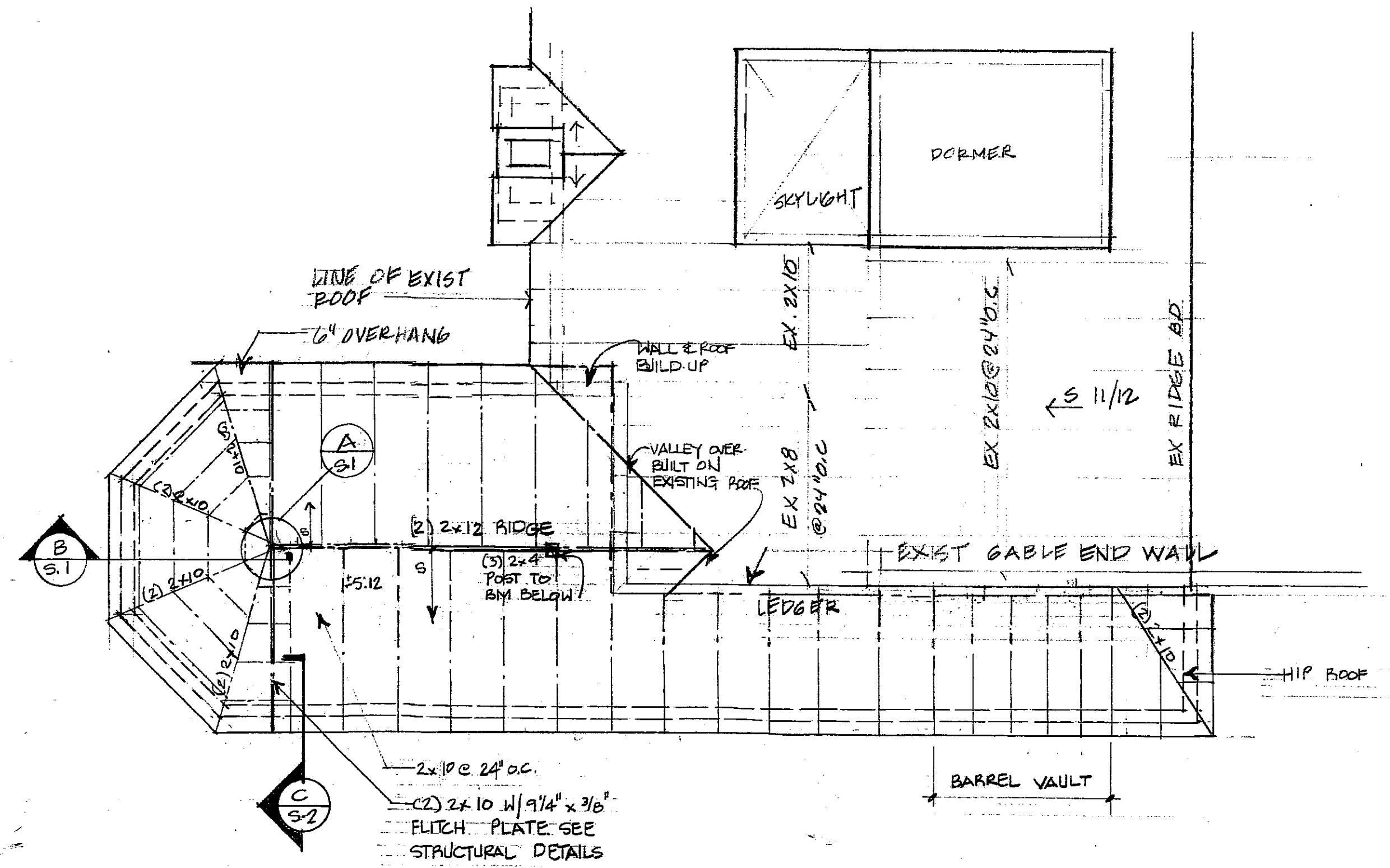
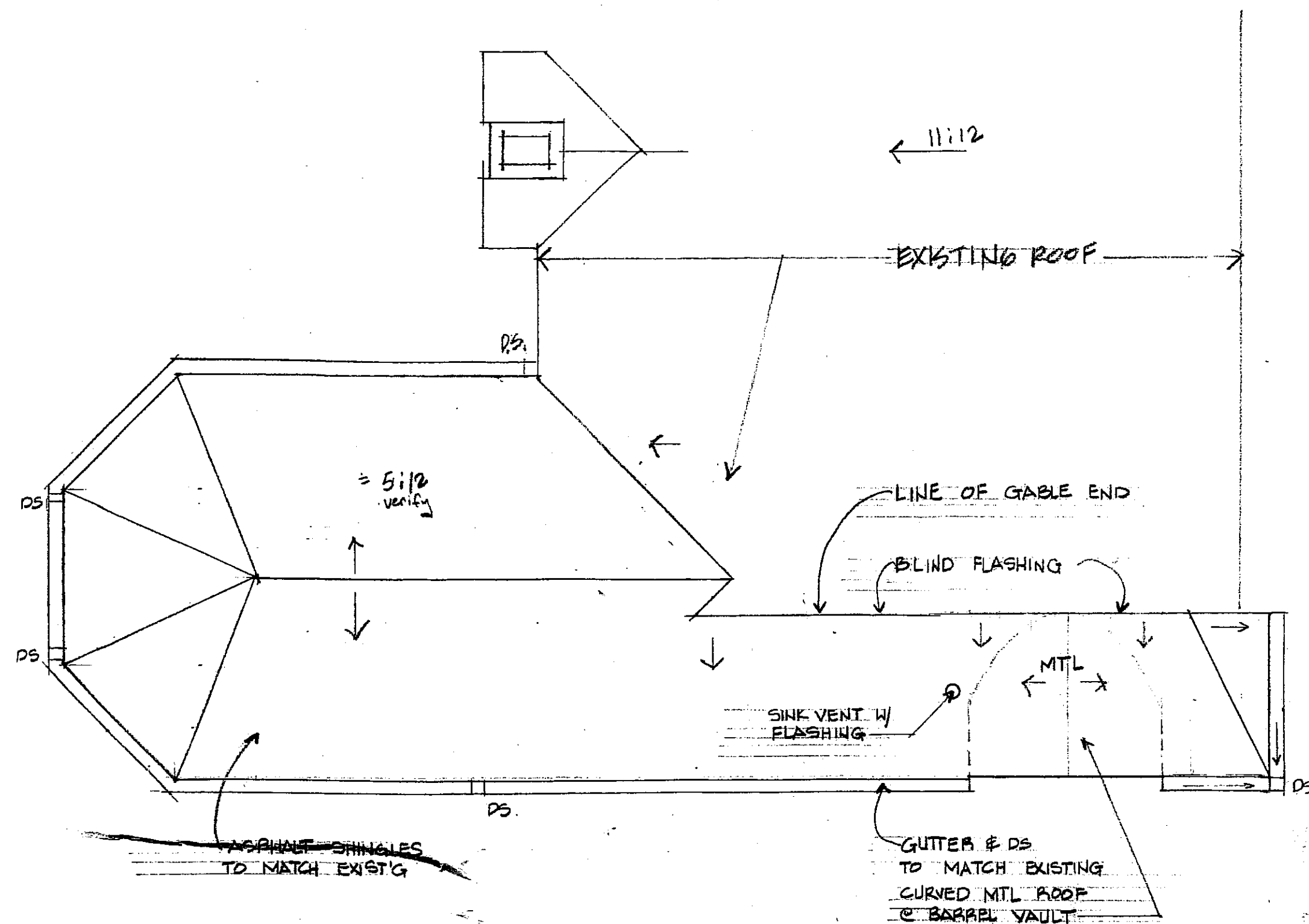


37/3-99L 7327 Baltimore Avenue  
(Takoma Park Historic District)





1 ROOF PLAN  
1/4" = 1'-0"

2 ROOF FRAMING PLAN  
1/4" = 1'-0"

STRUCTURAL NOTES

1. Loads and Codes

All work to conform to the 1995 CABO code.

Dead Loads:

Floor = 10psf  
Roof = 15psf

Live Loads:

Roof = 30psf  
Floors = 40psf  
Decks = 40psf

Wind/Lateral Load:

Horizontal Exterior Wall Load = 20psf  
Horizontal Interior Wall Load = 5psf

2. Soils and Foundations

Assumed allowable soil bearing pressure equals 2000psf. Bottoms of all footings shall be a minimum of 4 inches below finish grade.

3. Concrete

Exterior slabs-on-grade, porch slabs, exterior steps, stoops and garage slabs shall be air entrained concrete with a minimum 28 day compressive strength equal to 3500 psi. All other concrete shall have 3000psi minimum 28 day compressive strength. All concrete shall conform to ACI 301. All reinforcing shall be Grade 40. All concrete construction shall conform to ACI 318-95.

4. Masonry

Use hollow load bearing concrete masonry units (CMU) with type "S" mortar;  $f'_m=1500\text{psi}$  (min.) provide horizontal truss-type joint reinforcing at 16" O/C vertical U.O.N. grout for masonry use pea gravel concrete with  $f'_c=2500\text{psi}$ .

5. Structural Steel

All steel construction shall conform to the AISC specifications, latest edition. Structural steel shall conform to ASTM-A36. Steel pipe columns shall conform to ASTM-A53, Type E or S, Grade B with a minimum yield stress of 35 KSI. Adjustable pipe columns shall conform to ASTM-A513 with a minimum yield strength equal to 32 KSI. Connections shall be made with high strength bolts or by welding using E70 electrodes. All welding shall be done by certified welders conforming to the Structural Welding Code AWS D1.1.

6. Framing Lumber

All interior framing lumber shall be spruce-pine-fir or better. Vertical stud members, 2x4 and 2x6, shall be #3 or standard stud grade. All other framing shall be #2 grade with minimum  $F_b=850\text{PSI}$  (single);  $F_b=975\text{PSI}$  (repetitive) and  $E=1,300,000\text{PSI}$ . All posts shall be #2 grade, Southern Pine or better. All lumber used for exterior decks and balconies shall be #2 grade pressure treated, Southern Pine or better.

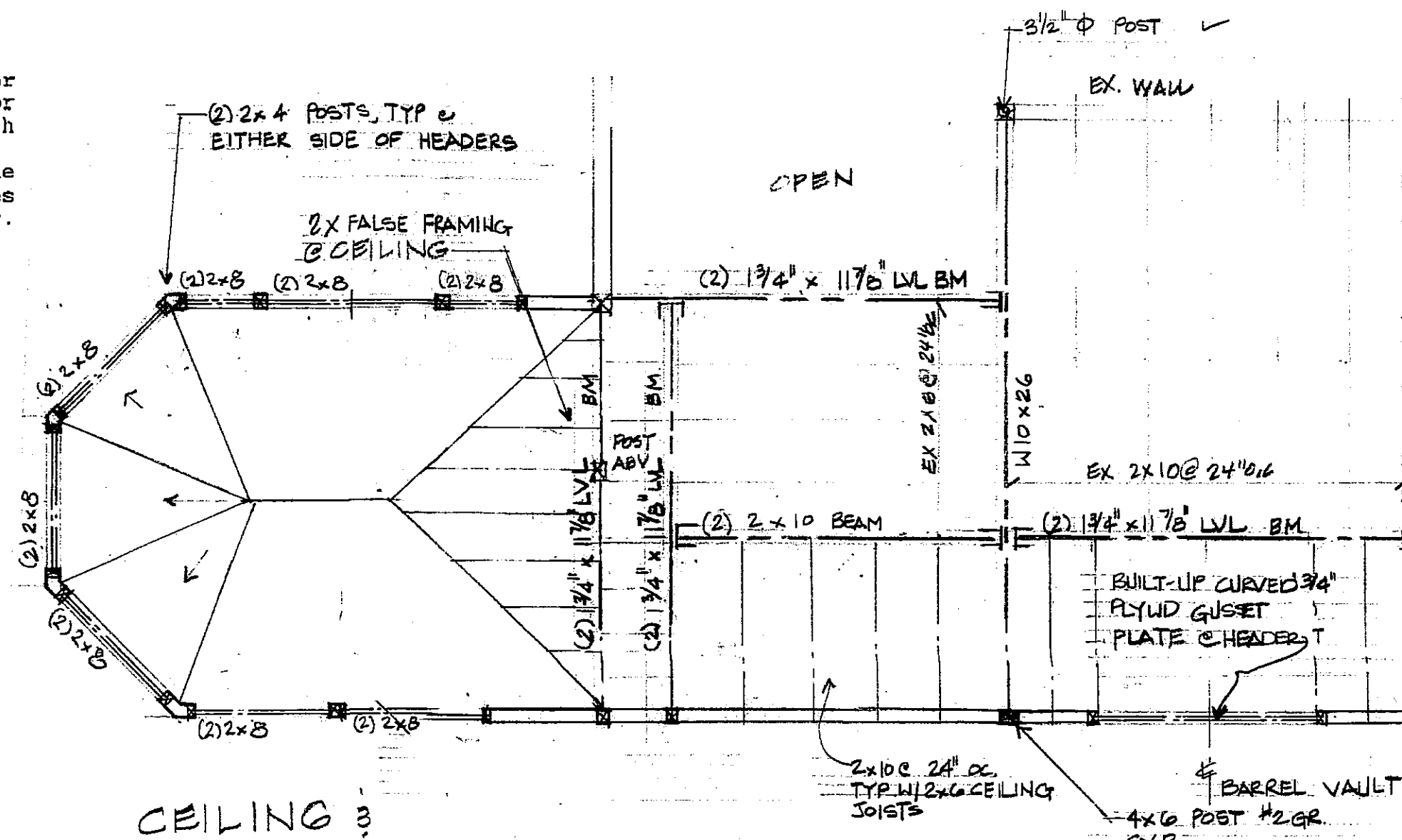
7. Micro-Lam

Micro-Lam Properties (PSL)

$F_b = 2900\text{PSI}$   
 $F_v = 285\text{PSI}$   
 $F_c = 500\text{PSI}$   
 $E = 2.0 \times 10^6\text{PSI}$

(LVL)

$F_b = 2600\text{psi}$   
 $F_v = 285\text{psi}$   
 $F_c = 500\text{psi}$   
 $E = 1.9 \times 10^6\text{psi}$



3 CEILING & SECOND FLOOR FRAMING PLAN

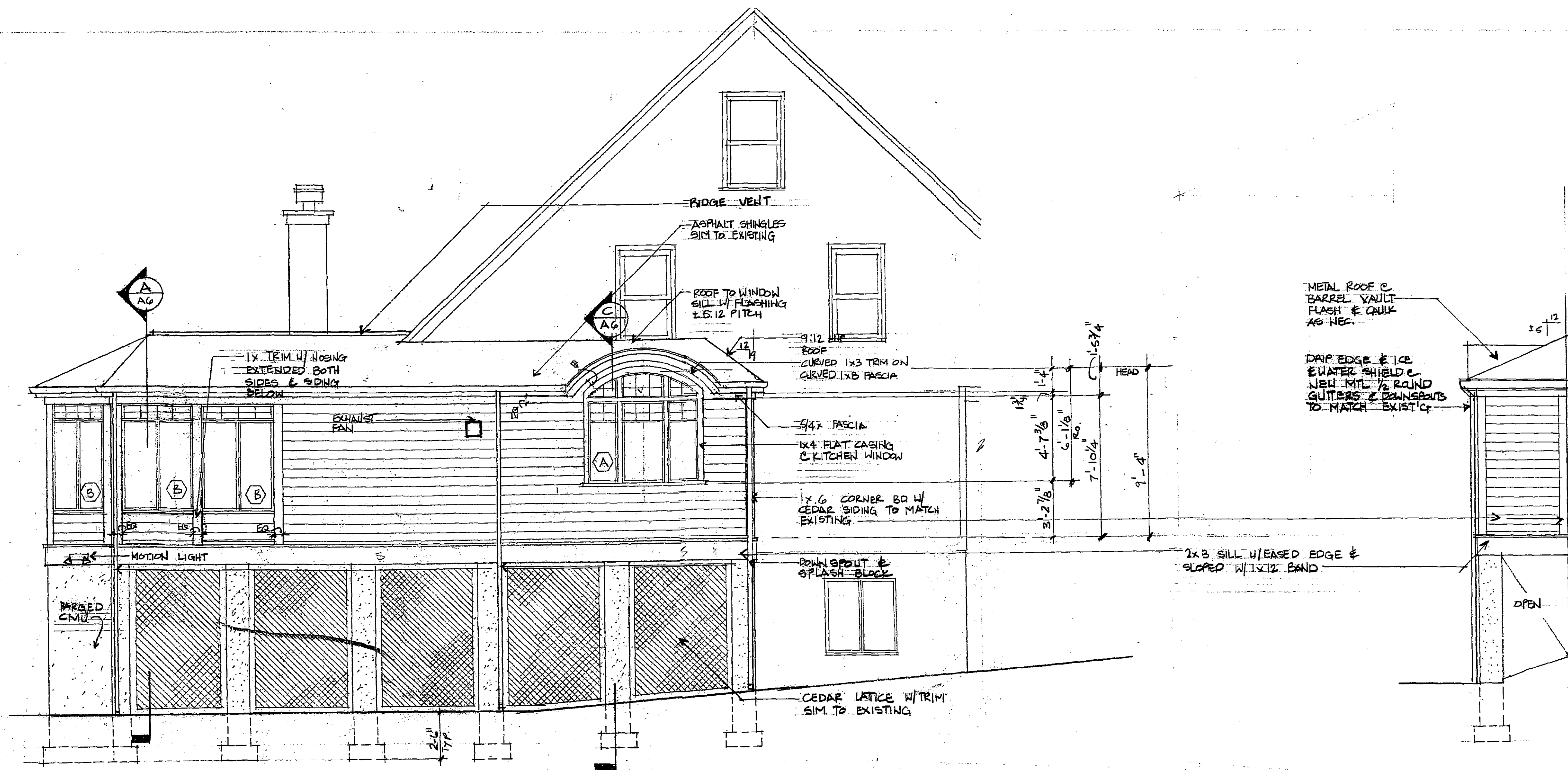
Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

Reed/Brandt Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing 2

Date 7.27.99 BD SET  
10.6.99 STRUCTURAL  
REVISIONS  
1.14.00 PERMIT SET

657-1636

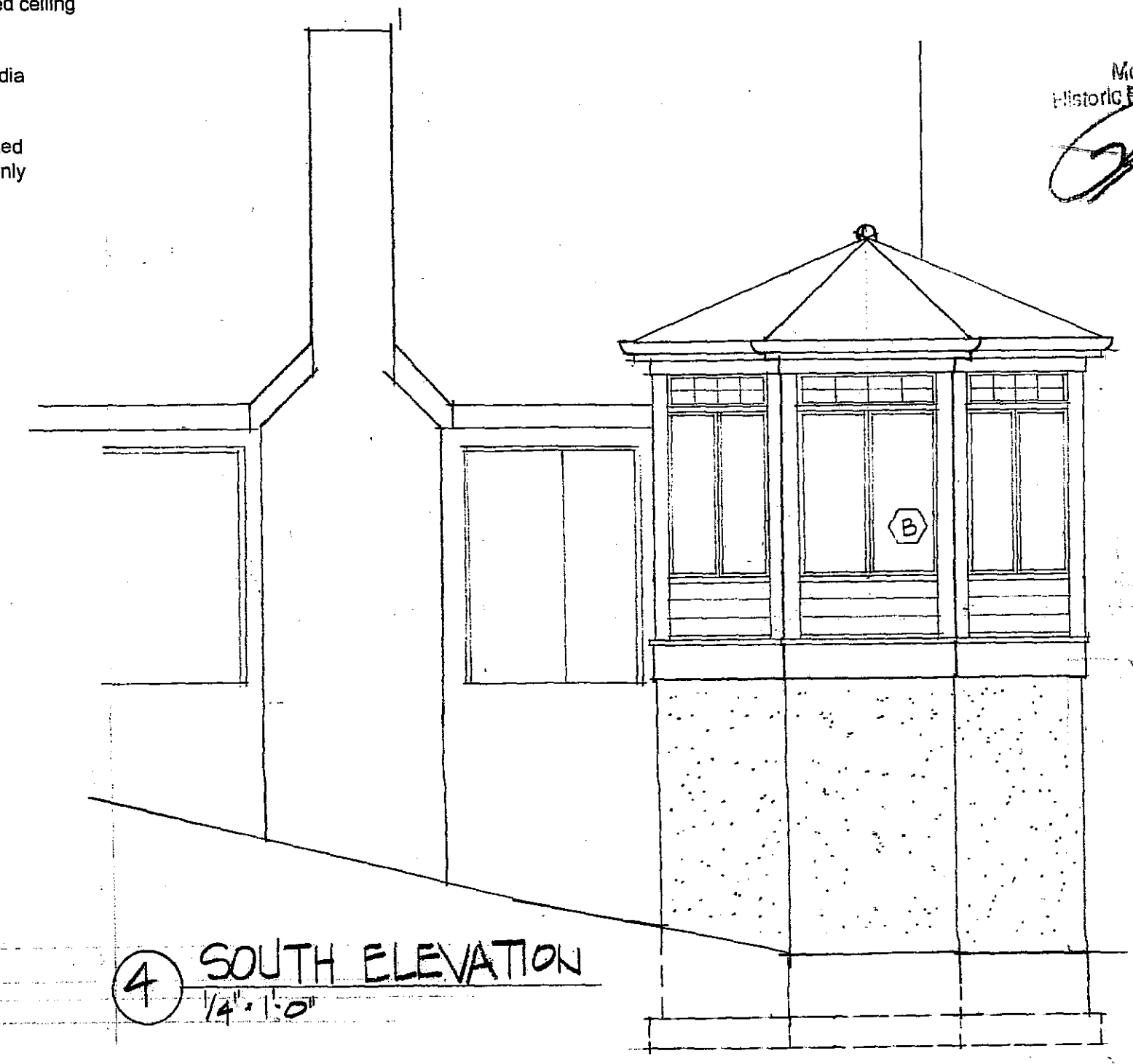


1 EAST ELEVATION  
1/4" = 1'-0"

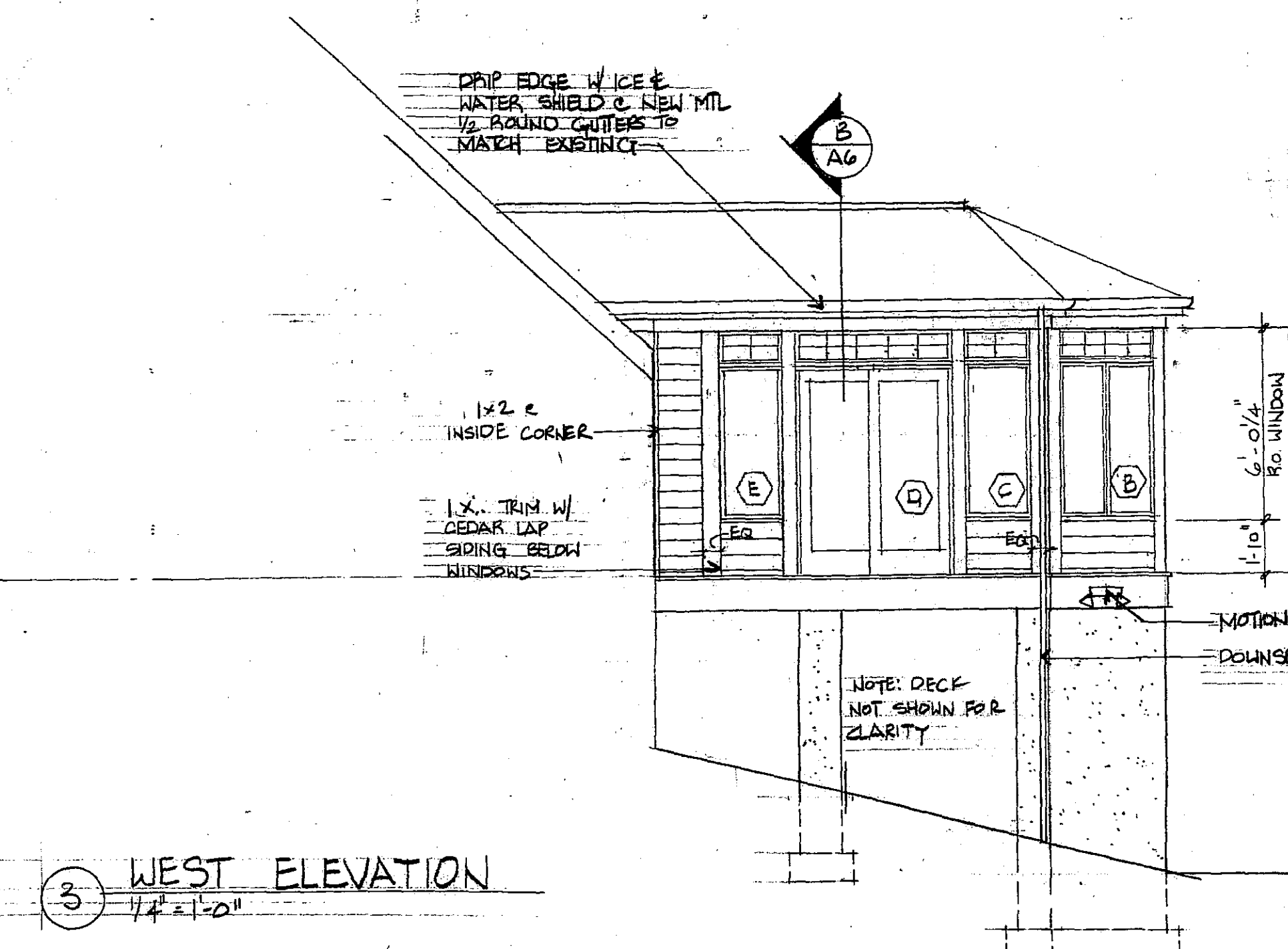
Lighting Schedule

Mark	Fixture Type	Manufacturer	No.	Frame-in Kit	Bulb	Remarks
1	Recessed Can/slope	Lightolier	1131GD	1100IC	75WR30	shallow slope, insulated ceiling
2	Recessed Can	Lightolier	1012	1002P1/1000IC	75WR30	Specular Gold, 5" dia
3	Recessed Can	Lightolier	2012	1900P1	75WR20	Specular Gold, 3 3/4" dia
4	Pendant	by Owner				To be Selected
5	Surface Mtd	by Owner				To be Selected
6	Under Cabinet	Mobern	77-Series		Fluor.	lengths to be determined
7	Ceiling Fan	by Owner				To be Selected/ Fan only
8	Motion Lights	by Owner				Re-use existing

2 NORTH ELEVATION  
1/4" = 1'-0"



4 SOUTH ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"

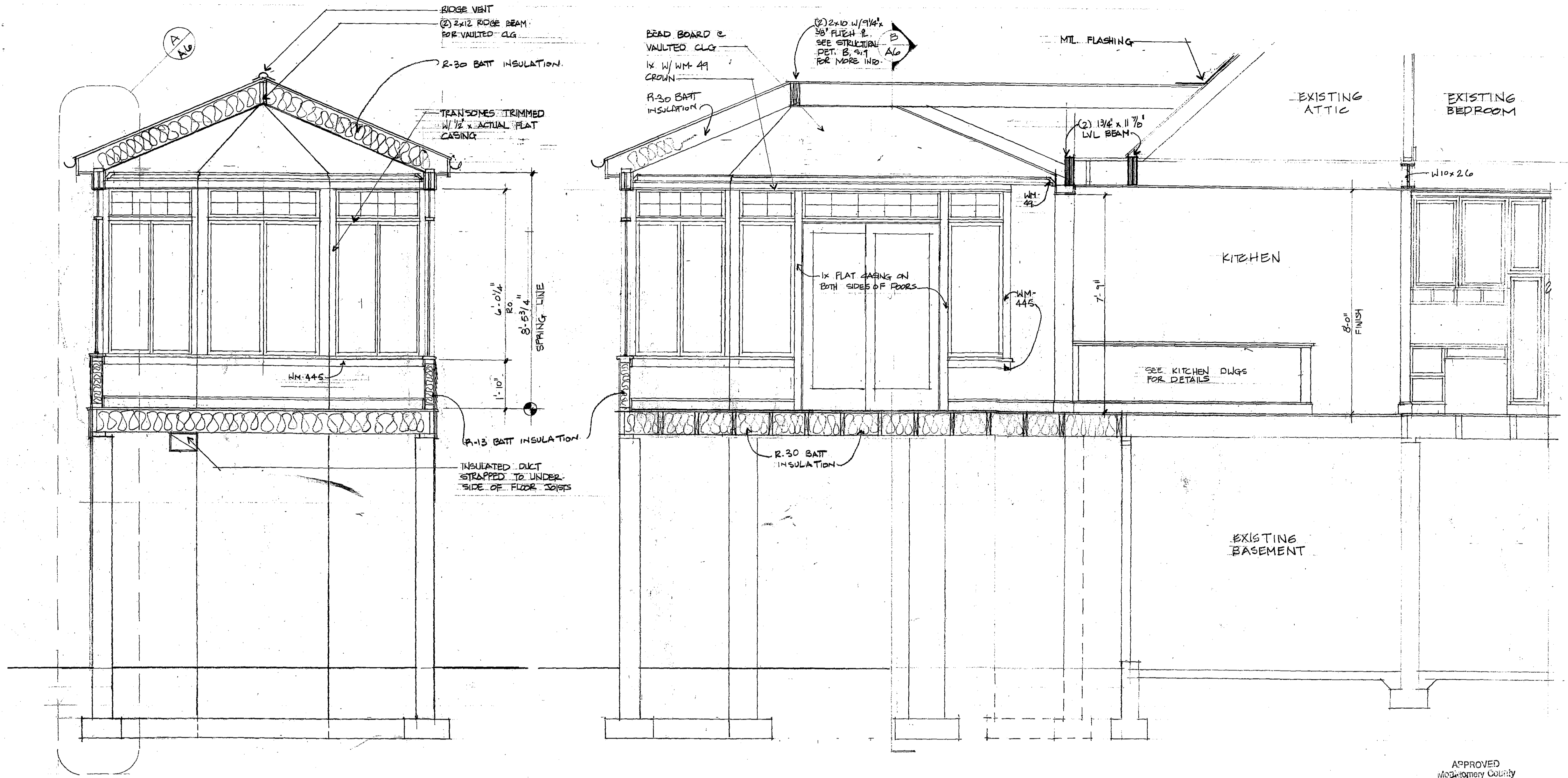
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/27/12

Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

Reed/Brandia Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing 3

Date 7.27.99 BID SET  
1.14.00 PERMIT SET



**A** KITCHEN EAST SECTION  
1/2" = 1'-0"

**B** KITCHEN SOUTH SECTION  
1/2" = 1'-0"

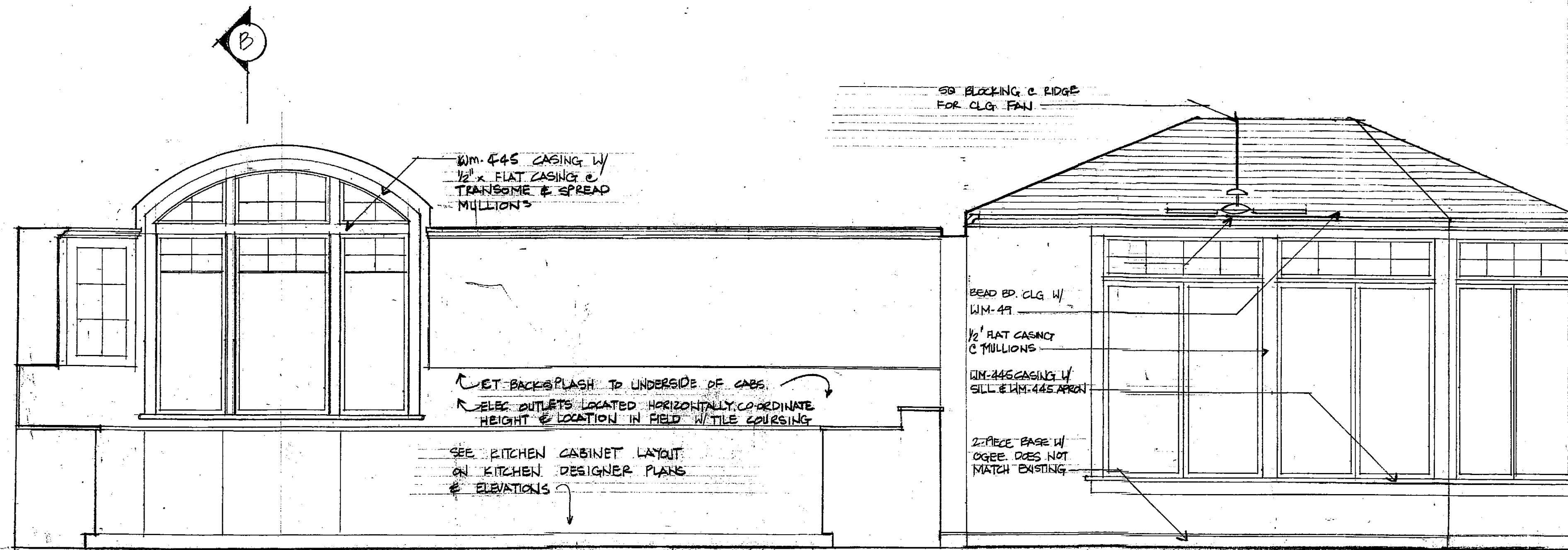
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
RD 2  
1/27/00

Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

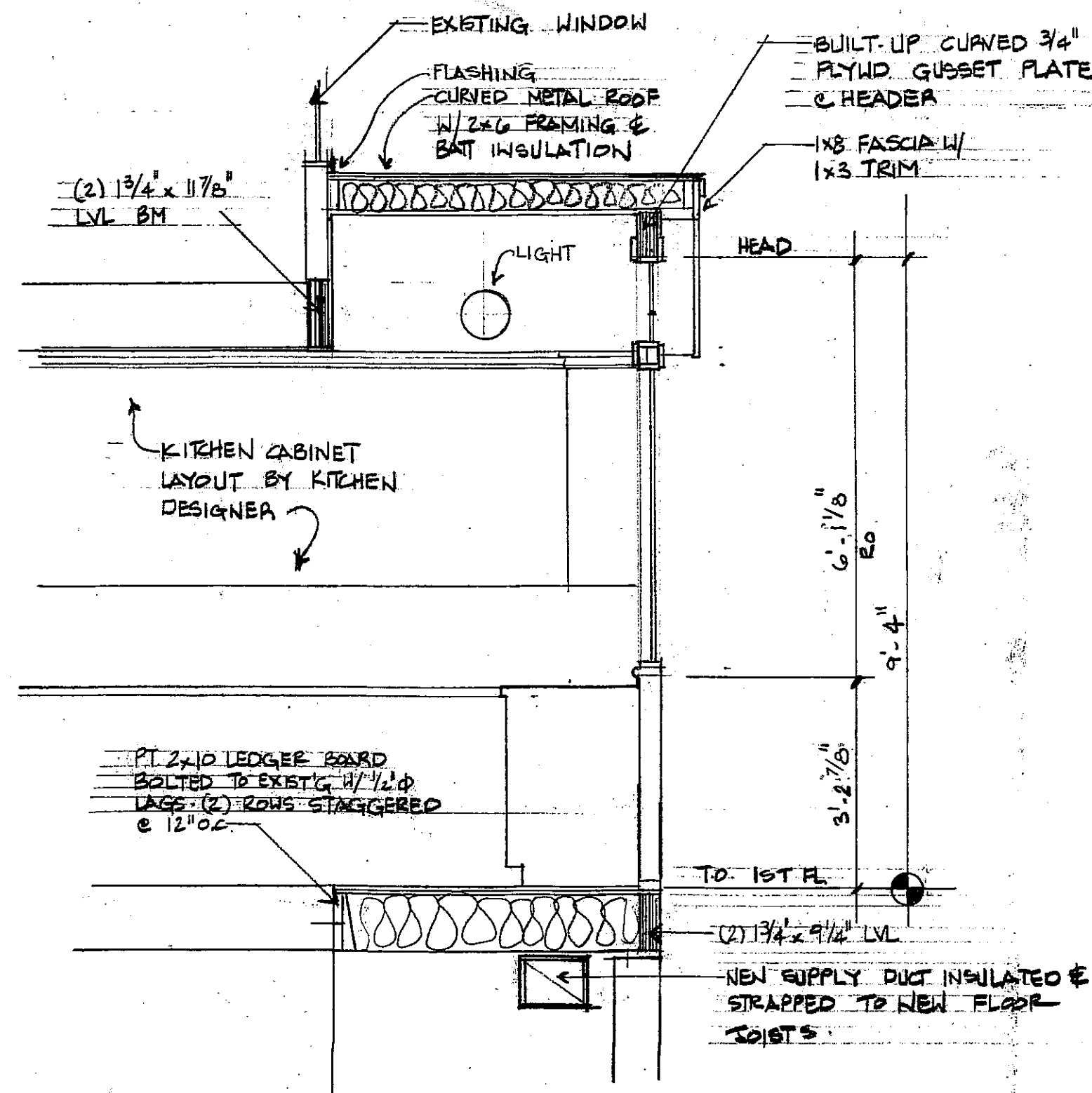
Reed/Branda Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing 4

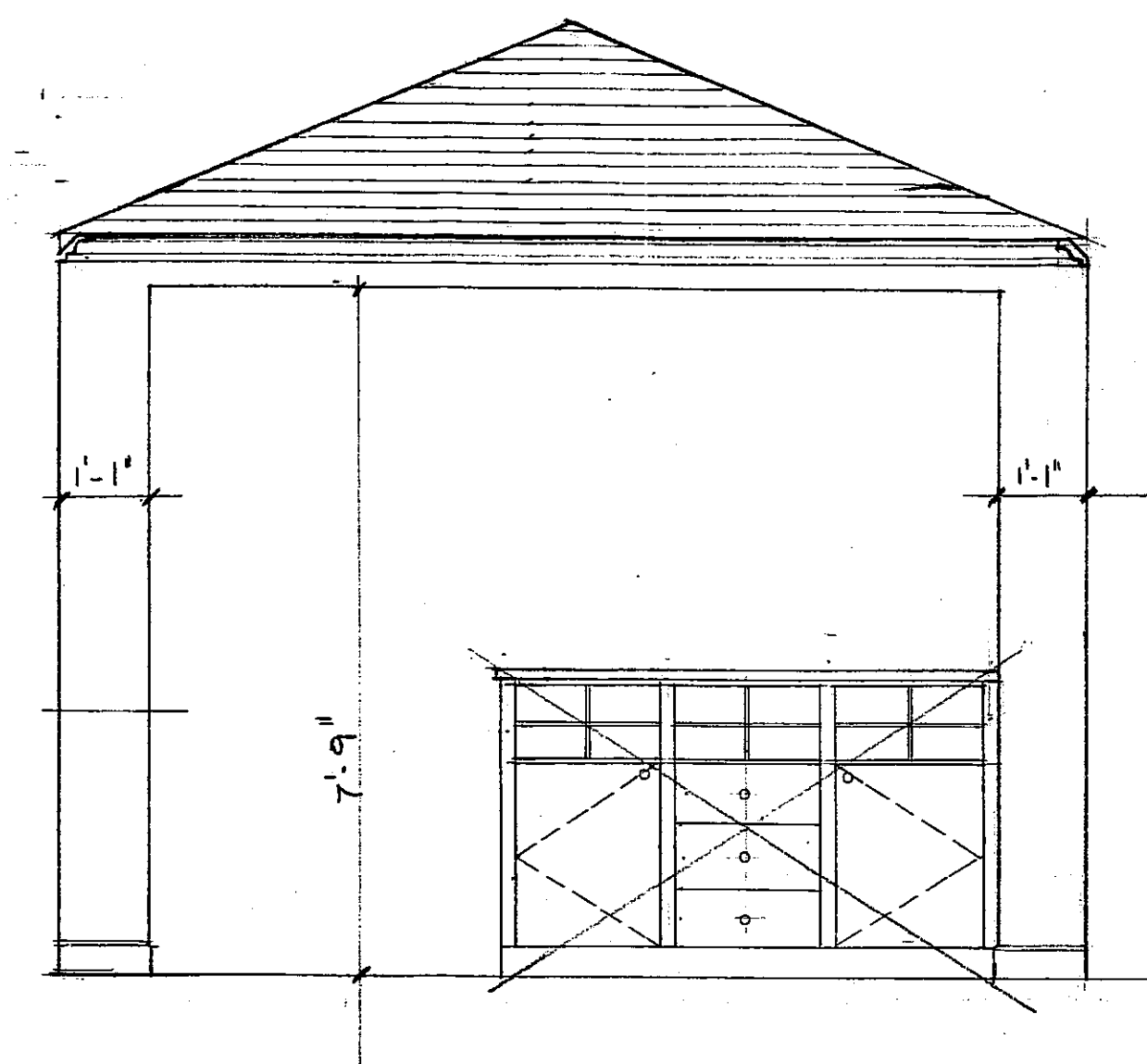
Date 7.27.99 BID SET  
10.6.99 STRUCTURAL  
REVISIONS  
1.14.00 PERMIT SET



**A** KITCHEN NORTH WALL  
1/2" = 1'-0"



**B** SECTION & BARREL VAULT  
1/2" = 1'-0"



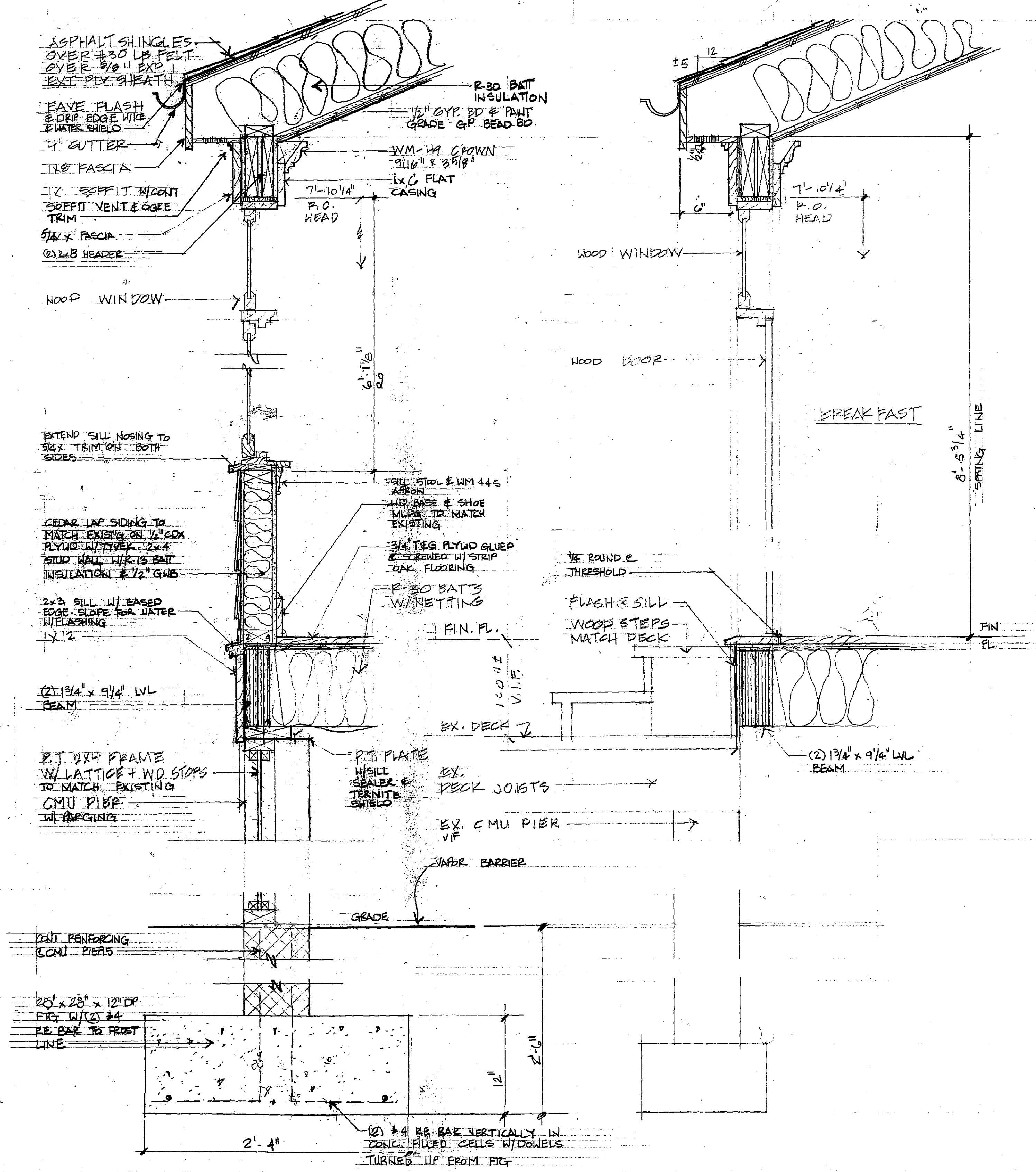
**C** BREAKFAST, LOOKING @ KITCHEN  
1/2" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
1/27/00

Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

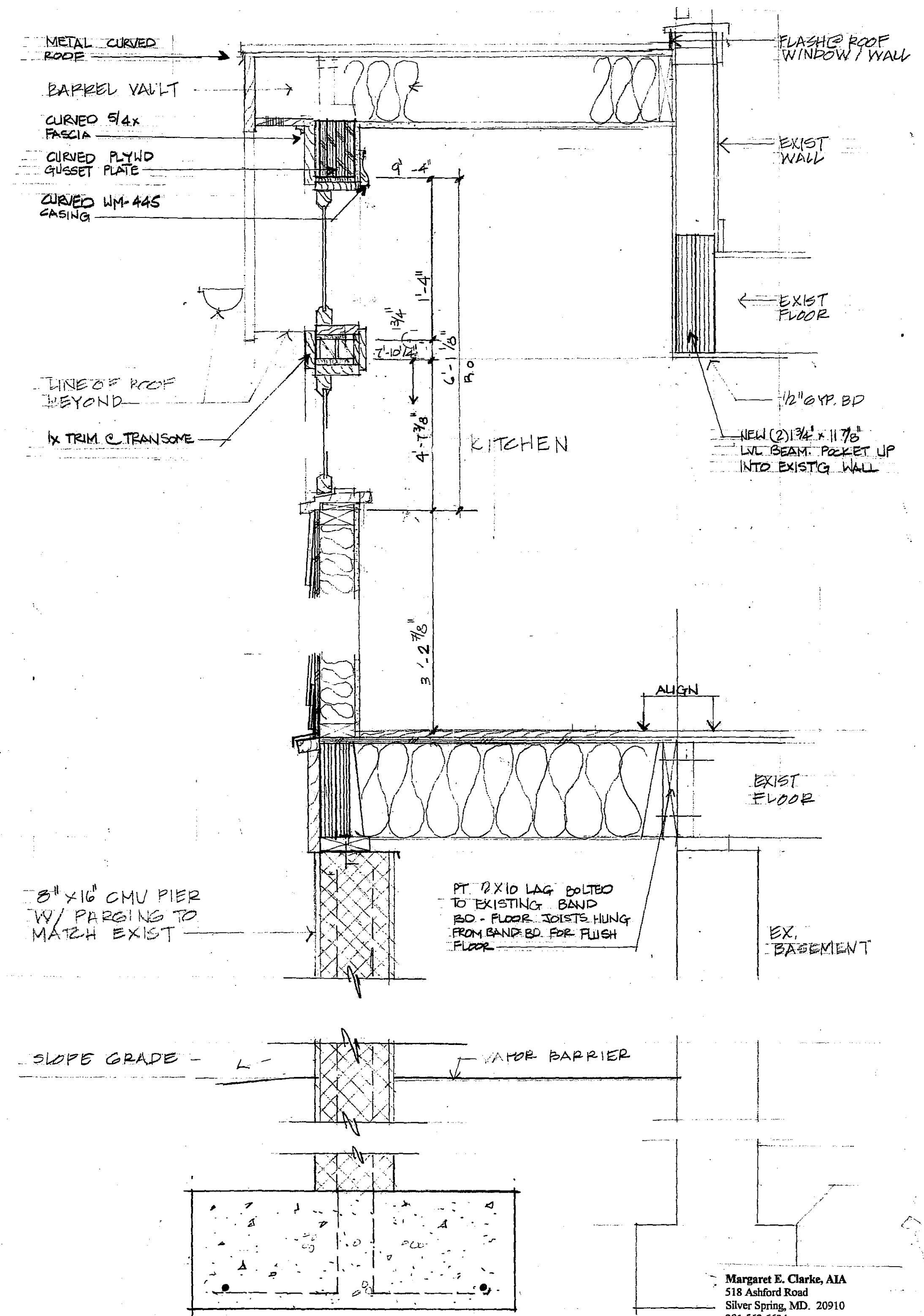
Reed/Brandt Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing 5  
Date 7.27.99 BID SET  
1.14.00 PERMIT SET



**A** WALL/WINDOW SECTION  
1 1/2" = 1'-0"

**B** DOOR SECTION  
1 1/2" = 1'-0"



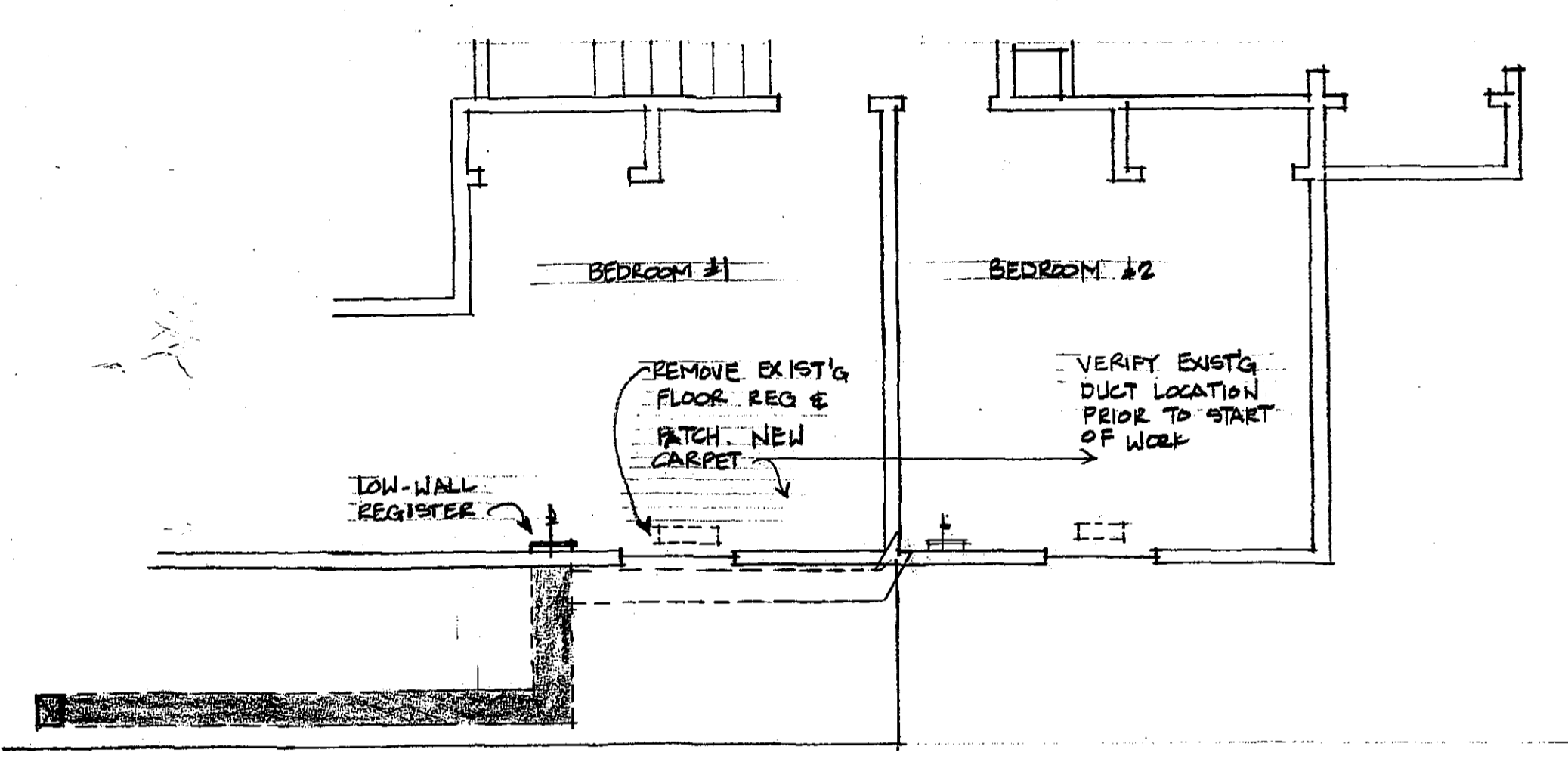
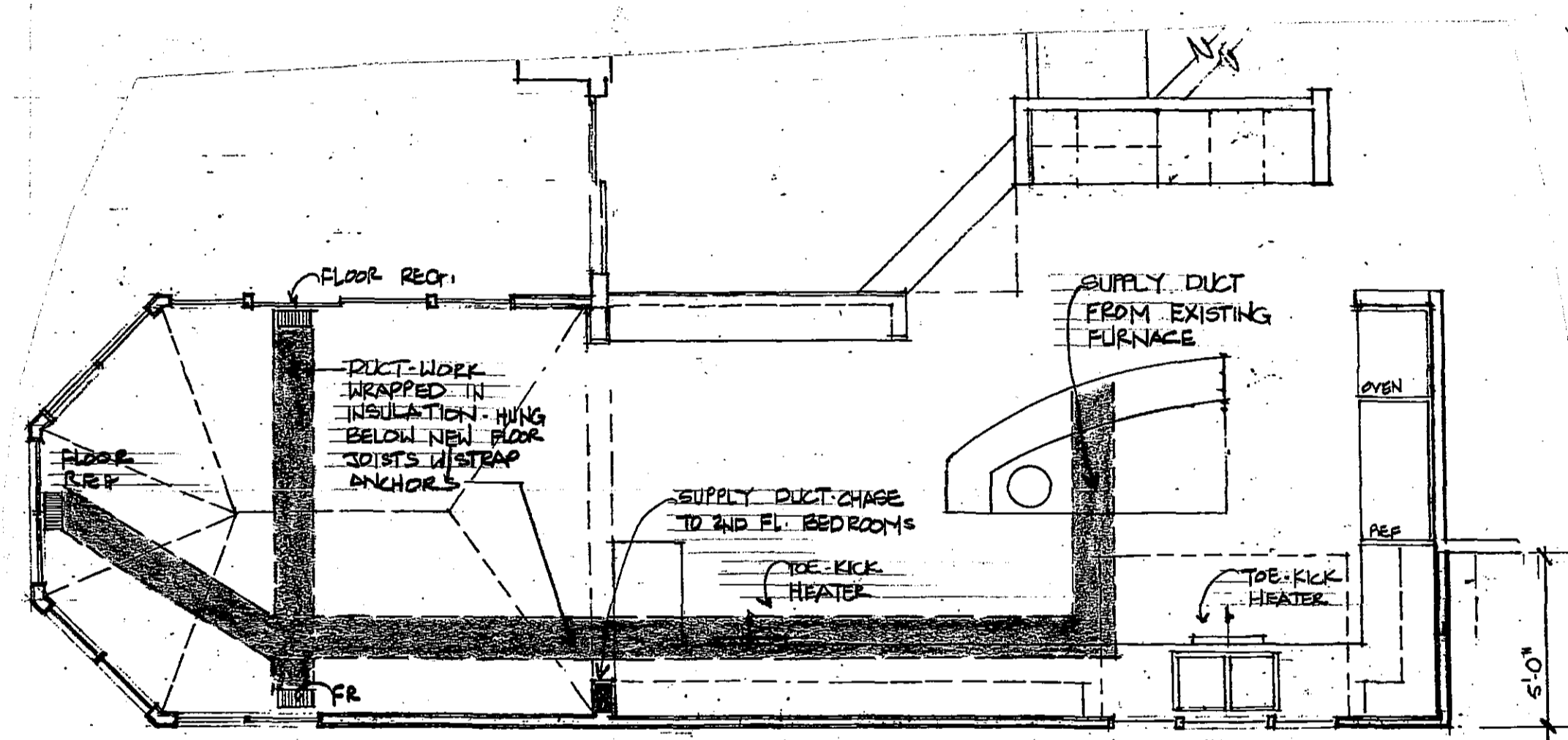
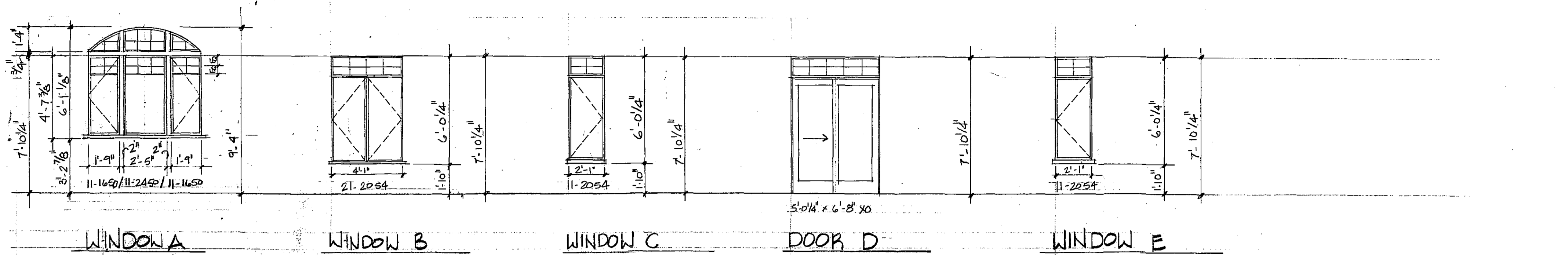
**C** BARREL VAULT SECTION  
1 1/2" = 1'-0"

Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

Reed/Branda Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing C

Date 7-27-99 BD SET  
10-6-99 STRUCTURAL  
REVISIONS  
1-14-00 PERMIT SET



① FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"

② SECOND FLOOR MECHANICAL PLAN  
1/4" = 1'-0"

NOTE: MECHANICAL PLANS ARE DIAGRAMMATIC. DUCT & REGISTER LOCATIONS ARE APPROXIMATE. COORDINATE LOCATIONS W/ ARCHITECT PRIOR TO THE START OF THE PROJECT.

NOTE: NEW 90% EFFICIENT FURNACE TO BE INSTALLED.

Margaret E. Clarke, AIA  
518 Ashford Road  
Silver Spring, MD. 20910  
301.563.6694

Reed/Branda Residence  
7327 Baltimore Avenue  
Takoma Park, MD.

Drawing 7

Date 7-27-99 BID SET  
11:400 PERMIT



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

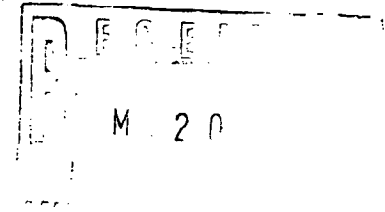
Date: 5/14/99

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *ADZ*

SUBJECT: Historic Area Work Permit



The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Stanley Reed & Joyce Branch

Address: 7327 Baltimore Ave, Takoma Park MD. 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Meg Clarke  
Daytime Phone No.: 301-563-6694

Tax Account No.: 13-1074712

Name of Property Owner: Stanley J. Reed & Joyce R. Branch Daytime Phone No.: 301-585-7105  
Address: 7327 Baltimore Ave. Takoma Park, MD 20912.  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Meg Clarke Daytime Phone No.: 301-563-6694

**LOCATION OF BUILDING/PREMISE**

House Number: 7327 Street: Baltimore Ave  
Town/City: Takoma Park Nearest Cross Street: Albany Ave  
Lot: 10A Block: 78 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: Plat Book 47

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- |                                               |                                            |                                                    |                                                          |                                    |                                                   |                                                   |                                          |                               |
|-----------------------------------------------|--------------------------------------------|----------------------------------------------------|----------------------------------------------------------|------------------------------------|---------------------------------------------------|---------------------------------------------------|------------------------------------------|-------------------------------|
| A. CHECK ALL APPLICABLE:                      |                                            |                                                    | CHECK ALL APPLICABLE:                                    |                                    |                                                   |                                                   |                                          |                               |
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch                    | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |                                          |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____             |                                                   |                                          |                               |

1B. Construction cost estimate: \$ 80,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line       Entirely on land of owner       On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret E. Clarke  
Signature of owner or authorized agent

April 15, 1999  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7327 Baltimore Avenue Meeting Date: 5/12/99  
Resource: Takoma Park Historic District Review: HAWP  
Case Number: 37/3-99L Tax Credit: No  
Public Notice: 4/28/99 Report Date: 5/5/99  
Applicant: Stanley Reed & Joyce Branch Staff: Robin D. Ziek  
PROPOSAL: Rear addition RECOMMEND: Approval

---

RESOURCE: Non-Contributing Resource in Takoma Park Historic District  
DATE: 1985

This is a 1-1/2 story frame bungalow which was built in the then-*Locational Atlas* Historic District in 1985. The builder installed single-light windows instead of the multi-light windows which had been in the application. The owners would like to match the existing condition.

### PROJECT DESCRIPTION

The applicant proposes to enlarge the kitchen and add a breakfast area as an extension along the (plan) east side of the house. All of the materials would match the existing, including the wood siding, wood windows, wood trim, and asphalt roofing shingles. The addition would extend 2' into the side yard (see Circle 7), and then extend an additional 22' into the rear yard..

### STAFF DISCUSSION

As the existing resource is non-contributing in the historic district, the alterations are reviewed in terms of their impact on the overall district. Staff notes that the house was initially sited well back from the street in order to protect existing trees (see Circle 6). The proposed addition is, therefore, that much further back from the public right-of-way, and will not be readily visible.

The proposed addition is compatible in terms of massing, scale and materials, and will not encroach on the sense of open space in the district. The Takoma Park Guidelines note that "Most alterations and additions to Non-contributing Resources should be approved as a matter of course. The only exceptions would be major additions...which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole" (p.17).

### STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 5/14/99

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *ADZ*

*37/3-99C*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Stanley Reed & Joyce Branch

Address: 7327 Baltimore Ave, Takoma Park MD. 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Meg Clarke

Daytime Phone No.: 301-563-6694

202  
722-6552

Tax Account No.: 13-1074712

Name of Property Owner: Stanley J. Reed & Joyce R. Branch Daytime Phone No.: 301-586-7105

Address: 7327 Baltimore Ave. Takoma Park, MD 20912  
Street Number City Street Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Meg Clarke Daytime Phone No.: 301-563-6694

**LOCATION OF BUILDING/PREMISE**

House Number: 7327 Street: Baltimore Ave

Town/City: Takoma Park Nearest Cross Street: Albany Ave

Lot: 10A Block: 78 Subdivision: Takoma Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: Plat Book 47

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 80,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

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- On party line/property line
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- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret E. Clarke  
Signature of owner or authorized agent

April 15, 1999  
Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 5/14/99

Application/Permit No.: 9904210089 Date Filed: 4/21/99 Date Issued: \_\_\_\_\_

Edit 2/4/98

**SEE REVERSE SIDE FOR INSTRUCTIONS**

37/3-99L

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing house is a bungalow-style house built in the 1970's. It is set on a deep, sloping lot. The house is within the historic neighborhoods of Takoma Park, renowned for their Victorian + Bungalow styled homes.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is a 3'-0" x 20'-0" kitchen addition and a 10'-0" x 16'-0" breakfast room to the rear of the kitchen addition. The intention of the design is to be compatible with the existing house. We will use materials to match the existing-wood siding, wood windows w/ wood trim & matching asphalt shingles. From the street, the impact of the new work will be minimal. You will see a 3'0" addition with a shed roof + wood

2. **SITE PLAN** siding that is set back 22'-0" from the front porch.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6' or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7327 Baltimore Avenue Meeting Date: 5/12/99  
Resource: Takoma Park Historic District Review: HAWP  
Case Number: 37/3-99L Tax Credit: No  
Public Notice: 4/28/99 Report Date: 5/5/99  
Applicant: Stanley Reed & Joyce Branch Staff: Robin D. Ziek  
PROPOSAL: Rear addition RECOMMEND: Approval

---

RESOURCE: Non-Contributing Resource in Takoma Park Historic District  
DATE: 1985

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### STAFF DISCUSSION

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### STAFF RECOMMENDATION

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The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Meg Clarke

Daytime Phone No.: 301-563-6694

Tax Account No.: 13-1074712

Name of Property Owner: Stanley J. Reed & Joyce R. Brand Daytime Phone No.: 301-585-7105

Address: 7327 Street Number Baltimore Ave. City Takoma Park, MD State 20912 Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: Meg Clarke Daytime Phone No.: 301-563-6694

**LOCATION OF BUILDING/PREMISE**

House Number: 7327 Street: Baltimore Ave

Town/City: Takoma Park Nearest Cross Street: Albany Ave

Lot: 10A Block: 78 Subdivision: Takoma Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: Plat Book. 47

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- |                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1A. CHECK ALL APPLICABLE:</p> <p><input checked="" type="checkbox"/> Construct    <input checked="" type="checkbox"/> Extend    <input checked="" type="checkbox"/> Alter/Renovate</p> <p><input type="checkbox"/> Move    <input type="checkbox"/> Install    <input type="checkbox"/> Wreck/Raze</p> <p><input type="checkbox"/> Revision    <input type="checkbox"/> Repair    <input type="checkbox"/> Revocable</p> | <p>CHECK ALL APPLICABLE:</p> <p><input type="checkbox"/> A/C    <input type="checkbox"/> Slab    <input checked="" type="checkbox"/> Room Addition    <input type="checkbox"/> Porch    <input checked="" type="checkbox"/> Deck    <input type="checkbox"/> Shed</p> <p><input type="checkbox"/> Solar    <input type="checkbox"/> Fireplace    <input type="checkbox"/> Woodburning Stove    <input checked="" type="checkbox"/> Single Family</p> <p><input type="checkbox"/> Fence/Wall (complete Section 4)    <input type="checkbox"/> Other: _____</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

1B. Construction cost estimate: \$ 80,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal:    01  WSSC    02  Septic    03  Other: \_\_\_\_\_
- 2B. Type of water supply:    01  WSSC    02  Well    03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret E. Clarke  
Signature of owner or authorized agent

April 15, 1999  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing house is a bungalow-style house, built in the 1970's. It is set on a deep, sloping lot. The house is within the historic neighborhoods of Takoma Park, renowned for their Victorian + Bungalow styled homes.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is a 3'-0" x 20'-0" kitchen addition and a 10'-0" x 16'-0" breakfast room to the rear of the kitchen addition. The intention of the design is to be compatible with the existing house. We will use materials to match the existing - wood siding, wood windows w/ wood trim & matching asphalt shingles. From the street, the impact of the new work will be minimal. You will see a 3'-0" addition with a shed roof + wood

2. **SITE PLAN** siding that is set back 22'-0" from the front porch.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

Joyce R. Branda and Stanley J. Reed  
7327 Baltimore Ave.  
Takoma Park, Md. 20912

Property Tax Acct. No. 13-1074712

Neighbors:

Korinna Horta  
Arnold Kohen  
7324 Baltimore Avenue

Helen Perry  
7329 Baltimore Avenue

Mark Ginsberg  
Elaine Anderson  
7325 Baltimore Avenue

5

FROM : ROBERT GOLDMAN ESQ/DIAMOND TR

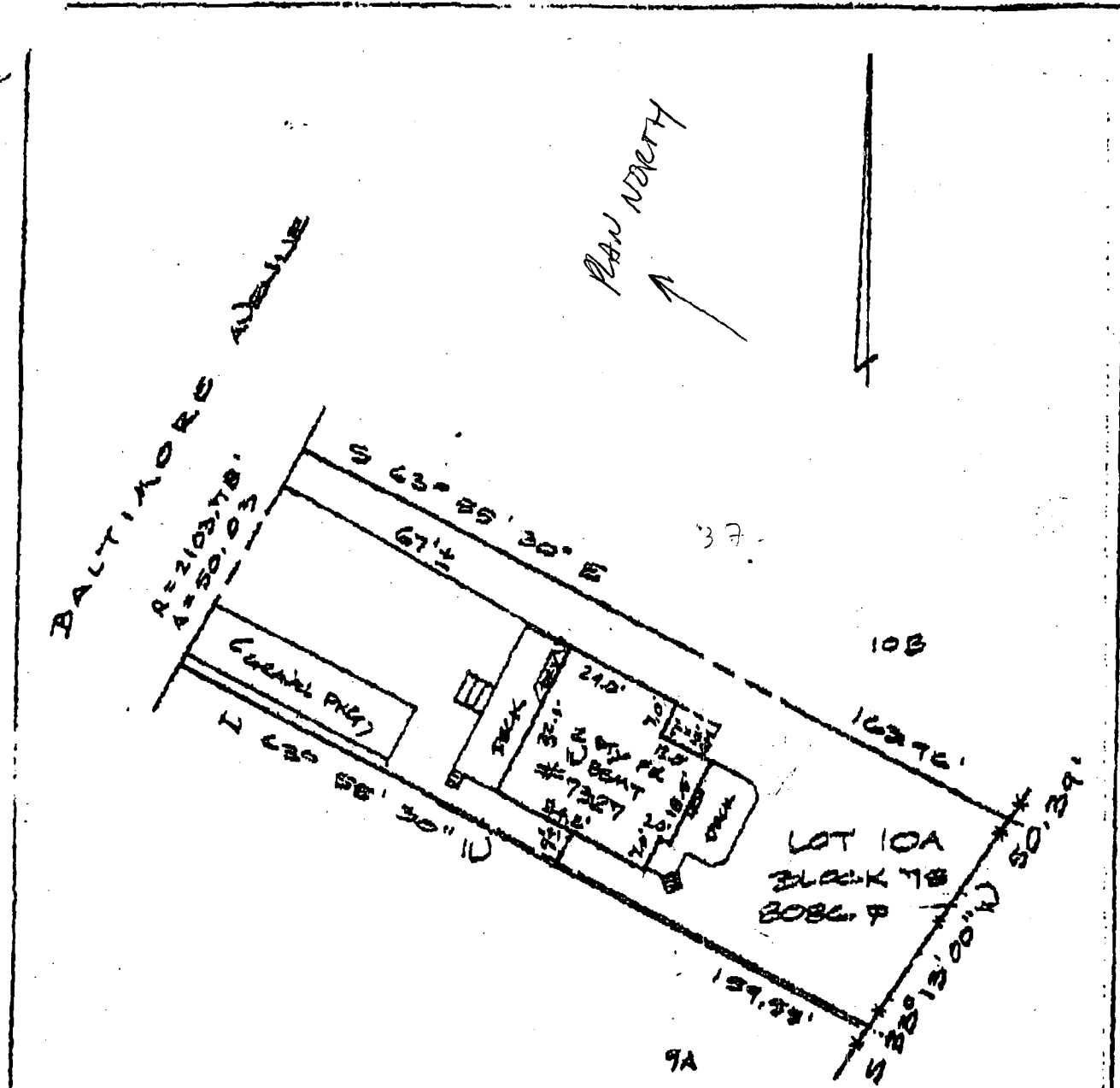
R-60

6,000 \$

7 set back

JUL. 22. 1996 6:07PM P 1

PHONE NO. : 301 678 3447



Property shown hereon is not in a flood plain per existing records unless otherwise noted.

<p><b>O'CONNELL &amp; LAWRENCE, INC.</b>          SURVEYORS, ENGINEERS &amp; LAND PLANNERS          17804 Georgia Avenue, Suite 302          Chevy Chase Maryland 20815          (301) 924-4570 Fax (301) 924-0472</p>	<p><b>HOUSE LOCATION</b>          LOT 10A BLOCK 7B          TAKOMA PARK LOW &amp; TRIST COMPANY          PLAT BOOK-47 PLAT 3943          TAKOMA PARK          MONTGOMERY COUNTY MARYLAND</p>
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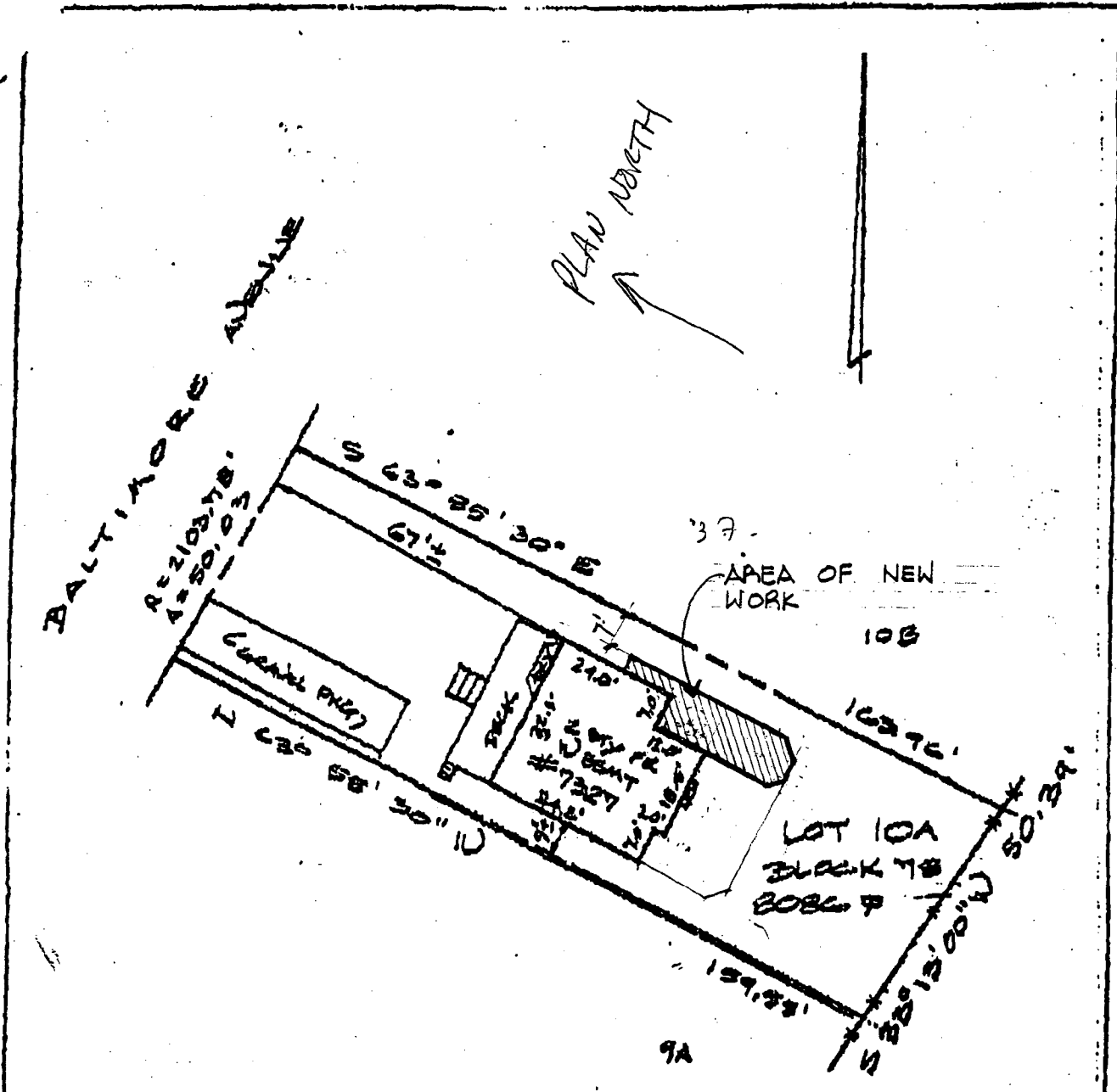
<p><b>SURV. JOB'S CERTIFICATION</b></p> <p>I hereby certify that the property delineated hereon is in accordance with the Plan of Survey, and that the same was prepared by accepted field procedures and include permanent monuments, if any. I also certify that the same was prepared for the exclusive use of the owner of the property, and that I will guarantee the title thereto, within six months from the date of this report furnished.</p> <p><i>Johnson B. Lawrence</i>          Mr. Reg. Professional Land Surveyor - Johnson B. Lawrence</p>	<p>Job No 622-18          Scale 1" = 30'          DATES          Well Or          Final LSE 1/27/99          Record</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------

6

FROM: ROBERT GOLDMAN ESQ. DIAMOND TR

R-60 7 set back  
6,000 \$

JUL. 22. 1995 6:07PM P 1  
PHONE NO. : 301 670 3447

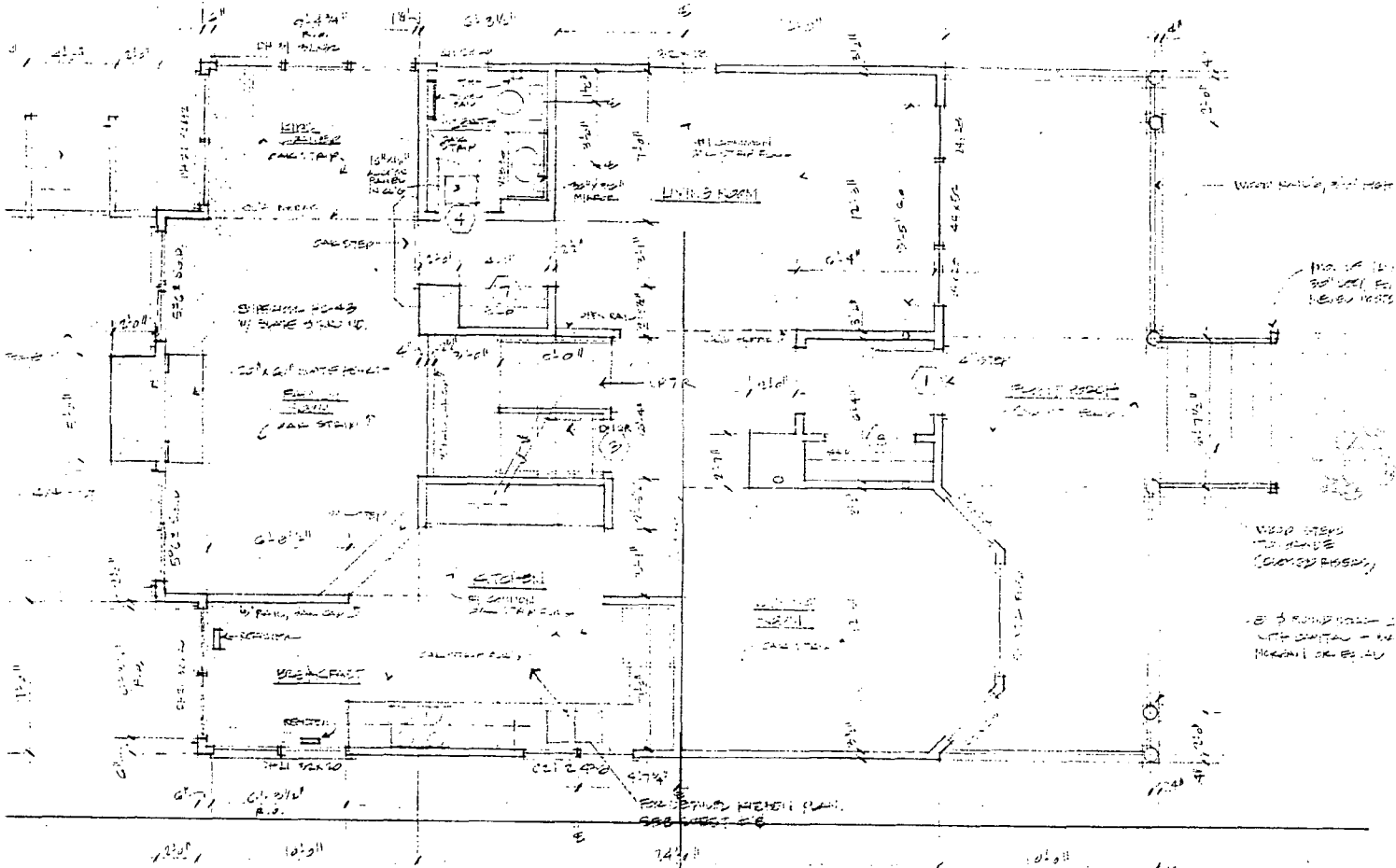


Property shown hereon is not in a flood plain per existing records unless otherwise noted.

<p><b>O'CONNELL &amp; LAWRENCE, INC.</b> SURVEYORS, ENGINEERS &amp; LAND PLANNERS 17806 Georgia Avenue, Suite 302 Clary Maryland 20832 Tel: (301) 924-1570 Fax: (301) 924-2472</p>	<p><b>HOUSE LOCATION</b> LOT 10A BLOCK 7B TAKOMA PARK LOW TRUST COMPANY PLAT BOOK-47 PLAT 3943 TAKOMA PARK MONTGOMERY COUNTY MARYLAND</p>
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<p><b>SURVEYOR'S CERTIFICATION</b></p> <p>I hereby certify that the property delineated hereon is in accordance with the Plan of Survey, and that the same was prepared by accepted field procedures and includes permanent monuments, and is prepared for the exclusive use of the property owner, and that I will guarantee the title therein, within six months from the date of this report furnished.</p> <p><i>Robert S. Lawrence</i> Registered Professional Land Surveyor</p>	<p>Job No 622-18 Scale 1" = 30' DATE Well OK Final Ltr 1/27/99 Rec'd 950071</p>
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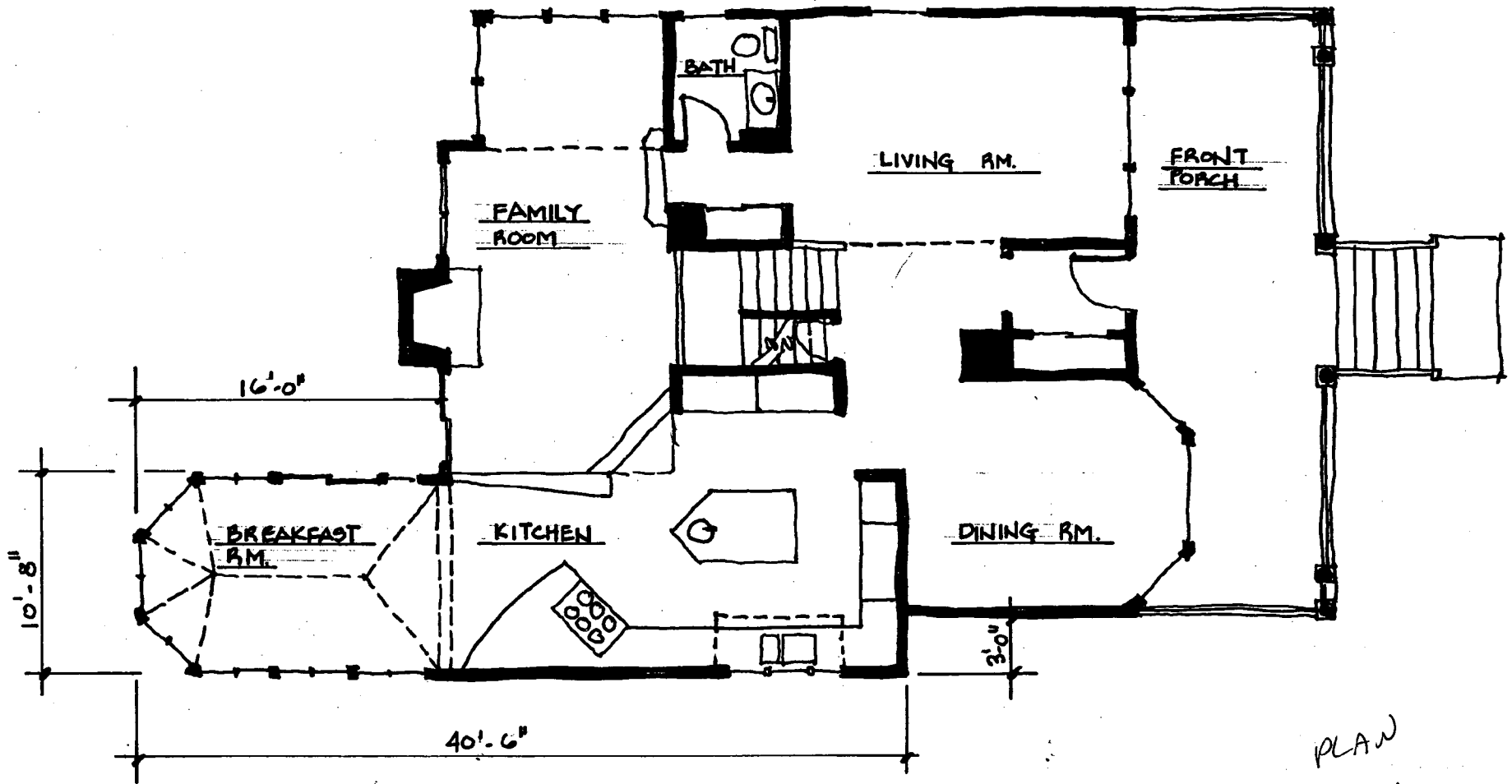
7



FIRST FLOOR PLAN

PLAN NORTH  
 →

EXISTING FLOOR PLAN



PROPOSED 1st FLOOR PLAN

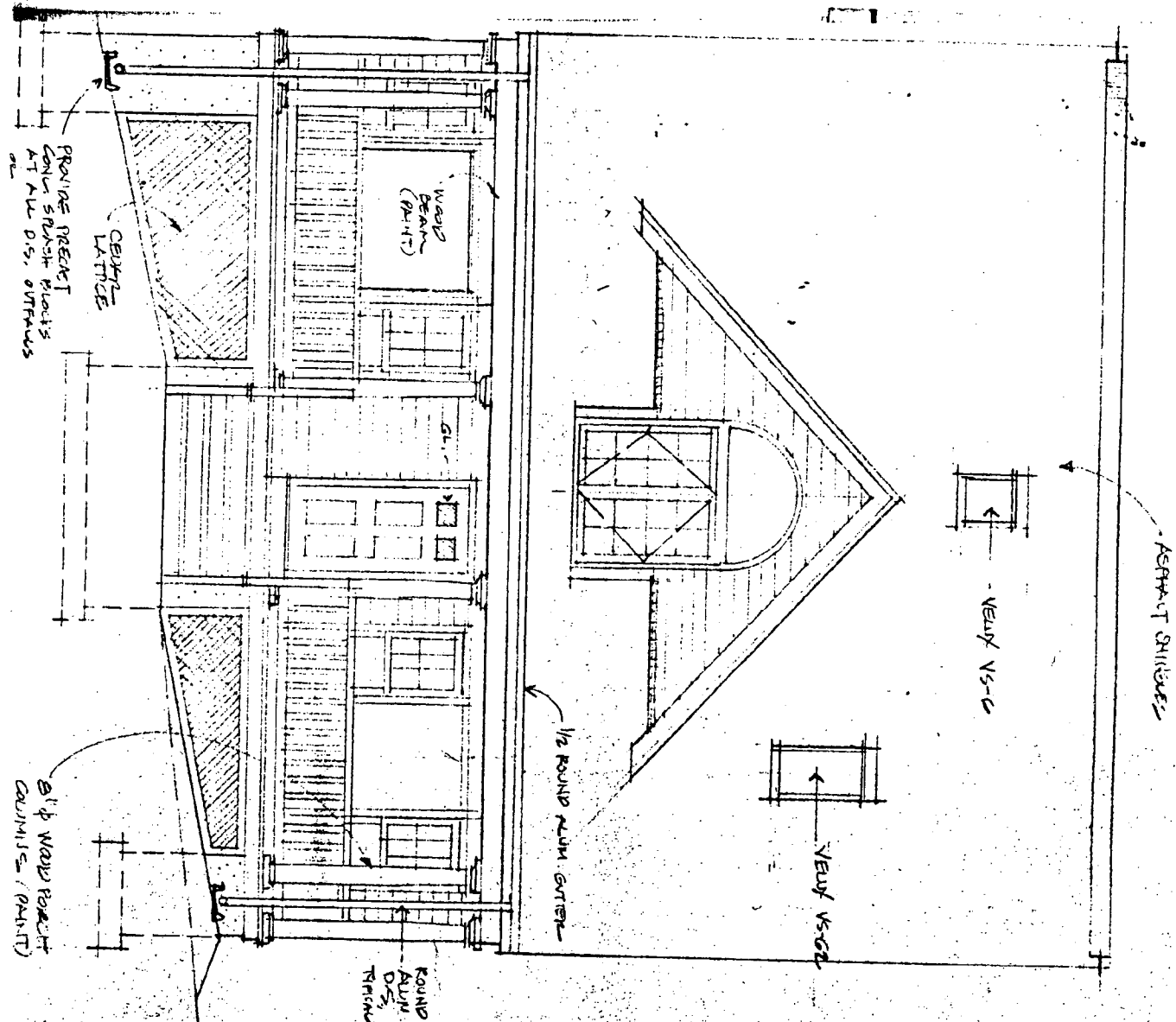
1/8" = 1'-0"

6

10

EXISTING  
NOTE: WINDOWS, AS INSTALLED, ARE 1/2".

EXISTING NORTH ELEVATION



Takoma Park, Md. 20912

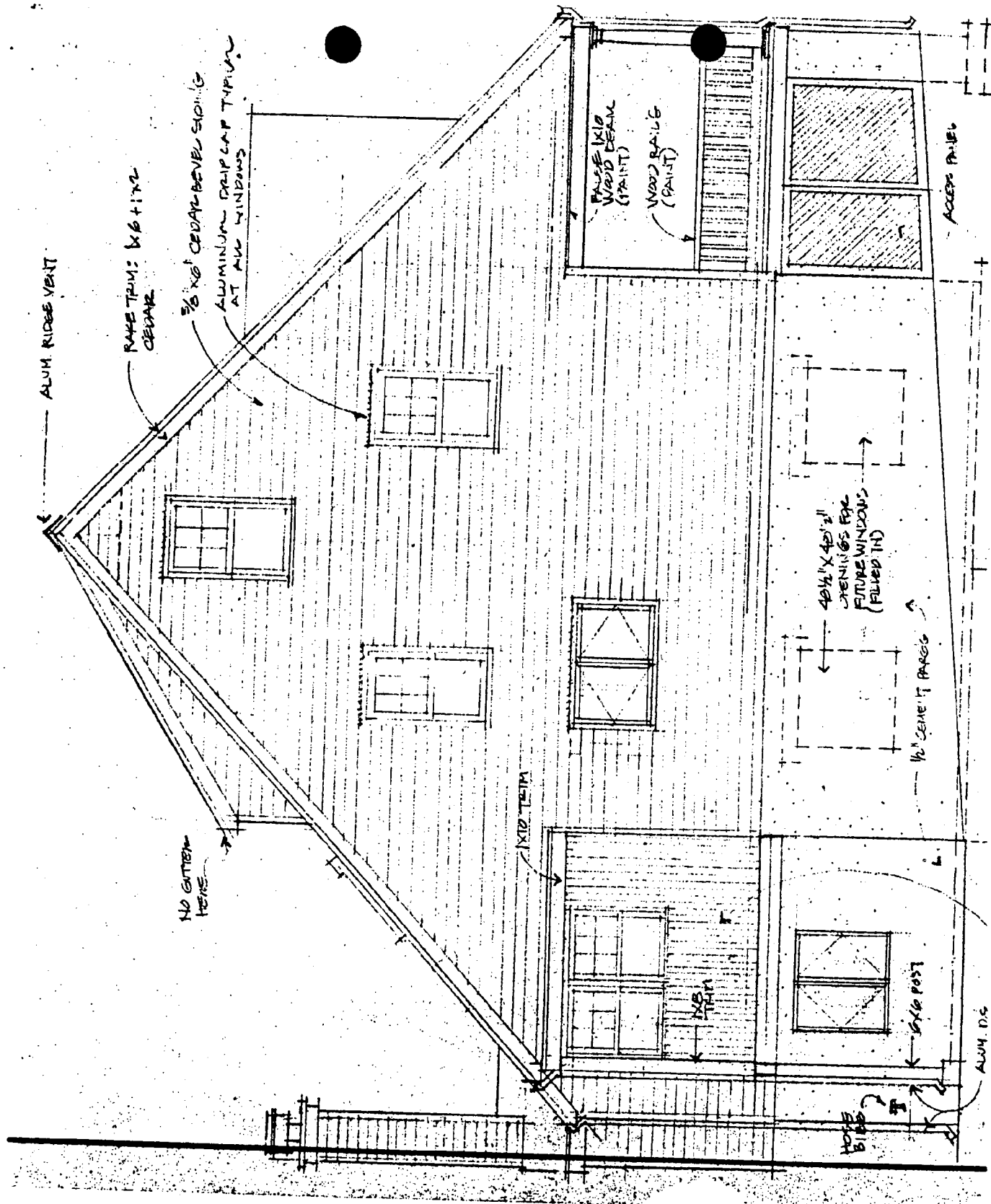
**ve Alternatives**

natural Design/Construction





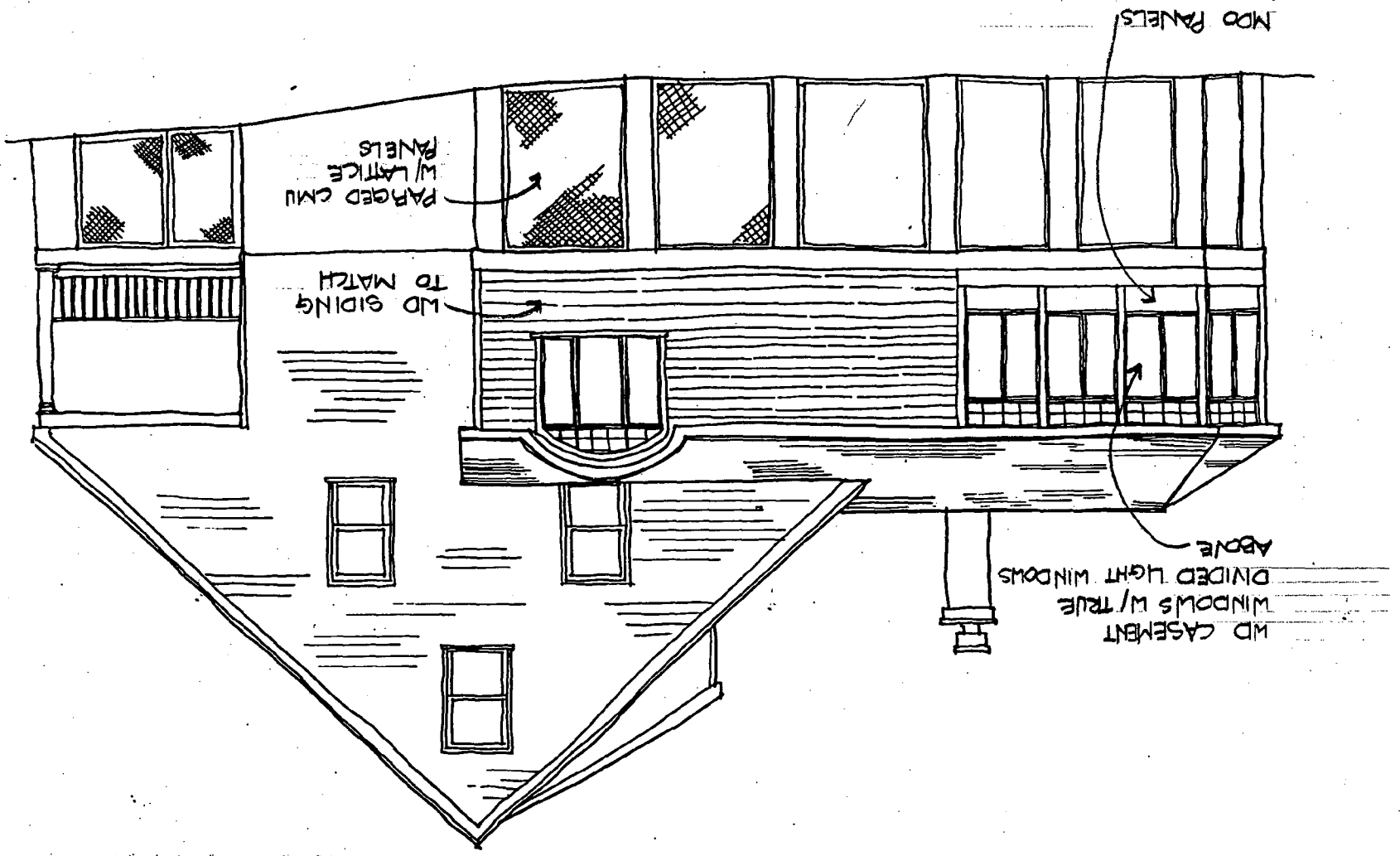
NORTH ELEVATION



EXISTING EAST ELEVATION

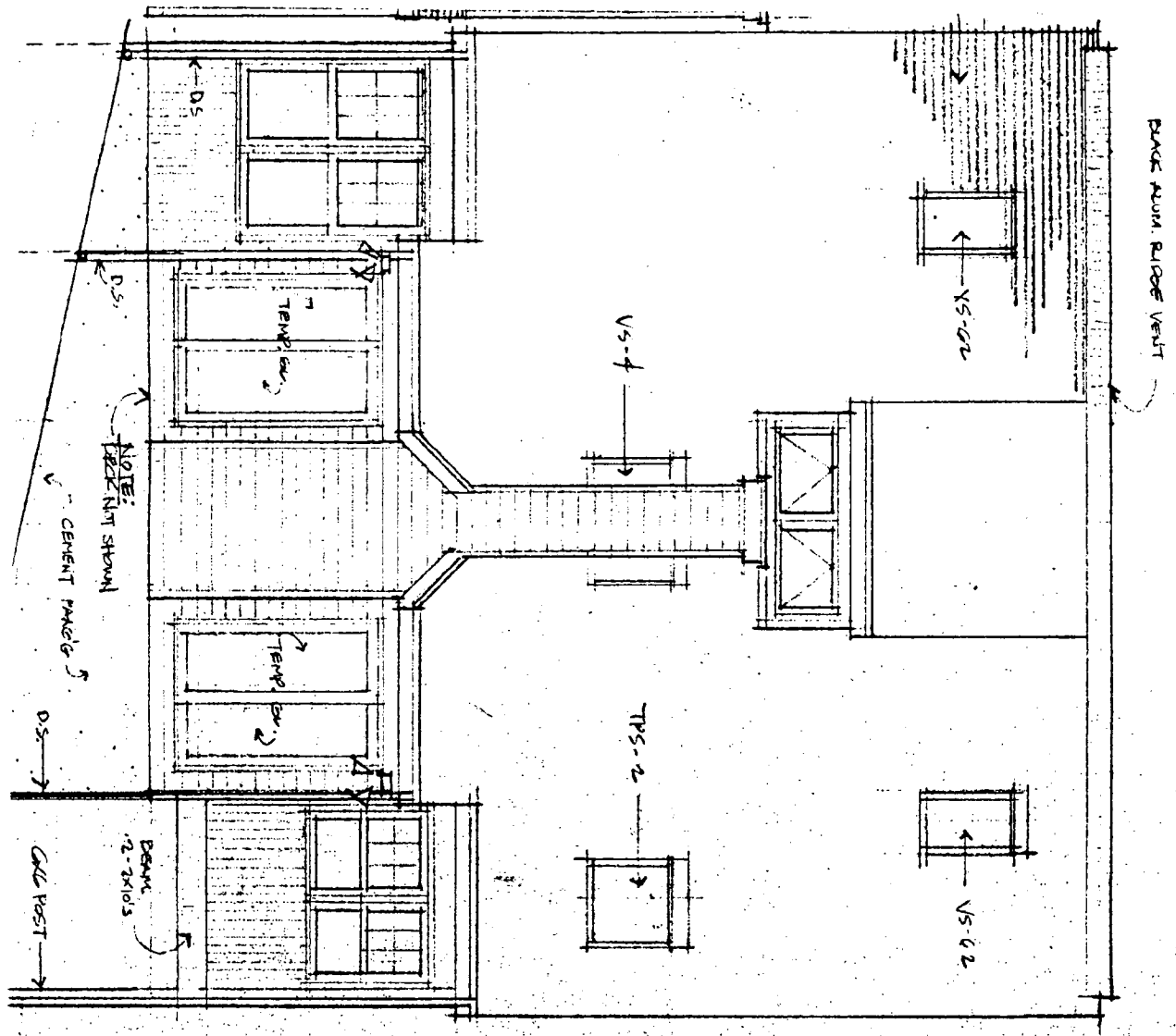
NOTE: EXISTING WINDOWS, AS INSTALLED, ARE 1/1

# PROPOSED EAST ELEVATION



14

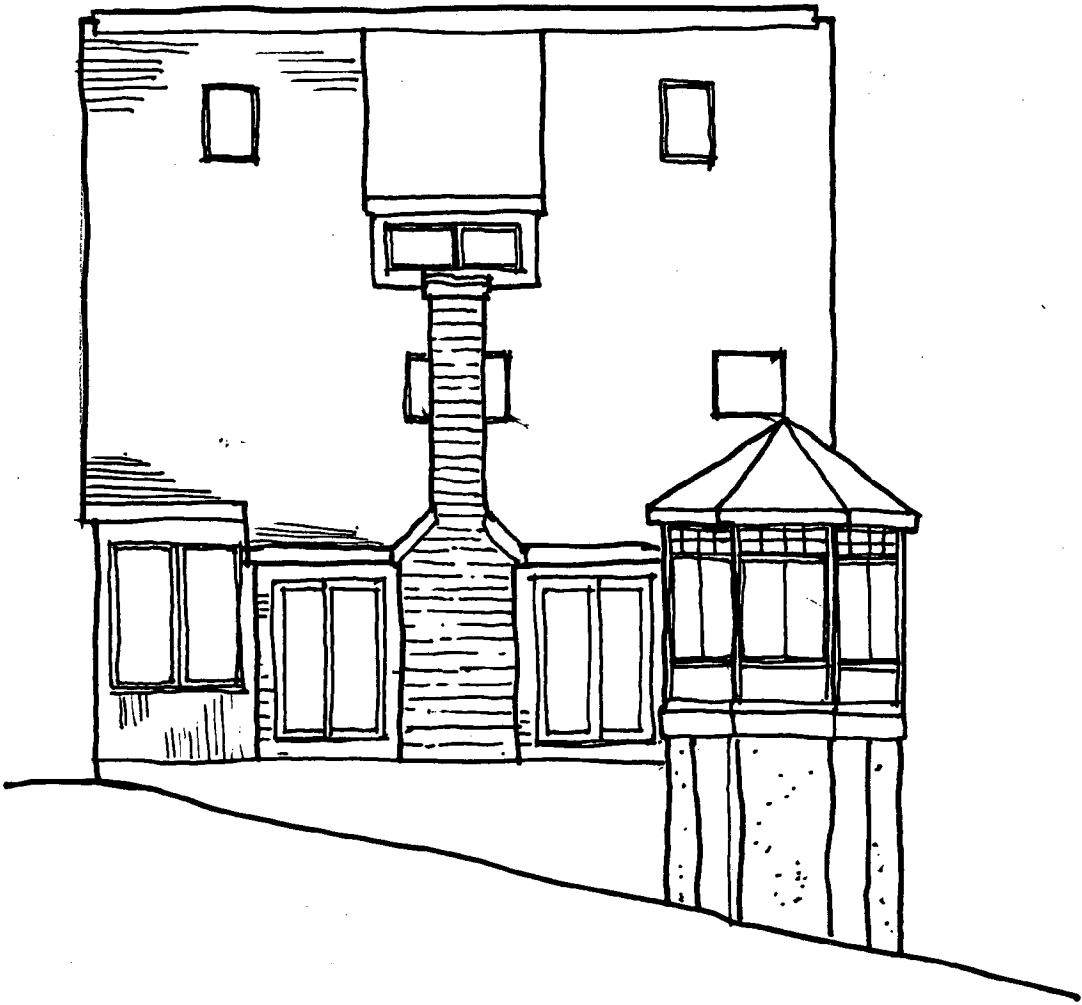
EXISTING SOUTH ELEVATION



Takoma Park, Md. 20912

alternatives

Construction



PROPOSED SOUTH ELEVATION





PROPOSED WEST ELEVATION

17

GRANDA / REED



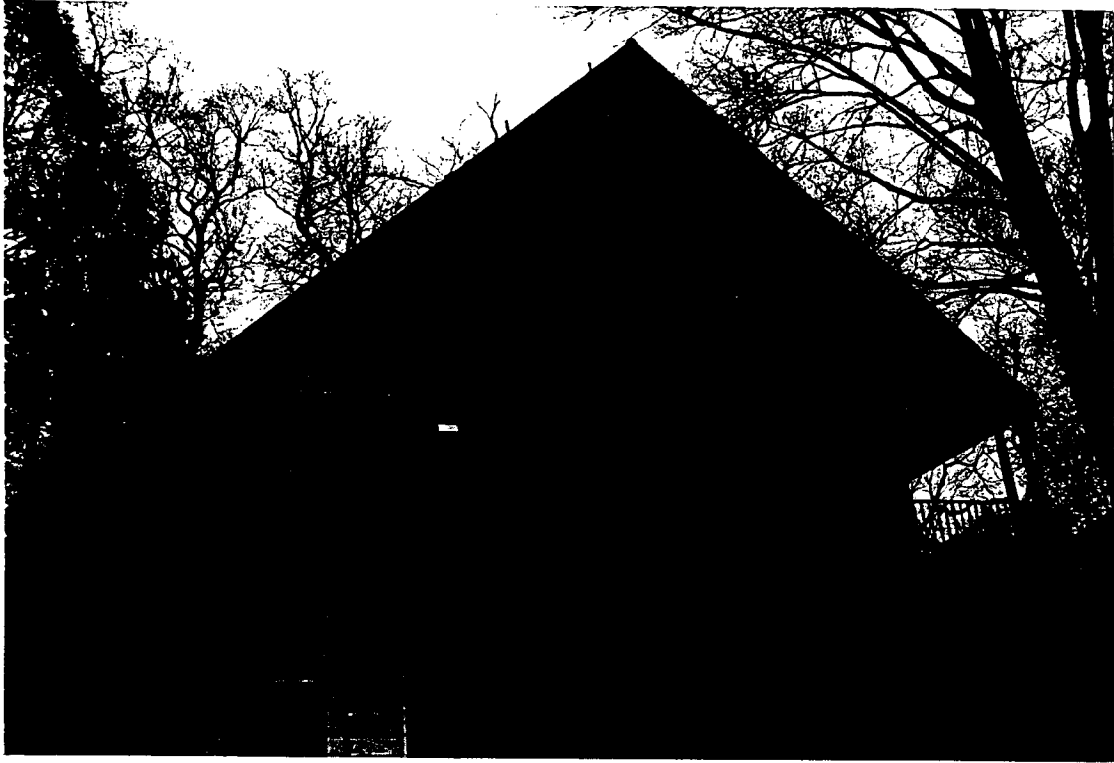
NORTH ELEVATION FRONT



FRONT - NORTH ELEVATION

(18)





EAST ELEVATION (LEFT) SIDE

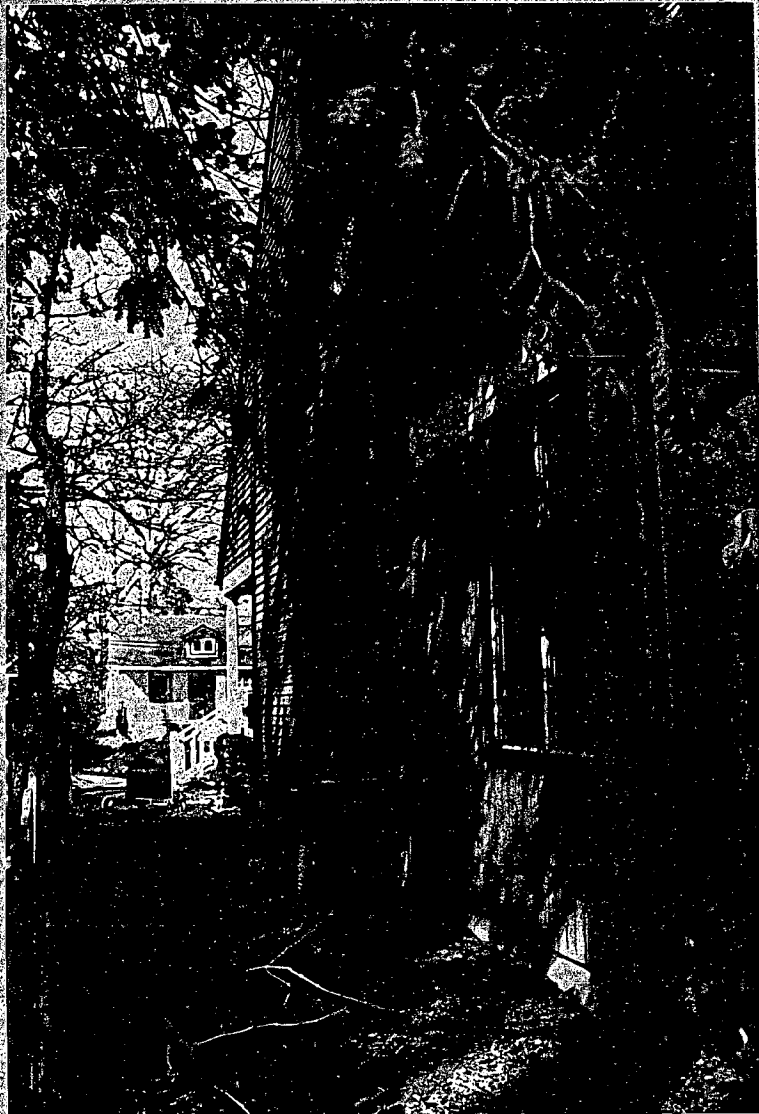


SOUTH ELEVATION REAR



SOUTH  
ELEVATION

(REAR)



WEST  
ELEVATION

(RIGHT SIDE)

20



● BANDA / REED ●



NORTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



SOUTH  
ELEVATION



WEST  
ELEVATION