

Preliminary Consultation 3/12/97
7222/7224 Carroll Ave.
(Takoma Park Historic District)

Send
Report to
Ted Kowaluk
7500 Maple Ave.
Tak. Pk, MD.
20912

Send report to:
Historic Takoma
Sharon Stewart
7333 Carroll Ave
Takoma Park
MD. 20912
891-1491 (H)

3/97
102

at State of Kentucky for 1/5
Gas Station

Ta Kenna Junction
Gas Station

Revisions

March 19th Deadline for

April 9th

on April 2 for April 23rd

Elephant - Karl's #

Karl Elefante

~~(w) (202) 483-1209~~

(301) 891-1276 (#)

Present: ^{gas} Glen Sutton, Supplies

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7222/4 Carroll Avenue

Meeting Date: 3/12/97

Resource: Takoma Park Historic District

Review: Preliminary Consultation

Case Number: N/A

Tax Credit: No

Public Notice: 2/26/97

Report Date: 3/5/97

Applicant: Hemkund Corporation

Staff: Robin D. Ziek

PROPOSAL: Install canopy over gasoline pumps

RECOMMENDATIONS:
REVISE PROPOSAL

RESOURCE SUMMARY

RESOURCE: Takoma Park Historic District/Non-Contributing Resource

STYLE: Modern gasoline station

DATE: c1960±

PROJECT DESCRIPTION: Install standard metal canopy over gasoline pumps

*They did contact
Seize America*

PROJECT DESCRIPTION

The Property and its Setting

The subject property, in Takoma Junction, is known to the HPC as the Texaco station. The property has been purchased by Hemkund Corporation, and will be run as a Citco gas station. This is a modern gas station, located on a highly visible corner lot at the junction of Carroll Avenue and Grant Avenue. Traffic along East-West highway is heavy for morning and afternoon rush hour and draws on a wide geographic area; local traffic passes by during the day.

*→ The canopy as signage!
Notify City.*

The station includes a small service building with 2 service bays and one island of gas pumps. The entire property is paved with asphalt. Entry is provided off of both Carroll and Grant Avenues. There is a brick planter at the corner, and a low brick wall along the sidewalks which were installed as part of the City's efforts to upgrade this commercial area. **The City's facade ordinance applies to this site.**

Takoma Junction is the second largest commercial area in Takoma Park. Originally, this was the junction of two different trolley lines. From this, the commercial center grew. The original gas station in Takoma Junction (c1938) sits 1/2 block away at the junction of Carroll Avenue and East-West Highway. It has been renovated as a park structure.

The previous owners of this property appeared before the HPC to request approval of a new monument sign, as well as a few other small changes (approved by the HPC (8/17/94). At that time, too, the applicant had informal discussions with staff about the feasibility of installing a canopy over the pumps (40' x 30'). This was discouraged on the grounds of incompatibility with the historic district, and the applicant never formally brought such a proposal to the HPC.

The Proposed Canopy

*Sutton says: provide a modern - safe and
See Gulf stations w/ canopies - Better model than Kensington*



Soderberg - Maybe if design is great

Lauzon - NO

Clemmer - No but if design is great...

Eiz - NO, but if design is great
(Simple)

Kanclars - good design -

Jordan - Sensitive design
(Karl Elstfautek)
Local activist

Benford - OK w/ camp, but should tie in w/
Surround...

The applicant asks consideration for a canopy which would measure 24' x 44', with a fascia measuring 3' high. The canopy would be built to the building restriction line, which is 5' back from the sidewalk (10' from the property line).

The canopy would be made of steel, have a flat roof, and stand on two columns which are 17'. Signage would be displayed on the fascia facing both Carroll Avenue and Grant Avenue, and would consist of the Citco logo (3' x 3') and a 0'-27" x 32' "triband decal". These would be displayed on the fascia which would be colored a "soft white". The Citco logo would be surface mounted and illuminated.

The existing building measures 27'x49' or 1323 sf. The proposed canopy would cover 1056 sf (24 x 44). The existing lot is 13,233 sf so that, currently, the building coverage is only 10%. With the proposed canopy, the building coverage would be an additional 8%, for a total of 18% of the site.

GENERAL STAFF COMMENTS

Staff has discussed this proposal with the owner's agent, Mr. David Friend. Staff has suggested that a standard canopy such as would be found along any highway or Route 1 is not appropriate for a historic district, especially one as intact as Takoma Park. Staff consulted with Scenic America for possible alternatives to the standard canopy design, and understands that weather protection has been devised in other historic districts around the country which may also be acceptable in Takoma Park. Mr. Friend was contacted by Staff and provided with the name and number of staff at Scenic America for consultation. Staff is unaware whether or not the contact was made or whether or not it was helpful. It is clear, however that the applicant has chosen to submit a **standard canopy design** for HPC consideration in this Preliminary Consultation.

The proposed canopy would be **highly visible** in the historic district, especially considering the sight lines along Carroll Avenue and East-West Highway. The road curves at this point, and a canopy set to the building restriction line, 5' back from the sidewalk along Carroll Avenue would be most apparent to traffic in both directions. Indeed, this may be one of the intentions of the applicants, considering the proposed inclusion of signage on the canopy fascia additional to the approved monument sign.

In addition, the canopy would **block views** across the existing open corner to both the market at the corner of Carroll Avenue and Grant Avenue and to the adjacent and fairly recently renovated residential building (zoned commercial) on Grant Avenue. In other words, the canopy would block neighborhood views of other commercial structures, and of the transition to residential structures on Grant Avenue. The City of Takoma Park has installed some public art in blank windows on the Grant Avenue side of the corner market, and the canopy would block the view of these paintings for a vehicle traveling west on Carroll and East-West Highway.

STAFF RECOMMENDATION

Staff is including with this report a copy of a "Preservation Law Update" dated 1/12/93 which dealt with the same issue in Massachusetts (See Circle 10, 11). In a 1992 decision in Mobil Oil Corporation v. Holden Historic District Commission, the Massachusetts court agreed with the local HDC that the proposed canopy would be incompatible with other structures in the historic district. And the courts were unconvinced by Mobil's argument that they would loose business due to inclement weather, citing a study which showed that there was not an "absolute causal relationship" between reduction in sales and bad weather.

From this, it is clear that the courts appear to be supportive of the intentions of historic preservation ordinances.

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The proposed canopy is not appropriate within the historic district of Takoma Park. A gas station at this location is itself highly visible and business has been conducted here for many years without a canopy over the gas pumps. If the applicant believes that a canopy is desirable here, Staff urges the applicant to review **other possible designs** which might be compatible with the Takoma Park historic district. The Takoma Park Guidelines recognize the historic importance of the commercial centers in Takoma Park, and “encourage new development that is sensitive to the historic and architectural character of Takoma Park.” The City’s design standards for Takoma Old Town and Takoma Junction are attached as part of the County’s Master Plan and indicate a wide public support for sympathetic and compatible design of new structures within the historic district.

The Takoma Park Guidelines state that “The goal of new construction within both residential and commercial historic districts is to be sympathetic to the traditional street and building patterns in the district, while allowing for creative new building designs...Unique designs which may not adhere strictly to traditional neighborhood practices, but which are sensitive to and compatible with the fabric of the community should be supported.” (P.18) **It is clear that the proposal before the HPC for their consideration does not meet these criteria.**

David B. Friend
5608 April Journey
Columbia, Md. 21044
☎ (410) 997-4058

02/20/97

Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, Md. 20910

Ref.: 7222 Carroll Ave.
City of Takoma Park
Proposed Service Island Canopy (Written Description)

Attn: Robin Ziek

The proposed canopy dimensions required for adequate equipment & customer service coverage is 24'-0" wide x 44'-0" long x 14'-6" clearance height. Please refer to attached site drawing #1 of 1, dated 1-20-97 for canopy location & elevations.

Proposed canopy materials to consist of primary & secondary structural steel framing, metal coated foam core fascia panels (color: soft white) and 24 Ga. metal deck soffit panels (color: soft white).

Standard "Citgo" imaging would normally include a 36" sq. brand placard and a triband decal as indicated on the elevation views.

Should you require any additional information regarding the description of this product, please contact me at your convenience.

Sincerely;

David B. Friend

David B. Friend
Agent

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APPLICATION FOR HISTORIC AREA WORK PERMIT

NOT A HAUP

Contact Person: DAVID B. FRIEND

Daytime Phone No.: 410-997-4058

Tax Account No.: 01069ETT 01078721

HARPOL SINGH

Name of Property Owner: HEMKUND CORPORATION

Daytime Phone No.: 703-974-2763

Address: 4146 Lee Hwy. ARLINGTON VA 22207
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: DAVID B. FRIEND Daytime Phone No.: 410-997-4058

LOCATION OF BUILDING/PREMISE

House Number: 7222 Street: CARROLL AVE.

Town/City: TAKOMA PARK Nearest Cross Street: GRANT AVE.

Lot: 12 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: | | | | |

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

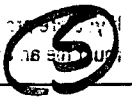
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David B. Friend
 Signature of owner or authorized agent

2/19/97
 Date



Takoma Park Auto Clinic Inc.
7221 Carroll Ave.
Takoma Park 20912

City of Takoma Park
Office of City Administrator
7500 Maple Ave.
Takoma Park 20912

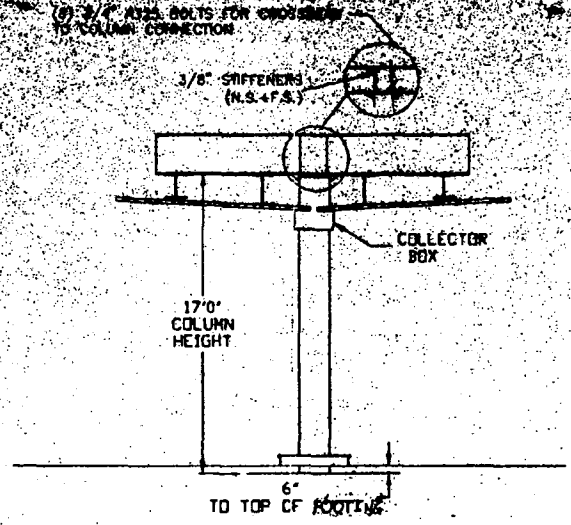
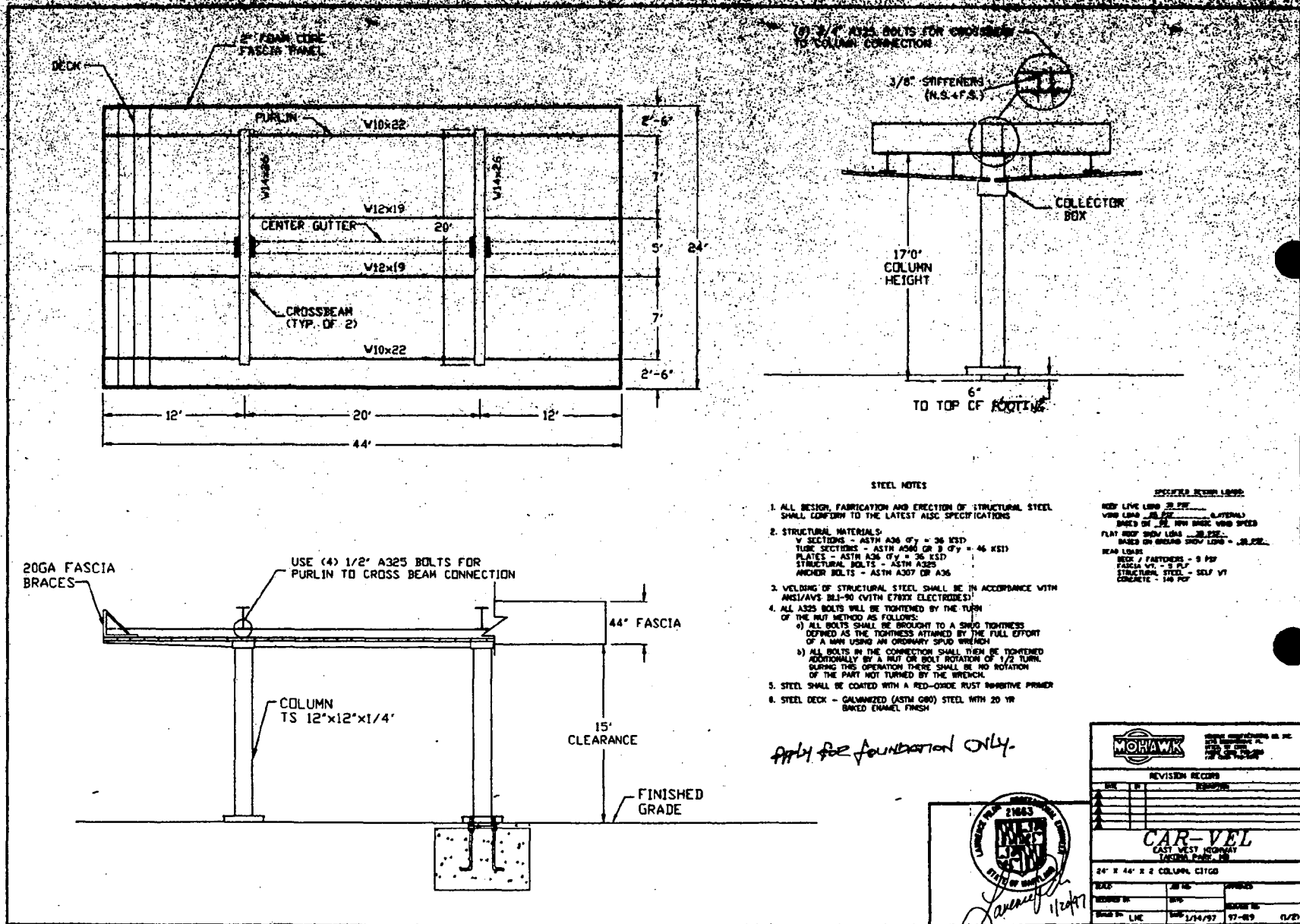
Constructive Alternatives Inc.
7334 Carroll Ave
Takoma Park 20912

Ozone Enterprises Inc.
7216 Carroll Ave.
Takoma Park 20912

Edward Bontempo
5 Grant Ave
Takoma Park 20912

John J. & D.M. Regan
7 Grant Ave
Takoma Park 20912

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STEEL NOTES

1. ALL DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS
2. STRUCTURAL MATERIALS:
 V SECTIONS - ASTM A36 (fy = 36 KSI)
 TUBE SECTIONS - ASTM A500 GR 9 (fy = 46 KSI)
 PLATES - ASTM A36 (fy = 36 KSI)
 STRUCTURAL BOLTS - ASTM A325
 ANCHOR BOLTS - ASTM A307 OR A36
3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AWS/FAWS D1.1-90 (WITH E70XX ELECTRODES)
4. ALL A325 BOLTS WILL BE TIGHTENED BY THE TURN OF THE NUT METHOD AS FOLLOWS:
 a) ALL BOLTS SHALL BE BROUGHT TO A SNUG TIGHTNESS DEFINED AS THE TIGHTNESS ATTAINED BY THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH
 b) ALL BOLTS IN THE CONNECTION SHALL THEN BE TIGHTENED ADDITIONALLY BY A NUT OR BOLT ROTATOR OF 1/2 TURN. DURING THIS OPERATION THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH.
5. STEEL SHALL BE COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER
6. STEEL DECK - GALVANIZED (ASTM A90) STEEL WITH 20 YR BAKED ENAMEL FINISH

SPECIFIED WIND LOADS
 WIND LIVE LOAD 20 PSF
 WIND LOAD ALTERNATE - 40 PSF
 BASED ON 30 MPH BASIC WIND SPEED
 FLAT ROOF SNOW LOAD 20 PSF
 BASED ON DESIGN SNOW LOAD 30 PSF
 DEAD LOAD
 ROOF PARTIERS - 5 PSF
 FASCIA WT. - 3 PLF
 STRUCTURAL STEEL - SELF WT
 CONCRETE - 150 PCF

Apply for foundation only.

MORAWAK		<small>ESTABLISHED IN 1912 CORPORATION</small>	
REVISION RECORD			
NO.	BY	REVISION	
CAR-VEL			
<small>EAST WEST HIGHWAY FACTORY PARK, MO</small>			
24' X 44' X 2 COLUMN CANOPY			
DATE	BY	APPROVED	
DATE	BY	APPROVED	

James J. Lawrence
 11/20/97
 OIL CAP
 11/20/97

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David

NATIONAL CENTER FOR PRESERVATION LAW

1333 CONNECTICUT AVENUE, N.W. • SUITE 300 • WASHINGTON, D.C. 20036 • (202) 338-0392

PRESIDENT
PAUL F. McDONOUGH, JR., ESQ.

EXECUTIVE DIRECTOR
STEPHEN NEAL DENNIS, ESQ.

PRESERVATION LAW UPDATE

1993-1

January 12, 1993

Massachusetts Court Upholds Denial for Canopy Over Gasoline Pumps

In April 1991, the Holden Historic District Commission denied a certificate of appropriateness requested by Mobil Oil Corporation for alterations at a gasoline station within a local historic district. In doing so, the commission made a crucial modification to Mobil's application by requiring that the "proposal for construction of a canopy be removed from the application."

In Mobil Oil Corporation v. Holden Historic District Commission (Civil No. 91-01434, Worcester County Superior Court, dated December 9, 1992), a Massachusetts trial court has now upheld the Holden commission's decision. Mark Verkennis, Director of Local Government Programs for the Massachusetts Historical Commission, considers the decision as highly significant: "The successful outcome of this case should help establish a valuable precedent for what is, in Massachusetts at least, one of the most formidable design review issues confronting local historic district commissions."

Mobil argued that it should have been entitled to a certificate of hardship, or alternatively that it should have received a certificate of appropriateness without the modification eliminating the canopy. (The Commission had also unanimously denied a certificate of hardship at its April 1991 hearing.)

According to the trial court's decision, commission members stated at the April 1991 commission hearing that in their opinion the canopy "was too large, too close to the street, and in general was inappropriate to the setting in which it would be placed."

The Massachusetts court noted that the Mobil site is "diagonally across" an intersection from the First Congregational Church of Holden, "which is the focal point of the [local] historic district." The structure now on the Mobil site covers "approximately 6.7% of the total lot area." By contrast, the requested canopy would have been nearly as large at the existing Holden Mobil Station:

The proposed gabled roof canopy would be 30 feet 4 inches in width and 57 feet 8 inches in length. At its highest point, the canopy would be 18 feet nine inches high. The canopy would occupy approximately 1749 square feet and would cover approximately 5.3% of the total lot area.

An architect who appeared for Mobil argued "that the canopy would be reminiscent of a 19th century railway platform and would otherwise be compatible with other buildings in the historic district."

The Massachusetts trial court agreed that the proposed canopy would be incompatible with other structures in the historic district:

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This Court finds . . . that the proposed canopy . . . bears only a superficial resemblance to some of the other buildings in the district in that it too would have a gabled roof. The only structure that the canopy would truly be compatible to and consistent with is the service station building to which the canopy would be appended. That structure . . . is of recent origin and bears a contemporary appearance. . . . After viewing the site, this Court finds that the existing service station is of a different character than the other buildings within the historic district. This Court further finds that the addition of the proposed canopy would significantly magnify the degree to which the 1175 Main Street property would clash with its surroundings. This is especially so, since the canopy would be within seven feet of the sidewalk that runs along Route 122A, and therefore would be even closer to the center of the district than the service station.

Despite the attempt of Mobil to introduce economic information suggesting that its sales at the Holden site were being impeded by lack of a canopy to protect customers in inclement weather, the Massachusetts court found this evidence unconvincing:

[The station lessee] asserted that inclement weather will, on average, lead to a 15% reduction in sales on weekdays and a 25% drop on weekends. Mobil contends that the addition of the canopy would largely eliminate these losses. The evidence submitted, however, does not support a finding of the existence of such an absolute causal relationship. As Mr. Namiotka acknowledged at trial, he can expect as much as a 5% increase in sales on days after it rains or snows. It follows, then, that some people simply do not buy gas on rainy or snowy days irrespective of whether they could seek shelter under a canopy.

The Massachusetts court noted that under existing Massachusetts precedents it must find that a "fair preponderance" of the evidence shows that the commission's decision was "unreasonable, whimsical, capricious or arbitrary" in order to annul the decision. The Holden commission had given only two reasons for denying a certificate of appropriateness: the "overwhelming" size and design of the proposed canopy and that the canopy would be too close to the street:

Pursuant to [Massachusetts law], an historic district commission, when evaluating proposed construction, "shall consider the appropriateness of the size and shape of the . . . structure . . . in relation to . . . buildings and structures in the vicinity, and the commission may impose dimensional and set back requirements in addition to those required by applicable ordinance or by-law." As such, both of the reasons espoused by the Commission were sufficient in law to support its determination.

But the Massachusetts court went further, and found specifically that the location of the Mobil site was a key factor justifying the commission's decision:

In light of the placement of the Holden Mobil Station within the heart of the district, this Court concludes that the addition of the canopy would substantially undermine one of the fundamental interests that the commission is duty bound to protect--"the public interest in the preservation of historic buildings, places and districts."

The court also upheld the denial of a Certificate of Hardship:

The mere fact that some financial hardship will result from the Commission's decision is not enough for this Court to annul the Commission's decision. . . . ((T)he inability to use land to its maximum economic potential is not necessarily a substantial hardship.)

When quoting, please credit the Center.

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City of Takoma Park, Maryland

OFFICE OF CITY ADMINISTRATOR
TELEPHONE (301) 270-1700
FAX (301) 270-8794



7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

March 7, 1997

Ms. Gwen Marcus-Wright, Historic Preservation Coordinator
Maryland National Capital Park
and Planning Commission
1109 Silver Spring Avenue
Silver Spring, MD 20910

RE: Preliminary Consultation - 7224 Carroll Avenue, Takoma Park, Maryland

Dear Ms. ^{Gwen}Marcus-Wright:

It has come to the City's attention that a contractor is in the process of applying for a permit to perform renovation work at the above referenced property. City staff was originally contacted by the contractor in early February of this year and he was referred to Montgomery County Department of Environmental Protection and the Historic Preservation Commission. I would like to thank you for your efforts in keeping City staff advised of the status of this case.

The City has invested a considerable amount of money and time in creating a sustainable, and aesthetically pleasing business environment in Takoma Junction. The City is very interested in ensuring that any propose renovations have a positive impact on the historical character of the area. I would like to express the City's desire that although this property is a non-contributing resource the proposed renovations will have a tremendous impact on the character of the area and the level of review of the proposal should take such impacts into consideration. The typical cookie cutter prototype gas station is not something the citizen's of Takoma Park are interested in. We trust that Historic Preservation staff and the Commission will review any and all renovation proposals from the perspective of a "neighborhood" gas station which is located in Montgomery County's largest historic district.

I would like to thank you in advance for your time and effort involved in this matter. If you need any additional information or assistance in this matter please contact Ted Kowaluk, at (301) 270-1700 ext. 231.

Sincerely,

Beverly K. Habada
City Administrator

City of Takoma Park
Housing & Community Development
7500 Maple Avenue
Takoma Park, Maryland 20912
(301) 270-5900
fax (301) 270-8794

fax

To: *Robert Zuck*

Fax #: *495-1307*

From: *TED*

Date: *3/7/97*

Subject: *7224 CARROLL*

Pages: *2 including cover.*

NOTES: *Hard copy in the mail.*

City of Takoma Park, Maryland

OFFICE OF CITY ADMINISTRATOR
TELEPHONE (301) 270-1700
FAX (301) 270-8794



7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

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Maryland National Capital Park
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1109 Silver Spring Avenue
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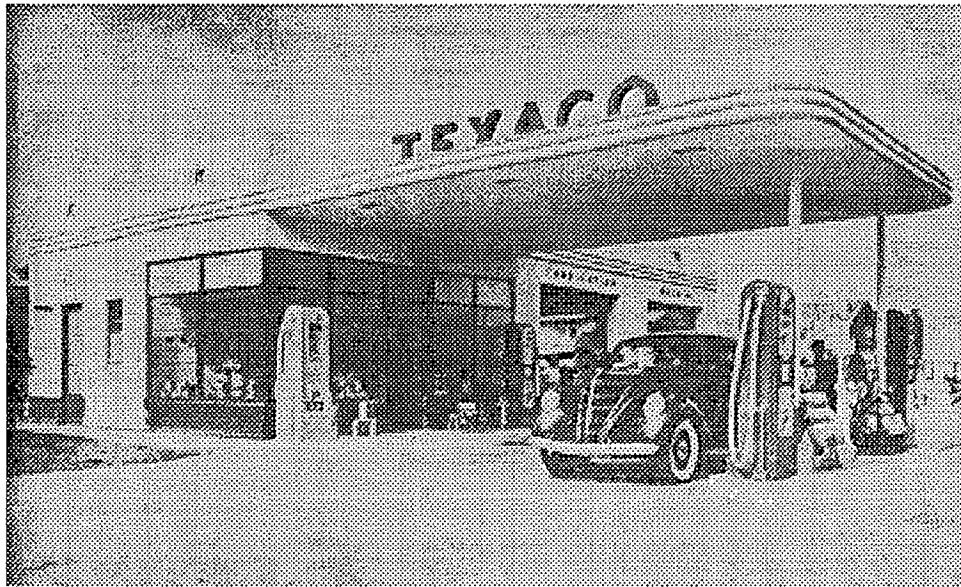
Sincerely,

Beverly K. Habada
City Administrator



TEXACO GAS STATIONS

The old-style Texaco gas stations, the ones that were painted white with forest-green streamline stripes and a free-standing post bearing the red Texaco star logo on a white disk, were designed by Walter Dorwin Teague (also known for designing the Kodak Brownie camera and a host of other streamlined artifacts). In his book "Design This Day" (1940) Teague shows his original work for Texaco, the exhibition hall he designed for them at the Texas Centennial fair in 1935, plus photos of the small gas stations which were built cookie-cutter-like all over America.



It is clear from the text and illustrations in "Design This Day" that Teague was well-versed in the principles of sacred geometry and had been deeply influenced by the writing of Jay Hambidge (author of the 1925 book "The Parthenon and Other Greek Temples, Their Dynamic Symmetry"), which he cited repeatedly.

I first read "Design This Day" during the early 1970s. Studying the text and looking at the pictures, i became convinced that Teague's two basic Texaco gas station plans, small and large, had been based on the root-5 rectangle, the same basis used for the Partheon's proportions, and that he did this to show off to best advantage the Texaco logo -- a 5-pointed star -- because that form of star is subtly keyed to the root-5 rectangle.

Despite my certainty, Teague's written allusions to the geometric relationship between the star, the root-5 rectangle, the Parthenon, and his own gas station designs were so slight that until the late 1970s, i thought i might be mistaken. But sure enough, the building's windows seem indeed to be root-5 rectangles, and the entire facade looks as if it were based on root-5 geometry. Good for Walter Dorwin Teague -- and a nasty snarl to the faceless corporate overlords who caused all his work to be undone when they remodelled the facades of the company's remaining Teague-designed stations in the 1980s and 1990s and then painted them a hellish charcoal grey and red.

Today your only chance of seeing an original Texaco station facade is to find one that was sold off to a private owner before the stations were remodelled. Typically these buildings are now the home of car body shops, small used car dealerships, or junk stores. The Texaco colour scheme will have been repainted, but the stations are identifiable by the three streamlines along the roof canopy and by the presence of the free-standing circular sign.

A further note on the 5-pointed Texaco star logo: This is, of course, the so-called "Texas Star," which appears on the state's flag, and hence it was a logical logo design for a gasoline company based in Texas...but there is more to it than that.

The Republic of Texas was founded in the 1830s by a group of Freemasons (Austin, Houston, Travis, Bowie, Crockett et al). At that time the well-known Masonic symbol of a square and compasses surrounding the letter G had not yet replaced the older Masonic symbol of a square and compasses surrounding a 5-pointed star. This star, called by Masons the "Blazing Star," is said to represent the Great Architect of the Universe, namely, the creator-god. (This older symbol of a square and compasses with a Blazing Star is still a preferred Masonic emblem in Europe and in American Co-Masonry.) Due to the fraternal connections of the founders of the Republic of Texas, it is highly likely that the use of the Masonic star as the emblem of their new nation was intentional. When Texas became a state in the United States, it retained the same flag it had had as a republic. Thus, whether or not the owners of the Texaco company knew it, they were carrying a Masonic emblem for the Great Architect of the Universe across the nation with their gas stations.

Did Walter Dorwin Teague know that the Teaxas star that became the Texaco star was ultimately the Masonic star when he designed the Texaco stations according to the principles of that worthy "brother of Masonry," Pythagoras?

To put it more bluntly: Was Walter Dorwin Teague a Freemason?

No evidence remains and i have been unable to find a clue in Teague's writing -- but my good friend Barry Carroll did ascertain that Teague's close friend and colleague, the architectural draftsman Hugh Ferriss, was indeed a Mason and worked on the plans for a number of Masonic projects, and that this must have been known to Teague because Ferriss was so public about it.

Any further information on the possible Freemasonic affiliations of the founders of Texaco or of Walter Dorwin Teague would be greatly appreciated.



Go to the [Sacred Landscape Topic Index](#)

Go to the [Sacred Landscape Home Page](#)

Go to [catherine yronwode's Page](#)



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Send your comments to: cat@luckymojo.com.



Preliminary
Consultation



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
 301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: DAVID B. FRIEND

Daytime Phone No.: 410-997-4058

Tax Account No.: 01069297 01078721

Name of Property Owner: HEMKUND CORPORATION

Daytime Phone No.: HARPOL SINGH. 703-974-2763

Address: 4746 LEE HWY. ARLINGTON VA 22207
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: DAVID B. FRIEND Daytime Phone No.: 410-997-4058

LOCATION OF BUILDING/PREMISE

House Number: 7222 Street: CARROLL AVE.

Town/City: JAROMA PARK Nearest Cross Street: GRANT AVE.

Lot: 12 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David B. Friend
 Signature of owner or authorized agent

2/19/97
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation-drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: DAVID B. FRIEND

Daytime Phone No.: 410-997-4058

Tax Account No.: 01069877 01078721

Name of Property Owner: HEMKUND CORPORATION

Daytime Phone No.: 703-974-2763
HARPAL SINGH

Address: 4746 LEE HWY. ARLINGTON VA 22207
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.:

Contractor Registration No.:

Agent for Owner: DAVID B. FRIEND Daytime Phone No.: 410-997-4058

LOCATION OF BUILDING/PREMISE

House Number: 7222 Street: CARROLL AVE.

Town/City: TAKOMA PARK Nearest Cross Street: GRANT AVE

Lot: 12 Block: Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct [checked] Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: David B. Friend

Date: 2/19/97

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

David B. Friend
5608 April Journey
Columbia, Md. 21044
☎ (410) 997-4058

02/20/97

Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, Md. 20910

Ref.: 7222 Carroll Ave.
City of Takoma Park
Proposed Service Island Canopy (Written Description)

Attn: Robin Ziek

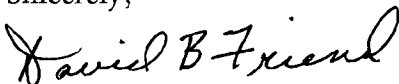
The proposed canopy dimensions required for adequate equipment & customer service coverage is 24'-0" wide x 44'-0" long x 14'-6" clearance height. Please refer to attached site drawing #1 of 1, dated 1-20-97 for canopy location & elevations.

Proposed canopy materials to consist of primary & secondary structural steel framing, metal coated foam core fascia panels (color: soft white) and 24 Ga. metal deck soffit panels (color: soft white).

Standard "Citgo" imaging would normally include a 36" sq. brand placard and a triband decal as indicated on the elevation views.

Should you require any additional information regarding the description of this product, please contact me at your convenience.

Sincerely;



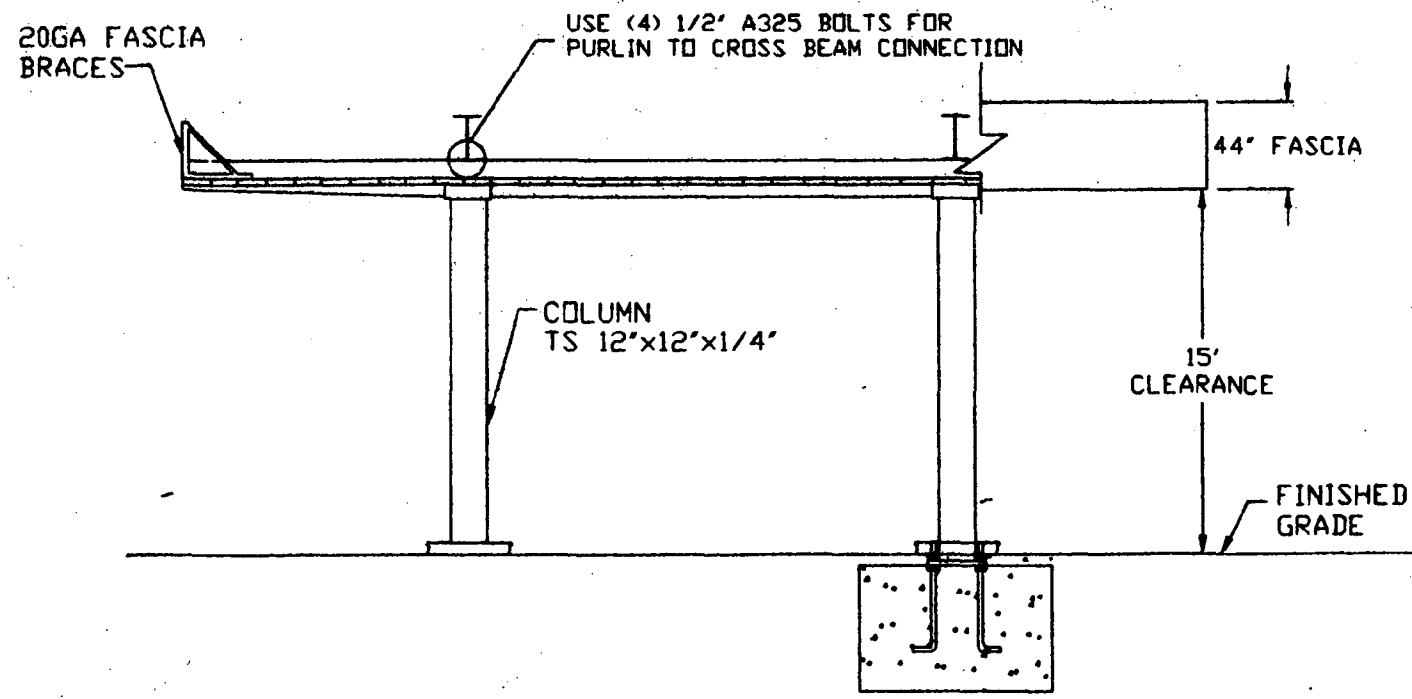
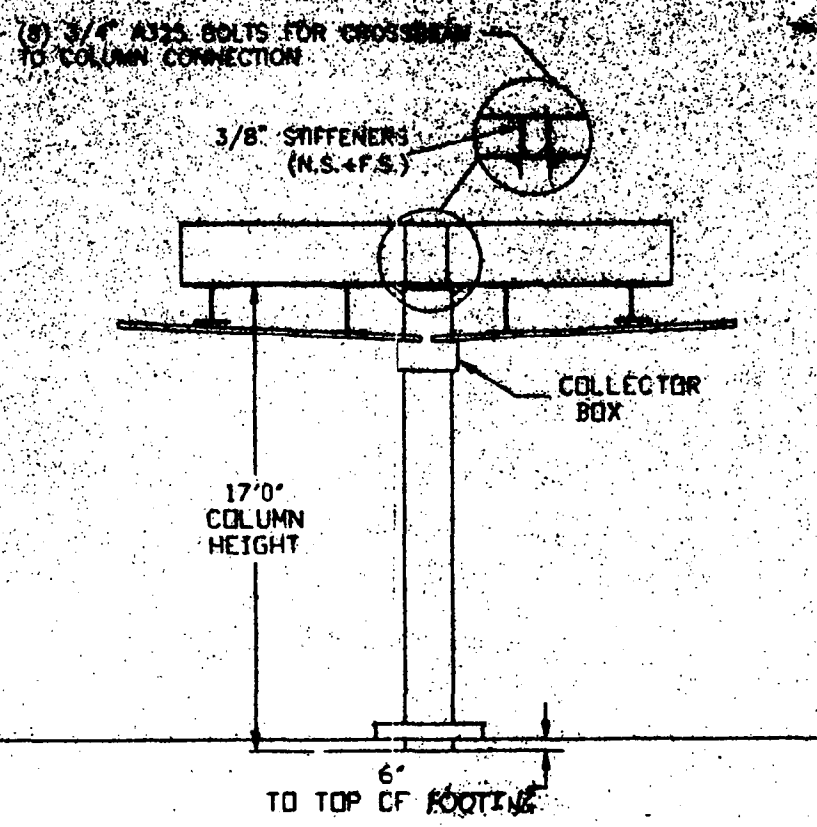
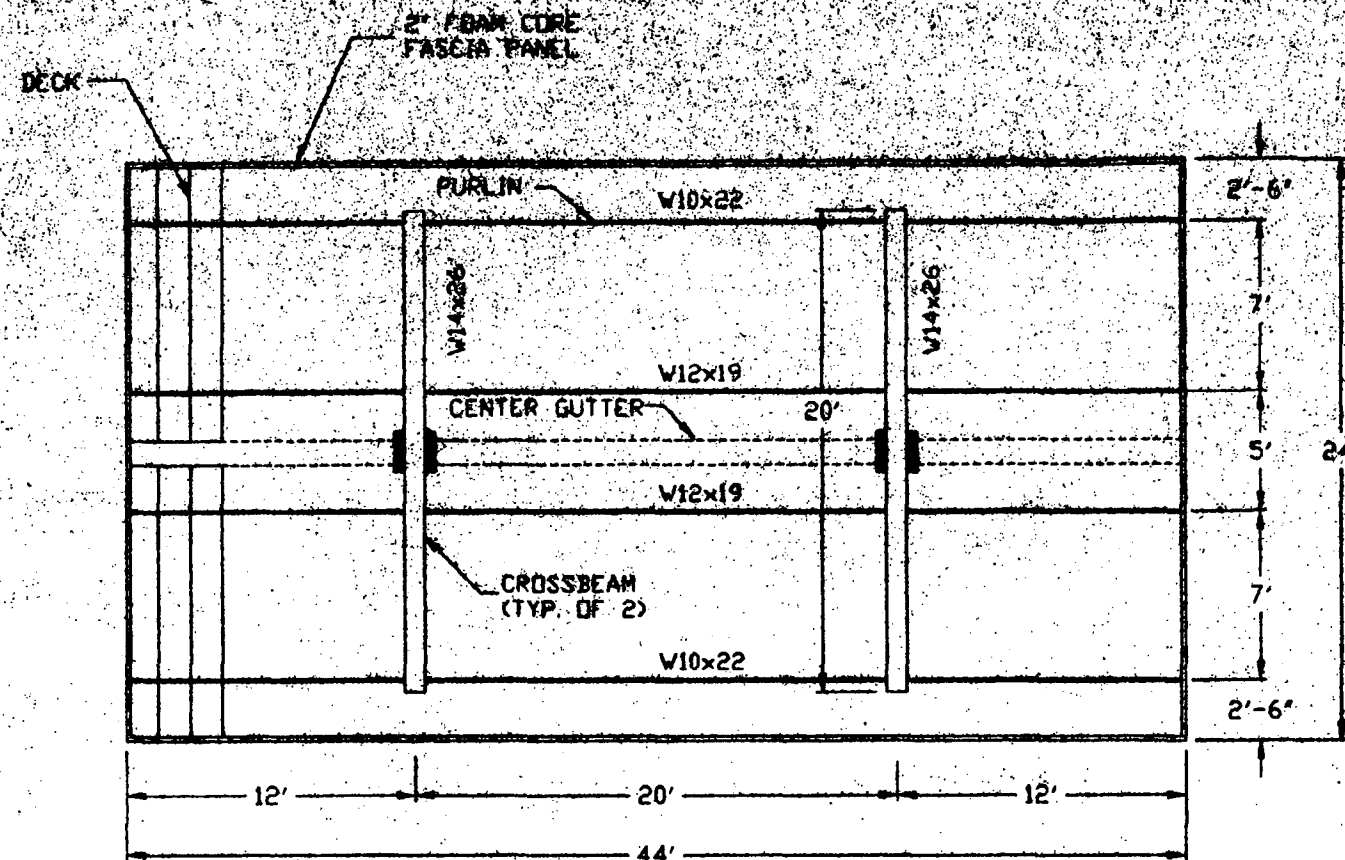
David B. Friend
Agent

EQ. 28944

TAKOMA



ETHAN				ALLEN			
PT. 49	PT. 3	PT. 4	PT. 4	64	65	66	PT. 3
PT. 49	49	PT. 4	PT. 4	63			
PT. 49		PT. 4	PT. 4				



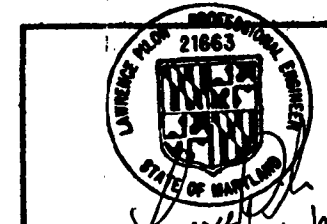
STEEL NOTES

1. ALL DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS
2. STRUCTURAL MATERIALS:
 V SECTIONS - ASTM A36 (fy = 36 KSI)
 TUBE SECTIONS - ASTM A500 GR B (fy = 46 KSI)
 PLATES - ASTM A36 (fy = 36 KSI)
 STRUCTURAL BOLTS - ASTM A325
 ANCHOR BOLTS - ASTM A307 OR A36
3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ANSI/AWS D1.1-90 (WITH E70XX ELECTRODES)
4. ALL A325 BOLTS WILL BE TIGHTENED BY THE TURN OF THE NUT METHOD AS FOLLOWS:
 a) ALL BOLTS SHALL BE BROUGHT TO A SNUG TIGHTNESS DEFINED AS THE TIGHTNESS ATTAINED BY THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH
 b) ALL BOLTS IN THE CONNECTION SHALL THEN BE TIGHTENED ADDITIONALLY BY A NUT OR BOLT ROTATION OF 1/2 TURN. DURING THIS OPERATION THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH.
5. STEEL SHALL BE COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER
6. STEEL DECK - GALVANIZED (ASTM A660) STEEL WITH 20 YR BAKED ENAMEL FINISH

SPECIFIED DESIGN LOADS

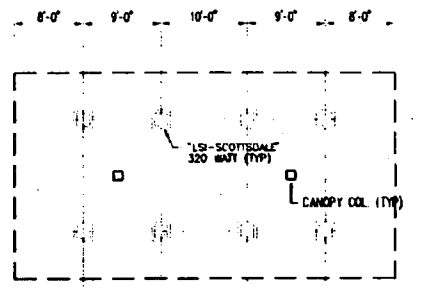
ROOF LIVE LOAD	20 PSF
WIND LOAD	25 PSF (INTERNAL)
BASED ON 90 MPH BASIC WIND SPEED	
FLAT ROOF SNOW LOAD	30 PSF
BASED ON GROUND SNOW LOAD = 30 PSF	
DEAD LOADS	
DECK / FASTENERS	3 PSF
FASCIA WT.	3 PLF
STRUCTURAL STEEL	SELF WT
CONCRETE	140 PSF

apply for foundation only.



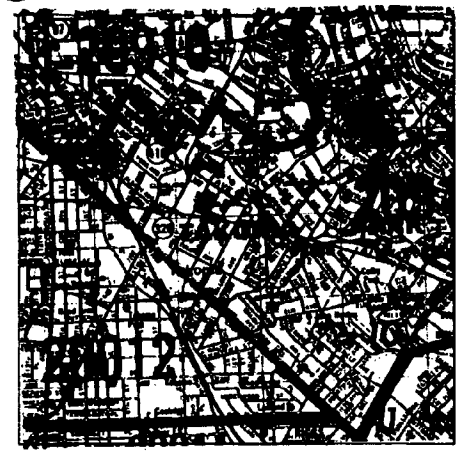
Lawrence P. Jones
1/20/97
OIL
L.P.
1/20/97

MOHAWK		MOHAWK MANUFACTURING CO. INC. 8750 WINDYBROOK PL. LITTLE ROCK, AR 72209 PH: 501-945-7000 FAX: 501-945-7001	
REVISION RECORD			
DATE	BY	DESCRIPTION	
CAR-VEL EAST WEST HIGHWAY TAKOMA PARK, MD			
24' X 44' X 2 COLUMN, C17G0			
SCALE:	AS SH.	APPROVED	
DESIGNED BY:	DATE:	DATE:	REVISION NO.:
DRAWN BY: LME	DATE: 1/14/97	DATE: 97-019	(1/2)

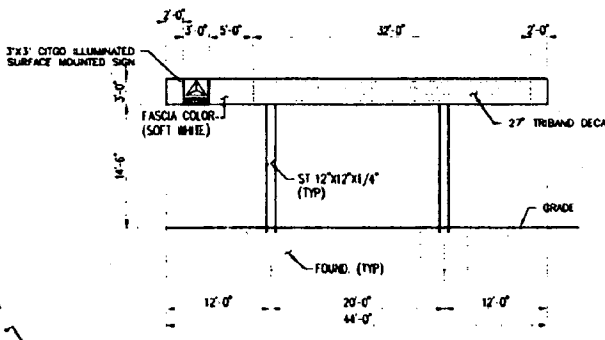
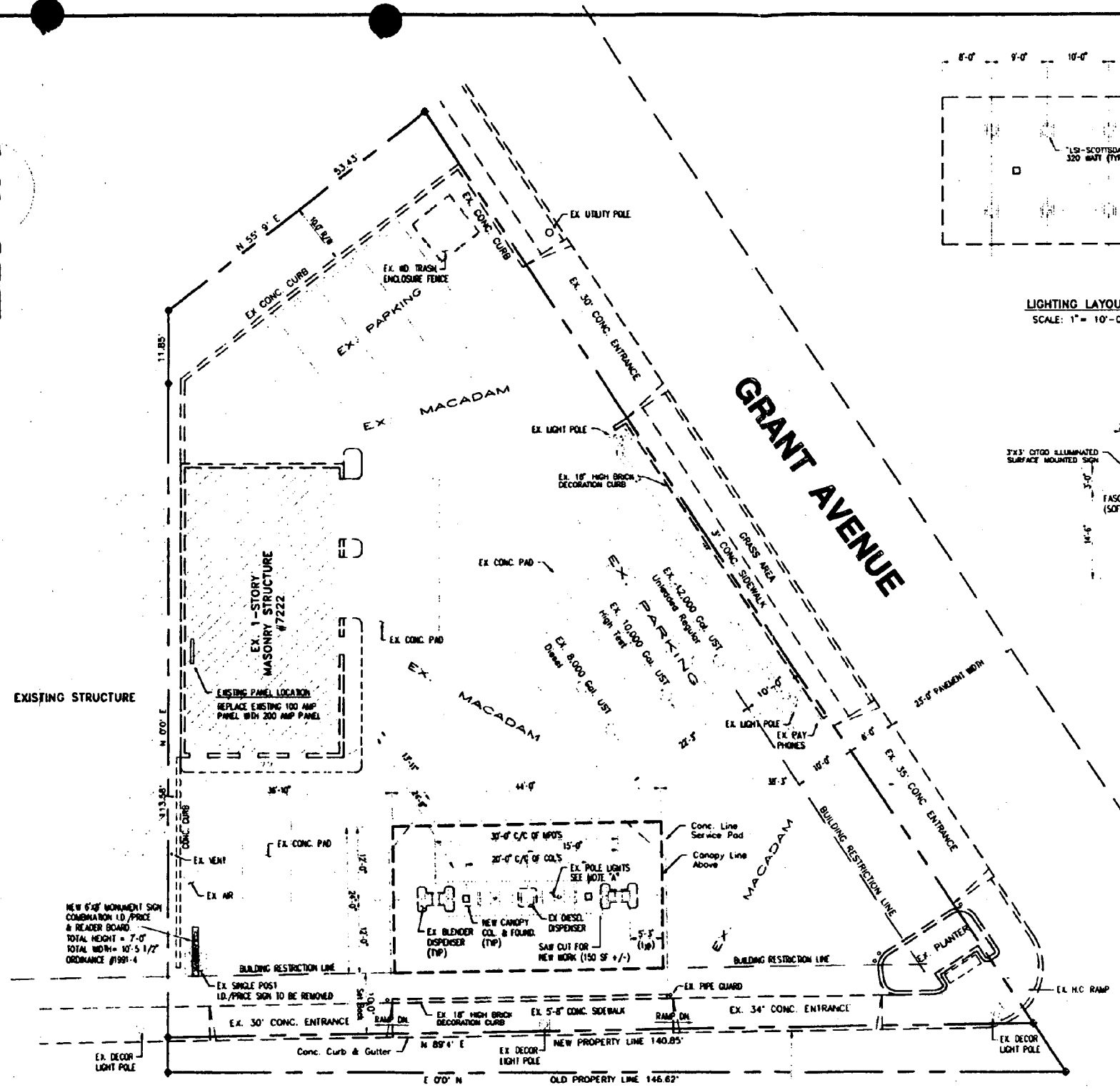


LIGHTING LAYOUT
SCALE: 1" = 10'-0"

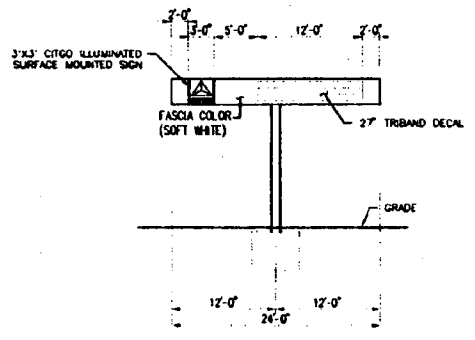
NOTE "A"
REMOVE 4 EX. EXISTING 1000 WATT POLE LIGHTS AT CANOPY LOCATION (SEE PLAN)
INSTALL 8 CA. 320 WATT SURFACE MOUNTED CANOPY LIGHTS



VICINITY MAP



FRONT ELEVATION
(FACING CARROLL AVE.)
SCALE: 1" = 10'-0"



END VIEW ELEVATION
(FACING GRANT AVE.)
SCALE: 1" = 10'-0"

SITE DATA:

PROPERTY ADDRESS: 7222 CARROLL AVE.
TAKOMA PARK
MONTGOMERY CO., MD. 20912
STATION PHONE: (301) 270-1747
CONTRACT OWNER: HARPAL SINGH
ADDRESS: % HANKUND CORPORATION
4746 LEE HIGHWAY
ARLINGTON, VA 22207
(703) 974-2763
AREA: 13,233 SF OR .30 AC.
ZONE: C-1
WATER: PUBLIC
SEWAGE: PUBLIC

CANOPY DATA:

SIZE: 44'-0" LONG X 24'-0" WIDE, 2 COLUMN
HEIGHT: 15'-0" CLEARANCE
36" FASCIA HEIGHT
17'-6" TOTAL HEIGHT

GROUP USE: M
CONSTRUCTION TYPE: 2

ROOF LIVE LOAD: 30 PSF
WIND LOAD: 25 PSF (LATERAL)

NOTE: REFER TO MOHAWK DRAWINGS NUMBERS
97-019-1 AND 97-019-2

NOTE:
SAW CUT AREA OF DISTURBANCE = 150 S.F. +/-
EXISTING CONCRETE TO BE REPLACED @ SAME GRADE
REPRESENTS SAW CUT

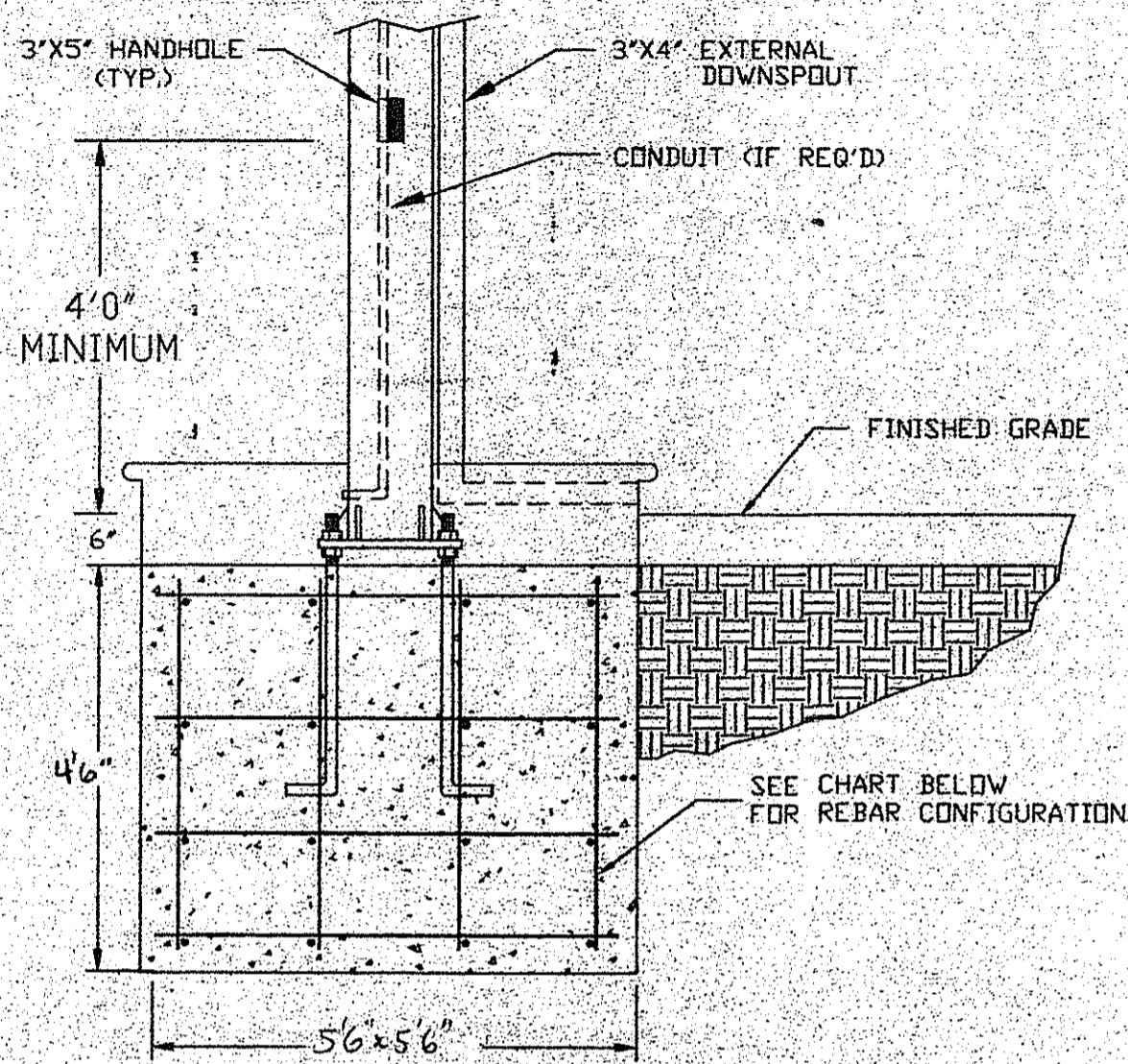
CARROLL AVENUE

CANOPY ARRANGEMENT
SCALE: 1" = 10'-0"

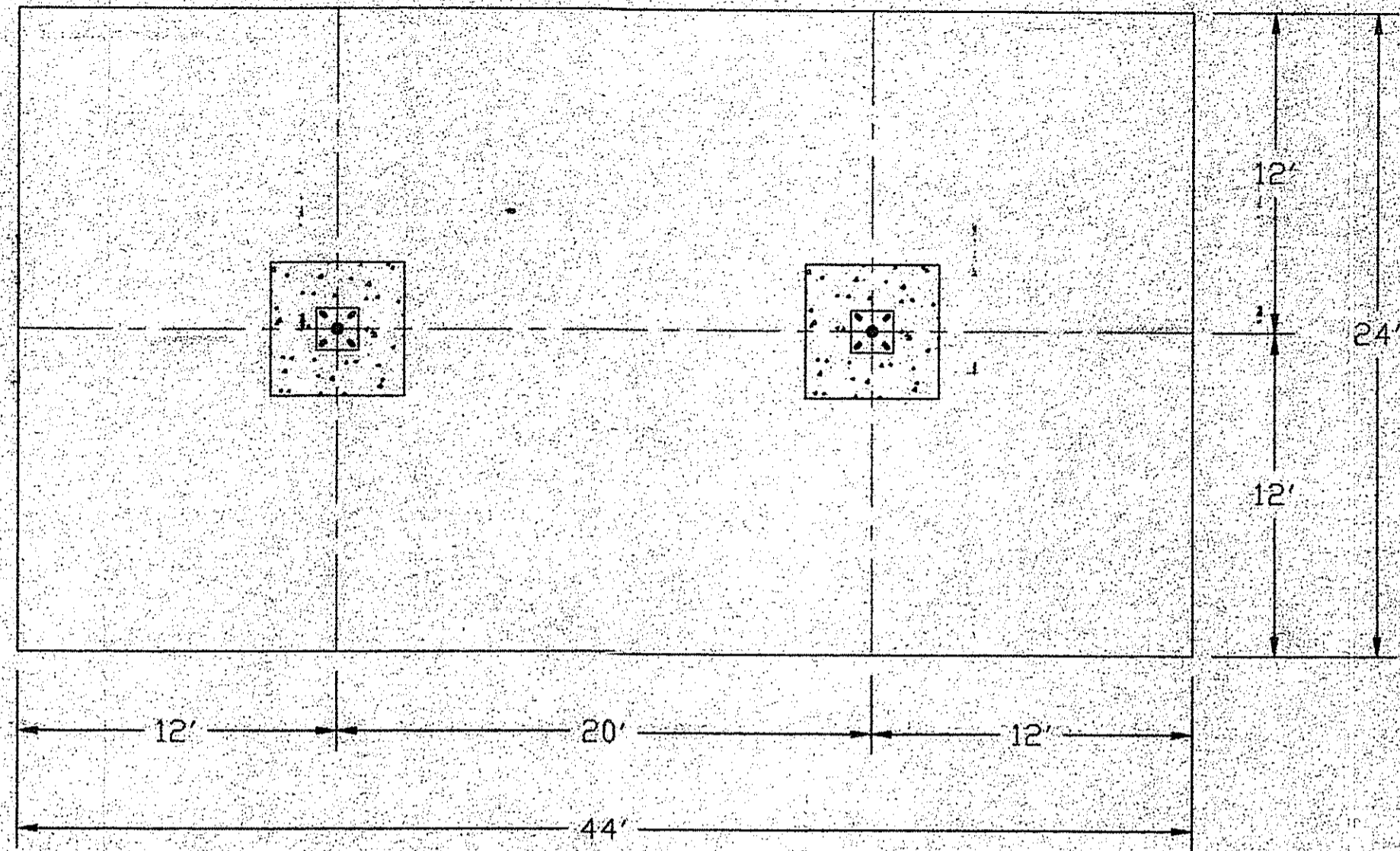
EXISTING DECOR LIGHT POLE
NO SCALE.



REVISIONS	Job Name:	TAKOMA PARK CITY	Drawn By:	D.B.F.	Checked By:	
	Location:	7222 CARROLL AVE. CITY OF TAKOMA PARK MONTGOMERY COUNTY, MARYLAND	Scale:	1" = 10'-0"	Date:	1-20-97
	Description:	PROPOSED CANOPY ARRANGEMENT	Job Number:			
	Drawing Number:					



FOOTING DETAIL

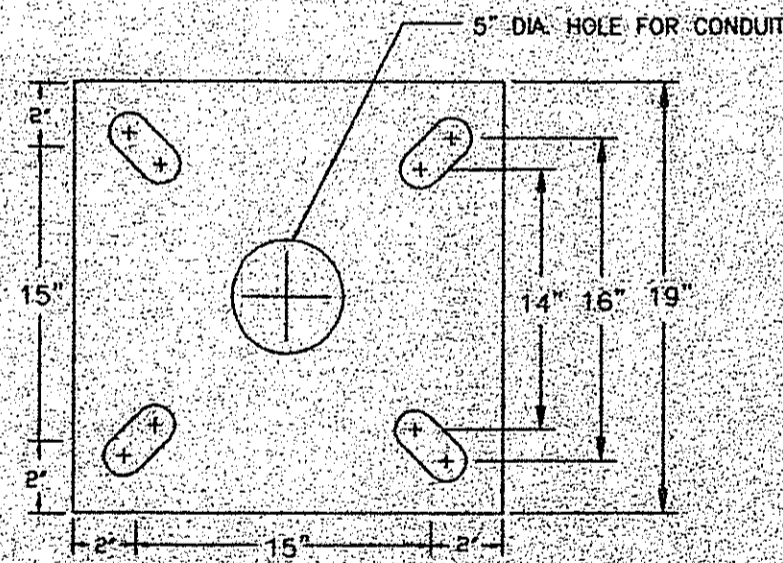


FOOTING SPECIFICATIONS:

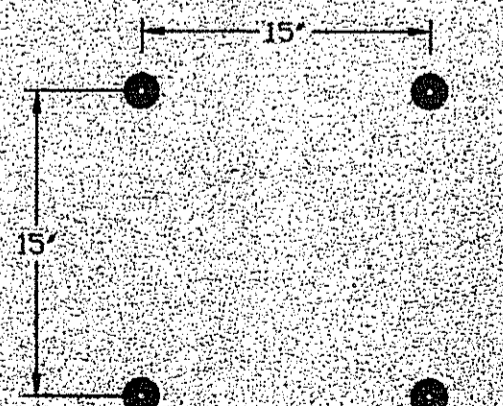
- 1) ALL FOOTINGS SHALL BE CAST ON LEVEL, UNDISTURBED SOIL OR ROCK OR PROPERLY COMPACTED SUBGRADE. BOTTOM OF FOOTING TO BE ABOVE WATER TABLE. FOOTING BASED ON MINIMUM 3,000 PSF SOIL BEARING CAPACITY AND 200 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PARAMETERS.
- 2) FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 3) FOOTING REINFORCEMENT STEEL SHALL BE GRADE 60 #4 REBAR WITH SPACING FROM CHART BELOW (REBAR RUNS IN 3 DIRECTIONS)

FOOTING DIMENSION	MINIMUM COVER	NUMBER OF BARS	SPACINGS ON CENTER
4'0"	3"	4	14"
4'6"	3"	4	16"
5'0"	3"	4	18"
5'6"	3"	5	15"
6'0"	4"	5	16"
6'6"	3"	5	18"

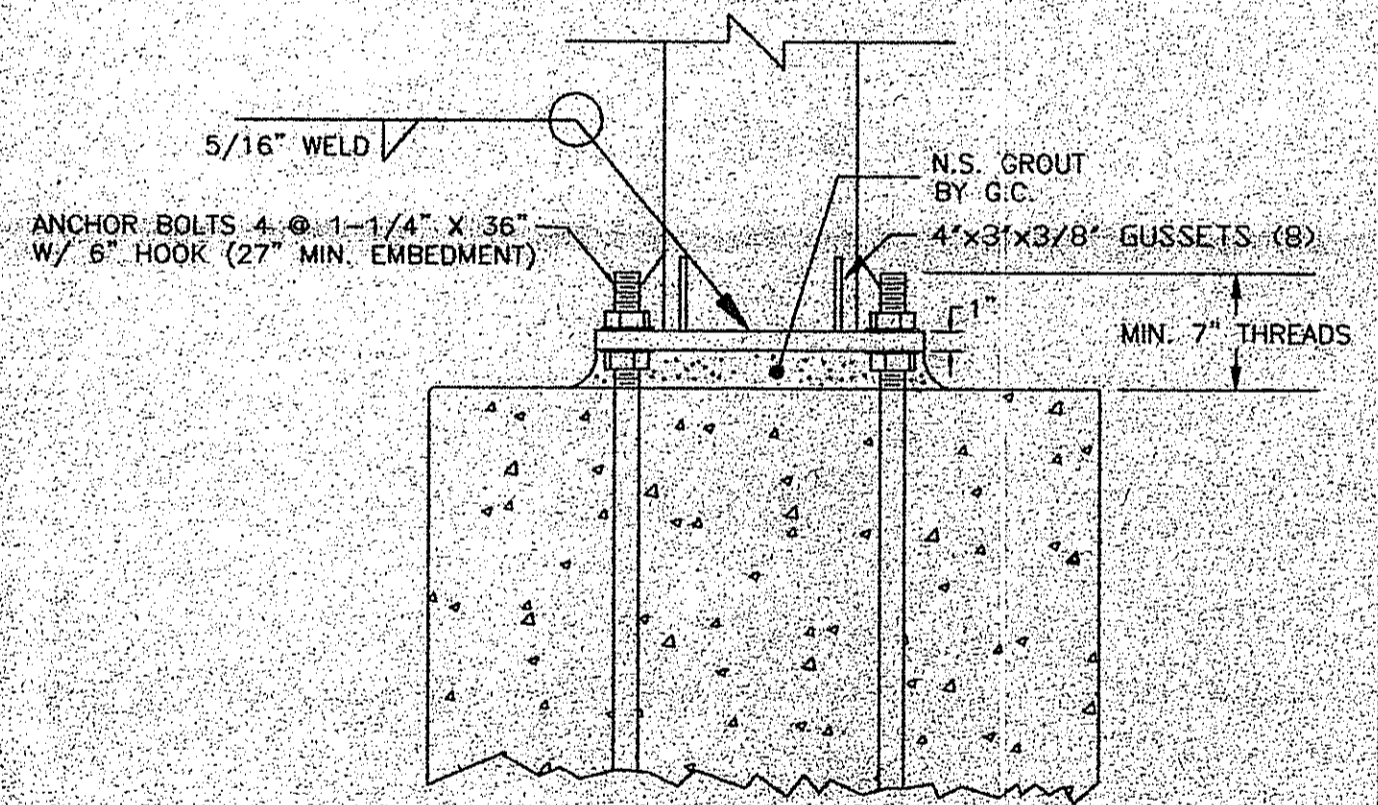
- 4) TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION, WITH A MAXIMUM DEPTH BELOW GRADE AS INDICATED ON DRAWING. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER/GENERAL CONTRACTOR SHALL PROVIDE MOHAWK MANUFACTURING WITH ALL FOOTING AND GRADE ELEVATIONS PRIOR TO CANOPY FABRICATION.
- 5) FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY ISLAND MAT AND ISLAND CONCRETE. FOR SITUATIONS WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY MOHAWK MANUFACTURING.
- 6) ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING. PLYWOOD TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 7" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING.
- 7) ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO MOHAWK MANUFACTURING IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE NOTES MEET ALL LOCAL BUILDING CODE REQUIREMENTS.



BASEPLATE - 19" X 19"

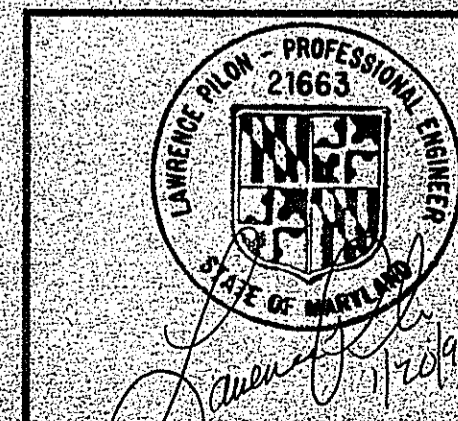


BOLT PATTERN - 15" X 15"



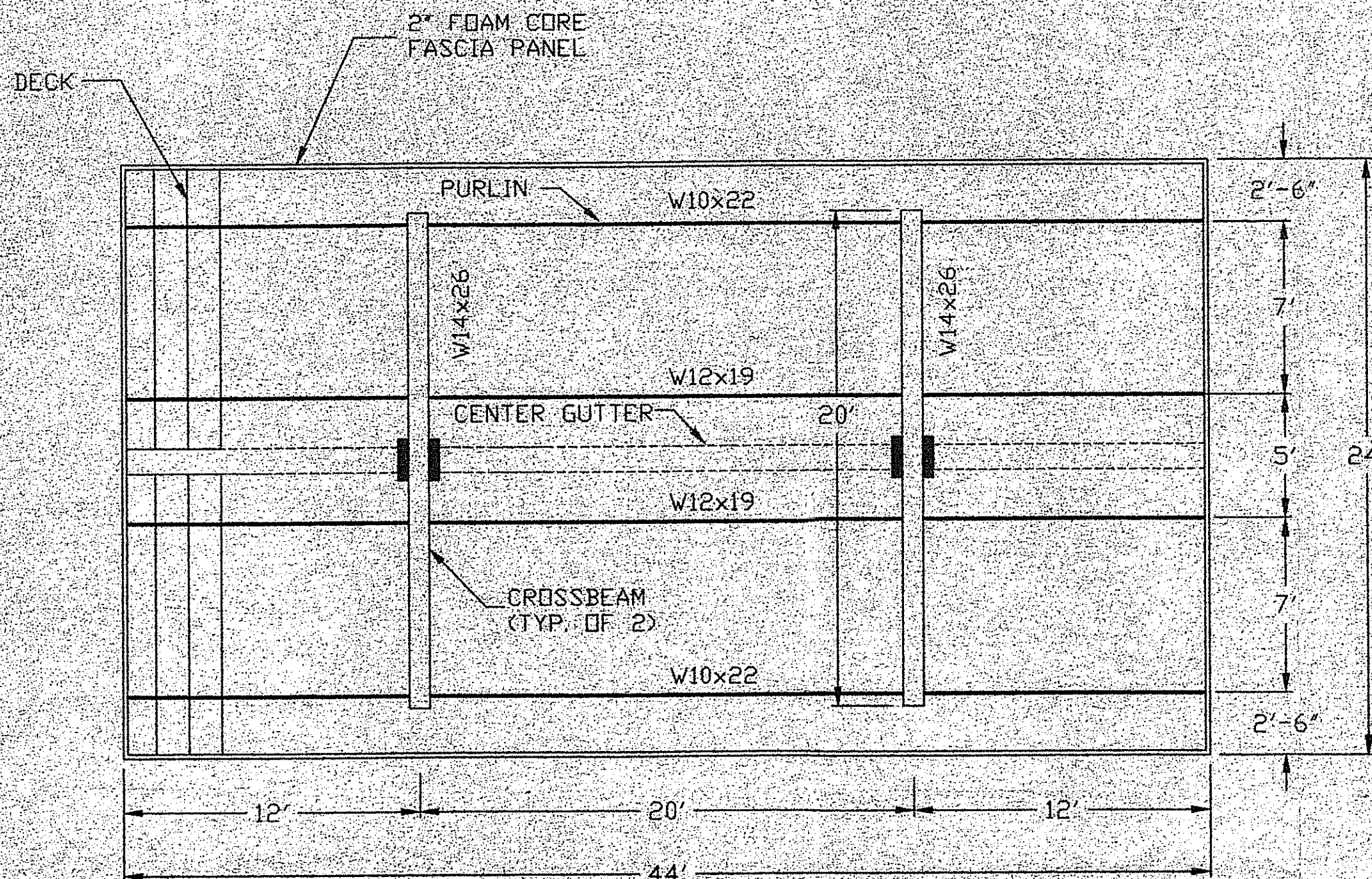
ANCHOR BOLT DETAIL

REBAR OMITTED FOR CLARITY PURPOSES (SEE FOOTING DETAILS)

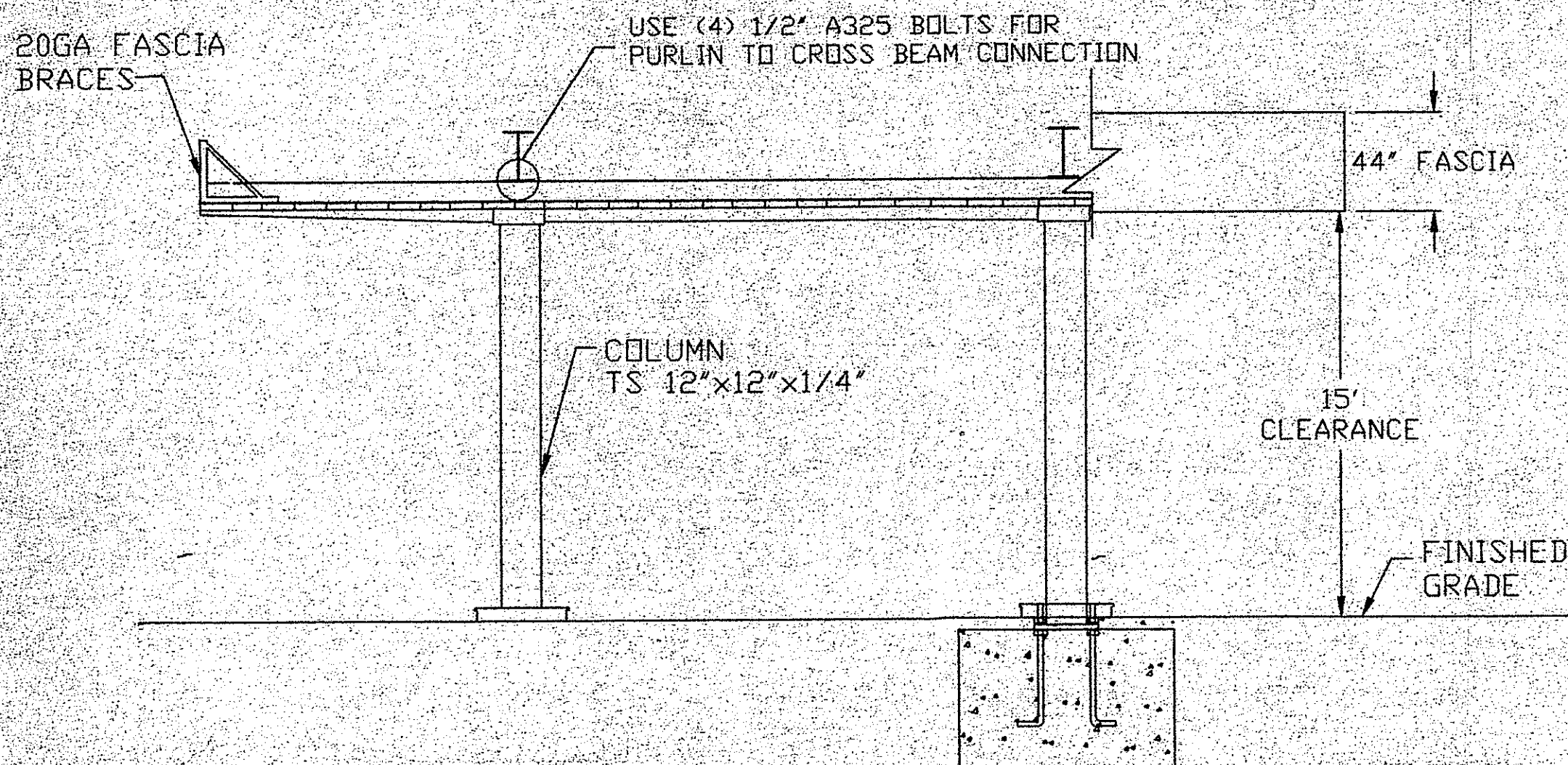
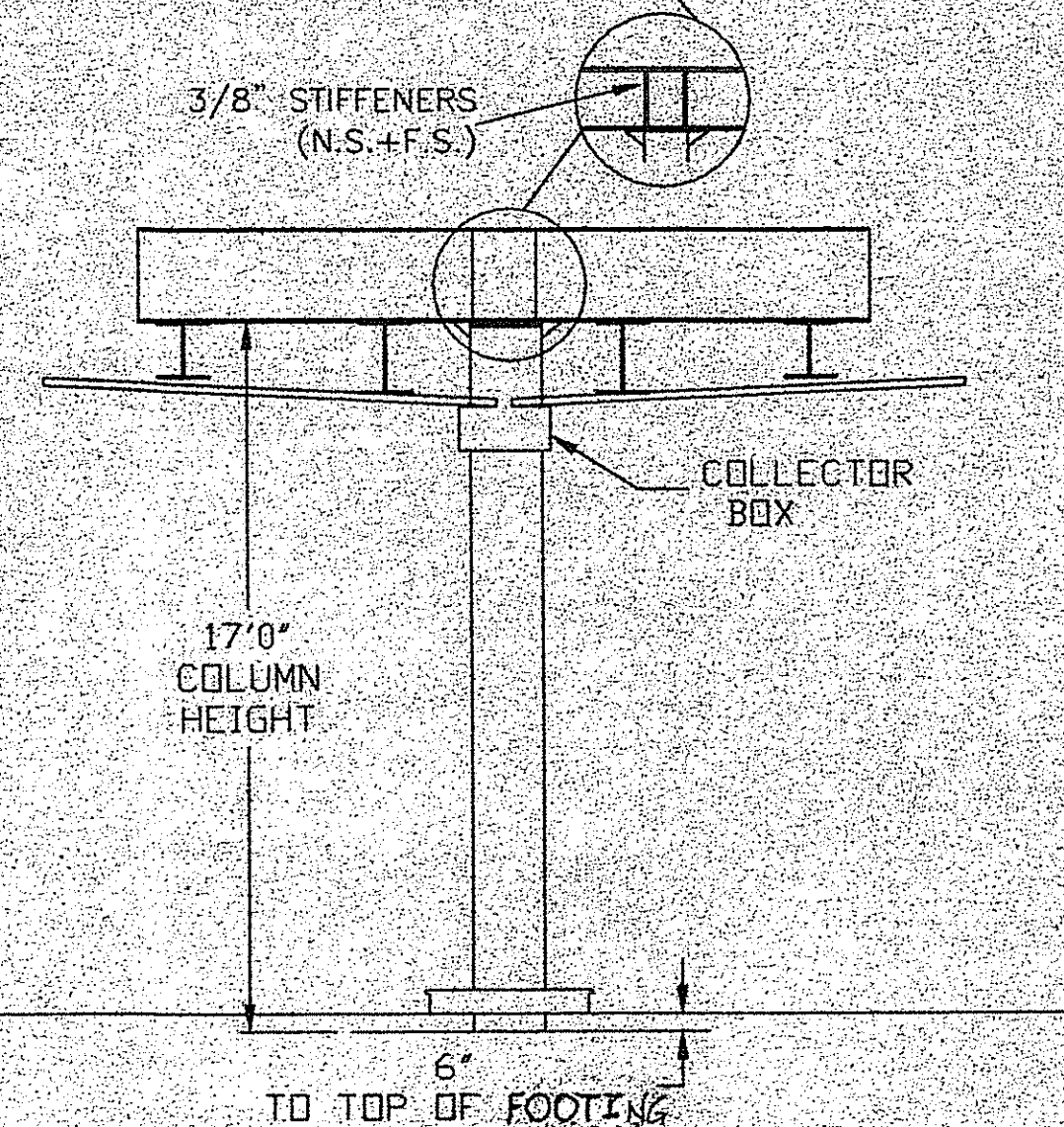


MOHAWK		MOHAWK MANUFACTURING CO. INC. 675 BECHERDVE. PL. LITTLA, MD 21784 PHONE (301) 793-2000 FAX (301) 793-9370	
REVISION RECORD			
DATE	BY	DESCRIPTION	
CAR-VEL EAST WEST HIGHWAY TAKOMA PARK, MD			
24' X 44' X-2 COLUMN, CITGO			
SCALE: NONE	JOB NO.	APPROVED	
DESIGNED BY:	DATE:	DRAWING NO.	
DRAWN BY: LME	DATE: 1/14/97	97-019 (2/2)	

Lawrence Pilon
1/14/97
GIL
CEP 1/24/97



(8) 3/4" A325 BOLTS FOR CROSSBEAM TO COLUMN CONNECTION



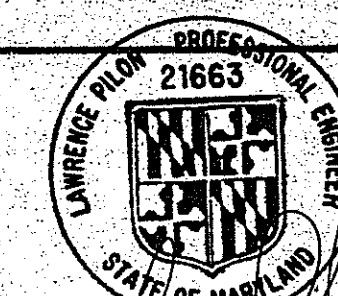
STEEL NOTES

- ALL DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS
- STRUCTURAL MATERIALS:
 W SECTIONS - ASTM A36 (F_y = 36 KSI)
 TUBE SECTIONS - ASTM A500 GR B (F_y = 46 KSI)
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 b) ALL BOLTS IN THE CONNECTION SHALL THEN BE TIGHTENED ADDITIONALLY BY A NUT OR BOLT ROTATION OF 1/2 TURN. DURING THIS OPERATION THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH.
- STEEL SHALL BE COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER
- STEEL DECK - GALVANIZED (ASTM G60) STEEL WITH 20 YR BAKED ENAMEL FINISH

SPECIFIED DESIGN LOADS:

- ROOF LIVE LOAD - 30 PSF
- WIND LOAD - 25 PSF (LATERAL)
 BASED ON 60 MPH BASIC WIND SPEED
- FLAT ROOF SNOW LOAD - 20 PSF
 BASED ON GROUND SNOW LOAD = 30 PSF
- DEAD LOADS:
 DECK / FASTENERS - 5 PSF
 FASCIA WT - 5 PLF
 STRUCTURAL STEEL - SELF WT
 CONCRETE - 140 PCF

Apply for foundation only.



Lawrence Pilon 11/20/97
012 LRP 11/20/97

MOHAWK		MOHAWK MANUFACTURING CO. INC. 2775 BEECHCROVE PL. UTICA, NY 12501 PHONE (315) 793-2000 FAX (315) 793-9270	
REVISION RECORD			
DATE	BY	DESCRIPTION	
CAR-VEL			
EAST-WEST HIGHWAY TAKOMA PARK, MD			
24' X 44' X 2 COLUMN, CITGD			
SCALE	JOB NO.	APPROVED:	
DESIGNED BY:	DATE:	DRAWING NO.:	
DRAWN BY: LME	DATE: 1/14/97	97-019 (1/2)	