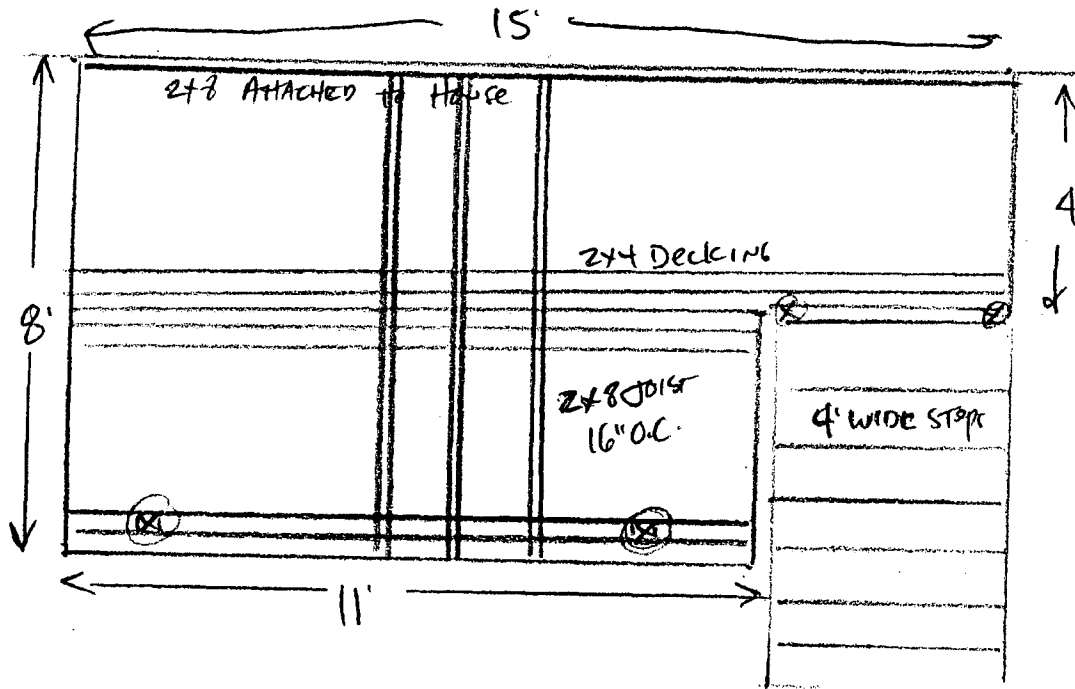


37/3-99Y 7323 Carroll Avenue
(Takoma Park Historic District)

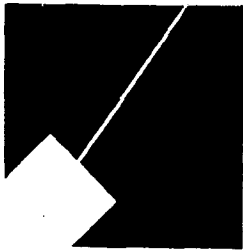
7323 Carroll Avenue
Takoma Park, MD
20912

House



APPROVED
Montgomery County
Historic Preservation Commission

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9/13/99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied
 Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Angelisa Harris

Address: 7323 Carroll Avenue, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RE: TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Angelisa M. Harris
Daytime Phone No.: 202-942-3844

Tax Account No.: 01069351
Name of Property Owner: Angelisa M. Harris Daytime Phone No.: 202-942-3844
Address: 7323 Carroll Avenue, Takoma Park, MD 20912
Street Number City State Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7323 Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Lee Avenue
Lot: 35 Block: 45 Subdivision: Carroll Manor Addition to Takoma Park
Liber: 11237 Folio: 610 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence Wall (complete Section 4) Other: Install lattice under front porch
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

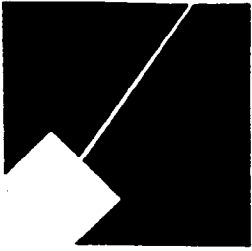
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 6 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 8-18-99 Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 9/8/99
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9/8/99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

* Please have HPC staff stamp your permit sets (2) + 1 extra for our office PRIOR to applying for a building permit.
Call ahead for appointment. 301.563.3408

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7323 Carroll Avenue	Meeting Date:	9/8/99
Applicant:	Angelisa M. Harris	Report Date:	9/1/99
Resource:	Takoma Historic District	Public Notice:	8/25/99
Review:	HAWP	Tax Credit:	No
Case Number:	37/3-99Y	Staff:	Robin Ziek
PROPOSAL:	Patio, Fence, storage shed	RECOMMEND:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: New Construction in Takoma Park Historic District
DATE: 1995

This new house is in-fill construction on the main street through Takoma Park, and is located in Takoma Junction. The house is a mid-block structure with off-street parking. The rear door currently opens out on a set of steep steps which lead down to grade.

PROPOSAL

All of the proposed new work, except for the proposed installation of lattice under the front porch, is at the rear of the house (see Circle 7).

1. The **lattice under the front porch** is to be painted white.
2. The new **storage shed** (see Circle 15, 16) is a pre-fabricated structure measuring 8' x 10', with a height of approximately 9'. It would be located at the back corner of the lot.
3. The **patio** would extend off of the back deck, and extend up to 16' x 12'. It would be made of "brick, slate, concrete, or similar material" (see Circle 5, 7).
4. The **rear deck** would provide a landing for the back door, and the size would be either 4' x 9', or 9' x 9'. It would have a painted railing (see Circle 6, 14).
5. The **fence** would enclose the back yard. On the left side of the house, 5' of fencing would face Carroll Avenue. On the driveway side (right) of the house, approximately 18' of fencing, with the **entry arbor and gate**, would be visible from Carroll Avenue. The applicant proposes to paint all segments of the fence, arbor and gate, which face Carroll Avenue white. The remaining segments of the fencing would be left unpainted. The arbor would incorporate lattice work on the sides (see Circle 11), and the gate would incorporate a circular design (see Circle 8).

①

STAFF DISCUSSION

The applicant is considering alternates in this project, and plans to make a final decision based on pricing after the solicitation of bids. For example, she is undecided about the paving material for the patio, or the size of the rear deck. Staff feels that any of the alternatives presented are adequate in this context. The *Takoma Park Guidelines* note that the goal of new construction is to be sympathetic to the traditional street and building patterns of the district while allowing for creative new building designs. While acknowledging that this house was initially constructed in 1995, the applicant is the first occupant and has been actually finishing up the construction of the house. All of the proposed new work is consistent with the district. Staff feels that the HPC could approve the work overall, and with the proposed alternates, to provide some flexibility to the applicant, noting that any of the proposed choices would be appropriate.

STAFF RECOMMENDATION

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9:

New additions and adjacent or related new construction will be undertaken in a such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and subject to the general condition that **the applicant shall present the 2 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Angelisa M. Harris

Daytime Phone No.: 202-942-3844

Tax Account No.: 01069351

Name of Property Owner: Angelisa M. Harris Daytime Phone No.: 202-942-3844

Address: 7323 Carroll Avenue, Takoma Park, MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7323 Street: Carroll Avenue

Town/City: Takoma Park Nearest Cross Street: Lee Avenue

Lot: 35 Block: 45 Subdivision: Carroll Manor Addition to Takoma Park

Liber: 1437 Folio: 610 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|---|------------------------------------|--|--|--|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input checked="" type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | | | <input checked="" type="checkbox"/> Other: <u>Install lattice work front porch</u> | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 6 feet 6 inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

8-18-99
Date

Approved: _____ For Chairperson, Historic Preservation Commission

(3)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See Attached letter. Project relates to completing back yard & finishing the rear of house. Structures are compatible with features of similar houses in historic district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See Attached letter. See Above. No adverse impact on historic resources or district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

ANGELISA M. HARRIS

7323 Carroll Avenue, Takoma Park, MD 20912

August 18, 1999

Historic Preservation Commission
1109 Spring Street, 8th Floor
Rockville, MD

RE: Amendment to Existing Historic Area Work Permit

Dear Sir or Madam:

In follow-up to my conversation with Robin, I am writing to request consideration and approval at your September 8, 1999 meeting for an amendment to an existing historic area work permit for a residential property located at 7323 Carroll Avenue.

I acquired the aforementioned property in July 1998 in a state of incompleteness by the builder/owner. Therefore, I am in the process of completing residual construction and "finish" items. The scope of the enclosed application addresses completion of the rear of the property with installation of ~~four~~ ⁵ items as detailed below. As you will see from the description below I have included options that will provide the flexibility I need in considering costs, time and labor while ensuring that the neighborhood is aesthetically enhanced and construction features are not in conflict with "spirit" of the historic district.

1. **Arbor, Gate and Fence – rear yard**

- The arbor, gate and fence will be constructed of wood in the rear of the property.
- The arbor, gate and portion of fence that extends across the driveway and faces Carroll Avenue will be painted white.
- The fence to be constructed for enclosing the other portions of the backyard will be left its natural coloring.
- The arbor will be either an arched or flat trellis structure, with an entry gate attached. See attachment "A" for examples.
- The gate will have concave or arched curve.
- Fence (6'6"): either vertical slates with a concave curve and finials on post, vertical board on board with a two-foot top frame infilled with of lattice or framed lattice screening. See attachment "B" for examples.

2. **Patio Options – rear yard**

- Constructed from brick, slate, concrete or similar material.
- Proposed dimensions may extend up to 16' X 12'.

5

3. Landing – rear yard

- Constructed from wood approximately 4'-5' from ground, flush with sliding glass entry door in rear of house. See photos.
- Either a 4X9 landing with steps and porch railing similar to front of house (see photos), with railing painting white or a 9X9 railed deck (see attachment "C").

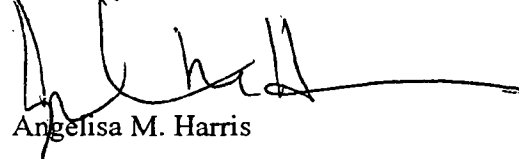
4. Storage Shed – rear yard

- Installation of a wood frame prefabricated storage shed approximate 8X10 feet. See attachment "D". *9' Height*

Enclosed are: an application for a historic area work permit, photographs, drawings, property plat/site plan and examples of features for the proposed items to be installed.

Thank you for your assistance in the matter. I can be reached at (202) 942-3844 between the hours of 8:00 a.m. and 4:00 p.m. if you have any additional questions.

Sincerely,

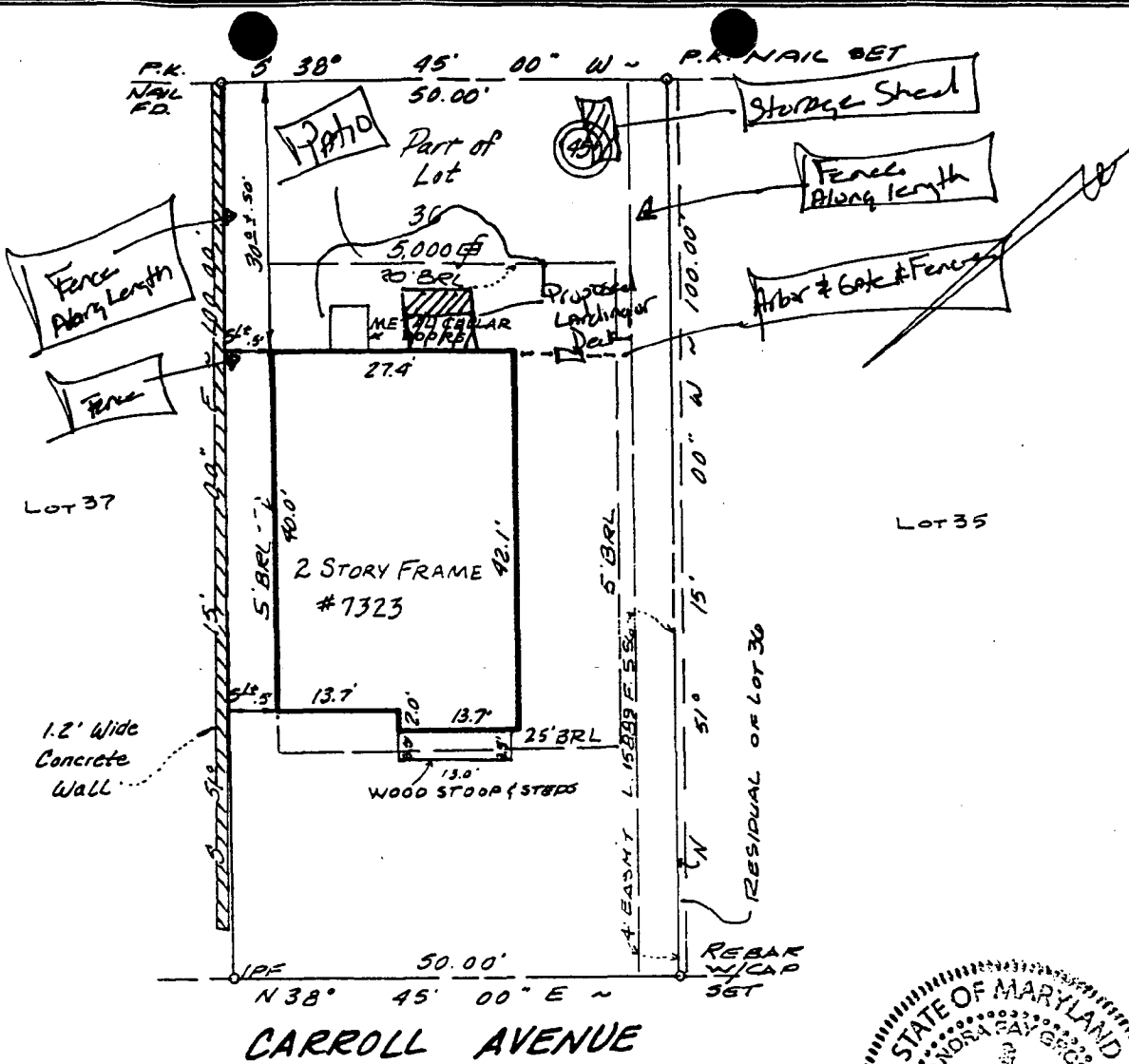


Angelisa M. Harris

:amh

Enclosures

PA P.S. Requesting approval to install lattice under front porch. (painted white)



Date: 06-26-98 Scale: 1" = 20' Dwn: P.O.
 Plat Book: 3
 Plat No.: 219 NO TITLE REPORT FURNISHED
 Work Order: 98-3272
 Address: 7323 CARROLL AVENUE
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

PART OF LOT 36
 BLOCK 45
 CARROLL MANOR
 ADDITION TO TAKOMA PARK

Sandra J. Gross



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

7

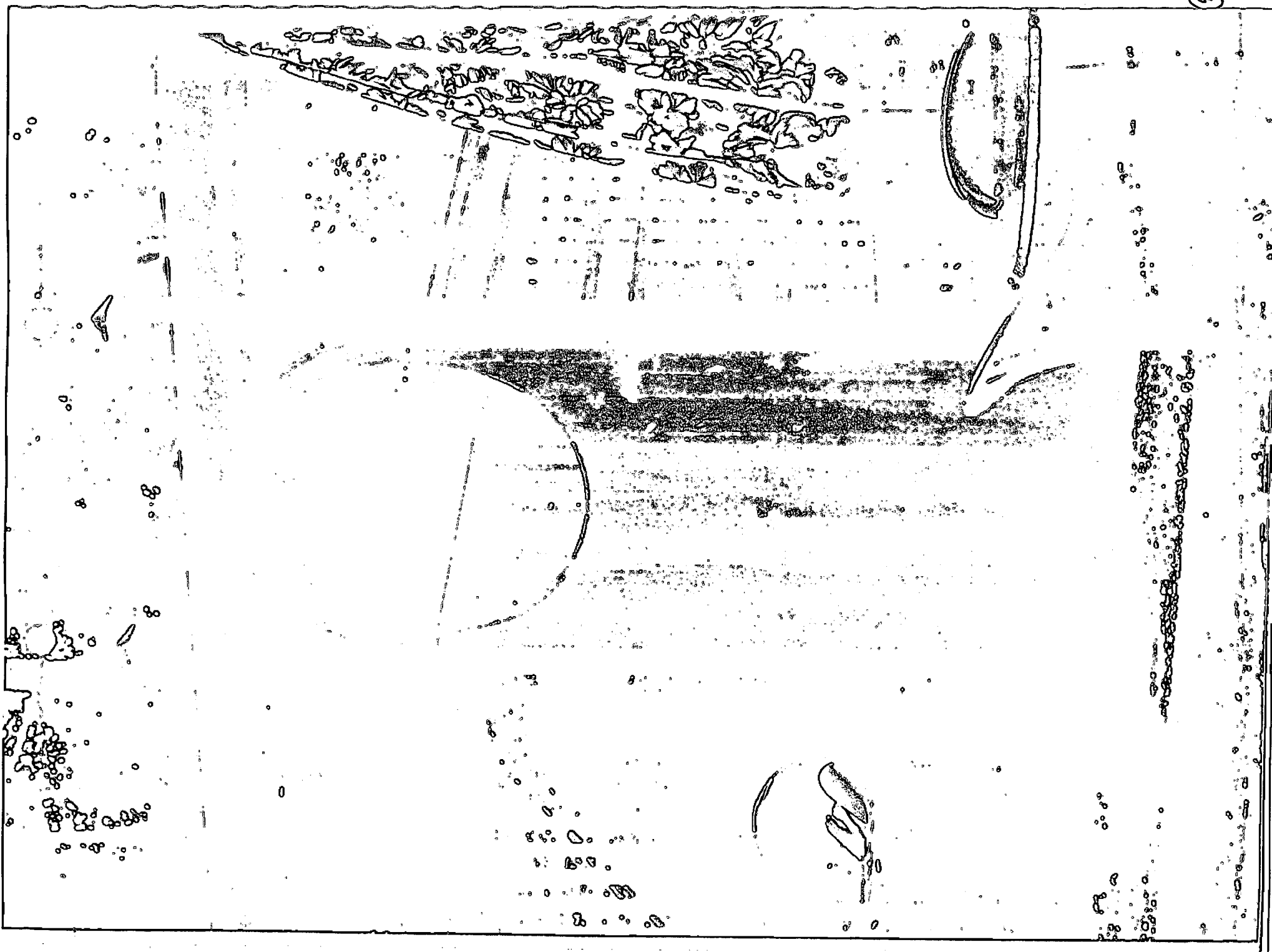
A

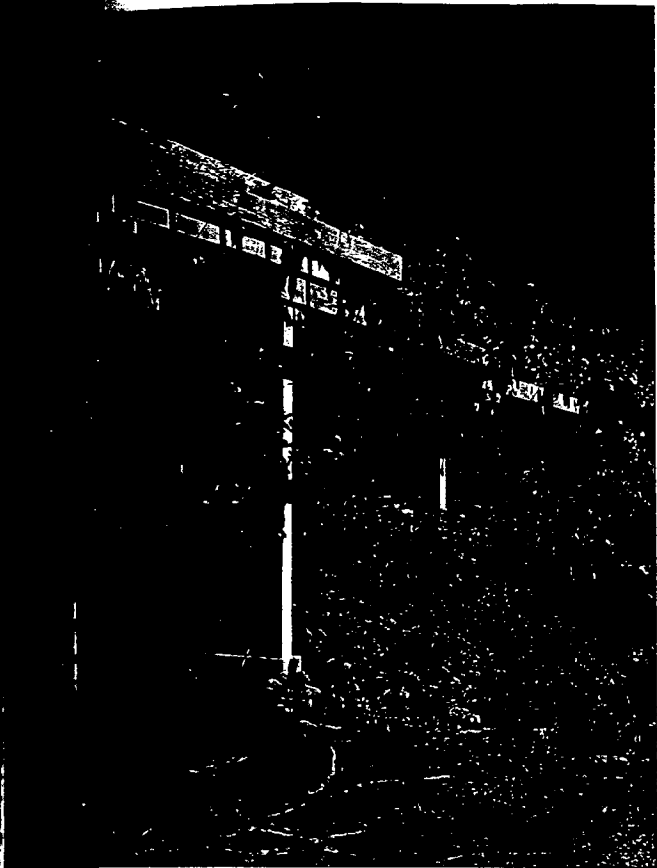
Top: The fence and gates around this garden add to its breathtaking beauty in many ways. By defining the space, they highlight the lush lawn and stunning begonias. The fence and gates are also attractive features themselves. The relatively simple fence design, with a few refined embellishments, reinforces the serenity and order of the garden. Certain details, such as the circular openings in the gates, add interesting focal points. Overall, the fence and gates establish a delightful interplay between the visitor and the garden by simultaneously framing views that invite one to pause and linger, and extending views that beckon one to move on and explore.

Bottom left: A solid panel fence is an effective way to block noise from a busy street. For maximum sound control and privacy, there should be no openings, and all joints should be tight. In this fence, the boards are locked into grooves milled along the sides of the posts. The finials and pediments across the top of the fence and the restful color prevent the fence from being drab and intrusive.

Bottom right: There's no rule that requires grapestakes to be installed vertically. Here, the horizontal fencing adds to the relaxed, rustic feeling of the deck, and provides an excellent buffer against annoying breezes.







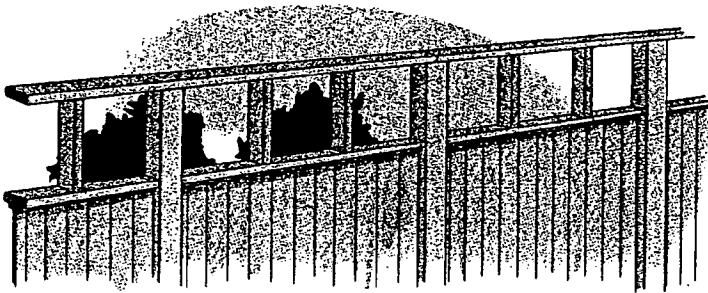
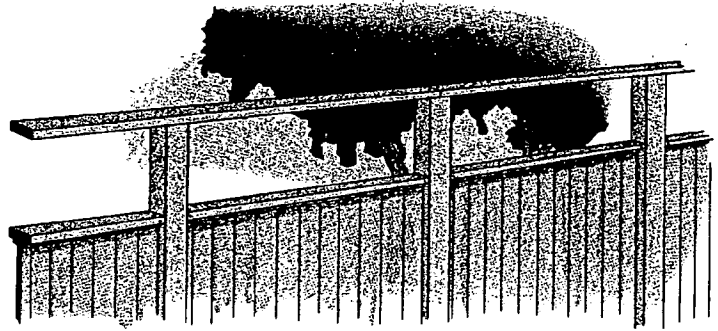
Arbors were originally structures designed to support plants (above and overleaf), but an arbor can also be a plant-free transition from one part of the yard to another as shown at left.

A

B

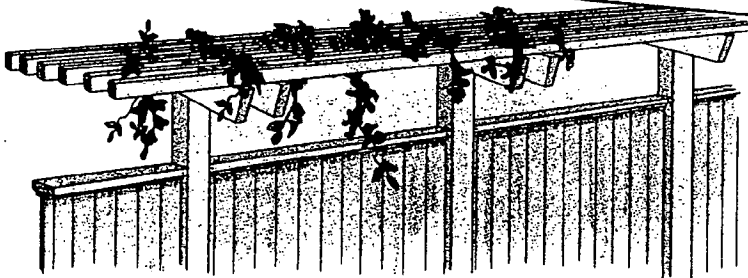
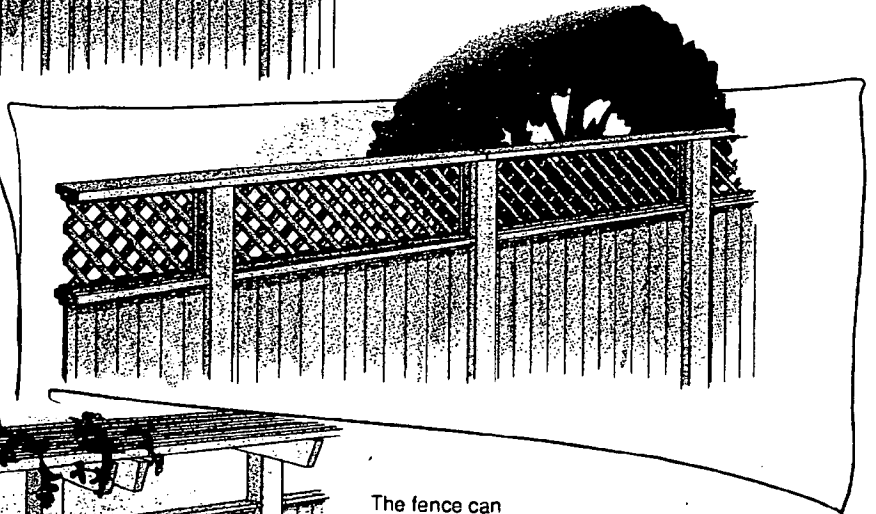
Posts

The posts can reach even higher to support a special border



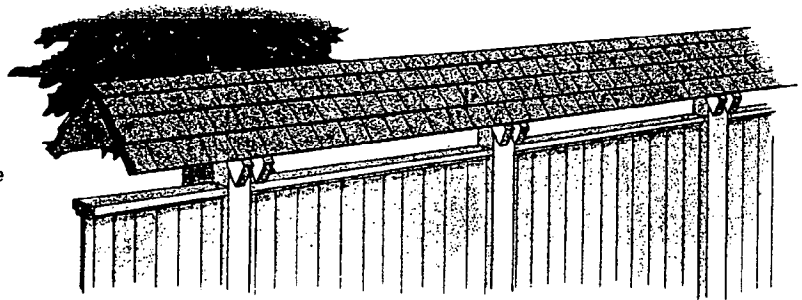
The border can be open and divided into proportional frames . . .

. . . or it can sport a contrasting infill all its own



The fence can be arbored . . .

. . . or have a linear gable

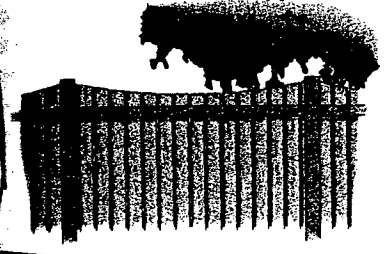


11

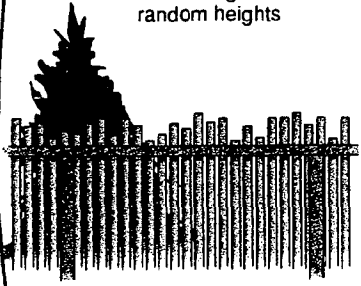
(B)

Tops, Caps, and Posts

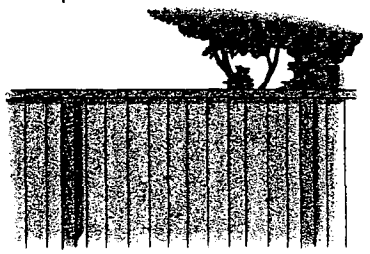
The tops can be beveled in succession to form a long, sweeping, concave curve ...



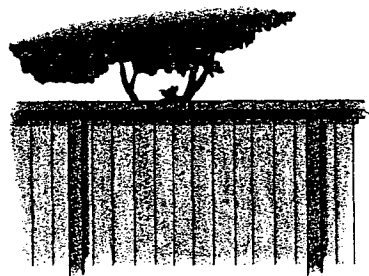
... or range of random heights



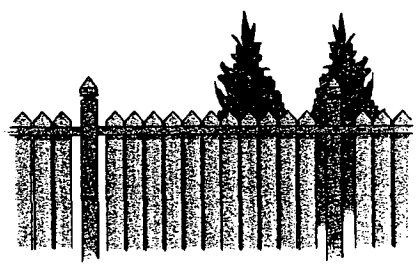
... or sit flush with the top of the rails



... or an extrawide trim piece can cap off the edge



The posts can project above the top rails, with finials pointing skyward down the line



reach very high to support a special border. The border can be open and divided into proportional frames. Or the border can sport a contrasting infill all its own. The fence can be armored, or it can have a linear gable.

Slopes and Obstructions

Sloped terrain presents a special set of conditions, both when you're planning your fence design and when you're building it. The illustrations on page 42 show you three ways in which the fence can negotiate a change in grade. If you don't know which type of framework will work best for your situation, here's an easy way to find out: Gauge the

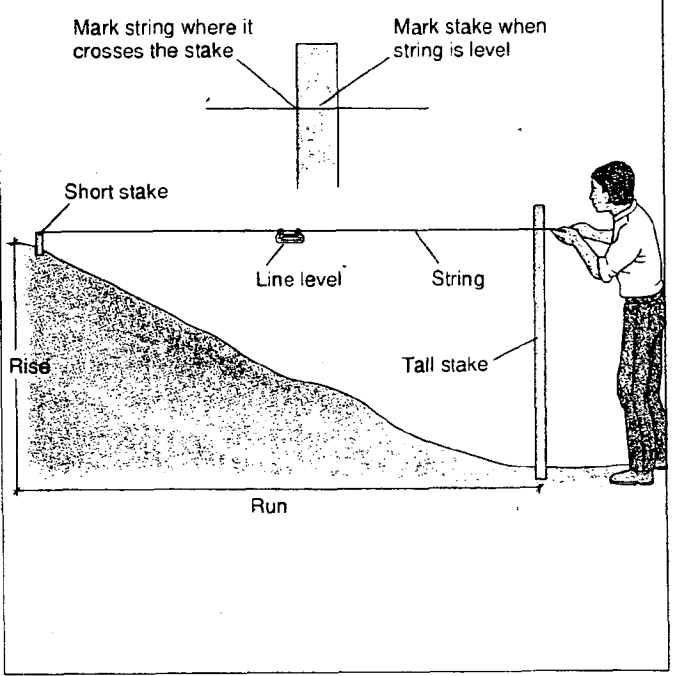
slope and plot it out on paper. To experiment with alternatives, sketch them on paper.

How to Gauge a Slope

The purpose of gauging a slope is twofold: It helps you to decide which of three framework approaches you want, and it helps you to determine how much each bay of a stepped frame must project above the one below it.

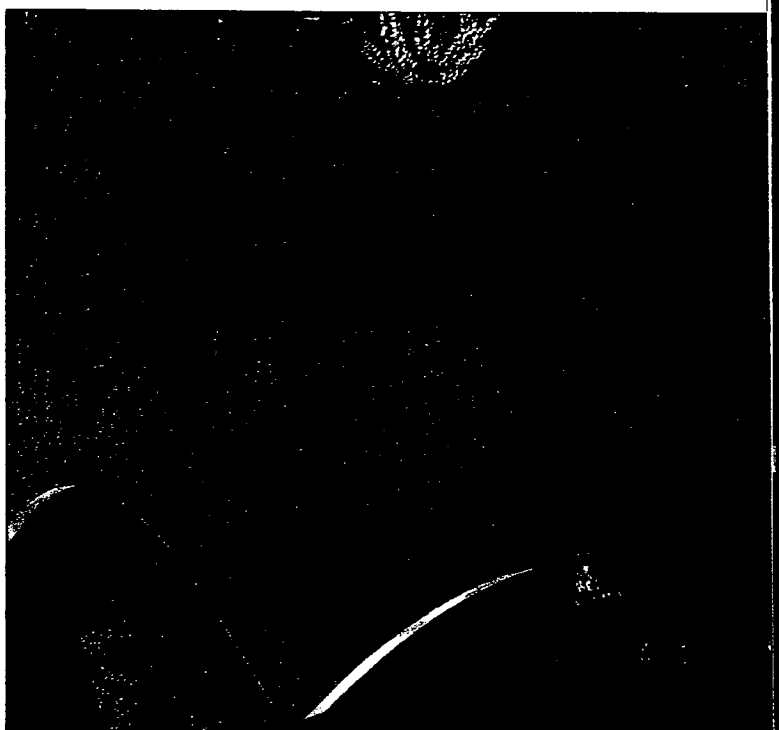
There are several ways to gauge a slope. The method described here, using an inexpensive line level, is the simplest and will be accurate enough for most situations. Drive two stakes firmly into the ground, one at the top of the slope and one at the bottom (as shown at right). Tie a

How to Gauge a Slope



13

28

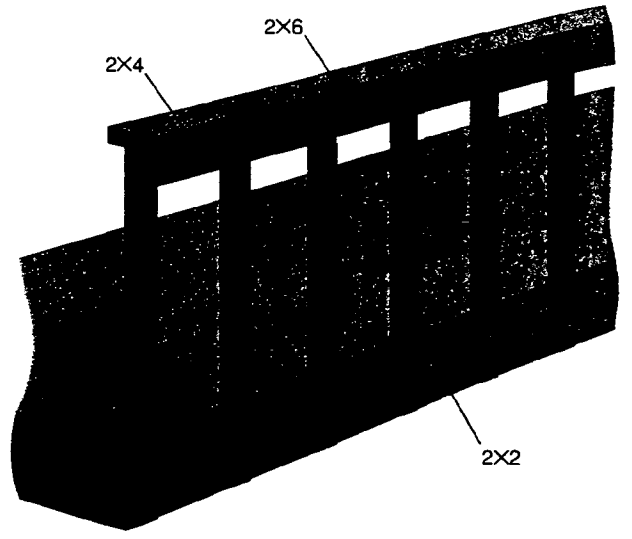
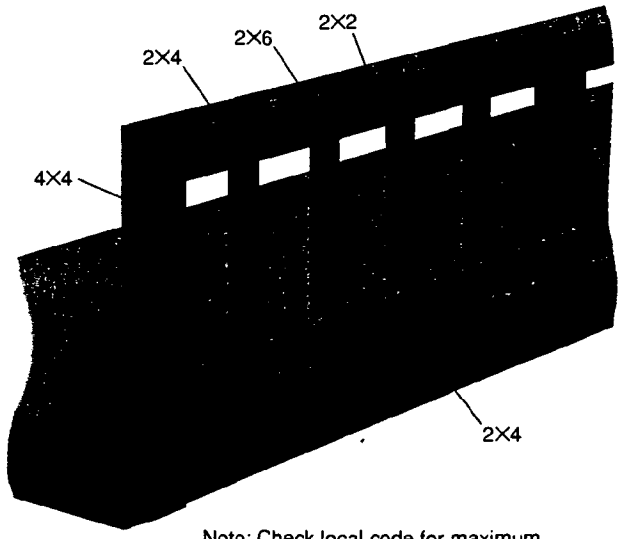


B



10

Sample Railing Configurations



Note: Check local code for maximum allowable space between railing members

than a certain number of steps in a flight of stairs—usually two or three—a railing is usually mandatory.

Railing design can be elaborate or simple. A railing can help define the deck as formal and traditional, or it can give it a more contemporary look. You can integrate railing posts with seating by adding benches; slope the back for comfort.

Deck Finishes

After the deck is completed and the wood has seasoned a few weeks, apply a protective finish, even if you've used redwood, cedar, cypress, or pressure-treated lumber. See page 29 for more finishing tips.

Many homeowners choose to paint their decks. Realize that, before being painted, a deck should be protected with a quality sealer. Sealers are water repellents that protect wood from moisture but leave it looking natural because they

are clear. Some include preservatives. After the sealer has dried, apply a quality paint. (Work on cool, windless days so the paint won't dry too quickly.) Paints designed for marine use are an excellent (although expensive) choice. The drawback to paint is that you may have to repaint the deck every few years. If you want to avoid this kind of maintenance, don't paint the deck at all—just coat it with the sealer. Or stain the deck floor, and seal and paint just the vertical surfaces, such as railings.

Stains seal wood and come in a variety of tints or colors. They are easier to apply than paint. Ask for a stain that is nonchalking so it won't rub off on clothes. Before staining, the deck should have stood in hot dry weather for at least a month so the wood will absorb the stain like a sponge. For best results, mix the stain with an equal amount of sealer.



Your deck does not have to put you on stage. The enclosure around this deck gives it privacy and wind protection, without sacrificing views and openness.

14

(D)

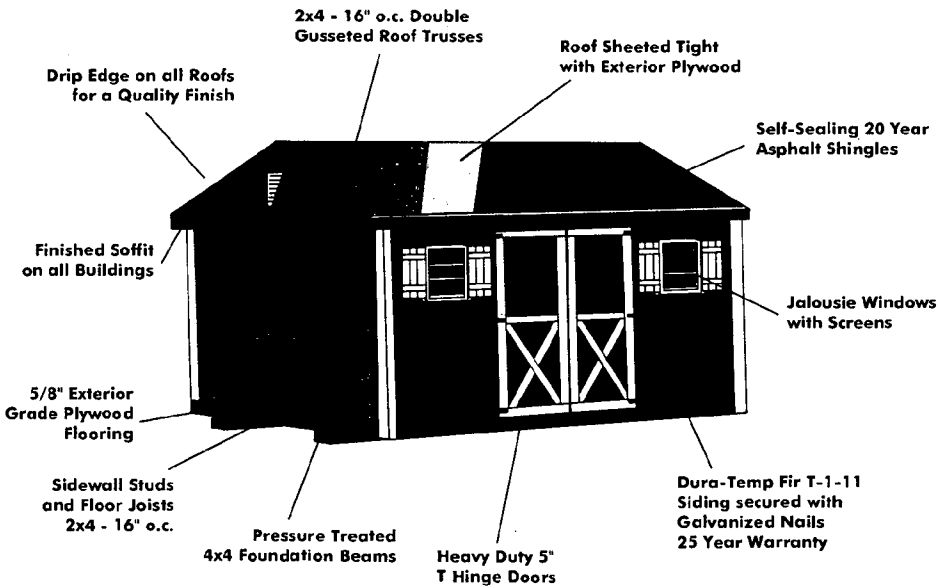
Heavy Duty Barn SPECIFICATIONS

Economy Barn SPECIFICATIONS

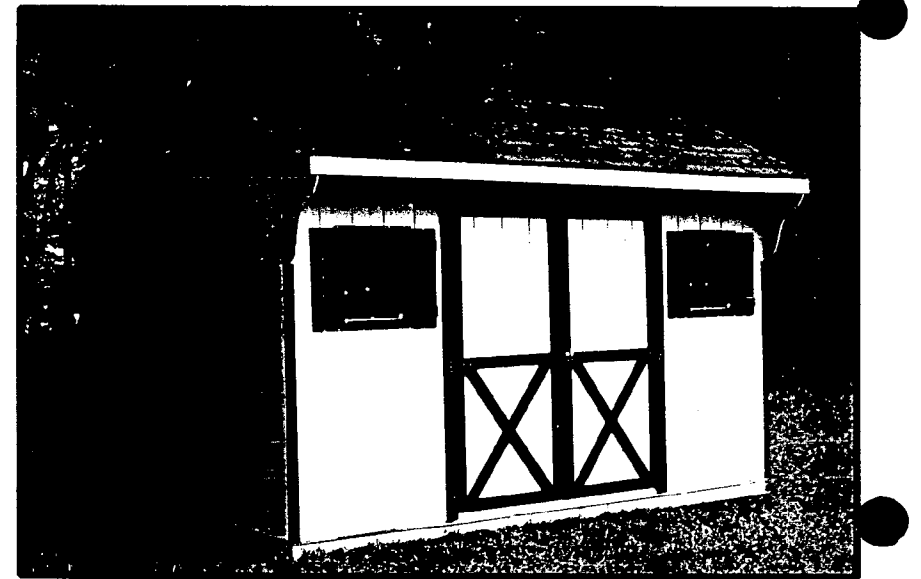
- Foundation 4"x4" pressure treated lumber
- Floor Joists 2"x4" 16" o.c.
- Flooring 5/8" exterior grade plywood
- Sidewall Studs 2"x4" 16" o.c.
- Exterior Siding 5/8" rough-sawn T-1-11
- Rafters 2"x4" 16" o.c.
- Roof Sheathing 1/2" 3-ply plywood
- Roof 240 lb. self-sealing asphalt shingles
- Doors Heavy duty and reinforced with 2"x3" lumber

- Foundation 4"x4" pressure treated lumber
- Floor Joists 2"x4" 16" o.c.
- Flooring 1/2" C.D.X. plywood
- Sidewall Studs 2"x3" 24" o.c.
- Exterior Siding 1/2" Dura-Temp
- Rafters 2"x4" 24" o.c.
- Roof Sheathing 1/2" O.S.B.
- Roof 240 lb. self-sealing asphalt shingles
- Doors Heavy duty and reinforced with 1"x3" lumber

Quality Storage Sheds

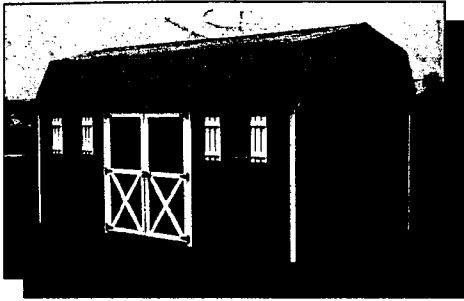


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The Carriage Shed

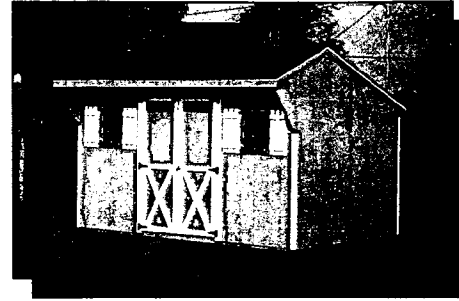




The DUTCH BARN

A solution to many storage & space needs, its standard features are:

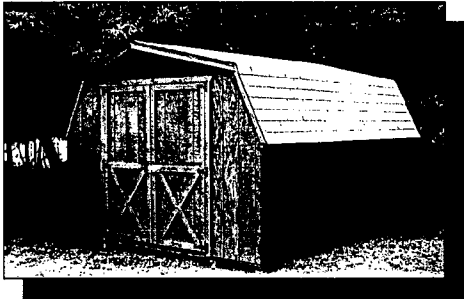
- One double door
- Two 18x22 jalousie windows



The QUAKER

Versatile and charming, the Quaker's standard features are:

- One double door
- Two 18x22 jalousie windows with shutters*



The MINI BARN

An economical all-purpose storage unit. Its standard features include:

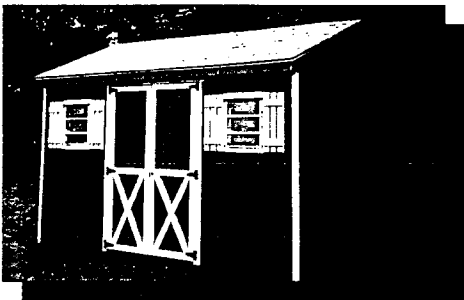
- One double door
- One 18x22 jalousie window



The MINI 6' WALL

Nostalgia and function are combined in this barn. It's features are:

- One double door
- One 60x15 jalousie window



The A-FRAME

A delightful way to provide storage space and to enhance your property. Standard features include:

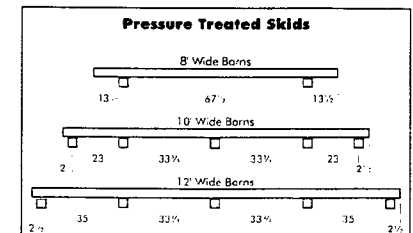
- One double door
- Two 18x22 jalousie windows with shutters.*

Our hand crafted, superior quality buildings are built to please the eye and to endure the rigors of hard use and all types of weather conditions. They are built to accommodate heavy lawn equipment, tractors, snowblowers, etc.

The rugged plywood floor is 8" above the ground providing a free flow of air that reduces the tendency to dampness, which will give you a carefree and long lasting structure.

Soundly constructed with top grade lumber, all the building styles may be customized by using the options list to meet your individual specifications and desires.

* 8' x 8', 8' x 10' and 10' x 10' buildings feature only one window with shutters.



All buildings are fully assembled and delivered to your prepared site.

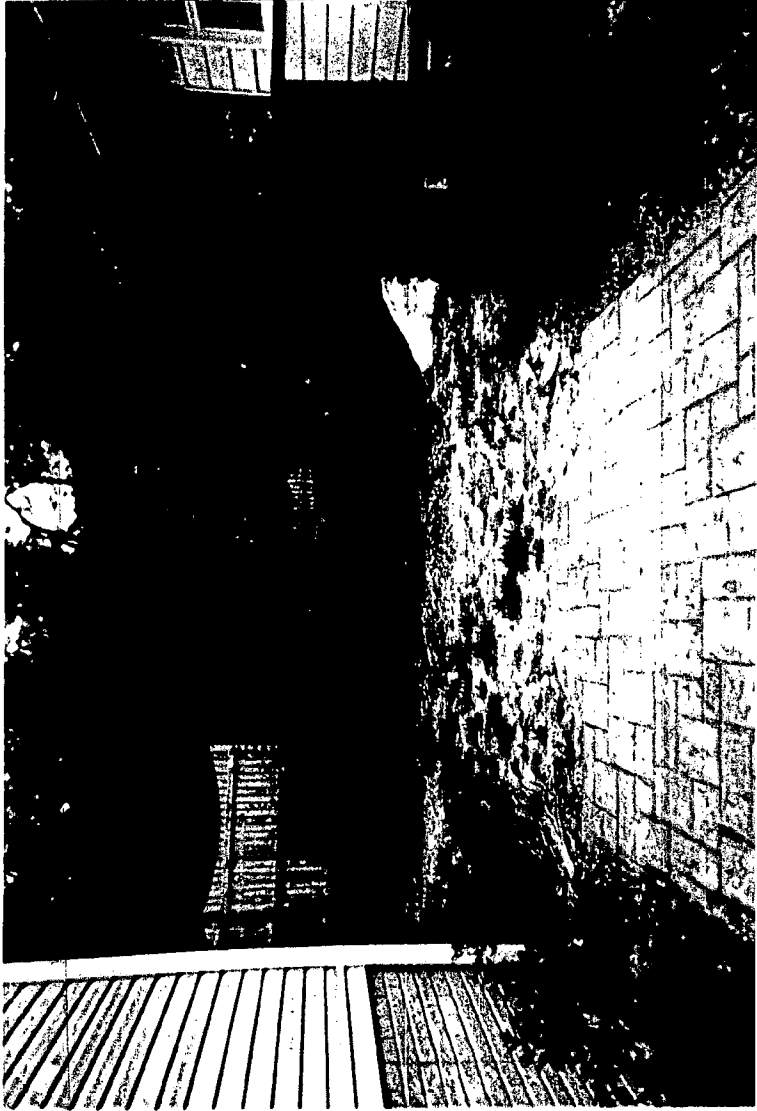
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