

31/6-99T 3918 Prospect Street
(Kensington Historic District)

3

3918 PROSPECT ST.

11-99



West side of house



Original
North Side of House



REAR Screened porch



Deck, up - existing



Rear screened porch
SE



East



REAR - South



East to west, South
side of house - Rear

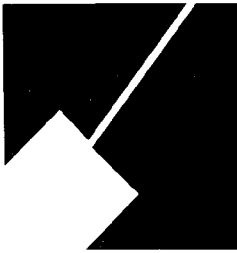


SW Corner
REAR,



East side of the house

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

August 3, 2001

John and Christine Blazina
3918 Prospect Street
Kensington, MD 20895

Dear Mr. and Mrs. Blazina:

Thank you for your letter of July 29, 2001. The two projects which you describe in your letter are:

1. Adding an 80 inch section of railing to the front porch which will exactly match existing railings currently on the porch.
2. Replacing 11 linear feet of stockade fencing (including a gate) with wooden lattice fencing. The wooden lattice fencing would be in the same footprint as the existing fence, would be no higher than the existing stockade fencing and would be painted.

Given that these two projects are extremely minor in nature and will have no substantive affect on the historicity of the resource or the Kensington Historic District, I feel that they can be considered to constitute "ordinary repairs and maintenance." Thus, they do not need to be reviewed by the Historic Preservation Commission through the Historic Area Work Permit process.

This letter will constitute your permission to proceed with the projects with no additional review by this office.

Sincerely,

A handwritten signature in cursive script that reads "Gwen Wright".

Gwen Wright
Historic Preservation Coordinator

3918 Prospect St.
Kensington, MD 20895
phone: 301-946-3111, Fax: 301-946-9119
July 29, 2001



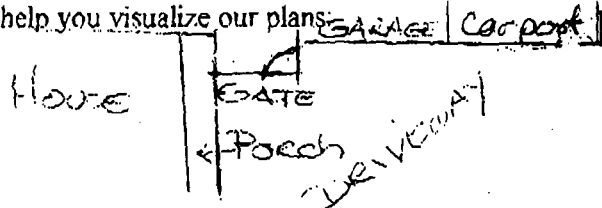
Ms. Gwen Wright,
Historic Preservation Commission
Montgomery Department of Parks, M-NPPC
8787 Georgia Avenue
Silver Spring, MD 20910
Fax: 301-562-3412

Dear Ms. Wright:

Missing section

Thank you for the helpful suggestions given during our telephone conversation on Friday, July 27, 2001. As you requested, the following are the changes we plan make to our home located at 3918 Prospect St., Kensington:

An addition of an 80" section of railing to the front porch of our home to reinstate the original railing which no longer exists. It will be the same design as the railings in place. The following is to help you visualize our plans:



Removal and replacement of the existing stockade pressure treated lumber fence and door connecting the garage to the porch on the west side of our home and replacing it with a lattice fence and door to match the lattice extension on the carport section of our garage. The existing fence section has deteriorated and does not match the look of either the garage or the house. Presently the 3-foot section of stockade fence is connected to the porch, attached to a 4-foot section of stockade door which is attached to 4-foot section of stockade fence at a 90 degree angle to the other. The lattice fence will be in the same footprint of the stockade one and painted to match the garage: white with dark pink covering the posts.

Sincerely,

John and Christine Blazina



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 12-16-99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: JOHN + CHRISTINA BLAZINA (ROBERT NERI, AGENT)

Address: 3918 PROSPECT ST. KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

C:\preserve\hawpdps.ltr #206146 31/6-99T RETRO.



TURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVIL 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Robert Neri

Daytime Phone No.: 301-674-4727

Tax Account No.: _____

Name of Property Owner: John + Christine Blazina Daytime Phone No.: 301-986-9354

Address: 3918 Prospect St Kensington, MD 20895
Street Number City State Zip Code

Contractor: Innovative Kitchens & Baths Inc Phone No.: 301 585 2865

Contractor Registration No.: 51997

Agent for Owner: Robert Neri Daytime Phone No.: 301-674 4727

LOCATION OF BUILDING/PREMISE

House Number: 3918 Prospect St Street: _____

Town/City: Kensington, MD Nearest Cross Street: Connecticut Ave

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- | | |
|---|--|
| 1A. CHECK ALL APPLICABLE: | CHECK ALL APPLICABLE: |
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> A/C |
| <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Slab |
| <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Room Addition |
| <input type="checkbox"/> Move | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Install | <input checked="" type="checkbox"/> Deck |
| <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Repair | <input type="checkbox"/> Fireplace |
| <input type="checkbox"/> Revocable | <input type="checkbox"/> Woodburning Stove |
| | <input type="checkbox"/> Single Family |
| | <input type="checkbox"/> Fence/Wall (complete Section 4) |
| | <input type="checkbox"/> Other: <u>WINE CELLAR</u> |

1B. Construction cost estimate: \$ 38,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

Nov 22, 1999
Date

Approved: X _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 12/16/99

Application/Permit No.: 206146 Date Filed: 11/23/99 Date Issued: _____

316-99T

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The previous owners added a modern addition including a treated lumber deck which was not up to code, not in fitting with the historic character of the original house and in disrepair as well as dangerous. We plan to construct a porch painted white and in keeping with the existing home's architectural character. This is all in the rear of the house and not visible from the street.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Materials to be used: Anderson Abrain doors, block to construct the below grade wine cellar, Tex (grey) decking material, wood railings painted pine-white to match existing porch balustrade, screen porch painted pine to match existing character

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Kensington Historical Society
P.O. Box 453
Kensington, Maryland 20895

December 15, 1999

Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Members of the Historic Preservation Commission:

I am writing in reference to the three HAWP applications within the Town of Kensington. addition to their home on Washington Street. The Historic Preservation Committee of the Kensington Historical Society has reviewed the three proposals and is generally favorable toward all three.

The application by the Department of Housing and Community Affairs for streetscape modifications as part of the Town's Commercial Revitalization, Phase II, has been subject to review within the Town. In our opinion, the proposals put forth in this project bring many improvements that will enhance and promote the commercial life of our Town in historically compatible ways.

With regard to the application for an addition at 3802 Washington Street, we find the addition to be sensitive to the scale and massing of the existing house. It is also pleasing and appropriate in appearance. While it is unfortunate but understandable that a tree (which is in decline) must be removed in order to construct the addition, it is hoped that the applicants will consider replacement in kind elsewhere on their property, in an effort to help maintain the historic garden ambiance of Kensington.

The application for a porch and wine cellar addition on the home at 3918 Prospect Street seems to be compatible, in terms of scale, massing, and materials. However, we were unable to review elevations of the proposed work and believe that any approval of the work should be subject to the satisfaction of staff as to the appearance of the addition.

Sincerely,



Helen Crettier Wilkes
For the Historic Preservation Committee

ADJACENT + CONFRONTING OWNERS

TED + MARIE ROSCHE

3922 PROSPECT ST.

KENSINGTON, MD 20895

PETER BERKHOLTZ

3912 PROSPECT ST.

KENSINGTON, MD 20895

JOHN + VIVIAN O'NEILL

3915 PROSPECT ST.

KENSINGTON, MD 20895

MR + MRS. KNECHT

3915 WASHINGTON ST.

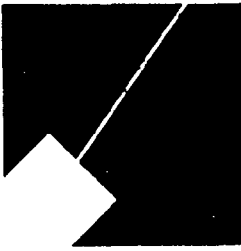
KENSINGTON, MD 20895

MR + MRS. REIDEL

3919 WASHINGTON ST.

KENSINGTON, MD 20895

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING


THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 12-16-99

TO: Local Advisory Panel/Town Government

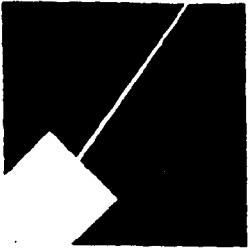
FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner 

SUBJECT: Historic Area Work Permit Application - HPC Decision
#206146 31/0-99T RETRO.

The Historic Preservation Commission reviewed this project on DEC. 15TH.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date:

12-16-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits #206146 31/6-99T RETRO.

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3918 Prospect Street, Kensington	Meeting Date:	12/15/99
Resource:	Kensington Historic District	Report Date:	12/08/99
Review:	HAWP	Public Notice:	12/01/99
Case Number:	31/6-99T RETROACTIVE	Tax Credit:	None
Applicant:	John and Christina Blazina (Robert Neri, Agent)	Staff:	Michele Naru
PROPOSAL:	Rear deck alterations	RECOMMEND:	Approval

The applicant received a building permit for this project from the Montgomery County Department of Permitting Services on 11/09/99. DPS did not red flag this property as needing a Historic Area Work Permit. The applicant was informed by the Mayor of Kensington that work should be stopped because it was being completed without a HAWP.

PROJECT DESCRIPTION

SIGNIFICANCE: Primary Resource in the Kensington Historic District.
STYLE: Victorian: Queen Anne Style
DATE: 1880-1910

This 2-1/2-story, three-bay frame dwelling is located in the Kensington Historic District. The house has a cross gabled roof sheathed in asphalt and contains a central brick chimney. The walls are clad in German siding. A wrap-around porch embellished with a pedimented entry surrounds the first story of the front and side facades.

PROPOSAL:

The applicant proposes to remove the existing deck, at the rear of the house and replace it with a smaller deck. The deck has been designed with only one level in order for it to be connected to an existing screened porch and to allow an underground wine cellar to be constructed below grade, underneath the proposed deck.

The proposed deck (measuring 24' x 16') is wood with a picket railing. The deck will be smaller in size than the existing deck and will be painted to blend in with the rest of the house. The deck balustrade would utilize a beveled handrail (2x4), an ordinary bottom rail (2x4) joined by inset pickets (2x2) and ornamented with newel posts (4x4) fashioning ball caps. (See Circle)

STAFF DISCUSSION

The proposed deck is a substantial distance from the street, out-of-view from the public right-of-way, as it is behind the 1991 addition. The proposed deck is considerably smaller in size and scale from the existing. The proposed deck would be less obtrusive than the existing. The proposed wine cellar will be below grade, not visible from grade, except for an atrium door installed near an existing basement door on the east side of the deck. Staff recommends approval.

The **Kensington LAP** has not responded to the HAWP application at the time this report was prepared.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Robert Neri

Daytime Phone No.: 301-674-4727

Tax Account No.: _____

Name of Property Owner: John + Christine Dazina Daytime Phone No.: 301-986-9354

Address: 3918 Prospect St Kensington, MD 20895
Street Number City State Zip Code

Contractor: Innovative Kitchens & Baths Inc. Phone No.: 301 585 2865

Contractor Registration No.: 51997

Agent for Owner: Robert Neri Daytime Phone No.: 301-674 4727

LOCATION OF BUILDING/PREMISE

House Number: 3918 Prospect St Street: _____

Town/City: Kensington, MD Nearest Cross Street: Connecticut Ave

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: WINE CELLAR

1B. Construction cost estimate: \$ 38,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

Nov 22, 1999 (3)
Date

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The previous owners added a modern addition including a treated lumber deck, which was not up to code, not in fitting with the historic character of the original house and in disrepair as well as dangerous. We plan to construct a porch painted white and in keeping with the existing home's architectural character. This is all in the rear of the house and not visible from the street.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Materials to be used: Anderson Abrum doors, blocks to construct the below grade wine cellar, Tex (grey) decking material, wood railings painted pine-white to match existing porch ballustrade, screen porch painted pine to match existing character

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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6. TREE SURVEY

ADJACENT + CONFRONTING OWNERS

TED + MARIE ROSCHE

3922 PROSPECT ST.
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MR + MRS. KNECHT

3915 WASHINGTON ST.
KENSINGTON, MD 20895

MR + MRS. REIDEL

3919 WASHINGTON ST.
KENSINGTON, MD 20895



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

BUILDING
PERMIT

Issue Date: 11/9/1999

Permit No: 205044
Expires: 11/9/2000
X Ref.
Rev. No:

THIS IS TO CERTIFY THAT:

INNOVATIVE KITCHENS & BATHS, INC.
9172-A BROOKEVILLE RD.
SILVER SPRING MD 20910

HAS PERMISSION TO: ALTER SINGLE FAMILY DWELLING

PERMIT CONDITIONS: WINE CELLAR, BELOW GRADE

PREMISE ADDRESS: 3918 PROSPECT ST
KENSINGTON MD 20895-0000

LOT	BLOCK	ZONE	GRID
LIBER	ELECTION DISTRICT	PLATE	PARCEL
FOLIO	TAX ACCOUNT NO.: 13		PS NUMBER 0
PERMIT FEE: \$137.50	SUBDIVISION		

Director, Department of Permitting Services



55930

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS

You are being provided with this Notice so that you will understand which inspection(s) must be performed as a condition of permit issuance. You must arrange for the inspection(s) according to the procedures specified below. Please call 240-777-6210 between the hours of 7:30 a.m.- 4:00p.m. Monday through Friday, if you have any questions about the required inspection(s).

Inspections shall be requested at least 24 hours prior to the date the inspection is needed. To schedule an inspection, call 777-6210, requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next workday, requests made after 12 noon will be scheduled within two workdays. A specific time for an inspection cannot be given at the time that the inspection is scheduled. The permit must be posted in front of the site or house and be visible from the main road or entrance. If house numbers are not shown on the house or structure, the address must be posted in the same area as the permit and must be displayed in large four-inch letters on a temporary card or the window. For all inspections, a set of "approved" plans stamped by Montgomery County must be on the job site for the inspector's review.

754 500
205044

The following Building Inspections are required for your Permit (# 205044):

BEFORE YOU DIG call MISS UTILITY 1-800-257-7777 (2 days' notice is the law)

- 001 FOOTING INSPECTION – Made after excavation for wall footings, column/pier footings, and thickened slabs have been completed, and after grade stakes, reinforcing steel, concrete-encased electrode (for new homes), and sediment control measures (per the approved sediment control plan), are installed but prior to placing concrete.
- 002 REBAR PLACEMENT – Required prior to pouring retaining walls.
- 002 FOUNDATION/PARGING OR BACKFILL INSPECTION – Conducted after the walls have been waterproofed and exterior drain tiles have been installed. If interior drain tiles are to be used, weep holes (2" minimum diameter, 6" on center) must be installed. A second inspection will be required prior to backfilling the interior drainage system.
- 011 GROUND FLOOR SLAB – Made after the installation of the sub slab base, the vapor barrier, slab edge insulation, and a minimum 3 inch schedule 40 PVC, or equivalent gas tight pipe inserted into a 3 inch tee embedded into the sub slab base for the venting of RADON GAS. Where the sump crock is to be used for the venting of RADON GAS the crock must be in place at the time of the slab inspection.
- 003 WALL CHECK (HOUSE LOCATION SURVEY) – Required at foundation completion prior to framing installation. Owner must have a plat prepared and certified by a Maryland Registered Land Surveyor and must furnish a copy to the Land Use Compliance Section

7

RESIDENTIAL CODE NOTES

1. All construction shall be in conformance with CABO, the 1995 edition, and Montgomery County Executive Regulations #4-97.
2. Soil bearing shall be 2000 psf minimum. The bottom of foundation shall be at least 24" below grade, CABO Tab 301.2a.
3. Design live load values shall conform with CABO, Table 303.4:

Attics (limited storage).....20 psf	Balconies (limited load).....40 psf
Dwelling Units.....40 psf	Garage.....40 psf
Sleeping rooms.....30 psf	
4. Bathrooms without windows shall be vented to the exterior.
5. Habitable rooms, except kitchens, shall have a ceiling height of less than 7'-6" in height with no portion of the room or the ceiling thereof, but in no case shall the height of the finished ceiling be less than 7'-0".

Exceptions

 1. Beams and girders spaced not less than 4 ft. on center.
 2. All other rooms including habitable basements, if the ceiling height is not less than 7'-0".
 3. Ceiling height in basements without habitable spaces may be 6'-4". (CABO Sec. 305 as amended.)
6. Glass doors, tub & shower enclosures, skylights and other glass openings shall comply with CABO 300.4 as amended.
7. Garage floor shall be at least 4" below the adjacent finished floor level and provided with min. 1/2" drywall. A self-closed door shall be provided with a min. clear width of 20" and a min. height of 20".
8. Sleeping room shall have at least 1 egress window with a min. clear width of 20" and a min. height of 20".
9. Enclosed accessible storage under stairs shall have a door to be made without the use of a key. CABO Sec. 308 as amended.
10. Handrails shall have a minimum ht. of 36" and a maximum ht. of 42".
11. Stairways shall have a minimum 6'-0" clear headroom. All exterior stairways shall be illuminated. CABO Sec. 310.4.
12. Open sides of stairs, porches, balconies, raised decks and driveways shall comply with CABO Sec. 315.4. All open sides shall have a min. clear height of 36".
13. Install interconnected smoke detectors on each floor in accordance with NFPA 72 Sec. 2-2.1.1.1. Automatic sprinklers are not required for residential buildings.
14. A common 2 Hr. fire-resistive wall is permitted between a common wall cavity, CABO Sec. 320.2 as amended.
15. All untreated lumber shall be a minimum of 8" above ground level.
16. Radon venting is required and shall be installed in accordance with CABO Sec. 404.1.3.
17. Lot drainage shall comply with CABO Sec. 401.1.1.
18. All concrete shall comply with CABO Sec. 402.2.1.1.
19. All footings shall comply with CABO Sec. 403.
20. Sill plates on the top of foundation walls shall be set in concrete or masonry, maximum 12" from each corner, CABO Sec. 404.1.1.1.
21. Concrete and masonry foundation walls shall comply with CABO Sec. 404.1.1.1.
22. Foundation wall shall extend at least 2" above the finished grade.
23. Basement walls shall not be backfilled until the foundation walls are completed.
24. Maximum unbalanced fill for foundation walls shall be 12" above the finished grade.
25. Wood foundations shall comply with CABO Sec. 404.1.1.1.
26. Foundation drainage shall comply with CABO Sec. 404.1.1.1.
27. Exterior foundation walls enclosing habitable or storage spaces shall be finished to the finished grade, CABO Sec. 406.2 as amended.
28. Crawl spaces shall conform to CABO Sec. 407.2.1.1.
29. When the floor framing is less than 24" on center, the floor joists shall be spaced at 16" on center.
30. Floor framing shall comply with CABO Sec. 502.7.
31. Allowable spans for floor joist shall conform with the values specified in Tables 502.3.1c and 502.3.1d.
32. Notches in the top or bottom of the joist shall not exceed 1/4 the depth of the joist and the notch shall not exceed 1/4 the joist depth.
33. Holes drilled or bored in joists shall not exceed 1/4 the depth of the joist.
34. Openings in the floor framing shall comply with CABO Sec. 502.7.
35. Draftstopping shall be provided in accordance with CABO Sec. 605.2.
36. Concrete floors shall comply with CABO Sec. 602.4.1.1.
37. Wall construction shall comply with CABO Sec. 601.1.1.
38. Stud spacing shall comply with CABO Sec. 605.2.
39. Any stud in an exterior wall or bearing partition wall shall have a hole no greater than 40% of the stud width and a notch, CABO Sec. 605.2.
40. When the top plate of any load bearing wall is supported by a post or stud, the post or stud shall be reinforced with 24 gauge steel angle spanning the distance between the adjacent studs.
41. Firestopping shall comply with CABO Sec. 605.2.
42. Wall bracing shall comply with CABO Sec. 605.2.
43. Exterior wall covering shall comply with CABO Sec. 605.2.
44. Masonry veneer shall comply with CABO Sec. 605.2.
45. Roof framing shall comply with CABO Sec. 802.4.1.1.
46. BWT. Allowable spans for ceiling joist and rafters shall comply with CABO Sec. 802.4.1.1.
47. Roof ventilations and attic access shall comply with CABO Sec. 802.4.1.1.
48. Roof coverings shall comply with CABO Sec. 802.4.1.1.
49. Chimneys and fireplaces shall comply with CABO Sec. 1001.11.
50. Masonry chimneys located within the exterior walls of the building, including chimneys that are firestopped in accordance with Sec. 605.2, shall comply with CABO Sec. 1001.11.
51. Wood or combustible framing shall not be used for fireplaces and other combustibles shall not be used for fireplaces.
52. Factory built or masonry fireplaces shall comply with CABO Sec. 1003.10.
53. Heating and Cooling Equipment shall comply with CABO Sec. 1003.10.
54. Clothes dryer vent systems shall be located to the exterior of the building, flexible duct connectors shall not be concealed within the building.
55. The maximum length of a 4" diameter pipe shall not exceed 100 feet for each 90-degree bend shall apply, CABO Sec. 1003.10.
56. All residential swimming pools shall comply with CABO Sec. 1003.10.
57. All residential One and Two Family buildings shall comply with CABO Sec. 1003.10.

1995 edition, and Montgomery County Executive Regulations #4-97. This shall be min. 24" below grade, CABO Tab 301.2a.

Decks.....40 psf
Stairs.....40 psf

CABO Sec. 303.3.

Not more than 50% of the area thereof. Not more than 50% of the room may have a sloped ceiling. In any area has a furred ceiling, the prescribed ceiling height is required for at least 50% of the area.

Not more than 6" below the required ceiling height.

shall have a ceiling of not less than 7 ft. measured to the lowest projection from the ceiling.

shall have safety glass, CABO 300.4 as amended.

combustible liquid-tight curb, at least 4" high, shall be on the garage side. Garage shall be finished to the finished floor level. Egress windows shall have a min. 5 sq. ft. open area, installed on the storage side. All egress doors shall be readily operable from the side from which egress is required from the nosing of the treads, CABO Sec. 315.1.

shall be 36" and the maximum riser shall be 8 1/4", CABO 314 as amended.

intermediate rails shall be less than 36" in height. Spacing between intermediate rails shall be less than 48" to grade or within 2' of a walk, path, parking lot or driveway, CABO Sec. 315.3, intermediate rails not more than 18" apart.

Delocated shall be hard wired to premises wiring system with battery back-up, CABO Sec. 316.1 & 316.2, CABO Sec. 316.3. Low Voltage detection systems require a permit from the Department of Fire and Police.

shall be no plumbing, electrical, or mechanical systems constructed within or through the wall cavity, CABO Sec. 322.

Radon Control Methods).

anchors, bolts or approved straps set @ 6'-0" o.c. max., 7" into concrete and 15" into grout filled footing. Maximum allowable lateral pressure on foundation walls shall be 30 lbs. pcf. Foundation walls at all points, 4" at top above CABO Sec. 404.1.3.

and the walls shall have been braced, CABO Sec. 404.1.3.1.

404.1.3.1.

with approved waterproofing materials or membranes extending from the top of the footing to the exterior finish.

in multiple applications prior to installing any flooring materials.

11b. The modulus of elasticity, E, and the actual stress in bending, Fb, shall not exceed the values specified in Table 502.3.1c and 502.3.1d.

the joist shall not be located in the middle third of the span. Joist notched on the ends for a ledger, the notch shall not exceed 1/4 the depth of the joist, CABO Sec. 502.7.

2.11.1.

depth shall not exceed 25% of its width. Any stud may be bored or drilled, provided that the diameter of the hole is no greater than 50% of the diameter of the stud, and the hole is not located in the same section as a cut or notch. The hole shall be reinforced with 24 gauge steel angle spanning the distance between the adjacent studs.

holes shall not exceed 1/4 the depth of the joist.

braced in accordance with the foundation. All manufactured roof trusses shall be braced in accordance with TPI Manual, Tables 802.4a, 802.4b, and 802.4c.

shall be braced in accordance with Fig. 1001.11.

to a minimum clear space clearance to combustibles of 2". Chimneys located entirely outside the exterior walls shall have a minimum clear space clearance of 1". The air space shall not be filled, except to provide a minimum clear space clearance to combustibles of 2".

fireplace and not less than 6" from the inside surface of the nearest flue liner. Wood chimneys shall be masonry fireplaces CABO Sec. 1003.10.

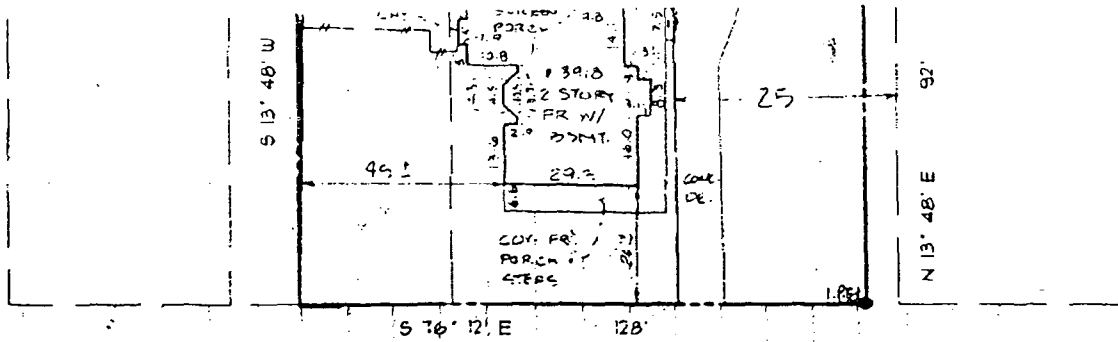
apply to the proper fuel combustion, CABO Sec. 1006.

shall be located to the exterior of the building; flexible duct connectors shall not be concealed within the building.

in accordance with the foundation. A reduction of 2.5' for each 45-degree bend and 5' for each 90-degree bend shall apply, CABO Sec. 1003.10.

shall comply with the National Electric code.

shall comply with the 1995 CABO Model Energy Code, except one story additions to existing

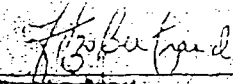



PROSPECT STREET.

4-07-1995 2:04PM FROM JOHN/CHRIS BLAZINA

NOTES:

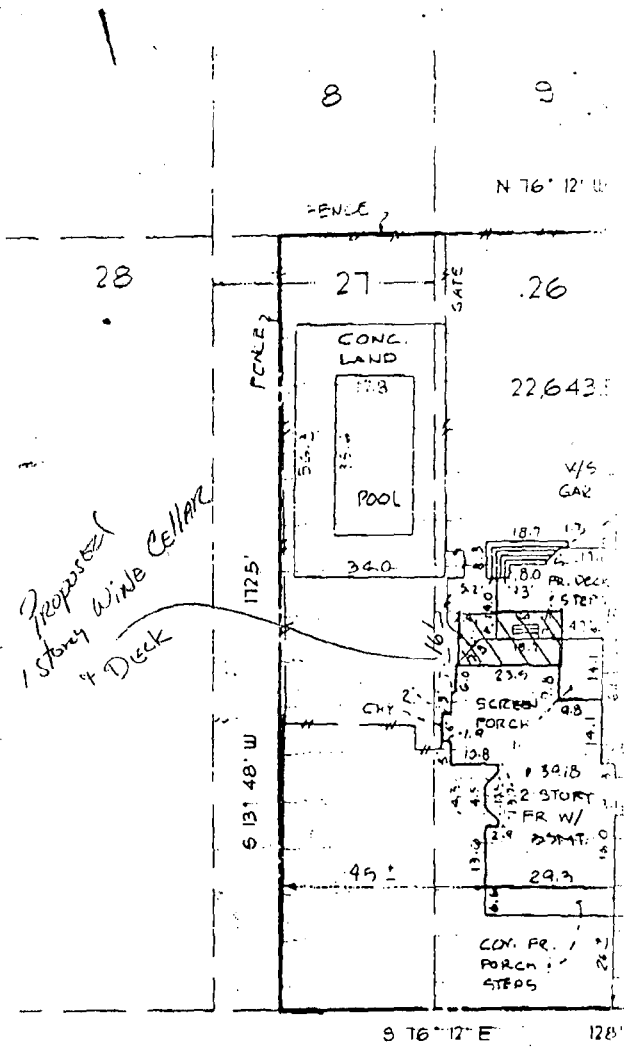
TAX MAP CE P40 100 DISK

 Date: 6-3-99				WHEATON No. 13 ^E ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND	
LIGHT, ELLIOTT, & ASSOCIATES, INC. 8508 ADELPHI ROAD ADELPHI, MARYLAND 20783 VOICE: 301-422-6080 FAX: 301-422-6088		DRAFTER: TABS CK. BY: [Signature] SCALE: 1" = 30'		CASE No. 991935 H-1-B JOB No. 0-24 FILE No. MS 7899	

15

4-07-1995 2:04PM

FROM JOHN/CHRIS BLAZINA



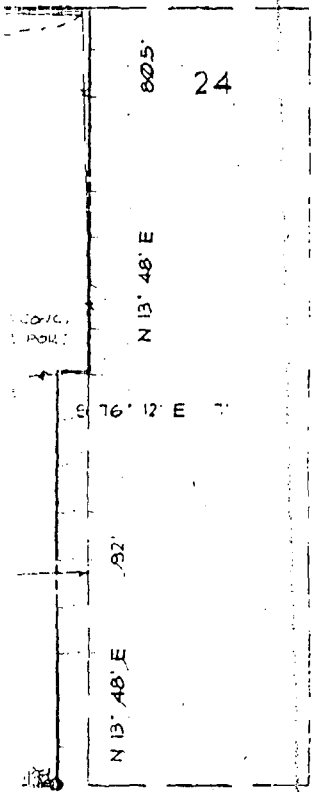
PROSPECT

H.U.D. designated Flood Hazard Zone as per F.E.M.A. Community Panel No. 2400
 prepared without the benefit of a title report.
 person should not be relied upon for construction of improvements.

SURVEYOR'S CERTIFICATE
 that I have surveyed the property shown hereon for
 and the improvements thereon.

STATE OF MARYLAND

DEPARTMENT OF PERMITTING SERVICES
 APPROVED *[Signature]* DATE 11/9/95
 ZONING CLASS R-600 PAGE 2/30/94
 BOARD OF APPEALS CASE P 15
Add Deck



AX MAP	GR.	PAR.	SPR. C
-	-	-	F.B.

IMPROVEMENT SURV

16

UNHEATED, UNCOND.
BASEMENT w/ OPEN
DECK ABOVE

Approved A. Ihek
Date 11/9/99

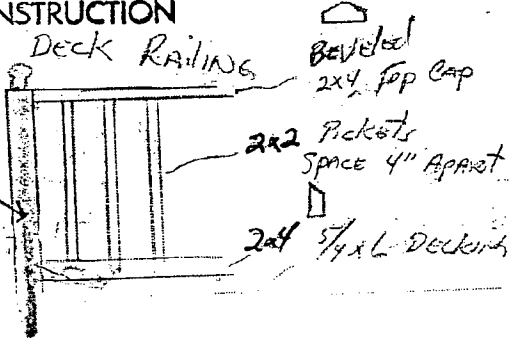
Electrical wiring must conform to
the 96 National Electric
Code and County Requirements.

Torch Down
Modified Roof
With Tapered
Insulation Board
GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

NOTE

THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL WORK.
YOU MUST HAVE A SEPARATE ELECTRICAL
PERMIT TO DO ANY ELECTRICAL WORK.

RADON VENTING REQMTS
THESE PLANS MUST COMPLY WITH
SECTION APPEN. F OF THE GC



Deck 2x10x16 Treated Framing 16 O.C.
5/8x6 Decking

Deck Pad
3/4 Plywood

Pressure Treated Top Plate
2x8
Bolted Every 24"

2x12x16 16" OC

6 mill
VAPOR BARRIER

UNFINISHED SPACE
(WINE CELLAR)

Top Soil
DRAINAGE BOARD
Polymer Modified Asphalt Tack
Patching WATERPROOFING
Pot 406

Gravel

Filter Fabric
Gravel
4" DRAIN TILE
To Sump Pump

Concrete Slab 4"-6"

WIRE MESH

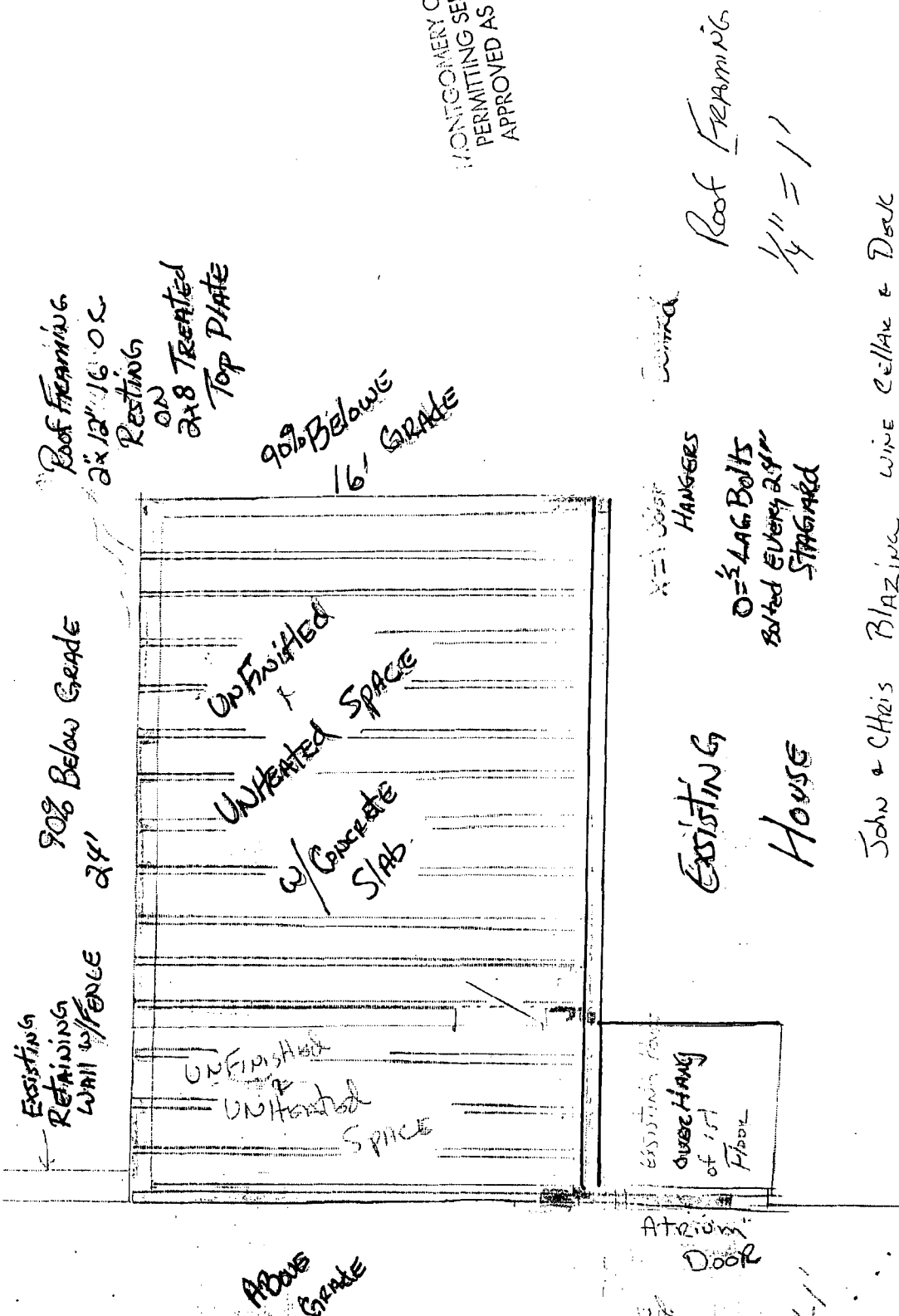
24" 12" 1/2 REBAR
4" GRAVEL BASE

Foundation F Roof Framing

1/2" = 1'
CHANGES OR MODIFICATIONS TO
THESE PLANS MAY REQUIRE
RESUBMITTAL WITH ADDITIONAL
PERMIT FEES. NO CHANGES
CAN BE MADE TO THE APPROVED
DRAWINGS.

John & Chris Blazing Wine Cellar & Deck

MONTGOMERY COUNTY
PERMITTING SERVICES
APPROVED AS NOTED

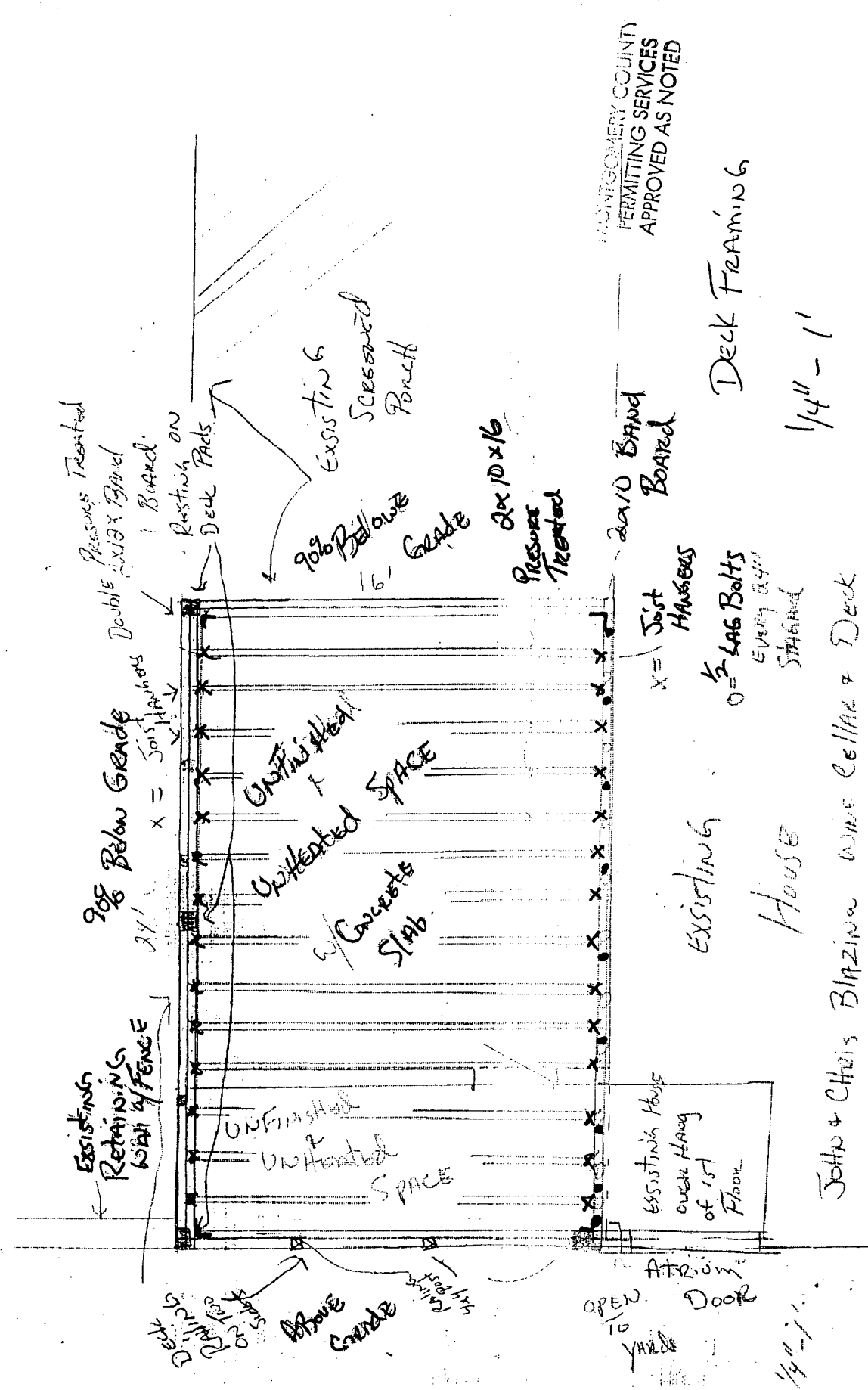


Roof Framing
1/4" = 1'

John & Chris Blazing Wine Cellar & Deck

Above
Grade

Atrium
Door

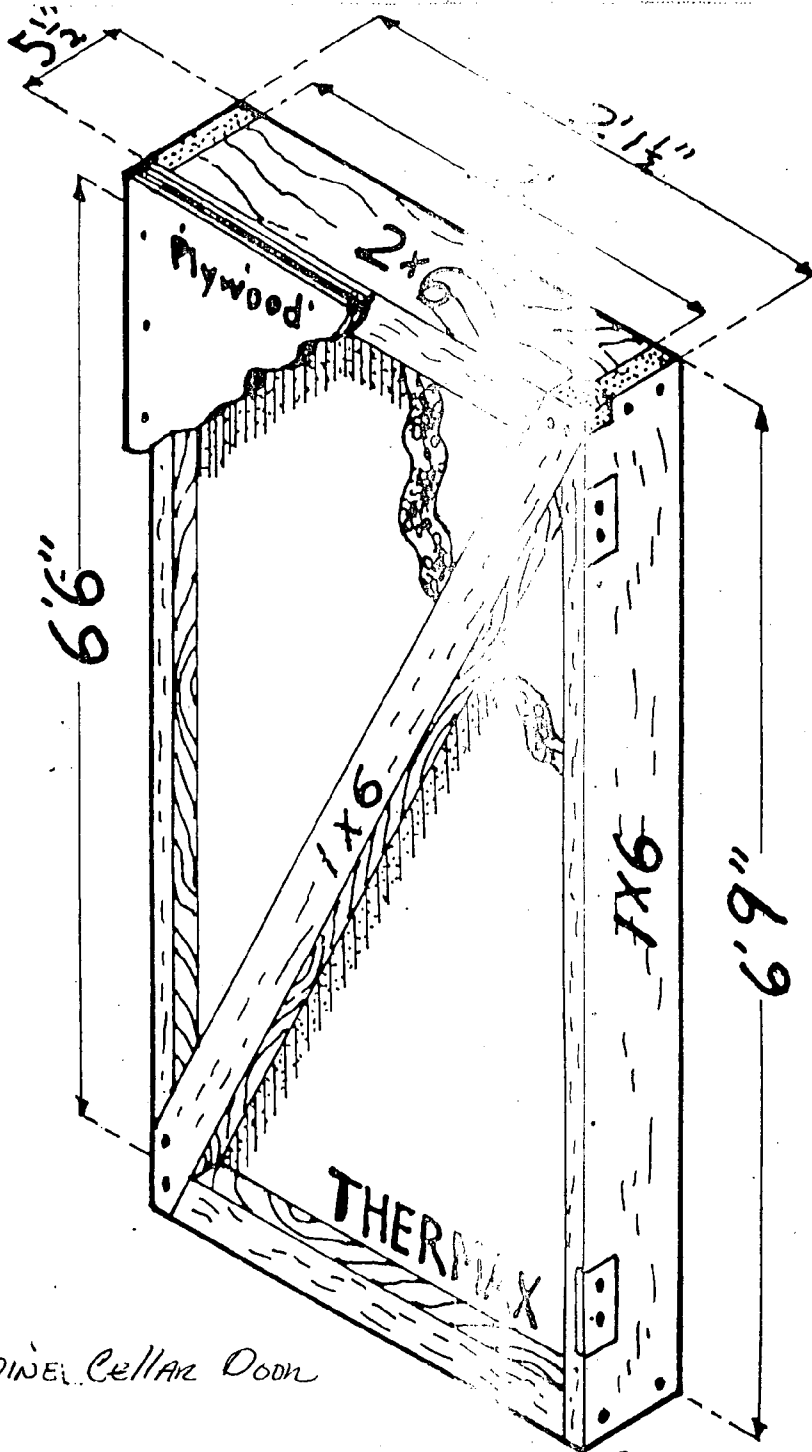


MONTGOMERY COUNTY
 PERMITTING SERVICES
 APPROVED AS NOTED

Deck Framing
 1/4" - 1'

John + Chris Blazina Wine Cellar + Deck

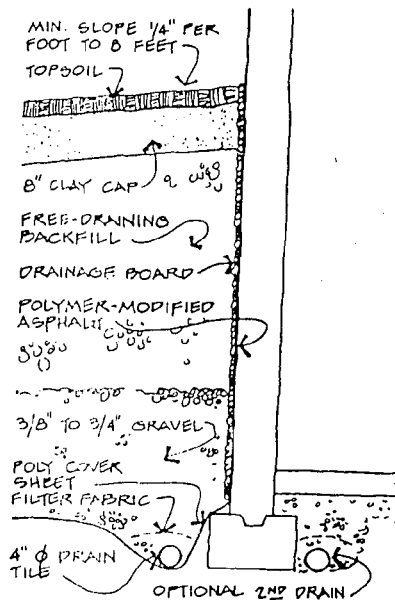
MONTGOMERY COUNTY
REPAIRING SERVICES
APPLIED AS NOTED



WINE CELLAR DOOR

© R. Gold 1983

Figure 15-1. Design for the recommended R-36 door.



MONTGOMERY COUNTY
 PERMITTING SERVICES
 APPROVED AS NOTED

Figure 8-3. The recommended foundation treatment to exclude moisture. (Progressive Builder, September, 1985, page PB 17). Place exterior insulation beneath the drainage board.

If you're placing your wine cellar in a pre-existing basement then the interior surface of the foundation wall can in most cases be adequately waterproofed. The simplest vapor barrier by far, and probably the best as well, is to hang 6 mil (or thicker) polyethylene against the interior surface of the foundation. A staple gun is the only tool you'll need to attach the polyethylene to the ceiling and at the edges. The polyethylene doesn't need to adhere to the foundation walls. A narrow air gap is left between the polyethylene and the wall.

How, you ask, can a vapor barrier that doesn't cling to the foundation possibly have any effect? Moisture passes through a wall via tiny pores. When the moisture reaches



West side of house



Original
North side of house



Decking - existing



Rear Screened porch



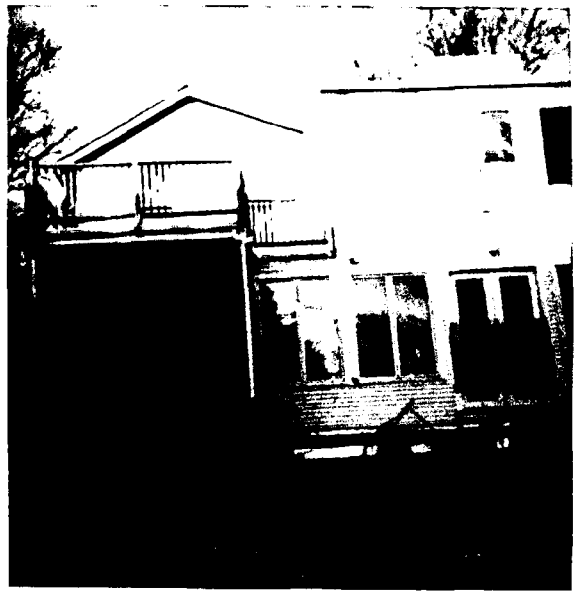
East



Rear screened porch
SE



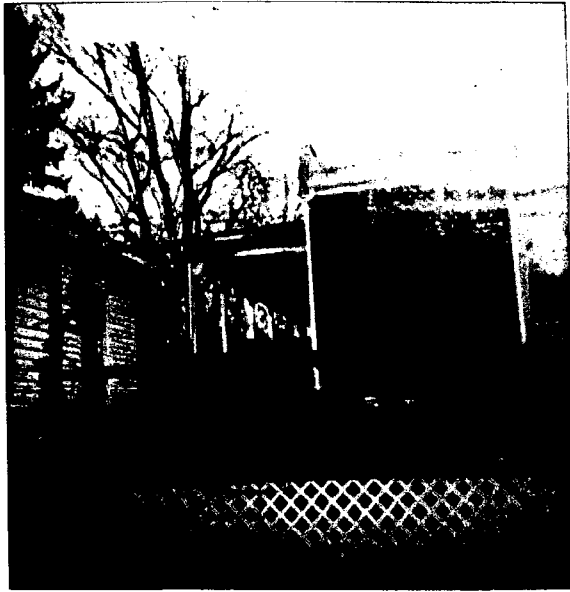
East to west, South
side of house - Rear



Rear - South



East side of the house



SW Corner
REAR