

31/6-00H 10405 Fawcett Street¹⁴
(Kensington Historic District)

31/6-00H 10405 Fawcett Street
(Kensington Historic District)

M-1100110



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 8-17-00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

HPC # 31/02-00H
DPS # 222877

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: BRIAN KATHN

Address: 10405 FAWCETT ST KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: George Myers
Daytime Phone No.: 301 992 9002 ext. 13

Tax Account No.: _____
Name of Property Owner: BRIAN KAHN Daytime Phone No.: _____
Address: 10405 Fawcett St. Kensington, Md. 20545
Street Number City Street Zip Code
Contractor: TBD Phone No.: _____

Contractor Registration No.: _____
Agent for Owner: GTM ARCHITECTS Daytime Phone No.: 301 992 9002 ext. 13
George Myers

LOCATION OF BUILDING/PREMISE

House Number: 10405 Street: Fawcett St.
Town/City: Kensington, Md. Nearest Cross Street: Mitchell St.
Lot: _____ Block: _____ Subdivision: R.B. PETRIC'S SUBDIVISION
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Stab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 40,000.-

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

George Myers
Signature of owner or authorized agent Date: 6/29/00

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 8-17-00
Application/Permit No.: 332877 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

3 STORY REAR PORCH ON EXISTING HOME
IN KENSINGTON HISTORIC DISTRICT.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See A&P.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 8-17-00

TO: Local Advisory Panel/Town Government KENSINGTON

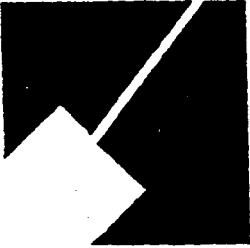
FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner MND

SUBJECT: Historic Area Work Permit Application - HPC Decision
HPC # 31/0-004 DPS # 222877

The Historic Preservation Commission reviewed this project on 8-16-00
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 8-17-00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

HPC# 31/6-004
DPS# 222877

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

KAHIN RESIDENCE

10405 FAWCETT STREET KENSINGTON, MD 20895

GTM
ARCHITECTS
10415 ARMORY AVENUE,
KENSINGTON, MD, 20895
(301)442-4062
(301)442-9424 FAX

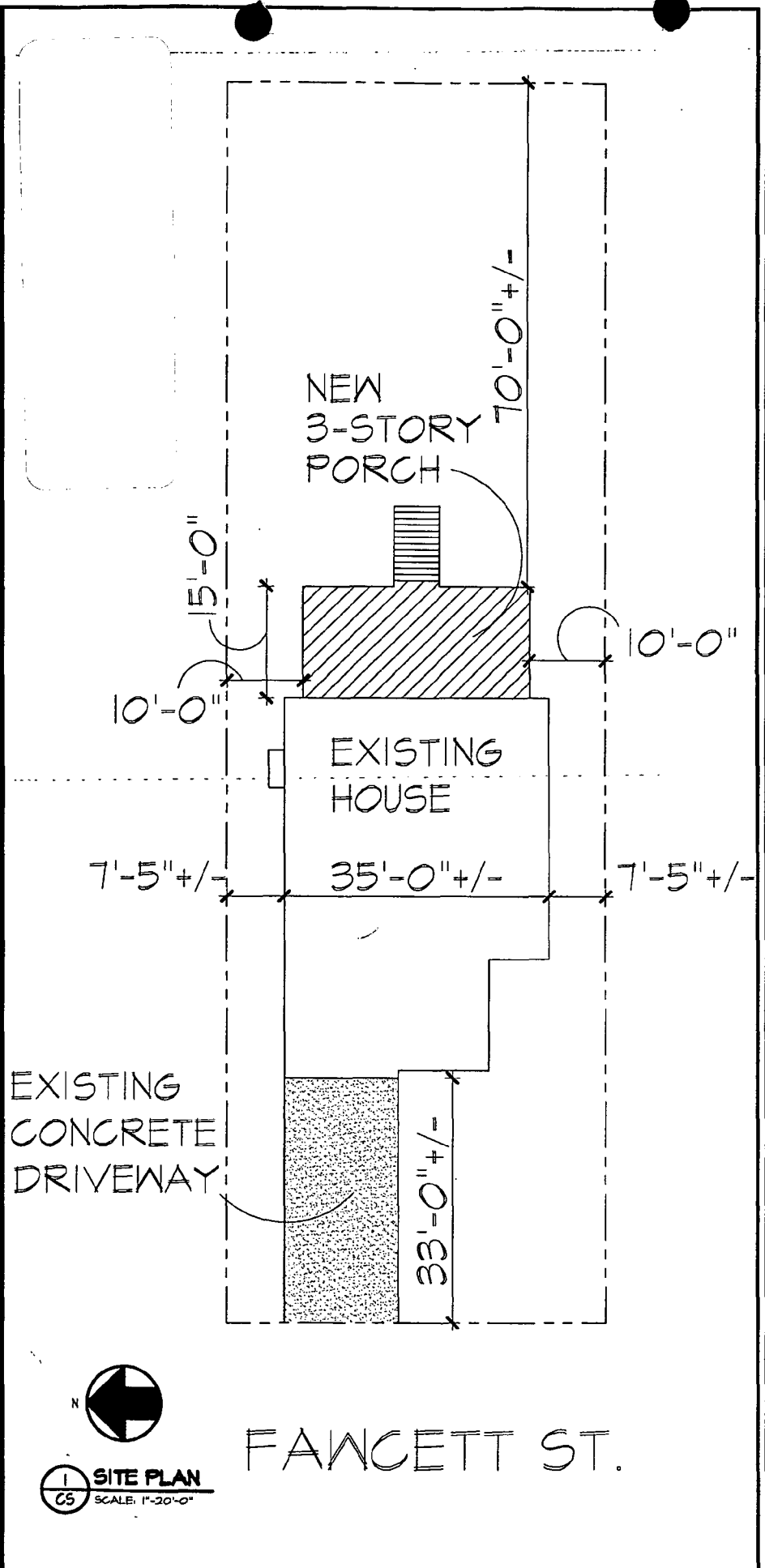
10405 FAWCETT ST.
KENSINGTON, MD 20895
COVER SHEET

KAHIN RESIDENCE NEW DECK

REVISIONS:

SEAL:

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	6/30/00
PROJECT NO.:	00162
DRAWING NO.:	CS



GRAPHIC SYMBOLS

	SECTION SHEET NO.		DATUM ELEVATION
	SECTIONAL DETAIL SHEET NO.		ROOM NUMBER
	DETAIL TARGET, ENLARGEMENT SHEET NO.		DOOR NUMBER
	EXTERIOR ELEVATION SHEET NO.		WINDOW TYPE
	INTERIOR ELEVATION SYMBOL DRAWING NO. SHEET NO.		STOREFRONT ELEVATION
	REVISION NUMBER		PARTITION TYPES SEE SCHEDULE
	TEMPERED GLASS		

LIST OF DRAWINGS

CS	COVER SHEET
SP	SPECIFICATIONS
A-1	FLOOR PLANS
A-2	ELEVATIONS
A-3	DETAILS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
08-17-00

MATERIAL SYMBOLS

	EARTH		CONCRETE
	STEEL		BRICK
	FINISH WOOD		CONCRETE MASONRY UNIT
	ROUGH LUMBER BLOCKING		GYPSUM SHEATHING
	SLAT BOARD		ACOUSTICAL TILE

ABBREVIATIONS

ABOVE FINISH FLOOR	ACFT	EACH	EA	INTERIOR	INT	PLATE	PL	VESTIBULE	VEST
ADJUSTABLE	ADJ	EAST	E	JANITOR'S CLOSET	JC	PURPOSE	PLP	VINYL COMPOSITE TILE	VCT
AIR CONDITIONING	AC	ELECTRIC, ELECTRICAL	ELE	JOIST	JT	PLYWOOD	PLY	VOLTS	V
AIR HANDLING UNIT	AHU	ELEVATOR	ELEV	JUNCTION BOX	JB	POLYESTER CALCESTR	PEC	HOLLOWBOARD	HB
AIR HANDLING UNIT	AHU	EMERGENCY POWER	EP	LAMINATED	LAM	POSSIBLE PER SQUARE INCH	PPSI	HELD HERE FABRIC	HHF
ALTERNATE CURRENT	AC	ENGINEER	ENGR	LANTERN	LANT	PREPARED	PREP	HOOK	HH
ALUMINUM	AL	EXHAUST	EX	LEFT HAND	LH	PRELIMINARY	PRES	NIGHT	N
AMPERES	AMP	EXPANSION	EXP	LENGTH	LN	QUARRY TILE	QT	WITHOUT	WO
ANCHOR BOLT	AB	EXPANSION JOINT	EXJ	LIBRARY	LIB	RADIOL	RAD	WOOD	WO
ARCHITECT	ARCH	EXTERIOR	EXT	LINEAR FEET	LF	RADIO	RAD	TAHD	TD
AVERAGE	AVG			LONG LEG HORIZONTAL	LGH	REFRIGERATOR	REF		
BEAM	BM	FAHRENHEIT	F	LONG LEG VERTICAL	LV	REINFORCING	REIN		
BOARD	BD	FEET PER MINUTE	FPM			REINFORCING	REIN		
CABINET	CB	FEET, FOOT	FT	MAINTENANCE	MANT	REINFORCING	REIN		
CATALOG	CAT	FIRE EXTINGUISHER CAB.	FEC	MANUFACTURER	MFR	REINFORCING	REIN		
CELLING	CEL	FLOOR	FL	MASONRY	MAS	REINFORCING	REIN		
CENTERS	CE	FLOORING	FLR	MASONRY OPENING	MHO	REINFORCING	REIN		
CONCRETE TILE	CT	FIRE RATED	FR	MASONRY	MAS	ROUGH OPENING	ROO		
GLENE	GLD	GALV	GA	MECHANICAL	MED				
COLUMN	COL	GALLON	GAL	MEZZANINE	MEZ	SCHEDULE	SCH	SOUND TRANSMISSION	STN
COMPART	COM	GALLONS PER MINUTE	GPM	METHOD	MTH	SECTION	SECT	SOUND TRANSMISSION	STN
CONCRETE	CON	GALVANIZED	GLV	MILLION	MLN	SERVICES SINK	SSK	SPEAK	SPK
CONCRETE MASONRY UNIT	CMU	GENERAL CONTRACTOR	GC	MULLION	MLN	SERVICES SINK	SSK	SPEAK	SPK
CONCRETE	CON	GROUNDING FAULT INTERRUPT.	GFI	NOT IN CONTRACT	NIC	SHOWER	SHW	SQUARE	SQR
CONCRETE	CON	GROUNDING FAULT INTERRUPT.	GFI	NOT TO SCALE	NTS	STANDARD	STD	STAIR	STA
CONTROL JOINT	CJ	GYPSUM	GPS	MURDER	MUR	STANDARD PIPE	STP	STAIR	STA
COORDINATE	COR	GYPSUM HOLLOWBOARD	GHB	OFFICE	OFF	STAINLESS STEEL	SS	STAIR	STA
CORNER	COR	HANDICAPPED	HND	OFFICE	OFF	STAIR	STA	STAIR	STA
COVER FEET	CF	HANDICAPPED	HND	ON CENTER	OC	STRUCTURE	STR	STRUCTURE	STR
COVER FEET PER MINUTE	CFPM	HANDICAPPED	HND	OPPOSITE	OPP	SUSPENDED CEILING	SCP	STRUCTURE	STR
		HANDICAPPED	HND	OVERHEAD	OH	TELEPHONE	TEL	STRUCTURE	STR
		HANDICAPPED	HND			TRUCK OR TRUCKS	TRK	STRUCTURE	STR
		HANDICAPPED	HND			THRESHOLD	THR	STRUCTURE	STR
		HANDICAPPED	HND			TILE	TILE	STRUCTURE	STR
		HANDICAPPED	HND			TYPICAL	TYP	STRUCTURE	STR
		HANDICAPPED	HND			VERTICAL	VERT	STRUCTURE	STR

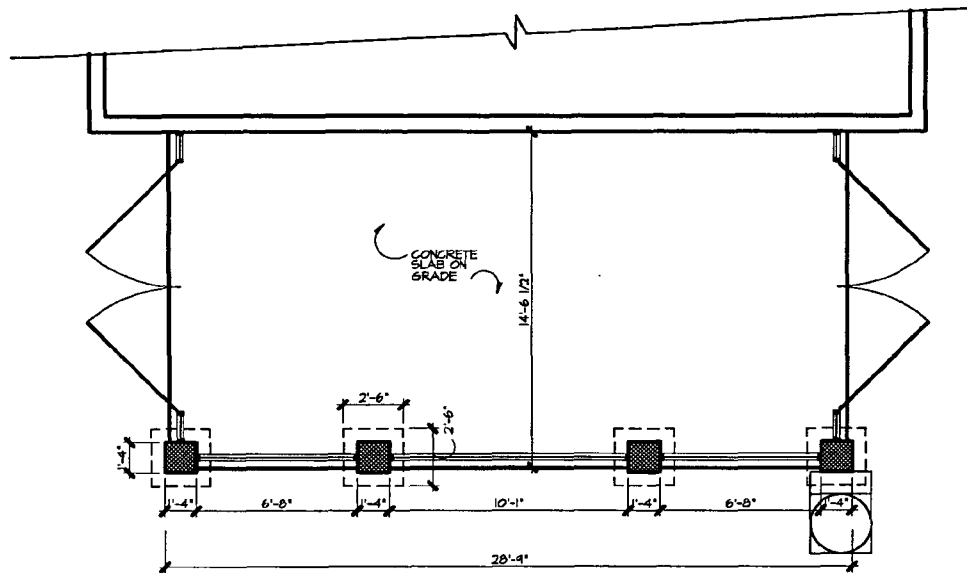
**KAHIN RESIDENCE
 NEW DECK**

REVISIONS:

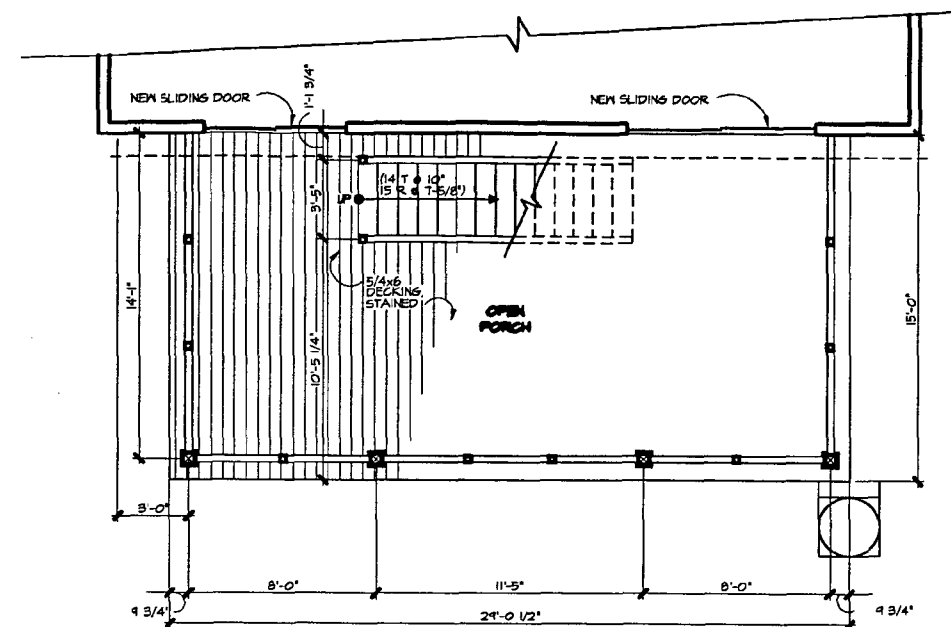
SEAL:

DRAWN BY: DER
 CHECKED BY: GTM
 SCALE: 1/4"=1'-0"
 DATE: 6/30/00
 PROJECT NO.: 00162
 DRAWING NO.:

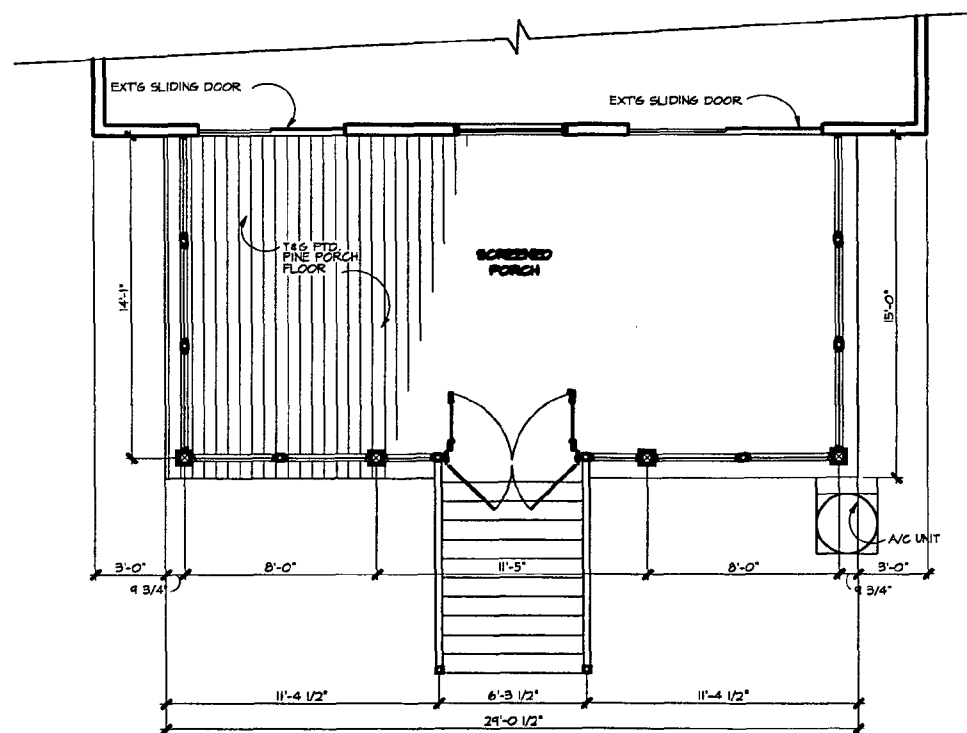
A-1



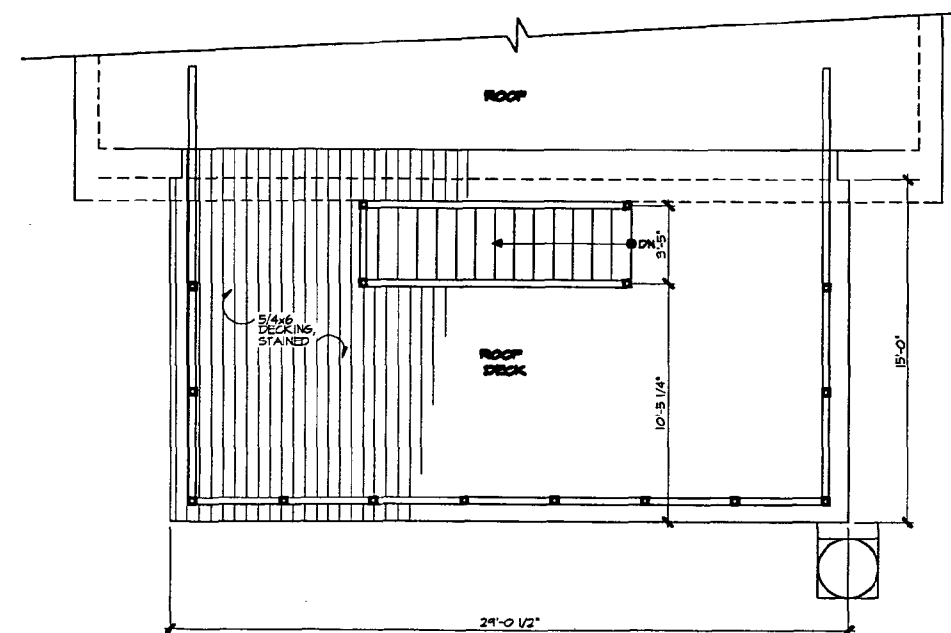
1 STORAGE SLAB/FOUNDATION PLAN
 A-3 SCALE: 1/4"=1'-0"



3 SECOND FLOOR DECK PLAN
 A-3 SCALE: 1/4"=1'-0"



2 FIRST FLOOR DECK PLAN
 A-3 SCALE: 1/4"=1'-0"



4 THIRD FLOOR DECK PLAN
 A-3 SCALE: 1/4"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

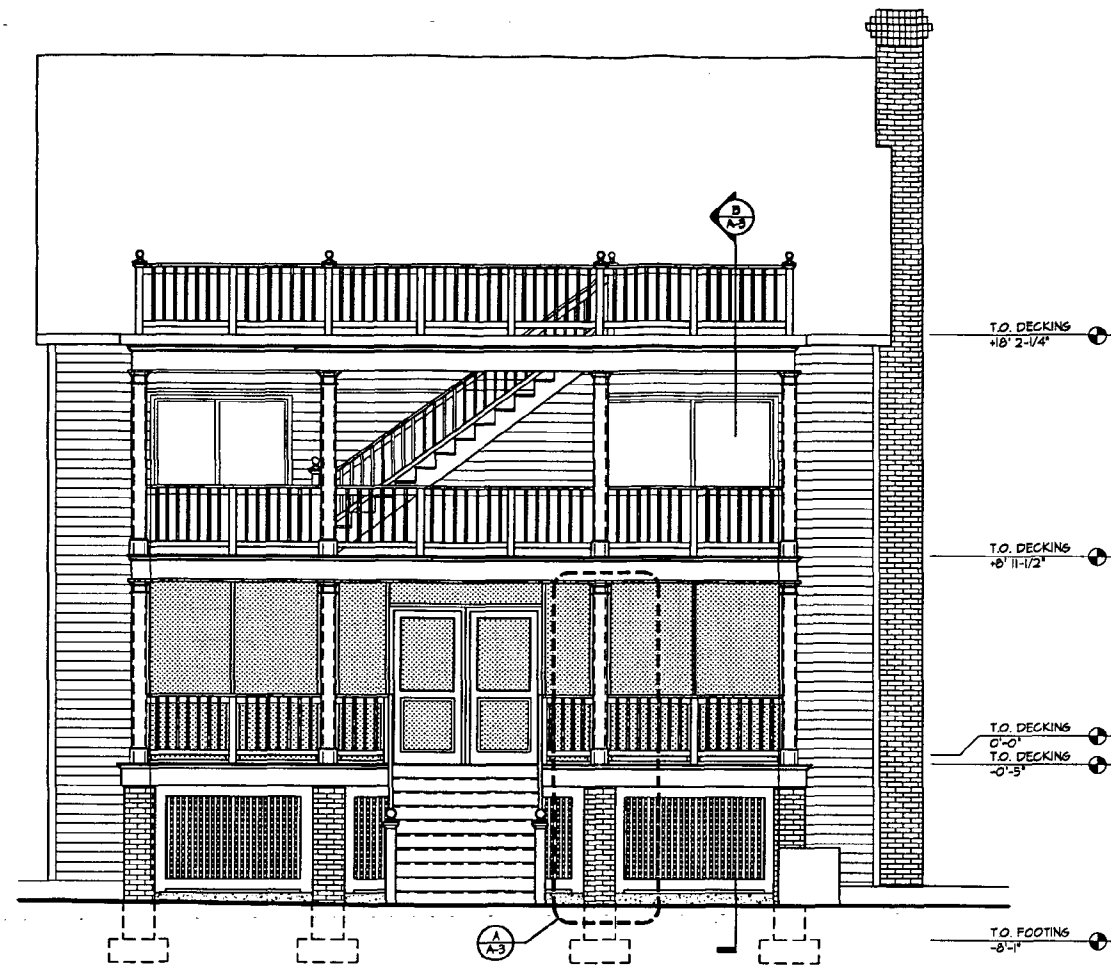
[Signature]
 8-17-00

10405 FANCETT ST.
KENSINGTON, MD 20895

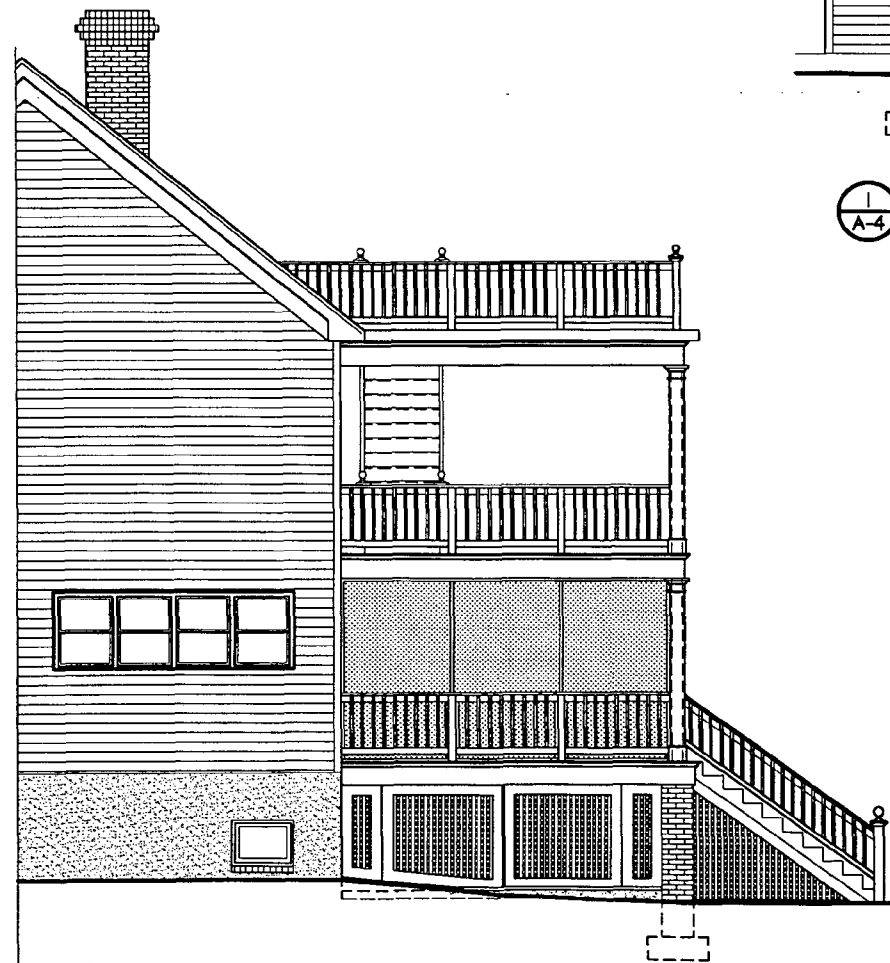
ELEVATIONS

APPROVED
Montgomery County
Historic Preservation Commission

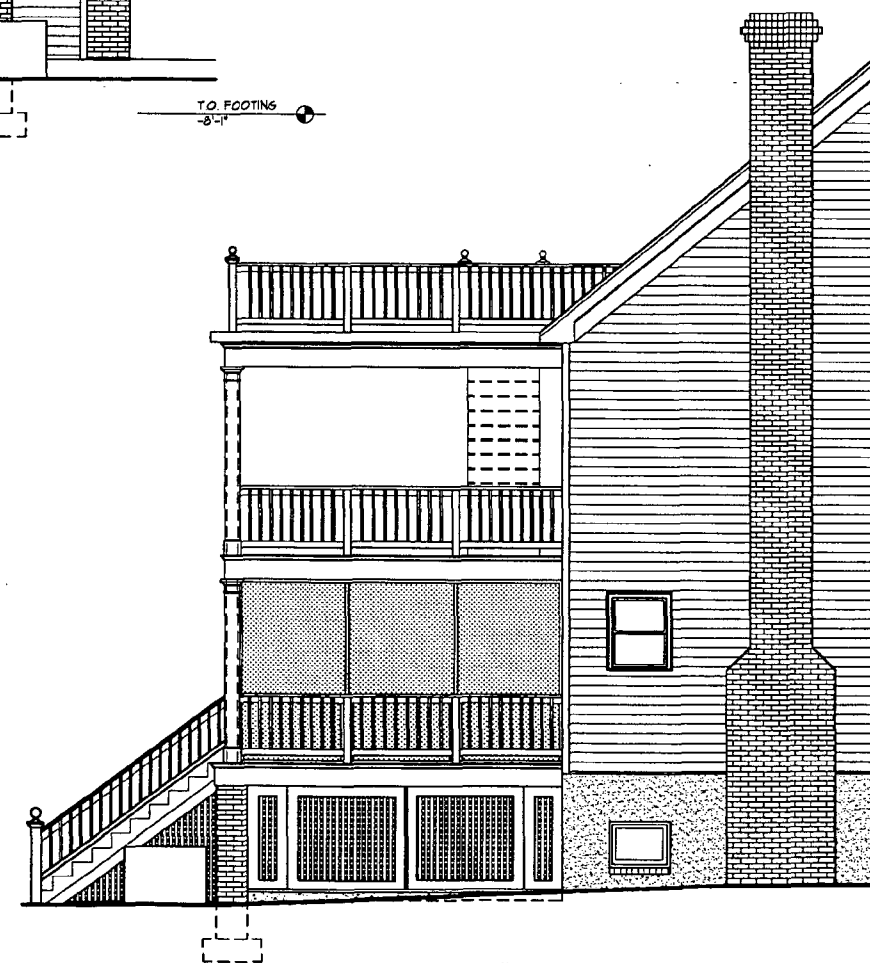
[Signature]
08-17-00



1 REAR ELEVATION
A-4 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
A-4 SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
A-4 SCALE: 1/4"=1'-0"

REVISIONS

SEAL

DRAWN BY: DER
CHECKED BY: GTM
SCALE: 1/4"=1'-0"
DATE: 6/30/00
PROJECT NO: 00162

DRAWING NO.

A-2

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10405 Fawcett Street, Kensington	Meeting Date: 08/16/00
Resource: Out-of-Period Resource Kensington Historic District	Report Date: 08/09/00
Review: HAWP	Public Notice: 08/02/00
Case Number: 31/06-00H	Tax Credit: None
Applicant: Brian Kahin	Staff: Michele Naru
PROPOSAL: Rear Porch Additions/Alterations	RECOMMEND: Approval

PROJECT DESCRIPTION:

SIGNIFICANCE: Out-of-Period Resource in Kensington Historic District.
STYLE: Modern
DATE: Modern

PROPOSAL:

There is an existing full-width deck located at the rear of house. The proposal is to convert this deck into a 29'x15' screened porch. An open porch with rooftop deck will be installed on top of the proposed screened porch. The proposed design will be three stories in total height.

STAFF DISCUSSION

The Montgomery County Code, Chapter 24A states:

In the case of an application for work on a historic resource located within a historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of the surrounding historic resources or would impair the character of the historic district.

The existing house and deck were constructed prior to the Historic District designation in 1986. The *Vision of Kensington*, which was adopted in 1992, states that the average percentage of lot coverage within the Kensington Historic District is 15%. This percentage is used as a guide by the HPC to determine sizes of new additions onto existing houses within the historic district

boundaries. The percentage of lot coverage for this particular lot (21%) was pre-determined prior to designation and was in accordance with the Montgomery County R-60 zoning requirement of less than 35%.

The existing rear deck on this non-contributing resource measures 10' in depth and 35' wide. The footprint of the new deck will measure 15' in depth and 29' wide. The percentage of lot coverage will be increased from 21% to 22% (Circle 7).

The new deck also meets the Montgomery County and Town of Kensington set-back requirements (Circle 8).

Staff feels that the proposed alterations would not negatively impact the Kensington Historic District. Rear additions and alterations to out-of-period resources that are not visible from the public right-of-way and do not negatively impact the historic landscape are generally approved in the Kensington Historic District. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

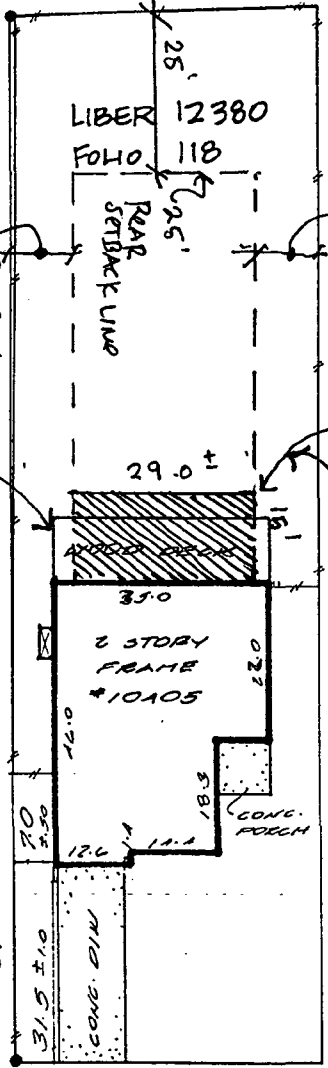
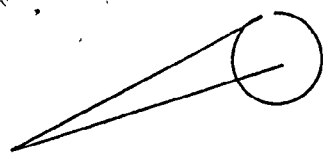
The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits**, and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 prior to commencement of work and not more than two weeks following completion of work.

S18°30'00"W 50.00



WOOD DECK (EXISTING):
10'x35' = 350 SF
EXISTING HOUSE: 2
1,422 SF

TOTAL LOT COVERAGE: 1,772 SF
% LOT COVERAGE: 21%

PROPOSED 2 STORY PORCH
PROPOSED PORCH:
435 SF
EXISTING HOUSE:
1,422 SF

TOTAL LOT COVERAGE:
1,857 SQ. FT.
% LOT COVERAGE: 22%

N20°30'00"E 50.00

PROPERTY PREDATES MODERN DAY ZONING.

→ LOT SIZE 8,419 SF
FAWCETT STREET

Date: 07-08-99 Scale: 1"=30' Dwn: B.D.
Plat Book: NO TITLE REPORT FURNISHED
Plat No.:
Work Order: 99-3204
Address: 10405 FAWCETT STREET
District: 13
Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Jarsha F. Gray

LOCATION DRAWING
LIBER 12380
FOLIO 118

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
811 Russell Avenue
Suite #303
Gaithersburg, MD 20879
(301) 721-9400

7

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: George Myers
Daytime Phone No.: 301 942 9002 ext. 13

Tax Account No.: _____
Name of Property Owner: BRIAN KATHIN Daytime Phone No.: _____
Address: 10405 Fawcett St. Kensington, Md. 20915
Street Number City State Zip Code
Contractor: TBD Phone No.: _____

Contractor Registration No.: _____
Agent for Owner: GTM ARCHITECTS Daytime Phone No.: 301 942 9002 ext. 13
George Myers

LOCATION OF BUILDING/PREMISE

House Number: 10405 Street: Fawcett St.
Town/City: Kensington, Md. Nearest Cross Street: Mitchell St.
Lot: _____ Block: _____ Subdivision: R.B. PETRIC'S SUBDIVISION
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 40,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

George Myers 6/29/00
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission (3)
Disapproved: _____ Signature: _____ Date: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

3 STORY REAR PORCH ON EXISTING HOME
IN KENSINGTON HISTORIC DISTRICT.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See A B A P

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

1.)

Rudy & Suly Uberman
10403 Fawcett Street
Kensington, MD 20895

2.)

Property Owner
10406 Fawcett Street
Kensington, MD 20895

3.)

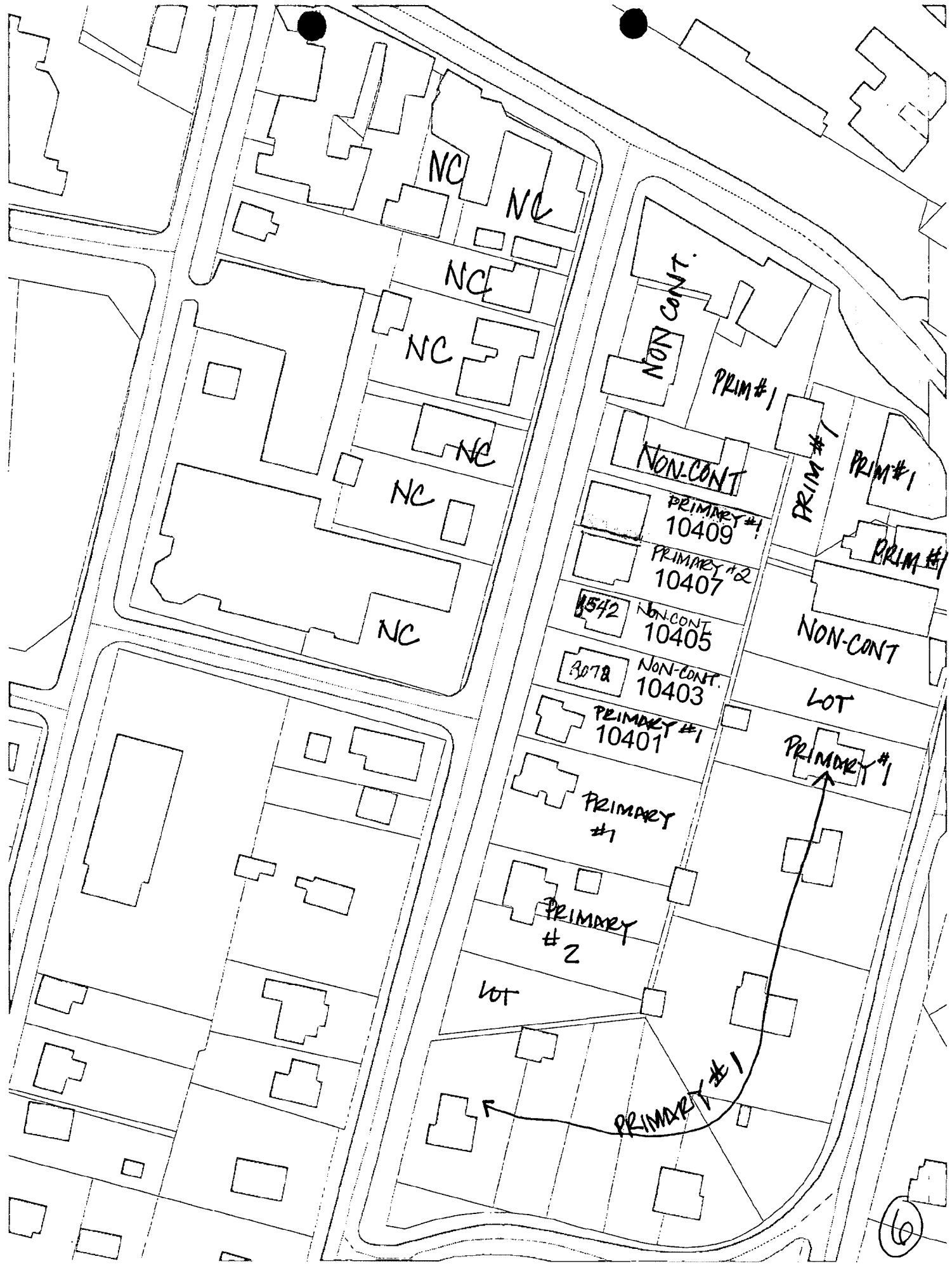
Frank & Mary O'Donnell
10407 Fawcett Street
Kensington, MD 20895

4.)

St. Paul's Church
10401 Armory Avenue
Kensington, MD 20895

5.)

Property Owner
10400 Montgomery Avenue
Kensington, MD 20895



NC NC

NC

NC

NC

NC

NC

NON-CONT.

PRIM #1

NON-CONT

PRIMARY #1
10409

PRIMARY #2
10407

1542 NON-CONT
10405

3078 NON-CONT.
10403

PRIMARY #1
10401

PRIMARY
#1

PRIMARY
#2

LOT

PRIMARY #1

PRIM #1

PRIM #1

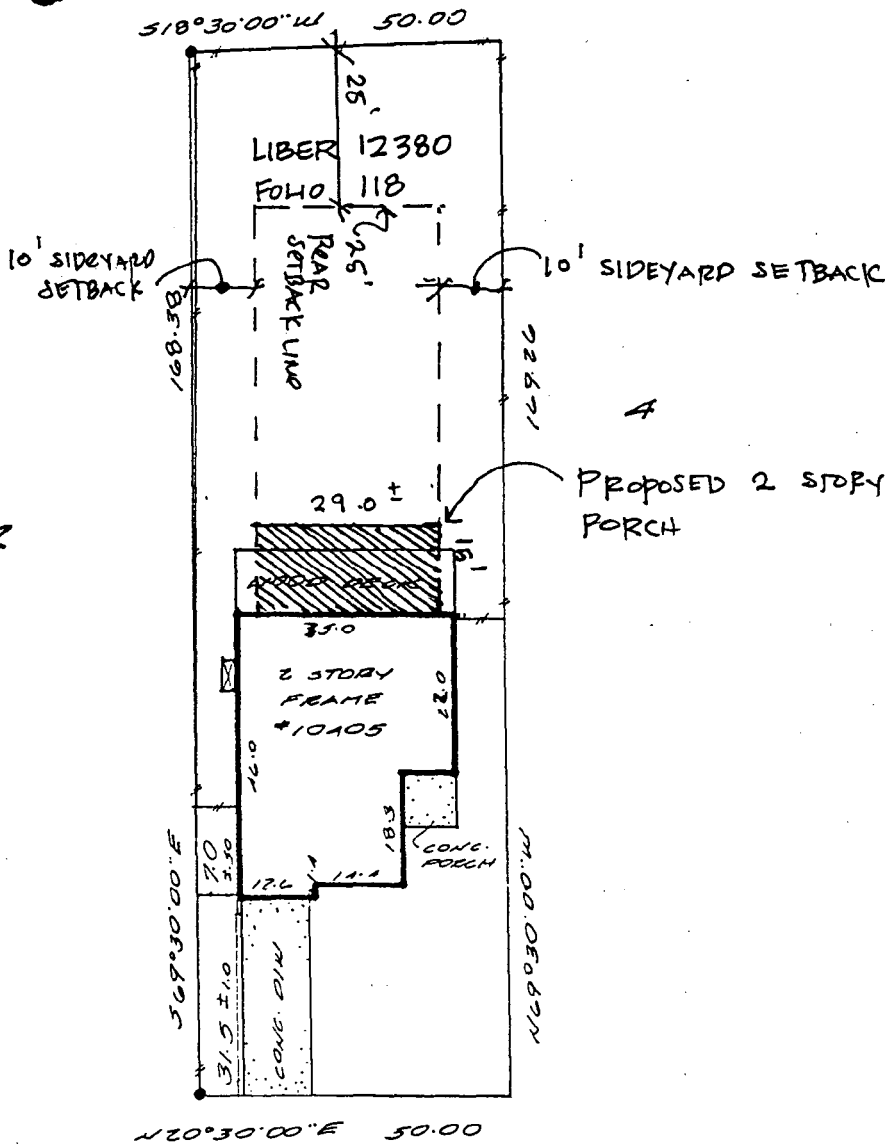
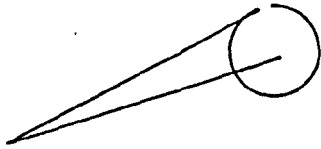
PRIM #1

NON-CONT

LOT

PRIMARY #1

6



PROPERTY PREDATES MODERN DAY ZONING.

FAWCETT STREET

Date: 07-08-99 Scale: 1"=30' Dwn: B.D.
 Plat Book:
 Plat No.: NO TITLE REPORT FURNISHED
 Work Order: 99-3204
 Address: 10405 FAWCETT STREET
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Sandra F. Grun

**LOCATION DRAWING
 LIBER 12380
 FOLIO 118**

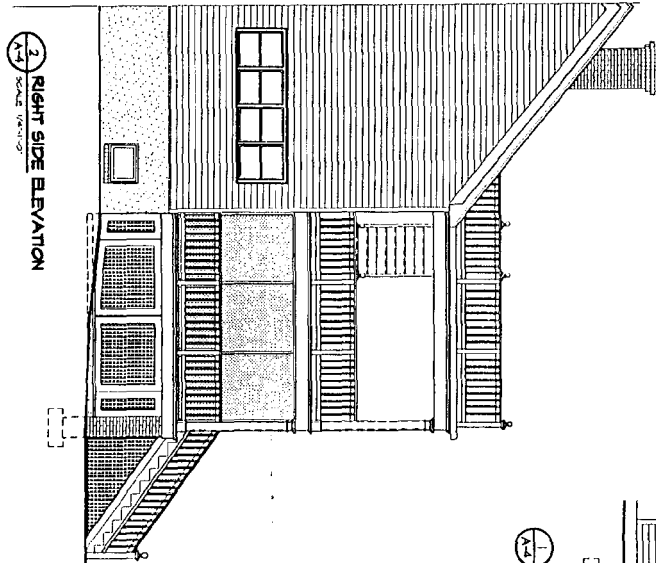
NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



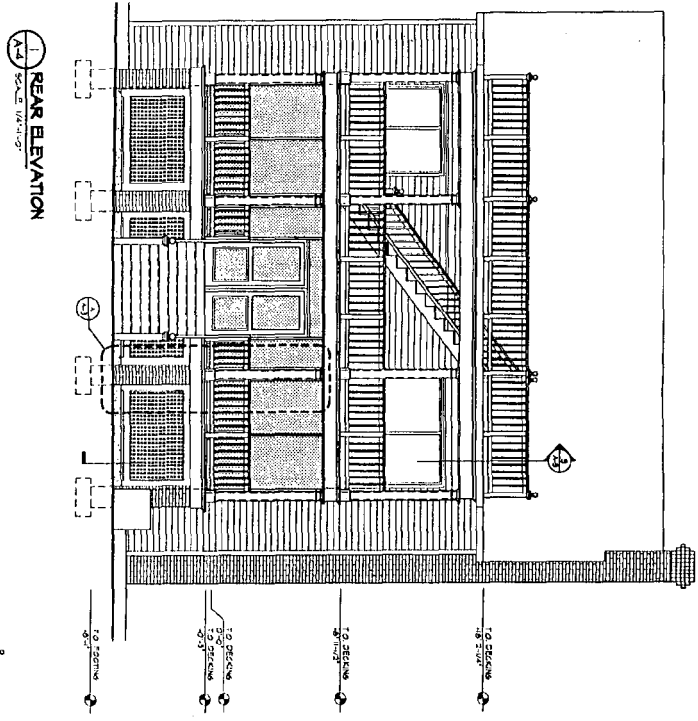
Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

8

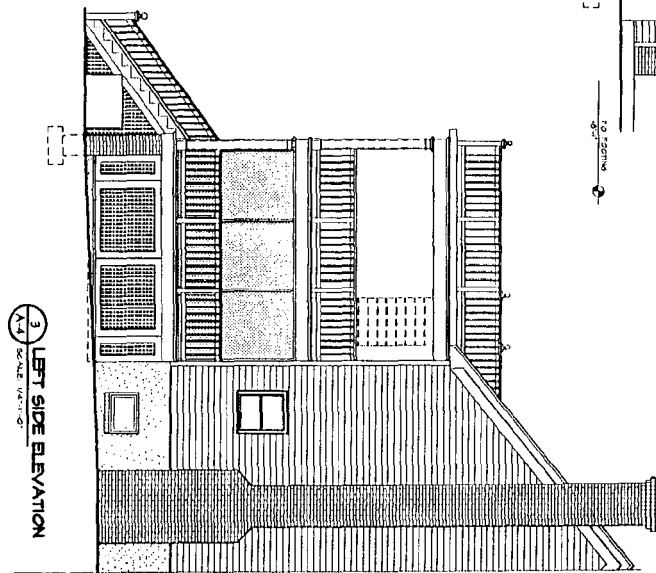
9



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

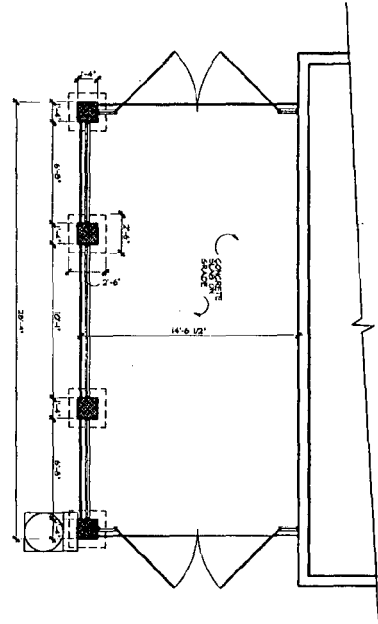


1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

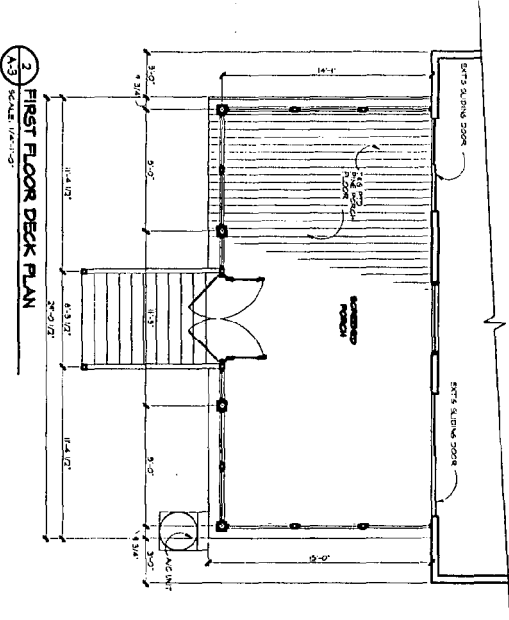


3 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

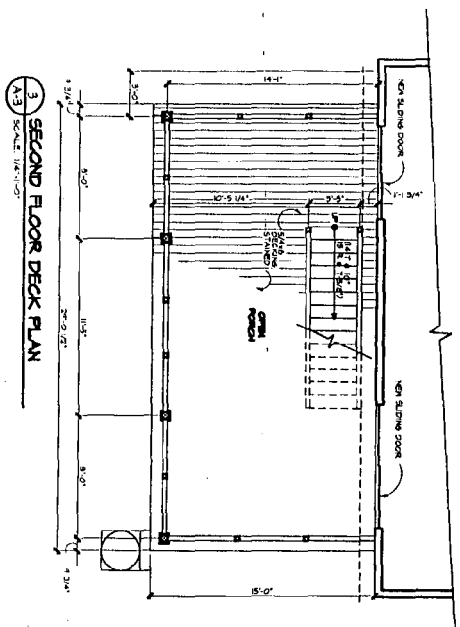
A-2	KAHIN RESIDENCE NEW DECK	10405 FAWCETT ST. KENSINGTON, MD 20895 ELEVATIONS	GTM ARCHITECTS <small>GRANT TAYLOR, ARCHITECT MICHAEL TAYLOR, ARCHITECT SCOTT L. KIMMEL, ARCHITECT DONALD S. PETER, ARCHITECT</small>
	<small> DRAWN BY: DER CHECKED BY: S.M. SCALE: 1/4" = 1'-0" DATE: 6/30/00 PROJECT NO: 000 612 DRAWING NO: </small>	<small> REVISIONS NO. DESCRIPTION </small>	<small> 1 TO SECTION 2 TO SECTION 3 TO SECTION 4 TO SECTION </small>



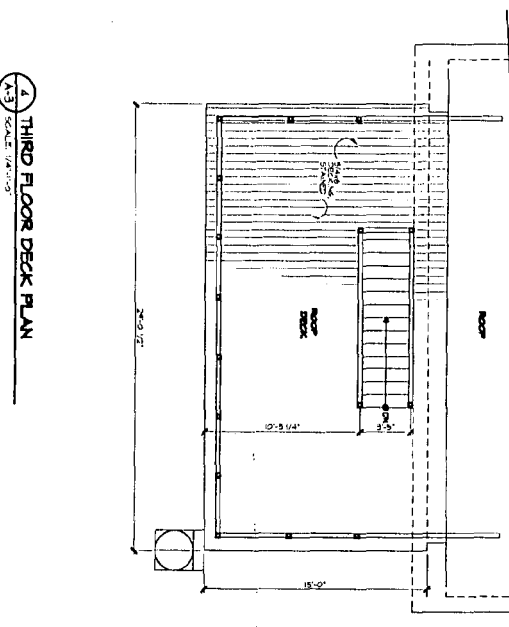
1 STORAGE SLAB/FOUNDATION PLAN
SCALE: 1/4"=1'-0"



2 FIRST FLOOR DECK PLAN
SCALE: 1/4"=1'-0"

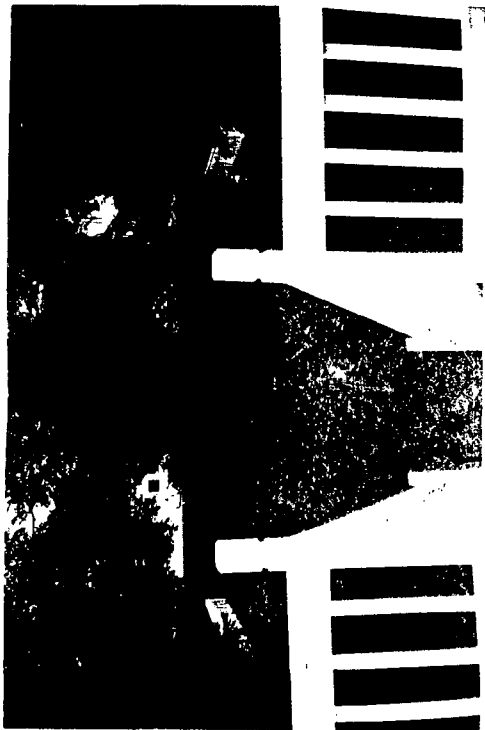


3 SECOND FLOOR DECK PLAN
SCALE: 1/4"=1'-0"

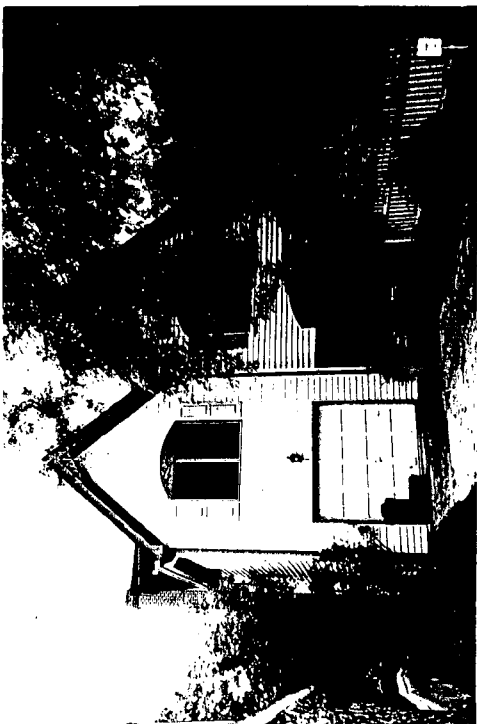


4 THIRD FLOOR DECK PLAN
SCALE: 1/4"=1'-0"

A-1	KAHIN RESIDENCE NEW DECK	10405 FAWCETT ST. KENSINGTON, MD 20895	GTM ARCHITECTS 1045 ASHBY AVENUE BOWEN, MD 20838 PHONE: 301-281-1100 DRAWING: 2001.FLM
	REVISIONS: SCALE: DRAWING NO. 0062 DATE: 6/30/00 DESIGNED BY: DER CHECKED BY: GTM SCALE: 1/4"=1'-0" DATE: 6/30/00 PROJECT NO. 0062 DRAWING NO. 0062	FLOOR PLANS	



EXISTING REAR YARD



EXISTING FRONT ELEVATION



EXISTING REAR W/ CURRENT DECK

Frank O'Donnell
10407 Fawcett Street
Kensington, MD 20895

July 18, 2000

Michele Naru
Montgomery County Historic Preservation Commission

Dear Ms. Naru:

I live at 10407 Fawcett Street in the Kensington Historic District. The home at 10407 Fawcett Street is a primary resource. Our records indicate that it was built in 1896. The house is of such historic significance that it was singled out for attention when the Kensington Historic District was proposed for inclusion on the National Register of Historic Places (see attachment).

The property at 10405 Fawcett Street is an infill development dating from 1983-84. The owner of 10405 Fawcett Street seeks to build a large addition off the back of the house.

Although I understand the applicant's desire to improve the property and would certainly support a one-story screened porch that projects no deeper into the lot, I do have concerns about the massive three-and-a-half story porch/deck complex that is being proposed.

I believe that, as proposed, this project conflicts with the Secretary of Interior's Standards for Rehabilitation, items #1 and #9 and also clashes with the spirit of the *Vision of Kensington*, which has been adopted by the Montgomery County Historic Preservation Commission as guidelines for development in the Kensington Historic District.

It is conflict with the Secretary of Interior's Standard #1, which states that

A property shall for used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. (emphasis added)

This massive addition would adversely affect the environment of the Kensington Historic District. It would eliminate or significantly impair the vista of gardens and greenspace from at least three rooms and two decks from the historic resource at 10407 Fawcett Street. One of the defining characteristics of the Kensington Historic District is the perception of a garden setting. The proposed project would replace the views of gardens with structure. This would not be a minimal change from the perspective of the historic resource and indeed would erode its historic value.

In addition, the proposed project conflicts with the Secretary of Interior's Standard #9, which states that

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property *and its environment.* (emphasis added)

While the proposed project is certainly differentiated from the existing building, it would not be compatible with the historic environment. It would project deeper into the lot and would loom above much of the historic resource at 10407 Fawcett Street. It would not be compatible with the massing, size or scale of the historic resource.

In addition, I believe the proposed project conflicts with the *Vision of Kensington*, which warns that "the challenge of evaluating the appropriateness of infill development must be met without further dilution of the characteristic appearance of the historic district. The understanding of Kensington's history and the identification of visual qualities that create its unique character will be pivotal to the preservation and enhancement of the historic district in the future." As itemized in the *Vision*, those character-defining features include building setbacks, rhythm of spacing between buildings, and scale and building height. The proposed project entails an extension of a too-close building pattern that would not be permitted under today's guidelines for infill development. It also involves a large increase in massing to a structure whose size also would fail to pass muster under today's guidelines. Clearly, this proposed project would dilute the characteristic appearance of the district from the perspective of a primary resource.

I am also concerned about a presumption that any new construction is permissible if it cannot be seen from the street. The history of HPC decisions does not support this presumption. Indeed, in a case several years ago involving an addition to 10409 Fawcett Street, the applicant initially desired to build a turret in the back of the house. The applicant dropped the idea following opposition from HPC staff.

For these reasons, I hope that you and the Commission will recommend disapproval of the project as proposed while permitting the applicant to proceed with a one-story screened porch that projects no deeper into the lot. Thank you for your attention to this matter.

Sincerely,



Frank O'Donnell

FHR-8-300A
(11/78)

UNITED STATES DEPARTMENT OF THE INTERIOR
HERITAGE CONSERVATION AND RECREATION SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR HCRS USE ONLY

RECEIVED JUN 17 1990

DATE ENTERED

Kensington Historic District
Montgomery County

CONTINUATION SHEET Maryland ITEM NUMBER 7 PAGE 1

(DESCRIPTION, continued)

Queen Anne: generally characterized by a round or polygonal tower, use of clapboard and shingle siding, some half-timbering in the gable ends, and wide porches with attenuated columns. Example: 10226, 10231, 10234, Carroll Place; 3820 and 3915 Washington Street.

Victorian: frame gable roofed structures, often with the gable end facing the street, generally covered with clapboards but shingles in the gables, having facade porches with Eastlavian influenced balustrades and posts. Example: 10310 Fawcett Street, 10312, 10314, 10316 Armory Avenue; 3918 Prospect Street; 3730 Howard Street; 3945 Baltimore Street.

Shingle: frame structures with large gambrel roofs, gambrel generally facing the street, usually covered with clapboard and shingle siding. Example: 3930 Washington Street, 10314 Fawcett Street, and the Noyes Library at Carroll Place and Montgomery Avenue.

Colonial Revival: characterized by use of a dominant Georgian feature such as a pedimented doorway or oculi, generally covered by clapboards. Example: 3948 Washington Street, 10213 Montgomery Avenue

Functional: often Queen Anne in solidity but almost devoid of exterior decorative detailing except simple Classical influenced porch columns; covered with stucco, shingles, or clapboards or sometimes both; hip or gable roof usually with one dormer centered on the facade; windows often group in twos or threes. Example: 10224 Montgomery Avenue, 10302 Fawcett Street, 3906 Washington Street.

Several of the buildings are of special note primarily for architectural reasons. The house at 10407 Fawcett Street is both Queen Anne and Shingle in influence. It has a large gable roof which begins at the base of the second floor and extends over the facade porch. A large hip roofed dormer with a columned balcony projects from the second story of the facade. Number 3927 Washington Street, another frame house, has a low hip roof with a wide overhang that is

SEE CONTINUATION SHEET #2.

(15)

*Mary Norton O'Donnell
10407 Fawcett Street
Kensington, MD 20895*

August 7, 2000

Michele Naru
Montgomery County Historic Preservation Commission

Dear Ms. Naru:

My husband and I will be out of town and unable to attend the Commission's August 16, 2000 meeting. We stand by the views expressed in his earlier letter to you regarding the proposed project at 10405 Fawcett Street. I have several additional thoughts noted below.

As you know, the proposed plan has been slightly modified because the initial plan would not have complied with Town of Kensington setback requirements. However, the revised plan does not offer any concessions to the concerns raised in the earlier letter. It has been modified only to avoid having to seek a variance from Kensington's law.

The revised project is somewhat narrower than the original, but also deeper. Although the overall square footage of the three-story structure has been reduced from 1,330 square feet to 1,305 square feet, the impact described in the earlier letter would remain the same. (The three-foot reduction in width on the north side of the project essentially would be offset by the added two and a third feet in depth.) In fact, the project has been re-shaped to continue its generous bulk and additional lot coverage. (Maintaining the project's originally proposed shape would have entailed scaling its depth back to 10 feet, six inches – still deeper than the property's current deck – rather than expanding the depth to 15 feet.)

I still believe it is possible to achieve the primary goals sought by the homeowners without erecting a structure of such height and depth. This is an option that I do not believe has been adequately explored.

Perhaps more significant than the properties directly affected by this project, however, is the potential impact that approval could have on the longer-term fate of the Kensington Historic District.

(No)

In response to the earlier letter, the project's architect asserted to me and my husband that "there is no historic issue here" and that we are "lucky." He explained that his clients, if they so chose, could build a 30-foot wall of vinyl in the back of their house. "You could be looking at 30 feet of vinyl," he said, "and you couldn't do anything about it."

Implicit in those remarks, it would seem, is a belief that projects built in the back of properties in the Kensington Historic District are beyond the jurisdiction of the Commission. The Commission may want to explore such a viewpoint. If such projects are indeed beyond the Commission's jurisdiction, then the HAWP process for these projects would seem, frankly, pointless.

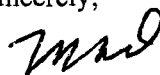
If the Commission does assert jurisdiction, then it may be appropriate to spell out the criteria under which such projects are evaluated. Is a three-story, 15-foot structure superior to a one-story, 30-foot wall of vinyl? If so, how and why? What about the impact on the "garden" ambience of the District? As noted in the *Vision of Kensington*, one of the hallmark characteristics of the District is its garden setting, and the Vision warns against any "erosion" of that characteristic. Does that apply only to the perspective of visitors looking at a streetscape, or can it also be of concern from the perspective of residents of the District's historic core, who might literally lose the view of a garden?

In the case under discussion, it's important to see the impact of the proposal from the historic resource most affected. I want to extend an invitation to you and any other interested staff and commissioners to feel free to visit my back yard or call me and set up a time for me to meet you at my house so you can assess the impact from the interior.

In addition, the Commission may want to explore the implications of expansions of in-fill development such as the property at 10405 Fawcett Street. It appears that one way to obtain approval to build on vacant lots in the Kensington Historic District is to design relatively small houses. (For example, 3922 Baltimore Street.) It is not hard to imagine the remaining empty lots of Kensington dotted with many small houses that are subsequently enlarged. That could lead to a different "Vision" of Kensington – the vision of a builder.

Finally, it is my understanding that controversy over the first in-fill construction at 10405 Fawcett Street was a catalyst that helped create the Kensington Historic District in the first place. It would be ironic if a modification to that same in-fill property played a role in the District's demise.

Sincerely,



Mary Norton O'Donnell
(301) 942-4219 (home)

10019 Frederick Avenue
Kensington, MD 20895
August 9, 2000

Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Commissioners and Staff:

I am writing regarding the proposal for 10405 Fawcett Avenue, where the applicant wishes to build a three level porch onto the rear of his house. (Case # 31/6-00H)

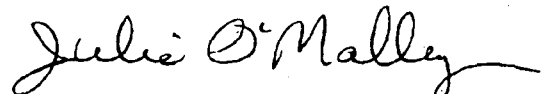
The issue at hand is whether the three-story porch will be detrimental to the historic district. While this addition will not be very visible from the front of the house, it certainly will be visible to the neighbors. In the winter, when the shielding from the trees is gone, it will be quite noticeable from Kensington Parkway as you drive past the Post Office straight toward the back of this property. The view from behind 10405 Fawcett St. is through the side yard and driveway of 10400 Montgomery Avenue and next to it, a parking lot. In the past, rear additions to houses have been reviewed by the HPC with recommendations for changes. Nearby, both 10409 Fawcett St. and 10314 Armory Ave. were advised to change their rear designs.

Twenty years ago, before Kensington was under the protection of the HPC, the home at 10407 had its enclosed side porch cut off so that two large new homes could be squeezed into its side yard. At that time complaints were voiced about the minimal side yards additionally compromised by the chimney extensions.

This new addition will extend back one and a half times the depth of the current deck. It is obvious by looking at the new construction approved for 3802 Washington Street, that even a ten foot deep porch is quite imposing. This will be fifteen feet. The mass will certainly be substantial with three levels becoming a prominent feature of the landscape as well as imposing on the historic resource at 10407 Fawcett St. This historic resource has already suffered from overdevelopment. If the neighbor's addition poses a threat to this historic resource by making this resource less economically viable to present or future owners, then that resource will be less likely to be preserved. While this addition is not on a historic resource itself, it will dramatically affect the historic resource at 10407 by blocking its view of Kensington's garden landscape and minimizing the resource. It would seem that the goal of the HPC should be to make the primary historic resources MORE desirable, and to encourage interested owners willing to take the extra care to preserve them.

Our historic districts should not only be for those who drive through the neighborhood, but also for the protection of those who endeavor to maintain the historic resources that constitute the district.

Sincerely,



Julie O'Malley
Preservation Chair
Kensington Historical

August 15, 2000

Michele Naru
Historic Preservation Planner
Historic Preservation Commission
Maryland-National Capital Park and Planning Commission
8787 Georgia Avenue
Silver Spring, MD 20910

RE: HPC Case 31/06-00H

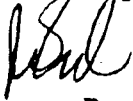
Dear Ms. Naru:

The Kensington Local Advisory Panel ("LAP") for the M-NCPPC Historic Preservation Commission met on August 7, 2000 to discuss the above referenced Case.

We discussed the case from the standpoint of whether or not there was any conflict with the historic preservation guidelines set forth by the Secretary of the Interior and *Visions of Kensington*, especially with regard to additional lot coverage, mass, scale, and impact on the character of the Kensington Historic District. The majority of LAP members felt that there was no significant conflict with these guidelines.

Some members of the LAP expressed concern that this project would set a precedent for future expansion and addition projects in the Historic District. The primary concern was that HPC could potentially allow any size addition or alteration to the back-side of both contributing and non-contributing resources if there was no visual impact on the street scape. Most LAP members did not feel that there was a particularly strong precedent being set in this particular case. Several members, however, expressed dismay over the visual impact on the garden setting of previously completed additions to homes in the Historic District. It was pointed out that while there may be no visual impact on the street scape, there is often a dramatic impact on the garden setting from the perspective of the back yards of nearby homeowners. LAP urges the HPC to give careful consideration to this concern in future cases.

Sincerely,



James D. Engel
LAP Chairman
Kensington Historic District

Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring,, Md. 20910-3760

To the Commissioners,

This letter is to recommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

Renee Beaman

10405 Fawcett St

Kensington Md 20895

Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md. 20910-3760

To the Commissioners,

This letter is to recommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

Suly Uberman
(10403 Fawcett)

Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md. 20910-3760

To the Commissioners,

This letter is to recommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

Kathleen L. Cavan
10300 Fawcett Street
Kensington, MD 20895

Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md. 20910-3760

To the Commissioners,

This letter is to recommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

Denise Orenstein . (DENISE ORENSTEIN)

10313 FAWCETT
STREET

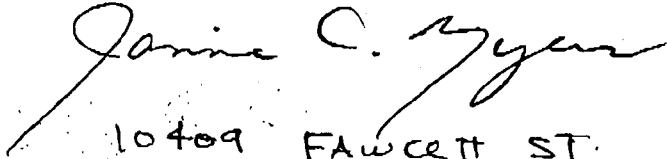
Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring,, Md. 20910-3760

To the Commissioners,

This letter is to recommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

A handwritten signature in cursive script, appearing to read "Janine C. Myers". The signature is written in dark ink and is positioned above the address information.

10409 FAWCETT ST.
KENSINGTON, MD. 20895

● ADD TO FILE

Monday, August 14, 2000

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring,, Md. 20910-3760

To the Commissioners,

This letter is to reccommend approval of the rear porch addition on the house located at 10405 Fawcett Street, in the Kensington Historic District. Having reviewed the drawings of the proposed structure, I am of the opinion that it will be a suitable addition both to the existing house, and to the Historic District itself.

Sincerely,

Virginia D. Humphreys
10401 Fawcett St.
Kensington, MD.

Date: 08/16/2000
Sender: "Pfautz Leanne" <PfautzL@staff.abanet.org>
To: NaruM
Priority: Normal
Subject: Case #31/6-00H

Michele - On behalf of the Town of Kensington and in my capacity as Council Member, I write to support the letter written to the Montgomery County Historic Preservation Commission by the Kensington Historical Society Preservation Chair, Julie O'Malley, on August 9, 2000. The Council met last night and voted to support the position taken by the Kensington Historical Society as we believe their position to be consistent with the Visions of Kensington with regard to massing and its effect on an historic resource within our historic district.

If you have any questions, please feel free to call me at 202/662-1665 or send me an e-mail at pfautzl@staff.abanet.org.

Thank you.

Leanne Pfautz
Council Member
Town of Kensington

> -----Original Message-----

> From: narum@mncppc.state.md.us [SMTP:narum@mncppc.state.md.us]
> Sent: Wednesday, March 01, 2000 8:54 AM
> To: PfautzL@staff.abanet.org
> Subject: Re:HPC Actions

>

> Hi Leanne:

>

> The only item on the February 9th and 23rd agendas for Kensington was the
> St.

> Paul Street case you mentioned.

>

> The commission voted unanimously to approve the HAWP application with the
> two

> staff conditions: 1. The original garage door roller track should not be
> removed. 2. The original door panels should be documented through
> B&W--5X7

> photos and measured drawings and submitted to staff before removal and
> disposal.

>

> This was my case and to date I have not received the items in #2---so the
> project should not be completed as of yet.

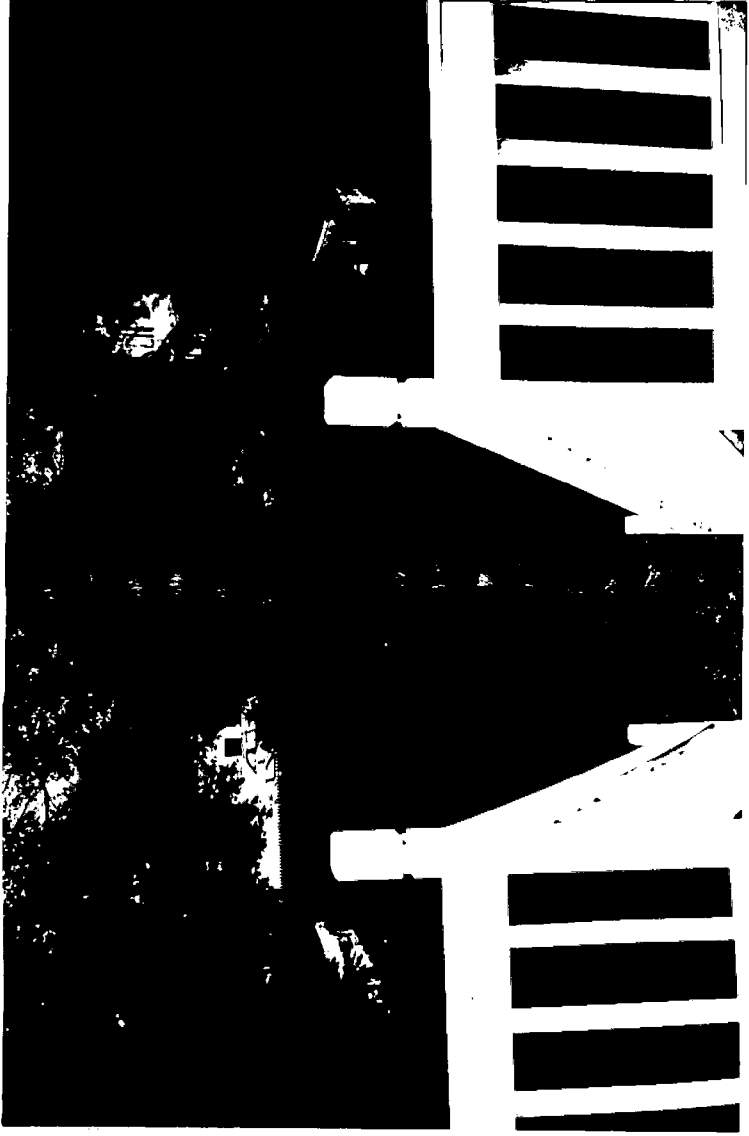
>

> Have a great week.

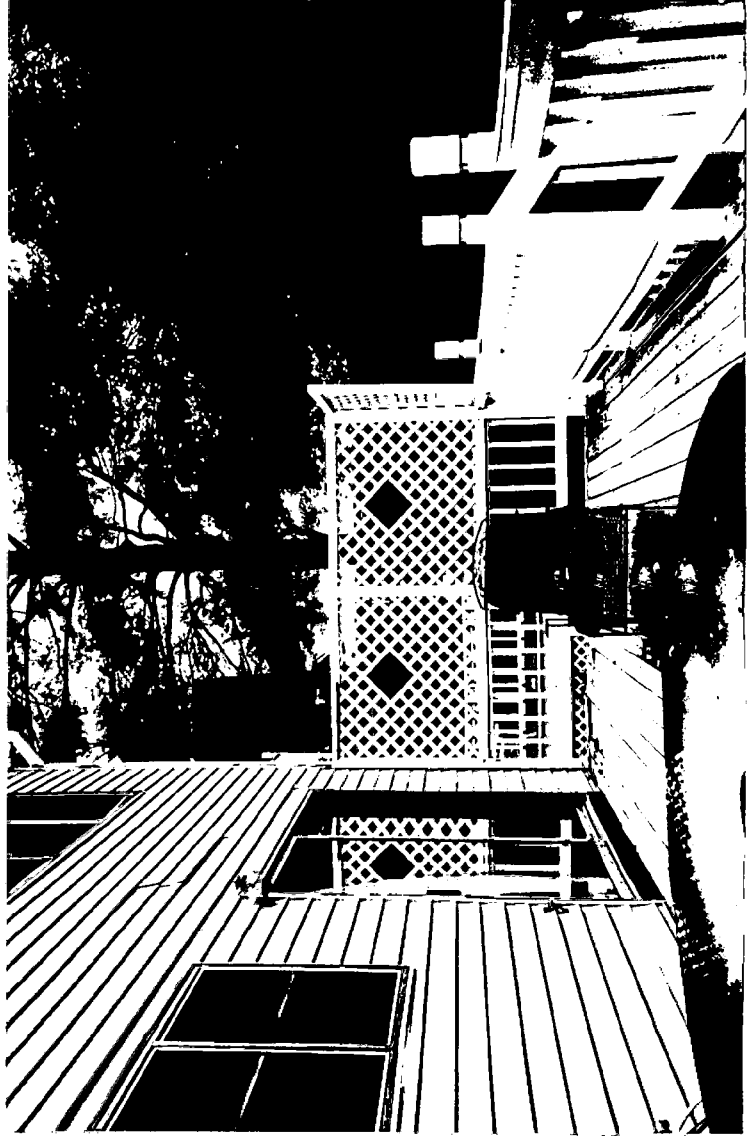
>

> Michele

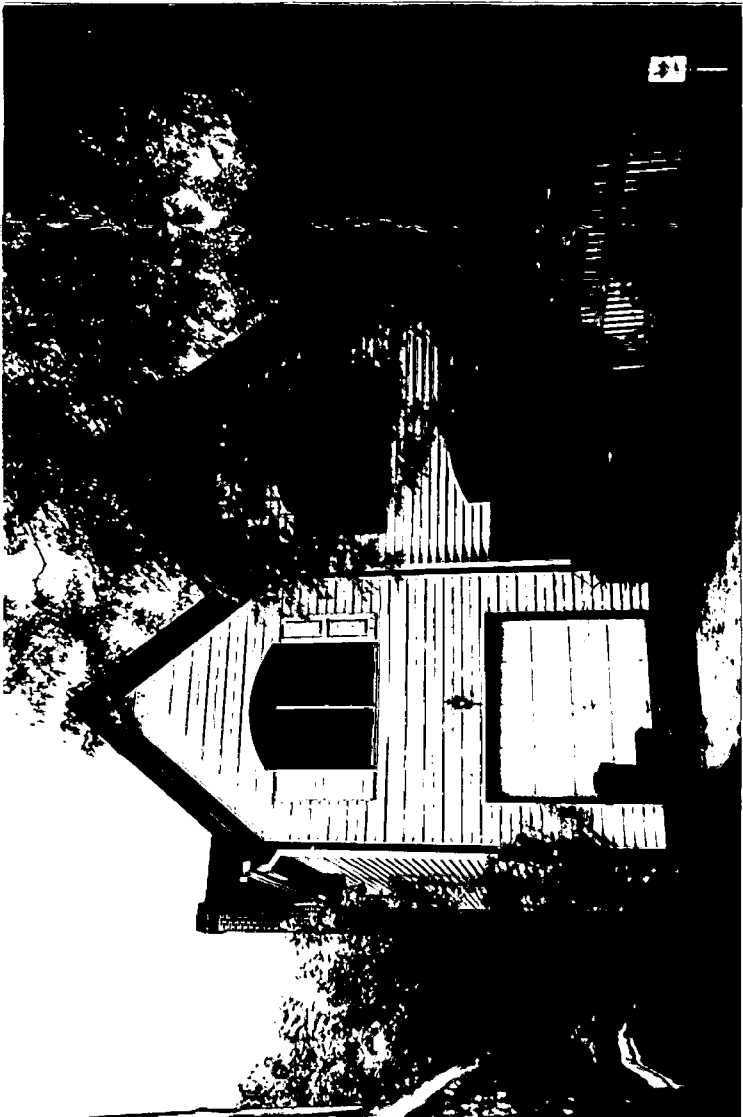
>



EXISTING REAR YARD



EXISTING
REAR W/
CURRENT
DECK



EXISTING
FRONT ELEVATION



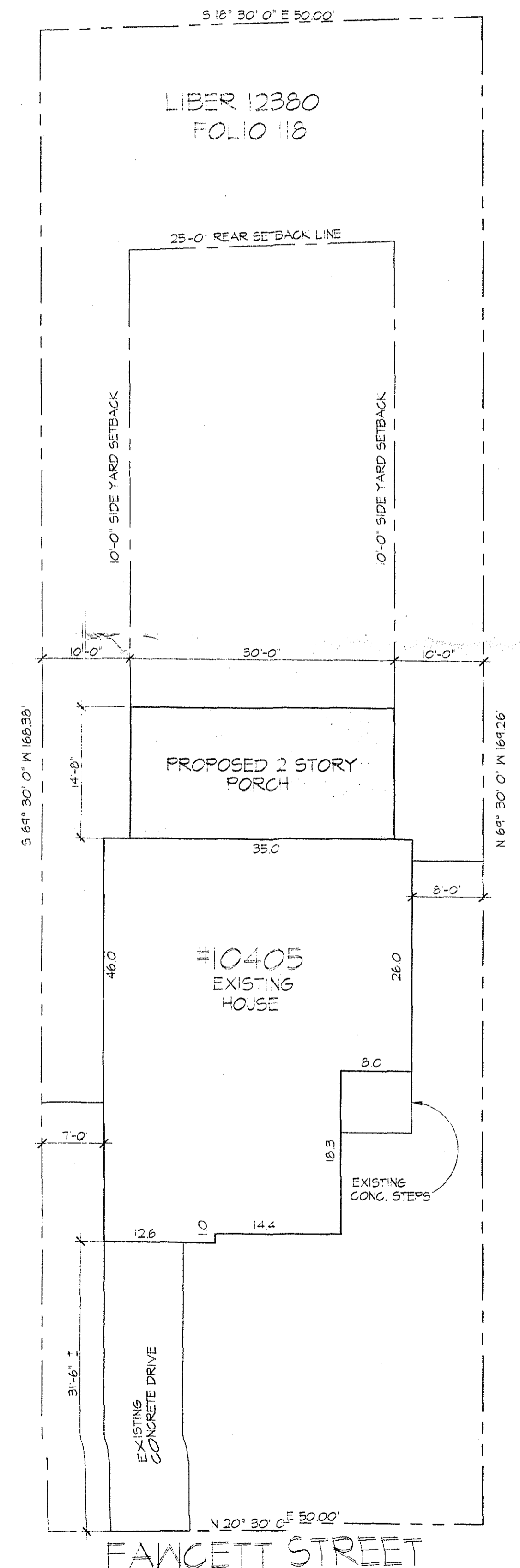
KAHIN RESIDENCE

10405 FAWCETT STREET
KENSINGTON, MD 20895

PLAT DATA

DISTRICT: 18
MONTGOMERY COUNTY MARYLAND
ZONED: R-60

SITE PLAN



GTM ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD 20895
(301)442-4062
(301)442-9424 FAX

10405 FAWCETT ST.
KENSINGTON, MD 20895
COVER SHEET

KAHIN RESIDENCE NEW PORCH

REVISIONS:

SEAL:



DRAWN BY:

DER

CHECKED BY:

GTM

SCALE:

AS NOTED

DATE:

6/30/00

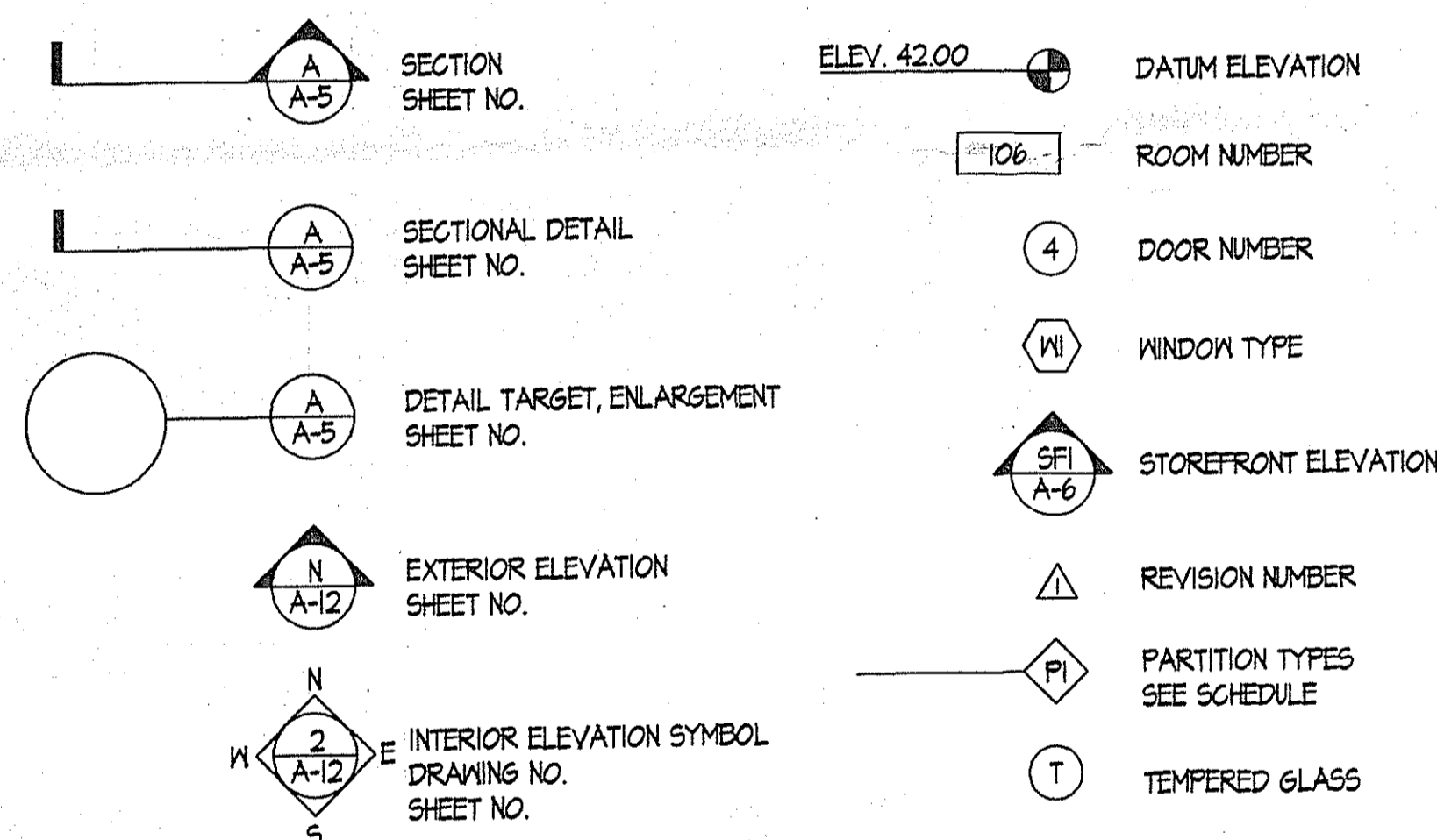
PROJECT NO:

00162

DRAWING NO.

CS

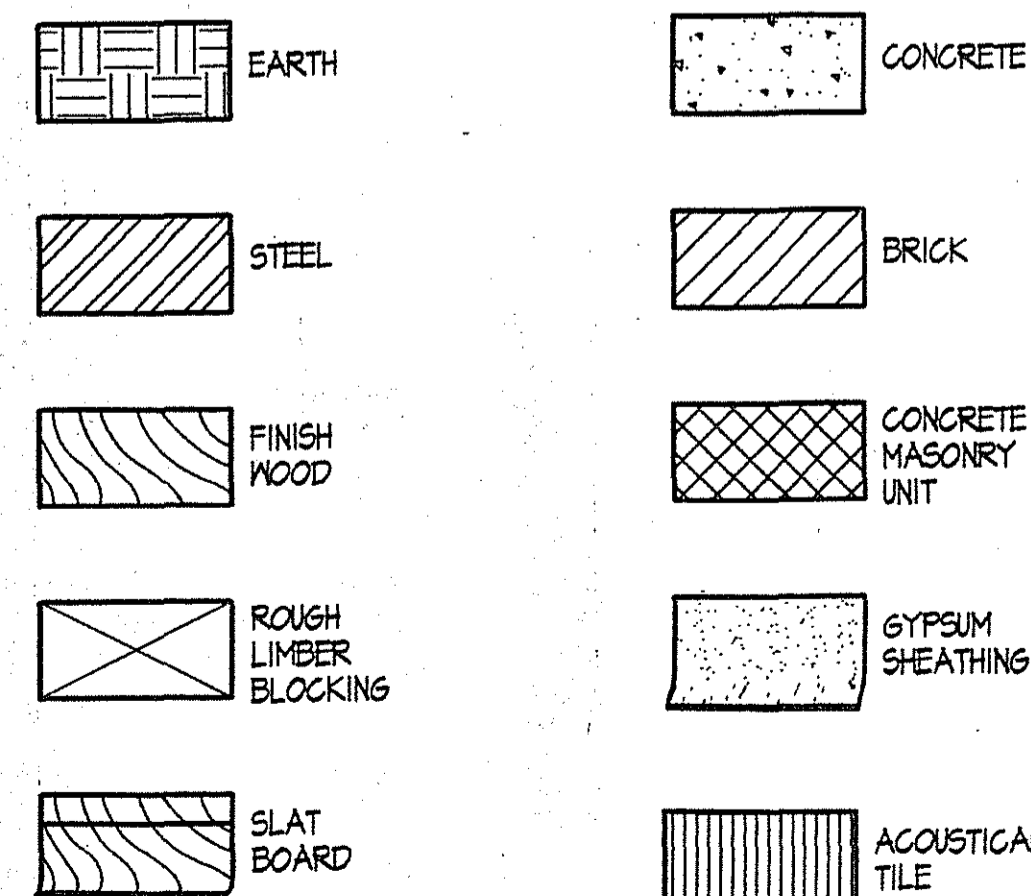
GRAPHIC SYMBOLS



LIST OF DRAWINGS

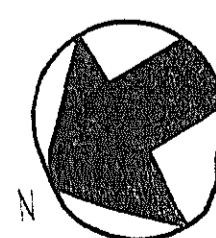
- CS COVER SHEET
- SP SPECIFICATIONS
- A1.0 FLOOR PLANS
- A2.0 ELEVATIONS
- A3.0 SECTION / ENLARGED ELEVATION
- A3.1 DETAILS
- S1.0 STRUCTURAL PLANS

MATERIAL SYMBOLS



ABBREVIATIONS

ABOVE FINISH FLOOR	AF	EACH	EA	INTERIOR	INT	PLATE	PL	VESTIBULE	VEST
ACoustic	AC	EAST	E	ELECTRIC ELECTRICAL	ELE	PLUMBING	PL	VINTYL COMPOSITE TILE	VCT
ADJUSTABLE	ADJ	ELEVATION	EL	ELEV	EL	PLYWOOD	PLY	VOLTS	V
AIR CONDITIONING	AC	ELEVATOR	ELEV	EMERGENCY POWER	EP	POLYURETHANE GLYCOL INSULATION	PI	HALLBOARD	H
AIR HANDLING UNIT	AHU	EMPTY CONDUIT	EC	EMERGENCY POWER	EP	PRECAST	PC	KELLED WIRE FABRIC	KWF
ALTERNATE CURRENT	AC	ENGINEER	ENR	EXPANSION JOINT	EJ	PRECAST	PC	MIDTH	M
ALUMINUM ANCHORS	AL	ELECTRIC WATER COOLER	EW	EXPANSION JOINT	EJ	PRECAST	PC	KITCHEN	K
ANCHOR BOLT	AB	EXPANSION JOINT	EJ	EXPANSION JOINT	EJ	PRECAST	PC	REINFORCEMENT	R
ARCHITECT	AR	EXTENSION	EXT	EXPANSION JOINT	EJ	PRECAST	PC	ROOF	RO
AVERAGE	AVG	EXTENSION	EXT	EXPANSION JOINT	EJ	PRECAST	PC	ROUGH OPENING	RO
BEAM	BH	FAIRMET	FM	EXTENSION	EXT	PRECAST	PC	SCHEDULE	SCHD
BOARD	BD	FAIRBANKS	FB	EXTENSION	EXT	PRECAST	PC	SECTION	SECT
CABINET	CAB	FEET PER MINUTE	FPM	EXTENSION	EXT	PRECAST	PC	SERVICE SINK	SS
CATALOG	CAT	FEET FOOT	FF	EXTENSION	EXT	PRECAST	PC	SHOWER	SH
CEILING	CEL	FIRE EXTINGUISHER CAB.	FEC	EXTENSION	EXT	PRECAST	PC	SOUND TRANSMISSION	ST
CENTERLINE	CL	FLOOR	FL	EXTENSION	EXT	PRECAST	PC	SPECIFICATION	SPEC
CERAMIC TILE	CT	FLOOR	FL	EXTENSION	EXT	PRECAST	PC	SQUARE	SQ
CLOSET	CLO	FLUORESCENT	FR	EXTENSION	EXT	PRECAST	PC	STANDARD PIPE	SP
COLOR	COL	FIRE RATED	FR	EXTENSION	EXT	PRECAST	PC	STAINLESS STEEL	SS
COMPANY	CO	GALLEY	GA	EXTENSION	EXT	PRECAST	PC	STATION	STN
CONCRETE	CON	GALLONS PER MINUTE	GPM	EXTENSION	EXT	PRECAST	PC	STRUCTURE	STRUC
CONCRETE MASONRY UNITS	CMU	GALVANIZED	GV	EXTENSION	EXT	PRECAST	PC	SUSPENDED CEILING	SC
CONFERENCE	CONF	GENERAL CONTRACTOR	GC	EXTENSION	EXT	PRECAST	PC	TELEPHONE	TEL
CONTRIBUTOR	CON	GRANDED PAINT INTERUIT.	GPI	EXTENSION	EXT	PRECAST	PC	THICK OR THICKNESS	THK
CONTROL JOINT	CJ	GYPSUM HALLBOARD	GH	EXTENSION	EXT	PRECAST	PC	THRESHOLD	THR
COORDINATE	COORD	HANDICAPPED	HCP	EXTENSION	EXT	PRECAST	PC	TILE	T
CORRIDOR	CR	HARDWARE	HWR	EXTENSION	EXT	PRECAST	PC	TIP	TI
CUBIC FEET	CF	HARDWOOD	HW	EXTENSION	EXT	PRECAST	PC	TYPICAL	TYP
CUBIC FEET PER MINUTE	CFM	HESIT	H	EXTENSION	EXT	PRECAST	PC	VERTICAL	V
DEDICATED	DED	HORIZ. HOLDY METAL	HMM	EXTENSION	EXT	PRECAST	PC		
DEPARTMENT	DEPT	HORIZONTAL	HORZ	EXTENSION	EXT	PRECAST	PC		
DEPTH	D	HORSE POWER	HP	EXTENSION	EXT	PRECAST	PC		
DETAIL	DET	HOT WATER HEATER	HWH	EXTENSION	EXT	PRECAST	PC		
DIAGONAL	DIAG	HURT	H	EXTENSION	EXT	PRECAST	PC		
DIAMETER	DIA	INSULATION	INS	EXTENSION	EXT	PRECAST	PC		
DIMENSION	DM	INSULATED INSULATION	ISI	EXTENSION	EXT	PRECAST	PC		
DISHWASHER	DW	INFORMATION	INFO	EXTENSION	EXT	PRECAST	PC		
DOOR	DR	INSULATED INSULATION	ISI	EXTENSION	EXT	PRECAST	PC		
DOWN	DN	INSULATED INSULATION	ISI	EXTENSION	EXT	PRECAST	PC		
DRAWING	DRG	INSULATED INSULATION	ISI	EXTENSION	EXT	PRECAST	PC		
DRAINING FOUNTAIN	DF	INSULATED INSULATION	ISI	EXTENSION	EXT	PRECAST	PC		



SITE PLAN
SCALE: 1"=10'-0"

FILE NAME: 001623

SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline, specific additional requirements are indicated on the drawings. The contractor should also note that not all of the items mentioned below may apply to this project.

GENERAL REQUIREMENTS

- 1. All work shall conform to the applicable sections of the Montgomery County code for single family construction and all applicable building codes.
2. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required.
3. Electrical contractor shall review the drawings and existing service to determine if an additional panel is required.
4. Mechanical contractor shall design and install a new heat pump unit to be located in the ceiling space above the new family room.
5. The General Contractor shall coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
6. Any permits required for the project shall be obtained by the General Contractor, unless informed otherwise by the Architect.
7. The General Contractor shall store materials and equipment in a safe and suitable place during the construction process.
8. All debris shall be periodically removed from the site so as not to create a physical or visual hazard to the Owner.
9. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project, labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.
10. The General Contractor shall provide competent daily supervision of the project.
11. The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.
12. The General Contractor shall carry Workmen's Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract.
13. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.
14. The General Contractor shall carefully study the contract documents and report to the Architect any error, omission or inconsistency he may discover.
15. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the work, and shall guarantee no mechanic liens against the project at completion.
16. The Contract Sum is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents.
17. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed.

DEMOLITION NOTES

- 1. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work.
3. All numbered doors are to be reused. Every care shall be taken prevent damage during demolition and removal.
4. All shaded walls, fixtures, windows, etc., are to be removed.
5. Conduct all demolition operations in compliance with applicable codes and ordinances.
6. Coordinate demolition with work of subcontractors.
7. Maintain the existing structure in a watertight condition at all times.

GENERAL STRUCTURAL NOTES

- 1. Work shall be done in accordance with the CABO one and two family dwelling code, 1989 Edition.
2. The design gravity live loads are as follows:
Roof Load (snow) 30 LL + 15 DL = 45 PSF
Living Spaces (1st Floor) 40 LL + 15 DL = 55 PSF
Sleeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF
Exterior Decks 60 LL + 15 DL = 75 PSF
Live Load Deflection Limitation for floors shall be L/360
Live Load Deflection Limitation for roofs shall be L/240

FOUNDATIONS

- 1. The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured.
2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.
3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to uniform surface.
4. Slabs on grade shall be underlain by a minimum of 4" of granular material having a maximum aggregate size of 1/2 inch and no more than 2% fines.
5. Bottoms of all exterior footings shall be 2'-6" below finished grade.
6. Masonry walls shall have horizontal wire joints reinforcement at least 16" O.C. vertically.

MASONRY

- 1. Brick shall conform to ASTM C-62. Mortar shall conform to Federal specifications 55-C-101E-type II.
2. Bearing steel and wood beams shall be supported on solid masonry piers as indicated.
3. Anchor bolts: Set anchor bolts or approved anchor straps as required.
4. Masonry walls shall have horizontal wire joints reinforcement at least 16" O.C. vertically.
5. Provide 4" solid masonry on all sides of joists or beams entering masonry party walls.
6. Brick Veneer:
A. Secure brick veneer with wall ties 16 GA zinc coated wall ties @ 16" O.C. horizontally and vertically.
B. Provide and set flashing at lintels, base courses, sills, spondrilparapets and as noted on drawings. Provide weep holes at the bottom of veneer and flashings at 24" O.C.

ENERGY CONSERVATION

- 1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the BOCA Basic Energy Conservation Code.
2. Insulation:
Ceiling (of uppermost story) R-19
Vaulted Ceiling R-19
Frame Walls (with storm window or double glazing) R-11
Rim Joists R-19
Floors over unheated spaces (including floor overhangs) R-19
Masonry Walls (enclosed heated living areas) R-7
Slab on grade (heated space) 24" perimeter insulation R-5.5
Windows Double-Glazed
Doors Double-Glazed
3. Air Infiltration:
A. Windows: not exceeding five tenths (0.5) CFM of sash crack.
B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area.
C. Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area.
4. All construction (electrical and plumbing) holes, cracks, loose joints and spaces in rough framing and rough masonry with approved foam sealer or similar sealant.

CONCRETE

- 1. All concrete construction shall conform to the latest A.C.I. code 318.
2. Concrete shall have natural sand, fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type I Portland Cement conforming to ASTM ISO, and shall have a minimum 28-day compressive strength (F'c) as follows:
F'c = 2500 PSI for footings, interior slabs on grade and fill in concrete blocks.
F'c = 3000 PSI for foundation walls exposed to weather.
F'c = 3500 PSI for drives, porches, walks, steps.
F'c = 4000 PSI for precast concrete units.
3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained 6% of concrete volume.
4. Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6, 10/10 welded wire mesh; lap mesh 6" in each direction.
5. Concrete finish: All exposed steps, stoops and slabs shall first have a steel trowel finish and then a very light broom finish.
6. Expansion joints: Non-organic, owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials.
7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling.
8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate graded deformed billet steel conforming to ASTM spec. A615-40.
9. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted otherwise.
10. Horizontal footing reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections.

WOOD & CARPENTRY

- 1. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal, with the following combination of unit stresses:
Extreme fiber stress in bending 1,200 psi
Compression parallel to the grain 1,000 psi
Compression perpendicular to the grain 565 psi
Modulus of Elasticity Shear Stress 1,500,000 psi
2. Manufacture roof and floor joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval.
3. Roof rafters and/or trusses shall be connected at each bearing point with one prefab-90 psi galvanized rafter tie (hurricane clip) by Simpson or equal.
4. Provide double joists under all parallel partitions, at joists that support headers, and at headers that support joists.
5. All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0".
6. Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings):
Double 2 x 4 up to 3'-0"
Double 2 x 6 up to 4'-0"
Double 2 x 8 up to 5'-0"
Double 2 x 10 up to 7'-0"
Double 2 x 12 up to 8'-0"
All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12" on center.

- 7. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends.
8. Floor joists shall have a minimum bearing of 2" on framed walls.
9. Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect.
10. Existing conditions shall be verified by the contractor.
11. Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while altering the structure.
12. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.
13. All plywood shall be APA span rated.
14. Exterior wall sheathing shall be 1/2" plywood unless noted otherwise.
15. TJI Floor Joists are to be manufactured by the Trus Joist Corporation or approved equal.

16. Install as per manufacturer's recommendations.

- The following wood elements are to be pressure treated with preservative:
A. Sill plates resting on concrete or masonry walls.
B. Sill plates resting on concrete slabs on grade.
C. Ends of joists which enter concrete or masonry walls and have less than 1 1/2" clearance on tops, sides, and ends.
D. Sleepers resting directly on concrete slabs.
E. Exterior porch and deck framing, decking, and stairs.
F. Exterior Trim:
A. All exterior trim shall be clear pine or redwood.
B. All trim shall be primed on both sides prior to installation.
C. All outside corners shall be mitered. No butt joints will be accepted.
G. Siding:
A. Refer to drawings for siding material.
B. Prime siding front & back prior to installation.
H. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

STEEL

- 1. Structural steel shall conform to ASTM A36.
2. All steel angles, lintels, beams, columns, etc., are to be shop primed with red lead or red oxide primer or approved equal.
3. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed, provide one steel angle for each 4' of wall thickness.
4. Table: Lintel, Masonry Opening, Min. Bearing.
L 3-1/2 x 3-1/2 x 1/4 up to 3'-0" 4"
L 3-1/2 x 3-1/2 x 5/16 3 1/4" to 4'-0" 6"
L 4 x 3-1/2 x 1/4 4'-1" to 5'-0" 6"
L 4 x 3-1/2 x 5/16 5'-1" to 6'-0" 6"
L 5 x 3-1/2 x 5/16 6'-1" to 7'-0" 8"
L 6 x 4 x 3/8 7'-1" to 8'-0" 8"

Note: For openings greater than 8'-0", consult with architect and engineer.

RADON DETECTION AND TREATMENT

- 1. The contractor shall provide a venting system consisting of a minimum of 3" Schedule 40, or equivalent, PVC pipe inserted 1" into the sub-slab gravel base (at all new concrete slabs) and terminated at least 6" above the high side of the roof penetration, to serve as a sub-slab ventilation rough-in.
2. The contractor shall provide any other measures as required by local codes.

VENTILATION

- 1. Attic spaces are to be vented in one of the following ways (refer to drawings for specifics):
A. Continuous ridge venting and continuous soffit venting.
B. Screened louvers or vents with an open area equal to one square foot for every 300 square feet of attic space.
2. Provide foundation vents for all crawl spaces.
3. Venting for appliances and exhaust fans:
A. Provide venting to the exterior as per manufacturer's recommendations for all appliances.
B. Provide exhaust fans for bathrooms, etc., as shown on drawings.

DRAINAGE, SEALANTS, & MOISTUREPROOFING

- 1. Appropriate sealants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and traffic conditions.
2. Color of caulking shall be coordinated with adjacent materials.
3. Joint fillers shall be used:
A. To control the depth of sealants in joints.
B. To meet the requirements for resilient separations in horizontal joints in floor pavements, patios, sidewalks and other light traffic areas.
4. Bond breakers shall be used to prevent adhesion to more than two substrates.
5. Masonry foundations shall be parged to a thickness of 3/4" minimum.
6. Apply a waterproof membrane to all foundation walls.
7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all foundations.
8. All flashings shall be installed according to the building code.
9. All membrane roofing to be approved by architect prior to installation.
10. All roof shingles to be approved by architect prior to installation.

FINISHES

GYPHUM WALL BOARD:

- 1. Gypsum wallboard shall be ASTM C-36 as follows:
A. Regular (1/2") except where noted.
B. Water resistant (1/2") at bathroom ceilings and walls that are not tiled.
C. Durock Interior tile backer board (1/2") at all surfaces that have tile.
2. Gypsum boards shall have tapered edges to accommodate joint reinforcement.
3. Provide edge corner beads, trim, taping and joint compound as required for the proper completion of the job.
4. Required finish:
A. At all joints and interior angles, apply tape embedded in joint compound and apply three separate coats of joint compound over all joints, angles, fastener heads, and accessories.
B. Apply a thin skim coat of joint compound over the entire surface.
C. Leave surfaces smooth and free of tool marks and ridges.

HARDWOOD FLOORING:

- 1. Provide wood strip flooring where shown on the drawings.
2. Wood strip flooring to be oak to match existing in size and grain, and its "prime" graded in accordance with the National Oak Flooring Manufacturer's Association.
3. Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association.
4. All hardwood flooring on the first floor of the existing house is to be sanded and refinished.
5. After the floors have been sanded, the flooring contractor shall apply a minimum of four stain and urethane samples in two foot by two foot areas on the floor for the owner to review.

CERAMIC TILE:

- 1. Provide ceramic tile and accessories in accordance with the Tile Council of America Specifications (ITL) in colors and patterns to be specified by the owner.
2. Setting materials: comply with pertinent recommendations contained in the Tile Council of America "Handbook for Ceramic Tile Installation".
3. Installation: comply with ANSI A108.1, ANSI A108.2, and the "Handbook for Ceramic Tile Installation" of the Tile Council of America.
4. Extend tile into recesses and under equipment and fixtures to form a complete covering without interruptions.
5. Align joints when adjoining tiles on floor, base, trim and walls to be the same size.

- 4. Replacement Reserve: Contractor shall furnish owner with one unopened box of additional tile for future repairs and maintenance.

MARBLE TILE:

- 1. All marble shall be cut, polished, and set according to the Italian Marble Industry Standards.
2. Marble faces and all exposed edges shall be polished. All corners shall be fully mitered with eased edges to prevent edge failure.
3. Refer to finish schedule for marble type and style.
4. The tile shall be set according to the drawings with approved thin set method.
5. Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.

CARPET:

- 1. Provide carpeting as shown on the drawings.
2. Contractor to provide an allowance of \$25.00/SY for providing and installing all carpet and padding.
3. Replacement reserve: Contractor to furnish owner with the unopened box of additional tile for future repairs and maintenance work.

VINYL TILE:

- 1. Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms with the following standards:
A. ASTM E 648
B. ASTM E 662
2. Replacement reserve: Contractor to furnish owner with the unopened box of additional tile for future repairs and maintenance work.

PAINT:

- 1. All paint and primers to be Benjamin Moore or approved equal.
2. All surfaces to be painted shall receive one primer coat and two finish coats.
3. All paint shall be applied according to manufacturer's recommendations.

ARCHITECTURAL WOODWORK AND TRIM:

- 1. All millwork, trim and molding shall be installed according to the quality standards of the Architectural Woodwork Institute.
2. All interior trim and millwork shall conform to AIA "Custom Standards".
3. Flat trim shall be clear pine or approved equal.
4. All corners of trim and sliding are to be mitered.
5. All millwork and trim shall be installed by craftsman with experience in work of this type.

FIRE AND LIFE SAFETY

- 1. Stairs:
A. 3/4" max rise
B. 0" min tread
C. 8" min head room
D. Height of handrails shall be continuous 30" (min) to 34" (max) above finished stair treads.
E. Handrails shall be 36" (min) to 42" (max) above finished floor.
2. Provide a clear window opening of 5.7 square feet with no less than 20" clear width and 24" clear height for sleeping area.
3. Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors and tub enclosures where the glass is closer than 18" to the floor and exceeds 6 sq. ft. in area.
4. Ground metal siding.
5. Smoke detectors shall be provided on every floor and integrated with electrical system.
6. Fuses shall be class B, except solid fuse fuses which shall be class A.
7. Top of fuse shall be 2'-0" minimum above any part of structure within 0'-0" of the fuse.
8. Interior finish of walls and ceiling shall have a flame spread rating not greater than class III, competing shall meet Federal regulation DOC FF-1.
9. Prefab fireplaces shall be (UL) rated and installed according to manufacturer's specifications.



10415 ARMOYR AVENUE, KENSINGTON, MD, 20895 (301)442-4062 (301)442-9424 FAX

10405 FAWCETT ST. KENSINGTON, MD 20895

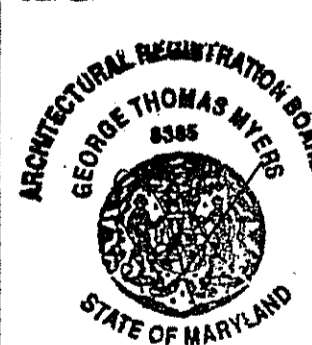
SPECIFICATIONS

KAHIN RESIDENCE NEW PORCH

REVISIONS:

Table with 2 columns: Description, Date. (Empty rows)

SEAL:



DRAWN BY:

DER

CHECKED BY:

GTM

SCALE:

NO SCALE

DATE:

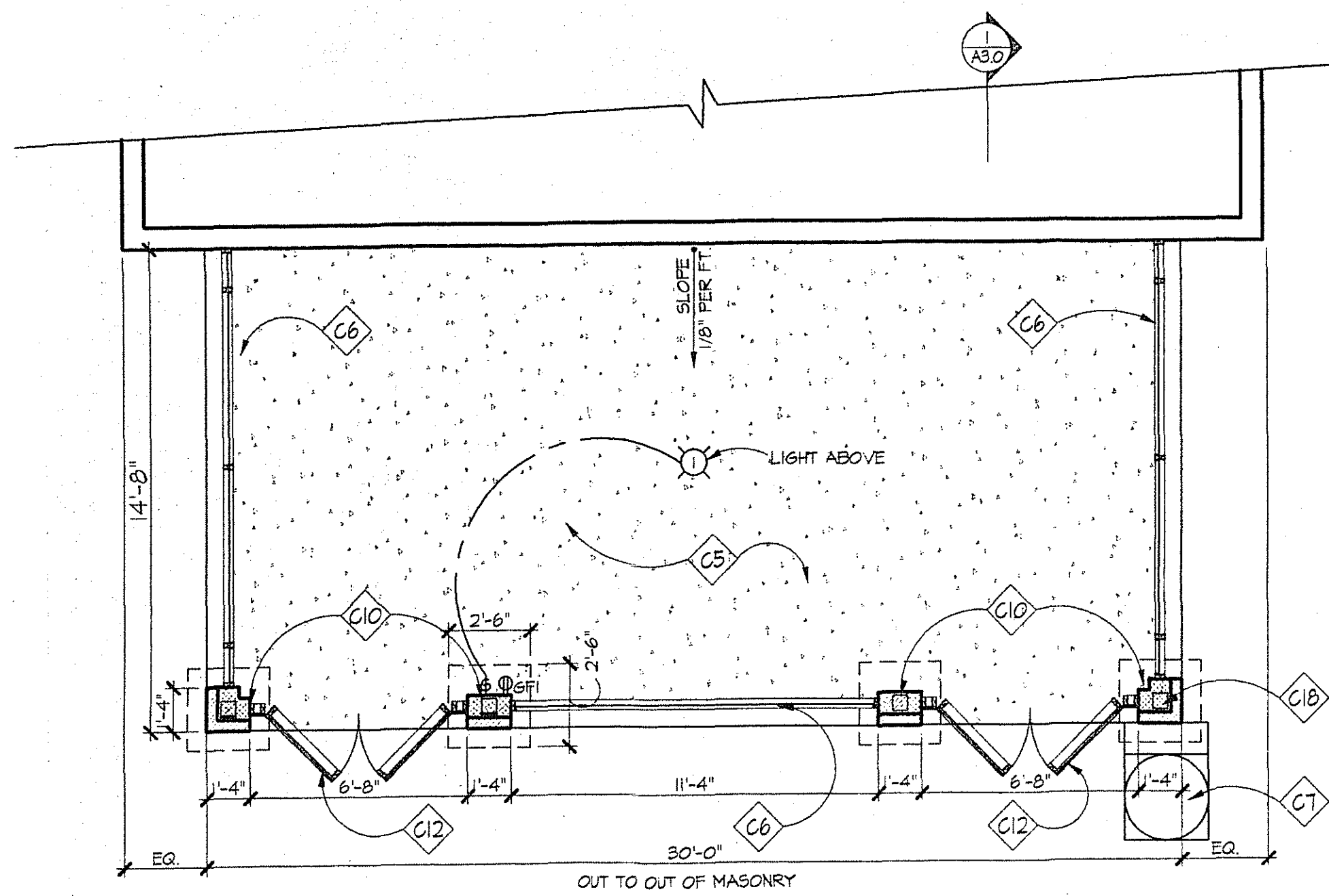
6/30/00

PROJECT NO.:

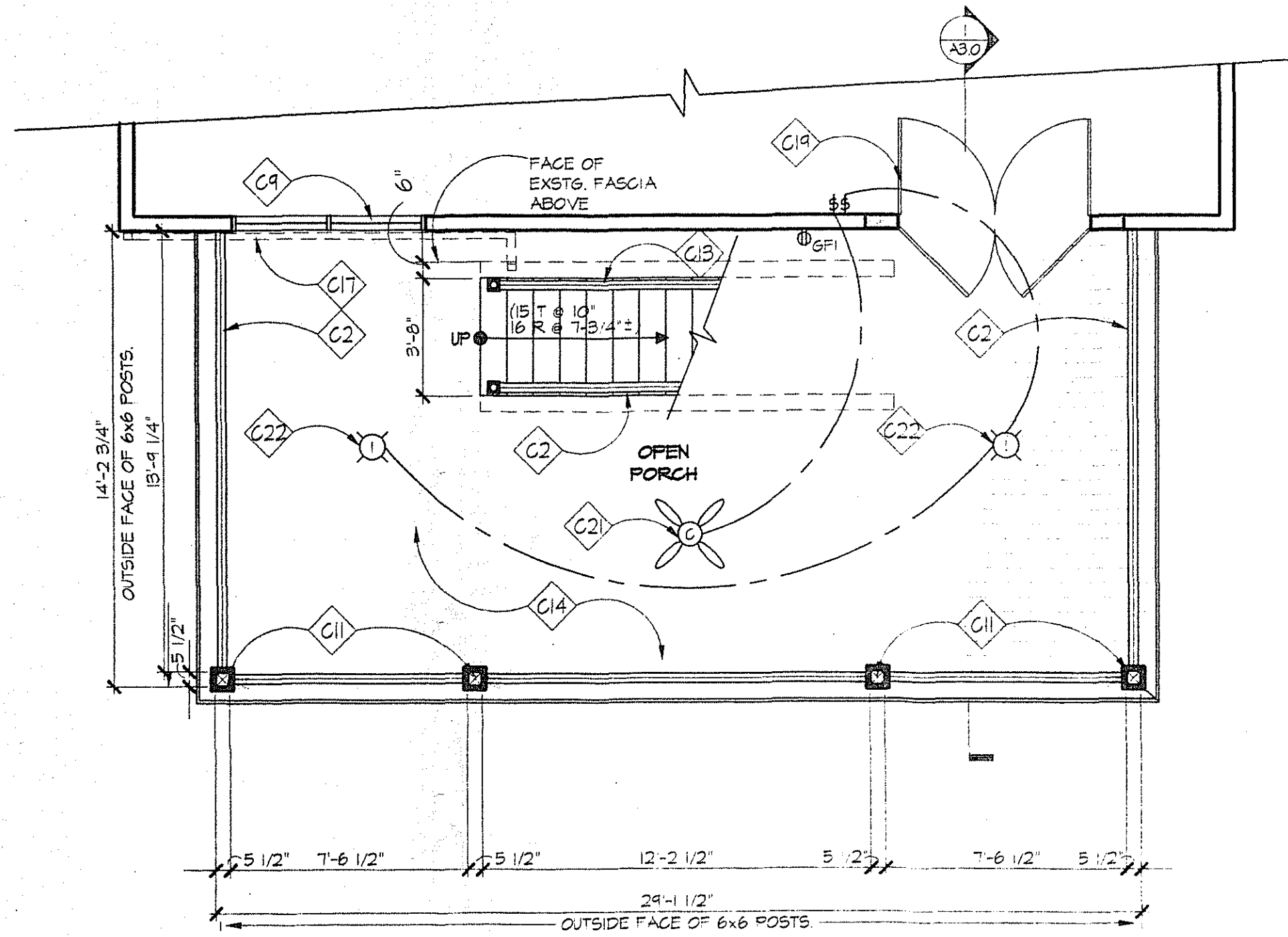
00162

DRAWING NO.:

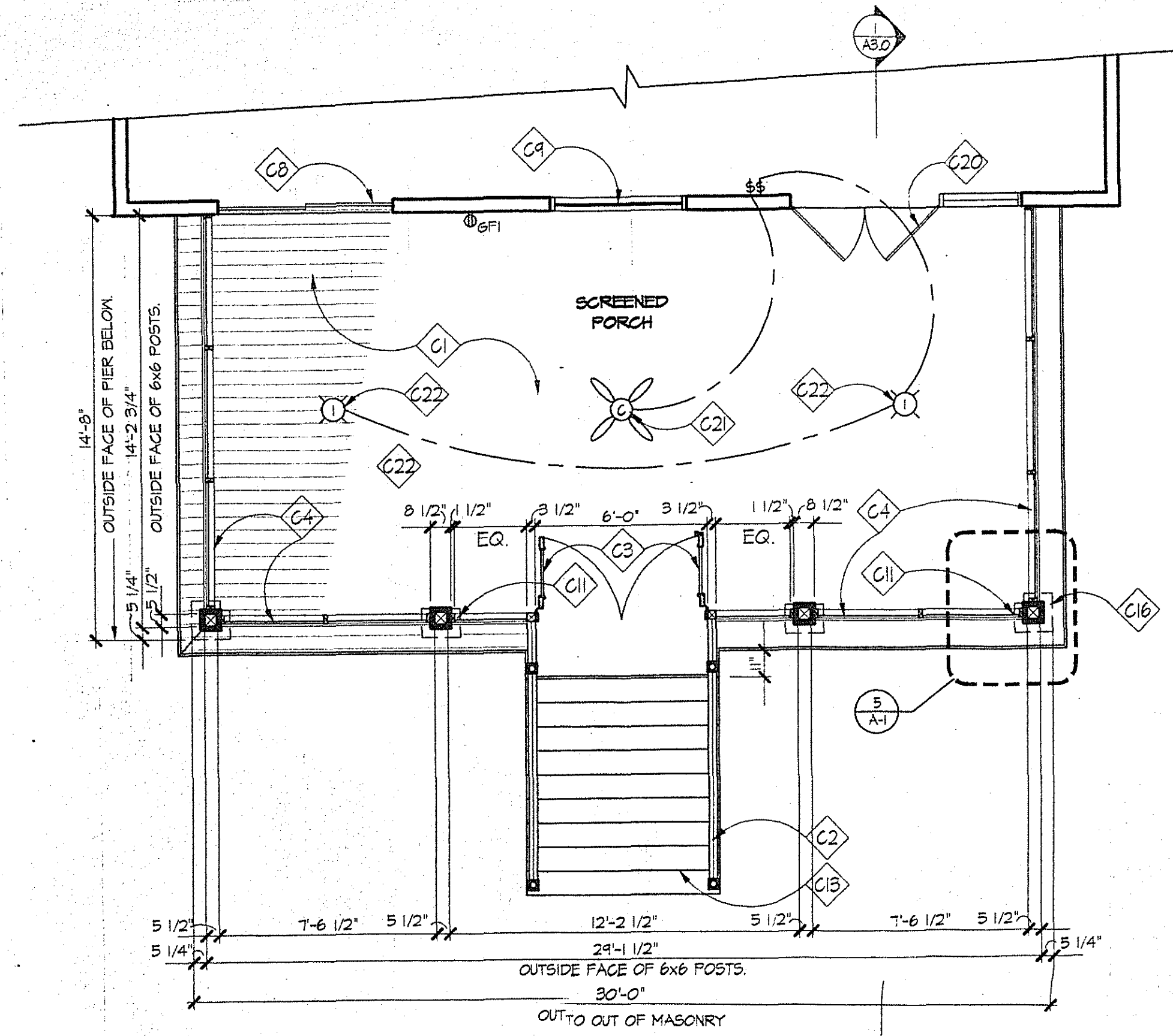




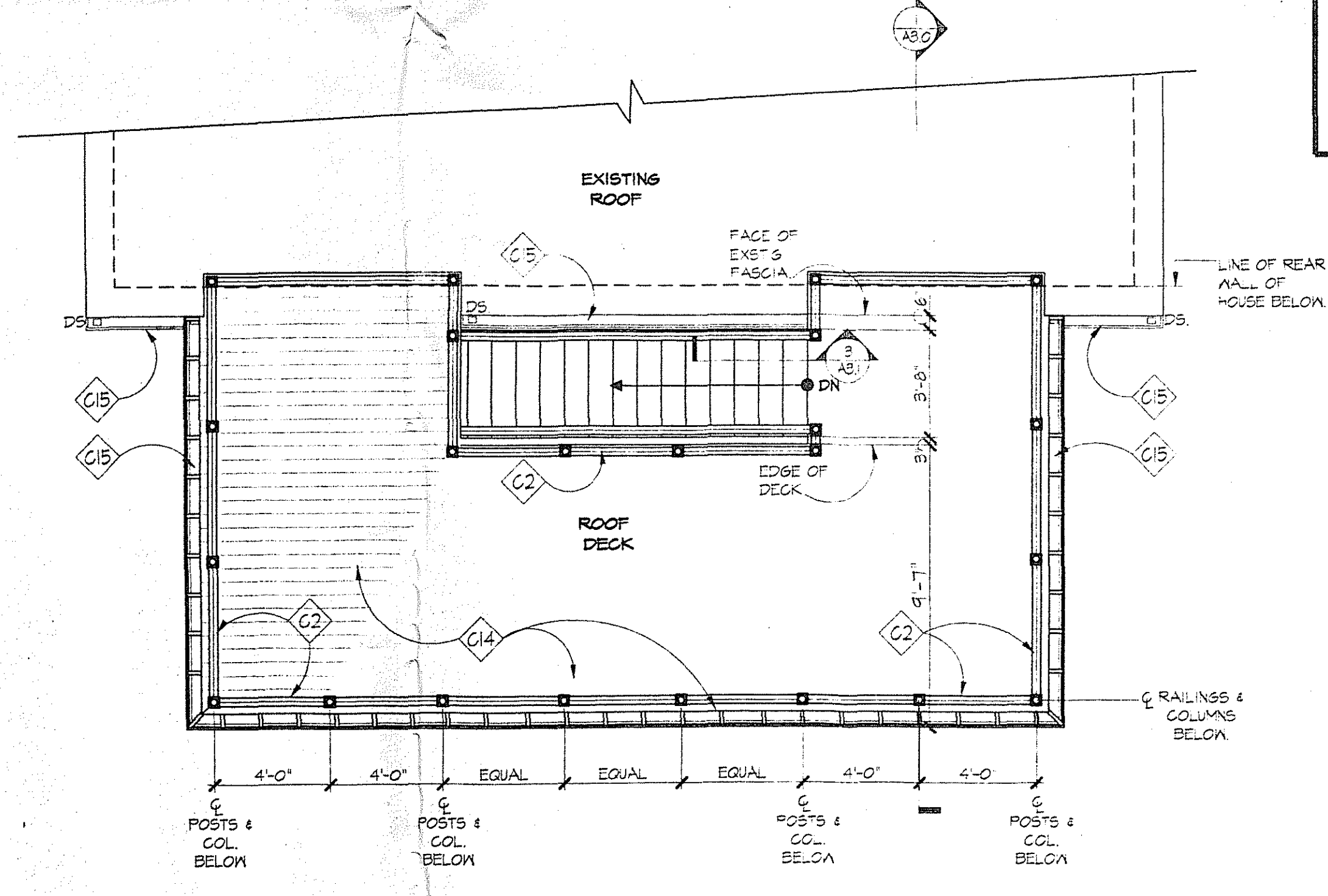
1 STORAGE SLAB/FOUNDATION PLAN
SCALE: 1/4"=1'-0"



3 SECOND FLOOR DECK PLAN
SCALE: 1/4"=1'-0"



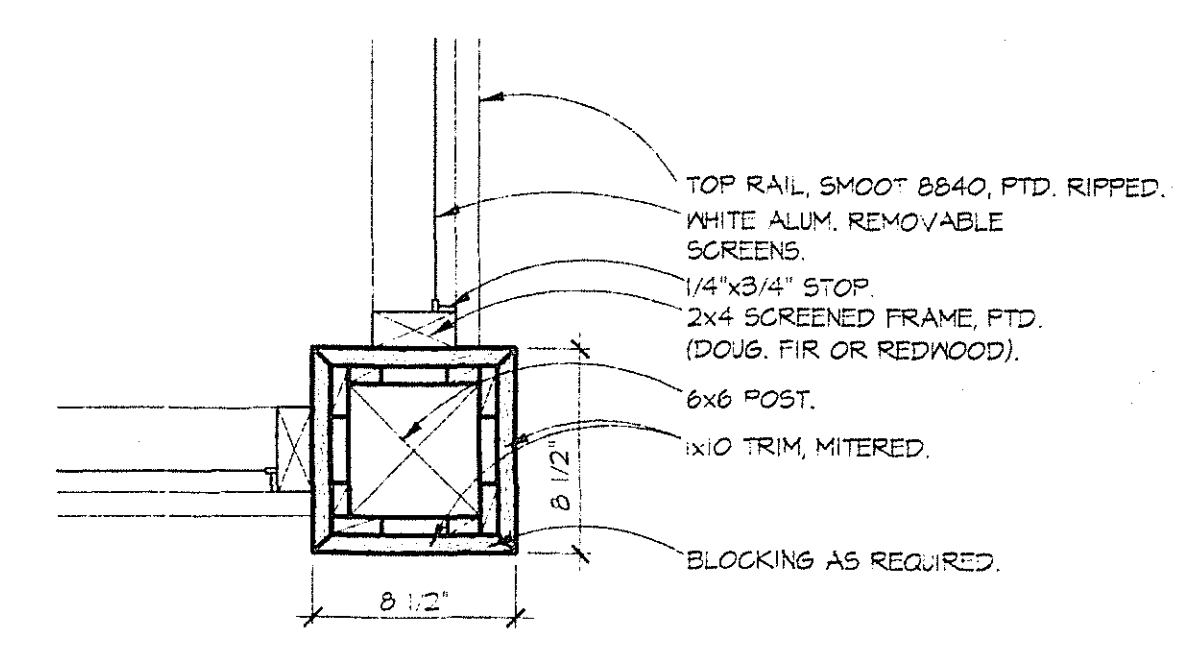
2 FIRST FLOOR DECK PLAN
SCALE: 1/4"=1'-0"



4 THIRD FLOOR DECK PLAN
SCALE: 1/4"=1'-0"

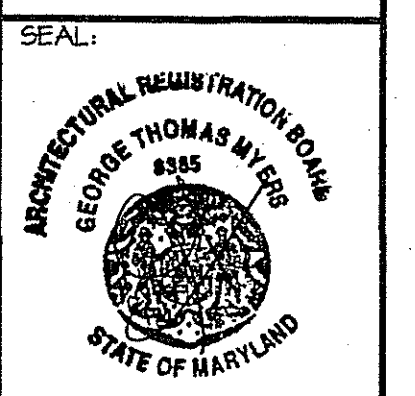
CONSTRUCTION NOTES

- C1 STAINED T&G PINE PORCH FLOOR (DOUGLAS FIR) RUNNING L/E, EL. OVER P.T. SLEEPERS OVER MEMBRANE ROOFING, SEE DETAILS 1/A3.0.
- C2 PAINTED WOOD RAILING SYSTEM, SEE ELEVATION.
- C3 PROVIDE WOOD SCREEN DOORS (3" x 6")
- C4 2x4 SCREEN FRAME, (DOUGLAS FIR OR REDWOOD), PAINTED, SEE DETAIL, 5/A-1.
- C5 CONCRETE SLAB ON GRADE.
- C6 PTD. LATTICE ON 2x4 PRESS. TREATED FRAME.
- C7 EXSTG. A/C UNIT, TO BE RELOCATED AS SHOWN.
- C8 EXSTG. SLIDING GLASS DOOR TO REMAIN.
- C9 EXSTG. WINDOW.
- C10 BRICK PIER 1/2" x 8" CMU, W/IN. REINFORCE W/ (2) #5 BARS VERTICALLY @ EACH PIER, TIE BRICK & CMU @ EACH COURSE W/ HORIZONTAL TIES.
- C11 SQUARE COLUMN W/ 6x6 STRUCTURAL POST W/IN. TRIM W/ 1x10, PTD. SEE DETAIL 5/A.0.
- C12 NEW 3'-0" 2x4 LATTICE DOOR.
- C13 3/4" SOLID P.T. STAIR TREADS.
- C14 3/4" x 6" P.T. DECKING ON P.T. SLEEPERS OVER MEMBRANE ROOFING, SEE DETAIL 1/A3.0.
- C15 NEW GUTTER BELOW.
- C16 DOTTED LINES INDICATE BRICK PIERS BELOW.
- C17 DOTTED LINES INDICATES DOWNSPOUT ABOVE.
- C18 COLUMN ABOVE.
- C19 NEW FRENCH GLASS DOORS W/ SCREEN. ANDERSON 6" x 6" DOORS OR APP'D EQUAL. (REMOVE EXISTING WINDOW)
- C20 NEW DOOR, ANDERSON HINGED PATIO DOOR, VERIFY SIZE, 2 OPERABLE PANELS, 1-FIXED, OUTSWINGING.
- C21 CEILING FAN ABOVE.
- C22 RECESSED LIGHT ABOVE.



5 POST DETAIL
SCALE: 1/2"=1'-0"

REVISIONS:



DRAWN BY: DER
CHECKED BY: GTM
SCALE: 1/4"=1'-0"
DATE: 6/30/00
PROJECT NO: 00162
DRAWING NO.

ELEVATION NOTES

- ◊ E1 2x4 SCREEN FRAME, FTD., W/ REMOVABLE ALUMN. SCREEN, FRAMES.
- ◊ E2 NEW GUTTER & D.S., TO MATCH EXISTING.
- ◊ E3 LINE OF NEW FOOTING BELOW.
- ◊ E4 PAINTED 1x10 TRIM BAND.
- ◊ E5 PAINTED WOOD RAILING, SMOOT LUMBER TOP RAIL #8840, SMOOT LUMBER BOTTOM RAIL #8841, PICKETS FLAM 231.
- ◊ E6 SQUARE COL. 1 1/2" x 6" x 6" PRESS TREATED POSTS W/ UN. PAINTED. SEE SECTION & PLAN DTLs.
- ◊ E7 1x6 FASCIA.
- ◊ E8 NEW WOOD SCREEN DOORS.
- ◊ E9 CROWN MOULDING, SMOOT WM-53, FTD.
- ◊ E10 NEW BRICK PIER, BRICK TO MATCH EXISTING.
- ◊ E11 EXISTING A/C UNIT, RELOCATED.
- ◊ E12 FTD. LATTICE PANELS.
- ◊ E13 NEW STAIR.
- ◊ E14 LATTICE GATES.
- ◊ E15 EXISTING WINDOWS.
- ◊ E16 NEW FRENCH DOOR.

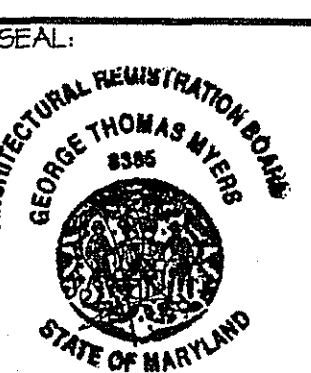
GTM ARCHITECTS

10415 ARMORY AVENUE,
KENSINGTON, MD. 20845
(301)442-9062
(301)442-9429 FAX

10405 FANCETT ST.
KENSINGTON, MD 20895
ELEVATIONS

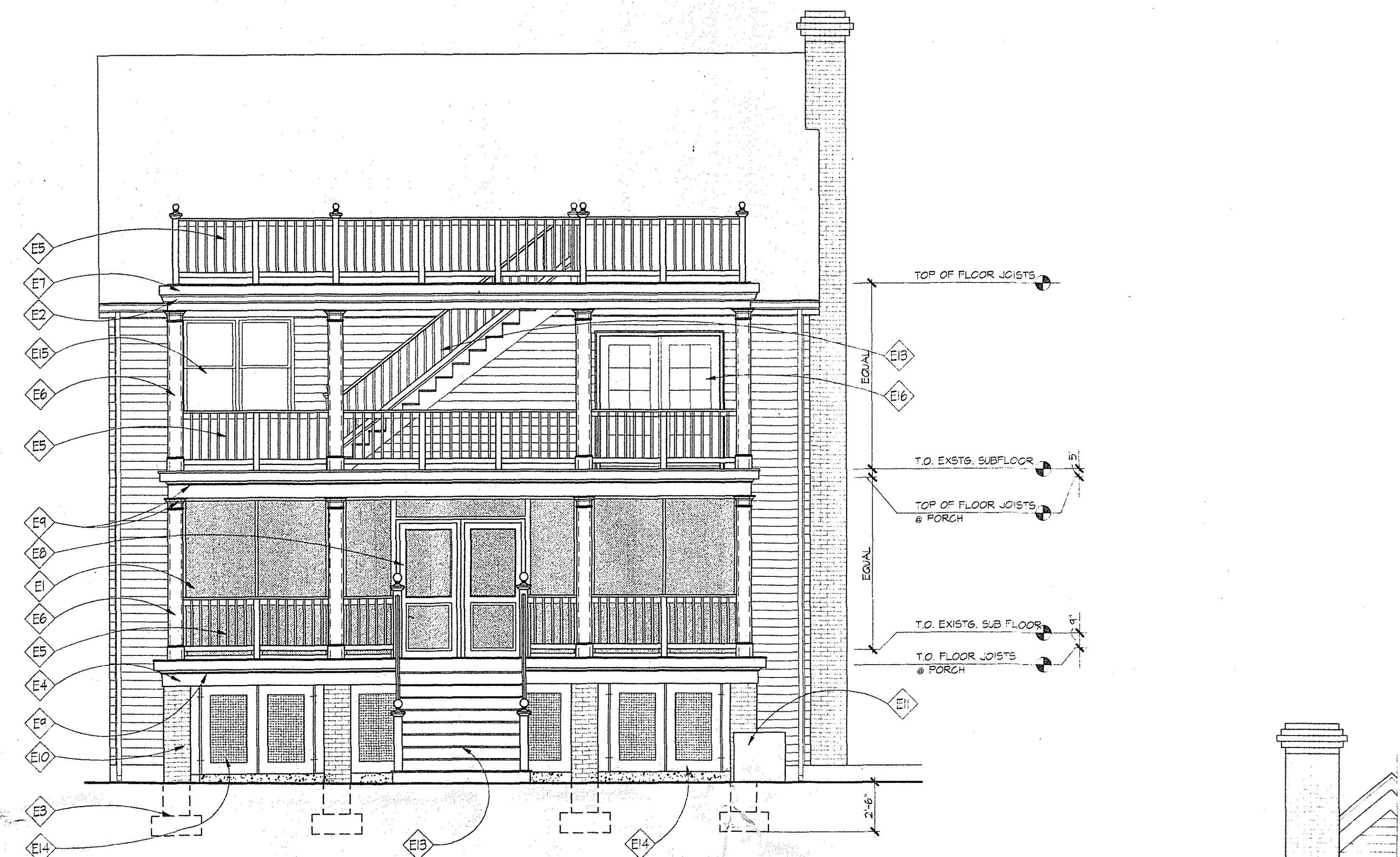
**KAHIN RESIDENCE
NEW PORCH**

REVISIONS:

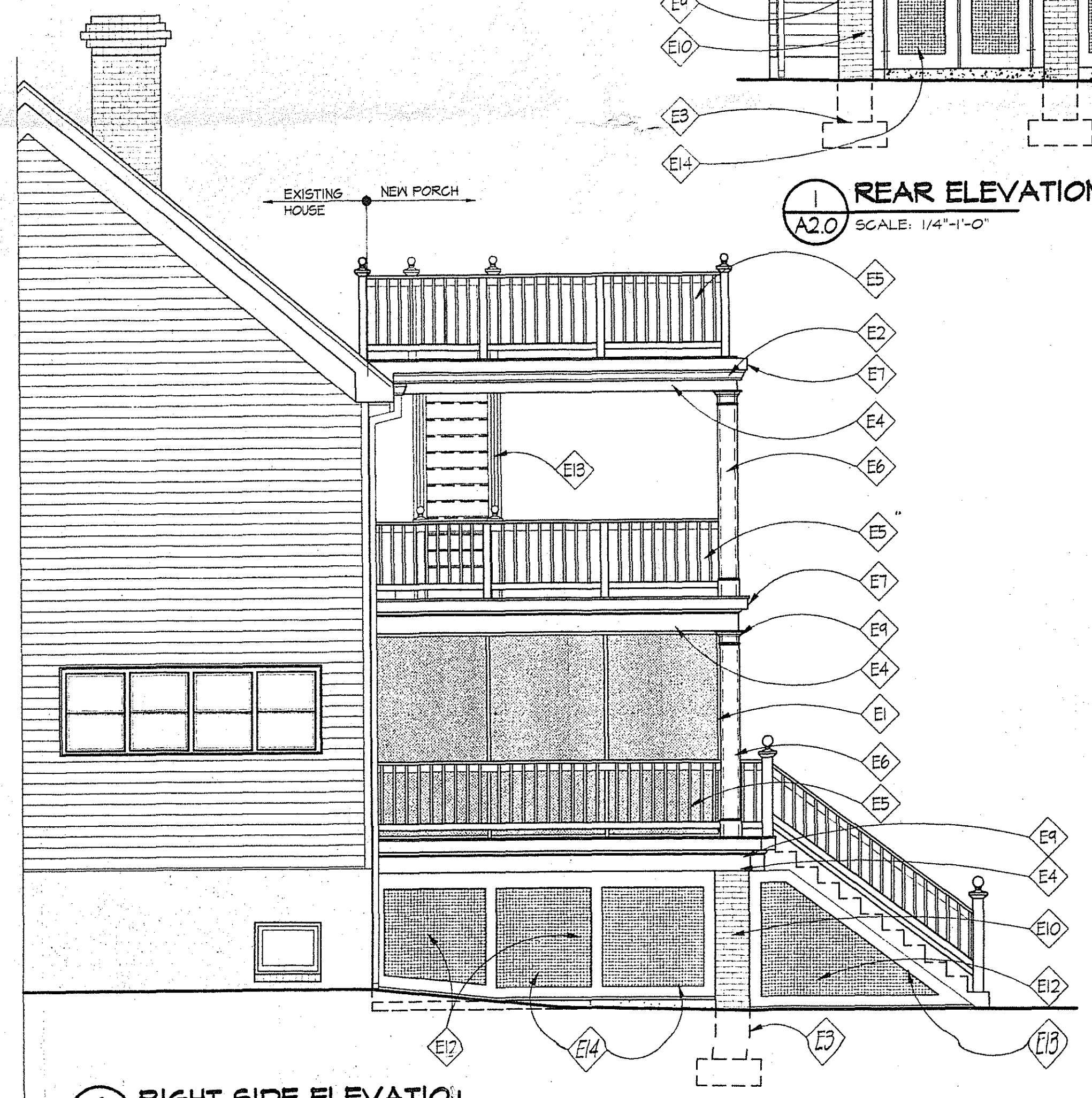


DRAWN BY: DER
CHECKED BY: GTM
SCALE: 1/4"=1'-0"
DATE: 6/30/00
PROJECT NO. 00162
DRAWING NO.

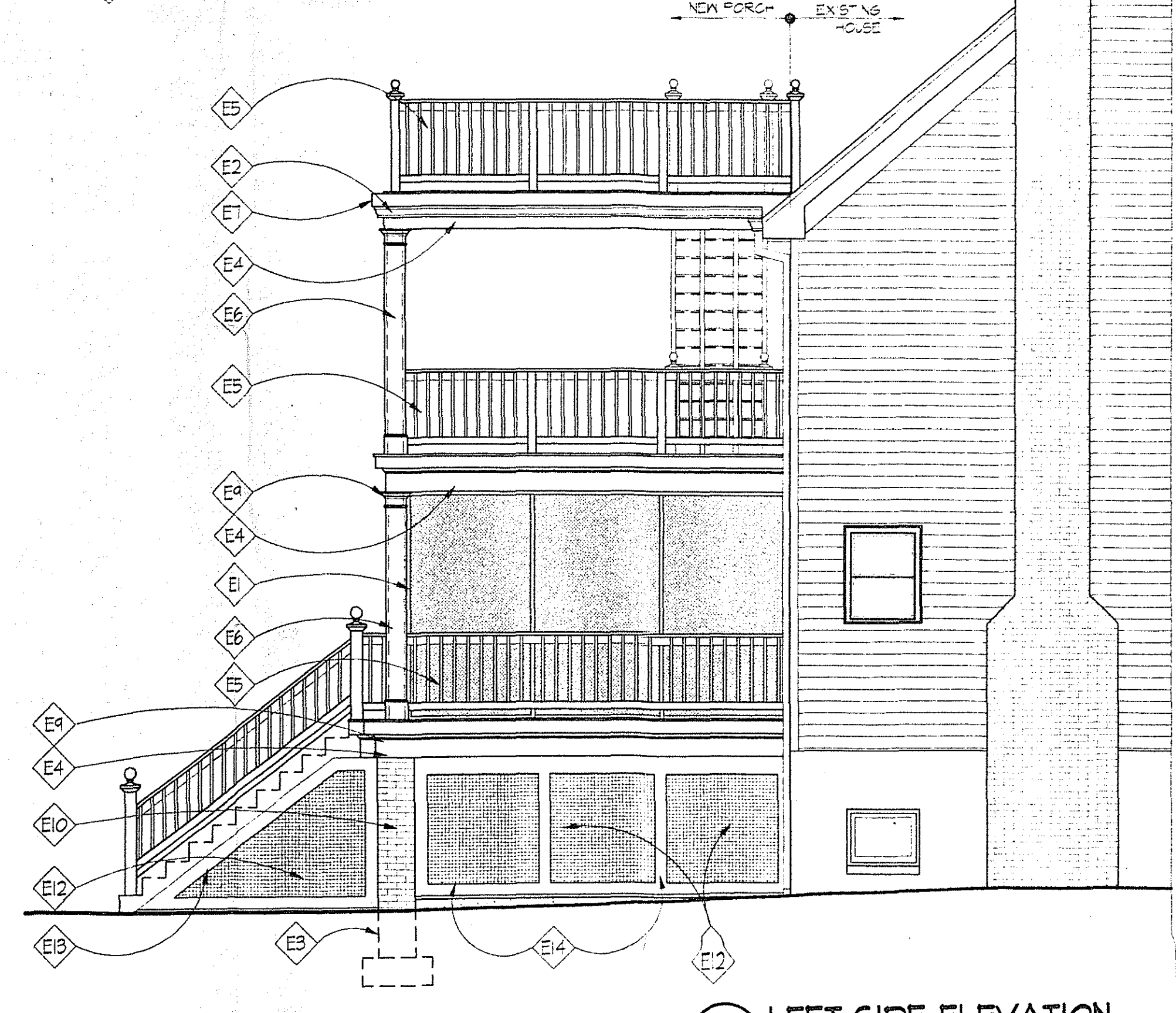
A2.0



1 REAR ELEVATION
A2.0 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"



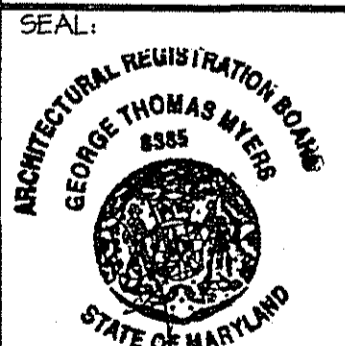
3 LEFT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

FILE NAME: 00162A-3

10405 FAWCETT ST.
KENSINGTON, MD 20895
SECTION / ELEVATION

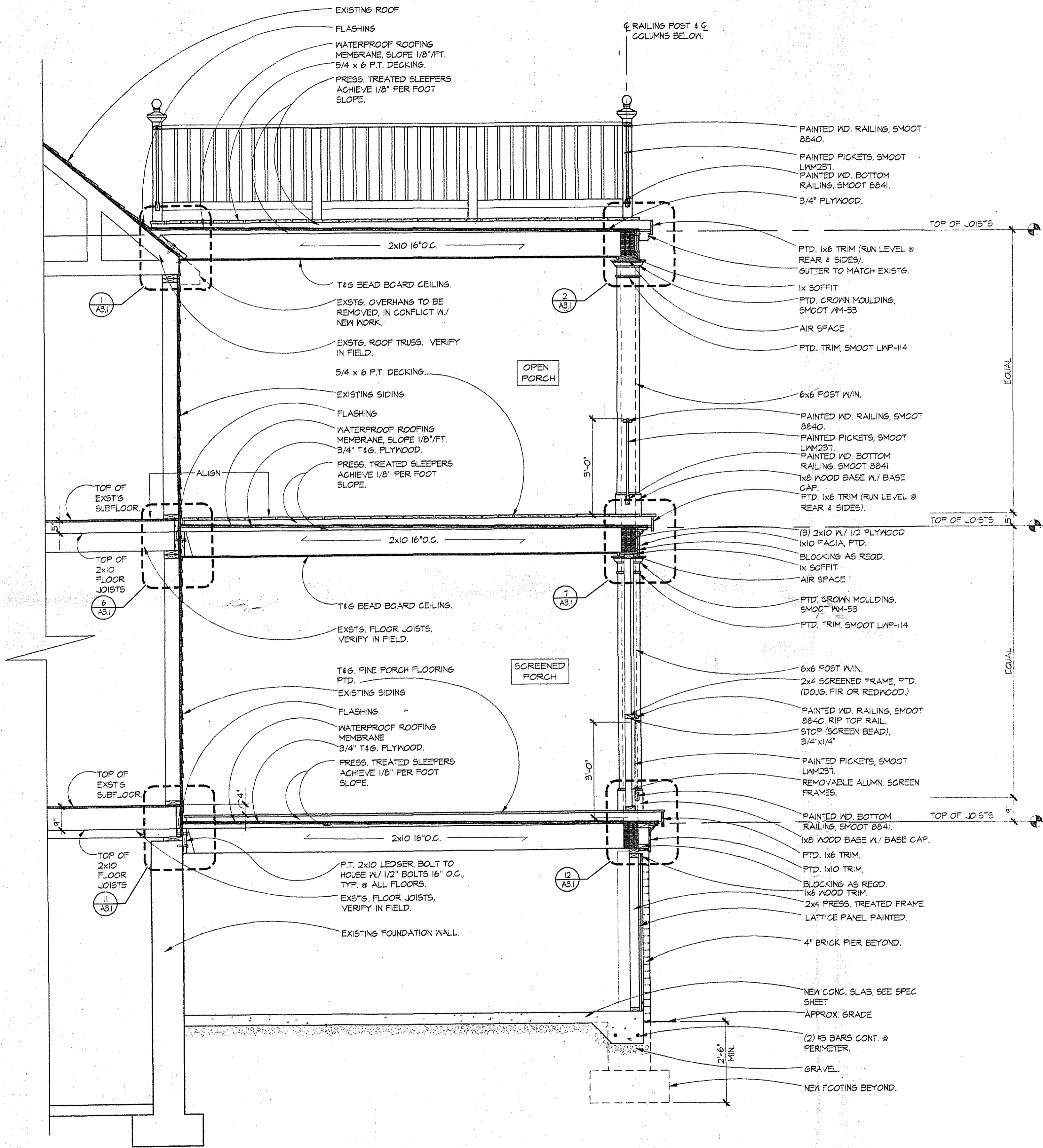
**KAHIN RESIDENCE
NEW PORCH**

REVISIONS:

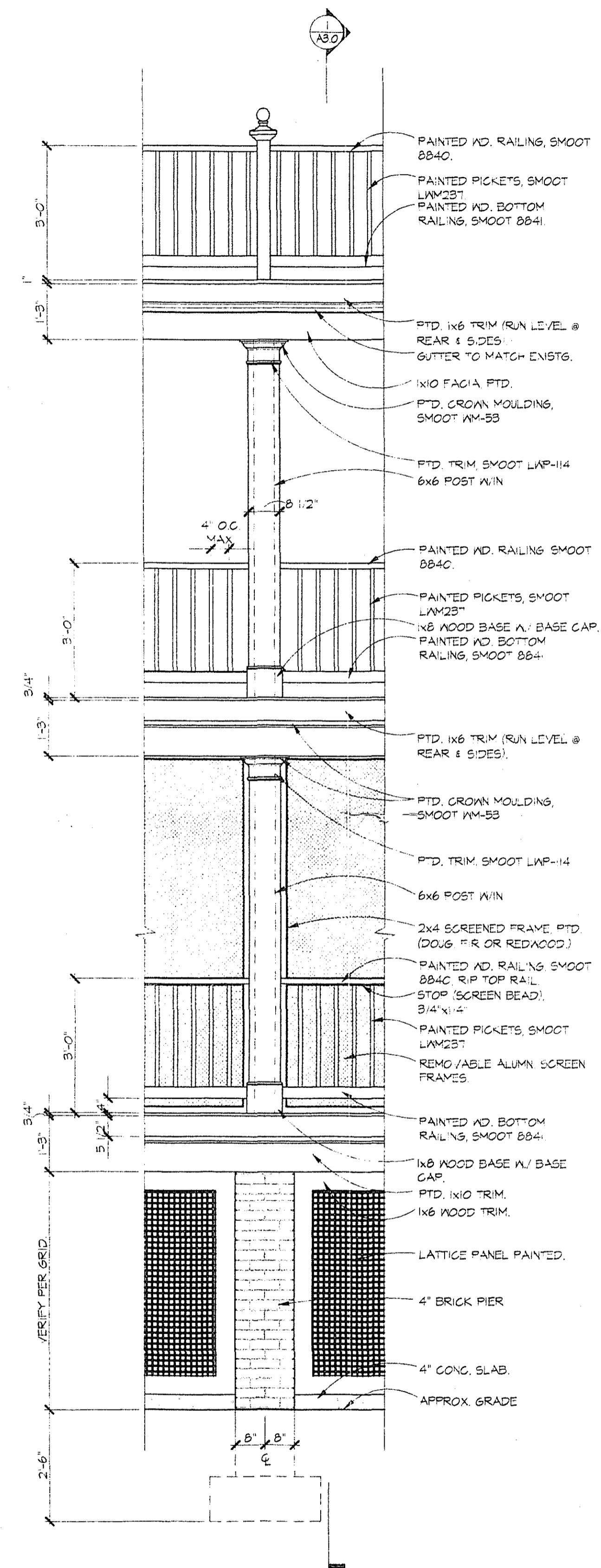


DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 6/30/00
PROJECT NO: 00162
DRAWING NO:

A3.0



1 PORCH SECTION
SCALE: 1/2" = 1'-0"

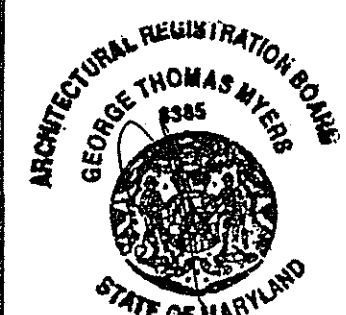


2 PORCH ELEVATION
SCALE: 1/2" = 1'-0"

KAHIN RESIDENCE
NEW PORCH

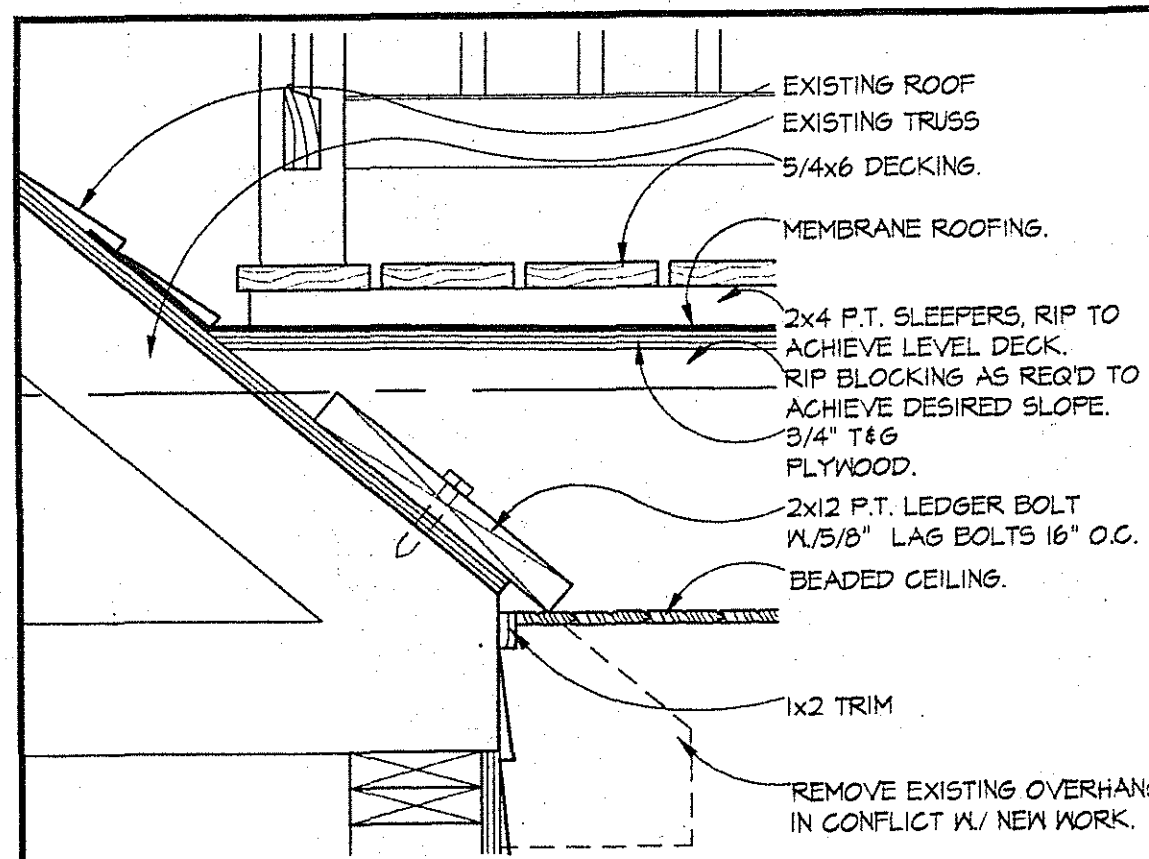
REVISIONS:

SEAL:

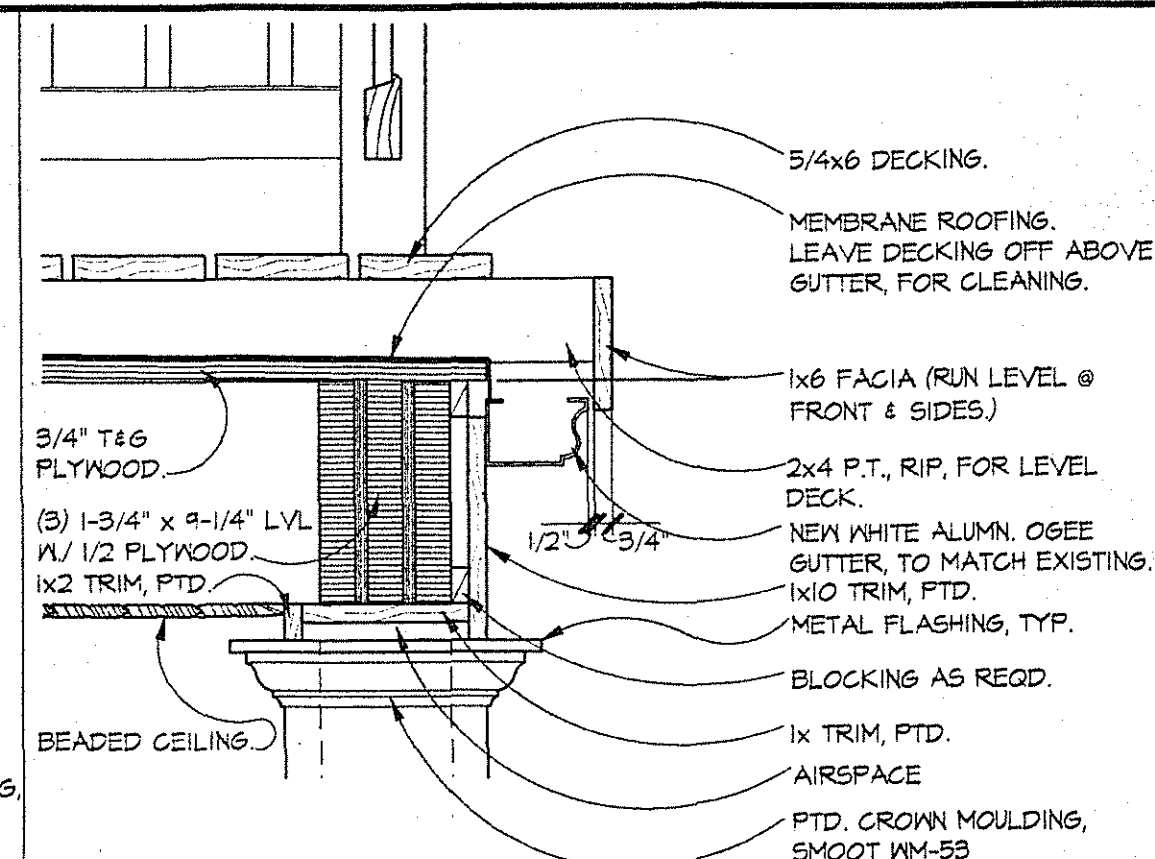


DRAWN BY: MSW
 CHECKED BY: GTM
 SCALE: AS NOTED
 DATE: 6/30/00
 PROJECT NO. 00162
 DRAWING NO.

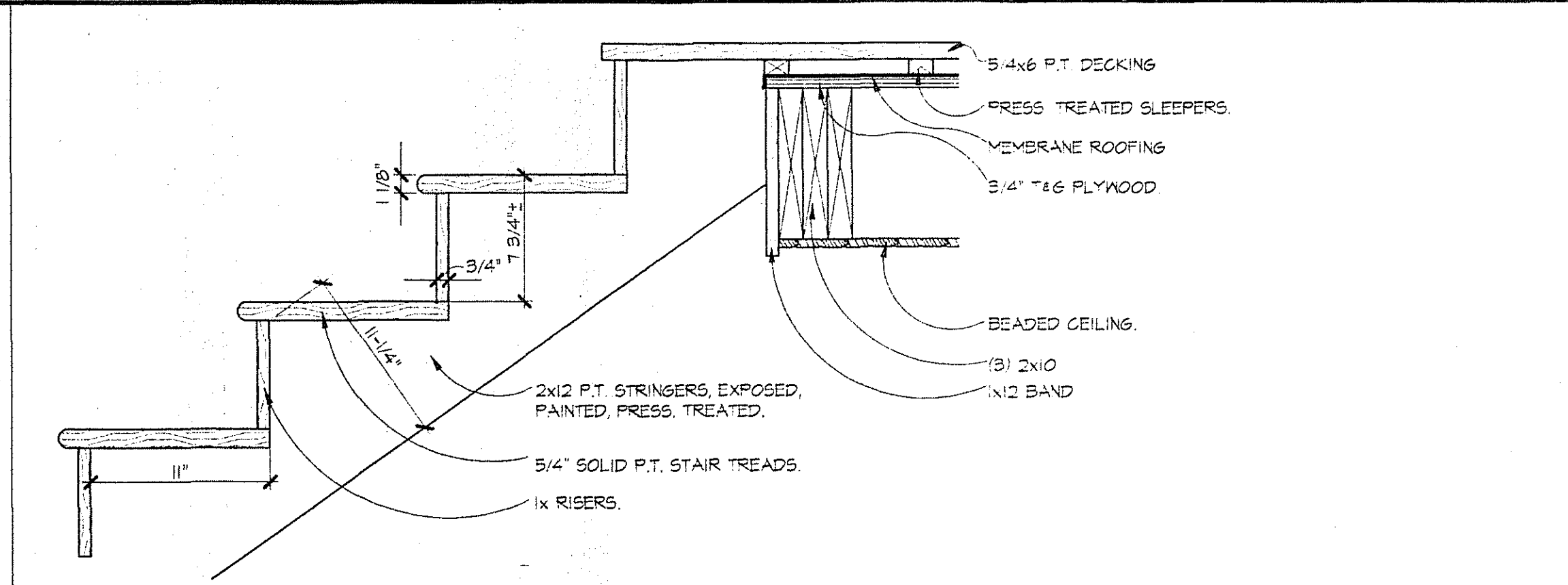
A3.1



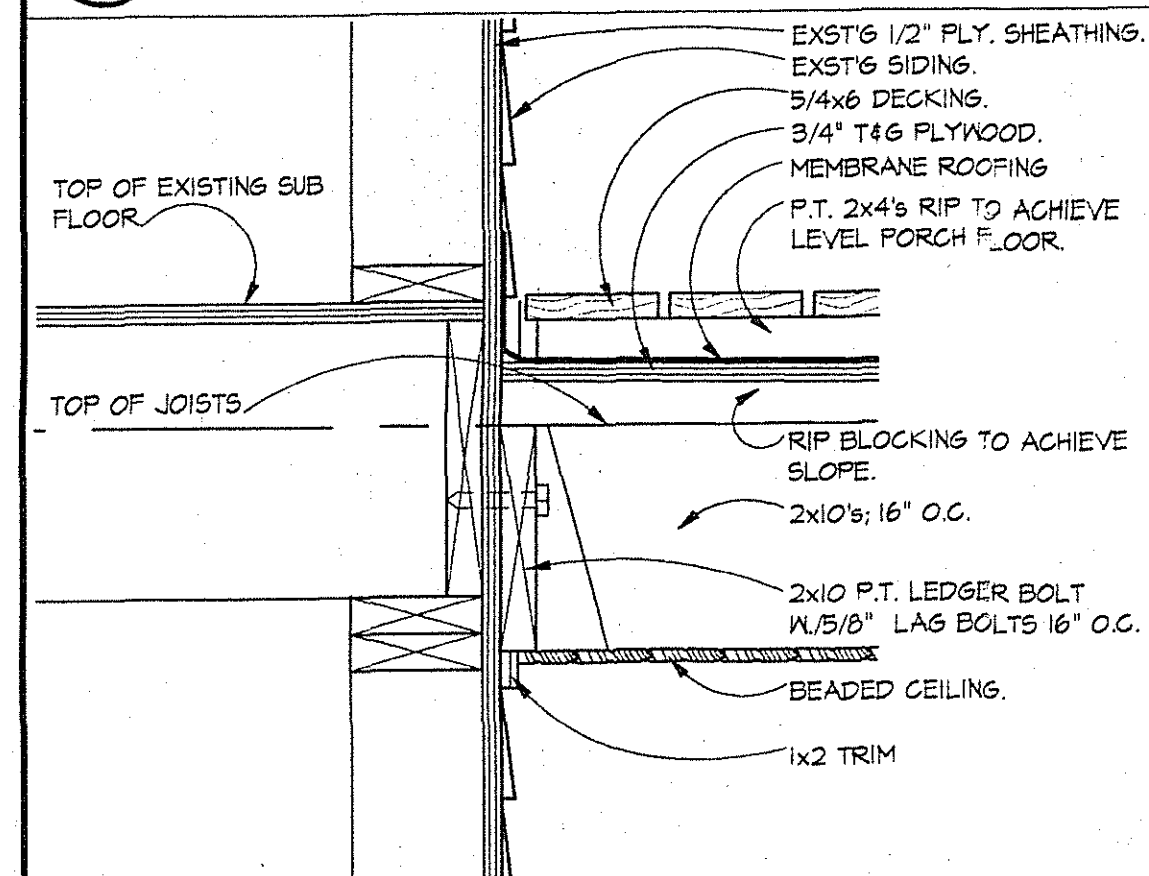
1 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



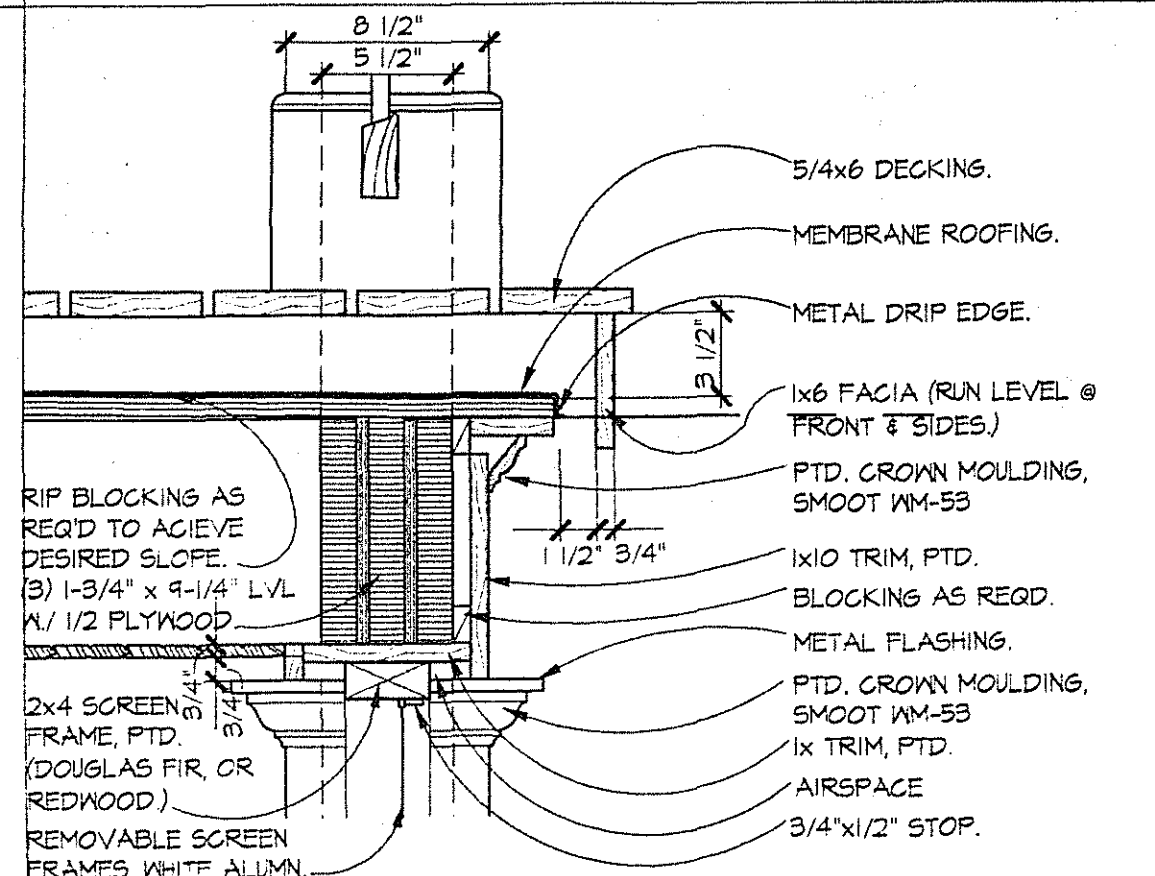
2 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



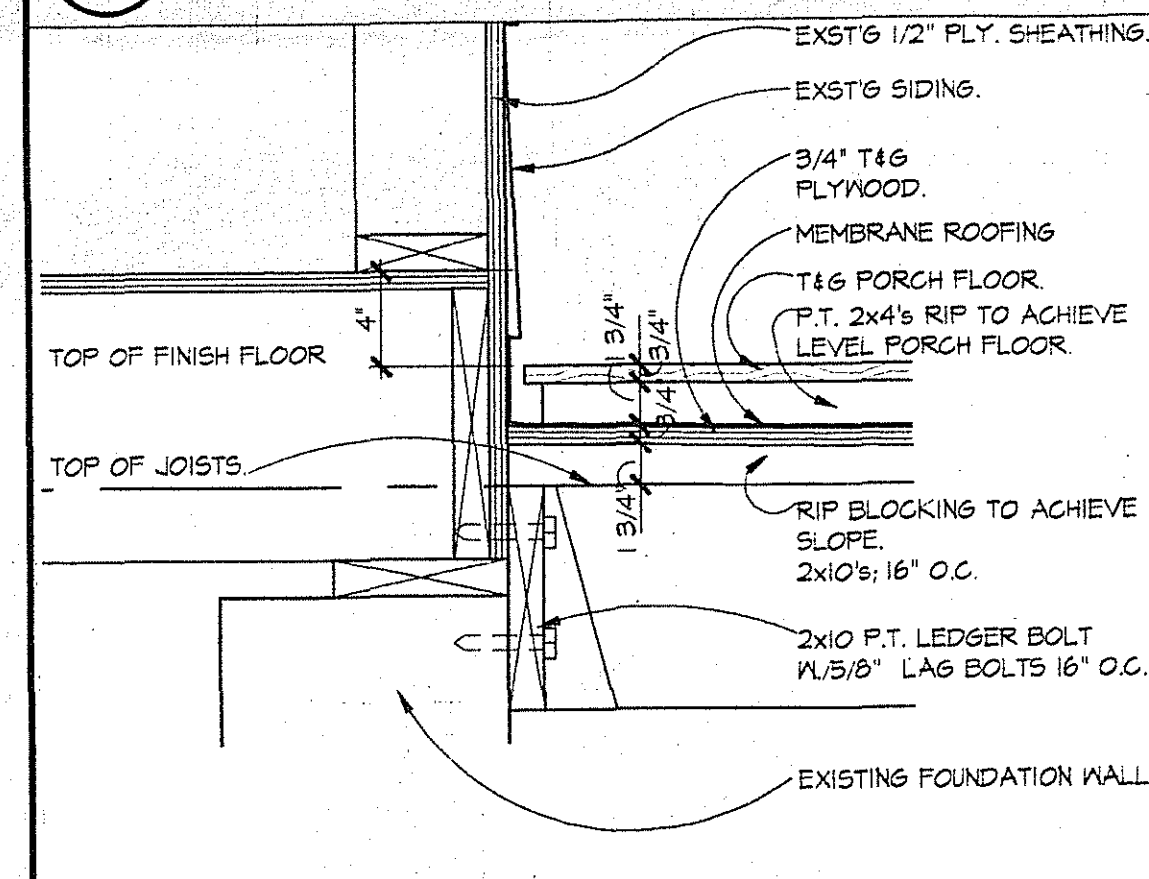
3 STAIR CONNECTION DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



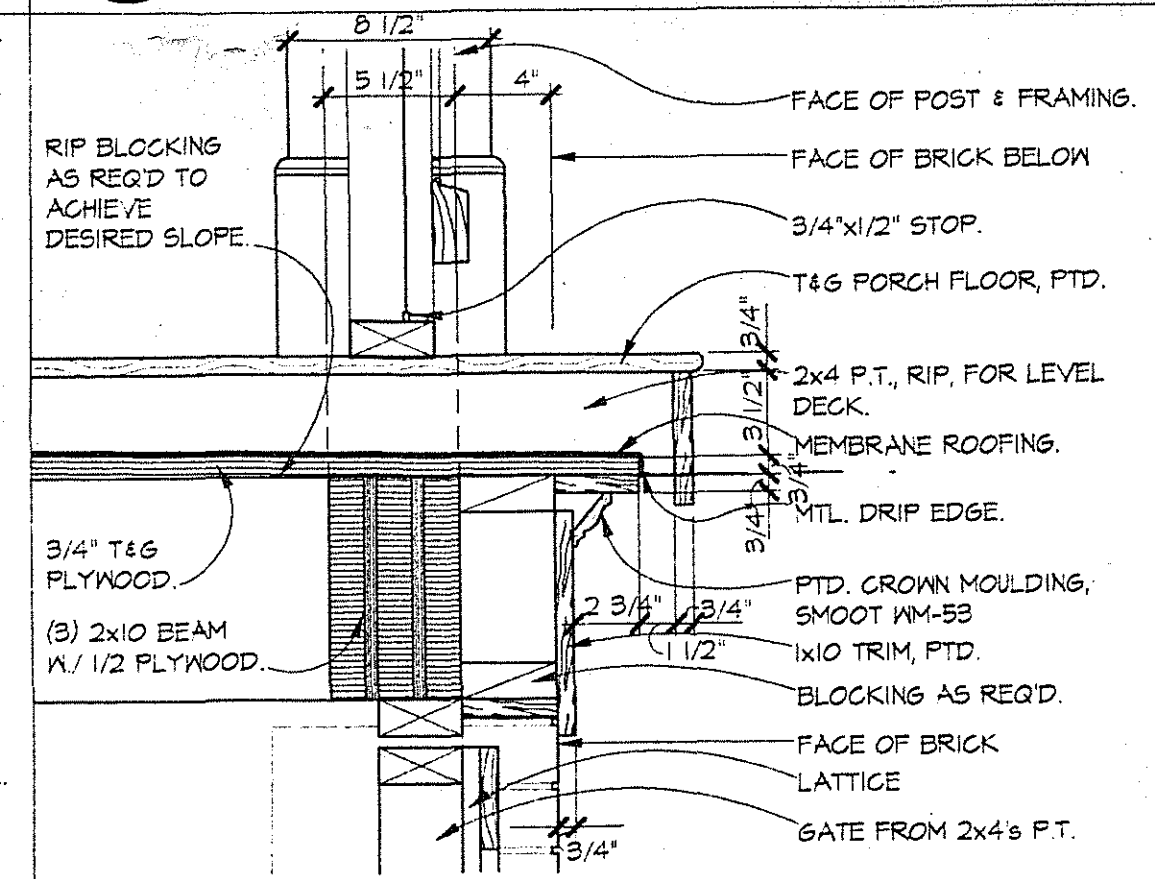
6 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



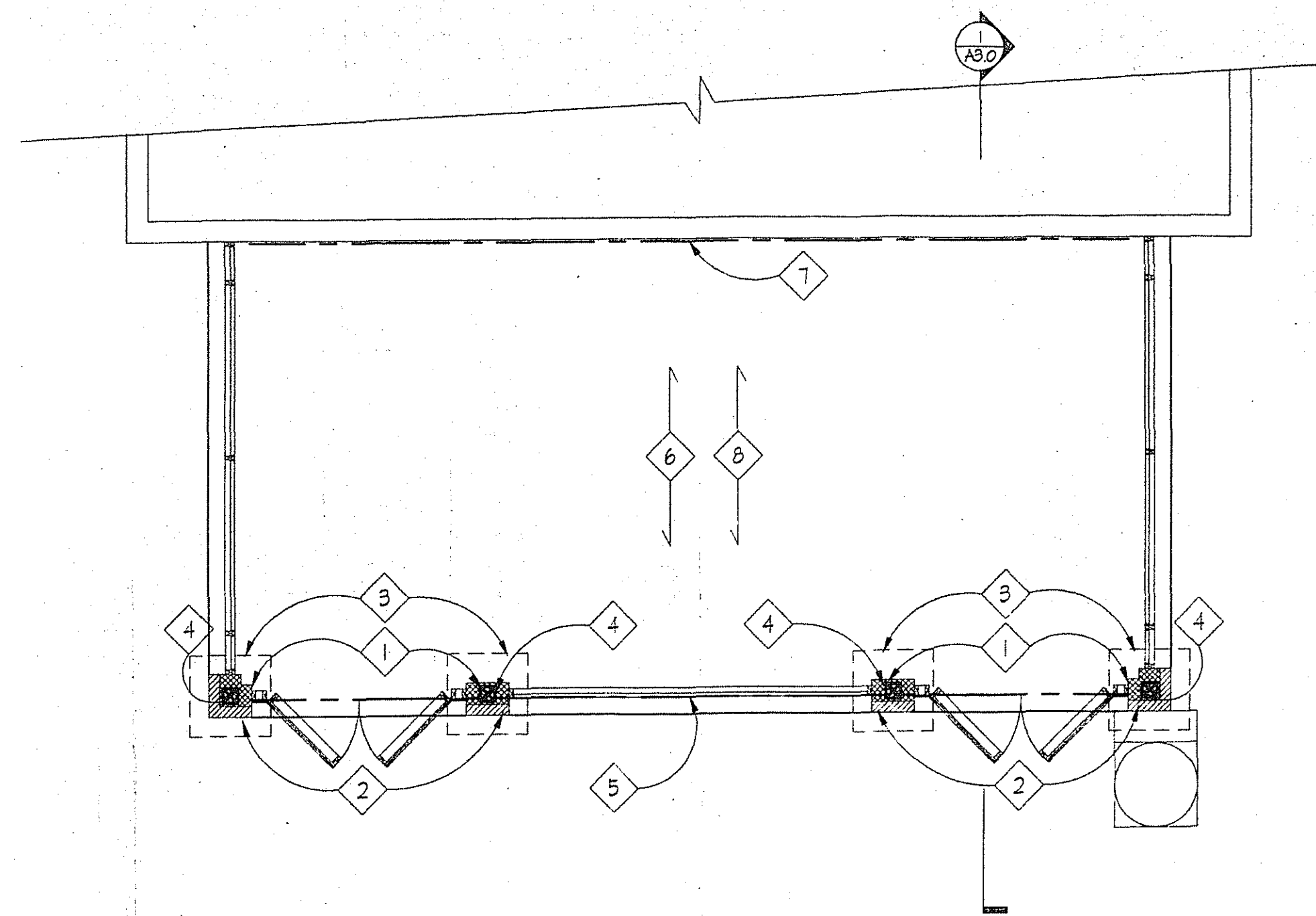
7 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



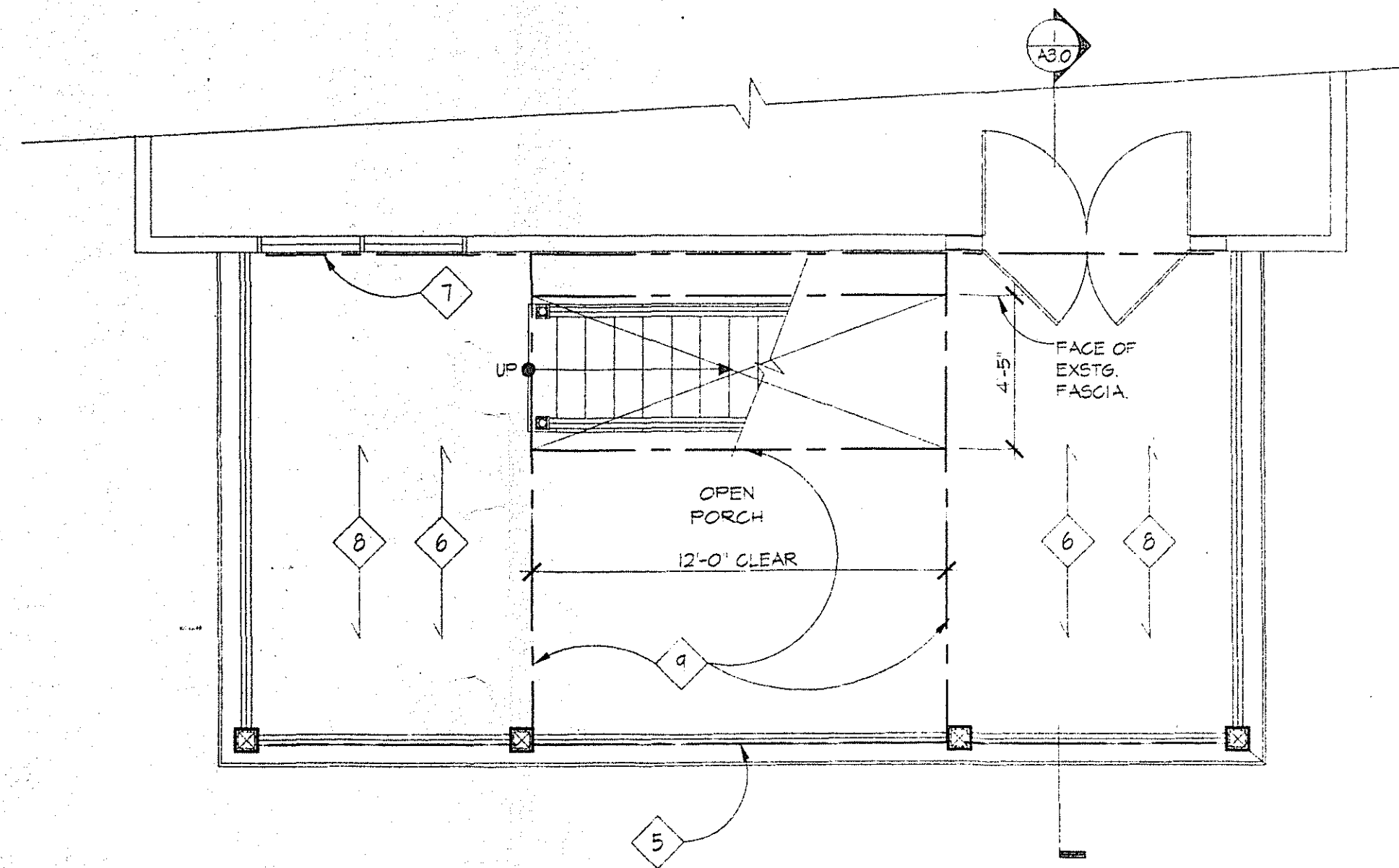
11 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



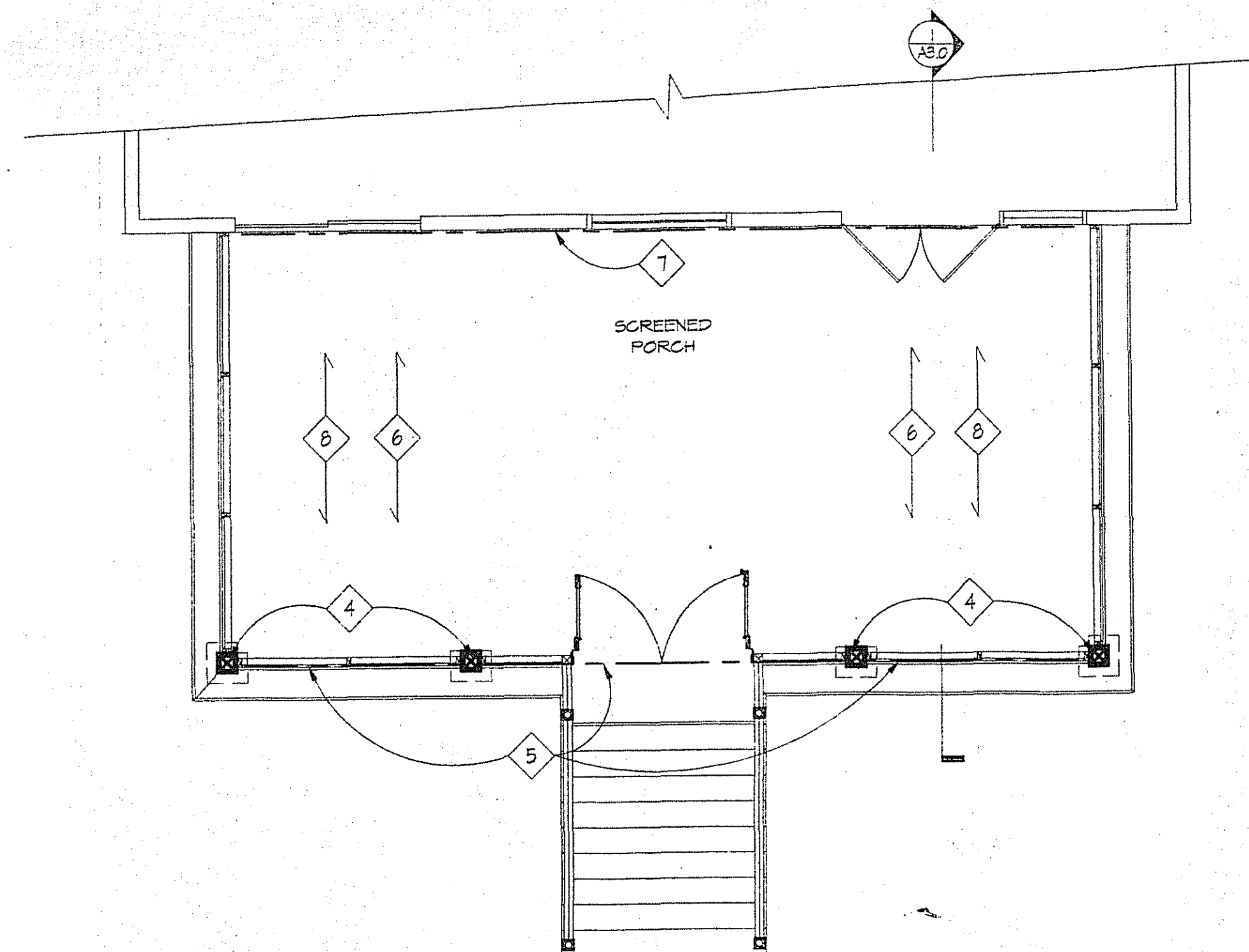
12 PORCH DETAIL
 A3.1 SCALE: 1-1/2"=1'-0"



1 FIRST FLOOR FRAMING PLAN
S1.0 SCALE: 1/4"=1'-0"



3 THIRD FLOOR FRAMING PLAN
S1.0 SCALE: 1/4"=1'-0"



2 SECOND FLOOR FRAMING PLAN
S1.0 SCALE: 1/4"=1'-0"

FRAMING NOTES

- 1 8" C.M.U. GROUT SOLID, PROVIDE #5 BARS 32" O.C. VERTICALLY.
- 2 4" BRICK ABOVE GRADE
- 3 DASHED LINE INDICATES NEW CONT. CONCRETE FOOTING 2'-6" WIDE x 2'-6" DEEP, W/ (3) #5 BARS EACH WAY.
- 4 6x6 POSTS ABOVE (PRESS. TREATED)
- 5 (3) 1 3/4" x 9 1/4" LVL BEAM
- 6 2x10 FLOOR JOISTS, 16" O.C.
- 7 2x10 LEDGER BOLT TO FRAMING AND /OR EXISTING MASONRY WALL W/ 5/8" EXP. BOLTS, 16" O.C. STAGGERED.
- 8 PRESSURE TREATED SLEEPERS CUT TO FIT, 16" O.C. REFER TO FLOOR PLAN FOR SLOPE REQ'D.
- 9 (3) 2x10
- 10

GENERAL NOTES

- 1 CENTER ALL PIERS AND COLUMNS WITH CENTER OF CONC. FOOTINGS (TYP.)
- 2 BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.
- 3 FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
- 4 ALL ADD. POSTS SHALL BE SOUTHERN PINE No. 1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 5 PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
- 6 PROVIDE SIMPSON POST CAP AND BASE CONN. TYP. AT ALL POSTS AND BEAM CONNECTIONS.
- 7 PROVIDE SQUASH BLOCKS @ EACH SIDE OF THE JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

GTM ARCHITECTS

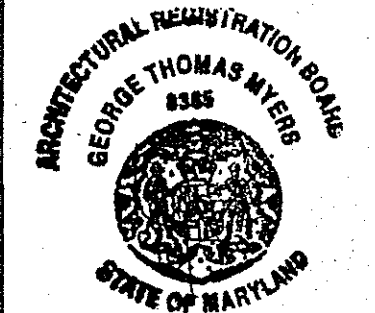
10415 ARMORY AVENUE,
KENSINGTON, MD, 20895
(301)942-9062
(301)942-3424 FAX

10405 FANCETT ST.
KENSINGTON, MD 20895
STRUCTURAL PLANS

KAHIN RESIDENCE
NEW PORCH

REVISIONS:

SEAL:



DRAWN BY: MSW

CHECKED BY: GTM

SCALE: 1/4"=1'-0"

DATE: 6/30/00

PROJECT NO. 00162

DRAWING NO. S1.0