

#31/6-99R 10408 Montgomery Ave. «
(Kensington Historic District)

90% CONSTRUCTION DOCUMENTS SUBMITTAL

KENSINGTON STREETScape - PHASE II CONSTRUCTION

ARMORY AVENUE AND MONTGOMERY AVENUE

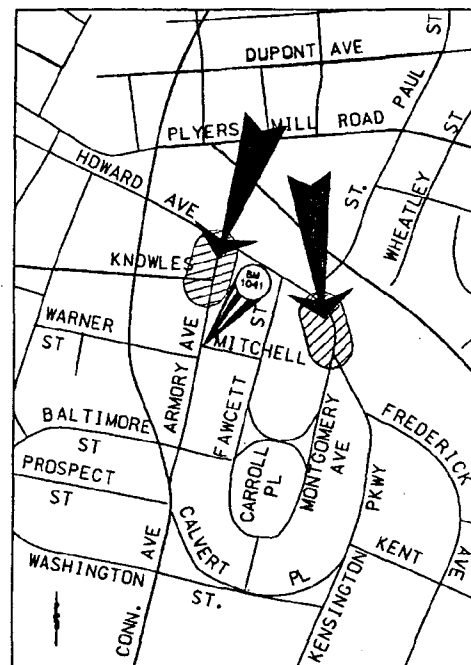
TOWN OF KENSINGTON, MARYLAND

LANDSCAPE ARCHITECT/
CIVIL ENGINEER
P.E.L.A. DESIGN, INC.
212 WASHINGTON AVE., SUITE 300
TOWSON, MD 21204
PHONE: 410-296-5545 FAX: 410-296-5547

ELECTRICAL ENGINEER
HENRY ADAMS, INC.
600 BALTIMORE AVE.
BALTIMORE, MD 21204
PHONE: 410-296-6500 FAX: 410-296-3156

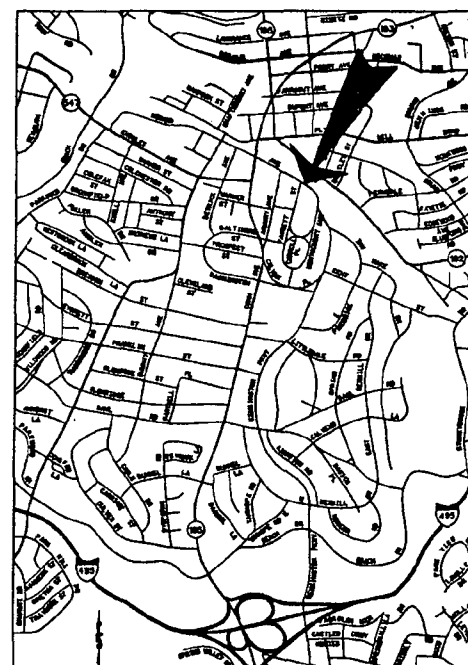
LOCATION MAP

SCALE: 1" = 500'



VICINITY MAP

SCALE: 1" = 1500'



LIST OF DRAWINGS

- T-1 TITLE SHEET
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- E-2 LIGHTING PLAN (2)
- E-3 LIGHTING DETAILS
- P-1 PAINT STRIPING PLAN

FOR REVIEW ONLY-NOT FOR CONSTRUCTION

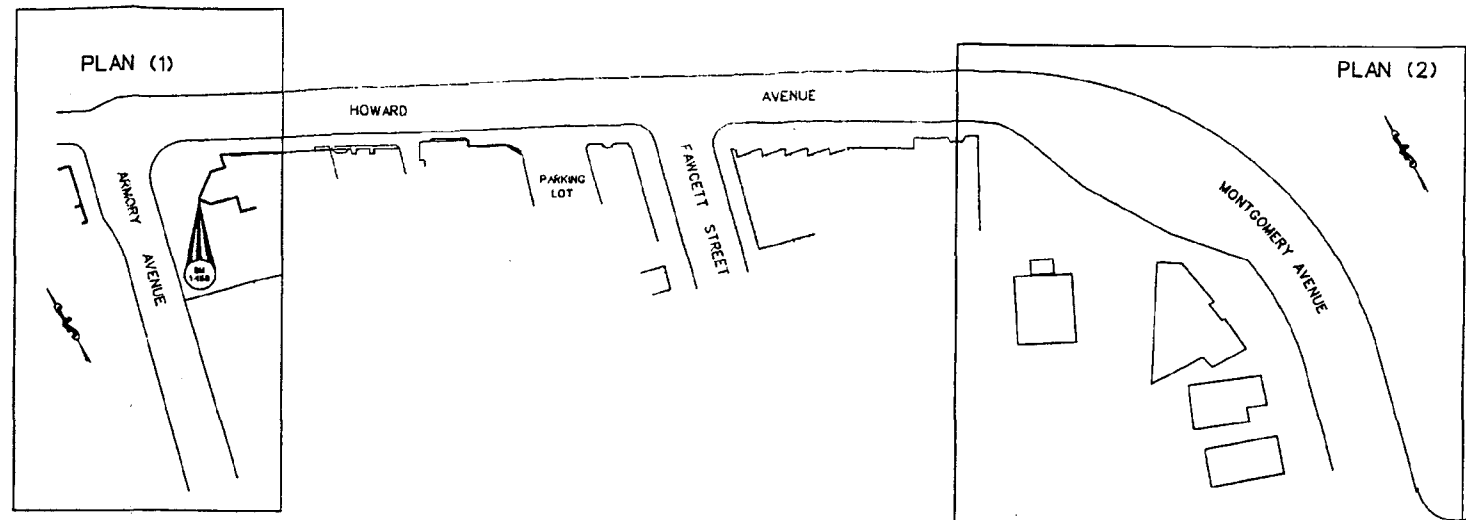
P.E.L.A. DESIGN, INC. <small>PLANNERS, ENGINEERS, LANDSCAPE ARCHITECTS</small> 212 WASHINGTON AVE. SUITE 300 TOWSON, MD, 21204 (410) 296-5545	DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS MONTGOMERY COUNTY DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240) 777-3650	APPROVED _____ DATE: _____ DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT	DESIGNED: _____ DRAWN: _____ CHECKED: LT/TL	KENSINGTON STREETScape PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.040.01L2 BID. NUMBER: 6771000001 PROJECT/JOB NUMBER: 769616	TITLE SHEET 90% CONSTRUCTION DOCUMENTS SUBMITTAL	DATE: 11-05-1999 SCALE _____ PLAN: _____ SECTION: _____	REVISIONS <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	DESCRIPTION										DRAWING T-1 NO: 1 OF: 26
	DATE	BY	DESCRIPTION																	
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SYMBOLS

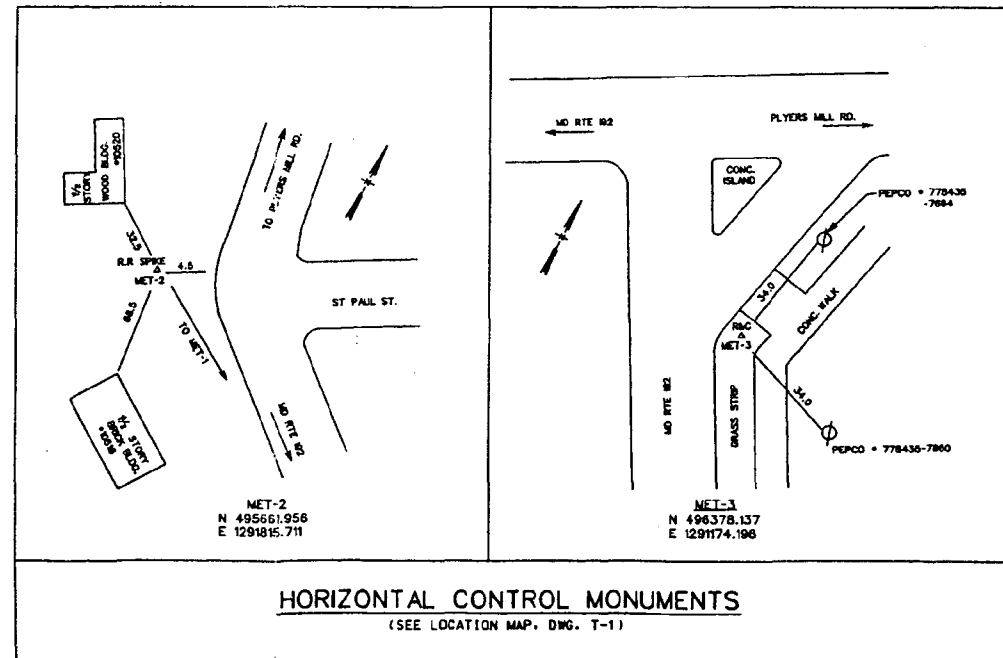
=====	C&G	CURB & GUTTER
-----	R/W	RIGHT-OF-WAY
---	P	PROPERTY LINE
+		FIRE HYDRANT
o EMH		ELEC. MANHOLE (PEPCO)
o SMH		SANITARY MANHOLE
o SDMH		STORM DRAIN MANHOLE
---		SLOPE LINE
--- 318 ---		EX. 2' CONTOUR
--- 320 ---		EX. 10' CONTOUR
*314.44		SPOT ELEVATION
---		DOOR LOCATION
---		EX. FENCE
o W.M.		WATER METER
o W.V.		WATER VALVE
---	O.H.E.	OVERHEAD ELECTRIC (PEPCO)
---	UG ELEC	UNDERGROUND ELECTRIC (PEPCO)
---	UG B/A	BELL ATLANTIC
---	W	EXISTING WATER MAIN
---		BUILDING LINE
---		EXISTING SANITARY LINE
o C.O.		CLEAN OUT (SANITARY)
G		GAS VALVE
G		EXISTING GAS MAIN
X-G-X		ABANDONED GAS MAIN
---		STORM DRAIN LINE
---		STORM DRAIN INLET
o 8" d		DECIDUOUS TREE (SHOWING DIAMETER IN INCHES)
o		SHRUB
o		SHRUB ROW
o 6" d		CONIFEROUS TREE (SHOWING DIAMETER IN INCHES)
A		SIGN
o P.P. #778435 -7206 w/ Light		UTILITY POLE W/TAG NO.
o MET-3		HORIZONTAL CONTROL MONUMENT
o BM 1041		BENCHMARK FOR VERTICAL CONTROL
---		RAILROAD TRACKS
---		LIMIT OF DEMOLITION/CONSTRUCTION
---		SITE FEATURE TO BE REMOVED

ABBREVIATIONS

AC	ACRES
B&B	BALLED & BURLAPPED
BL/R	BASELINE
BC	BOTTOM OF CURB
BLDG.	BUILDING
BM	BENCHMARK
CAL.	CALIPER
CB MH	CABLE MANHOLE
C&G	CURB AND GUTTER
C/L	CENTERLINE
CONC.	CONCRETE
C.I.-L.P.	CAST IRON LOW PRESSURE GAS LINE
DIA.	DIAMETER
D.G.A.B.	DENSE GRADED AGGREGATE BASE
DRWG.	DRAWING
E./E	EAST
E.C.	ELECTRICAL CONDUIT
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EX.	EXISTING
F.	FUEL
F.H.	FIRE HYDRANT
F.L.	FLOW LINE
F	FOLIO
GV	GAS VALVE
G	GAS LINE
H.C.	HANDICAP
HT.	HEIGHT
HORI.	HORIZONTALLY
L	LIBER
L.P.	LINEAR PROFILE
M.H.	MANHOLE
MAC.	MACADAM
MAX.	MAXIMUM
MIN.	MINIMUM
N	NORTH
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OVERHANG
P.G.L.	PROPOSED GRADE LINE
P.P.	PEPCO POLE
PSI	POUNDS PER SQUARE INCH
R	RADIUS
RT	RIGHT
RR	RAILROAD
R/W	RIGHT OF WAY
S.D./SD	STORM DRAIN
S/L	STREET LIGHT
SMH	SANITARY MANHOLE
SAN	SANITARY SEWER
SO. FT.	SQUARE FEET
SPEC.	SPECIFICATIONS
SIG	SIGNAL
STA.	STATION
STL	STEEL
TC	TOP OF CURB
T.C.	TELEPHONE CONDUIT
TELE MH	TELEPHONE MANHOLE
TYP.	TYPICAL
VERT.	VERTICAL
W	WATER MAIN
W/W	WITH
W.M.	WATER METER
WWM	WOVEN WIRE MESH
V.	VALVE
o	DIAMETER



KEY TO PLAN SHEETS



GENERAL NOTES:

- BENCHMARK No. 1041**
BRASS BOLT AND WASHER IN NORTHEAST CORNER OF MARYLAND NATIONAL GUARD ARMORY AT SOUTHWEST CORNER OF ARMORY AVE. (FORMERLY CONNECTICUT) AND MITCHELL ST. ELEV.-292.163. SEE VICINITY MAP, DWG T-1.
- BENCHMARK No. 1458**
BOLT IN SOUTHWEST CORNER OF BRICK FOUNDATION OF EXXON GAS STATION AT SOUTHEAST CORNER OF HOWARD AVENUE AND ARMORY AVENUE. ELEV.-304.006

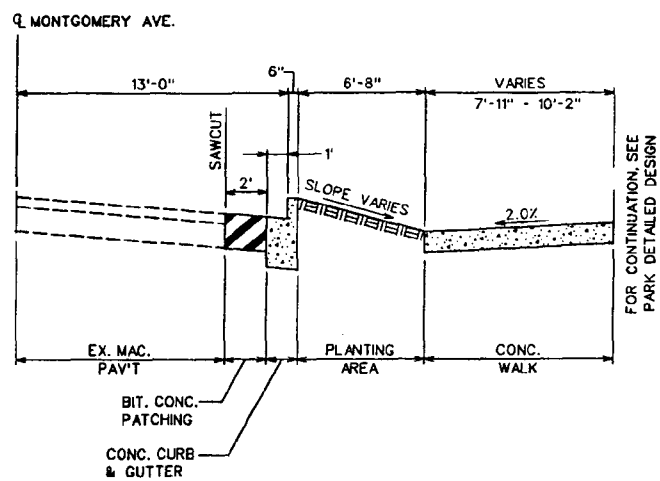
SURVEY NOTES

- TOPOGRAPHIC SURVEY WAS PERFORMED BY P.E.L.A. DESIGN, INC., DATED MAY, 1996. CONTACT PERSON: TIMOTHY J. LYNG, P.E.
- THE UTILITY INFORMATION SHOWN ON THIS PLAN WAS ESTABLISHED BY FIELD SURVEYS AND UTILITY PLANS PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR AGENCIES.
- PROPERTY AND RIGHTS-OF-WAY INFORMATION WAS TAKEN FROM THE EXISTING MONTGOMERY COUNTY LAND RECORDS AND DEEDS, BUT SHOULD NOT BE CONSIDERED AN OFFICIAL BOUNDARY SURVEY.
- THE LOCATIONS OF UNDERGROUND UTILITIES AND SERVICES TO BUILDINGS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTACT MISS UTILITY 48 HOURS PRIOR TO WORK AT 1-800-257-7777.
- THE CONTROL MONUMENTS USED FOR THIS SURVEY ARE BM 1041 (VERTICAL) AND MET-2 AND MET-3 (HORIZONTAL).

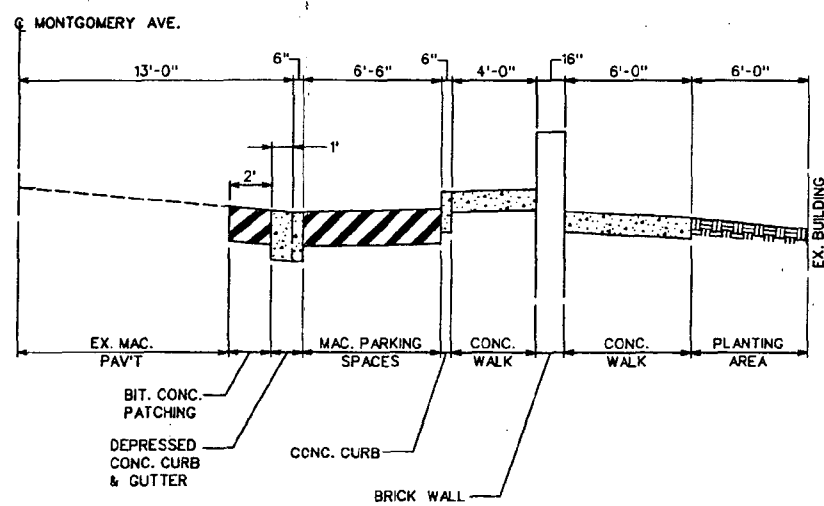
NOTE: FOR HORIZONTAL CONTROL MONUMENT AND BENCHMARK LOCATIONS, SEE VICINITY MAP, DWG T-1.

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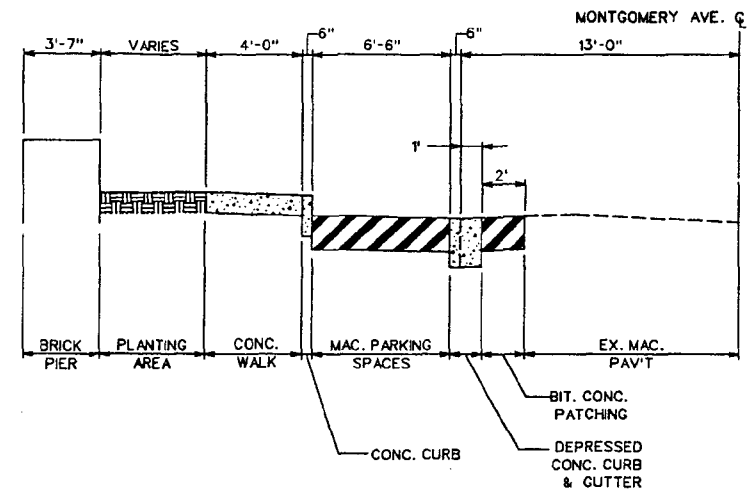
P.E.L.A. DESIGN, INC. PLANNERS, ENGINEERS, LANDSCAPE ARCHITECTS 212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21204 (410) 296-5545	DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS MONTGOMERY COUNTY DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240) 777-3650	APPROVED _____ DATE: _____	DESIGNED: _____	KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION P.E.L.A. PROJECT NO.: 95.040.01L2 BID NUMBER: 6771000001 PROJECT/JOB NUMBER: 769616	SYMBOLS, ABBREVIATIONS, & GENERAL NOTES 90% CONSTRUCTION DOCUMENTS SUBMITTAL	DATE: 11-05-1999	REVISIONS		DRAWING G-1 NO: 2 OF: 26
			DRAWN: SC			SCALE	DATE	BY	
		CHECKED: LT/TL				PLAN: AS SHOWN			
						SECTION: SEE DRWG.			



TYPICAL SECTION
 STA.32+23.25 - STA.32+98.75, RIGHT
 HOR SCALE: 1/4"=1'
 VERT SCALE: 1/2"=1'



TYPICAL SECTION
 STA.33+31.08 - STA.33+99.32, RIGHT
 HOR SCALE: 1/4"=1'
 VERT SCALE: 1/2"=1'



TYPICAL SECTION
 STA.33+25.02 - STA.34+28.13, LEFT
 HOR SCALE: 1/4"=1'
 VERT SCALE: 1/2"=1'

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DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS
MONTGOMERY COUNTY
 DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND
 (240) 777-3650

APPROVED _____
 DATE: _____
 DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT

DESIGNED: _____
 DRAWN: SC
 CHECKED: LT/TL

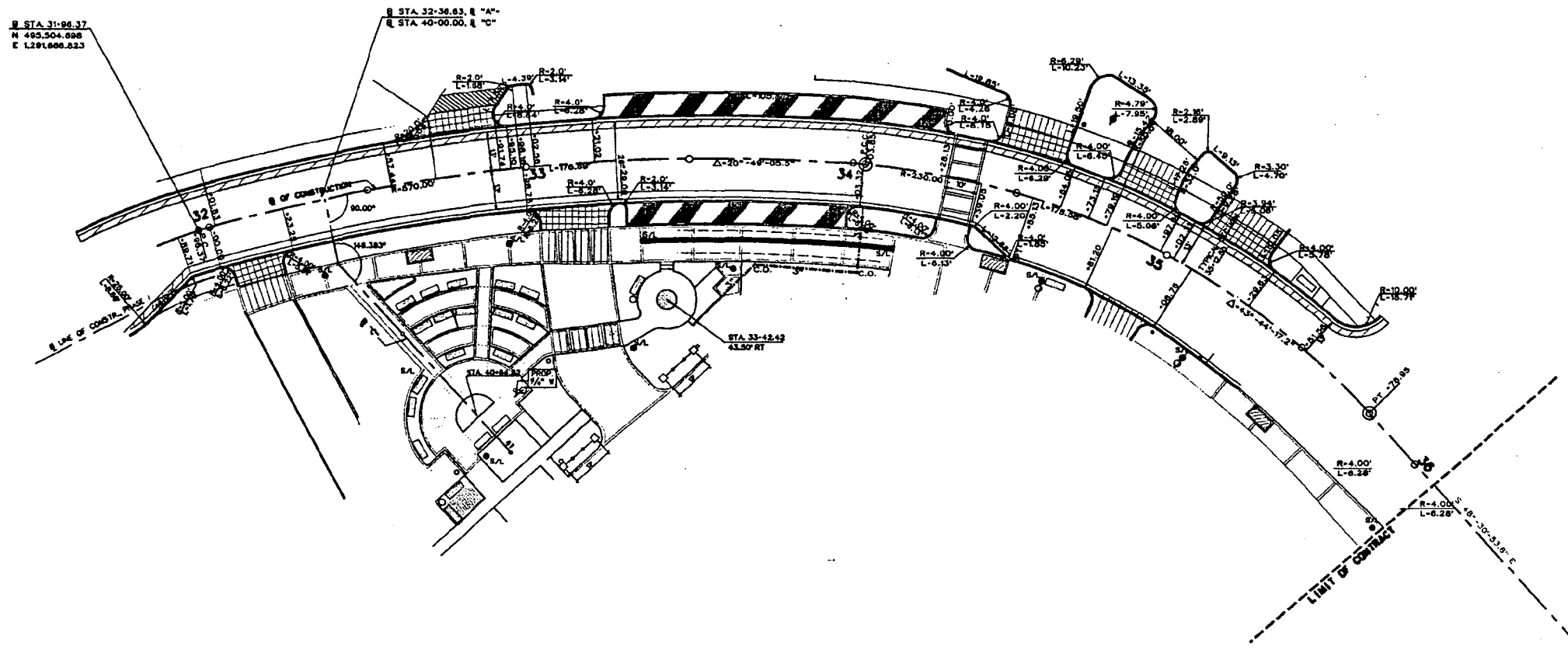
**KENSINGTON STREETSCAPE PROJECT
 PHASE II CONSTRUCTION**
 PELA PROJECT NO.: 95.040.01L2
 BID NUMBER: 6771000001
 PROJECT/JOB NUMBER: 769616

TYPICAL SECTIONS
 90% CONSTRUCTION DOCUMENTS SUBMITTAL

DATE: 11-05-1999
 SCALE
 PLAN: AS SHOWN
 SECTION: SEE DRWG.

REVISIONS		
DATE	BY	DESCRIPTION

DRAWING
G-2
 NO: 3
 QF: 26

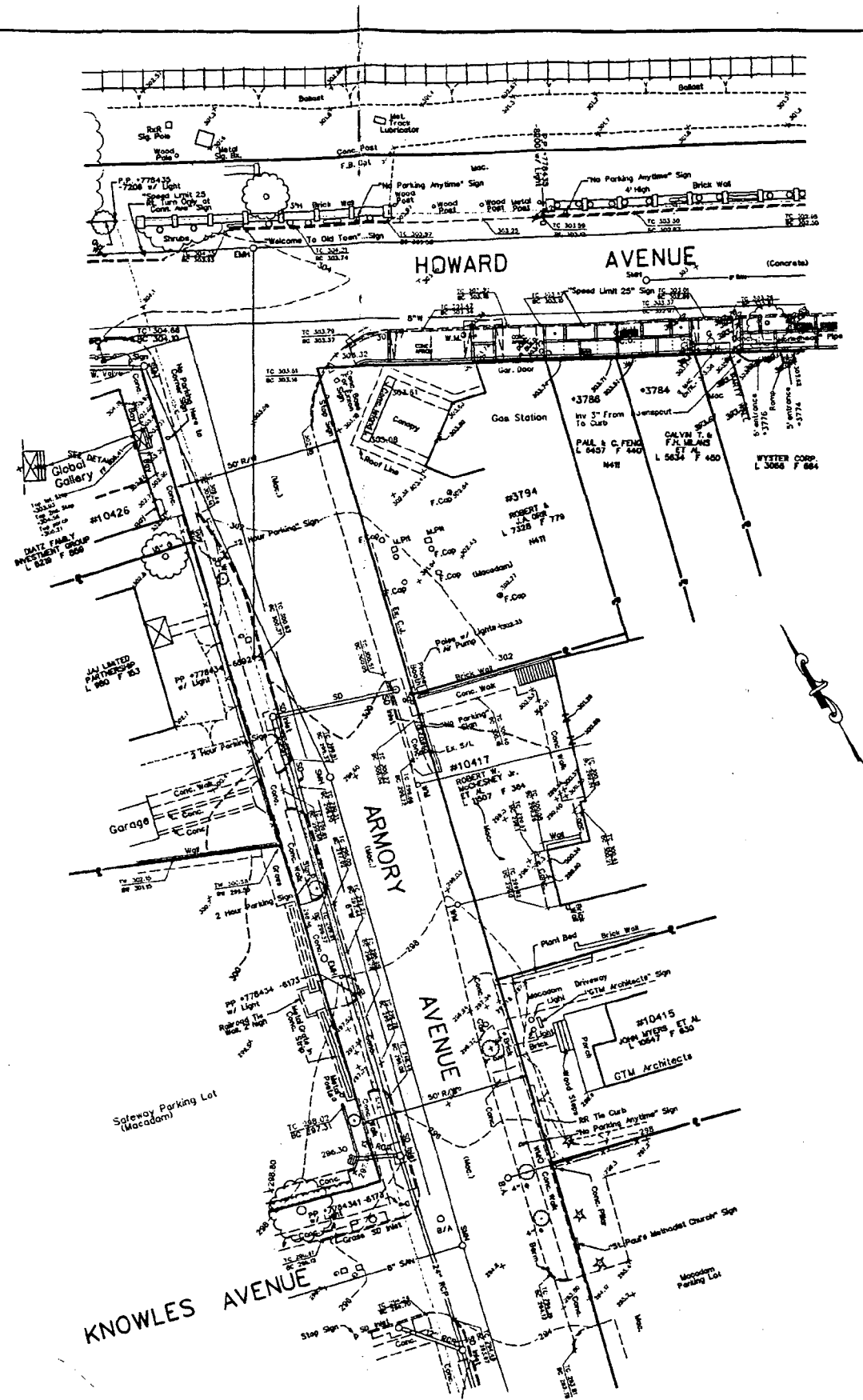


DETAILED LAYOUT OR GRADING PLANS	
PLANS	SEE DWG. NO.
HOWARD AVE. PARK	C-9
BRICK PIER & WALL AND FENCE	C-13
PLAZA IN FRONT OF THE BANK	C-9

CROSS REFERENCES
 FOR EXISTING CONDITIONS, SEE DWG C-2
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR GRADING PLAN, SEE DWG C-8
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE PLAN, SEE DWG L-2
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

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DATE	BY	DESCRIPTION																					
DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT		PROJECT/JOB NUMBER: 769616		90% CONSTRUCTION DOCUMENTS SUBMITTAL		SECTION: _____		NO: 4 OF: 26															



CROSS REFERENCES
 FOR DEMOLITION PLAN, SEE DWG C-3
 FOR SITE PLAN, SEE DWG C-5
 FOR GRADING PLAN, SEE DWG C-7
 FOR DETAILED PLAN, SEE DWG C-9
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE PLAN, SEE DWG L-1
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-1
 FOR ELECTRICAL DETAILS, SEE DWG E-3

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MONTGOMERY COUNTY
 DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND
 (240)-777-3650

APPROVED _____
 DATE _____

DESIGNED: _____
 DRAWN: JH/SC
 CHECKED: LT/TL

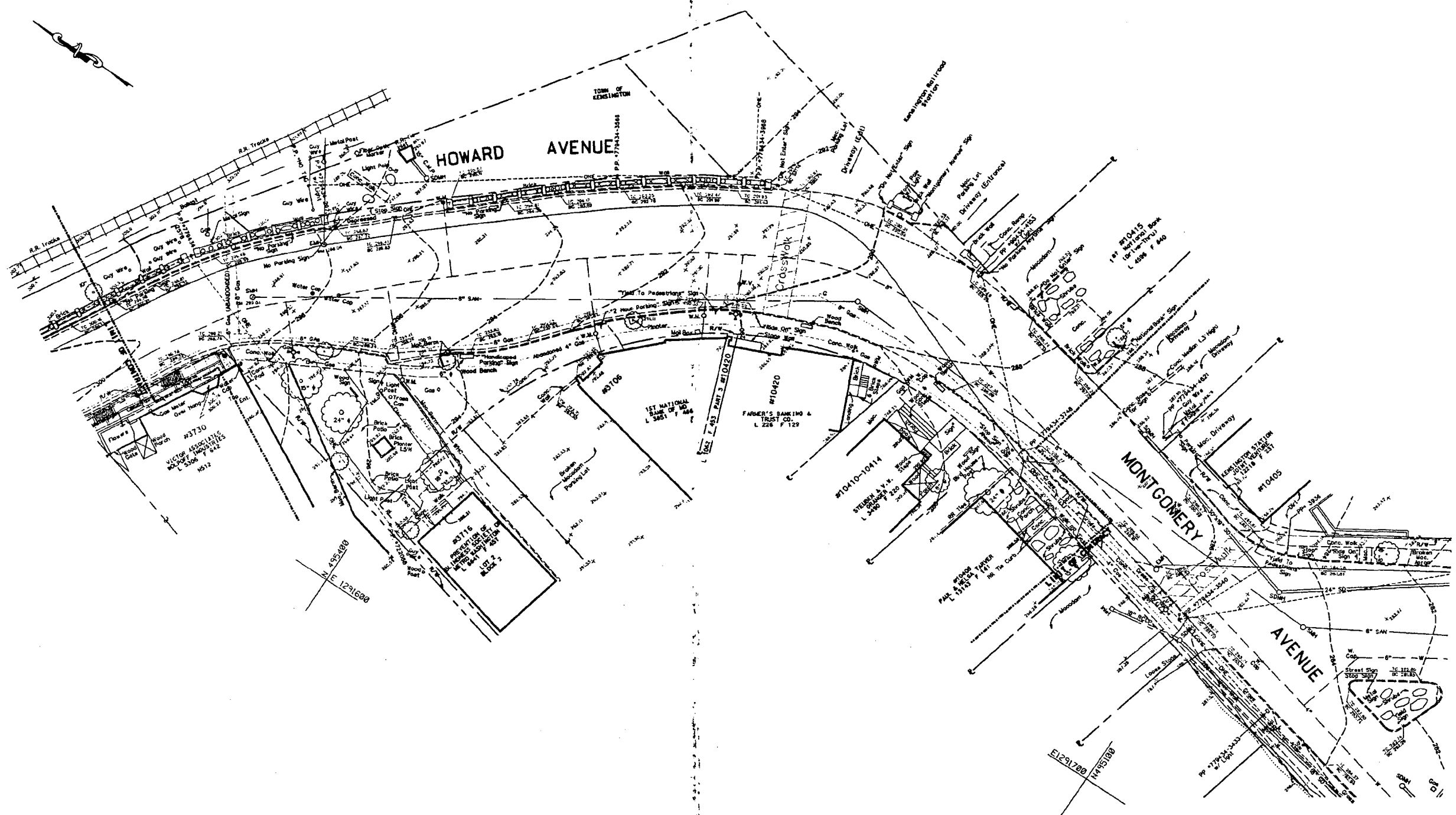
**KENSINGTON STREETScape PROJECT
 PHASE II CONSTRUCTION**
 PELA PROJECT NO.: 95.040.01L2
 BID NUMBER:
 PROJECT/JOB NUMBER: 779618

EXISTING CONDITIONS (1)
 90% CONSTRUCTION DOCUMENTS

DATE: 11/05/99
 SCALE
 PLAN: 1" = 20'
 SECTION:

REVISIONS		
DATE	BY	DESCRIPTION

DRAWING
C-1
 NO: 5
 OF: 28



CROSS REFERENCES
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR SITE PLAN, SEE DWG C-6
 FOR GRADING PLAN, SEE DWG C-8
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE PLAN, SEE DWG L-2
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

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DATE	BY	DESCRIPTION																					
DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT																							

DEMOLITION NOTES

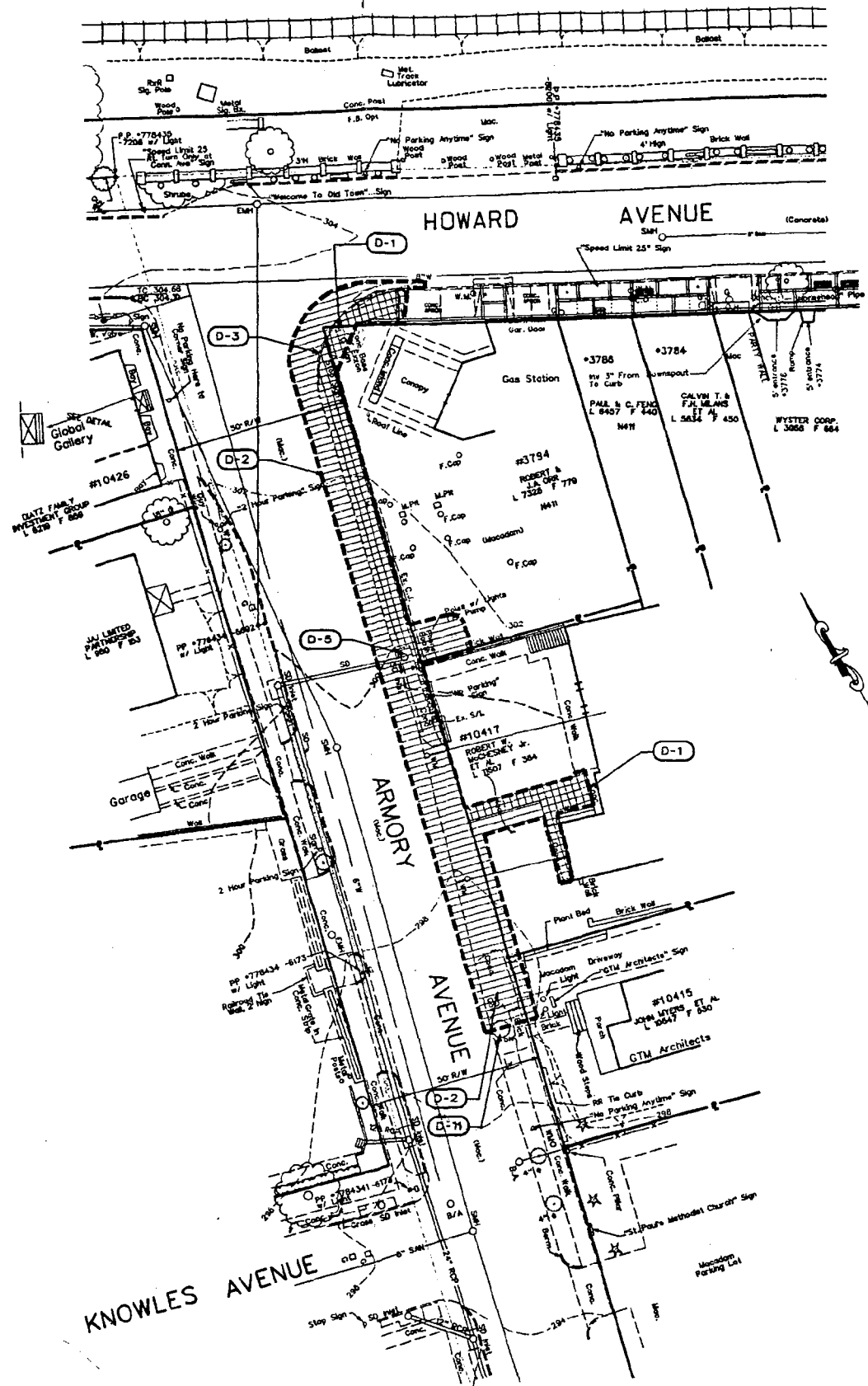
- D-1 REMOVE CONCRETE PAVING
- D-2 REMOVE BIT. CONC. PAVING
- D-3 REMOVE CONCRETE CURB
- D-4 REMOVE BIT. CONC. CURB
- D-5 REMOVE INLET
- D-6 REMOVE CONCRETE WALL
- D-7 REMOVE BRICK PAVING
- D-8 REMOVE BRICK PLANTER
- D-9 REMOVE CONCRETE STEPS
- D-10 REMOVE PLANTING AREA
- D-11 PROTECT EX. TREE. SEE DETAIL 8/C-11.

LIMIT OF DEMOLITION

DEMOLITION NOTES

GENERAL NOTE: THE CONTRACTOR SHALL REMOVE ALL ENCUMBRANCES TO THE COMPLETION OF CONSTRUCTION OF THE ARMORY AVENUE AND MONTGOMERY AVENUE STREETSCAPE PROJECT IN COMPLETE ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND PROJECT MANUAL.

1. THE CONTRACTOR IS ADVISED TO INSPECT THE SITE PRIOR TO BID.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 FORTY-EIGHT (48) HOURS PRIOR TO START OF ANY WORK.
3. THE CONTRACTOR IS TO COORDINATE HIS DEMOLITION ACTIVITIES WITH THE PROPERTY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING EXISTING BUILDING CONDITIONS PRIOR TO ANY WORK TO HIS OWN SATISFACTION AND FOR REPAIRING ANY PROPERTY DAMAGE CAUSED BY HIS WORK CREWS OR ANY SUB-CONTRACTORS WHICH IS NOT PART OF THE PLANS.
4. THE SCOPE OF WORK INCLUDES ALL AREAS WITH IN THE ENCLOSED LIMIT OF DEMOLITION/CONSTRUCTION LINE, INCLUDING UNDERGROUND UTILITIES, SIGNS, PUBLIC SIDEWALKS, DRIVEWAYS, PLANTERS, TIMBERS, AND ALL ATTENDANT FEATURES.
5. THE CONTRACTOR IS TO PROVIDE TO THE COUNTY A PROJECT REPRESENTATIVE, A SEQUENCE OF DEMOLITION, CONSTRUCTION, AND MAINTENANCE OF PEDESTRIAN TRAFFIC PLAN PRIOR TO REMOVAL OF ANY SIDEWALK. ACCESS TO ALL BUILDING ENTRANCES SHALL BE MAINTAINED DURING THE CONSTRUCTION PERIOD.
6. CAUTION SHALL BE TAKEN WHEN EXCAVATING SIDEWALK MATERIAL FROM IN FRONT OF OR ALONGSIDE ANY BUILDING WALL, SO AS NOT TO CAUSE DAMAGE TO BUILDING STRUCTURE. ROOF DRAINS UNDER SIDEWALKS SHALL BE EITHER LEFT IN PLACE UNDAMAGED OR REPLACED DURING CONSTRUCTION AS DIRECTED BY THE MONTGOMERY COUNTY REPRESENTATIVE.
7. ALL ITEMS TO BE STOCKPILED FOR REINSTALLATION SHALL BE STORED AT A SECURE LOCATION AND PROTECTED FROM DAMAGE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING SITE.
8. THE CONTRACTOR SHALL CONTACT THE KENSINGTON BUSINESS ASSOCIATION (KBA) REGARDING THE DISPOSITION OF ALL FLOWER POTS LOCATED WITHIN THE LIMIT OF DISTURBANCE. ANY FLOWER POTS TO BE SALVAGED WILL BE THE RESPONSIBILITY OF THE K.B.A. TO DO SO WITHIN 5 DAYS OF CONTRACTOR NOTIFICATION. AFTER 5 DAYS, CONTRACTOR MAY DISPOSE OF FLOWER POTS AT HIS DISCRETION.
9. SAWCUTTING LIMITS AND LOCATIONS TO BE DETERMINED BY COUNTY IN FIELD.
10. TOWN OF KENSINGTON WILL REMOVE EX. BENCHES, TRASH RECEPTACLES, SIGNS AND SIGN POSTS AND STOCKPILE IN TOWN HALL FOR LATER RELOCATION IN THE PROJECT. PRIOR TO REMOVAL, THE TOWN WILL INVENTORY EX. BENCHES, TRASH RECEPTACLES AND SIGNS.
11. FOR REMOVAL OF MAILBOXES AND TELEPHONES CONTACT POSTAL SERVICES AND BELL ATLANTIC RESPECTIVELY.
12. PROTECT ALL UTILITIES AND THEIR APPURTENANCE FROM DAMAGE DURING SITE DEMOLITION OPERATIONS.
13. COMPLETELY REMOVE EX. SIDEWALK AND OTHER PAVING TO THE DEPTH OF SUBGRADE.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY CAUSED BY HIS WORK CREWS OR HIS SUBCONTRACTORS.

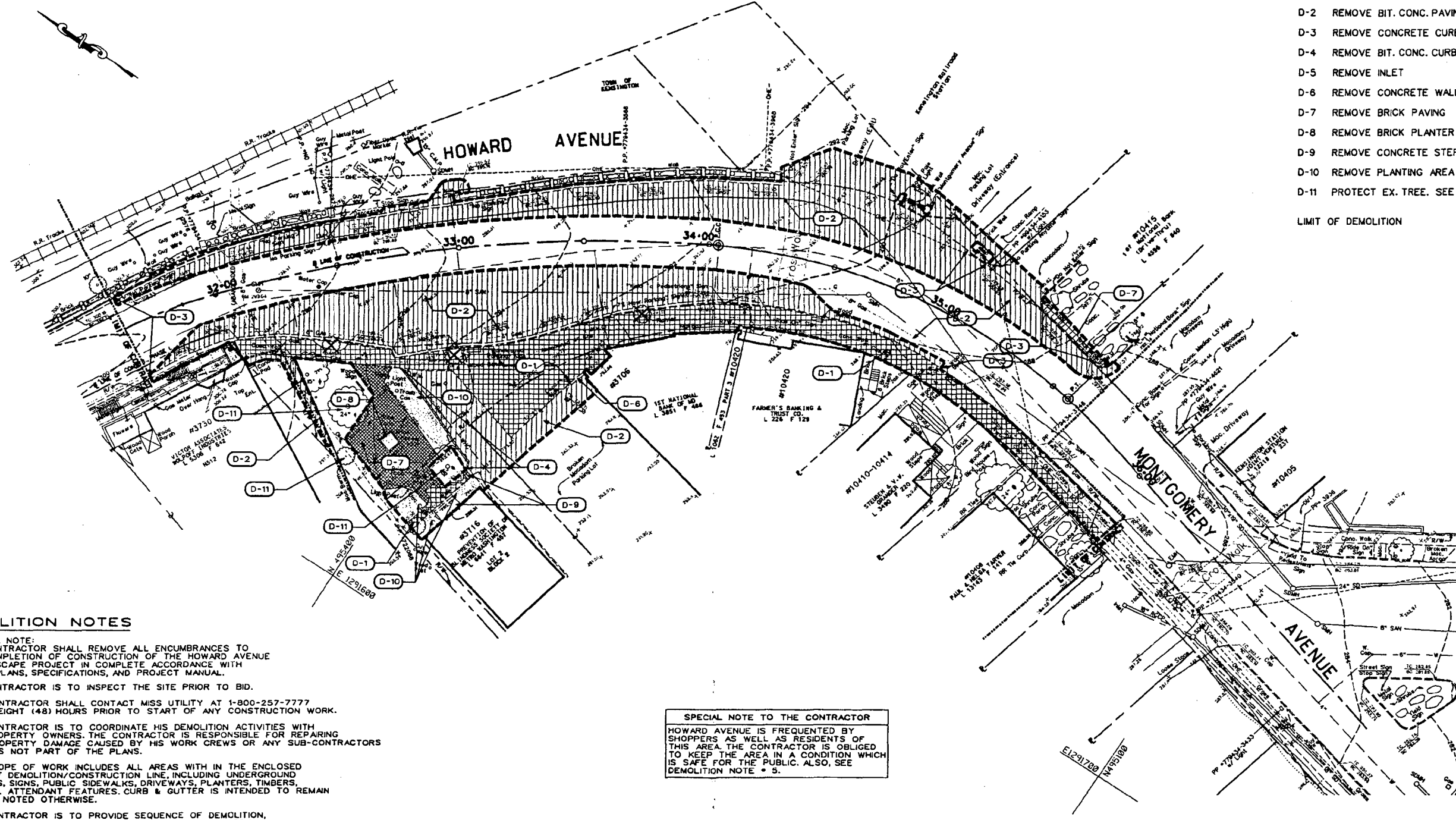


DEMOLITION ITEMS	QUANTITY
CONC. WALK	36 SY
CONC. CURB & GUTTER	58 LF
BIT. CONC. PAVING	220 SY
DRIVEWAY PAVING	205 SY
SAWCUT 4"-6"	110 LF
SAWCUT 6"-10"	340 LF
TREES	0 EA

CROSS REFERENCES

- FOR EXISTING CONDITIONS, SEE DWG C-1
- FOR SITE PLAN, SEE DWG C-5
- FOR GRADING PLAN, SEE DWG C-7
- FOR DETAILED PLAN, SEE DWG C-9
- FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
- FOR LANDSCAPE PLAN, SEE DWG L-1
- FOR LANDSCAPE DETAILS, SEE DWG L-3
- FOR ELECTRICAL PLAN, SEE DWG E-1
- FOR ELECTRICAL DETAILS, SEE DWG E-3

<p>P.E.L.A. DESIGN, INC. PLANNERS, ENGINEERS, LANDSCAPE ARCHITECTS</p> <p>212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21204 (410) 296-5545</p>	<p>DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS</p> <p style="text-align: center;">MONTGOMERY COUNTY</p> <p style="text-align: center;">DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240)-777-3650</p>	<p>APPROVED _____ DATE: _____</p> <p>DESIGNED: _____</p> <p>DRAWN: JH/SC</p> <p>CHECKED: LT/TL</p>	<p style="text-align: center;">KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION</p> <p>PELA PROJECT NO.: 95.040.01L2</p> <p>BID NUMBER: _____</p> <p>PROJECT/JOB NUMBER: 779618</p>	<p style="text-align: center;">DEMOLITION PLAN (1)</p> <p style="text-align: center;">90% CONSTRUCTION DOCUMENTS</p>	<p>DATE: 11/05/99</p> <p>SCALE</p> <p>PLAN: 1" = 20'</p> <p>SECTION: _____</p>	<p style="text-align: center;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	DESCRIPTION										<p style="text-align: center;">DRAWING</p> <p style="text-align: center; font-size: 2em;">C-3</p> <p>NO: 7</p> <p>OF: 28</p>
DATE	BY	DESCRIPTION																	



- DEMOLITION NOTES**
- D-1 REMOVE CONCRETE PAVING
 - D-2 REMOVE BIT. CONC. PAVING
 - D-3 REMOVE CONCRETE CURB
 - D-4 REMOVE BIT. CONC. CURB
 - D-5 REMOVE INLET
 - D-6 REMOVE CONCRETE WALL
 - D-7 REMOVE BRICK PAVING
 - D-8 REMOVE BRICK PLANTER
 - D-9 REMOVE CONCRETE STEPS
 - D-10 REMOVE PLANTING AREA
 - D-11 PROTECT EX. TREE. SEE DETAIL 8/C-11.
- LIMIT OF DEMOLITION

DEMOLITION NOTES

- GENERAL NOTE:
THE CONTRACTOR SHALL REMOVE ALL ENCUMBRANCES TO THE COMPLETION OF CONSTRUCTION OF THE HOWARD AVENUE STREETSCAPE PROJECT IN COMPLETE ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND PROJECT MANUAL.
- THE CONTRACTOR IS TO INSPECT THE SITE PRIOR TO BID.
 - THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 FORTY-EIGHT (48) HOURS PRIOR TO START OF ANY CONSTRUCTION WORK.
 - THE CONTRACTOR IS TO COORDINATE HIS DEMOLITION ACTIVITIES WITH THE PROPERTY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY PROPERTY DAMAGE CAUSED BY HIS WORK CREWS OR ANY SUB-CONTRACTORS WHICH IS NOT PART OF THE PLANS.
 - THE SCOPE OF WORK INCLUDES ALL AREAS WITH IN THE ENCLOSED LIMIT OF DEMOLITION/CONSTRUCTION LINE, INCLUDING UNDERGROUND UTILITIES, SIGNS, PUBLIC SIDEWALKS, DRIVEWAYS, PLANTERS, TIMBERS, AND ALL ATTENDANT FEATURES. CURB & GUTTER IS INTENDED TO REMAIN UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR IS TO PROVIDE SEQUENCE OF DEMOLITION, CONSTRUCTION, AND MAINTENANCE OF PEDESTRIAN TRAFFIC PLAN PRIOR TO REMOVAL OF ANY SIDEWALK. ACCESS TO ALL BUILDING ENTRANCES SHALL BE MAINTAINED DURING THE CONSTRUCTION PERIOD.
 - CAUTION SHALL BE TAKEN WHEN EXCAVATING SIDEWALK MATERIAL FROM IN FRONT OF OR ALONGSIDE ANY BUILDING WALL.
 - ALL ITEMS TO BE STOCKPILED FOR REINSTALLATION SHALL BE PROTECTED FROM DAMAGE AND SECURELY STORED.
 - THE CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNERS REGARDING THE DISPOSAL OF ALL FLOWER POTS LOCATED WITHIN THE LIMIT OF DISTURBANCE.

SPECIAL NOTE TO THE CONTRACTOR
HOWARD AVENUE IS FREQUENTED BY SHOPPERS AS WELL AS RESIDENTS OF THIS AREA. THE CONTRACTOR IS OBLIGED TO KEEP THE AREA IN A CONDITION WHICH IS SAFE FOR THE PUBLIC. ALSO, SEE DEMOLITION NOTE # 5.

DEMOLITION ITEMS	QUANTITY
CONC. WALK	468 SY
CONC. CURB & GUTTER	777 LF
MACADAM CURB	88 LF
BIT. CONC. PAVING	1398 SY
SAWCLUT 4"-6"	373 LF
SAWCLUT 8"-10"	1043 LF
TREES	3 EA
PLANTING AREA	102 SY

LEGEND

- LIMIT OF DEMOLITION
- SITE FEATURE TO BE REMOVED

CROSS REFERENCES

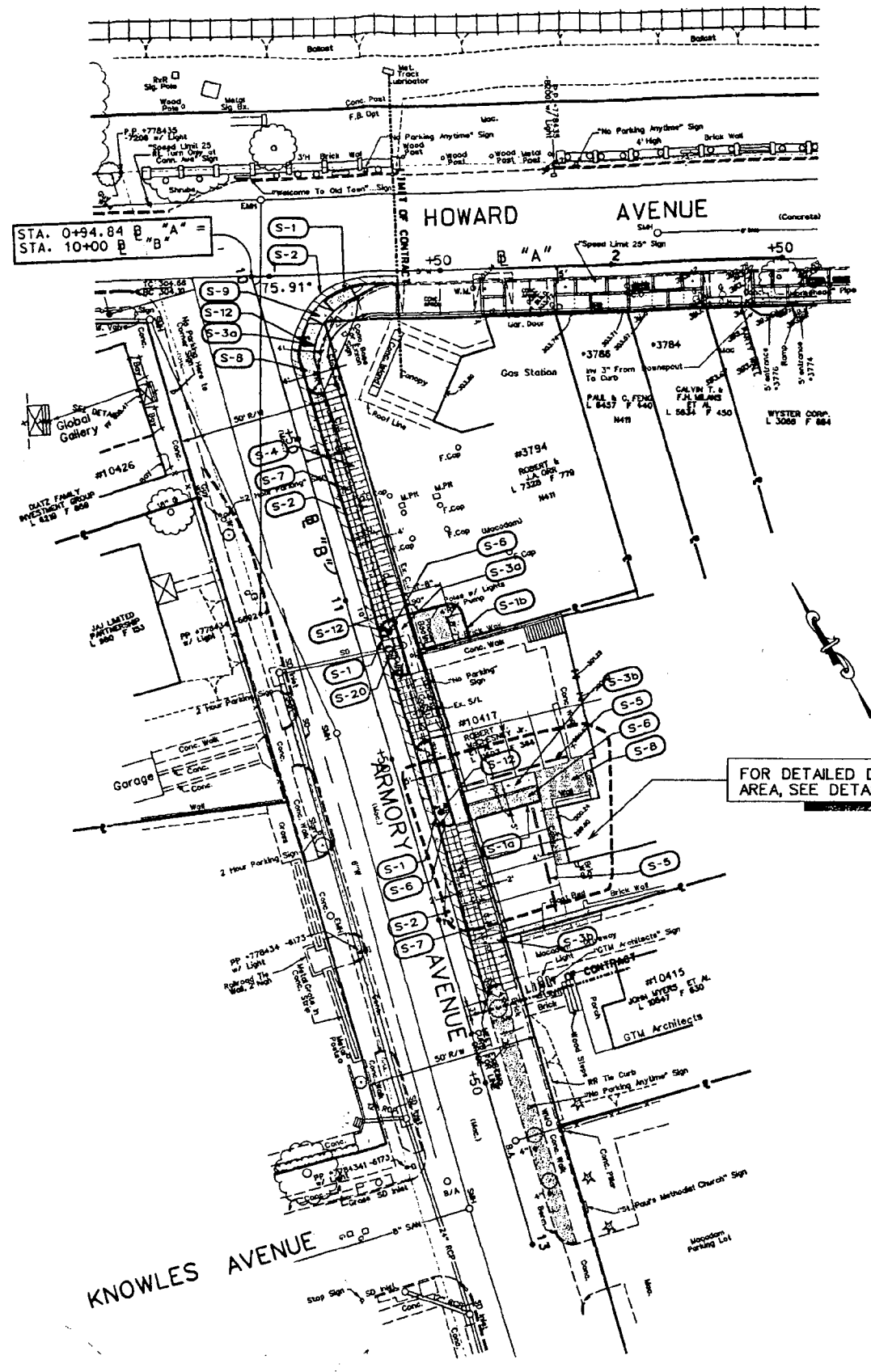
- FOR EXISTING CONDITIONS, SEE DWG C-2
- FOR SITE PLAN, SEE DWG C-6
- FOR GRADING PLAN, SEE DWG C-8
- FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
- FOR LANDSCAPE PLAN, SEE DWG L-2
- FOR LANDSCAPE DETAILS, SEE DWG L-3
- FOR ELECTRICAL PLAN, SEE DWG E-2
- FOR ELECTRICAL DETAILS, SEE DWG E-3

FOR REVIEW ONLY-NOT FOR CONSTRUCTION

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SITE CONSTRUCTION NOTES

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL 8/C-14
- S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- S-3b INSTALL CONC. PAVEMENT.
- S-4 INSTALL PEDESTRIAN CROSSWALK. SEE DETAIL 3&4/C-14
- S-5 INSTALL CONC. WHEEL STOP. SEE DETAIL 7/C-14
- S-6 INSTALL PLANTING AREA. SEE LANDSCAPE PLAN L-1 OR DETAIL ON SHEET L-3
- S-7 INSTALL CONC. APRON. SEE DETAIL 4/C-12
- S-8 INSTALL BRICK PAVING. SEE DETAIL 6/C-15
- S-9 INSTALL H.C. RAMP. SEE DETAIL 3/C-12
- S-10 INSTALL TRASH RECEPTACLES. SEE DETAIL 3/C-13
- S-11 INSTALL WOOD BENCHES. SEE DETAIL 3/C-12
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- S-21 INSTALL BRICK PIERS. SEE DETAIL 3/C-15
- S-22 INSTALL METAL FENCE. SEE DETAIL 1, 2, & 4/C-15
- S-23 INSTALL BIT. CONC. PAVEMENT. SEE DETAIL
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- S-25 INSTALL BIKE RACK. SEE DETAIL 7/C-15
- S-26 INSTALL CONCRETE PLANTER. SEE DETAIL 6/C-14
- S-27 INSTALL TRENCH DRAIN
- S-28 INSTALL 3" PVC DRAIN WITH CLEANOUT AND CURB SLEEVE



CONSTRUCTION ITEMS	QUANTITY
CONC. CURB & GUTTER	227 LF
CONC. S/W	38 SY
CONC. CROSSWALK	65 SY
BRICK S/W PAVING	28 SY
CONC. APRON	75 SY
LIGHT FOOTINGS	4 EA
BIT. CONC. PATCHING	55 SY
INLET PROTECTION	1 EA

CONC. CURB LOCATIONS

STATION	OFFSET	DESCRIPTION
10+13.83	40.71' LT	BEGINNING OF CONC. CURB
10+26.02	6.50' LT	END OF CONC. CURB
11+11.78	6.91' LT	BEGINNING OF CONC. CURB
11+24.08	6.95' LT	END OF CONC. CURB
11+50.06	7.10' LT	BEGINNING OF CONC. CURB
11+71.06	7.14' LT	END OF CONC. CURB
12+26.81	6.77' LT	END OF CONC. DEPRESSED CURB

CONC. APRON LOCATIONS

STATION	OFFSET	DESCRIPTION
10+23.91	7.23' LT	CONC. APRON
11+37.07	7.53' LT	CONC. APRON
11+91.33	7.50' LT	CONC. APRON
12+16.41	7.34' LT	CONC. APRON

STREET LIGHT LOCATIONS

STATION	OFFSET	DESCRIPTION
10+33.22	8.04' LT	STREET LIGHT
11+12.82	9.80' LT	STREET LIGHT
11+69.17	9.30' LT	STREET LIGHT
12+27.86	9.00' LT	STREET LIGHT

CONC. CURB LOCATIONS

STATION	OFFSET	DESCRIPTION
10+38.34	11.12' LT	BEGINNING OF CROSSWALK
11+09.05	12.36' LT	END OF CROSSWALK
11+27.05	12.36' LT	BEGINNING OF CROSSWALK
11+47.05	12.36' LT	END OF CROSSWALK
11+74.05	12.36' LT	BEGINNING OF CROSSWALK
12+08.59	12.36' LT	END OF CROSSWALK
12+10.88	12.36' LT	BEGINNING OF CROSSWALK
12+25.29	12.36' LT	END OF CROSSWALK

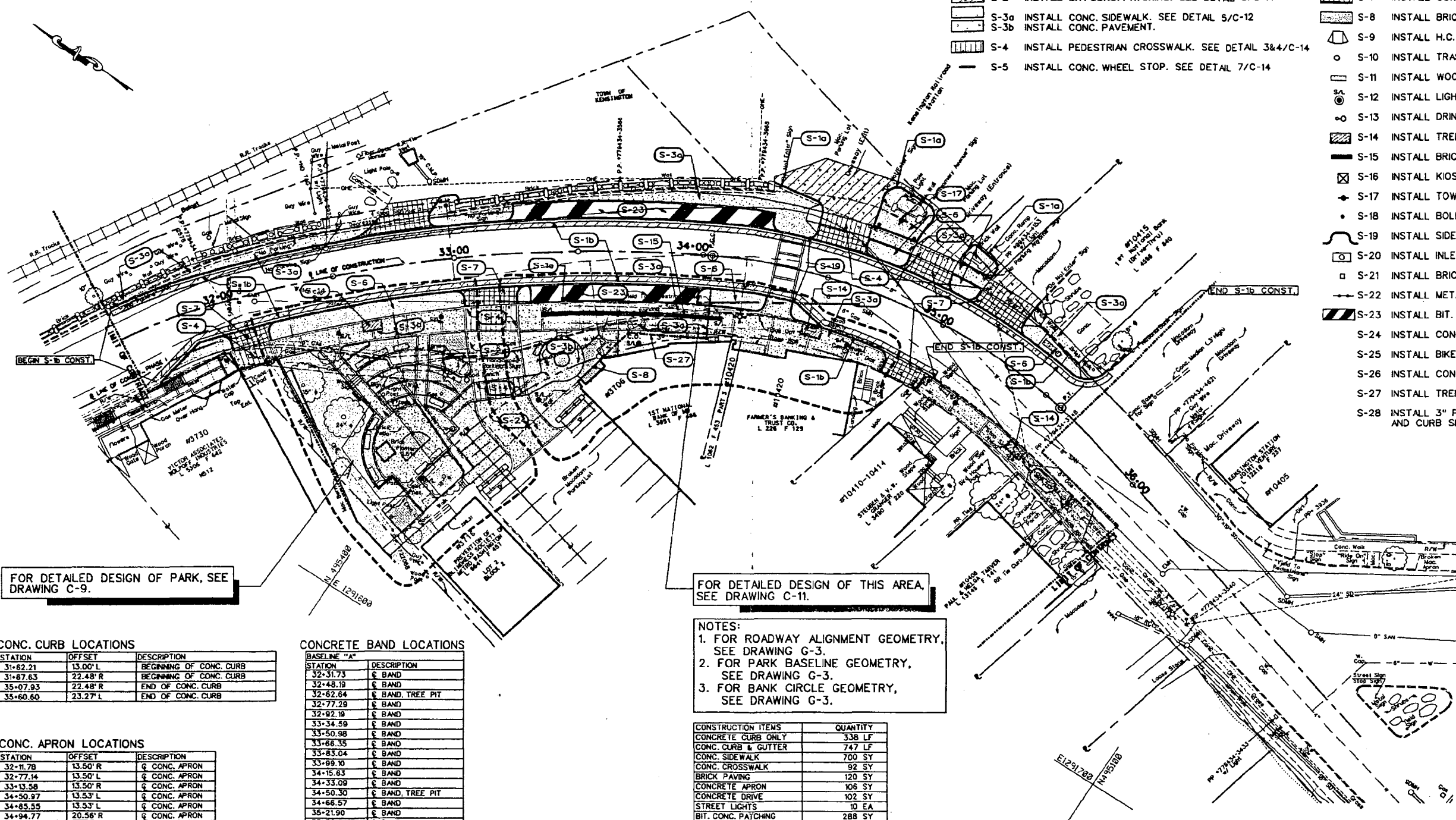
CROSS REFERENCES

- FOR EXISTING CONDITIONS, SEE DWG C-1
- FOR DEMOLITION PLAN, SEE DWG C-3
- FOR GRADING PLAN, SEE DWG C-7
- FOR DETAILED PLAN, SEE DWG C-9
- FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
- FOR LANDSCAPE PLAN, SEE DWG L-1
- FOR LANDSCAPE DETAILS, SEE DWG L-3
- FOR ELECTRICAL PLAN, SEE DWG E-1
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							DATE	BY	DESCRIPTION										
<p>SITE PLAN (1)</p> <p>90% CONSTRUCTION DOCUMENTS</p>																			

SITE CONSTRUCTION NOTES

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- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL 8/C-14
- S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- S-3b INSTALL CONC. PAVEMENT.
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FOR DETAILED DESIGN OF PARK, SEE DRAWING C-9.

FOR DETAILED DESIGN OF THIS AREA, SEE DRAWING C-11.

NOTES:
 1. FOR ROADWAY ALIGNMENT GEOMETRY, SEE DRAWING G-3.
 2. FOR PARK BASELINE GEOMETRY, SEE DRAWING G-3.
 3. FOR BANK CIRCLE GEOMETRY, SEE DRAWING G-3.

CONC. CURB LOCATIONS

STATION	OFFSET	DESCRIPTION
31+62.21	13.00' L	BEGINNING OF CONC. CURB
31+87.63	22.48' R	BEGINNING OF CONC. CURB
35+07.93	22.48' R	END OF CONC. CURB
35+60.60	23.27' L	END OF CONC. CURB

CONCRETE BAND LOCATIONS

STATION	DESCRIPTION
32+31.73	€ BAND
32+48.19	€ BAND
32+62.64	€ BAND, TREE PIT
32+77.29	€ BAND
32+92.19	€ BAND
33+34.59	€ BAND
33+50.98	€ BAND
33+66.35	€ BAND
33+83.04	€ BAND
33+99.10	€ BAND
34+15.63	€ BAND
34+33.09	€ BAND
34+50.30	€ BAND, TREE PIT
34+66.57	€ BAND
35+21.90	€ BAND
35+38.84	€ BAND
35+56.06	€ BAND, TREE PIT
35+72.40	€ BAND
35+86.88	€ BAND

CONC. APRON LOCATIONS

STATION	OFFSET	DESCRIPTION
32+11.78	13.50' R	€ CONC. APRON
32+77.14	13.50' L	€ CONC. APRON
33+13.58	13.50' R	€ CONC. APRON
34+50.97	13.53' L	€ CONC. APRON
34+85.55	13.53' L	€ CONC. APRON
34+94.77	20.56' R	€ CONC. APRON
35+19.97	13.52' L	€ CONC. APRON

STREET LIGHT LOCATIONS

STATION	OFFSET	DESCRIPTION
32+48.19	23.18' R	€ STREET LIGHT
32+92.79	23.00' R	€ STREET LIGHT
33+35.08	25.17' R	€ STREET LIGHT
34+15.05	25.00' R	€ STREET LIGHT
34+66.57	23.38' R	€ STREET LIGHT
35+21.90	22.22' R	€ STREET LIGHT

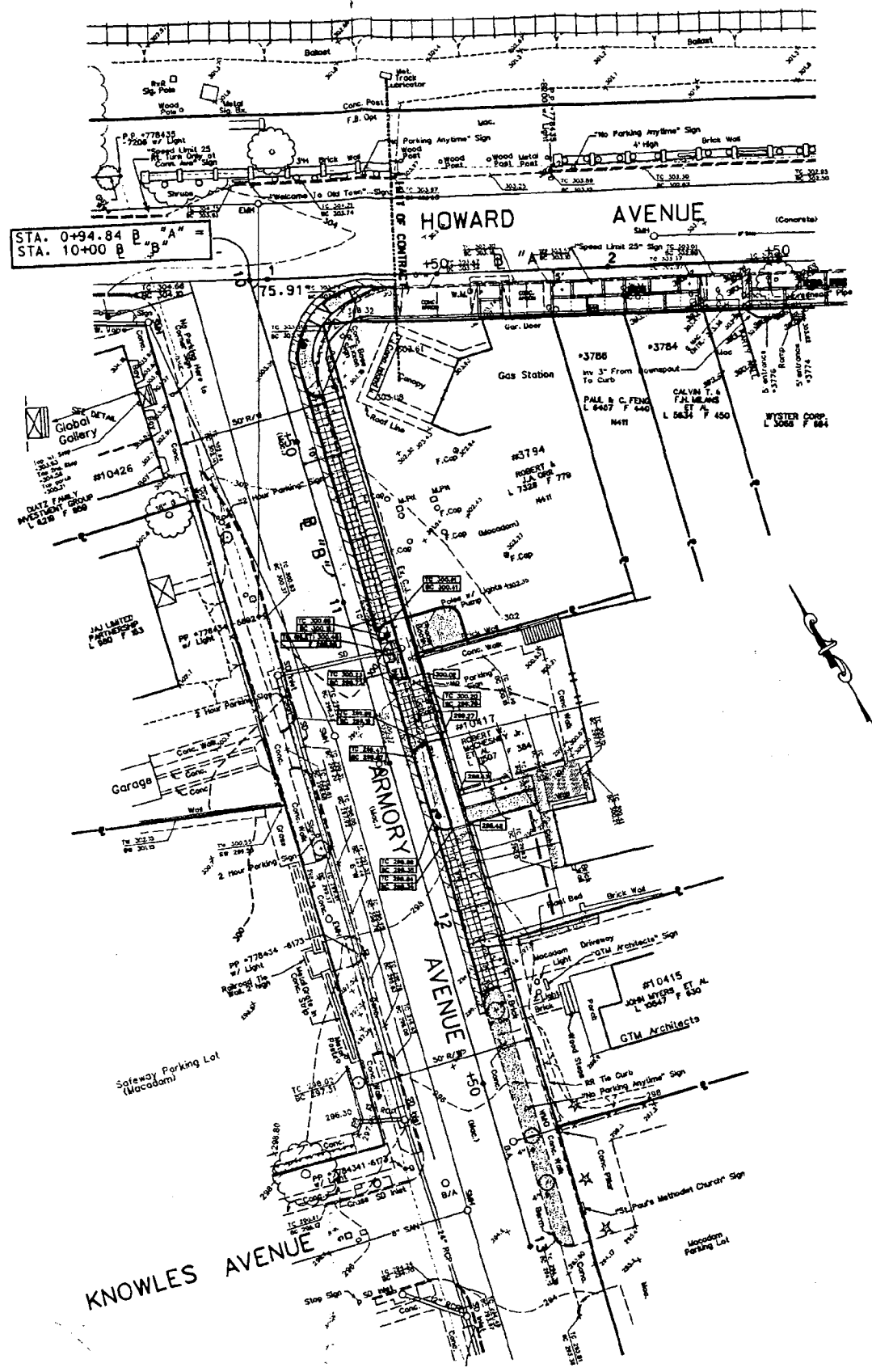
CONSTRUCTION ITEMS	QUANTITY
CONCRETE CURB ONLY	338 LF
CONC. CURB & GUTTER	747 LF
CONC. SIDEWALK	700 SY
CONC. CROSSWALK	92 SY
BRICK PAVING	120 SY
CONCRETE APRON	106 SY
CONCRETE DRIVE	102 SY
STREET LIGHTS	10 EA
BIT. CONC. PATCHING	288 SY
HANDICAP RAMPS	5 EA
CONC. STEPS	28 LF
BRICK VENEER WALL	100 LF
BRICK PIERS	4 EA
METAL PICKET FENCING	20 LF
TREE PIT	3 EA
PLANTING AREA	374 SY
TRASH RECEPTACLES	4 EA
WOOD BENCHES	22 EA
DRINKING FOUNTAIN	1 EA
BOLLARDS	2 EA
TOWN CLOCK	1 EA
TRENCH DRAIN	11 LF

CROSS REFERENCES

FOR EXISTING CONDITIONS, SEE DWG C-2
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR GRADING PLAN, SEE DWG C-5
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE PLAN, SEE DWG L-2
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

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CROSS REFERENCES
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 FOR DEMOLITION PLAN, SEE DWG C-3
 FOR SITE PLAN, SEE DWG C-5
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 SUITE 100
 TOWSON, MD. 21284
 (410) 298-5543

DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS
MONTGOMERY COUNTY
 DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND
 (240)-777-3650

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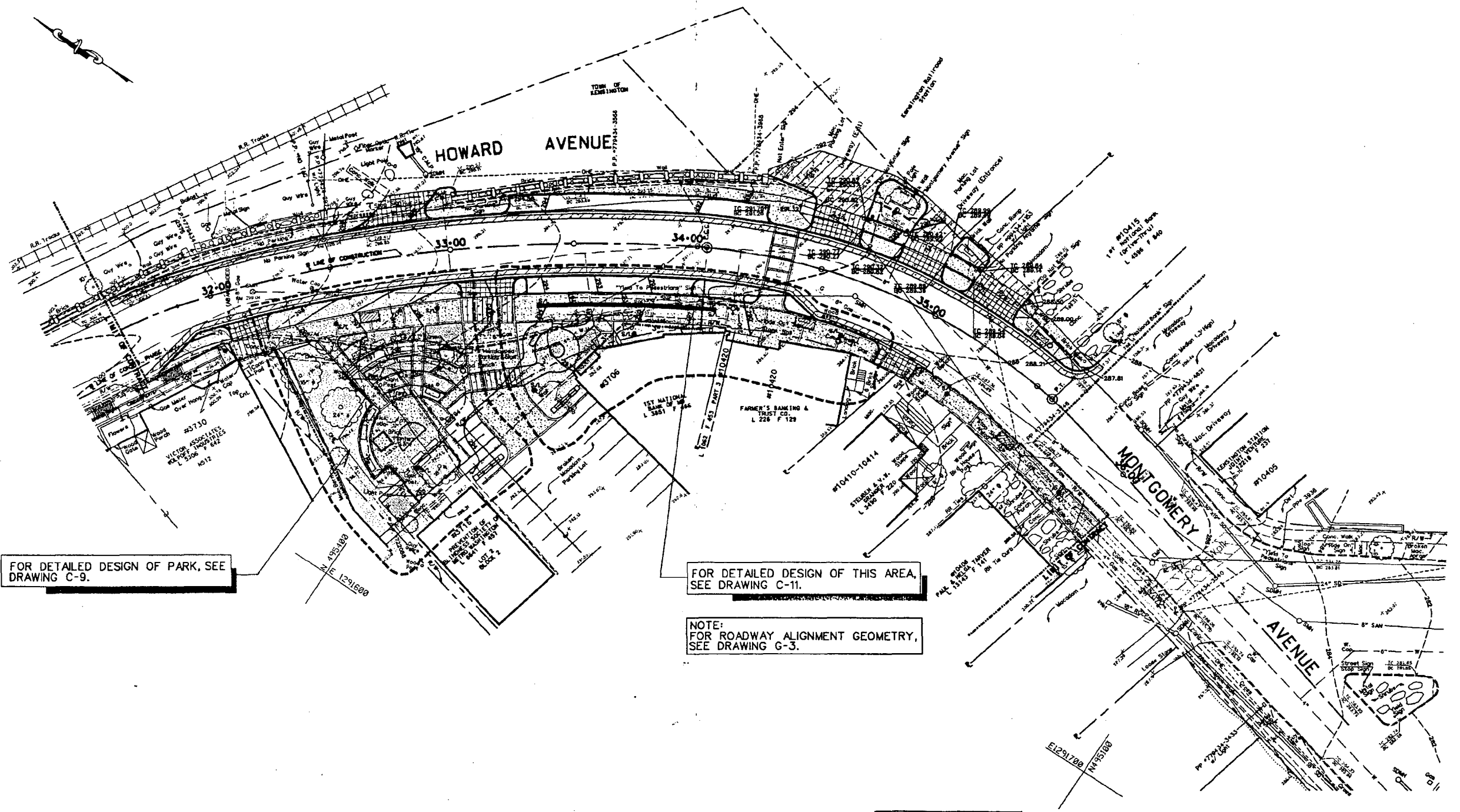
**KENSINGTON STREETSCAPE PROJECT
 PHASE II CONSTRUCTION**
 PELA PROJECT NO.: 95.040.01L2
 B/D NUMBER:
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GRADING PLAN (1)
 90% CONSTRUCTION DOCUMENTS

DATE: 11/05/99
 SCALE
 PLAN: 1" = 20'
 SECTION:

REVISIONS		
DATE	BY	DESCRIPTION

DRAWING
C-7
 NO: 11
 OF: 26



FOR DETAILED DESIGN OF PARK, SEE DRAWING C-9.

FOR DETAILED DESIGN OF THIS AREA, SEE DRAWING C-11.

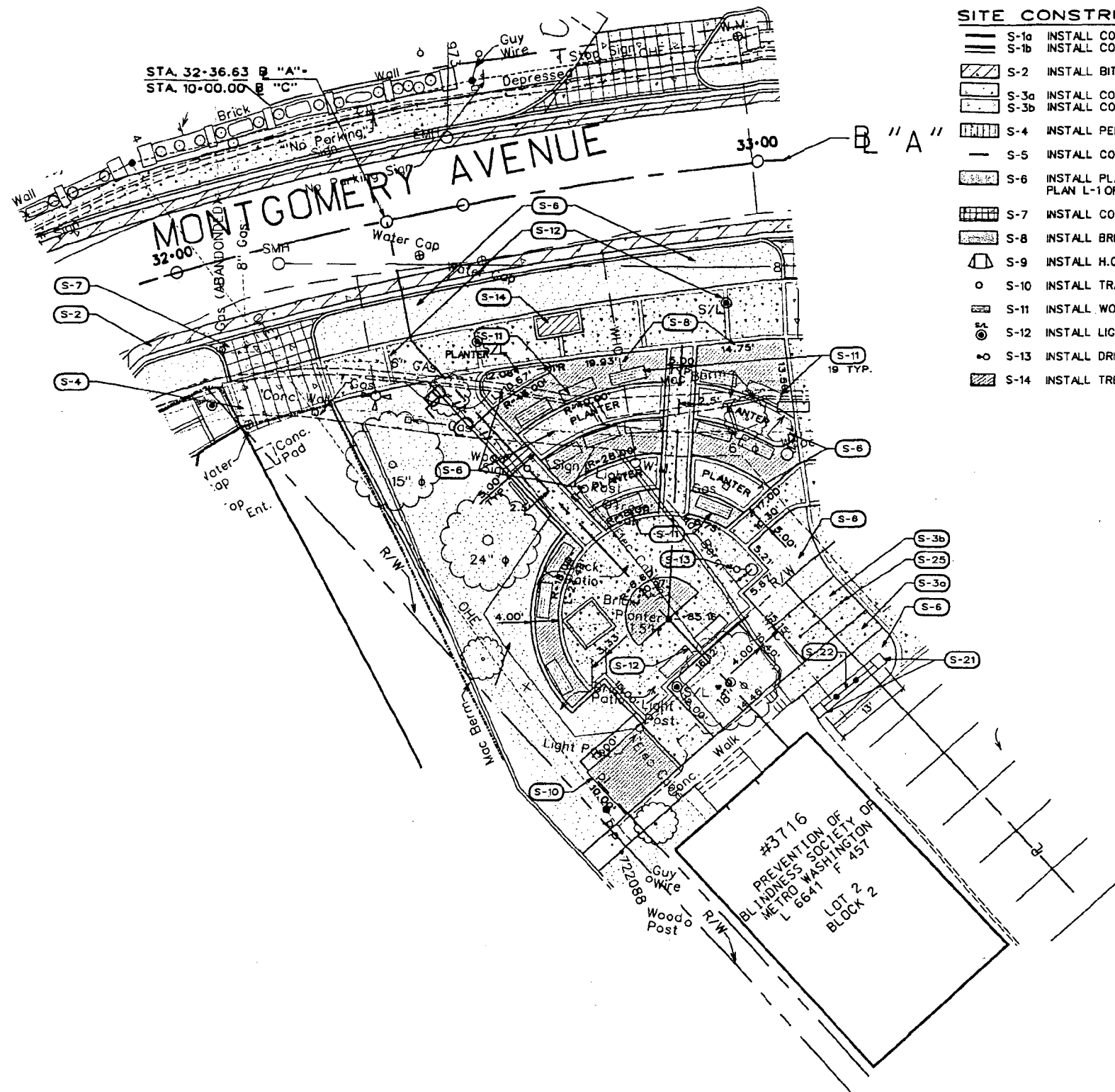
NOTE: FOR ROADWAY ALIGNMENT GEOMETRY, SEE DRAWING G-3.

DETAILED LAYOUT OR GRADING PLANS	
PLANS	SEE DWG. NO.
HOWARD AVE. PARK	C-9
BRICK PIER & WALL AND FENCE	C-13
PLAZA IN FRONT OF THE BANK	C-9

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P.E.L.A. DESIGN, INC. 212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21284 (410) 296-5545																									

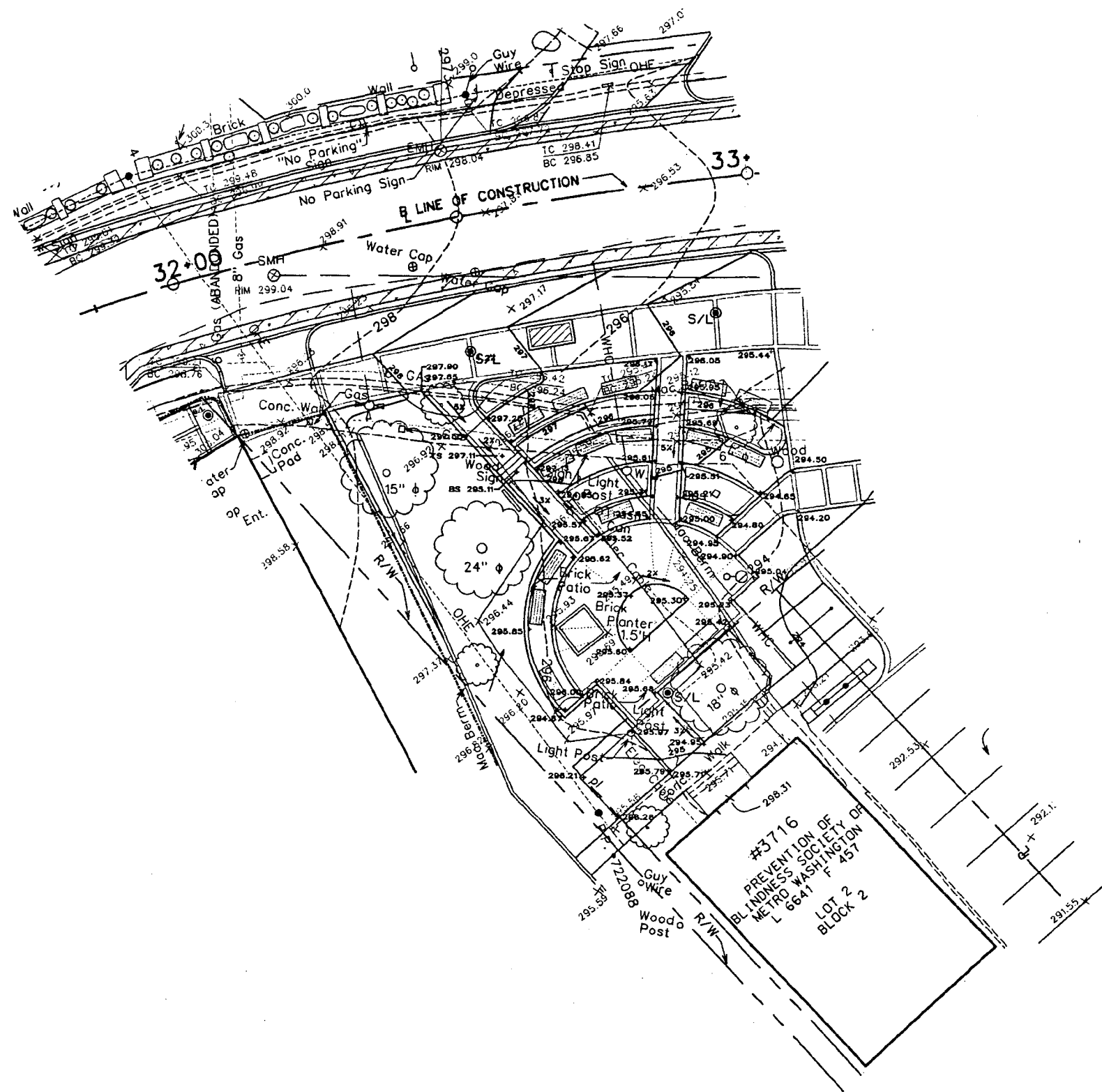


SITE CONSTRUCTION NOTES

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL 8/C-14
- S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- S-3b INSTALL CONC. PAVEMENT.
- S-4 INSTALL PEDESTRIAN CROSSWALK. SEE DETAIL 3&4/C-14
- S-5 INSTALL CONC. WHEEL STOP. SEE DETAIL 7/C-14
- S-6 INSTALL PLANTING AREA. SEE LANDSCAPE PLAN L-1 OR DETAIL ON SHEET L-3
- S-7 INSTALL CONC. APRON. SEE DETAIL 4/C-12
- S-8 INSTALL BRICK PAVING. SEE DETAIL 6/C-15
- S-9 INSTALL H.C. RAMP. SEE DETAIL 3/C-12
- S-10 INSTALL TRASH RECEPTACLES. SEE DETAIL 3/C-13
- S-11 INSTALL WOOD BENCHES. SEE DETAIL 3/C-12
- S-12 INSTALL LIGHTS. SEE SHEETS E-1, 2, & 3
- S-13 INSTALL DRINKING FOUNTAIN. SEE DETAIL 5/C-14
- S-14 INSTALL TREE PIT. SEE DETAIL 2/C-12
- S-15 INSTALL BRICK WALL. SEE DETAIL 2&5/C-15
- S-16 INSTALL KIOSKS
- S-17 INSTALL TOWN CLOCK. SEE DETAIL 4/C-13
- S-18 INSTALL BOLLARDS. SEE DETAIL 8/C-14
- S-19 INSTALL SIDEWALK EXTENDER
- S-20 INSTALL INLET M.C. STANDARD
- S-21 INSTALL BRICK PIERS. SEE DETAIL 3/C-15
- S-22 INSTALL METAL FENCE. SEE DETAIL 1, 2, & 4/C-15
- S-23 INSTALL BIT. CONC. PAVEMENT. SEE DETAIL
- S-24 INSTALL CONCRETE DRIVE. SEE DETAIL 6/C-12
- S-25 INSTALL BIKE RACK. SEE DETAIL 7/C-15
- S-26 INSTALL CONCRETE PLANTER. SEE DETAIL 6/C-14
- S-27 INSTALL TRENCH DRAIN
- S-28 INSTALL 3" PVC DRAIN WITH CLEANOUT AND CURB SLEEVE

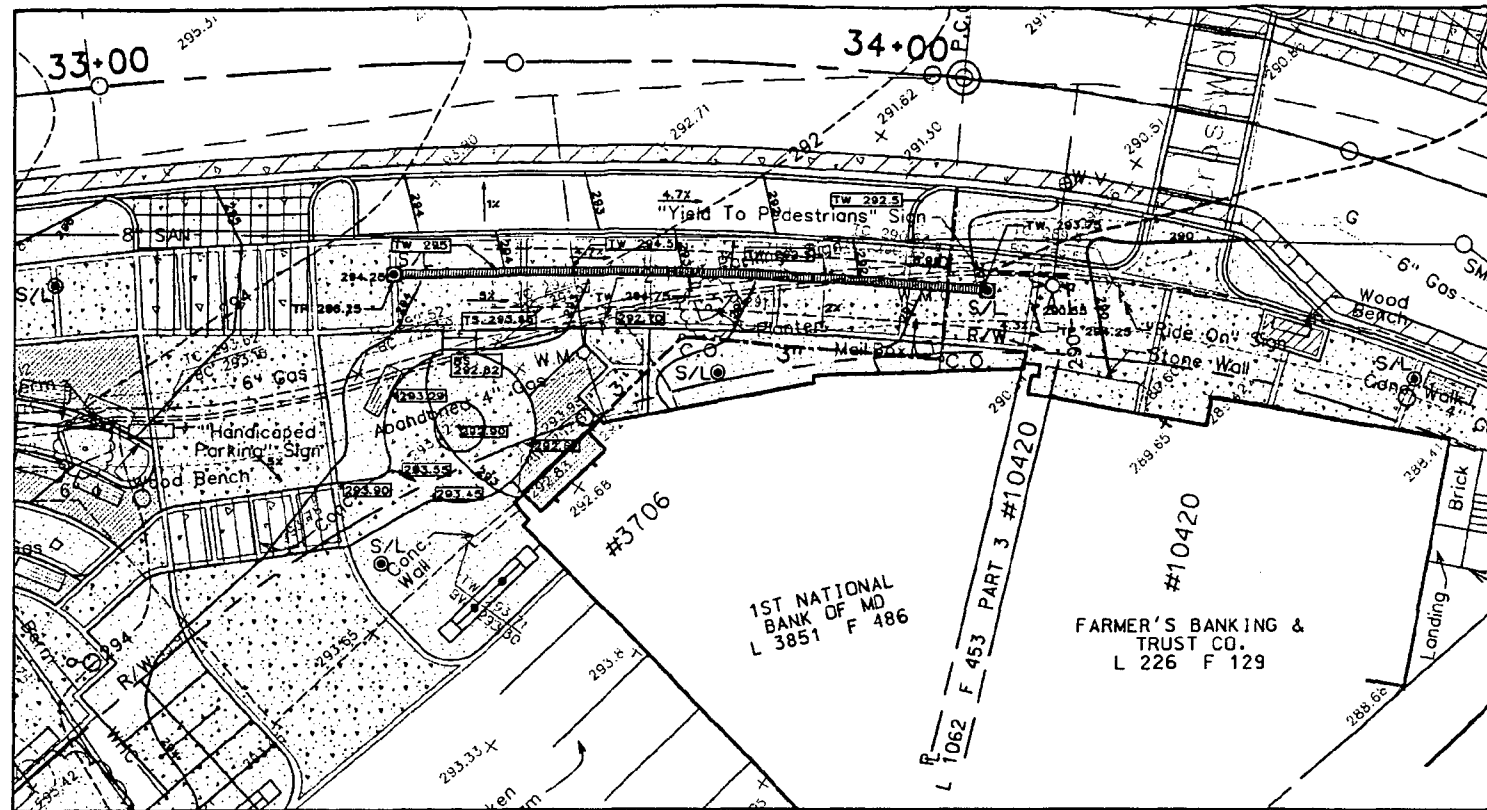
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<p>P.E.L.A. DESIGN, INC. PLANNING, ENGINEERING, LANDSCAPE ARCHITECTS</p> <p>212 WASHINGTON AVENUE SUITE 100 BALTIMORE, MD. 21204 (410) 296-5545</p>	<p>DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS</p> <p>MONTGOMERY COUNTY</p> <p>DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL. ROCKVILLE, MARYLAND (240) 777-3650</p>	<p>APPROVED _____</p> <p>DATE _____</p> <p>DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT</p>	<p>DESIGNED: _____</p> <p>DRAWN: BRS</p> <p>CHECKED: LT/TL</p>	<p>KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION</p> <p>PELA PROJECT NO.: 95.040.01L2</p> <p>BID NUMBER: 6771000001</p> <p>PROJECT/JOB NUMBER: 769616</p>	<p>DETAILED PARK LAYOUT AND CONSTRUCTION PLAN</p> <p>90% CONSTRUCTION DOCUMENTS SUBMITTAL</p>	DATE: 11-05-1999	REVISIONS		<p>DRAWING</p> <p>C-9</p> <p>NO: 13</p> <p>OF: 26</p>
						SCALE	DATE	BY	



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P.E.L.A. DESIGN, INC. <small>PLANNING, ENGINEERING, LANDSCAPE ARCHITECTS</small> 212 WASHINGTON AVENUE SUITE 100 BALTIMORE, MD. 21204 (410) 296-5545	DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS MONTGOMERY COUNTY DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240) 777-3650	APPROVED _____ <small>DATE:</small>	DESIGNED: _____ DRAWN: BRS CHECKED: LT/TL	KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.040.01L2 BID NUMBER: 6771000001 PROJECT/JOB NUMBER: 769616	DETAILED PARK GRADING PLAN 90% CONSTRUCTION DOCUMENTS SUBMITTAL	DATE: 11-05-1999 SCALE PLAN: 1" = 10' SECTION:	<table border="1"> <thead> <tr> <th colspan="3">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS			DATE	BY	DESCRIPTION										DRAWING C-10 NO: 14 OF: 25
		REVISIONS																					
DATE	BY	DESCRIPTION																					
<small>DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT</small>		_____ <small>DATE:</small>	_____	_____	_____	_____	_____																

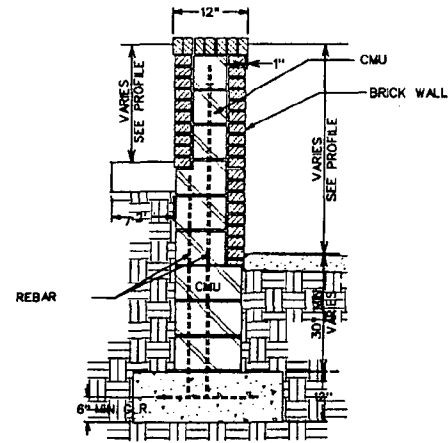
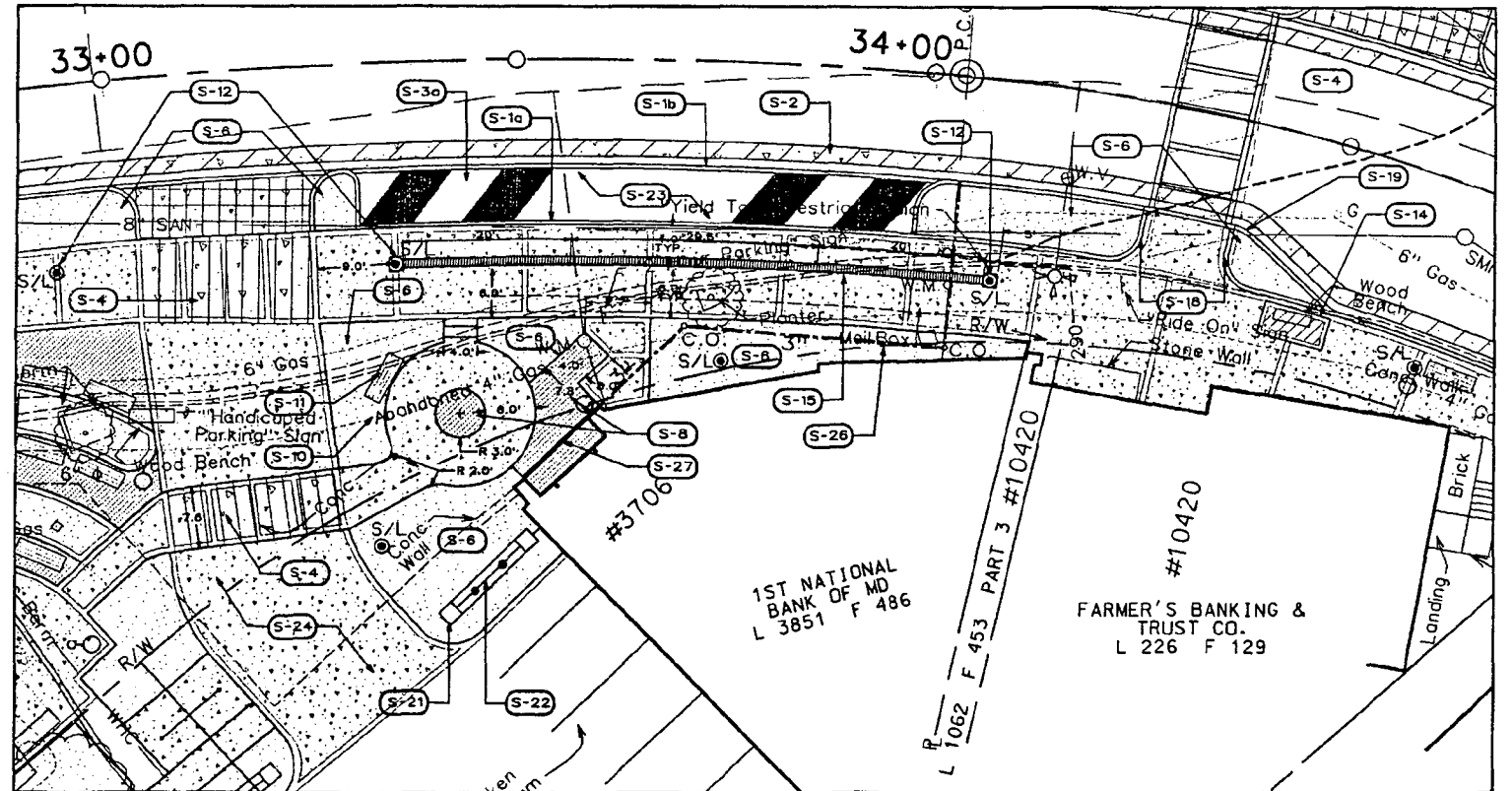


DETAILED GRADING PLAN

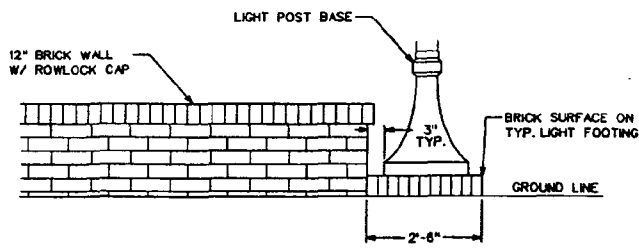
SITE CONSTRUCTION NOTES

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL 8/C-14
- S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- S-3b INSTALL CONC. PAVEMENT.
- S-4 INSTALL PEDESTRIAN CROSSWALK. SEE DETAIL 3&4/C-14
- S-5 INSTALL CONC. WHEEL STOP. SEE DETAIL 7/C-14
- S-6 INSTALL PLANTING AREA. SEE LANDSCAPE PLAN L-1 OR DETAIL ON SHEET L-3
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- S-9 INSTALL H.C. RAMP. SEE DETAIL 3/C-12
- S-10 INSTALL TRASH RECEPTACLES. SEE DETAIL 3/C-13
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- S-14 INSTALL TREE PIT. SEE DETAIL 2/C-12
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- S-22 INSTALL METAL FENCE. SEE DETAIL 1, 2, & 4/C-15
- S-23 INSTALL BIT. CONC. PAVEMENT. SEE DETAIL
- S-24 INSTALL CONCRETE DRIVE. SEE DETAIL 6/C-12
- S-25 INSTALL BIKE RACK. SEE DETAIL 7/C-15
- S-26 INSTALL CONCRETE PLANTER. SEE DETAIL 6/C-14
- S-27 INSTALL TRENCH DRAIN
- S-28 INSTALL 3" PVC DRAIN WITH CLEANOUT AND CURB SLEEVE

DETAILED SITE LAYOUT & DIMENSIONING PLAN



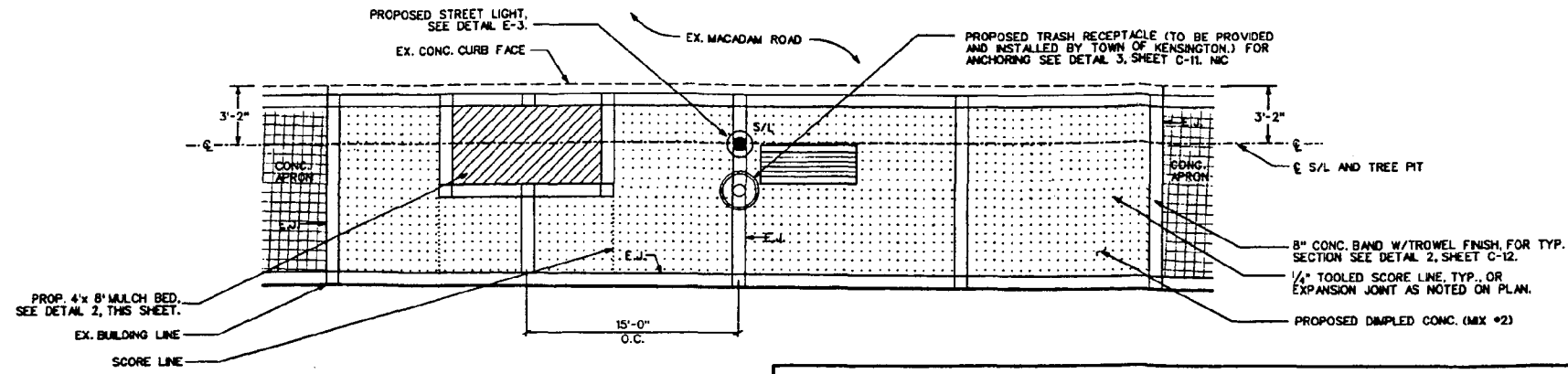
1 BRICK WALL DETAIL
C-11 SCALE: N.T.S.



2 WALL END @ LIGHT ELEVATION
C-11 SCALE: N.T.S.

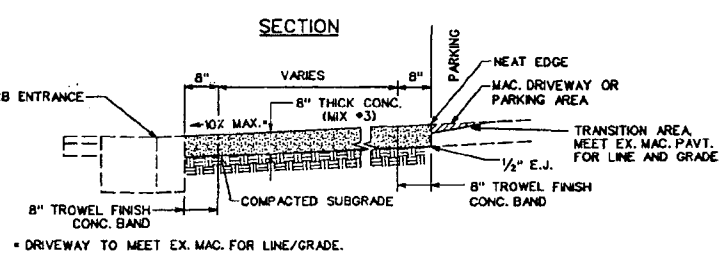
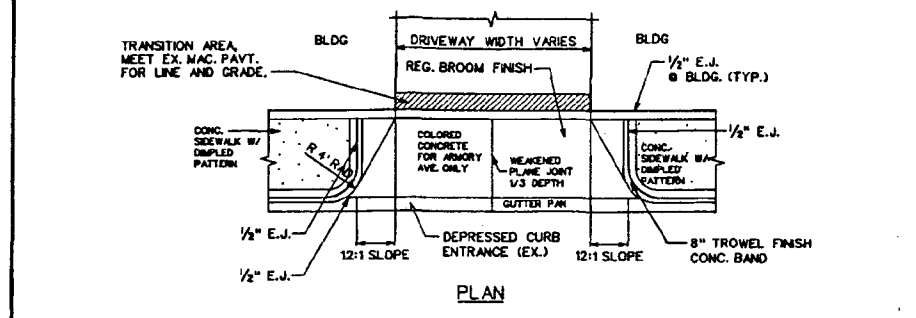
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<p>P.E.L.A. DESIGN, INC. PLANNERS, ENGINEERS, LANDSCAPE ARCHITECTS</p> <p>212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21204 (410) 298-5545</p>	<p>DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS</p> <p>MONTGOMERY COUNTY</p> <p>DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240) 777-3550</p>	<p>APPROVED _____</p> <p>DATE: _____</p>	<p>DESIGNED: LT/TL/BR/S</p> <p>DRAWN: BR/S/SC</p> <p>CHECKED: LT/TL</p>	<p>KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION</p> <p>PELA PROJECT NO.: 95.040.01L2</p> <p>BID NUMBER: 6771000001</p> <p>PROJECT/JOB NUMBER: 769616</p>	<p>BANK ENTRANCE DETAILED PLANS</p> <p>90% CONSTRUCTION DOCUMENTS SUBMITTAL</p>	DATE: 11-05-1999	REVISIONS		DRAWING
						SCALE	DATE	BY	
						PLAN: 1" = 10'-0"			NO: 15
						SECTION:			OF: 26

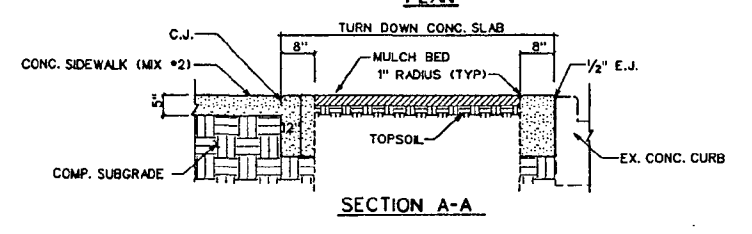
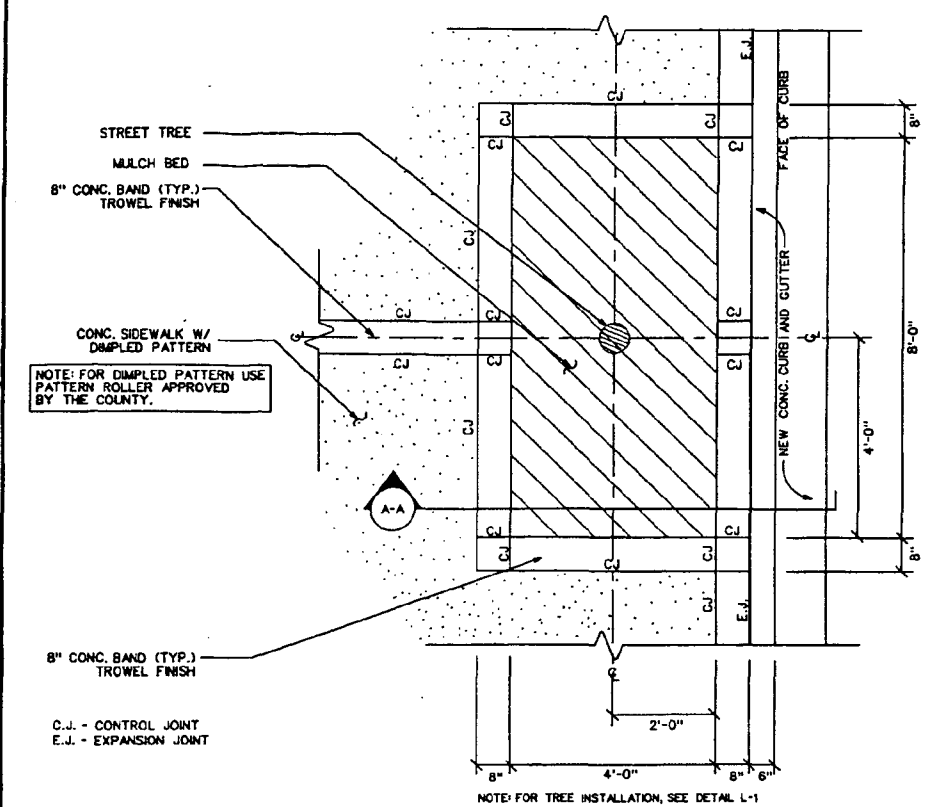


- LAYOUT NOTES:**
1. FOR LOCATIONS OF THE CONCRETE BANDS, STREET LIGHTS, TRASH RECEPTACLES, AND BENCHES ALONG ARMORY AND HOWARD AVENUE/MONTGOMERY AVENUE SEE SITE PLANS (1) & (2), DWG.'S C-5 & C-6.
 2. ALL DIMENSIONS ARE MEASURED FROM THE ROADSIDE CURB FACE.
 3. THE SCORING PATTERN ABOVE IS TYPICAL AND MAY BE ADJUSTED WITH APPROVAL OF THE COUNTY.

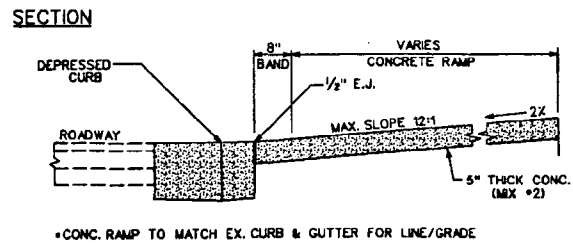
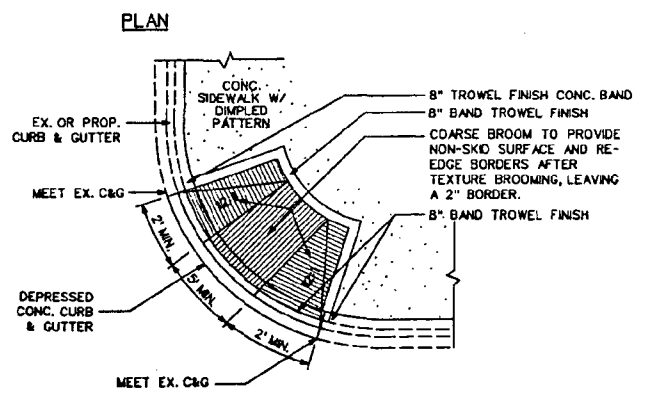
1 TYPICAL SIDEWALK LAYOUT PLAN
C-12 SCALE: 1/4" = 1'-0"



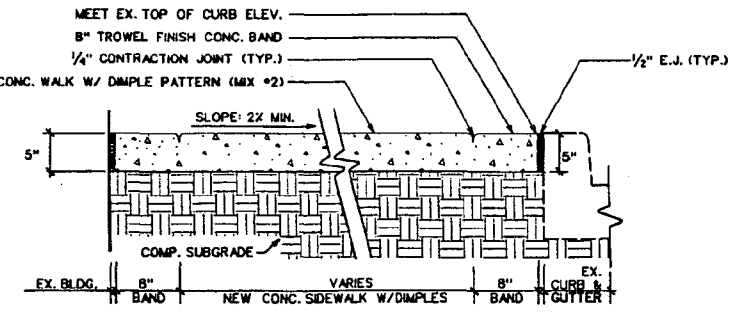
4 CONCRETE APRON DETAIL
C-12 NOT-TO-SCALE
FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6



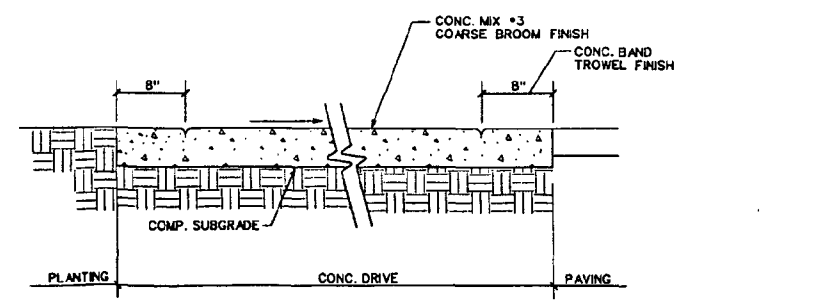
2 TREE PIT DETAILS
C-12 NOT-TO-SCALE
FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6



3 HANDICAP RAMP DETAIL
C-12 NOT-TO-SCALE
FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6

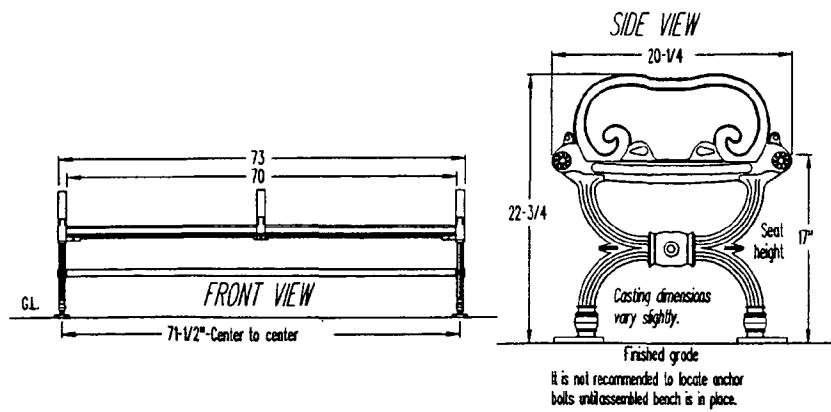


5 CONCRETE SIDEWALK SECTION
C-12 NOT-TO-SCALE
FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6

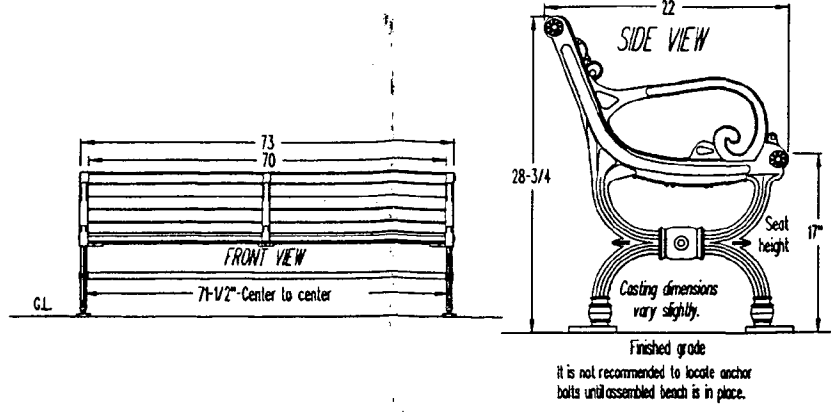


6 DETAIL-CONC. DRIVEWAY
C-12 NOT-TO-SCALE AT BANKS PARKING

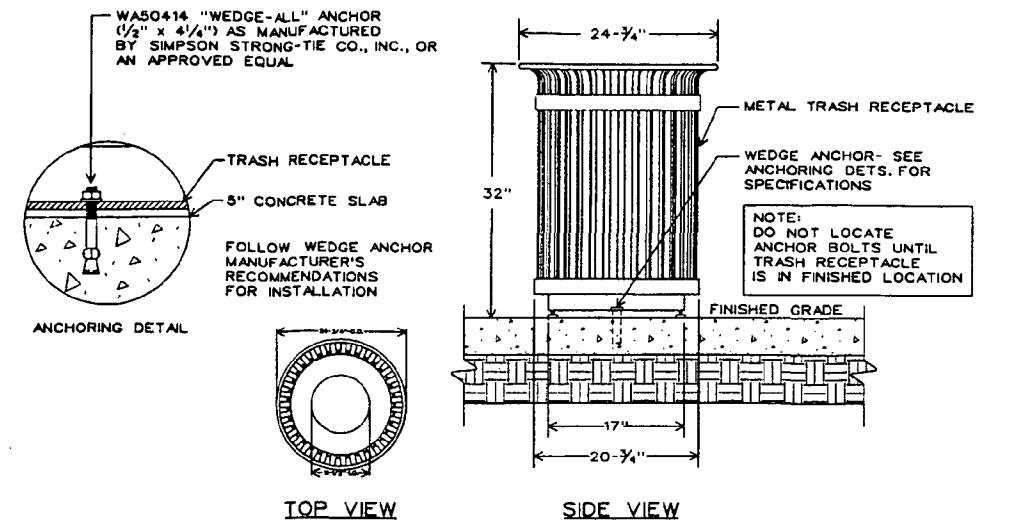
P.E.L.A. DESIGN, INC. PLANNERS, DESIGNERS, LANDSCAPE ARCHITECTS 212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21284 (410) 298-5545	DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS MONTGOMERY COUNTY DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240)-777-3650	APPROVED _____ DATE: _____	DESIGNED: TSH DRAWN: JAH/TSH CHECKED: TJL/LT	KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.040.01L2 BID NUMBER: PROJECT/JOB NUMBER: 779618	DATE: 11/05/99 SCALE: PLAN: AS SHOWN SECTION: AS SHOWN	REVISIONS DATE BY DESCRIPTION	DRAWING C-12 NO: 16 OF: 28
	SITE CONSTRUCTION DETAILS (1) 90% CONSTRUCTION DOCUMENTS			NO. OF REVISIONS: _____			DRAWING NO: 16 OF: 28



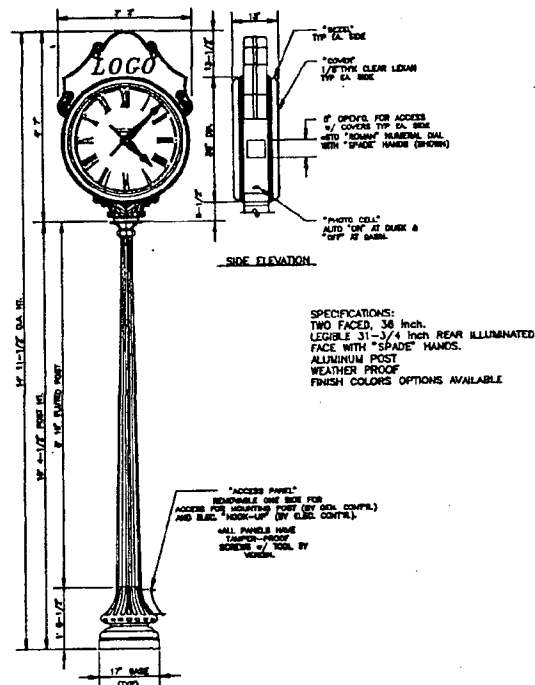
1 BENCH DETAIL (1)
 C-13 VICTOR STANLEY MODEL #C-7, STANDARD SIX FOOT LENGTH SCALE: NTS



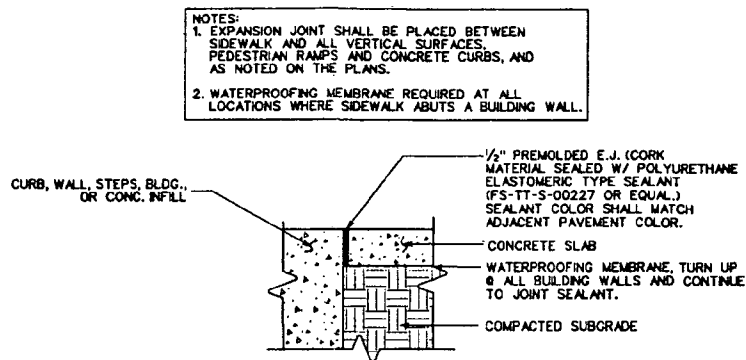
2 BENCH DETAIL (2)
 C-13 VICTOR STANLEY MODEL #C-10, STANDARD SIX FOOT LENGTH SCALE: NTS



3 DETAIL-TRASH RECEPTACLE AND ANCHORING
 C-13 - VICTOR STANLEY MODEL #1-S-35 (24 GAL.) N.T.S.

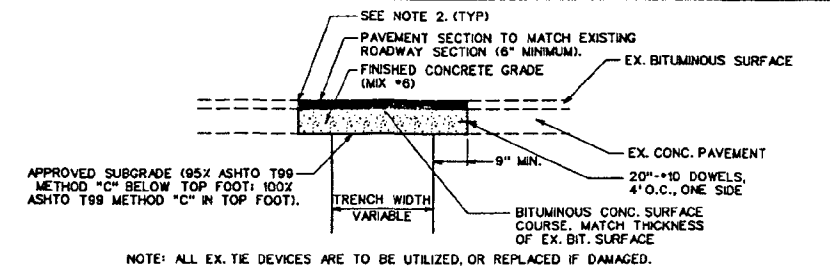


4 STREET CLOCK
 C-13 NOT-TO-SCALE

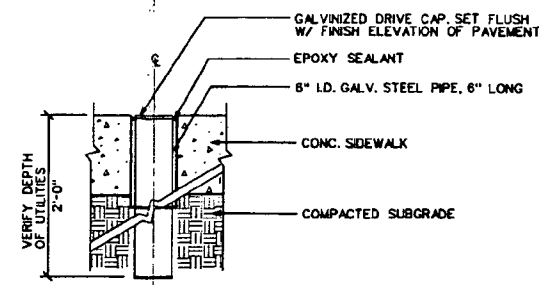


5 EXPANSION JOINT
 C-13 NOT-TO-SCALE

FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6

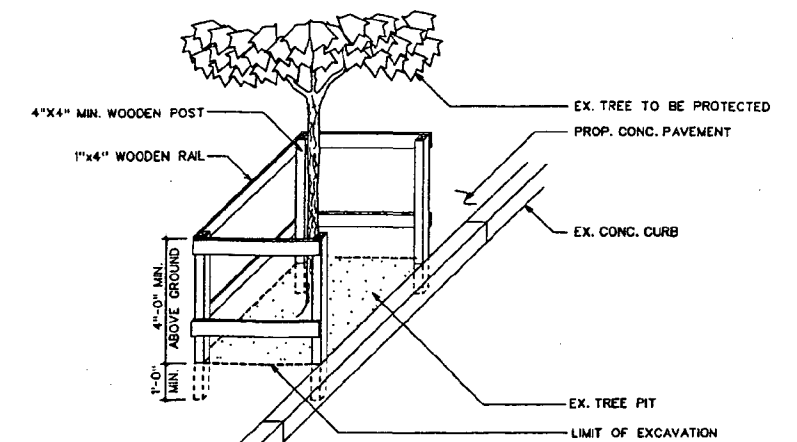


7 PAVING REPAIR DETAIL
 C-13 NOT-TO-SCALE



6 SIGN POLE SLEEVE DETAIL
 C-13 NOT TO SCALE

FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6



8 TREE PROTECTION DETAIL
 C-13 NOT TO SCALE

FOR PLAN LOCATIONS, SEE DWG. C-4

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MONTGOMERY COUNTY
 DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND
 (240)-777-3650

APPROVED _____ DATE: _____

DESIGNED: TSH
 DRAWN: JAH/TSH
 CHECKED: TJL/LT

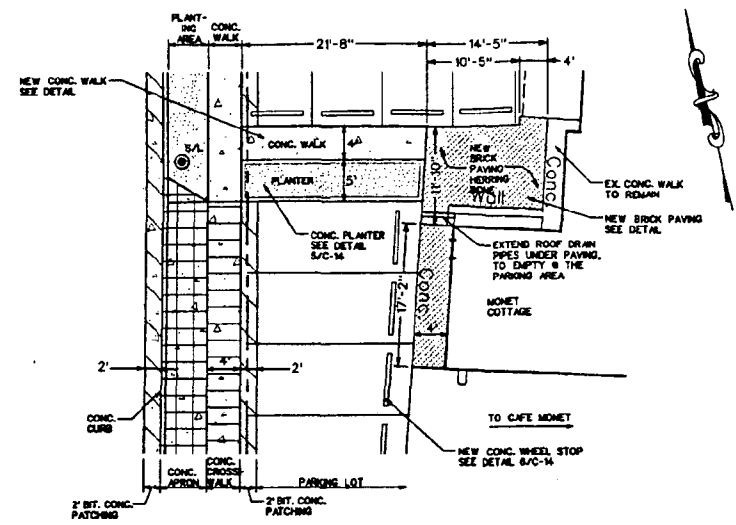
**KENSINGTON STREETSCAPE PROJECT
 PHASE II CONSTRUCTION**
 PELA PROJECT NO.: 95-040.01L2
 BID NUMBER:
 PROJECT/JOB NUMBER: 779618

SITE CONSTRUCTION DETAILS (2)
 90% CONSTRUCTION DOCUMENTS

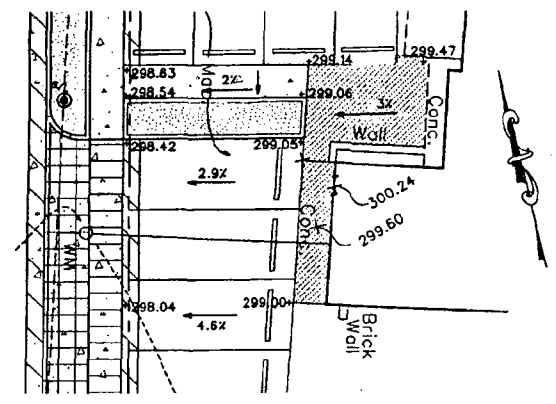
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 SCALE:
 PLAN: AS SHOWN
 SECTION: AS SHOWN

REVISIONS		
DATE	BY	DESCRIPTION

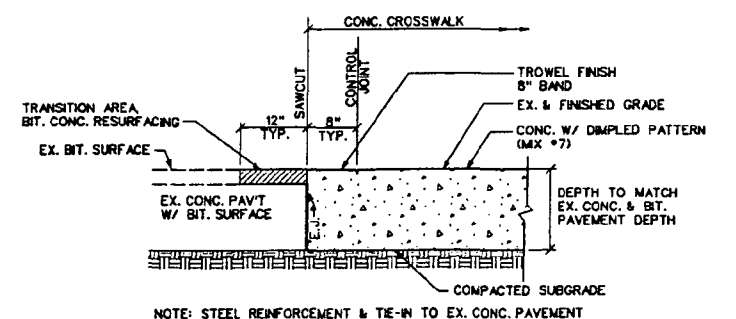
DRAWING
C-13
 NO: 17
 OF: 26



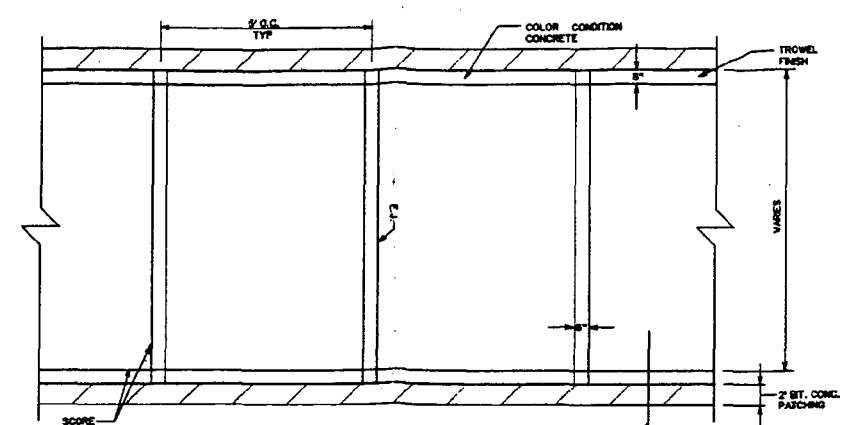
1a DETAILED LAYOUT PLAN
C-14 ARMORY AVE. SCALE: 1"=10'



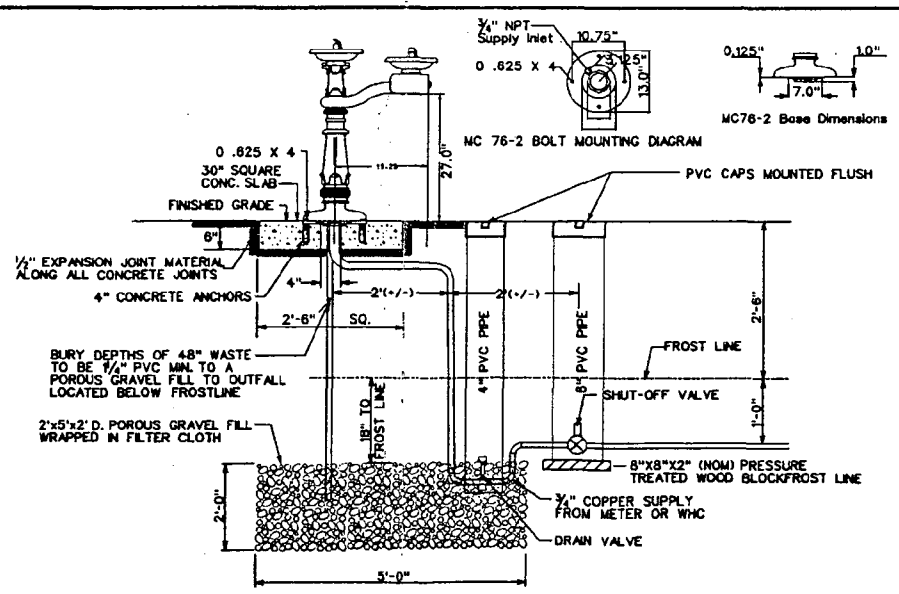
1b DETAILED GRADING PLAN
C-14 ARMORY AVE. SCALE: 1"=10'



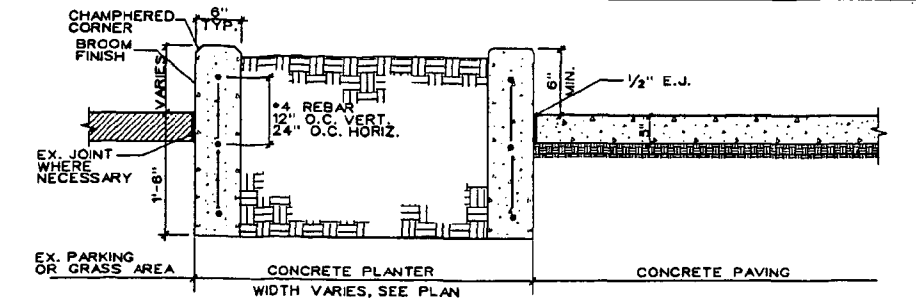
3 SECTION - CROSSWALK
C-14 NOT TO SCALE
FOR PLAN LOCATIONS, SEE DWG. C-5



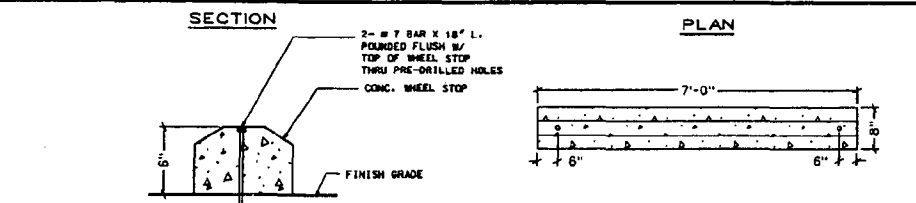
4 PEDESTRIAN CROSSWALK DETAIL
C-14 AS SHOWN



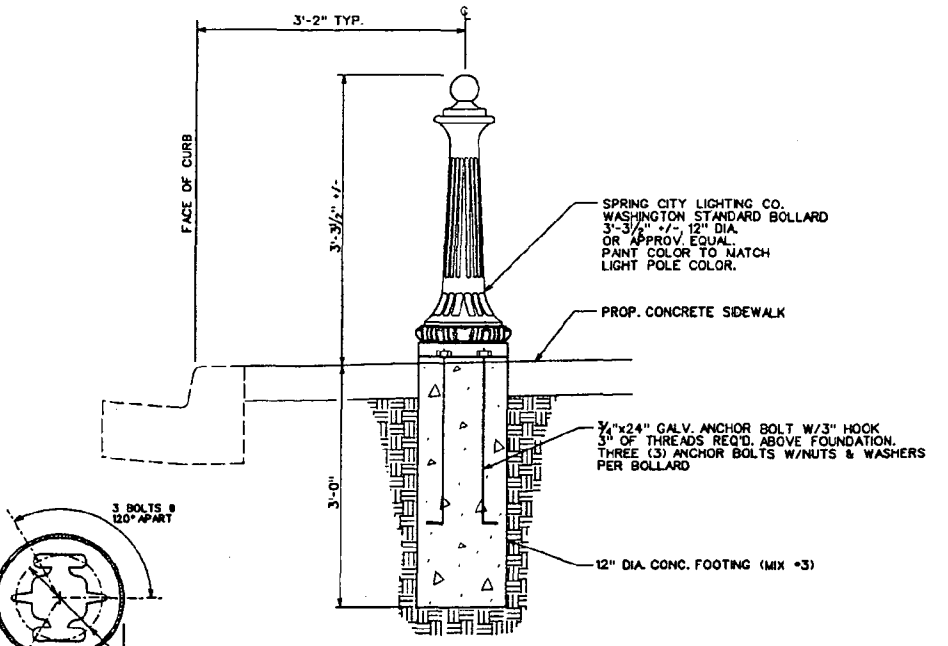
5 SECTION-DRINKING FOUNTAIN
C-14 MURDOCK MC 76-2 ADA ACCESSIBLE FOUNTAIN OR EQUAL N.T.S.
NOTE: CONTRACTOR TO SUPPLY OWNER WITH PROPER WRENCHES TO OPERATE BOTH THE DRAIN AND THE VALVE



6 SECTION-RAISED CONCRETE PLANTER
C-14 N.T.S.



7 CONC. WHEEL STOP DETAIL
C-14 N.T.S.



8 BOLLARD DETAIL
C-11 NOT-TO-SCALE

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APPROVED _____ DATE: _____

DESIGNED: TSH
DRAWN: JAH/TSH
CHECKED: TJL/LT

KENSINGTON STREETScape PROJECT
PHASE II CONSTRUCTION
PELA PROJECT NO.: 95.040.01L2
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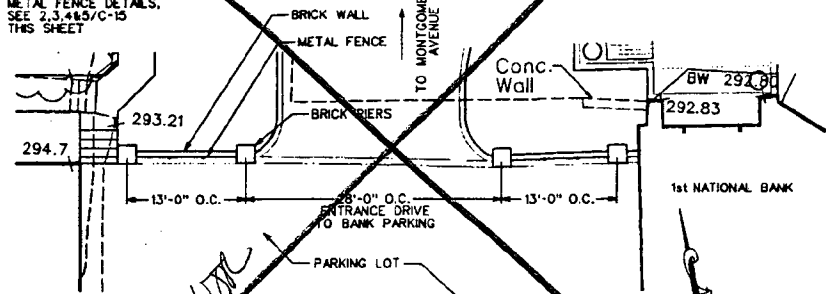
SITE CONSTRUCTION DETAILS (3)
90% CONSTRUCTION DOCUMENTS

DATE: 11/05/99
SCALE
PLAN: AS SHOWN
SECTION: AS SHOWN

REVISIONS	
DATE	DESCRIPTION

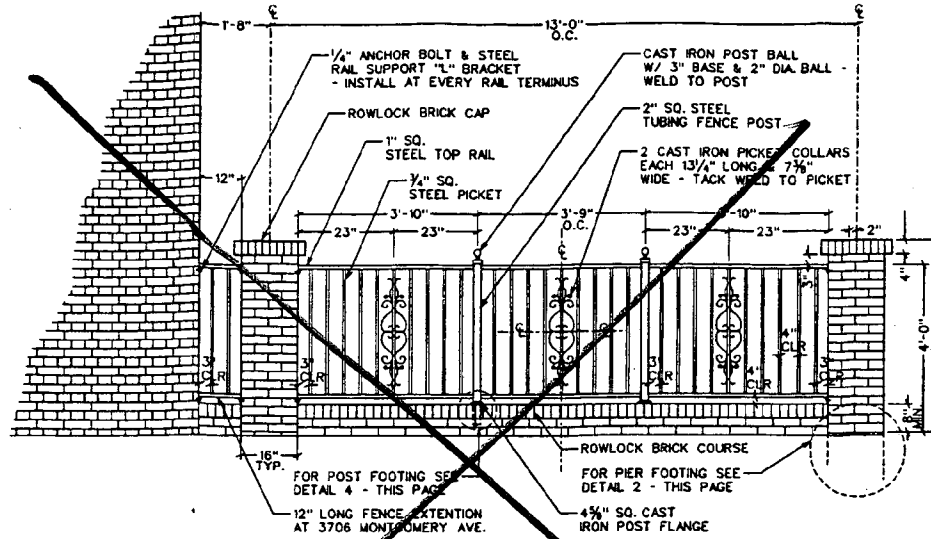
DRAWING
C-14
NO: 18
OF: 26

NOTE:
FOR BRICK PIERS,
BRICK WALLS AND
METAL FENCE DETAILS,
SEE 2.3.445/C-15
THIS SHEET



1 DETAILED LAYOUT PLAN
SCALE: N.T.S.

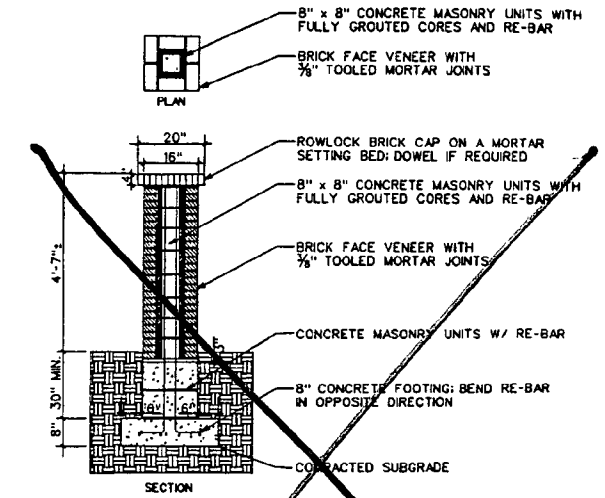
OMIT
C-15



- NOTE:
1. ALL STEEL FENCE MEMBERS SHALL BE OF WELD CONSTRUCTION, WITH ALL JOINTS GRINDING SMOOTH.
 2. FOR FINISH AND PAINTING OF ALL FENCE MEMBER SEE SPECIFICATION SECTION 02830.
 3. CAST IRON PICKET COLLAR SHALL BE ITEM #45-3-CIPC (PG. 11) BY KING SUPPLY CO. OR APPROVED EQUAL.
 4. POST BALL SHALL BE ITEM #45-121 (PG. 5) BY KING SUPPLY CO. OR APPROVED EQUAL.
 5. CAST IRON POST FLANGE SHALL BE ITEM #45-234-2 (PG. 10) BY KING SUPPLY CO. OR APPROVED EQUAL.
 6. STEEL RAIL SUPPORT "L" BRACKET SHALL BE ITEM #45-5 (PG. 20) BY KING SUPPLY CO. OR APPROVED EQUAL W/ "RAWL/LOK" STEEL ANCHOR BOLT (3/8" x 17/8").

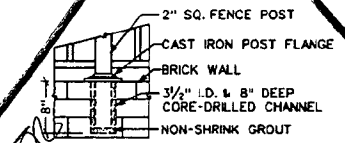
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C-15

2 METAL PICKET FENCE WITH MASONRY WALL AND PIERS DETAIL
NOT-TO-SCALE

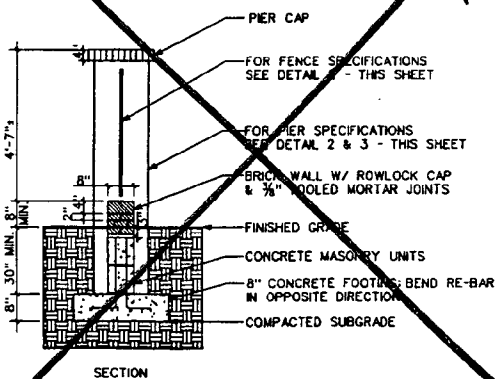
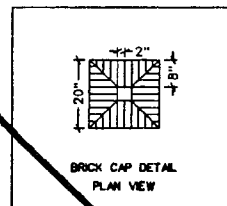


3 BRICK PIER FOOTING DETAIL
NOT-TO-SCALE

OMIT
C-15

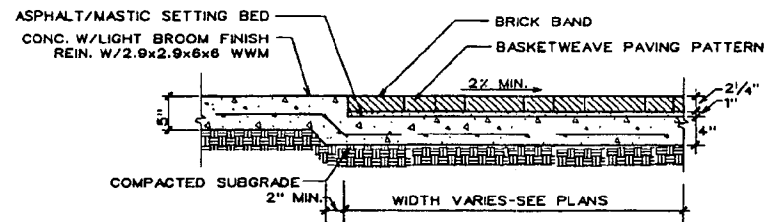


4 FENCE POST FOOTING DETAIL
IN BRICK WALL
NOT-TO-SCALE



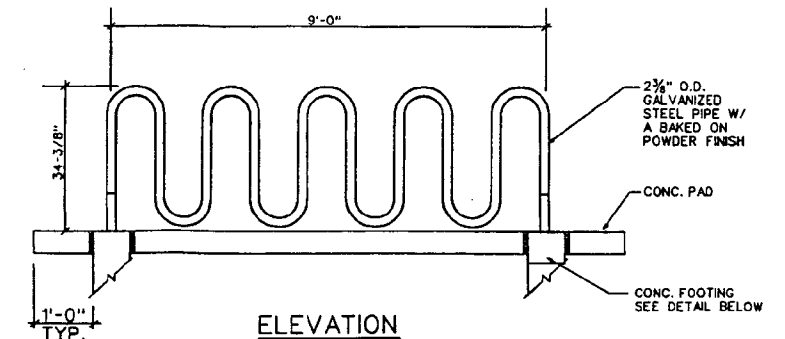
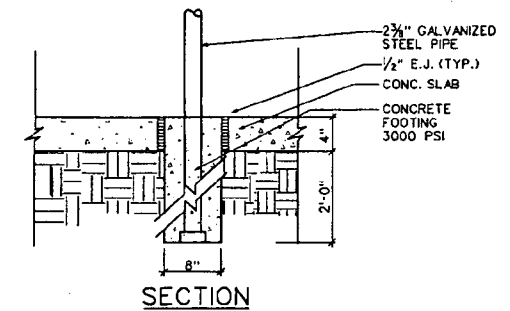
5 BRICK WALL FOOTING DETAIL
NOT-TO-SCALE

OMIT
C-15



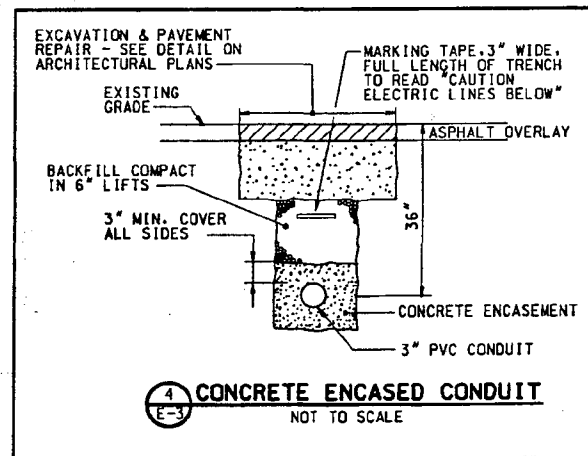
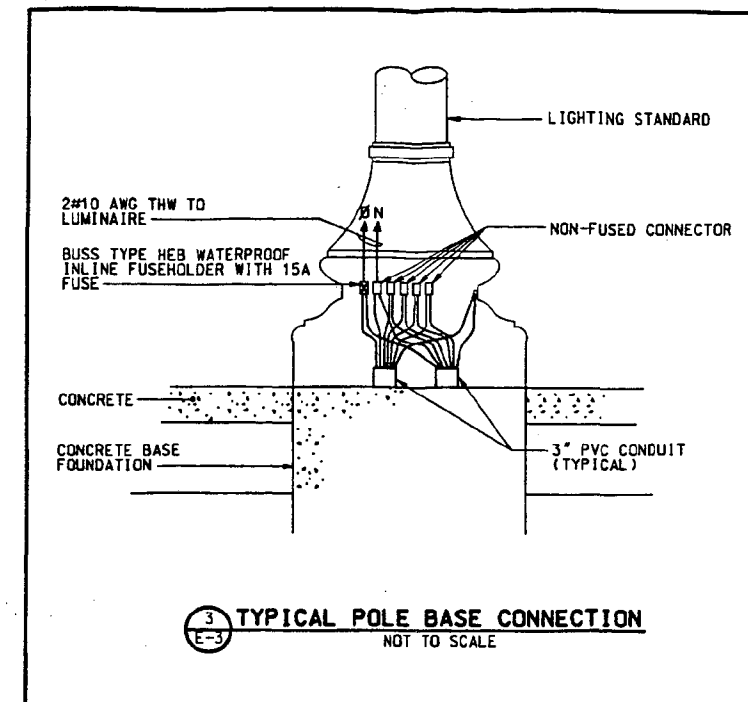
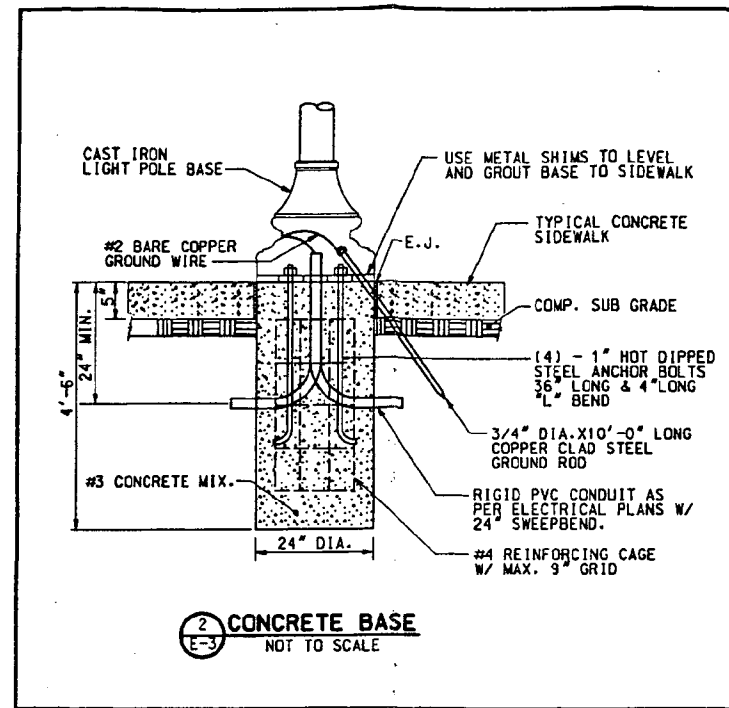
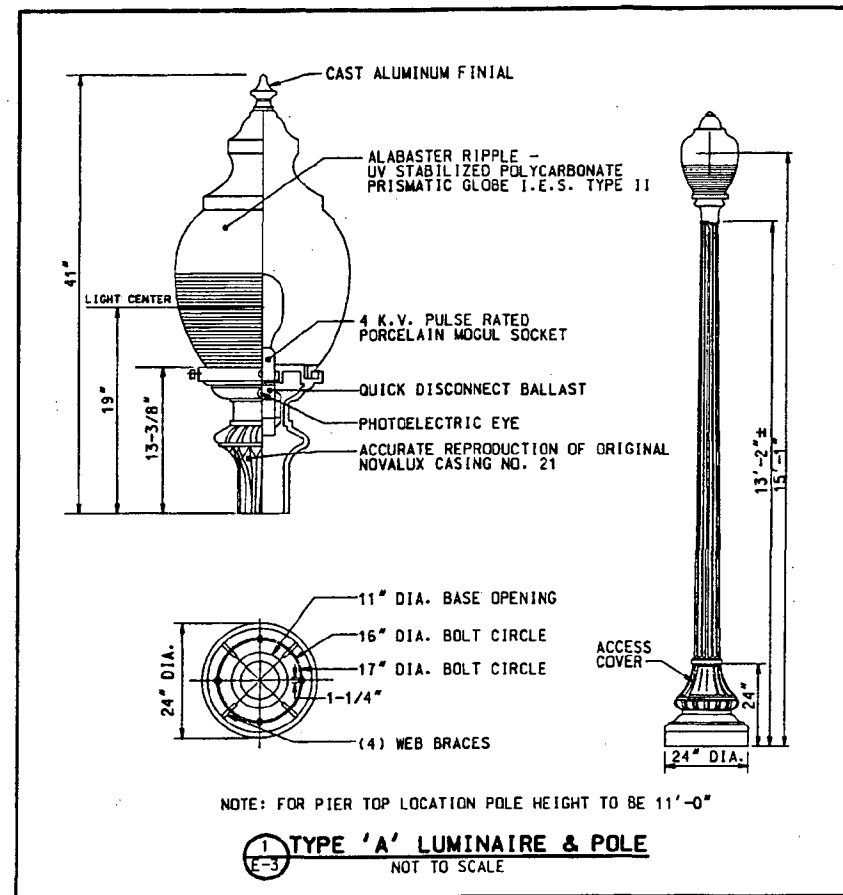
NOTE: CONCRETE TO BE SHA MIX #2

6 SECTION-BRICK PAVING
SCALE: N.T.S.



7 BIKE RACK DETAIL
SCALE: N.T.S.

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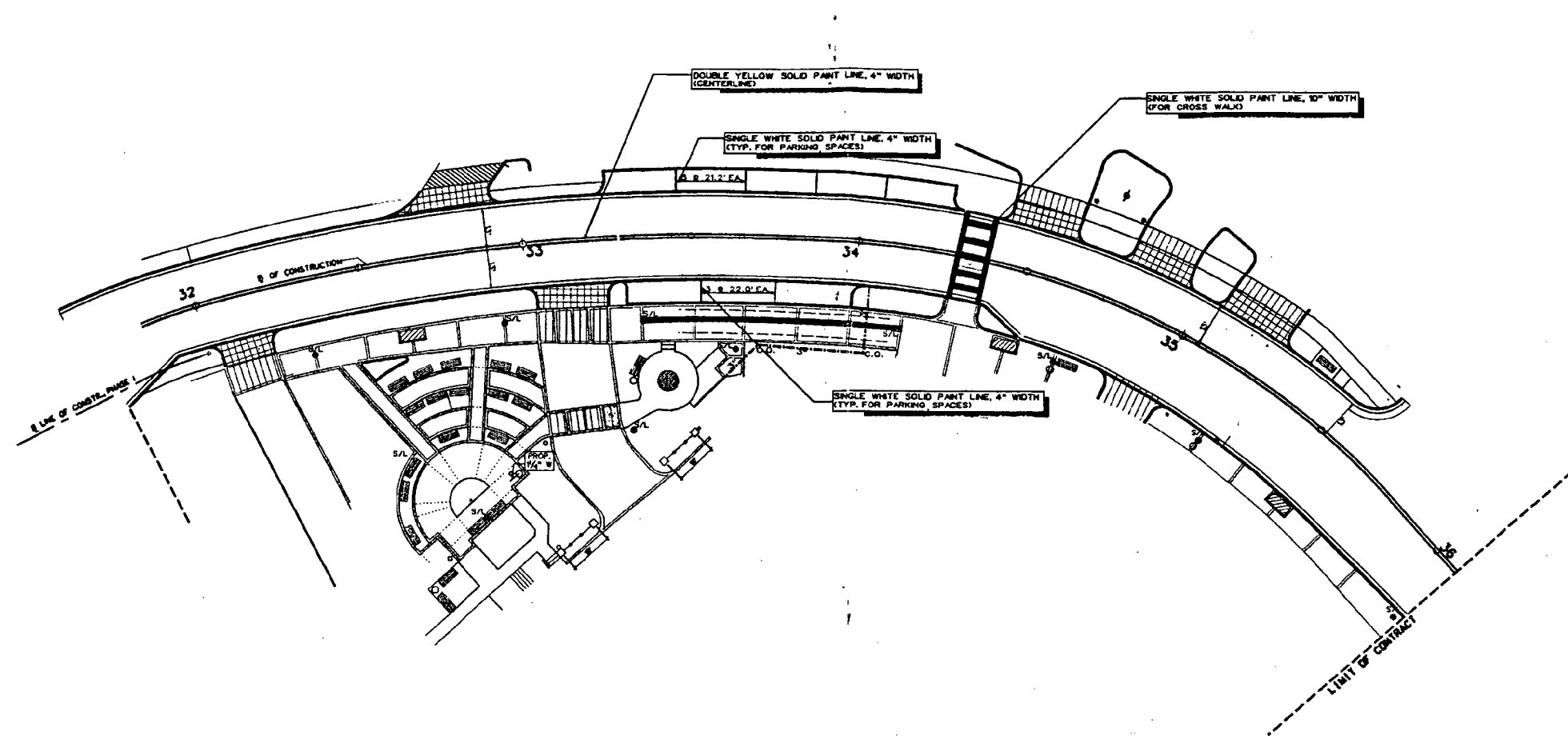
Henry Adams, Inc.
Consulting Engineers

HA

500 Baltimore Avenue
Baltimore, MD 21204-4079
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			DRAWN: <u>JST</u>			SCALE	DATE	BY	
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						SECTION:			



CROSS REFERENCES

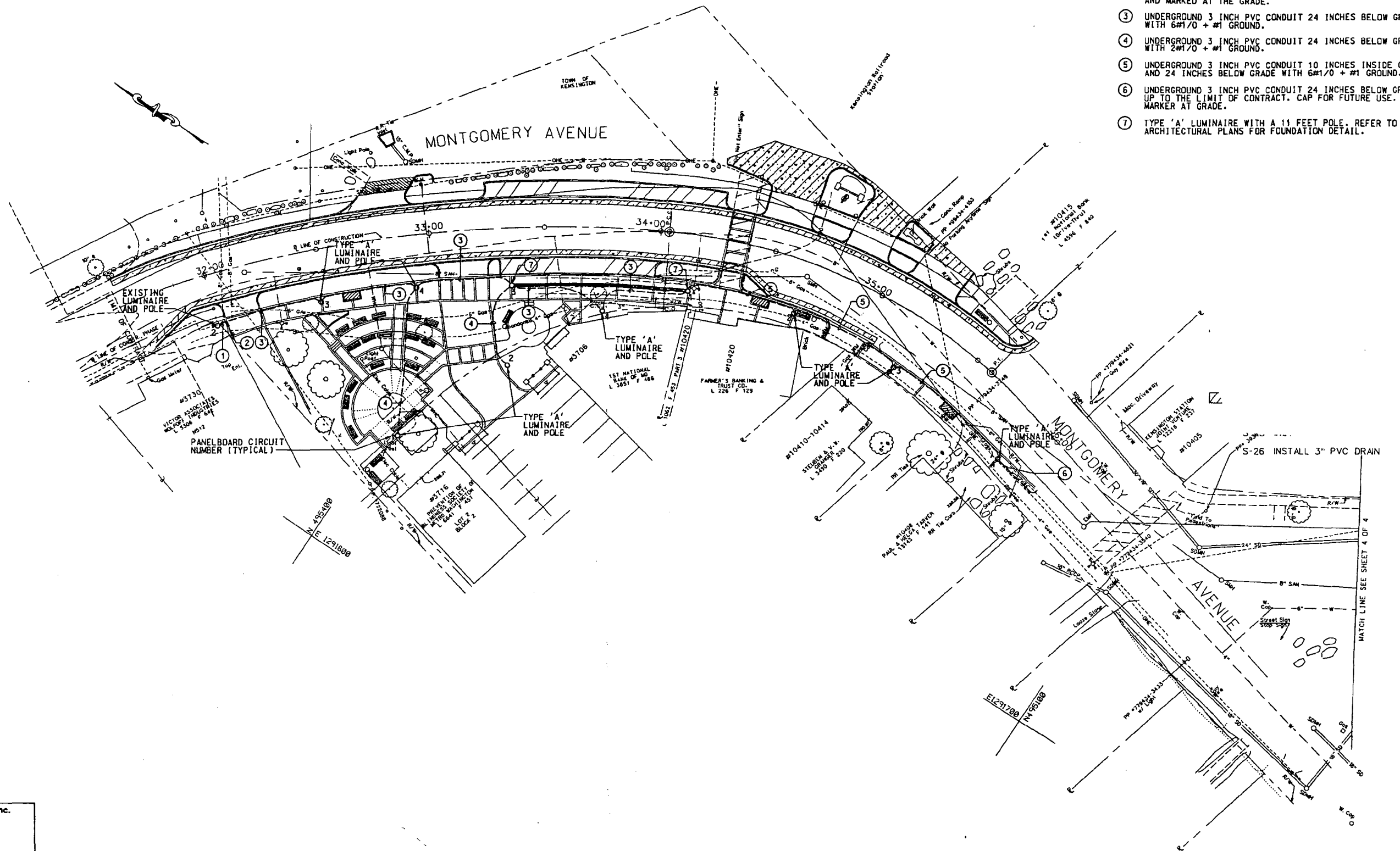
FOR EXISTING CONDITIONS, SEE DWG C-2
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR GRADING PLAN, SEE DWG C-8
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE PLAN, SEE DWG L-2
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

•FOR REVIEW ONLY-NOT FOR CONSTRUCTION•


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	REVISIONS																						
DATE	BY	DESCRIPTION																					

SPECIAL NOTES: (APPLY TO THIS DRAWING ONLY)

- ① EXISTING UNDERGROUND 3 INCH PVC CONDUIT. PROVIDE NEW WIRING FROM EXISTING POLE BASE.
- ② LOCATE AND EXTEND EXISTING 3 INCH PVC CONDUIT CAPPED AND MARKED AT THE GRADE.
- ③ UNDERGROUND 3 INCH PVC CONDUIT 24 INCHES BELOW GRADE WITH 6#1/0 + #1 GROUND.
- ④ UNDERGROUND 3 INCH PVC CONDUIT 24 INCHES BELOW GRADE WITH 2#1/0 + #1 GROUND.
- ⑤ UNDERGROUND 3 INCH PVC CONDUIT 10 INCHES INSIDE CURB AND 24 INCHES BELOW GRADE WITH 6#1/0 + #1 GROUND.
- ⑥ UNDERGROUND 3 INCH PVC CONDUIT 24 INCHES BELOW GRADE UP TO THE LIMIT OF CONTRACT. CAP FOR FUTURE USE. PROVIDE MARKER AT GRADE.
- ⑦ TYPE 'A' LUMINAIRE WITH A 11 FEET POLE. REFER TO ARCHITECTURAL PLANS FOR FOUNDATION DETAIL.



Henry Adams, Inc.
 Consulting Engineers



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MONTGOMERY COUNTY

DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND
 (240)-777-3650

APPROVED _____ DATE: _____

DESIGNED: JST
 DRAWN: JST
 CHECKED: CEC

**KENSINGTON STREETScape PROJECT
 PHASE II CONSTRUCTION**

PELA PROJECT NO.: 95.040.01L2
 BID NUMBER:
 PROJECT/JOB NUMBER: 779618

ELECTRICAL PLAN (2)

90% CONSTRUCTION DOCUMENTS

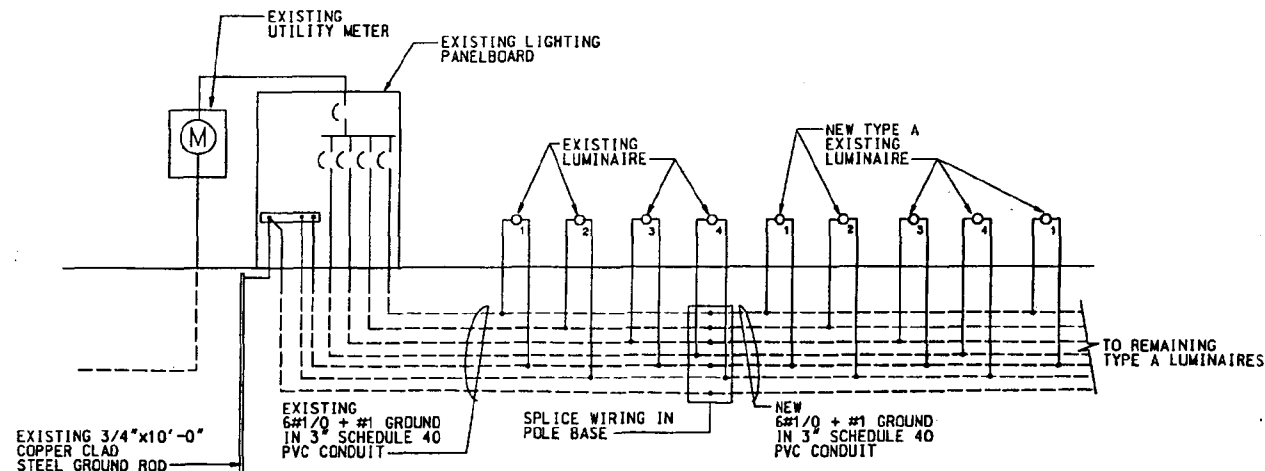
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 PLAN: 1" = 20'
 SECTION:

REVISIONS		
DATE	BY	DESCRIPTION

DRAWING
E-2
 NO: _____
 OF: _____

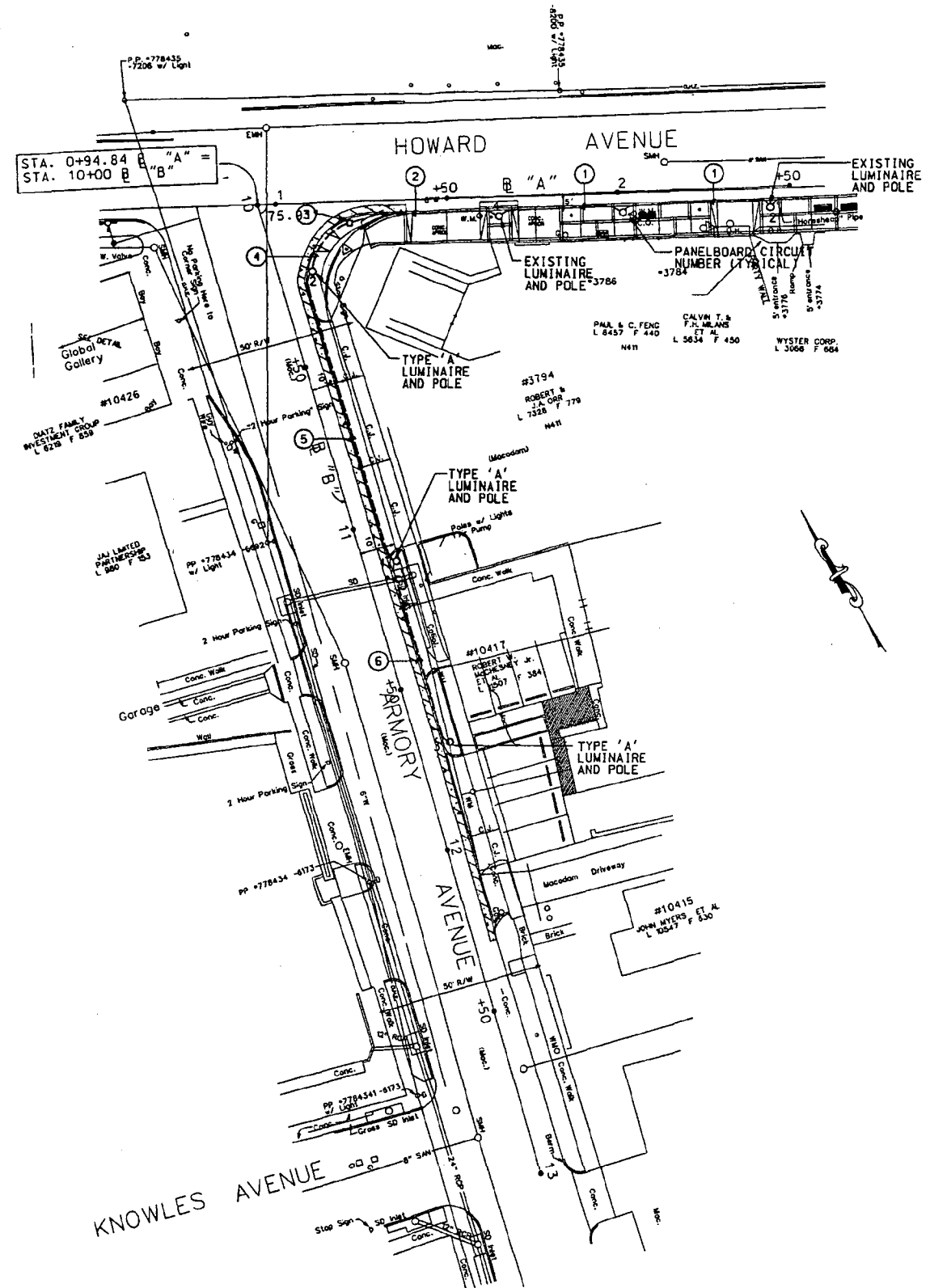
SPECIAL NOTES: (APPLY TO THIS DRAWING ONLY)

- ① EXISTING UNDERGROUND 3-INCH PVC CONDUIT & WIRING TO REMAIN.
- ② EXISTING UNDERGROUND 3 INCH PVC CONDUIT. PROVIDE NEW WIRING - 6#1/0 + #1 GROUND.
- ③ PROVIDE A PULLBOX INTERCEPTING EXISTING 3 INCH PVC CONDUIT CAPPED AND MARKED AT THE GRADE. SIZE PULLBOX AS REQUIRED PER NEC.
- ④ UNDERGROUND 3 INCH PVC CONDUIT 10 INCHES INSIDE CURB AND 24 INCHES BELOW GRADE WITH 5#1/0 + #1 GROUND.
- ⑤ UNDERGROUND 3 INCH PVC CONDUIT 10 INCHES INSIDE CURB AND 24 INCHES BELOW GRADE WITH 3#1/0 + #1 GROUND.
- ⑥ UNDERGROUND 3 INCH PVC CONDUIT 10 INCHES INSIDE CURB AND 24 INCHES BELOW GRADE WITH 2#1/0 + #1 GROUND.

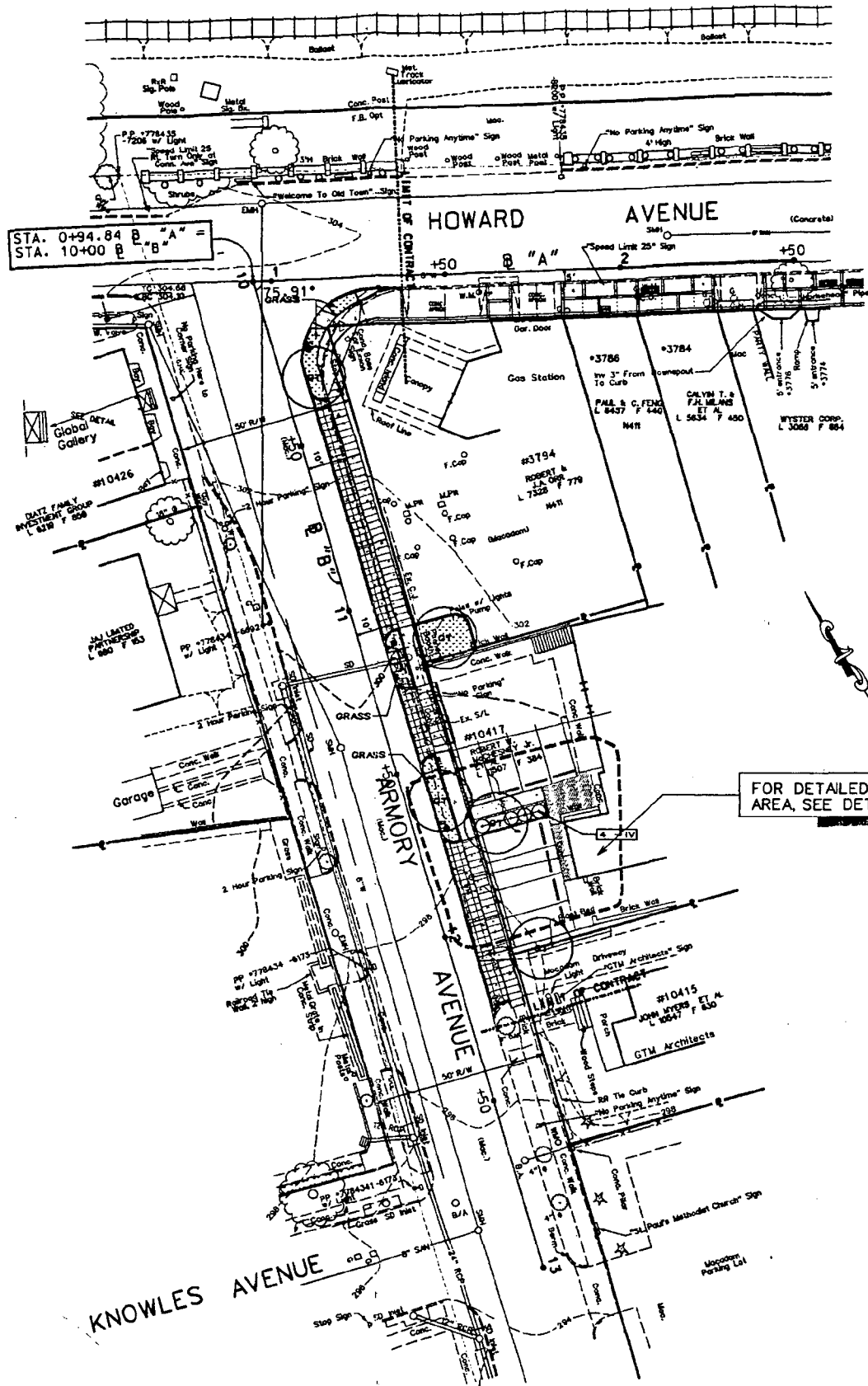


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			DRAWN: <u>JST</u>		SCALE	DATE BY DESCRIPTION	NO: _____	
		CHECKED: <u>CEC</u>		ELECTRICAL PLAN (1)	PLAN: 1" = 20'			OF: _____
				90% CONSTRUCTION DOCUMENTS	SECTION:			

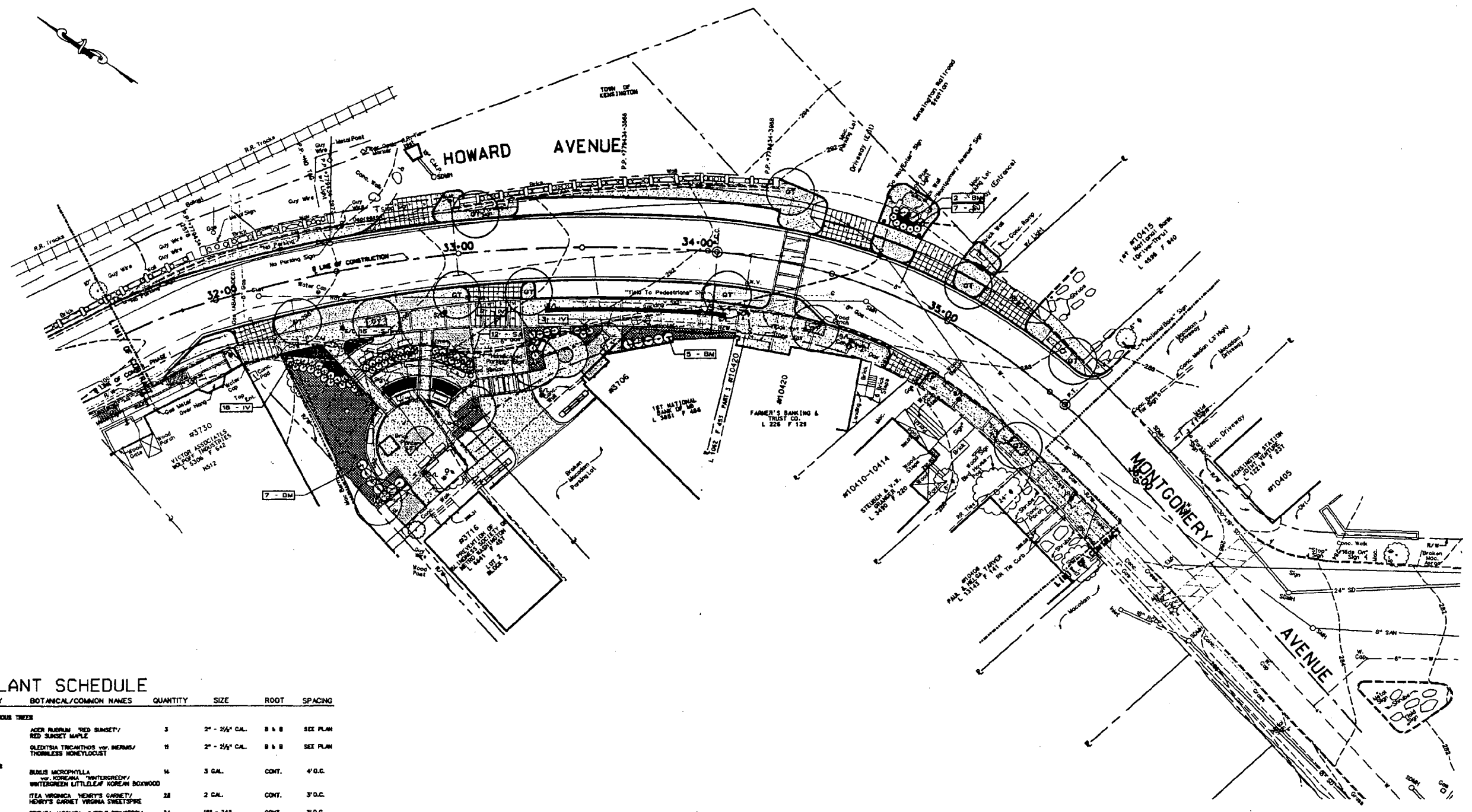


PLANT SCHEDULE

KEY	BOTANICAL/Common NAMES	QUANTITY	SIZE	ROOT	SPACING
DECIDUOUS TREES					
AR	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	0	2" - 2 1/2" CAL.	B & B	SEE PLAN
BT	OLEDTSA FRAGRANS var. NERIAS / THORNLESS HONEYLOCUST	4	2" - 2 1/2" CAL.	B & B	SEE PLAN
SHRUBS					
BM	BANKS MICROPHYLLA var. KOREANA 'WINTERGREEN' / WINTERGREEN LITTLELEAF KOREAN BOXWOOD	0	3 GAL.	CONT.	4' O.C.
IV	SPIRUEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS SPIRUEA	0	2 GAL.	CONT.	3' O.C.
BJ	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET VIRGINIA SWEETSPIRE	4	18" - 24"	CONT.	3' O.C.
GROUND COVER					
	LIROPE MEGACARPUS BLUE / W/ BLUE LILYTUW	0	1 GAL.	CONT.	18" O.C.
	LIROPE SPICATA / CREEPING LILYTUW	0	4"	POT	18" O.C.
	PACHYSANDRA TERMINALS 'GREEN SHEEN' / JAPANESE SPURGE	0	4"	POT	12" O.C.
	300	50 SY			

CROSS REFERENCES
 FOR EXISTING CONDITIONS, SEE DWG C-1
 FOR DEMOLITION PLAN, SEE DWG C-3
 FOR SITE PLAN, SEE DWG C-5
 FOR GRADING PLAN, SEE DWG C-7
 FOR DETAILED PLAN, SEE DWG C-9
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-1
 FOR ELECTRICAL DETAILS, SEE DWG E-3

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		DATE	BY	DESCRIPTION															
90% CONSTRUCTION DOCUMENTS				LANDSCAPE PLAN (1)															



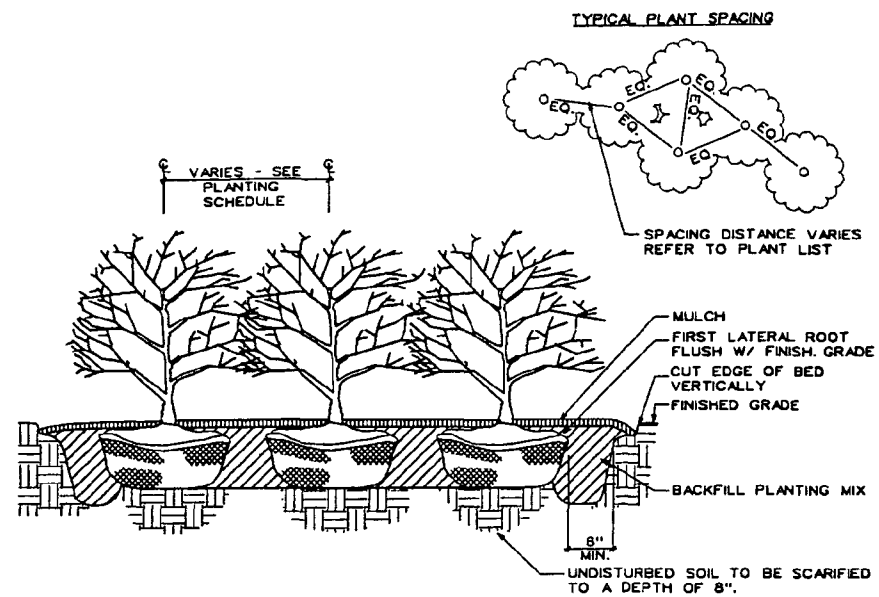
PLANT SCHEDULE

KEY	BOTANICAL/Common NAMES	QUANTITY	SIZE	ROOT	SPACING
DECIDUOUS TREES					
TR	ACER RUBRA/ RED SAGE/ RED SAGE MAPLE	3	2" - 2 1/2" CAL.	B & B	SEE PLAN
QT	QUERCUS TRICANTHOS var. MERRILLI/ THORNLESS HONEYLOCUST	11	2" - 2 1/2" CAL.	B & B	SEE PLAN
SHRUBS					
BU	BALIS MOROPHYLLA var. KOREANA 'NIPPONICORDEA'/ WHITEGREEN LITTLELEAF KOREAN BOXWOOD	16	3 CAL.	CONT.	4' O.C.
IV	ITEA VIRGINICA 'HENRY'S GARNET'/ HENRY'S GARNET VIRGINIA SWEETSPICE	28	2 CAL.	CONT.	3' O.C.
SJ	SPRAEA JAPONICA 'LITTLE PRINCESS'/ LITTLE PRINCESS SPRAEA	34	18" - 24"	CONT.	3' O.C.
GROUND COVER					
	LINOPE MURSORIO BLUE/ BIG BLUE LILYTUR	148	1 GAL.	CONT.	18" O.C.
	LINOPE SPICATA/ CREEPING LILYTUR	787	4"	POT	18" O.C.
	PACHYRANHA TERMINALS 'GREEN SHEEN'/ GREEN SHEEN JAPANESE SPURGE	1784	4"	POT	12" O.C.
	500	0.5Y			

CROSS REFERENCES
 FOR EXISTING CONDITIONS, SEE DWG C-2
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR SITE PLAN, SEE DWG C-6
 FOR GRADING PLAN, SEE DWG C-8
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12, C-13
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

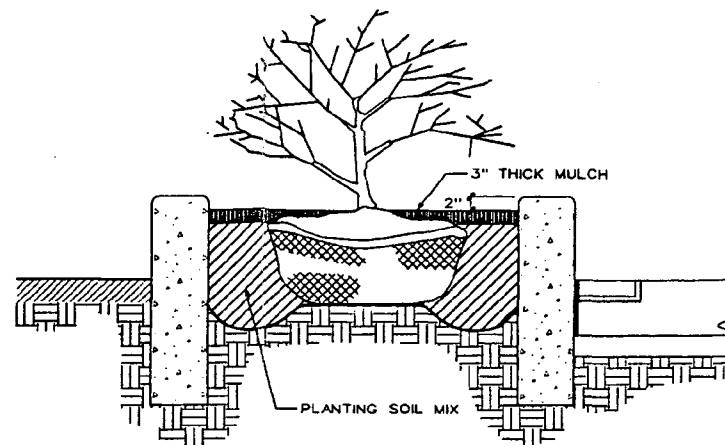
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DATE	DESCRIPTION															
DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT																



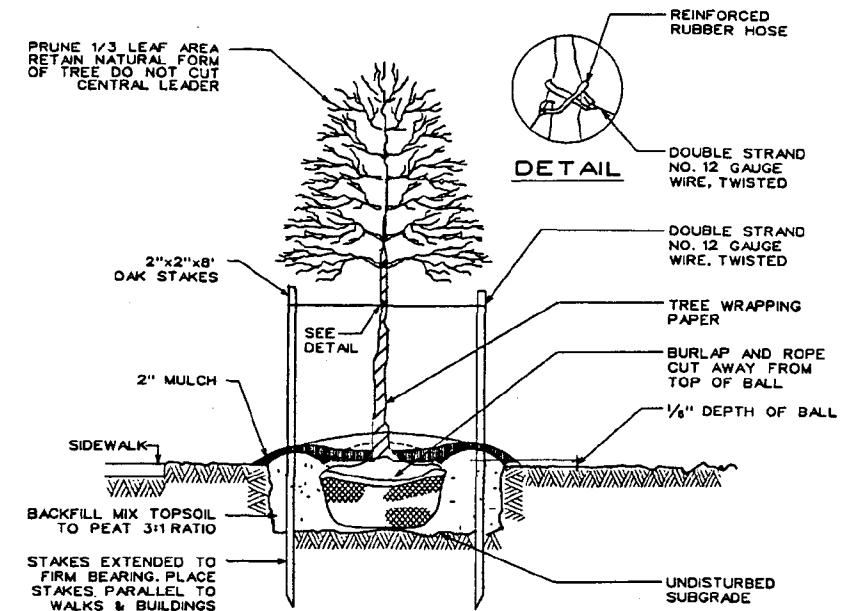
- NOTES:
 1. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
 2. REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL.

1 TYPICAL SHRUB MASS PLANTING
 L-3 N.T.S.

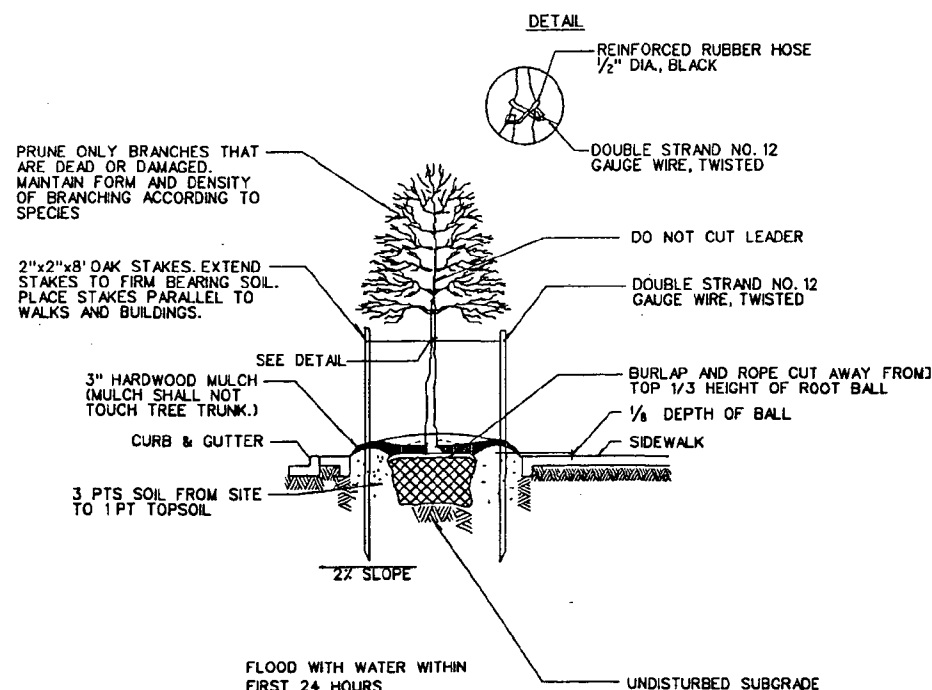


- NOTES:
 1. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
 2. REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL.
 3. FIRST LATERAL ROOT TO BE FLUSH WITH FINISH GRADE.
 4. SPACE SHRUBS O.C. ACCORDING TO PLANT SCHEDULE.
 5. SCARIFY UNDISTURBED SOIL TO A DEPTH OF 8\"/>

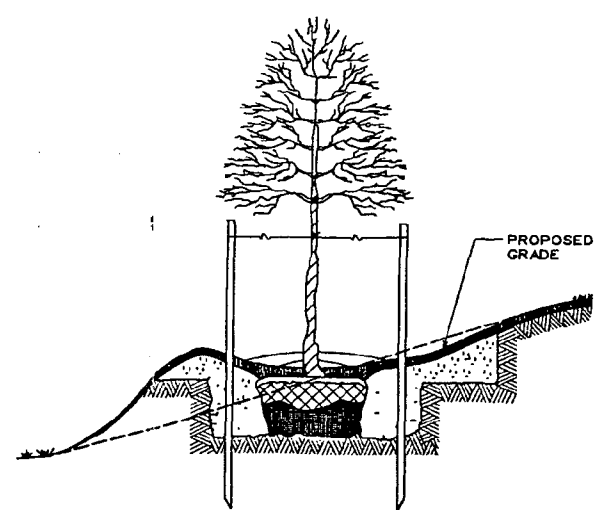
2 SHRUB PLANTING DETAIL
 L-3 - IN CONCRETE PLANTER N.T.S.



3 TREE PLANTING DETAIL
 L-3 N.T.S.

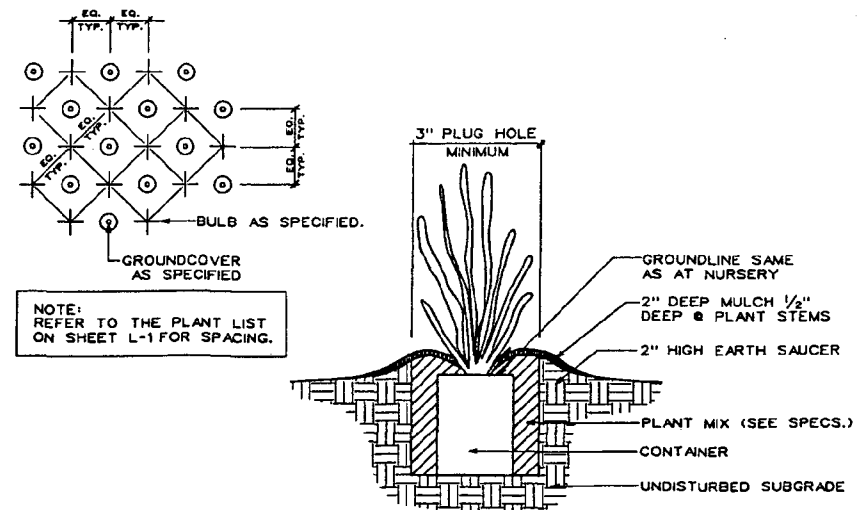


4 TREE PLANTING DETAIL
 L-3 N.T.S.



FOR DETAILS AND NOTES SEE DETAIL ? /C- ?

5 TREE PLANTING DETAIL
 L-3 - AT SLOPED CONDITIONS N.T.S.



NOTE: ENTIRE PEAT POT TO BE PLANTED INTACT.
 NON-PEAT POT CONTAINERS TO BE REMOVED PRIOR TO PLANTING.

6 GROUND COVER PLANTING DETAIL
 L-3 N.T.S.



FAX
495-1307
cc Kober


DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

Douglas M. Duncan
County Executive

Albert J. Genetti, Jr., P.E.
Director

October 20, 1999

TO: Marilyn Clemens
M-NCPPC

FROM: Ed Daniel 
Special Assistant to the Director

SUBJECT: Kensington Concept Plan

Scott Wainwright has forwarded me a copy of his Oct 18 memo on this subject. Re the concrete plant as a site for MARC parking, the objective is good but the execution would require extensive review and ultimate approval by the State because of several factors:

1) Need: Although there is a parking "shortage" at this MARC station, the number of users of this station is quite small; mostly walk-ons from nearby residential areas. Only about 100 persons per day board this station in the A.M. Persons living beyond walk/bicycle distance from the station have other rail transit options. They can drive or take a bus to Grosvenor, Wheaton or Forest Glen Metro stations (or bus to Medical Center Station), where service is far superior to MARC in terms of number/frequency/span of hours during which rail service is provided. There is currently excess parking supply at Wheaton station (since the Glenmont extension opened last year), and the current parking crunch at Grosvenor will be eased when the new Grosvenor/Strathmore Arts Center garage is built.

2) Size/capacity: Another issue to be addressed would be the size of a parking facility at Kensington, and whether the community would accept a large structure in the midst of an otherwise walking-scale antique-oriented early-20th century community anchored visually by the 1891 B&O railroad station building. Before proceeding further with the concept proposal, a brief "sketch plan" analysis should be done to determine how many parking spaces could be accommodated given the cement plant site and shared use of the site for a park.

3) Funding: Over the last 10 years, the County's involvement in building parking at MARC stations has been limited to instances where the State has provided the funding, primarily through federal grants. Even in cases where the County has acted as the agent to purchase land for MARC parking, it has been on the basis of prior funding commitment by the State to cover the costs of land acquisition. A case would have to be made that the twin objectives of commuter rail access and community revitalization (both consistent with Smart Growth) would warrant the capital costs of structured parking with a town park above it. To advance that case, some information (albeit preliminary) on size, capacity and cost would need to be developed.

Office of the Director

Page 2

4) Pedestrian access/egress: The subject of at-grade crossing of the CSX/MARC tracks at this location has a long history. Base on my participation several years ago at an on-site meeting with CSX, MARC, the Town Administrator and then-mayor Stuart, I am certain CSX would be very very reluctant to support/allow any special features that would encourage more at-grade pedestrian crossing at this location. They would point to pedestrian deaths at Laurel station, Montrose Road crossing, and near Gaithersburg Old Town station as instances where unprotected crossings are inherently dangerous. Visibility, especially around curves, and speed of freight trains are factors that make at-grade crossings a potential safety threat.

Most recently, since the merger of CSX and Conrail, the tracks passing through Kensington have seen an appreciable increase in freight movements; in fact the Environmental Impact Statement filed in 1998 in support of the merger projected a 40% increase in freight usage of this line as a result of redirection of some east-coast freight movements resulting from the merger. Although I am not privy to the numbers, MARC's experience has shown that there is a far higher frequency of freight movement on this line than before the merger. This increase occurs throughout the day and evening, not just at rush hours when MARC trains are running.

Notwithstanding the above, the concept plan provides an interesting opportunity to address this at-grade pedestrian crossing problem. The proposed parking on the cement plant site is shown as below grade to accommodate a park above it. It should be possible, albeit costly, to extend a pedestrian passageway under the CSX tracks at the same elevation as the underground parking level. A preliminary design might show that such a passageway could exit the west side north of the existing station somewhere near Howard Avenue, since the elevation of the tracks near the station building is higher than the surrounding area. Such a configuration would require removal of some of the existing station and Town-owned parking on the west side of the tracks, but the spaces could be replaced by new parking on the cement plant site.

cc: Kathryn Waters, Manager
MARC Rail System
John Clark
Scott Wainwright



DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

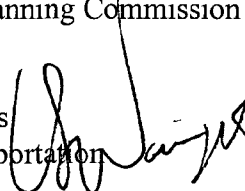
Douglas M. Duncan
County Executive

Albert J. Genetti, Jr., P.E.
Director

MEMORANDUM

October 18, 1999

TO: Marilyn Clemens, Principal Planner
Design, Zoning and Preservation
Maryland-National Capital Park and Planning Commission

FROM: W. Scott Wainwright, P.E., Chief
Division of Traffic and Parking Services
Department of Public Works and Transportation 

SUBJECT: Kensington Concept Plan

Thank you for the opportunity, albeit at a rather late stage in the process, to review the draft "Kensington Concept Plan" that you have prepared for the Town of Kensington. The following comments relate only to the traffic engineering elements of the concept plan. (Copies of the plan have been provided to the Division of Engineering Services and to the Office of Project Development and those two other parts of DPWT will be providing their comments to you separately regarding bridge, sidewalk, bikeway, etc. issues).

Regarding the "Recommendations" listed on pages 2 and 3:

1. The Concrete Plant purchase is not something that the Division of Traffic and Parking Services would pursue. We do not operate public parking programs outside of the legislatively-established Parking Lot Districts of Bethesda, Silver Spring, Wheaton, and Montgomery Hills, where additional parking taxes are imposed on property owners in the district. Of course, the Town of Kensington may wish to establish its own public parking program and determine the appropriate revenue sources to finance the capital and ongoing maintenance and operations costs of such a program. If there is any County involvement in this site (which is totally within the Town of Kensington) it might be from the perspective of MARC station parking. Ed Daniel in the Director's Office is most familiar with this and should be contacted to discuss it.
2. We have no objection to the proposed study of the feasibility of improving the Summit/Knowles/Connecticut loop; however, funding and resources for such a study do not currently exist.

Division of Traffic and Parking Services

3. Crosswalks already exist at the intersections mentioned in recommendation D.2. Perhaps it was meant to recommend "additional" crosswalks? At some locations, such as Connecticut/Knowles, additional crosswalks would conflict with very heavy left turn movements and therefore such crosswalks most likely are not feasible without having very major impacts on traffic congestion, which is already considerable. In any event, these are all SHA intersections so SHA will have authority.
4. The recommendation for improved at-grade pedestrian crossing at the railroad station is of concern. Should pedestrians be crossing the tracks at-grade at all? Shouldn't an underpass or overpass be considered for safety reasons?

Regarding the Drawings on Pages 5, 6, 7, and 13:

1. We recognize that further study is needed and recommended by the plan, but the operation of Summit Avenue (between Knowles and Plyers Mill) and of Plyers Mill Road (between Summit and Connecticut) will need careful review in conjunction with the planning and design of any bridge improvements. The drawings on the referenced pages of the report seem to indicate a recommendation for reversible lane operations. It is not clear how the "curbside parking except peak hours" on Summit would work within the cross-section along with reversible lane operations.

Regarding "Implementation" on page 15:

1. Item 5 (Utilities Undergrounding) would be the responsibility of DHCA.
2. As mentioned previously, item 7 (Acquire Concrete Plant for Public Parking) would only be a County involvement if funded as a MARC station improvement and Mr. Ed Daniel needs to be consulted regarding this.
3. Item 11 (sidewalks) on the streets mentioned would likely be a County, not SHA, issue.

As a final general comment, we recognize that this is a "Concept Plan" and as such it embodies ideas that have not undergone the study and evaluation that is necessary to determine feasibility, impacts, costs, etc. Therefore, we are concerned about the level of specificity contained in many of the recommendations, down to the level of specific crosswalks, signals, etc. Operational issues such as this are not appropriate for a master plan, nor are they appropriate for a concept plan such as this.

WSW:dj
Kenscnep.doc

cc: Ed Daniel (w/copy of incoming)
John Clark
Edgar Gonzalez

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Dec. 21, 1999

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied
 Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Town of Kensington (Attn: Wajada Reb, DHCD, Division of
Address: Ke: Howard Avenue Renovations Community Development)

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: WAJEDA RAB
Daytime Phone No.: 240.777.3647 OR PAT MCAULEY 301.949.2424
Tax Account No.: TAX EXEMPT
Name of Property Owner: TOWN OF KENSINGTON Daytime Phone No.: 301.949.2424
Address: 3710 MITCHELL STREET KENSINGTON MD 20895
Street Number City State Zip Code
Contractor: TO BE SELECTED Phone No.: N.A.
Contractor Registration No.: N.A.
Agent for Owner: DEPT. OF HOUSING & COMMUNITY AFFAIRS, DIVISION OF COMMUNITY DEVELOPMENT Daytime Phone No.: 240.777.3644
LOCATION OF BUILDING/PREMISE a. STREETS CAPING ALONG HOWARD AVE. - MONTGOMERY AVE. BETWEEN 3730 HOWARD AVE. E' 10400 MONTGOMERY AVE. PARK IMPROVEMENTS ADJOINING 3716 HOWARD AVE. House Number: REALIGNMENT OF HOWARD AVE. Street BETWEEN 3730 HOWARD AVE. E' 10400 MONTGOMERY AVE.
Town/City: KENSINGTON Nearest Cross Street: a. FAWCETT STREET E' MONTGOMERY AVE. b. KNOWLES AVE. E' HOWARD AVE.
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other a. REMOVE SIDEWALK E' 3 CHERRY TREES, INSTALL SIDEWALK & AMENITIES. SAVE TREES AT PARK, REMOVE FAYING & HOLLY HEDGE, REINSTALL PAVING & SITE AMENITIES. REMOVE STREET PAVING, REINSTALL CURB/GLITTER, SIDEWALK E' TOWN CLOCK. b. REMOVE STREET PAVING, E' SIDEWALK, STORM DRAIN, REINSTALL WITH AMENITIES.

1B. Construction cost estimate: \$ 400,000.00 (a)
\$50,000.00 (b)

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David W. Chikvashvili, Chief/Commercial 11-24-99
Signature of owner or authorized agent Revitalization Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 12/15/99
Application/Permit No.: 206342 Date Filed: 11/24/99 Date Issued: _____

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Dec. 21, 1999

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

✓ When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Please bring your permit sets to this office for stamping + 1 additional copy for our files. Thank you. (Please call ahead)
301-563-3400

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: Dec. 21, 1999

TO: Local Advisory Panel/Town Government *KENSINGTON*

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on Dec. 15, 1999.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Howard Avenue & Armory Avenue, Kensington **Meeting Date:** 12/15/99
Resource: Kensington Historic District **Review:** HAWP/Alterations
Case Number: 31/6-99R **Tax Credit:** No
Public Notice: 12/1/99 **Report Date:** 12/8/99
Applicant: MC Dept. of Housing and Community Affairs **Staff:** Gwen Wright
 Division of Community Development
PROPOSAL: Streetscaping, **RECOMMEND:** APPROVAL

BACKGROUND

The overall Howard Avenue Revitalization Project has been before the HPC on several previous occasions: there were general discussions on February 26 and April 9, 1997; a Preliminary Consultation on May 14, 1997; and the review of a Historic Area Work Permit for the first phase of the project on September 24, 1997. The first phase of the streetscaping was completed in Fall, 1999, and DHCA now wishes to begin on the second phase of the work.

The goal of the Howard Avenue Revitalization Project is to establish a comprehensive plan for streetscaping, signage, and facade improvements which will aid in the revitalization and enhancement of the Howard Avenue commercial area. The County, through DHCA, has been implementing the streetscape improvements and signage which were designed for the area and has been working closely on this effort with the Town of Kensington and merchants in the area.

Any proposed facade improvements to buildings will need to be undertaken by individual property owners - each will come in as a Historic Area Work Permit (HAWP) when and if the owners decide to begin renovations to their facades. *Therefore, this HAWP is not for any changes to buildings - it is only for streetscaping work.*

PROPOSAL

The current proposal is essentially an extension of what the HPC has seen before. The first phase of the project, which is now complete, included 1 1/2 blocks of Howard Avenue, from 3730 to 3794 Howard Avenue. The current proposal continues the streetscape improvements east along Howard Avenue from 3730 Howard Avenue to 10408 Montgomery Avenue. In addition, streetscaping will be installed on Armory Avenue from its intersection with Howard Avenue to 10415 Armory Avenue.

The specific tasks to be undertaken include:

- replacement of existing concrete sidewalks with new sidewalks to be treated with an historically-appropriate "dimpled" finish,
- minor realignment of Howard Avenue, replacing existing angled parking with parallel parking and installation of two crosswalks,

- improvements and enlargements of the Howard Avenue Park which include benches, radial brick paving to break up the expanse of dimpled concrete paving, special plantings (the existing trees will be preserved), a drinking fountain, lights, and trash cans,
- installation of street lights, using a Washington Globe luminaire enhanced by a filigree coronet,
- removal of three existing street trees (cherry) and installation of Shademaster honey locusts as the new street tree for these areas of streetscaping,
- installation of six-foot long wood and cast-iron benches,
- installation of dark green metal trash cans per application,
- installation of a cast-iron, Victorian-style drinking fountain per application,
- installation of a loop bike rack per application,
- installation of a Town Clock across from the Kensington Train Station per application,
- installation of a kiosk for posting community information per application.

STAFF DISCUSSION

The Howard Avenue Revitalization Project has been very successful to date. The streetscaping and signage that have been installed in the Phase One area have been very well received by the community, the merchants, and the public in general. The current proposal to extend the streetscaping to the Phase Two area on Howard Avenue and to Armory Avenue is a positive step for the Town of Kensington.

In particular, staff applauds the efforts made to design Howard Avenue Park. This "pocket park" will have many amenities that will reinforce the historic nature of Kensington and that will make the park a pleasant place to use - careful attention has been given to the nature of the plantings and the design of the amenities.

Staff feels that the proposed streetscaping work is compatible with the historic nature of the Kensington commercial area and would enhance the overall ambiance of the area.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the proposed streetscaping work and signage as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #1 and #2;

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services five day prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: WAJEDA RAB

Daytime Phone No.: 240.777.3647 OR PAT MCAULEY 301.949.2424

Tax Account No.: TAX EXEMPT

Name of Property Owner: TOWN OF KENSINGTON Daytime Phone No.: 301.949.2424

Address: 3710 MITCHELL STREET KENSINGTON MD 20895
Street Number City State Zip Code

Contractor: TO BE SELECTED Phone No.: N.A.

Contractor Registration No.: N.A.

Agent for Owner: DEPT. OF HOUSING & COMMUNITY AFFAIRS, DIVISION OF COMMUNITY DEVELOPMENT Daytime Phone No.: 240.777.3644

LOCATION OF BUILDING/PREMISE a. STREETSCLAPING ALONG HOWARD AVE. - MONTGOMERY AVE. BETWEEN 3730 HOWARD AVE. & 10400 MONTGOMERY AVE. PARK IMPROVEMENTS ADJOINING 3716 HOWARD AVE
 House Number: REALIGNMENT OF HOWARD AVE. Street: BETWEEN 3730 HOWARD AVE. & 10408 MONTGOMERY AVE.

Town/City: KENSINGTON Nearest Cross Street: a. FAWCETT STREET & MONTGOMERY AVE. b. KNOWLES AVE. & HOWARD AVE.
 Lot: _____ Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

b. STREETSCLAPING ALONG EAST SIDE OF ARMORY AVE. AT 3794 HOWARD AVE. & 10417 ARMORY AVE.

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>a. REMOVE SIDEWALK & 3 CHERRY TREES, INSTALL SIDEWALK & AMENITIES. SAVE TREES AT PARK. REMOVE PAVING & HOLLY HEDGE, REINSTALL PAVING & SITE AMENITIES. REMOVE STREET PAVING, REINSTALL CURB/GUTTER, SIDEWALK & TOWN CLOCK. b. REMOVE STREET PAVING, & SIDE-WALK, STORM DRAIN, REINSTALL WITH AMENITIES.</u> | | | |
- 1B. Construction cost estimate: \$ 400,000.00 (a)
\$50,000.00 (b)
- 1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David N. Chikwashi, Chief/Commercial Revitalization
 Signature of owner or authorized agent

11-24-99
Date

3

Approved: _____ For Chairperson, Historic Preservation Commission

KENSINGTON PROPERTY OWNERS

March 1996

<u>PROPERTY ADDRESS:</u>	<u>PROPERTY OWNER:</u>	<u>DISTRICT NO. 13 TAX ID NO.</u>
<u>Armory Ave.</u> 10426	Diatz Family Investment Group 7817 Laurel Leaf Drive Potomac, MD 20854	1022172
10422	JAJ Limited Partnership 9112 Levelle Drive Chevy Chase, MD 20815	1025665
10417	Robert W. McChesney Jr., et al c/o Realty Investment Corp. 3702 Perry Ave. Kensington, MD 20895	1022718
10415	John Myers, et al 10415 Armory Ave. Kensington, MD 20895	1019254
10401	St. Pauls Methodists Church Board of Trustees 10401 Armory Ave. Kensington, MD 20895	1024238
<u>Connecticut Avenue:</u> 10515	Shell Oil Co. c/o Eastern Tax Region P.O. Box 2099 Houston, TX 77001	1021986
10401	Bakery, Confectionary & Tobacco Workers International Union 10400 Connecticut Ave. Kensington, MD 20895	1020025

Howard Ave.

3838 Safeway Stores 98, Inc. 1024001
4th & Jackson Street
Oakland, CA 94660

3794 Robert & J. A. Orr 1024843
3794 Howard Ave.
Kensington, MD 20895

3786 Paul & C. Feng 1023074
3786 Howard Ave.
Kensington, MD 20895

3784 Calvin T. & F.H. Milans, et al 1019994
T/A Older Town Joint Venture
RICA - 3702 Perry Ave.
Kensington, MD 20895

3772 Wyster Corporation 1026102
3762 Howard Ave.
Kensington, MD 20895

3758 Wyster Corporation 1026113
3762 Howard Ave.
Kensington, MD 20895

3750 Wyster Corporation 1022640
3760 Howard Ave.
Kensington, MD 20895

3734 Victor Associates 1023267
Wolpoff Industries
1300 Spring Street, # 124
Silver Spring, MD 20910

3730 Victor Associates 1023256
Wolpoff Industries
1300 Spring Street, # 124
Silver Spring, MD 20910

3716 Prevention of Blindness Society 1025780
of Metro Washington, Inc.

1775 Church street, NW
Washington, D.C. 20036

3706	First National bank of MD Corporate Facilities Division P.O. Box 1596 Banc 109-820 Baltimore, MD 21203	1020424
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Fawcett St.

10426	Lester S. & R. F. Brodsky, et al 10426 Fawcett street Kensington, MD 20895	1024023
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10419	Wayne M. Whitlow, et al 4721 N. 36th Street Arlington, VA 22207	1025814
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Montgomery

Ave.

10420	Farmers Banking & Trust Co. Corporate Facilities Div. P.O. Box 1596 Banc 109-820 Baltimore, MD 21203	1020300
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10420	Farmers Banking & Trust Co. Corporate Facilities Div. P.O. Box 1596 Banc 109-820 Baltimore, MD 21203	1020297
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10415	First National Bank of MD Corporate Facilities Div. P.O. Box 1596 Banc 109-820 Baltimore, MD 21203	1022764
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10410	Steuben G. & V. W. Granger RR 3 Box 297 Dallas, PA 18612	1020845
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**Kensington
Parkway**

10311 Johnson Enterprises 1021884
 10315 Kensington Pkwy, # 205
 Kensington, MD 20895

10233 Johnson Enterprises 1021884
 10315 Kensington Pkwy, # 205
 Kensington, MD 20895

10313 Johnson Enterprises 1021862
 10315 Kensington Pkwy, # 205
 Kensington, MD 20895

10247 Johnson Enterprises 1021862
 10315 Kensington Pkwy, # 205
 Kensington, MD 20895

10335 Janet L. Maxino 1018647
 10335 Kensington Pkwy.
 Kensington, MD 20895

Attachment 1. a. Written Description of the Kensington Streetscape Project

The Phase 2 Streetscape Project is an extension of the recently completed Phase 1 Project. The project area is the sidewalk and roadway abutting 3730 Howard Avenue to 10408 Montgomery Avenue. This locale falls within one of the four commercial sections in Kensington and makes up part of a County and Town designated commercial revitalization area. The existing structures that line the sidewalk consist primarily of commercial structures spanning the period from the 1880's to around the 1950's.

The project area makes up part of what was once called Knowles station. That community, now Kensington, developed at a proposed stop on the B & O Railroad after the Civil War. One of the buildings remaining from the early period of Knowles Station is 3730 Howard Avenue. Immediately northeast of this project area is the newly restored Kensington Train Station. Visible to the northeast of the project areas and across the railroad tracks is St. Paul Street with a number of old buildings from the early Knowles Station period. The other historic building in the Phase 2 Project area is the Prevention of Blindness Society at 3716 Howard Avenue.

The environmental setting for the structures consists of worn concrete sidewalk and related facilities. Howard Avenue turns at the beginning of Phase 2. It opens up a view to the Kensington Station and the concrete plant behind it (on the other side of the railroad tracks). On the north side of the street is a brick wall that separates Howard Avenue from the CSX (formerly B&O) tracks. Between the wall at the station side and the sidewalk fronting the Society, Bank and other buildings to the south, Howard Avenue-Montgomery Avenue is made up of an expanse of asphalt that is too wide for the single lane traffic in each direction. In front of the Prevention of Blindness Society building is the Howard Avenue Park, owned by the Town of Kensington. While the park needs maintenance and repair, it is ringed on the north and south by some beautiful and healthy trees. On the north are the 24" Sugar Maple and the 15" Crab Apple. On the south (inside the Society property) is an 18" Weeping Cherry. According to Montgomery County arborist these trees must be preserved. We agree with the assessment made by Integrated Plant Care DT July 9, and August 20, 1997 on the Cherry trees in Phase 1 (attached). We believe their assessment is also applicable to Phase 2. They stated the trees are "on the downhill side of life." They described the hostile environment to which the trees are subjected. They recommended the "community consider taking down the remaining [Cherry] trees and replanting with a species better suited to withstand city condition."

The curb line bulges between the Allfirst Bank (formerly First National Bank) and the Prevention of Blindness Society. The angled parking here is on a downgrade so cars have to accelerate into oncoming traffic as they pull out. Here the concrete sidewalk expands into a no-man's land and behind it is an unattractive expanse of a gravel parking lot – about $\frac{3}{4}$ on the Bank property, and $\frac{1}{4}$ on the Society property. There is a lack of sidewalks and sufficient crosswalks leading to the Kensington Station.

There are presently no streetlights in the project area. Lighting is accomplished by

sodium vapor lamps that are attached to utility poles on the north side of the street. There are old benches and two Ride-On bus stands in the project area.

In sum, the environmental setting for this important historic area is a deteriorated, ill-equipped public way. The contrast is accentuated by the recent improvements completed in the Phase 1 Streetscape Project. There is a potential for enhancement and blending of the historic setting and the contemporary structures and for providing safety and public amenities.

Attachment 1. b. Written Description of the Armory Avenue Streetscape Project

Improvements along the east side of Armory Avenue are part of Phase 2 as well. The project area covers 3794 Howard Avenue and 10417 Armory Avenue. The structures here are commercial buildings – Kensington Service Center (3794 Howard Avenue) and one rental property with a nail salon, a rug store, a dry cleaning store, a gift store and Café Monet. Along this side of Armory Avenue the 4-ft. sidewalk and 4-ft. grass area with street trees stop at 10415 Armory Avenue (occupied by GTM Architects). Therefore this section is not pedestrian friendly. 10415 Armory Avenue has been recently remodeled and there is a landscape strip of annual and perennial flowers between it and Café Monet.

Attachment 2. a. General Description of the Kensington Streetscape Project and its Effect on the Historic Resources, the Environmental Setting, and the Historic District.

The project has been undertaken by the County and the Town as part of a larger streetscape project in order to stabilize and revitalize the Kensington Commercial Area (KCA) while focussing on Howard Avenue and Montgomery Avenue (east) and other associated adjacent streets, such as, Armory Avenue. The project is an extension of the Phase 1 Streetscape Project completed in fall, 1999.

The revitalization effort by the Town was started in 1989 when it established a Revitalization Committee. With the aid of consultants, the Committee developed a revitalization strategy. Thereafter, with document in hand, the Town sought funding from the county to implement the recommendations. Starting in 1996, the County funded a Capital Improvement Program for Howard Avenue (east) and adjacent streets to run through fiscal year 1999.

Since 1996, when the Town reconstituted the Revitalization Committee, it has been meeting regularly to work with the County design and economic consultants, Kensington citizens and the business community. The purpose of the committee's work was (1) to develop plans for physical improvements to the project area, (2) to update the economic analysis and revitalization strategy, and (3) to act as a liaison to the business community, the Town, its citizens, and the County to implement the strategy.

The committee is presently composed of eleven members: the mayor, one town council member, the town administrator, three merchants, two property owners, and four residents. The process employed to develop plans and strategies is as follows:

- Holding open meetings with opportunities for the public to speak.
- Public meetings for presentation to the citizens and the business community.
- Display of plans and provision of comment sheets for citizens and members of the business community.
- Committee analysis and synthesis of the comments so as to inform the committee's position.
- The seeking of input from the Historic Preservation Commission (HPC), the Local Advisory Panel (LAP) and the Historical Society (HS).
- Committee critique of plans to give direction to the County.
- Discussion and comments by the Town Council on the committee's design recommendations. Direction by the Town Council to review plans again with additional

input from the LAP and the HS.

- Holding of this meeting with attendance by HS board members, some of whom are members of the LAP. Discussion of lighting selection, tree selection and cherry tree removal. Final recommendation made to Town Council.
- Town Council resolution accepts Revitalization Committee's recommendation.

The committee has sought to incorporate the comments of divers interest, while trying to develop a coherent plan that would meet the criteria that the HPC uses to evaluate plans, i.e., that the plans:

- Not substantially alter the historic site.
- Be compatible with the historic site.
- Would enhance the preservation of the historic site.
- Would remedy unsafe condition.
- Would serve the general public welfare.

The project for Howard Avenue and Montgomery Avenue (east) consists of:

PROPOSAL:

1. Replacement of worn concrete sidewalks. New sidewalks to be treated with an historic roller to give a dimpled finish. This treatment was recommended by the LAP and the HS as historically correct. There appeared to be a consensus by HPC members supporting this treatment. Continuation of the Phase 1 Streetscape Project which now ends at 3730 Howard Ave. The same elements that were used in Phase 1, such as, dimpled concrete, streetlights, trash cans, street trees, driveways and crosswalks will be used for design continuity. Phase 2 Streetscape will start at 3730 Howard Avenue and terminate at 10408 Montgomery Avenue.
2. Realignment of Howard Ave. To make it safer for pedestrians and motorists. The existing angled parking will be replaced with parallel parking on each side of the road. "Bulb-outs" will be created to ensure a smoother flow, while enhancing the appearance of the road with tree-planted grass areas. Sidewalks to the Kensington Station are proposed, along with two crosswalks to make it safer for pedestrians. Provisions for the Ride-On bus stops have been made in each direction.
3. Improvements and enlargements of the Howard Avenue Park will follow the radial pattern of the street in two sections of the Historic District, one bounded by Washington Street-Baltimore Street; the other bounded by Kensington Parkway-Calvert Street. The

park will be the focal point of visitors, shoppers, and commuters. It will be a walk-to park, and not a drive-to one. Benches are provided on brick paving set on sand. The radial brick paving will also help to break up the expanse of the dimpled concrete paving. Other amenities in the park include a drinking fountain, light and trash cans. (See attached drawings). The Sugar Maple, Crab Apple, Dogwood canopy with the associated understory planting of Azaleas, Hollies, Pieris, and the ground cover of English Ivy will be preserved. The hedgerow of Japanese Holly will be dug up and transplanted in front of the Bank and the Society to partially screen their common parking lot. The grading for the park will meet the existing grading at the Society property, so the Weeping Cherry and the Yew Hedge will be preserved. Thus a visual continuity of the existing canopy and understory planting will be preserved and maintained.

The driveway access to the Bank and Society parking lot has been consolidated into one central driveway. Cross easement agreements are being worked out to facilitate this arrangement. Allfirst Bank and the Prevention of Blindness Society have agreed in principal to the common driveway concept. A driveway apron and a crosswalk are being proposed to tie the park to the other activity node created in front of the bank. This node is smaller, and will have a kiosk at the center. The kiosk will be used by the Town for the announcement of its upcoming activities. The kiosk design will reflect the gateway sign at Connecticut Avenue and Howard Avenue. The dimpled concrete paving will be complemented with brick paving, as in the park. A bike parking area is proposed near the common driveway to the Society and the Bank to facilitate bicycle access to the park and kiosk area.

4. A Town Clock is being proposed on the bulb-out near the driveway and main pedestrian walk access to the Kensington Station. It will define the entrance to the station. The "Georgetown" clock has been designed by the Verdin Design Group for Victorian settings. The 15-ft. tall clock will be visible from both sides of Howard Avenue and Montgomery Avenue as people travel west and turn the corner at the bend of the road, as well as approach it from the east. It is a two-faced clock with a breakaway aluminum post, which is similar in design to the streetlights. The face of the clock will have Victorian-style numerals, lit at night. The logo will be a repetition of the "oak leaf" motif of the Town, which appears on the Gateway Sign. The clock will unify the streetscaping for both sides of Howard-Montgomery Avenue. (See attached drawing).

Other features of the design include:

- Installation of streetlights. The luminaire selected is the Washington Globe enhanced by a filigree coronet. The lamp is metal halide, which will give truer color rendition to the historic buildings and the merchandise displayed. The pole is cast iron fluted pole to be painted green. This fixture is a post top streetlight as were the early gaslights in Kensington. The selected pole and luminaire came into use about 1915 to 1920. This selection was finalized at the design reconciliation meeting called by the Town Council

with the LAP and the HS.

The luminaire was selected because of its optics as well as its design qualities, historical reference to the post top lamp, and history of ready availability. Because much of the project is a one-sided commercial area, and due to budget constraints, street lighting on one side of the street will have to illuminate the sidewalk and up to 48 feet of roadway width. This luminaire will do the job, providing a comfortable ambiance for evening shoppers, which is one of the goals of this project. If needed, excess light from the luminaire to the upper floors will be minimized with the use of internal light reflectors and shields. This was done in Phase 1.

Due to an administrative oversight, the filigree coronet was not included in the bid package for Phase 1 Streetscaping. However, the situation will be rectified, and the filigree coronet will be installed on the luminaires for Phase 1 and Phase 2.

- Remove three cherry trees. These trees were judged in poor to fair condition by the Town's arborist. After reviewing recommendations by the landscape architectural consultant; consulting with the HPC, the National Arboretum and various local arborists; reviewing comments by the LAP and the HS, the committee chose the Shademaster Honey Locust for Phase 1. It is proposed to continue the Shademaster Honey Locust as a street tree along Howard Avenue-Montgomery Avenue for Phase 2. It is an improved cultivar that is thornless and virtually podless. It is on the recommended list of trees in State Tree Factsheets, a publication of the Municipal Tree Restoration Program and the Directory of Landscape Tree Cultivars Project with the support of the USDA Forest Service, State and Private Forestry and used by the State of Maryland and Montgomery County. This tree tolerates compaction, wet and dry soils, a high pH, and high soil salt. The species tree is widely found in Kensington. The Committee selected this tree for its precedent in Kensington as well as for its light and airy crown. The crown will not block the view of the historic buildings nor of commercial signs. Additionally, because the leaves are quite small and tend to blow away, they will not pose the safety hazard or maintenance problems of slippery large leave. The Shademaster Honey Locust with the streetlights will provide continuity and unity to the streetscaping project.
- Installation of six-foot long benches by Victor Stanley Inc. These benches have cast-iron frames in ductile iron and 2x4 sealed Ipe wood slats. The benches will have 3/8"x 3" center brace to discourage people from sleeping on them. (See attached drawing).
- The trash receptacle to be used will be dark green metal by Victor Stanley (proTONE Series). (See attached drawing).
- Drinking fountain by Murdock Model MC-76-2, dual-bowl with wheelchair arm will be installed. It is made out of cast iron with Victorian motif. (See attached drawing).

- A loop bike rack by Quality Industries Model 1052 will be installed. (See attached drawing).
- As discussed earlier, a Town Clock by the Verdin Design Group, the Georgetown model, will be installed. (See attached drawing).
- As discussed earlier, a Kiosk similar to the Gateway Sign at Connecticut Avenue and Howard Avenue will be installed. (See attached drawing).

The committee believes the design with its selected elements is compatible with and has historic references to the area. The committee believes that the design will enhance the setting for the historic buildings. Also, the design offers a maximum of safety, convenience and amenities for the areas. The design with its placement of street trees and street lights along the curb edge will provide a safety and comfort zone for the pedestrian.

Attachment 2. b. General Description of the Armory Avenue Streetscape Project and its Effect on the Historic Resources, the Environmental Setting, and the Historic District.

The design proposes to fill in the gap between the streetscaping just around the corner (Kensington Phase 1 Streetscape along Howard Avenue) and the side-walk/landscape strip with street trees that stop at 10415 Armory Avenue. The trucks delivering gas to the Service Station necessitate a continuous driveway. The cars backing out to Armory Avenue at the southern half of 10417 Armory Avenue (in front of Cottage Monet and Café Monet) also interfere with a continuous landscape strip. To compensate for this, planters and green cutouts are proposed inside the properties. These break up the asphalt and concrete jungle and complement the landscape strip between Café Monet and GTM architects. To warn motorists and invite pedestrians, tinted concrete will border the crosswalks. Street trees and streetlights used in Phase 1 will be repeated here. Pedestrian circulation along the street and inside 10417 Armory Avenue is enhanced.

The streetscape improvements along Armory Avenue have been moved up to Phase 2 from Phase 3 at the request of the businesses and the property owners. The plans have been presented to the committee and the Town Council.

KENSINGTON STREETSCAPE ARMORY AVENUE AND TOWN OF KENSINGTON

LANDSCAPE ARCHITECT/
CIVIL ENGINEER

P.E.L.A. DESIGN, INC.

212 WASHINGTON AVE., SUITE 300
TOWSON, MD 21284
PHONE: 410-296-5545 FAX: 410-296-5547

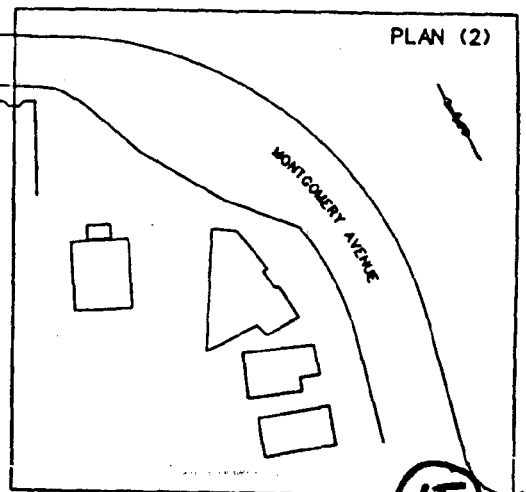
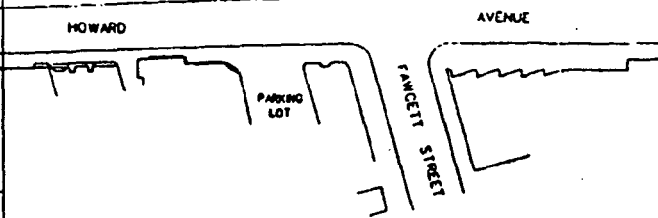
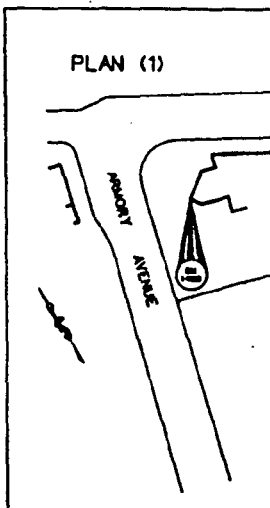
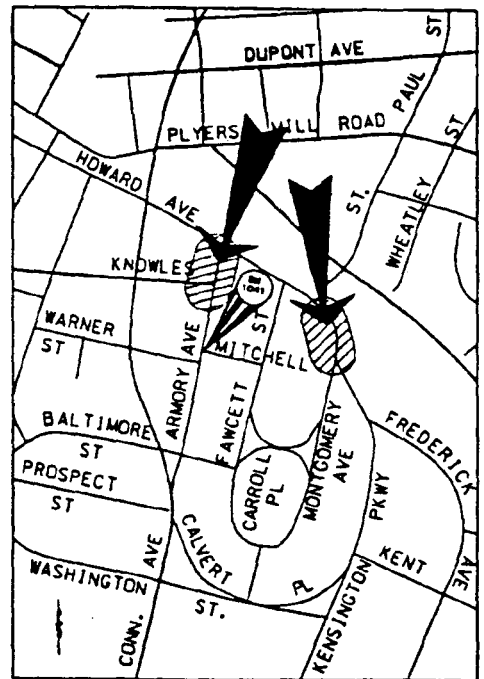
ELECTRICAL ENGINEER

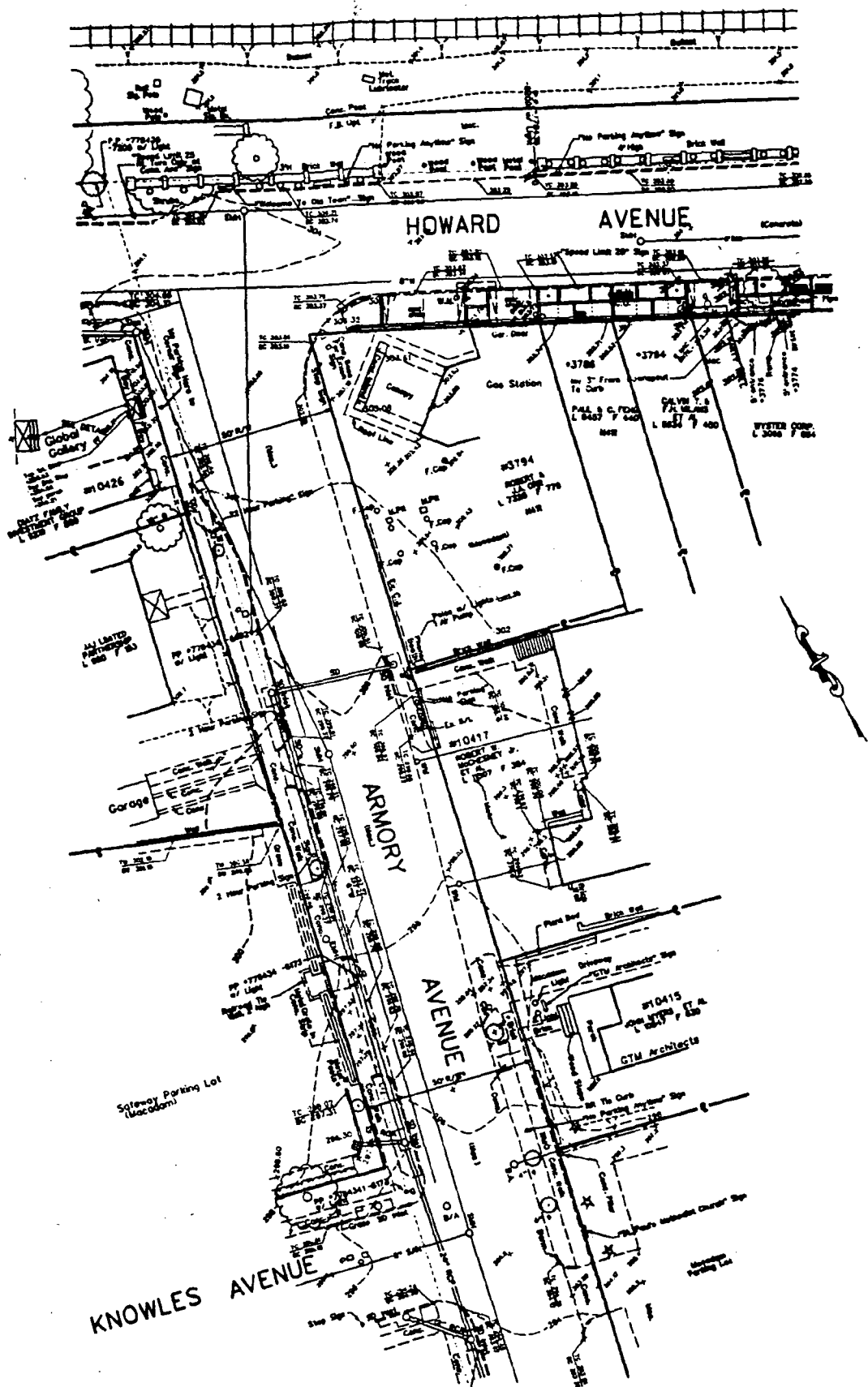
HENRY ADAMS, INC.

600 BALTIMORE AVE.
BALTIMORE, MD 21204
PHONE: 410-296-6500 FAX: 410-296-3156

LOCATION MAP

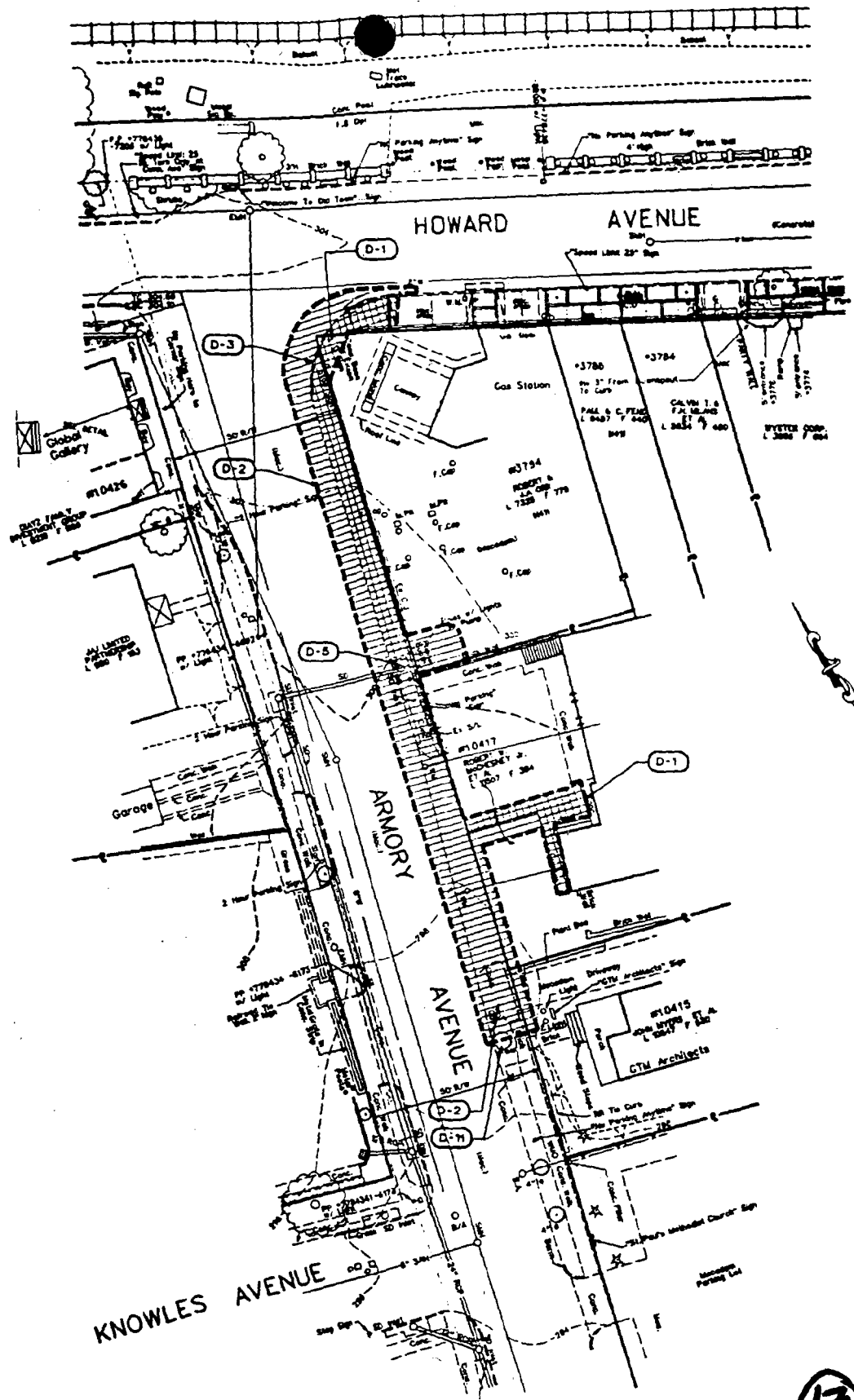
SCALE: 1" = 500'





16

APPROVED _____ 	DESIGNED: _____ DRAWN: JH/SC CHECKED: LT/TL	KENSINGTON STREETScape PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.040.01L2 BID NUMBER: PROJECT/JOB NUMBER: 779618	EXISTING CONDITIONS (1) SOX CONSTRUCTION DOCUMENTS
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VE ALL ENCUMBRANCES TO
TION OF THE ARMORY AVENUE AND
CAPE PROJECT IN COMPLETE
NS, SPECIFICATIONS, AND PROJECT MANUAL.

E SITE PRIOR TO BID.
TY AT 1-800-257-7777 FORTY-EIGHT

UTION ACTIVITIES WITH
RESPONSIBLE FOR DOCUMENTING
WORK TO HIS OWN SATISFACTION
AUSED BY HIS WORK CREWS OR ANY
E PLANS.

TH IN THE ENCLOSED LIMIT OF
ERGROUND UTILITIES, SIGNS,
RS, AND ALL ATTENDANT

NTY A PROJECT REPRESENTATIVE, A
MAINTENANCE OF PEDESTRIAN
WALK ACCESS TO ALL BUILDING
CONSTRUCTION PERIOD.

DEWALK MATERIAL FROM
L, SO AS NOT TO CAUSE
UNDER SIDEWALKS SHALL
AGED DURING CONSTRUCTION
REPRESENTATIVE.

TON SHALL BE STORED AT A
E, CONTRACTOR IS RESPONSIBLE

TON BUSINESS ASSOCIATION
ER POTS LOCATED WITHIN THE
BE SALVAGED WILL BE THE
5 DAYS OF CONTRACTOR
DISPOSE OF FLOWER POTS

RMED BY COUNTY IN FIELD.

S, TRASH RECEPTACLES, SIGNS AND
LATER RELOCATION IN THE PROJECT.
EX BENCHES, TRASH RECEPTACLES

CONTACT POSTAL SERVICES AND

E FROM DAMAGE DURING SITE

PAVING TO THE DEPTH

ING ANY DAMAGE TO PUBLIC OR
S OR HIS SUBCONTRACTORS.

17

PLANNING & COMMUNITY AFFAIRS
COUNTY
PLANNING DEVELOPMENT
ROCKVILLE, MARYLAND
3650

APPROVED _____
DESIGNED: _____
DRAWN: JH/SC
CHECKED: LT/TL

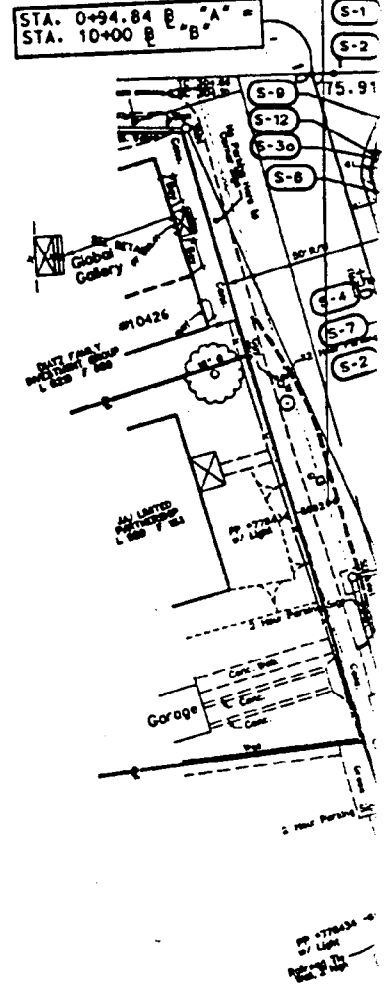
DESIGNED: _____
DRAWN: JH/SC
CHECKED: LT/TL

KENSINGTON STREETScape PROJECT
PHASE II CONSTRUCTION
PELA PROJECT NO.: 95.040.01L2
B16 NUMBER:
PROJECT/JOB NUMBER: 779618

DEMOLITION
BOX CONSTRUCTION

SITE CONSTRUCTION NOTES

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- ▨ S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL B/C-14
- ▨ S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- ▨ S-3b INSTALL CONC. PAVEMENT.
- ▨ S-4 INSTALL PEDESTRIAN CROSSWALK. SEE DETAIL 3&4/C-14
- S-5 INSTALL CONC. WHEEL STOP. SEE DETAIL 7/C-14
- ▨ S-6 INSTALL PLANTING AREA. SEE LANDSCAPE PLAN L-1 OR DETAIL ON SHEET L-3
- ▨ S-7 INSTALL CONC. APRON. SEE DETAIL 4/C-12
- ▨ S-8 INSTALL BRICK PAVING. SEE DETAIL 6/C-15
- ▨ S-9 INSTALL H.C. RAMP. SEE DETAIL 3/C-12
- S-10 INSTALL TRASH RECEPTACLES. SEE DETAIL 3/C-13
- ▨ S-11 INSTALL WOOD BENCHES. SEE DETAIL 3/C-12
- S-12 INSTALL LIGHTS. SEE SHEETS E-1, 2, & 3
- S-13 INSTALL DRINKING FOUNTAIN. SEE DETAIL 5/C-14
- ▨ S-14 INSTALL TREE PIT. SEE DETAIL 2/C-12
- ▨ S-15 INSTALL BRICK WALL. SEE DETAIL 2&5/C-15
- ⊗ S-16 INSTALL KIOSKS
- ◆ S-17 INSTALL TOWN CLOCK. SEE DETAIL 4/C-13
- S-18 INSTALL BOLLARDS. SEE DETAIL 8/C-14
- S-19 INSTALL SIDEWALK EXTENDER
- S-20 INSTALL INLET M.C. STANDARD
- S-21 INSTALL BRICK PIERS. SEE DETAIL 3/C-15
- S-22 INSTALL METAL FENCE. SEE DETAIL 1, 2, & 4/C-15
- ▨ S-23 INSTALL BIT. CONC. PAVEMENT. SEE DETAIL
- S-24 INSTALL CONCRETE DRIVE. SEE DETAIL 6/C-12
- S-25 INSTALL BIKE RACK. SEE DETAIL 7/C-15
- S-26 INSTALL CONCRETE PLANTER. SEE DETAIL 6/C-14
- S-27 INSTALL TRENCH DRAIN
- S-28 INSTALL 3" PVC DRAIN WITH CLEANOUT AND CURB SLEEVE

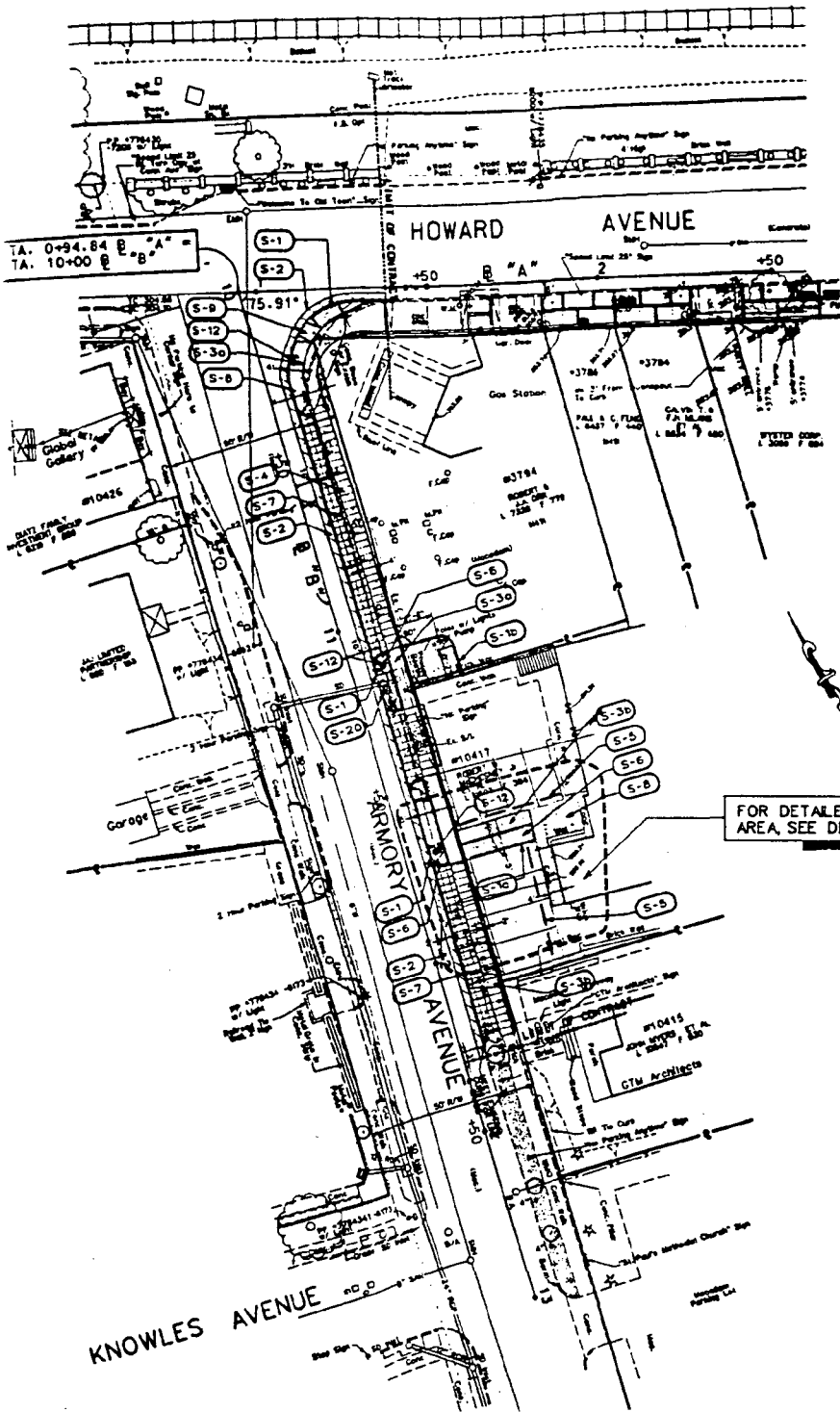


KNOWLES AVENUE

C-5

<p>P.E.L.A. DESIGN, INC. PLANNING, ENGINEERING, LANDSCAPE ARCHITECTS</p> <p>212 WASHINGTON AVE. SUITE 100 TOWSON, MD. 21204 (410) 296-5545</p>	<p>DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS</p> <p>MONTGOMERY COUNTY</p> <p>DIVISION OF COMMUNITY DEVELOPMENT 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND (240)-777-3650</p>	<p>APPROVED _____</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">PROPOSED</p>	<p>DESIGNED: _____</p> <p>DRAWN: JH/SC</p> <p>CHECKED: LT/TL</p>
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18



CONSTRUCTION ITEMS	QUANTITY
CONC CURB & GUTTER	227 LF
CONC S/W	38 SY
CONC CROSSWALK	65 SY
BRICK S/W PAVING	28 SY
CONC APRON	75 SY
LIGHT FOOTINGS	4 EA
BIT. CONC PATCHING	55 SY
INLET PROTECTION	1 EA

CONC. CURB LOCATIONS

STATION	OFFSET	DESCRIPTION
10-13.63	40.71' LT	BEGINNING OF CONC. CURB
10-36.02	6.50' LT	END OF CONC. CURB
11-11.78	6.91' LT	BEGINNING OF CONC. CURB
11-24.08	6.95' LT	END OF CONC. CURB
11-50.06	7.10' LT	BEGINNING OF CONC. CURB
11-71.06	7.14' LT	END OF CONC. CURB
12-26.81	6.77' LT	END OF CONC. DEPRESSED CURB

CONC. APRON LOCATIONS

STATION	OFFSET	DESCRIPTION
10-73.91	7.23' LT	C CONC. APRON
11-37.07	7.53' LT	C CONC. APRON
11-81.33	7.50' LT	C CONC. APRON
12-16.41	7.34' LT	C CONC. APRON

STREET LIGHT LOCATIONS

STATION	OFFSET	DESCRIPTION
10-33.22	8.04' LT	C STREET LIGHT
11-12.82	9.80' LT	C STREET LIGHT
11-89.17	8.30' LT	C STREET LIGHT
12-27.86	9.00' LT	C STREET LIGHT

CONC. CURB LOCATIONS

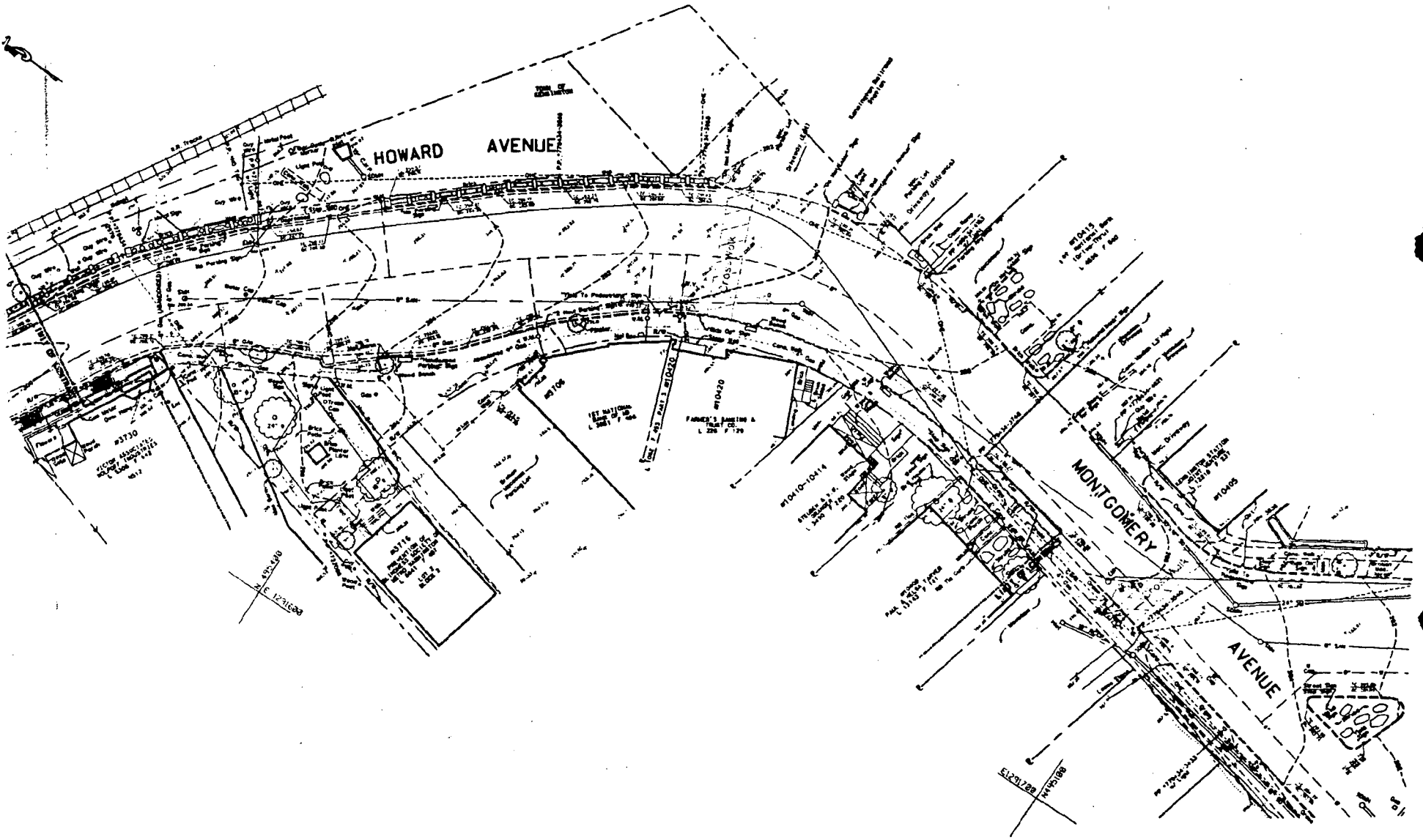
STATION	OFFSET	DESCRIPTION
11-38.34	11.12' LT	BEGINNING OF CROSSWALK
11-09.05	12.36' LT	END OF CROSSWALK
11-27.05	12.36' LT	BEGINNING OF CROSSWALK
11-47.05	12.36' LT	END OF CROSSWALK
11-74.05	12.36' LT	BEGINNING OF CROSSWALK
12-06.59	12.36' LT	END OF CROSSWALK
12-10.86	12.36' LT	BEGINNING OF CROSSWALK
12-25.29	12.36' LT	END OF CROSSWALK

CROSS REFERENC.

FOR EXISTING CONDITIONS
 FOR DEMOLITION PLAN, SEE 'D'
 FOR GRADING PLAN, SEE 'C'
 FOR DETAILED PLAN, SEE 'E'
 FOR SITE DETAILS, SEE 'D'
 FOR LANDSCAPE PLAN, SEE 'F'
 FOR LANDSCAPE DETAILS, SEE 'G'
 FOR ELECTRICAL PLAN, SEE 'H'
 FOR ELECTRICAL DETAILS, SEE 'I'

DESIGNED: _____	KENSINGTON STREETScape PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.040.01L2 BID NUMBER: _____ PROJECT/JOB NUMBER: 775618	PROPOSED SITE PLAN (1)	DATE: 11/05/99	REVISIONS		
DRAWN: JH/SC			SCALE	DATE	BY	DESCRIPTION
CHECKED: LT/TL			PLAN: 1" = 20'			
		90% CONSTRUCTION DOCUMENTS	SECTION: _____			

19 K-5



20

CROSS REFERENCES
 FOR DEMOLITION PLAN, SEE DWG C-4
 FOR SITE PLAN, SEE DWG C-8
 FOR GRADING PLAN, SEE DWG C-8
 FOR SITE DETAILS, SEE DWG C-10, C-11, C-12
 FOR LANDSCAPE PLAN, SEE DWG L-2
 FOR LANDSCAPE DETAILS, SEE DWG L-3
 FOR ELECTRICAL PLAN, SEE DWG E-2
 FOR ELECTRICAL DETAILS, SEE DWG E-3

*FOR REVIEW ONLY-NOT FOR CONSTR

DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS
 MONTGOMERY COUNTY

APPROVED _____
 DATE: _____

DESIGNED: _____
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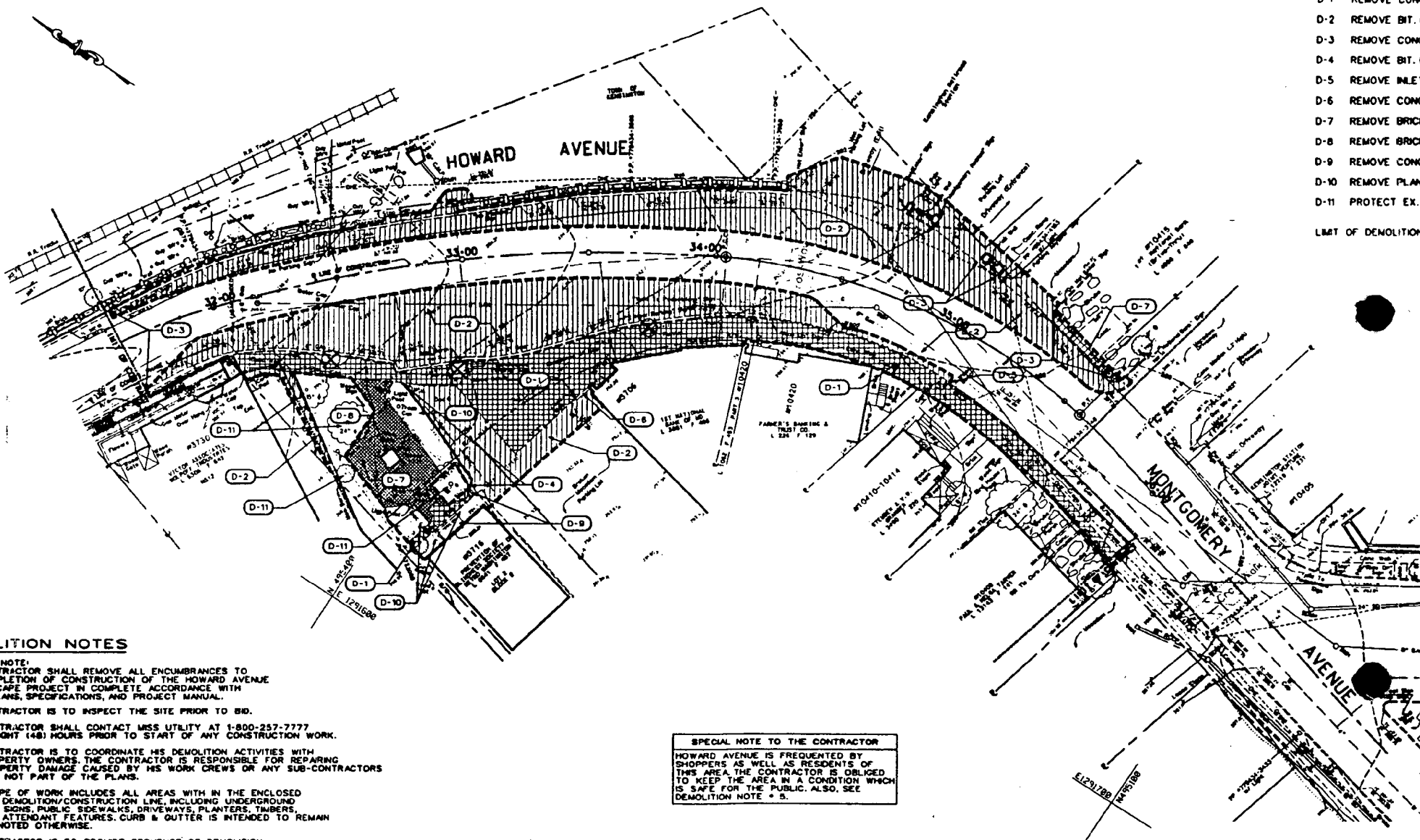
KENSINGTON STREETScape PROJECT
 PHASE II CONSTRUCTION

EXISTING CONDITIONS

DATE: 11-05-1999		REVISIONS	
SCALE	DATE	BY	DESCRIPTION

- D-1 REMOVE CONC
- D-2 REMOVE BIT. CO
- D-3 REMOVE CONC
- D-4 REMOVE BIT. C
- D-5 REMOVE INLET
- D-6 REMOVE CONC
- D-7 REMOVE BRICK
- D-8 REMOVE BRICK
- D-9 REMOVE CONC
- D-10 REMOVE PLANT
- D-11 PROTECT EX. 1

LIMIT OF DEMOLITION



DEMOLITION NOTES

- GENERAL NOTE: THE CONTRACTOR SHALL REMOVE ALL ENCUMBRANCES TO THE COMPLETION OF CONSTRUCTION OF THE HOWARD AVENUE REESTABLISHMENT PROJECT IN COMPLETE ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND PROJECT MANUAL.
- THE CONTRACTOR IS TO INSPECT THE SITE PRIOR TO BID.
- THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 SEVENTY-EIGHT (48) HOURS PRIOR TO START OF ANY CONSTRUCTION WORK.
- THE CONTRACTOR IS TO COORDINATE HIS DEMOLITION ACTIVITIES WITH THE PROPERTY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY PROPERTY DAMAGE CAUSED BY HIS WORK CREWS OR ANY SUB-CONTRACTORS WHICH IS NOT PART OF THE PLANS.
- THE SCOPE OF WORK INCLUDES ALL AREAS WITHIN THE ENCLOSED LIMIT OF DEMOLITION/CONSTRUCTION LINE, INCLUDING UNDERGROUND UTILITIES, SIGNS, PUBLIC SIDEWALKS, DRIVEWAYS, PLANTERS, TIMBERS, AND ALL ATTENDANT FEATURES. CURB & GUTTER IS INTENDED TO REMAIN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS TO PROVIDE SEQUENCE OF DEMOLITION, CONSTRUCTION AND MAINTENANCE OF PEDESTRIAN TRAFFIC PLAN PRIOR TO REMOVAL OF ANY SIDEWALK. ACCESS TO ALL BUILDING ENTRANCES SHALL BE MAINTAINED DURING THE CONSTRUCTION PERIOD.
- CAUTION SHALL BE TAKEN WHEN EXCAVATING SIDEWALK MATERIAL FROM THE FRONT OF OR ALONGSIDE ANY BUILDING WALL.
- ALL ITEMS TO BE STOCKPILED FOR REINSTALLATION SHALL BE PROTECTED FROM DAMAGE AND SECURELY STORED.
- THE CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNERS REGARDING THE DISPOSAL OF ALL FLOWER POTS LOCATED WITHIN THE LIMIT OF DISTURBANCE.

SPECIAL NOTE TO THE CONTRACTOR
 HOWARD AVENUE IS FREQUENTED BY SHOPPERS AS WELL AS RESIDENTS OF THIS AREA. THE CONTRACTOR IS OBLIGED TO KEEP THE AREA IN A CONDITION WHICH IS SAFE FOR THE PUBLIC. ALSO, SEE DEMOLITION NOTE # 5.

DEMOLITION ITEMS	QUANTITY
CONC. WALK	486 SY
CONC. CURB & GUTTER	777 LF
MACADAM CURB	89 LF
BIT. CONC. PAVING	1368 SY
SAWCUT 4"-6"	373 LF
SAWCUT 8"-10"	1043 LF
TREES	3 EA
PLANTING AREA	102 SY

LEGEND

- LIMIT OF DEMOLITION
- SITE FEATURE TO BE REMOVED

CROSS REFERENCE
 FOR EXISTING
 FOR SITE PLAN
 FOR GRADING
 FOR SITE DEVELOPMENT
 FOR LANDSCAPE
 FOR ELECTRIC
 FOR ELECTRICAL

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

DESIGN, INC.
 1000 WASHINGTON AVE.
 WASHINGTON, D.C. 20004
 202-638-5549

DEPARTMENT OF HOUSING & COMMUNITY AFFAIRS
MONTGOMERY COUNTY
 DIVISION OF COMMUNITY DEVELOPMENT
 100 MARYLAND AVENUE, 4TH FL., ROCKVILLE, MARYLAND 20850

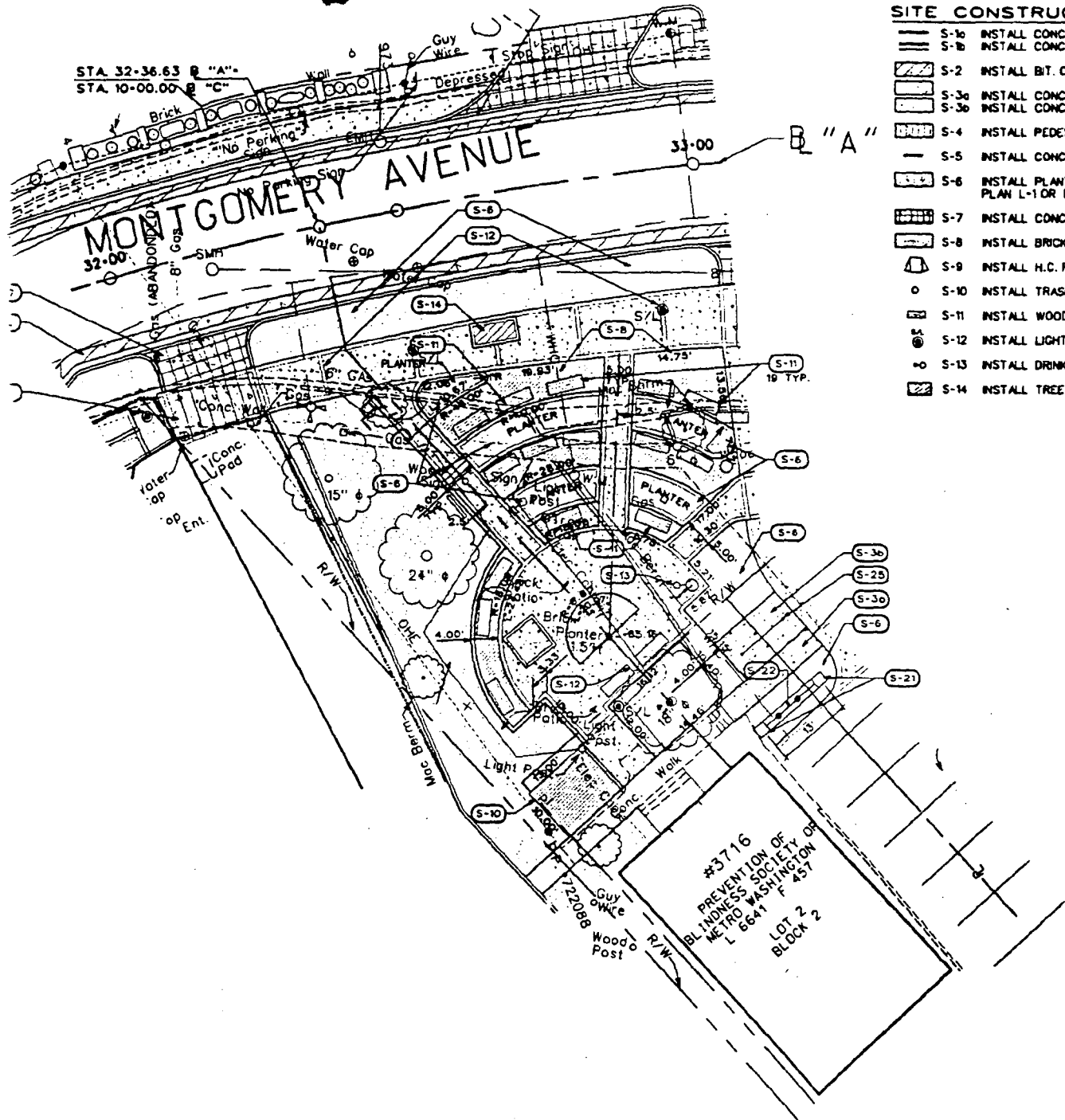
APPROVED _____
 DESIGNED: LT/TL/BR
 DRAWN: BR
 CHECKED: LT/TL

**KENSINGTON STREETSCAPE PROJECT
 PHASE II CONSTRUCTION**
 PELA PROJECT NO.: 95.040.01L2
 BID NUMBER: 6771000001
 PROJECT/JOB NUMBER: 769616

DEMOLITION PLAN (2)

DATE: 11-05-1999
 SCALE: _____
 PLAN: 1"=20'-0"
 SECTION: _____

12



SITE CONSTRUCTION NOTE

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C.
- S-2 INSTALL BIT. CONC. PATCHING. SEE DET.
- S-3a INSTALL CONC. SIDEWALK. SEE DET.
- S-3b INSTALL CONC. PAVEMENT.
- S-4 INSTALL PEDESTRIAN CROSSWALK. S
- S-5 INSTALL CONC. WHEEL STOP. SEE DET.
- S-6 INSTALL PLANTING AREA. SEE LANDS PLAN L-1 OR DETAL ON SHEET L-3
- S-7 INSTALL CONC. APRON. SEE DETAL.
- S-8 INSTALL BRICK PAVING. SEE DETAL.
- S-9 INSTALL H.C. RAMP. SEE DETAL 3/C.
- S-10 INSTALL TRASH RECEPTACLES. SEE DET.
- S-11 INSTALL WOOD BENCHES. SEE DETAL.
- S-12 INSTALL LIGHTS. SEE SHEETS E-1, 2.
- S-13 INSTALL DRINKING FOUNTAIN. SEE DET.
- S-14 INSTALL TREE PIT. SEE DETAL 2/C-1.

PROPOSED

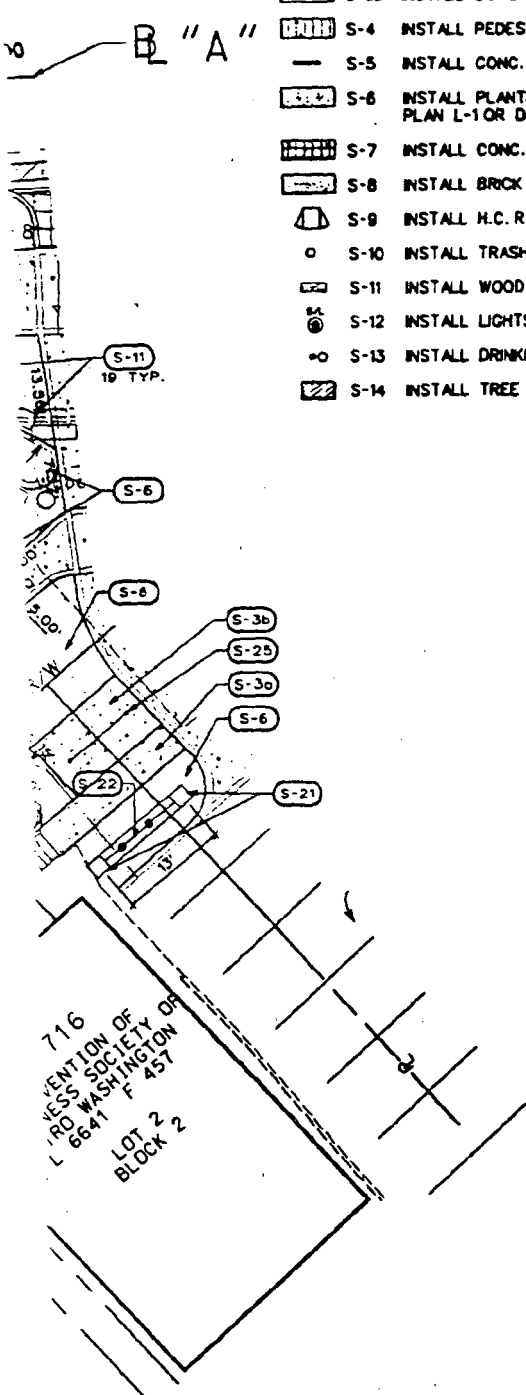
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HOUSING & COMMUNITY AFFAIRS MONTGOMERY COUNTY COMMUNITY DEVELOPMENT 1000 E. 4TH PL., ROCKVILLE, MARYLAND (301) 777-3650	APPROVED _____ <small>SHEET</small>	DESIGNED: _____ DRAWN: BRS CHECKED: LT/TL	KENSINGTON STREETSCAPE PROJECT PHASE II CONSTRUCTION PELA PROJECT NO.: 95.04C.01L2 BID NUMBER: 6771000001 PROJECT/JOB NUMBER: 769E16	DETAILED PARK L.A AND CONSTRUCTION 90% CONSTRUCTION DOCUMENTS
	DIRECTOR, DEPARTMENT OF HOUSING & COMMUNITY DEVELOPMENT			C-9

22

SITE CONSTRUCTION NOTES

- S-1a INSTALL CONC. CURB.
- S-1b INSTALL CONC. CURB & GUTTER M.C. STANDARD
- S-2 INSTALL BIT. CONC. PATCHING. SEE DETAIL 8/C-14
- S-3a INSTALL CONC. SIDEWALK. SEE DETAIL 5/C-12
- S-3b INSTALL CONC. PAVEMENT.
- S-4 INSTALL PEDESTRIAN CROSSWALK. SEE DETAIL 3a4/C-14
- S-5 INSTALL CONC. WHEEL STOP. SEE DETAIL 7/C-14
- S-6 INSTALL PLANTING AREA. SEE LANDSCAPE PLAN L-1 OR DETAIL ON SHEET L-3
- S-7 INSTALL CONC. APRON. SEE DETAIL 4/C-12
- S-8 INSTALL BRICK PAVING. SEE DETAIL 8/C-15
- S-9 INSTALL H.C. RAMP. SEE DETAIL 3/C-12
- S-10 INSTALL TRASH RECEPTACLES. SEE DETAIL 3/C-13
- S-11 INSTALL WOOD BENCHES. SEE DETAIL 3/C-12
- S-12 INSTALL LIGHTS. SEE SHEETS E-1, 2, & 3
- S-13 INSTALL DRINKING FOUNTAIN. SEE DETAIL 5/C-14
- S-14 INSTALL TREE PIT. SEE DETAIL 2/C-12
- S-15 INSTALL BRICK WALL. SEE DETAIL 2a5/C-15
- S-16 INSTALL KIOSKS
- S-17 INSTALL TOWN CLOCK. SEE DETAIL 4/C-13
- S-18 INSTALL BOLLARDS. SEE DETAIL 8/C-14
- S-19 INSTALL SIDEWALK EXTENDER
- S-20 INSTALL INLET M.C. STANDARD
- S-21 INSTALL BRICK PIERS. SEE DETAIL 3/C-15
- S-22 INSTALL METAL FENCE. SEE DETAIL 1, 2, & 4/C-15
- S-23 INSTALL BIT. CONC. PAVEMENT. SEE DETAIL
- S-24 INSTALL CONCRETE DRIVE. SEE DETAIL 6/C-12
- S-25 INSTALL BIKE RACK. SEE DETAIL 7/C-15
- S-26 INSTALL CONCRETE PLANTER. SEE DETAIL 6/C-14
- S-27 INSTALL TRENCH DRAIN
- S-28 INSTALL 3" PVC DRAIN WITH CLEANOUT AND CURB SLEEVE



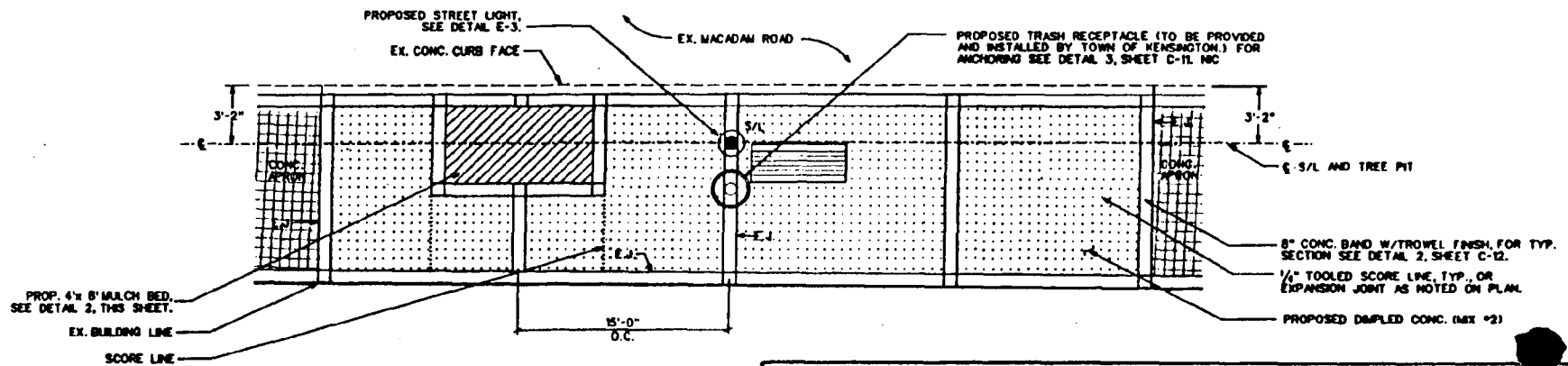
716
 VENTON OF
 WESS SOCIETY OF
 RD WASHINGTON
 L 66-41 F 457
 LOT 2
 BLOCK 2

PROPOSED C-9

FOR REVIEW ONLY-NOT FOR CONSTRUCTION

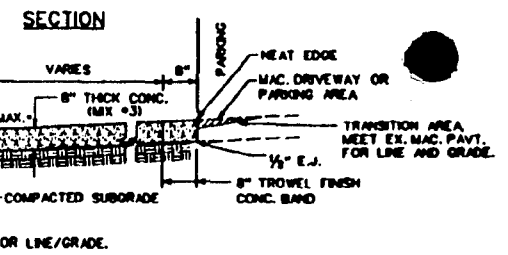
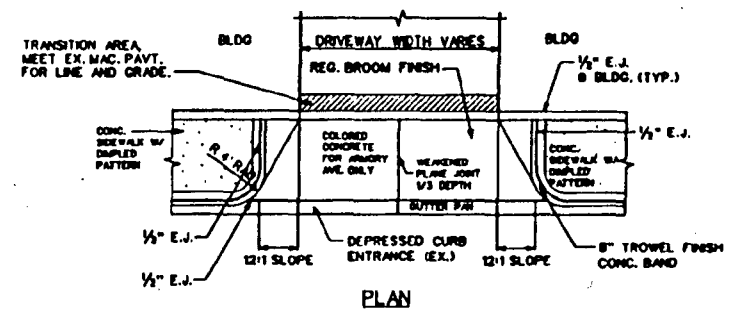
WASHINGTON STREETSCAPE PROJECT II CONSTRUCTION PROJECT NO.: 95.040.01L2 DRAWING NO: 6771000001 JOB NUMBER: 769616	DETAILED PARK LAYOUT AND CONSTRUCTION PLAN 90% CONSTRUCTION DOCUMENTS SUBMITTAL	DATE: 11-05-1999	REVISIONS		DRAWING C-9 NO: 13 OF: 26
		SCALE	DATE	BY	
		PLAN: 1" = 10'			
		SECTION:			

23

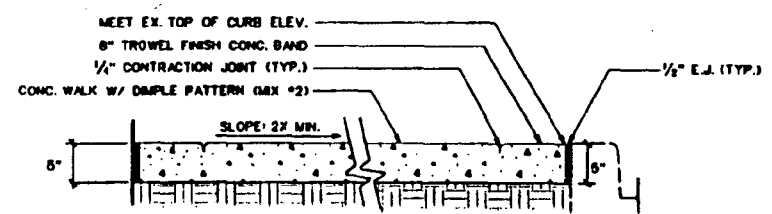
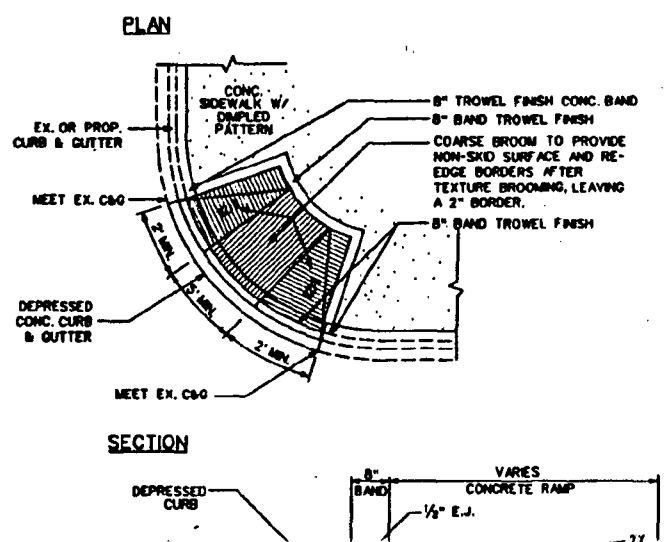


- LAYOUT NOTES:**
1. FOR LOCATIONS OF THE CONCRETE BANDS, STREET LIGHTS, TRASH RECEPTACLES, AND BENCHES ALONG ARMORY AND HOWARD AVENUE/MONTGOMERY AVENUE SEE SITE PLANS (1) & (2), DWG.'S C-5 & C-6.
 2. ALL DIMENSIONS ARE MEASURED FROM THE ROADSIDE CURB FACE.
 3. THE SCORING PATTERN ABOVE IS TYPICAL AND MAY BE ADJUSTED WITH APPROVAL OF THE COUNTY.

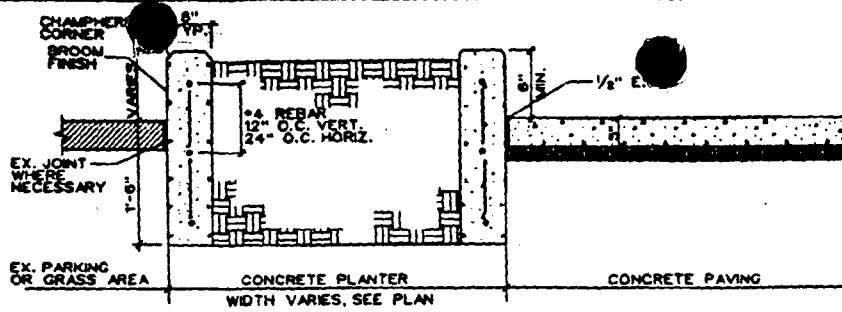
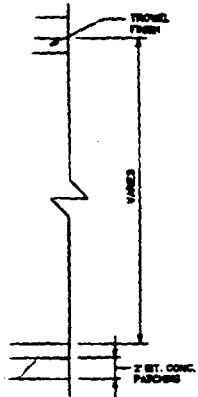
1 TYPICAL SIDEWALK LAYOUT PLAN
 SCALE: 1/4" = 1'-0"



4 CONCRETE APRON DETAIL
 NOT-TO-SCALE
 FOR PLAN LOCATIONS, SEE DWGS. C-5 & C-6

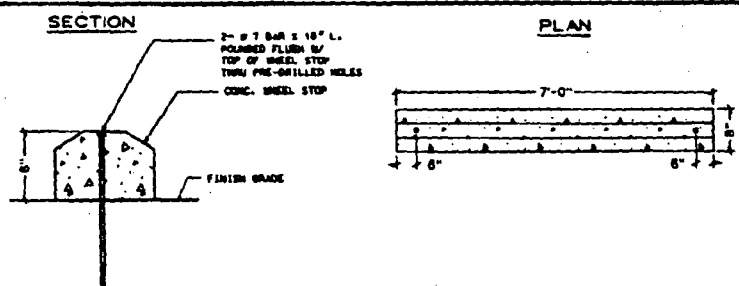


214



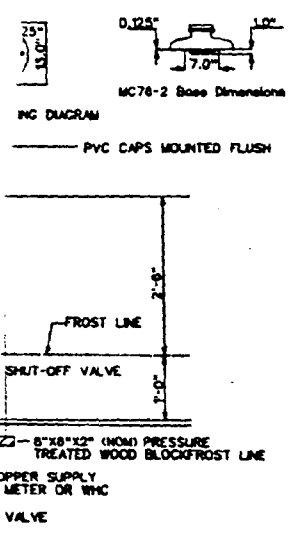
NOTES:
 1. FOR INSTALLATION OF SHRUBS/TREES SEE LANDSCAPE PLAN & DETAILS.
 2. EXPANSION JOINT MATERIAL SHALL BE 1/2" PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT, COMPLYING WITH FS TT-S-00227.

6 SECTION-RAISED CONCRETE PLANTER N.T.S.
 C-14



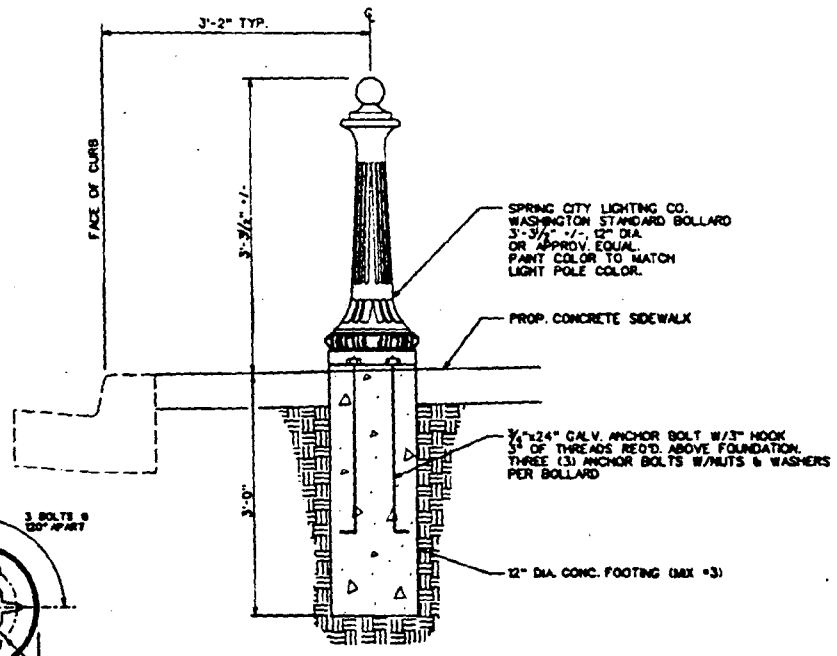
7 CONC. WHEEL STOP DETAIL N.T.S.
 C-14

DETAIL AS SHOWN

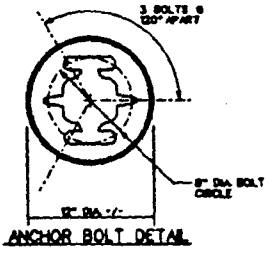


8 MOUNTAIN N.T.S.

TO SUPPLY OWNER WITH NICHES TO OPERATE BOTH THE MOUNTAIN VALVE



8 BOLLARD DETAIL NOT-TO-SCALE
 C-11



ANCHOR BOLT DETAIL

STREETSCAPE PROJECT II CONSTRUCTION
 95-040.012

SITE CONSTRUCTION DETAILS (3)
 BOX CONSTRUCTION DOCUMENTS

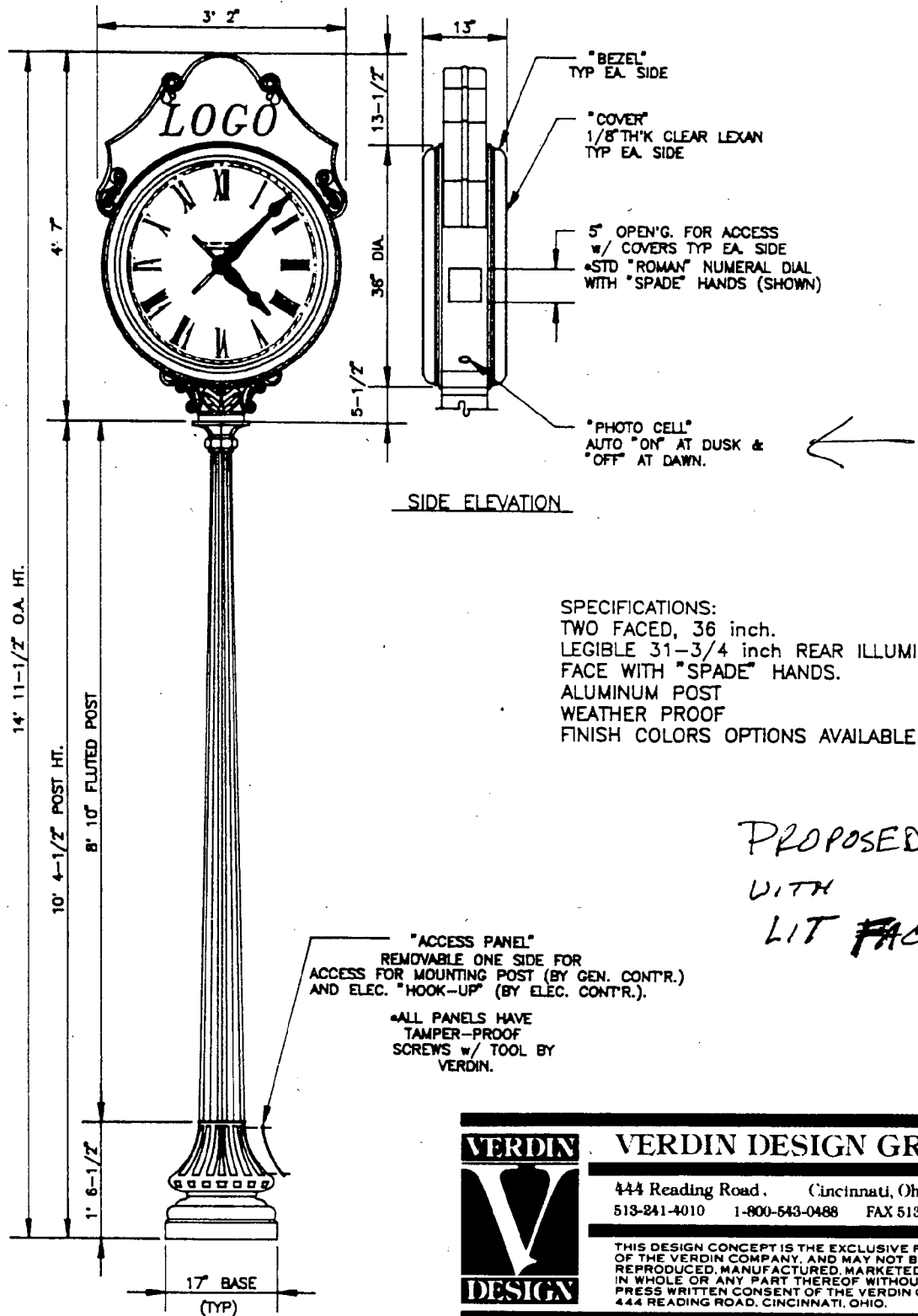
DATE: 11/05/99
 SCALE
 PLAN: AS SHOWN
 SECTION: AS SHOWN

REVISIONS		
DATE	BY	DESCRIPTION

DRAWING
 C-14
 NO: 18
 DF: 28

25

THE GEORGETOWN



SPECIFICATIONS:
TWO FACED, 36 inch.
LEGIBLE 31-3/4 inch REAR ILLUMINATED
FACE WITH "SPADE" HANDS.
ALUMINUM POST
WEATHER PROOF
FINISH COLORS OPTIONS AVAILABLE

PROPOSED
WITH
LIT FACE.

MODEL No. 4U



VERDIN DESIGN GROUP

444 Reading Road. Cincinnati, Ohio 45202
513-241-4010 1-800-543-0488 FAX 513-241-1863

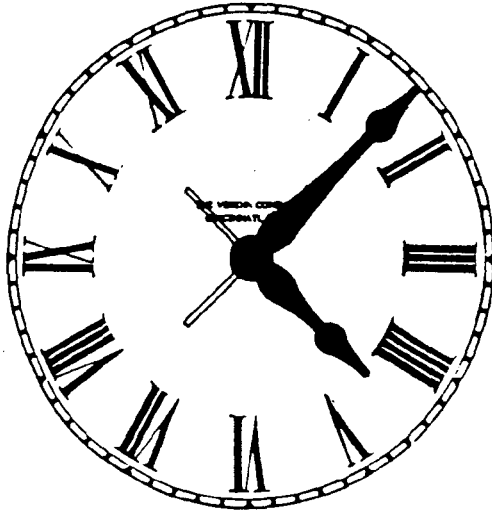
THIS DESIGN CONCEPT IS THE EXCLUSIVE PROPERTY
OF THE VERDIN COMPANY, AND MAY NOT BE COPIED,
REPRODUCED, MANUFACTURED, MARKETED, OR SOLD
IN WHOLE OR ANY PART THEREOF WITHOUT THE EX-
PRESS WRITTEN CONSENT OF THE VERDIN COMPANY,
444 READING ROAD, CINCINNATI, OHIO.

SCALE: 1/2" = 1'0" DRAWN BY: GLFJ DRAWING NUMBER:

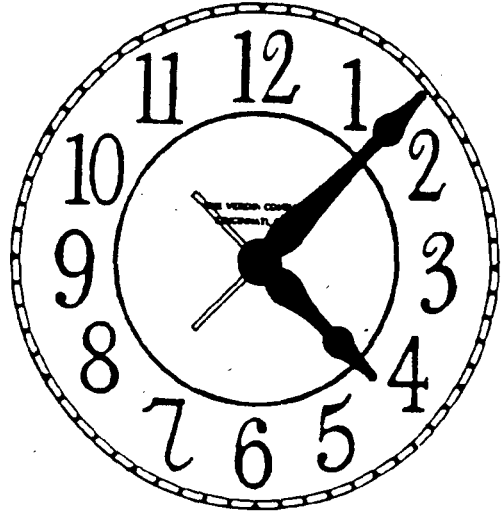
DATE: 7/15/95 REVISED: 95 CLK/
A 1704-3

26

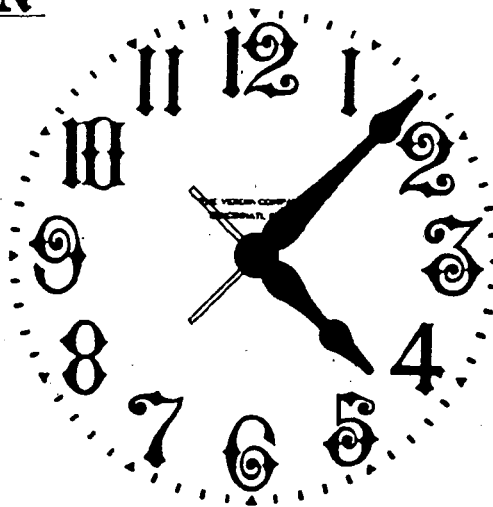
STANDARD STREET CLOCK DIALS



ROMAN



ARABIC



PROPOSED →
NUMERALS

VICTORIAN



VERDIN DESIGN GROUP

444 Reading Road, Cincinnati, Ohio 45202
513-241-4010 1-800-543-0488 FAX 513-241-1853

THIS DESIGN CONCEPT IS THE EXCLUSIVE PROPERTY OF THE VERDIN COMPANY, AND MAY NOT BE COPIED, REPRODUCED, MANUFACTURED, MARKETED, OR SOLD IN WHOLE OR ANY PART THEREOF WITHOUT THE EXPRESS WRITTEN CONSENT OF THE VERDIN COMPANY, 444 READING ROAD, CINCINNATI, OHIO.

SCALE: NONE DRAWN BY: GLEJ DRAWING NUMBER:
DATE: 7/15/95 REVISED: 95 CLK/
A 1704-20

27

ALL CASTINGS, CROSS
BRACES AND CENTER
BRACES ARE
ELECTROSTATICALLY
POWDER COATED

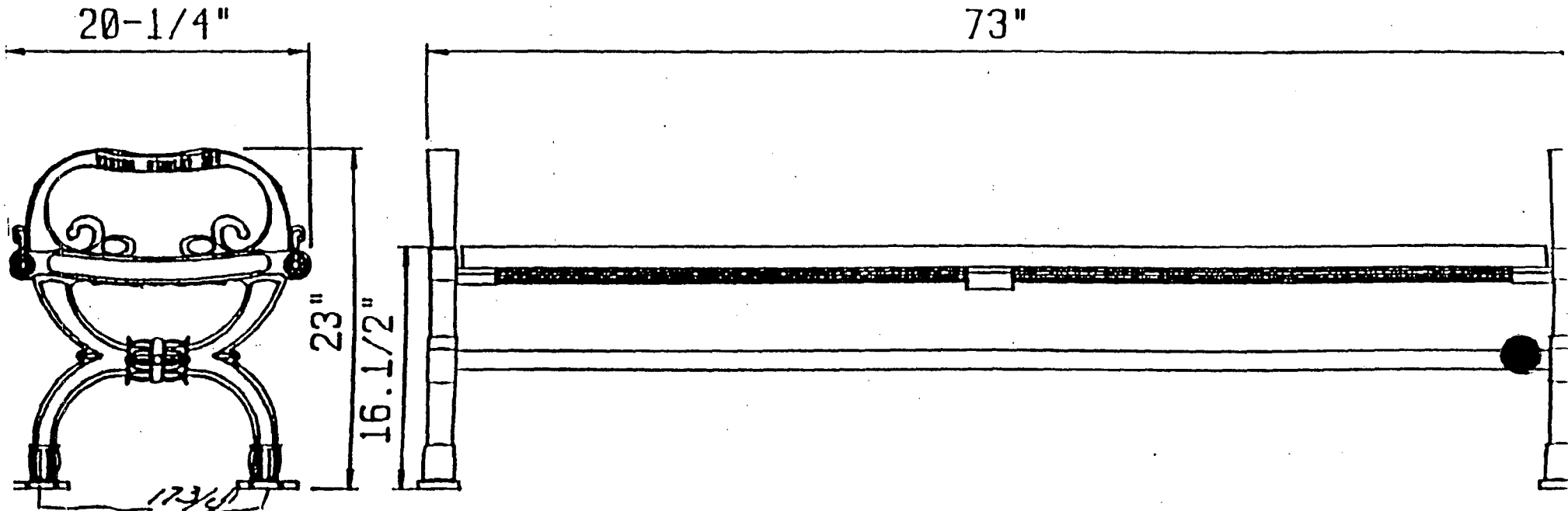
2X3 SLATS (7) WITH PREDRILLED PILOT HOLES

1-5/16" ODS TUBULAR STEEL INTEGRAL CROSS
BRACE WITH 7/16" MACHINE BOLTS

3/8" X 3" STEEL CENTER BRACE

EXTENDED CAST LIP WITH HOLES 2" FROM
END OF SLAT TO PREVENT SPLITTING

LOW PROFILE, VANDAL RESISTANT, 5/16" LAG SCREWS



*Center to
Center*

VICTOR STANLEY, INC. PO DRAWER 330 - DUNKIRK, MD 2071
(301) 855-8300 FAX (301) 257-7579

C-7 BACKLES CAST IRON BENCH	DATE 10/89	SCALE	PAGE
	DRAWN BAO	REV.	OF

78

Victor Stanley, Inc.

P.O. DRAWER 330 - DUNKIRK, MD 20754 USA
 TEL (301) 855-8300 - FAX (410) 257-7579

PG 1 OF 1

* C-10 Classic Series bench / 6' Length *

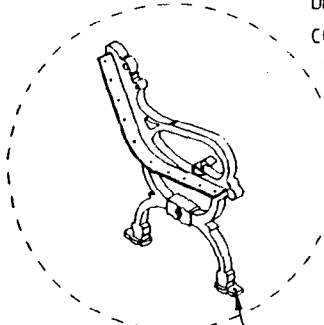
CADD Department

VEWS-6

DRAWN B.K.S.

REV. 11/4/96

CASTING-DETAIL



Ductile Iron castings come with a 5 year warranty against breakage.

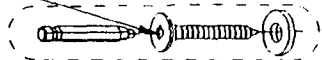
All specifications are subject to change. Please contact factory for details.

Clearance for 3/8" diameter anchor bolt.

(Anchor bolts provided by others)

All fabricated components are steel shot-blasted, etched, phosphatized and electrostatically powder-coated with TGIC polyester powder coatings.

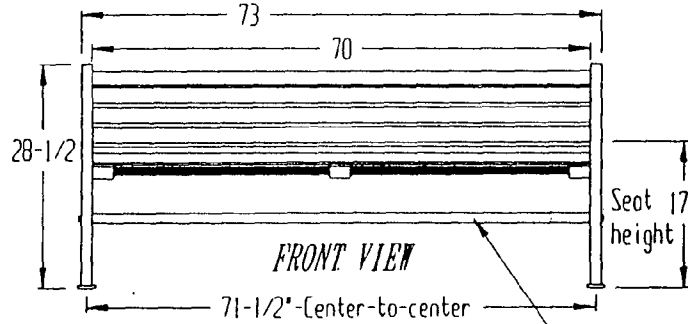
1-1/2" long x 1/4" O.D. vandal resistant lag screws fasten wood slats to steel supports from beneath



SCREW - DETAIL

Rigid center brace constructed of 3/8" x 3" solid steel bar

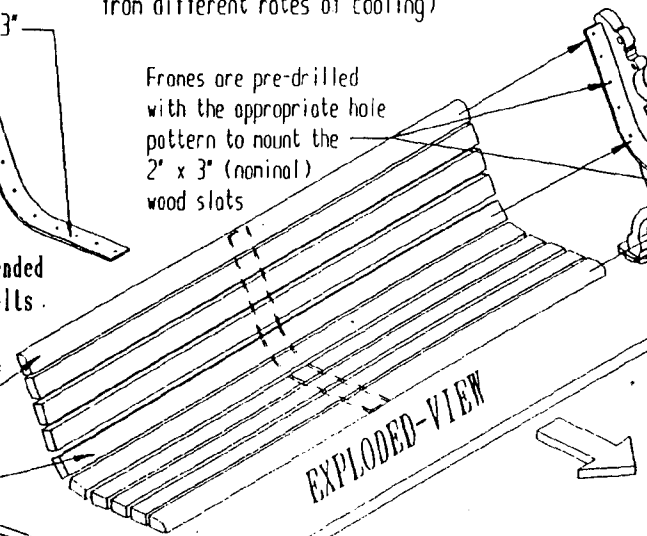
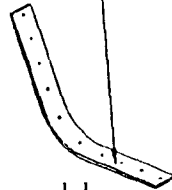
Note:
 * It is NOT recommended to locate anchor bolts until assembled bench is in place *



Center-to-center distances are approximate. (variations in castings arise from different rates of cooling)

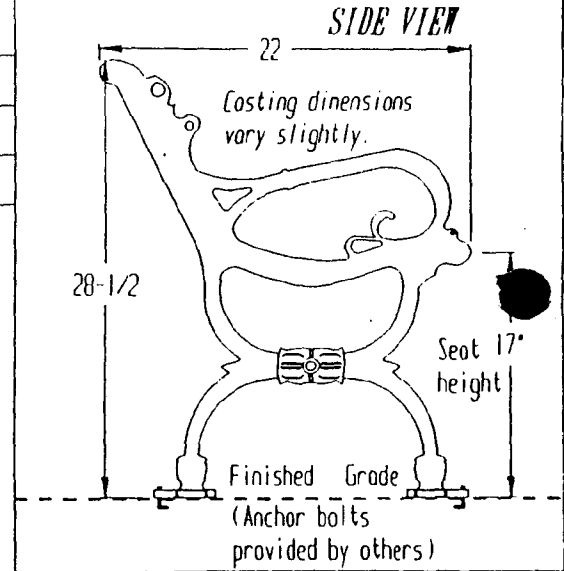
Frames are pre-drilled with the appropriate hole pattern to mount the 2" x 3" (nominal) wood slats

Cross-brace is 1-5/16" O.D. High-Tensile Strength Tubular steel



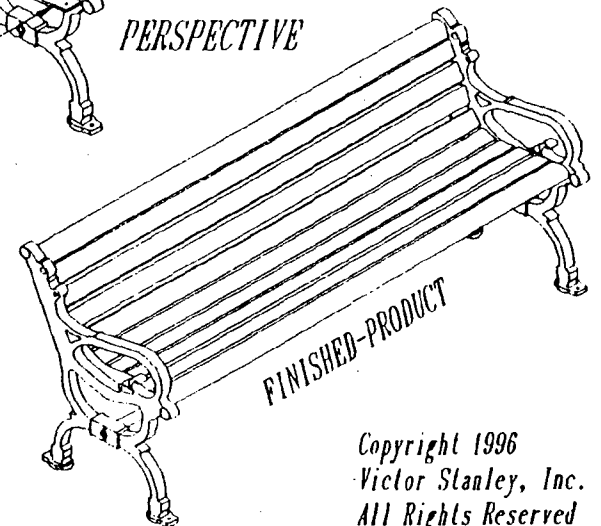
EXPLODED-VIEW

Rigid lateral support provided by 1-5/16" diameter steel tubing joining the two ends together



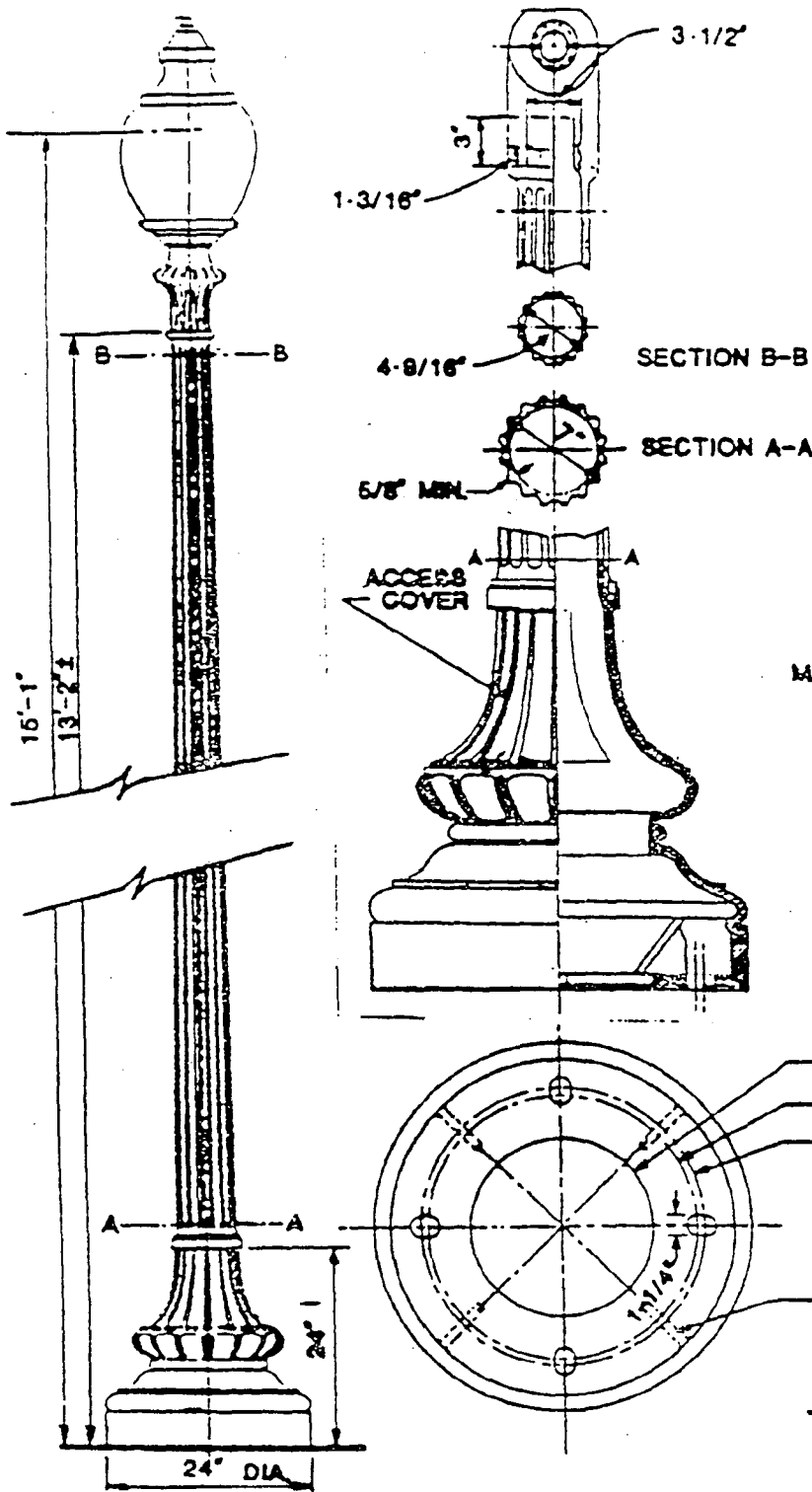
* Custom lettering is available for the C-7 and C-10 cast directly into the frame for a special location or a place to be commemorated *

PERSPECTIVE



FINISHED-PRODUCT

Copyright 1996
 Victor Stanley, Inc.
 All Rights Reserved



WASHINGTON
 GLOBE TO BE
 ENGRAVED
 SEE PHOTO.

MATERIAL: CAST DUCTILE IRON,
 GRADE 60-45-10 OR
 ANSI A 21.51

APPROVED
 Montgomery County
 Historic Preservation Commission

Jason Wright
 9/24/97

- 11" DIA. BASE OPENING
- 16" DIA. BOLT CIRCLE
- 17" DIA. BOLT CIRCLE
- (4) WEB BRACES

DIVISION OF TRAFFIC ENGINEERING
 DEPARTMENT OF TRANSPORTATION
 MONTGOMERY COUNTY, MARYLAND

SILVER SPRING
 DECORATIVE LAMP POST

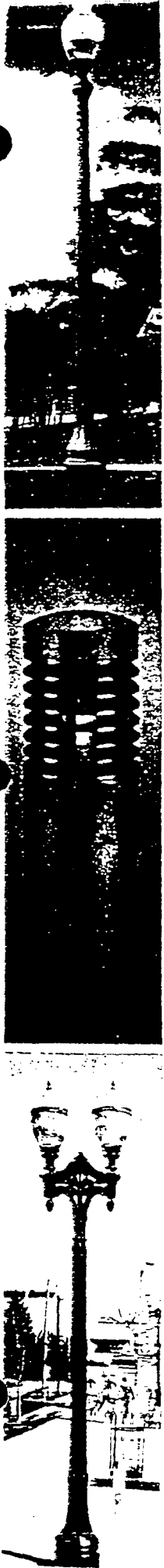
High Performance Luminaires
and Superior Quality Poles.



APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
9/24/97

31

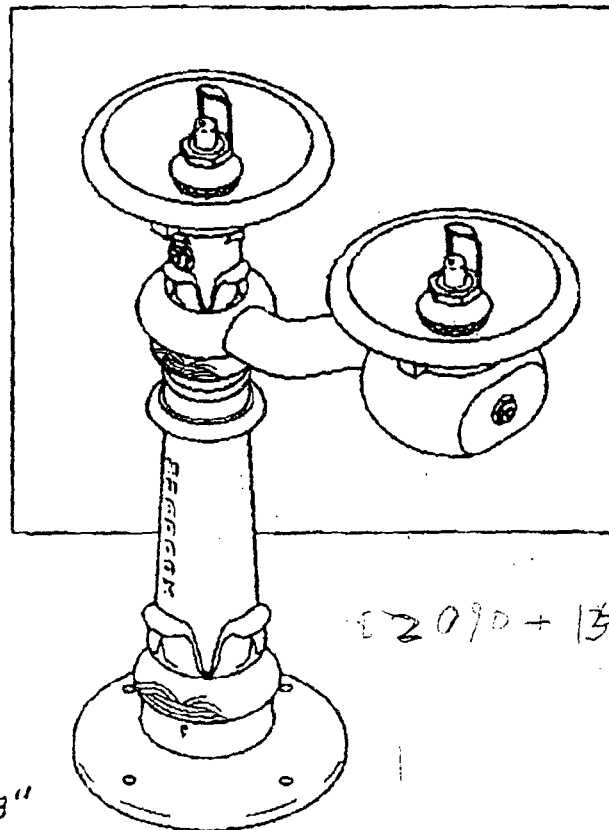
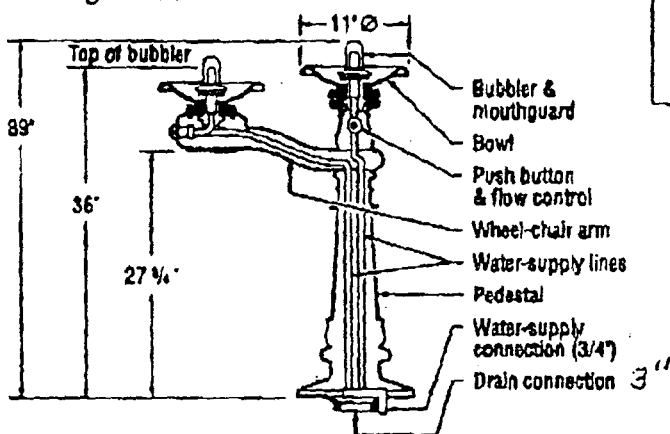
KING LUMINAIRE



Model MC-76-2

Dual-bowl Drinking Fountain with Wheelchair Arm

Model MC-76-2 is a drinking fountain of Victorian-era design that complies with ADA regulations. This unit features two bowls, one mounted on a wheelchair arm and one on the center post for stand-up use. Each bowl is operated independently with a separate push-button control. Heavy-duty construction ensures trouble-free reliability and easy maintenance. Standard brass castings consist of 85-5-5-5 brass. Lead-free brass castings are also available. Model MC-76-2 is not an antifreezing drinking fountain.



NON ANTI FREEZE

Suggested specification

Drinking fountain shall be Murdock model MC-76-2. Unit shall be furnished with two fountain bowls, one mounted on center post for stand-up use and one mounted on an extension arm to accommodate wheelchair access.

Pedestal and arm shall be heavy, grey iron castings. Pedestal shall extend from grade level to arm, forming predominantly round section in horizontal plane and embossed with ornamental filigree. To accommodate attachment to concrete, factory shall drill four (4) mounting holes through base. Pedestal and arm shall be finished with a heavy grade of oil-based paint.

Arm shall extend a minimum of 19 inches from pedestal and allow clearance of 27 inches from grade to bowl support.

Bowl shall be a round, solid-brass casting, polished to a high luster. Drain opening in bowl shall be adequately protected from stoppage and vandalism. Bubbler shall be highly polished, solid-brass casting with angle-stream outlet at center of bowl and above bowl rim. Mouthguard shall be highly polished, solid-brass casting mounted on bubbler base to meet sanitary requirements. All solid-brass castings shall consist of 85-5-5-5 brass metal and shall conform to ASTM standards B61 and B62.

Valve shall be push-button operated, incorporating a replaceable cartridge. Supply line shall be 3/8-inch poly-braid tubing, FDA approved for drinking water and able to withstand 300 psi burst pressure.



(513) 471-7700
 Fax (513) 471-3299
 2488 River Road
 Cincinnati, Ohio 45204

Approved

Model MC-76-2 - Rev. A - 6/23/97

32

Suggested installati

Prepare trench for water-supply line and waste line (if required). Below fountain location, prepare hole to trench depth and large enough for a person to work. Lay water-supply line and waste line (if required) into trench. Run flexible supply line to above grade level, allowing extra line length to be trimmed during hook-up.

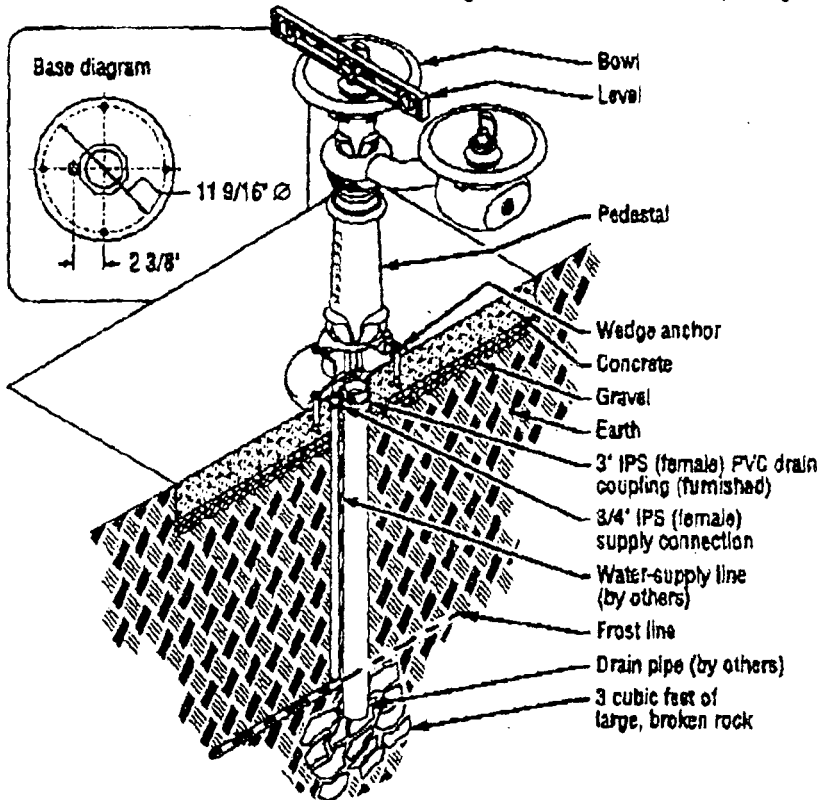
Depending on code and design requirements, drain may be open, French or sanitary connection. Run PVC drain line from depth of bury to above grade, allowing extra line length to be trimmed during hook-up. Make certain that drain line is plumb. For open drain, wrap bottom opening of drain line with filter fabric and place a minimum of three cubic feet of large, broken rock around opening.

Back-fill trench and hole, leaving sufficient depth in hole to accommodate concrete slab. Compact back-filled earth. Spread and compact gravel as necessary. Build form approximately six inches square around supply and drain lines. Pour concrete to grade level. Finish concrete as necessary, ensuring that top surface of slab is flat and level. Remove form after concrete has set up.

After concrete has cured, trim drain line to approximately 1 1/2 inches below grade. Ensure that top of drain line is squared off, clean and free of burrs and debris. Position drinking fountain in desired location. Using pedestal base as template, mark mounting-hole locations on concrete. Remove fountain and drill 5/8 inch diameter holes approximately six inches deep in concrete at markings. Drive 5/8 x 6 inch wedge anchors into holes and remove nuts.

Support fountain on boards above desired location. Connect supply line to supply connection in pedestal base. Apply plumbing adhesive to inside of PVC drain coupling. Remove support boards and lower fountain to rest on concrete, making certain that PVC coupling seats properly over drain line and that mounting holes in pedestal base fit around anchor shanks.

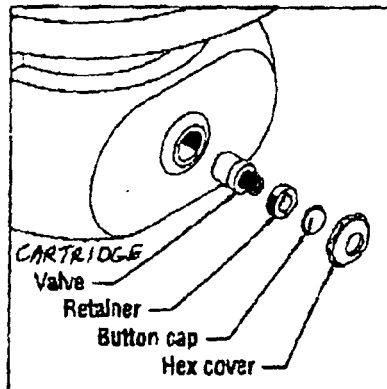
Lay bubble level across fountain bowl and shim pedestal base as necessary to ensure that fountain is plumb. Secure nuts onto anchors. Installer shall ensure that supply pressure does not exceed 40 psi.



Maintenance

To adjust water flow, unscrew hex cover from push-button assembly and remove hex cover and button cap. Using flat screwdriver, turn nylon regulating screw inside valve stem clockwise to increase flow or counterclockwise to reduce flow. Replace button cap and hex cover.

To replace valve, remove hex cover and button cap. Using spanner wrench, unscrew retainer. Remove worn valve. Insert new valve, making certain that gasket is properly seated and that valve ports are aligned with mating holes in valve housing. Replace retainer, button cap and hex cover.



For winter shut-down, push buttons must be operated after final shutoff to evacuate water from valve



(513) 471-7700
 Fax (513) 471-3299
 2400 River Road
 Cincinnati, Ohio 45204

Q Quality Industries Inc.
 Hillsdale Industrial Park,
 Hillsdale MI 49242

1045 Through 1051
 Loop Bike Rack
 04/95

SPECIFICATIONS						
Model Number	Part Number	Length	Weight:	Cubic Measure:	Type:	Number of Loops:
1045*	208673	36"	45 Lbs.	2.4 Cu.Ft.	In Ground	3
1046*	208674	36"	43 Lbs.	1.8 Cu.Ft.	Surface Mount	3
1047*	208675	60"	64 Lbs.	3.9 Cu.Ft.	In Ground	5
1048*	208676	60"	63 Lbs.	3.0 Cu.Ft.	Surface Mount	5
1049*	208677	84"	89 Lbs.	6.0 Cu.Ft.	In Ground	7
1050*	208678	84"	82 Lbs.	5.6 Cu.Ft.	Surface Mount	7
1051*	208679	108"	114 Lbs.	7.2 Cu.Ft.	In Ground	9
1052*	208680	108"	100 Lbs.	6.8 Cu.Ft.	Surface Mount	9

*Color Option

LOOP BIKE RACK, IN GROUND: Shall be fabricated from 2-3/8" O.D. galvanized steel pipe, and finished with a baked on powder coat finish

LOOP BIKE RACK, SURFACE MOUNT: Shall be all welded assemblies, fabricated from 2-3/8" O.D. galvanized steel pipe and 5/16" x 5" x 5" hot roll steel plates, with holes provided for anchoring. Loop bike rack is to be finished with a baked on powder coat finish.

WELDS: Shall be cleaned, primed and painted aluminum.

NOTE: Quality Industries, Inc. Reserves the right to change specifications without notice

©Copyright, Quality Industries, Inc., 1995

INSTALLATION INSTRUCTIONS

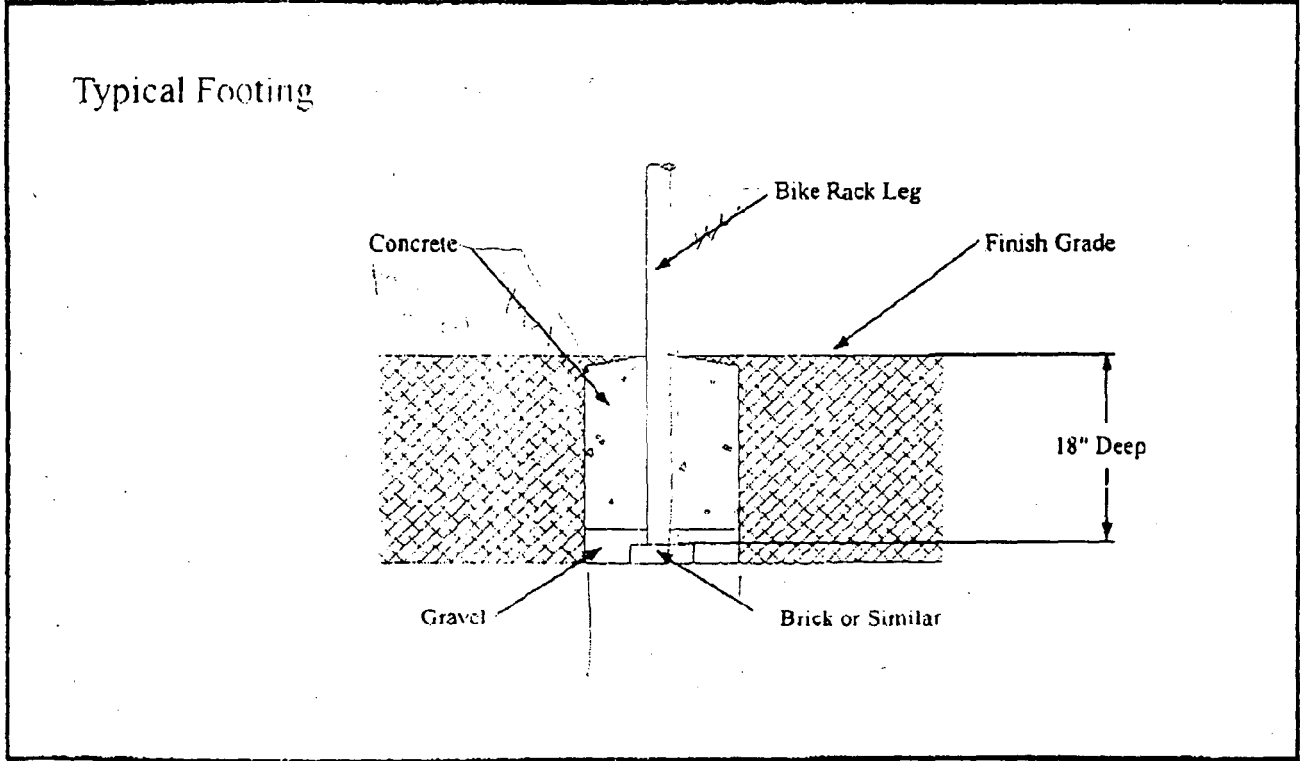
Before beginning actual installation refer to General Warnings and Playground Inspection Sheet for important information detailing the responsibilities and requirements for the owners and installers of this playground equipment.

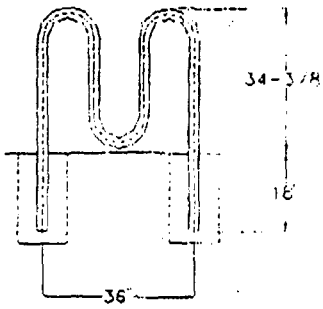
For inground mounting:

1. Review all drawing and instructions.
2. Dig footing holes. Refer to typical footing detail and elevation views for proper sizes, locations, and depths. Place a brick or concrete slab in the bottom of each hole to provide a solid foundation. Allow for this when digging.
3. Ensure that unit is level and plumb. Pour concrete. Allow a minimum of 72 hours for concrete to cure before allowing use.

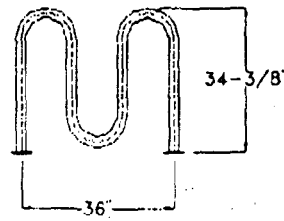
For surface mounting:

1. Determine position of bike rack.
2. Anchor to surface with appropriate anchor. Anchors are not included.

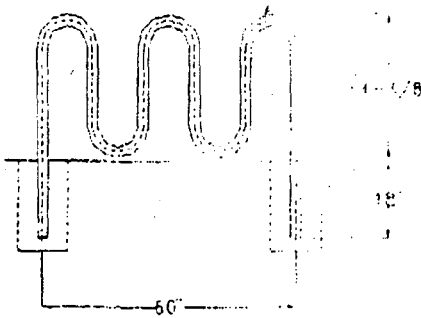




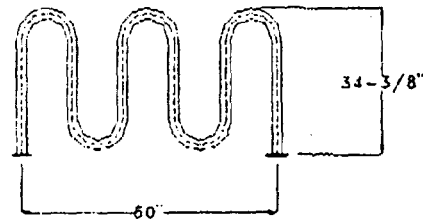
1045 INGROUND



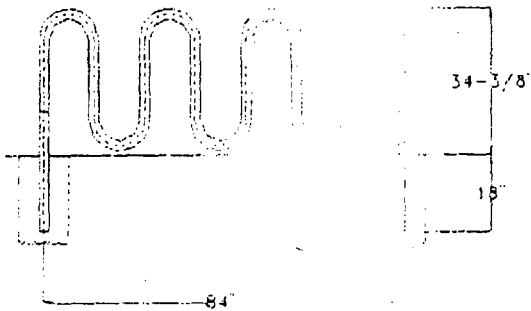
1046 SURFACE MOUNT



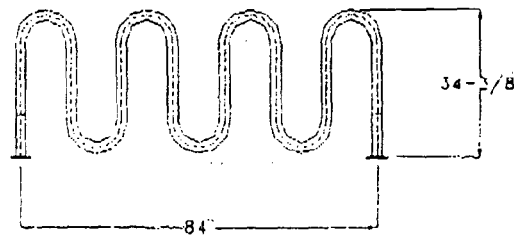
1047 INGROUND



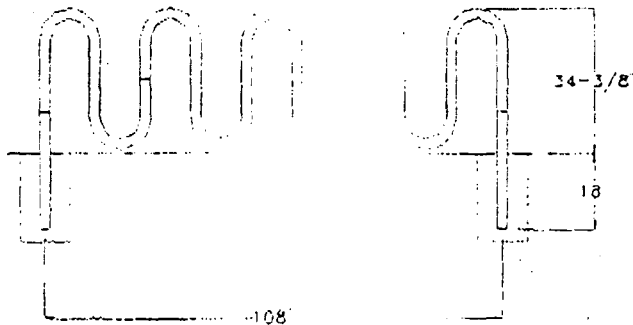
1048 SURFACE MOUNT



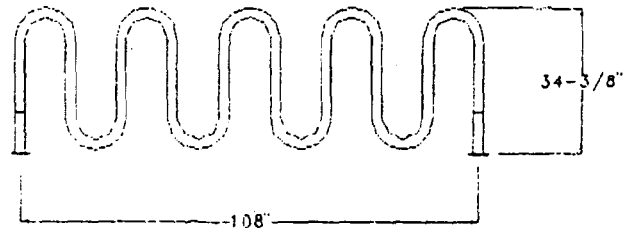
1049 INGROUND



1050 SURFACE MOUNT

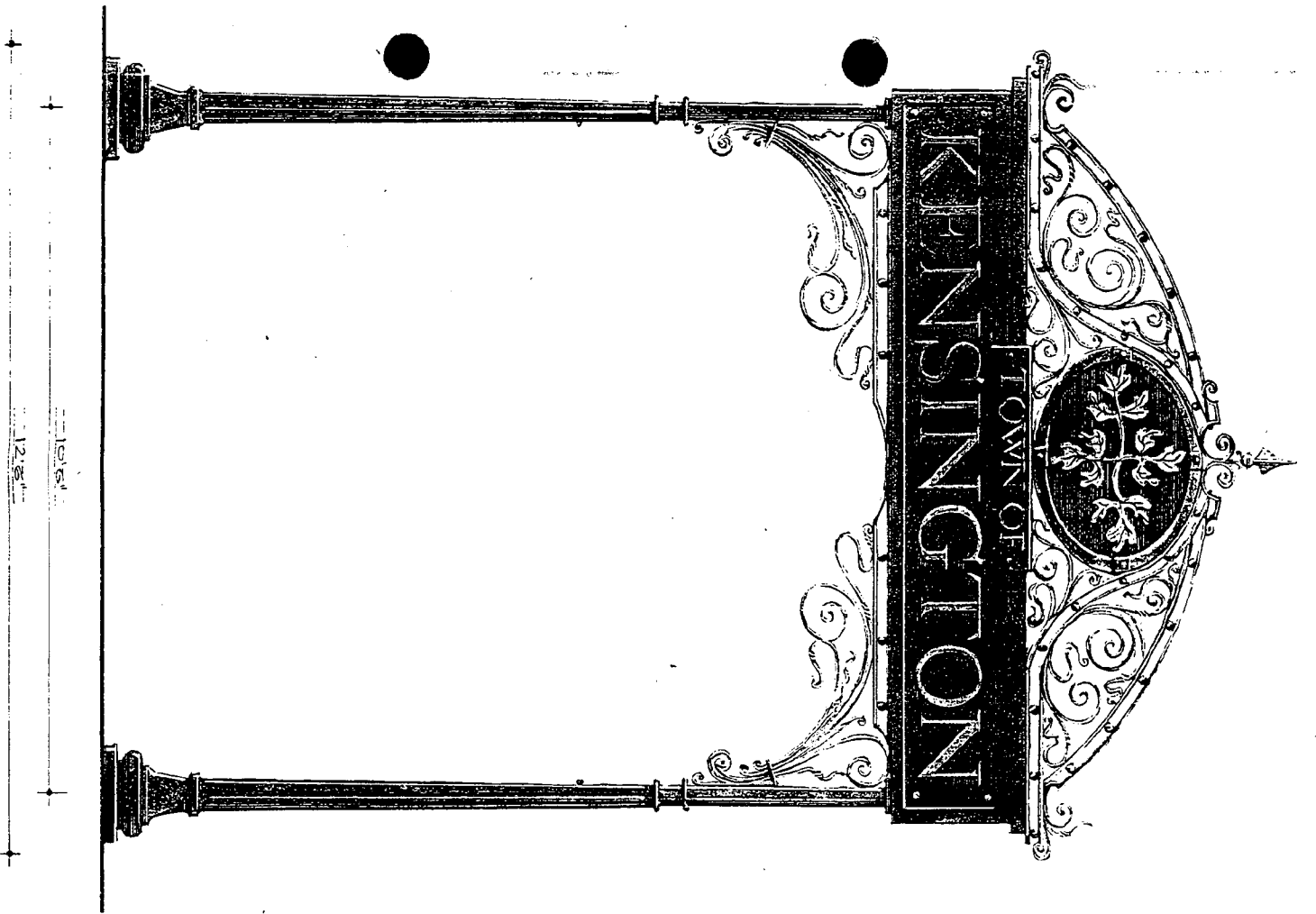


1051 IN GROUND



1052 SURFACE MOUNT

Loop Bike Rack Elevation Views



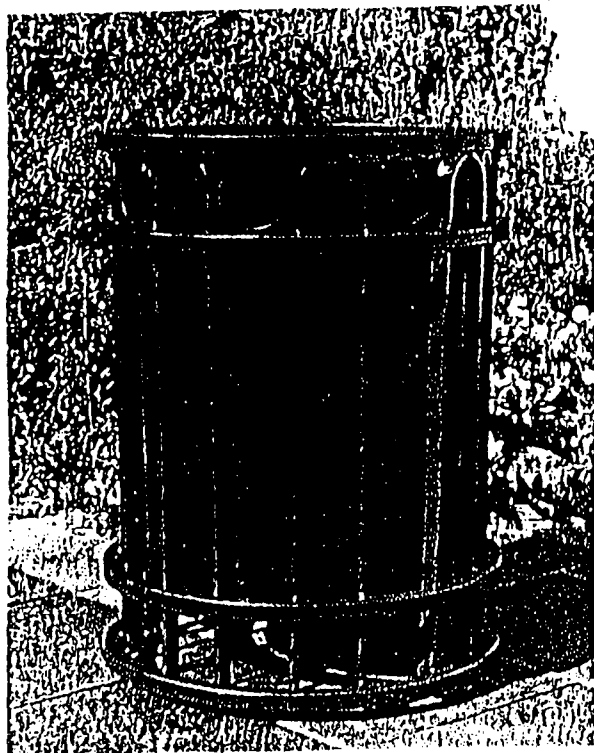
WORK DESIGN TO FOLLOW
EXISTING GATEWAY SIGN AT LEFT
NOT TO SCALE

37

SELECTED TRASH RECEPTACLE

THE ProTONE™ SERIES VICTOR STANLEY, INC.

Rich tone-on-tone or bold contrasting color highlights result when the exposed frame elements project on the interior powder-coated steel sleeve.



Model PSO-24 shown in bronze-on-bronze color . . . 24 gallon capacity.

APPROVED
Montgomery County
Historic Preservation Commission

Steven Wright
9/24/97



The Plant Health Specialists
**INTEGRATED
 PLANT CARE**

2279 Lewis Avenue □ Rockville, Maryland 20851

August 20, 1997

(301) 831-8130

Ms. Pat McAuley
 Town of Kensington
 3710 Mitchell Ave.
 Kensington, MD 20895

Dear Mrs. McAuley,

This serves as an addendum to my previous letter of July 9, 1997 regarding the trees along Howard Ave. I had the opportunity today to inspect the trees six weeks after my previous visit and wish to report my findings.

There are eight 3-4" diameter little-leaf linden trees in front of the Safeway. Each of these trees appears to be in good condition. I do recommend they each receive supplemental water whenever nature doesn't provide enough as they are showing signs of wilting.

The 10" crabapple and 7" white pine in front of the Safeway are also in good condition.

The following are the Yochino cherries.

- 1 3776- 14"- poor condition- stunted growth, dieback in crown
- 2 3772- 10"- fair condition- limbs scarred by trucks
- 3 3730- 12"- fair condition- large scar on trunk, one-sided
- 4 3748- 12"- poor condition- practically dead
- 5 3716- 5"- poor condition- no growth, failing rapidly
- 6 3716- 6"- fair condition- stunted growth
- 7 3706- 10"- fair condition- some dieback in top

As stated in my previous correspondence, I recommend the community consider removing all these trees at one time and replacing them with a variety that will be tolerant to the existing stressful conditions.

Please let me know if I may be of any further service.

Sincerely,

Paul L. Wolfe, II
 President
 Integrated Plant Care, Inc.

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