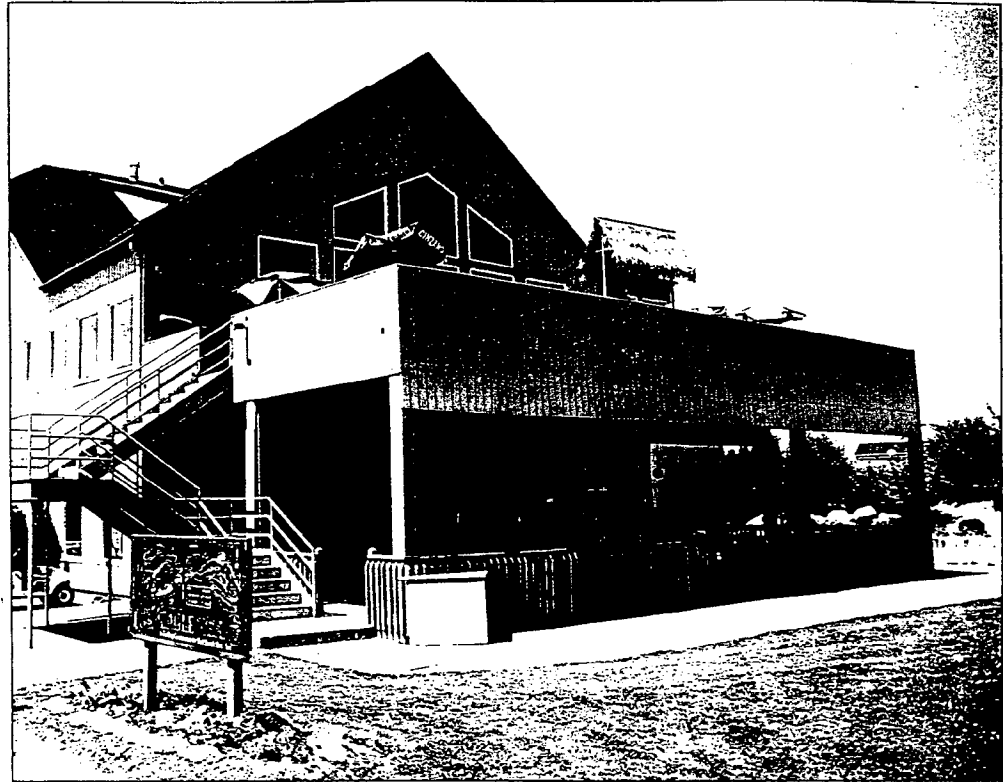
EASY INSTALLATION

- Tongue and groove design assures quick assembly
- Length and rigidity means one man can install
- Pre-punched panels are easily attached with hidden fasteners
- Economical sizing means little waste with full area exposure
- Hard coating means minimum installation damage

Easily Installed Panels Are Structured To Last.

As a result of proprietary process and production technologies, Werzalit takes the beauty of natural hardwoods and by combining them with cross-linked resins, preservatives and reinforcing sheets provides a complete monolithic architectural product.

This structure, finished with Aqualure thermoset acrylics, assures you of an exterior cladding unmatched in strength, rigidity and durability.



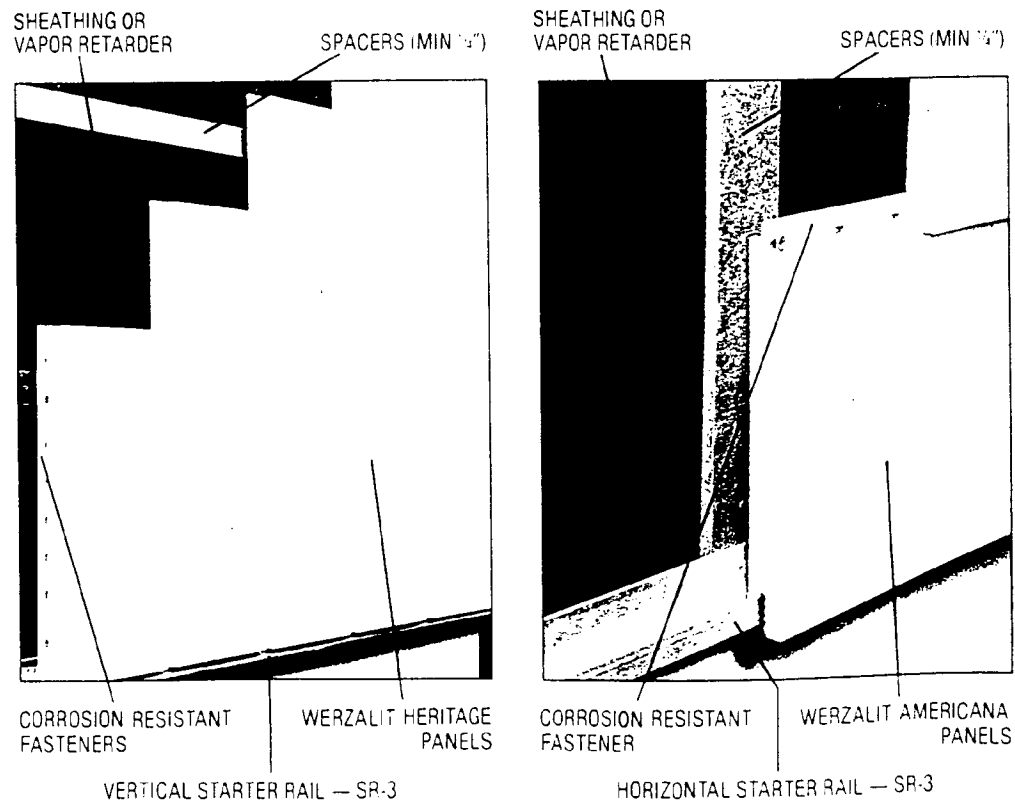
Simple, Easy-To-Handle Panels Installed By One Person.

Colorpan Cladding tongue-and-groove panels come with pre-drilled, hidden fastener holes elongated to allow for expansion and contraction. The length and rigidity of the panels allow simple assembly and one-man installation. No special tools, primers, paint, sealants or special finishes are required.

To install this time-and-labor-saving building material over a standard supporting framework:

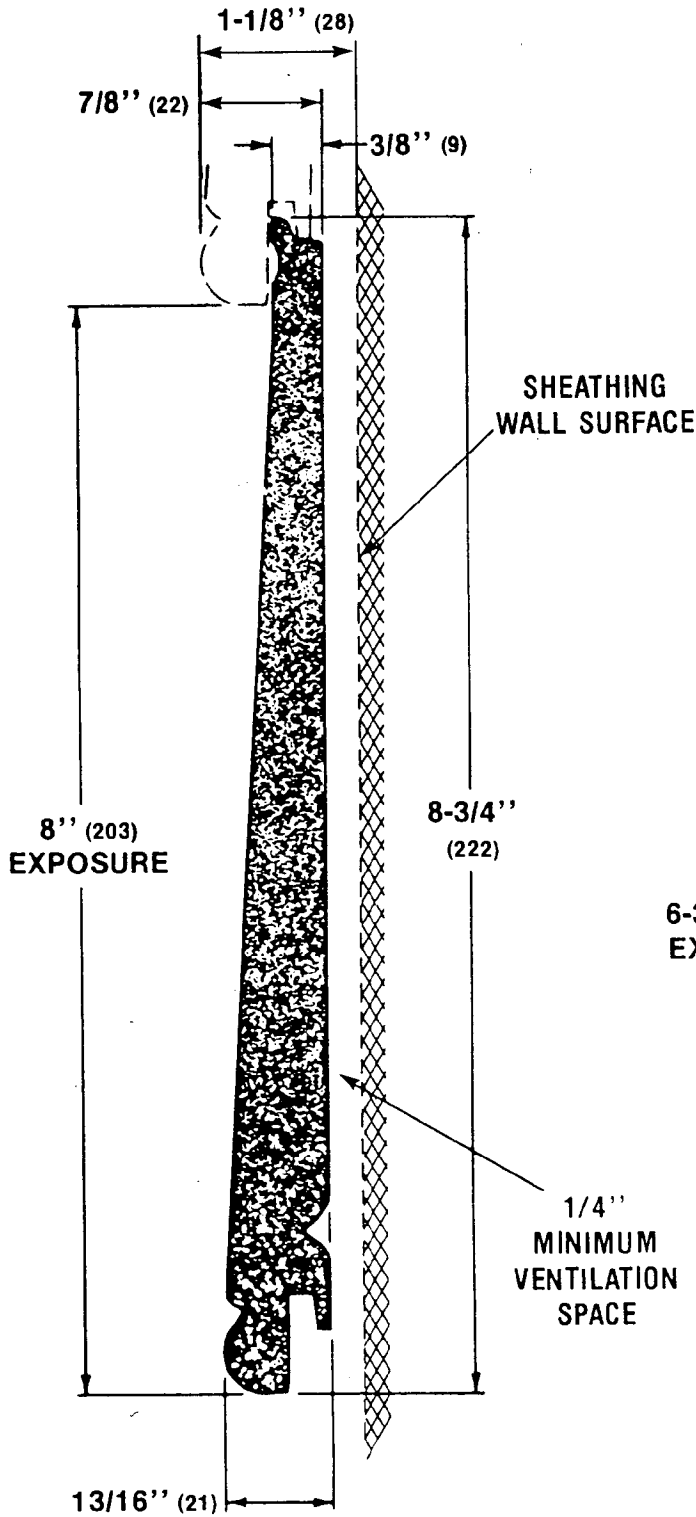
1. Fasten ventilation spacers and starter rail on the wall support.
2. Position initial panel on the starter rail.
3. Insert fasteners in center of pre-drilled holes and secure panel to wall.
4. Slip subsequent tongue-and-groove panels into adjoining panels and fasten to wall.
5. Install Werzalit-supplied accessories as required.

Typical Stud Wall Construction

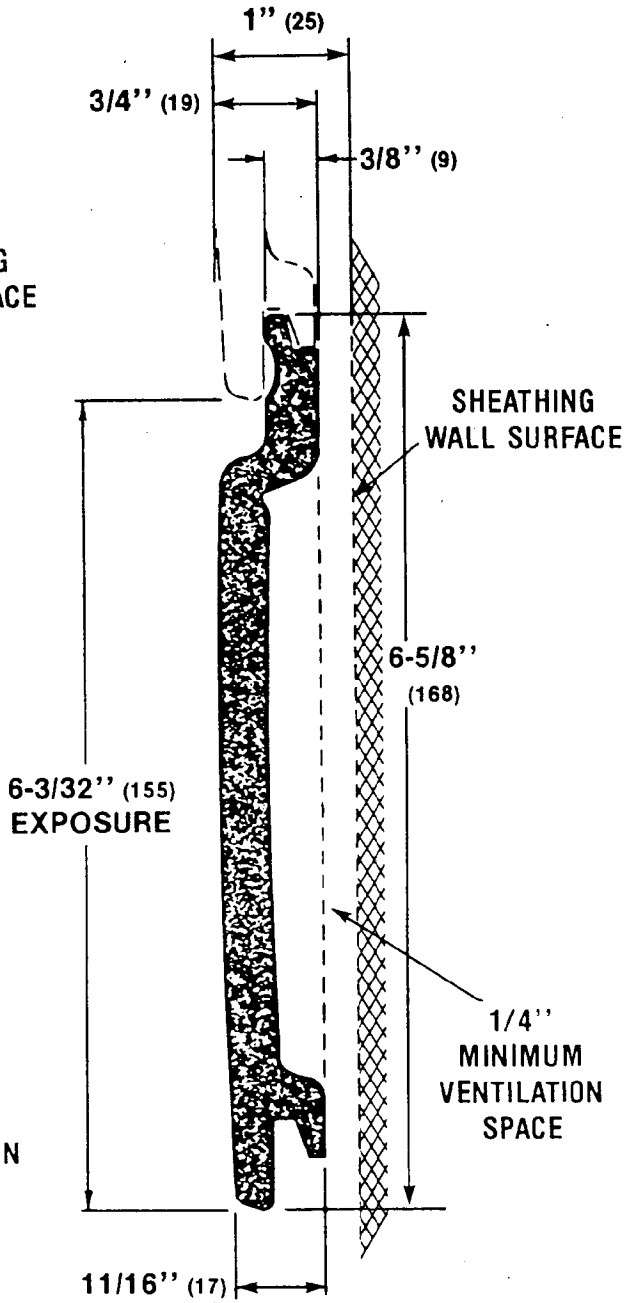


WERZALIT CLADDING PROFILES - CROSS SECTION

SECTION	2
	2.4



8" COLONIAL



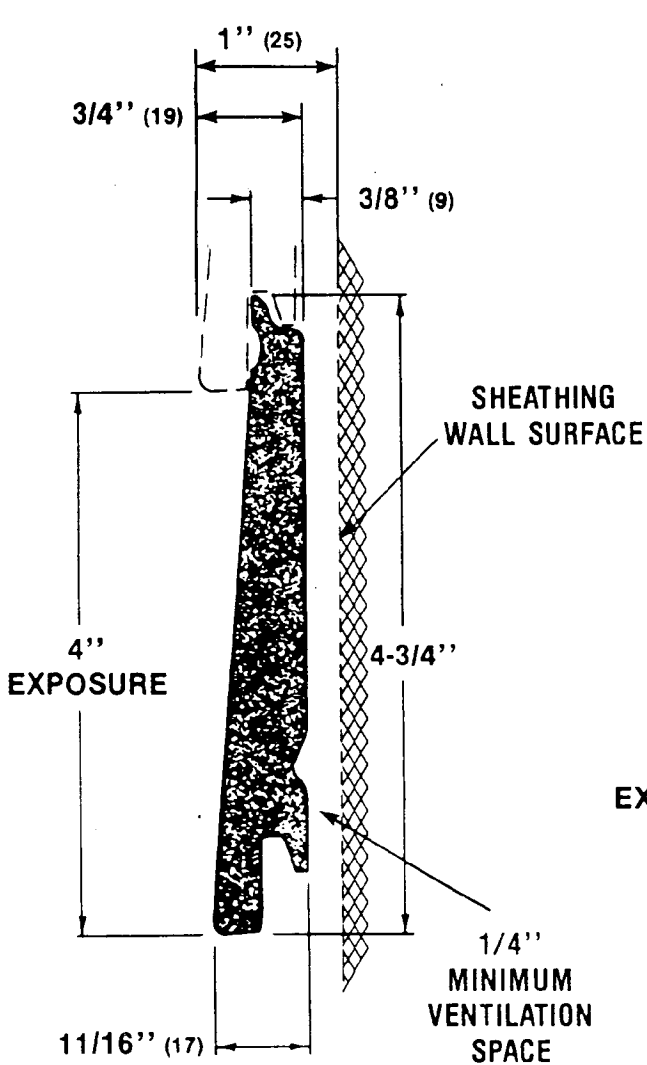
6" HERITAGE

For vertical siding

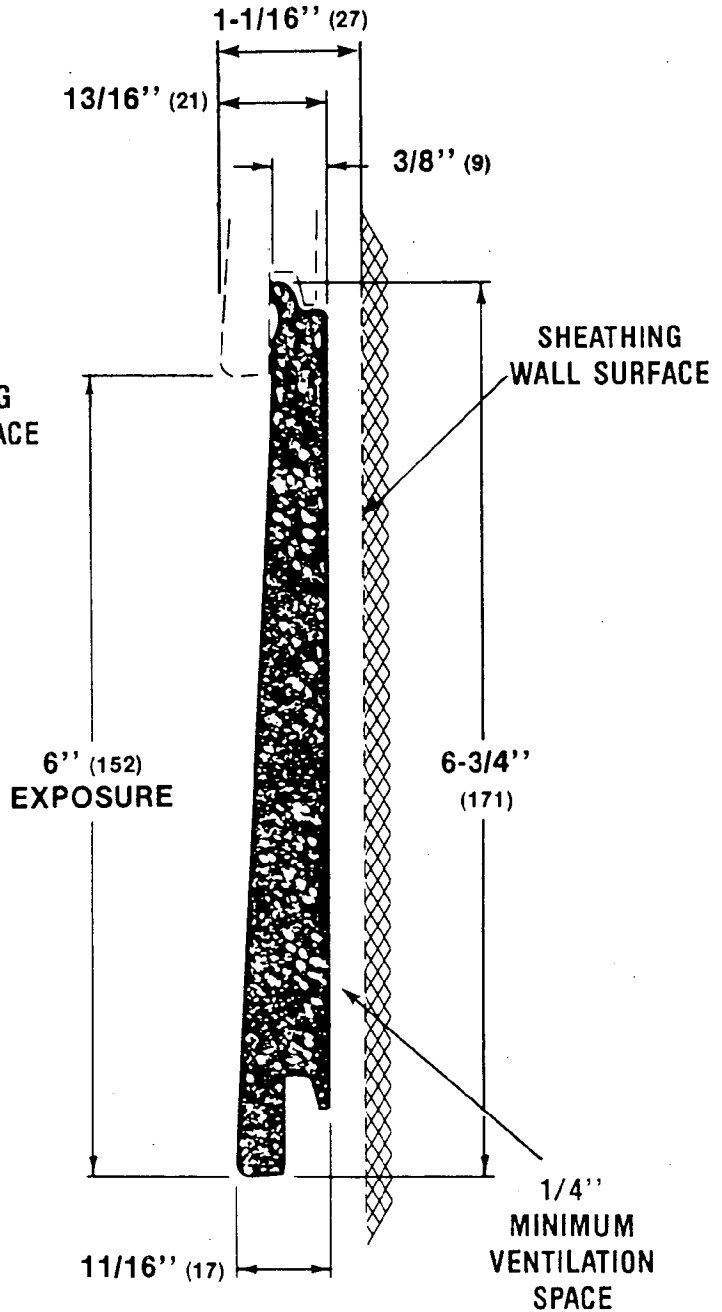
() DENOTES MILLIMETERS

WERZALIT CLADDING PROFILES - CROSS SECTION

SECTION	2
	2.3



4" AMERICANA



6" AMERICANA

For Horizontal Siding

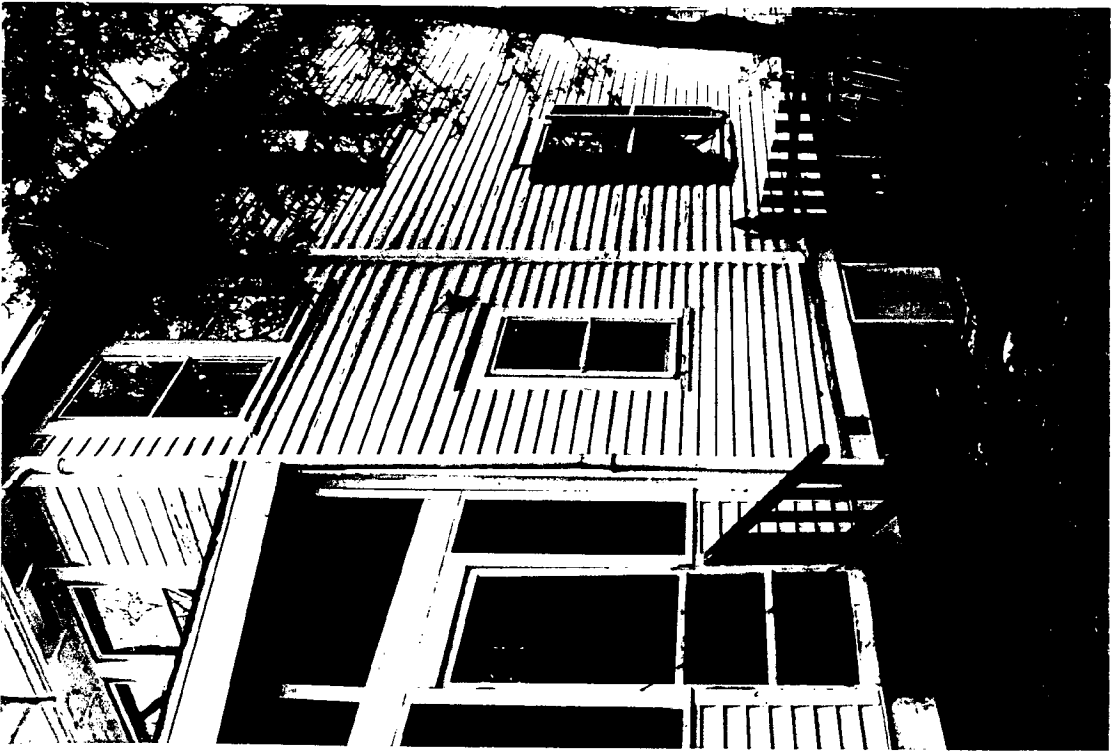
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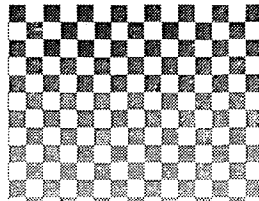












Michael C. Pones

architect

7208 willow avenue
takoma park, maryland
2 0 9 1 2
301-270-5224

HAWP
Application

submitted to
MNCPPC

on
3/4/98















