

31/6-93B 3927 Washington Street
Kensington Historic District

REVISED
and approved
plans (following
HPLC meeting)

ADDITION & RENOVATION

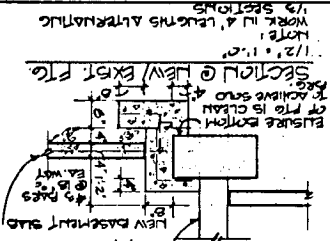
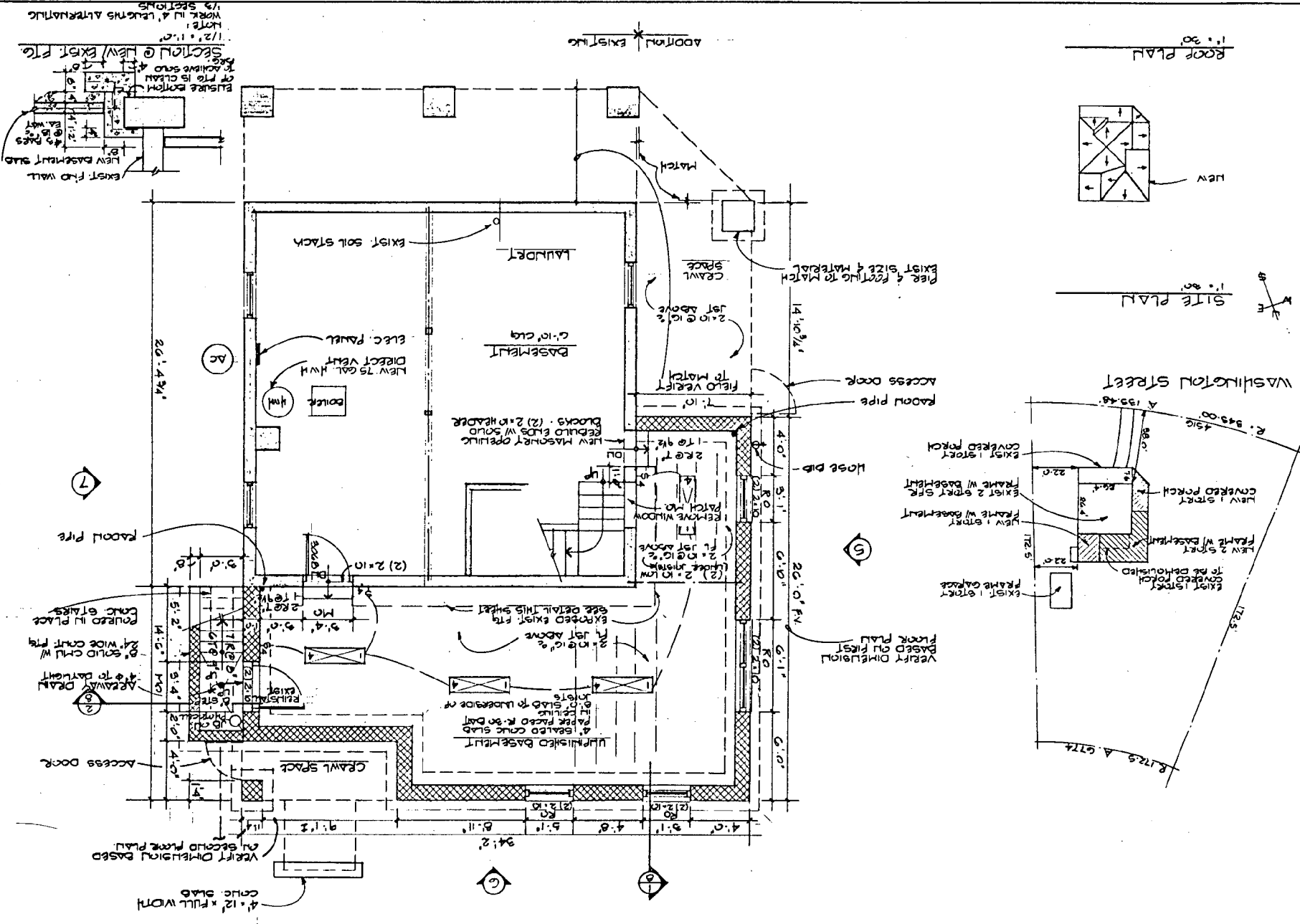
9227 WASHINGTON STREET - WASHINGTON MD 20895

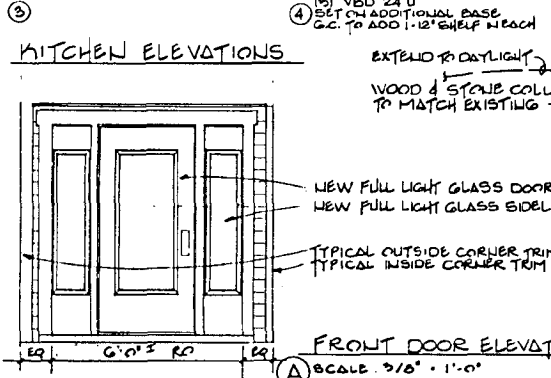
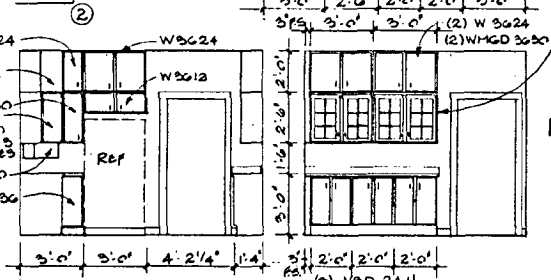
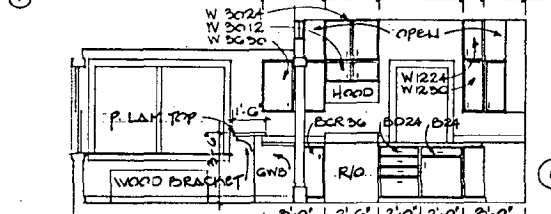
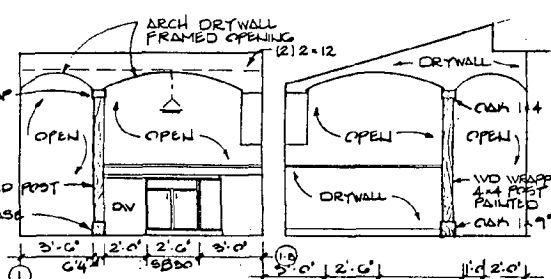
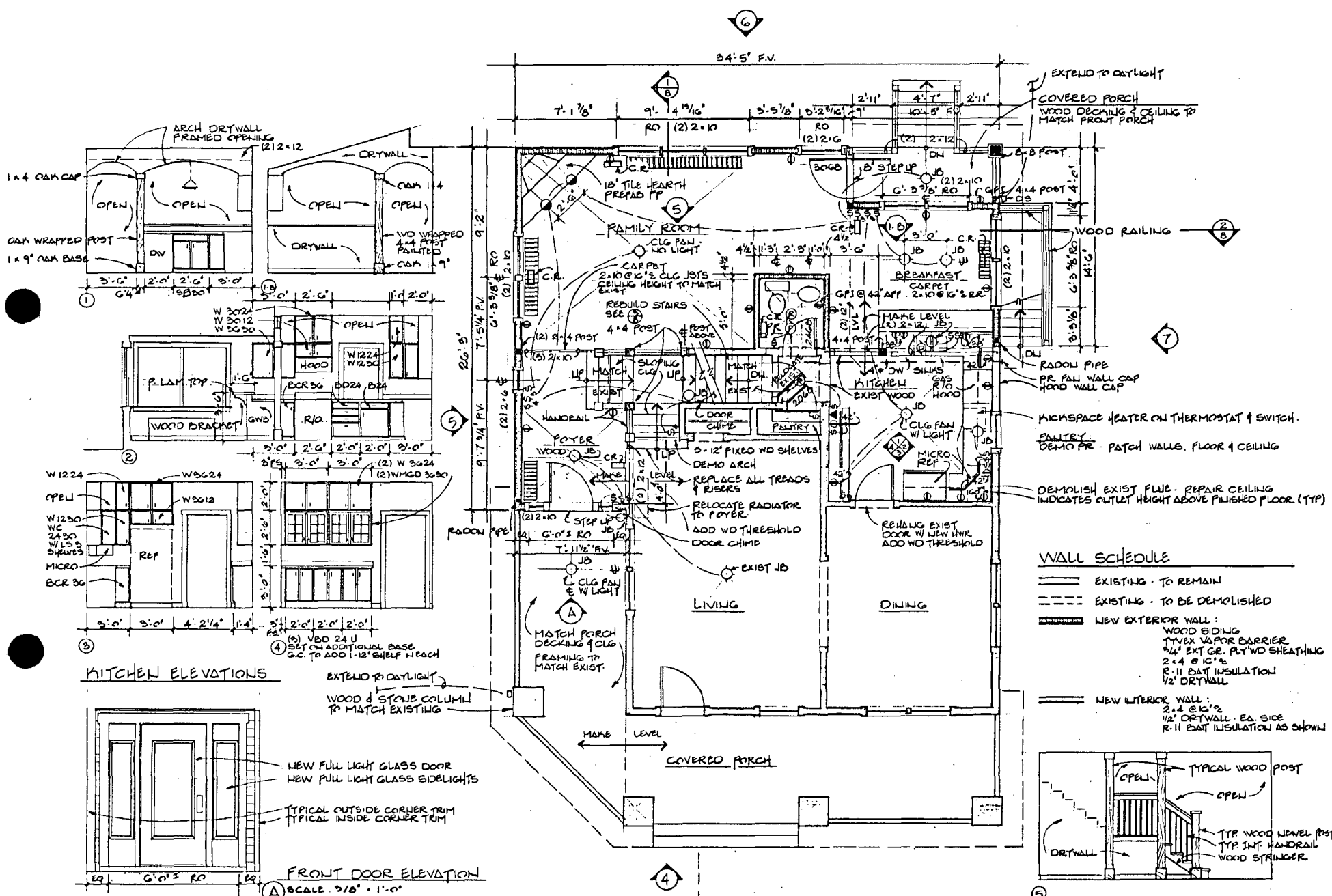
BASEMENT PLAN

SCALE 1/4" = 1'-0"

ARCHITECT CAREN YALOWAS AIA

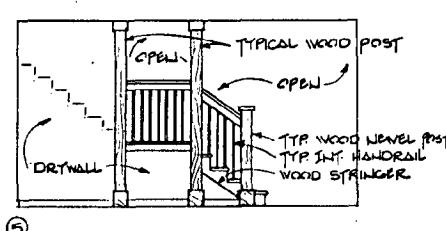
202-269-2575 | JUNE 95 SHEET 1 OF 8

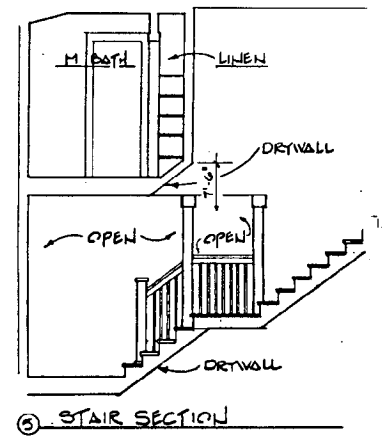
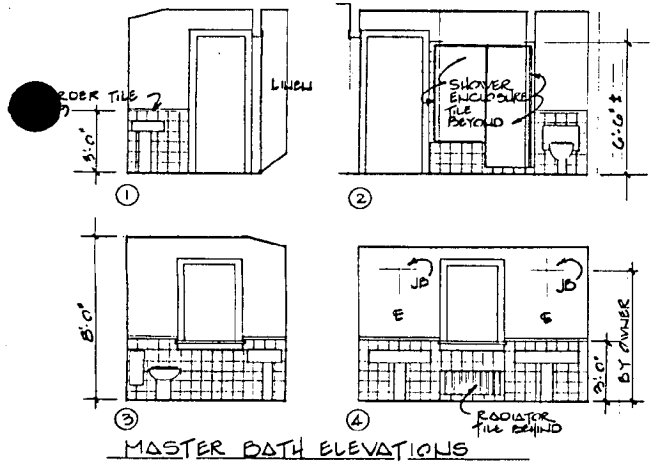
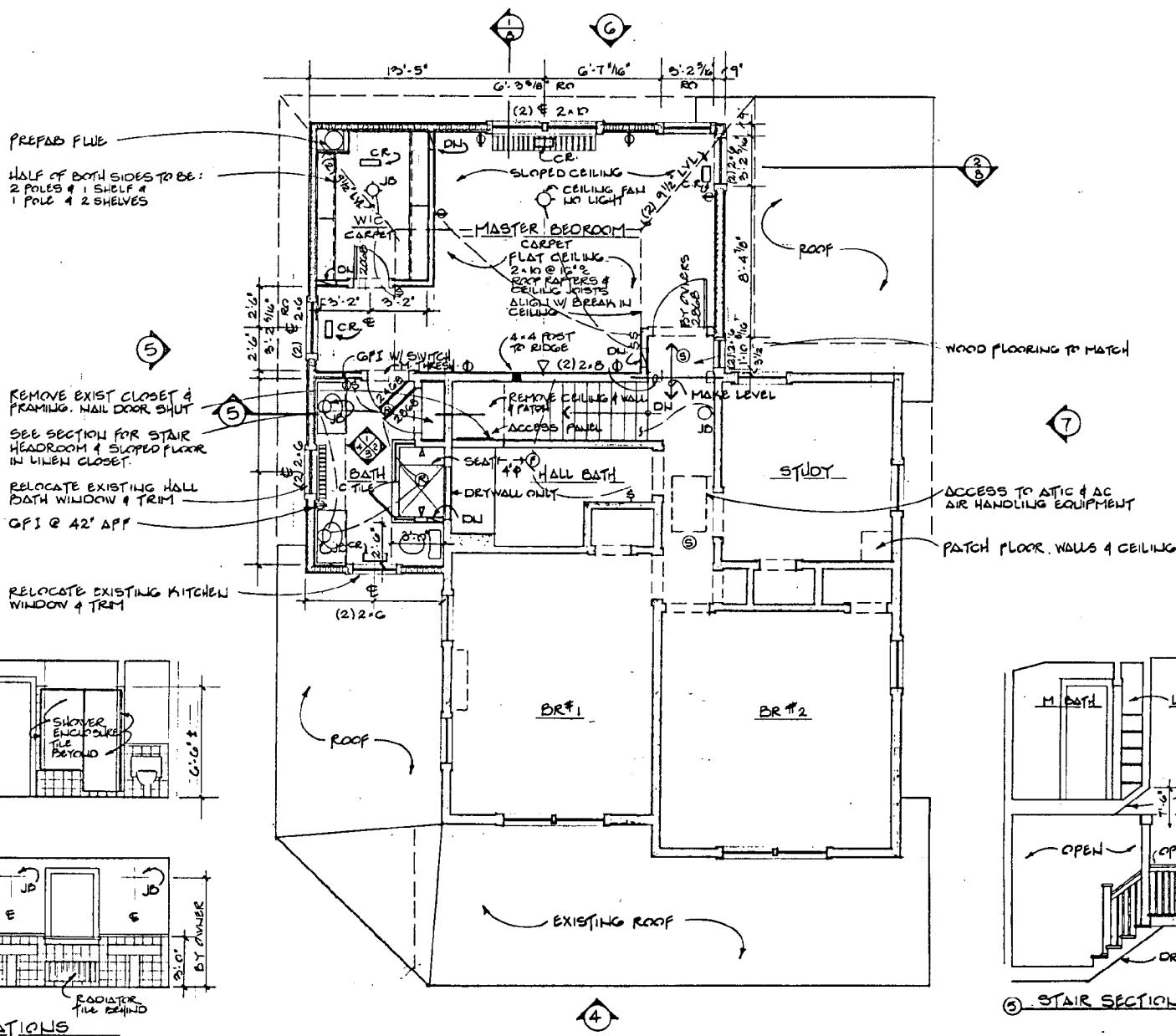


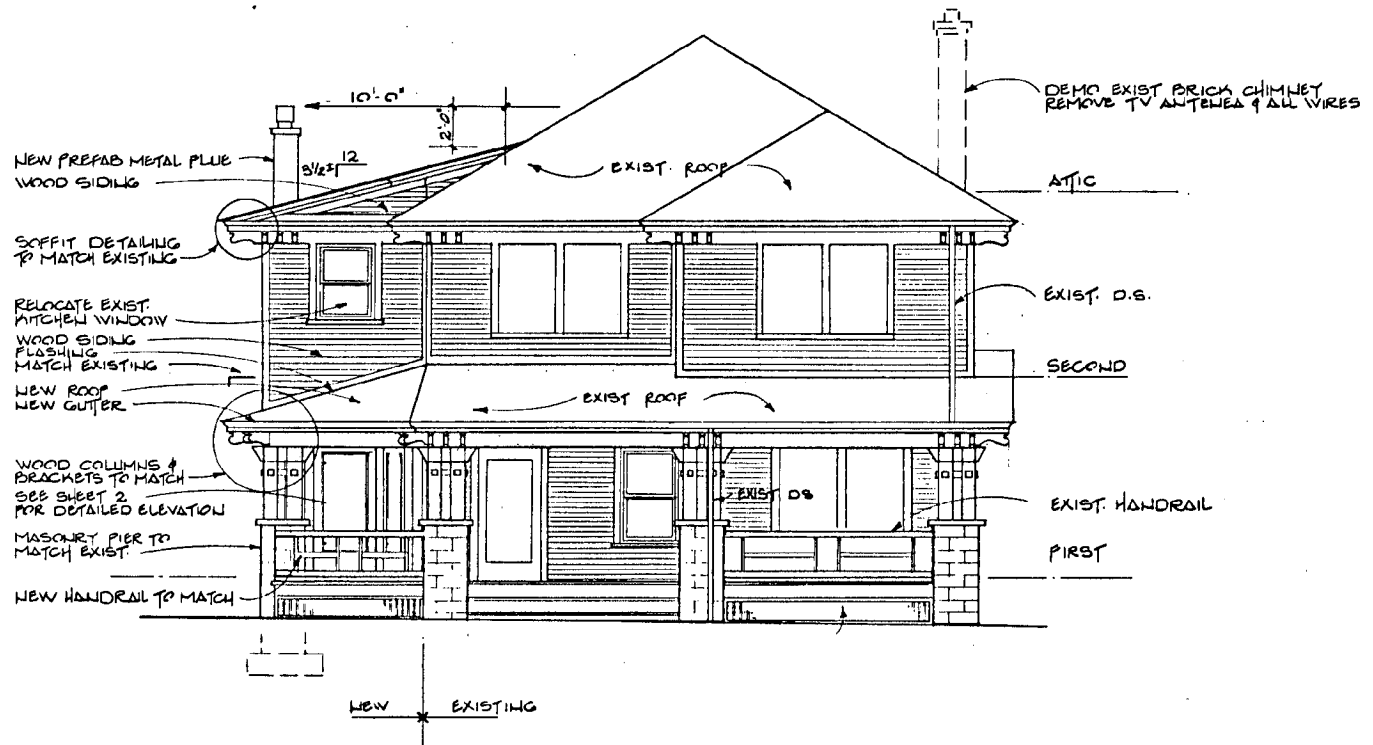


WALL SCHEDULE

	EXISTING - TO REMAIN
	EXISTING - TO BE DEMOLISHED
	NEW EXTERIOR WALL: WOOD SIDING TYVEK VAPOR BARRIER 3/4" EXT. GR. PLTY W/ SHEATHING 2-4 @ 16" OC R-11 BATT INSULATION 1/2" DRYWALL
	NEW INTERIOR WALL: 2-4 @ 16" OC 1/2" DRYWALL - EA. SIDE R-11 BATT INSULATION AS SHOWN







ANDREASON ADDITION & RENOVATION

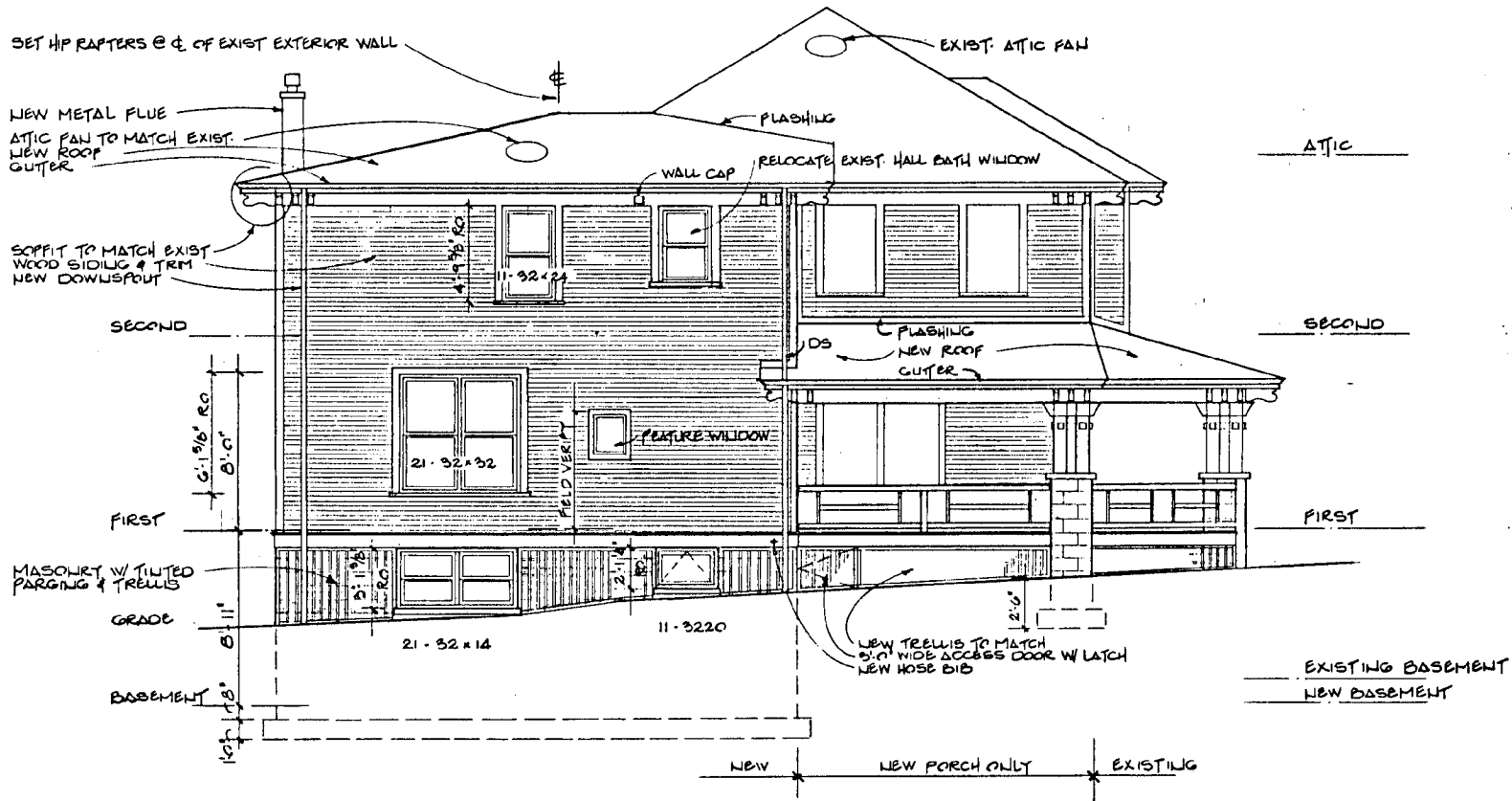
3927 WASHINGTON STREET • KENSINGTON MD 20895

SOUTH ELEVATION

SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA

202-265-2575 1 JUNE 93 SHEET 4 OF 8



ANDREASON ADDITION & RENOVATION

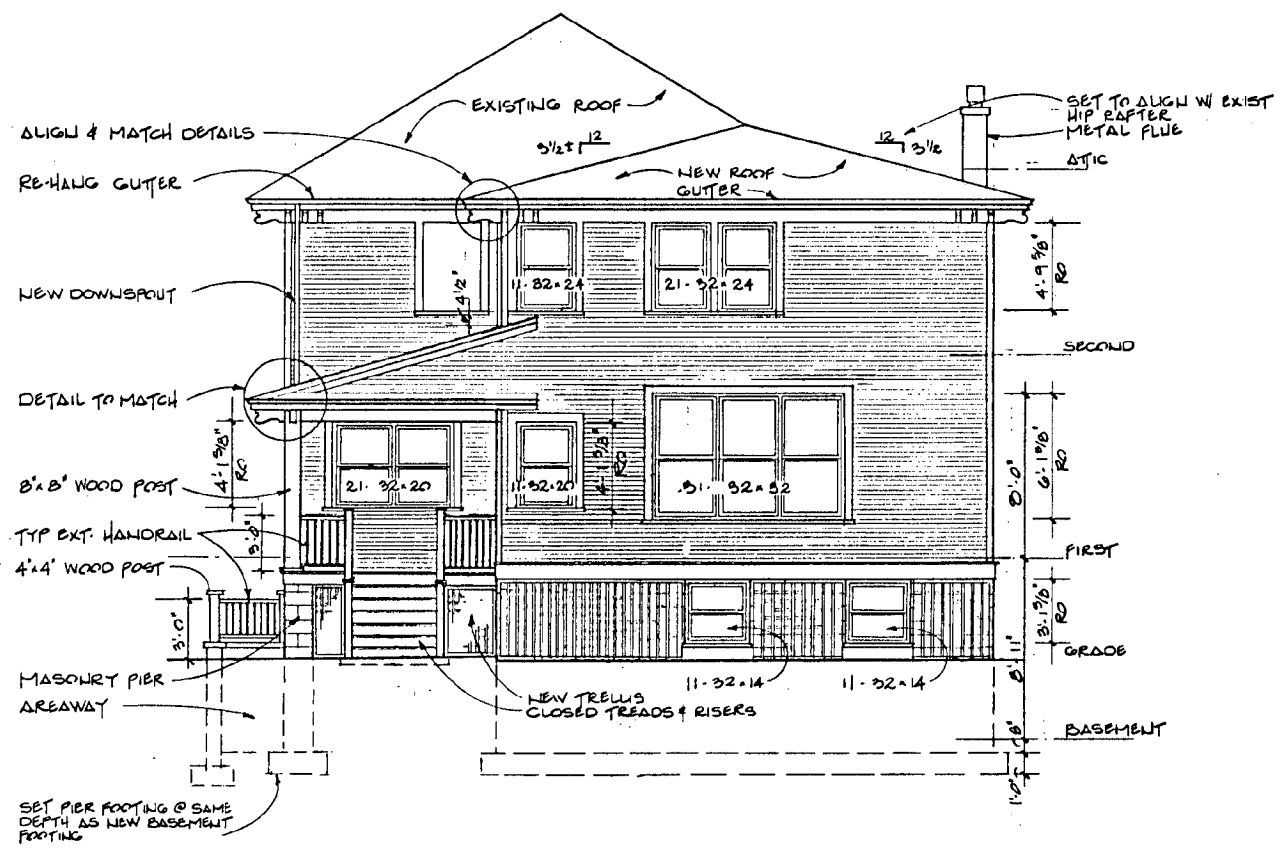
3927 WASHINGTON STREET - KENSINGTON MO 20895

WEST ELEVATION

SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS DIA

202.265.2575 1 JULIE 95 SHEET 3 OF 8



ANDREASON ADDITION & RENOVATION

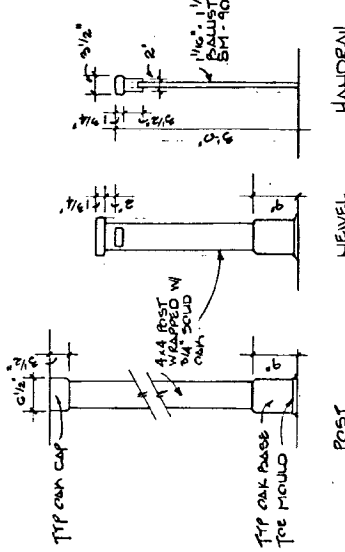
3927 WASHINGTON STREET - KENSINGTON MD 20893

NORTH ELEVATION

SCALE 1/4" = 1'-0"

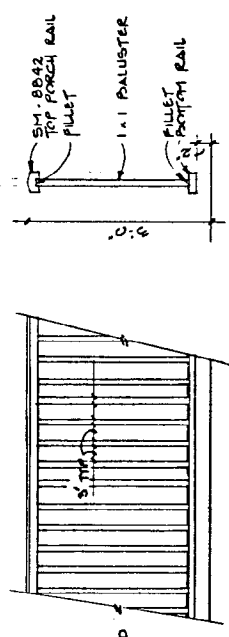
ARCHITECT CAREN YGLESIAS DIA

202-265-2576 1 JUNE 73 SHEET 6 OF 8

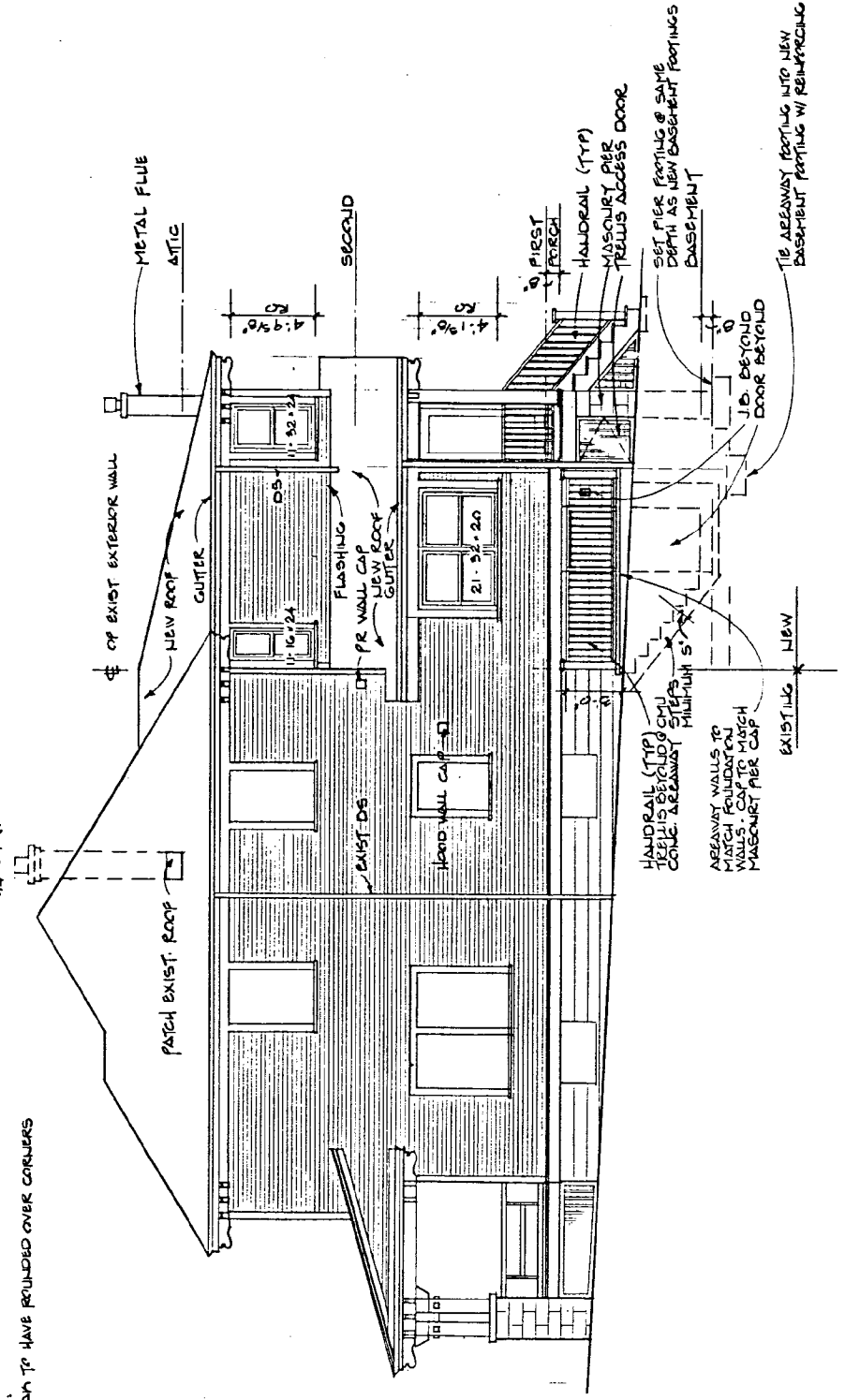


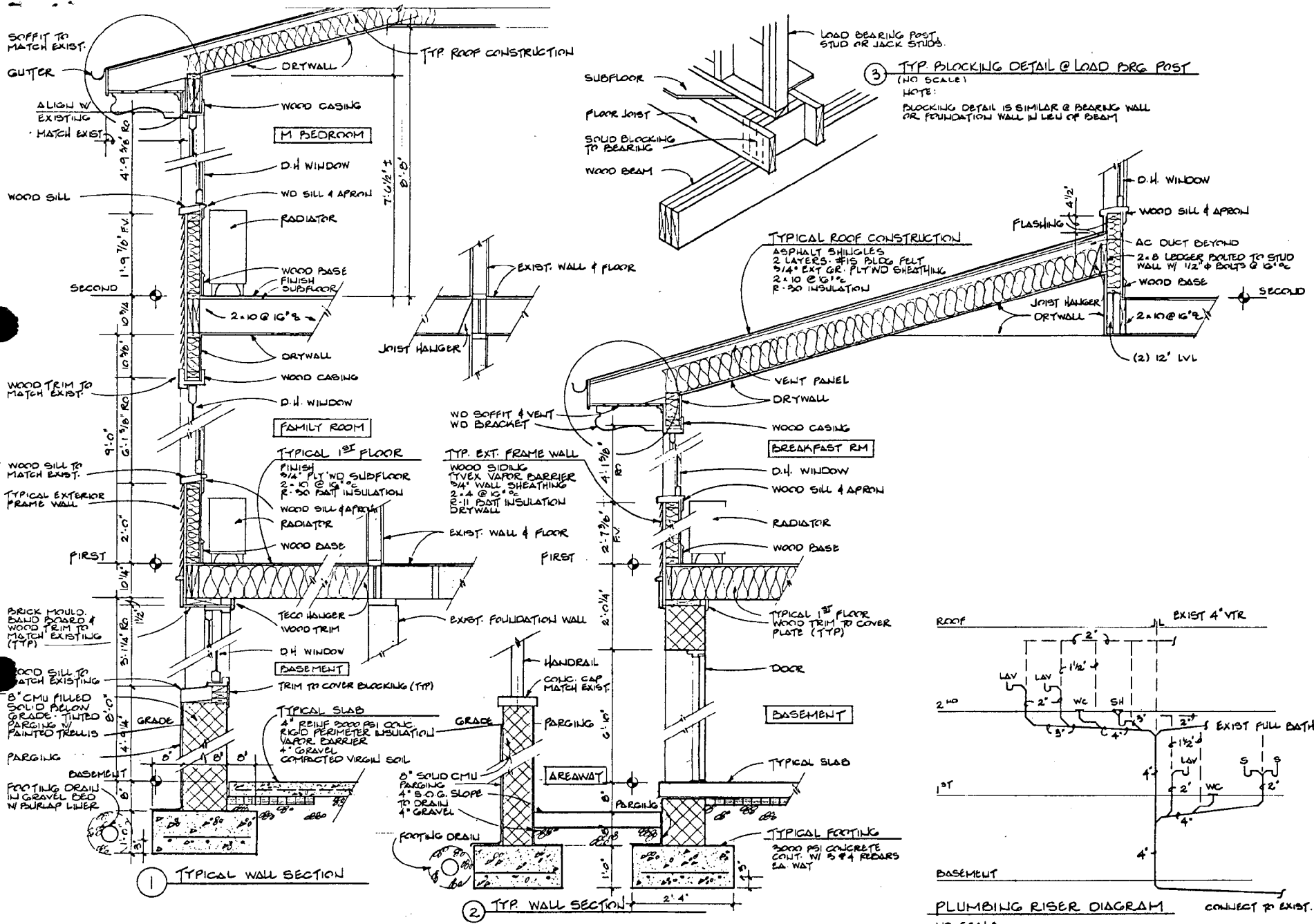
POST
ELEVATION
INTERIOR POST & RAILING DETAILS
1/4" x 1 1/2"

NOTE:
ALL OAK TO HAVE ROUNDED OVER CORNERS



ELEVATION
EXTERIOR HANDRAIL DETAILS
5/8" x 1 1/2"





ANDREASON ADDITION & RENOVATION

3927 WASHINGTON STREET - KENSINGTON MD 20895

WALL SECTIONS & DETAILS

SCALE 3/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA

202.205.2578 1 JUNE 93 SHEET 8 OF 8



Charles E. Little

To Whom It May Concern,

This is to advise that we have inspected the renovation plans of Dr. and Mrs. Anderson for their residence at 3927 Washington Street and are in support of their application to the Historic Commission to undertake the project.

Sincerely,

Charles and Ila Little

May 2, 1993

HELEN CRETTIER WILKES

Dear Members of the Historic Preservation Commission:

I am writing to express my opinion, as a resident of the Historic District in Kensington and as an architect, about the proposed addition/renovation at 3927 Washington Street.

I am pleased to see that the proposed addition respects the form of the existing house, wrapping the side and back in a way which leaves intact, and defers to, the original form. I am concerned, however, about the effect of closing off the existing front door and front steps.

One of the prevailing traditions of the architecture of this suburban garden park community is the frontal entry sequence, which usually includes passage through a covered front porch. In the case of this vintage Sears house, a wide entry bay, together with wide steps up to the front porch, incorporate within the architectural form of the house a very frontal gesture of "welcome" to the street. To negate this prominent architectural feature of the house would be to substantially alter its relationship to the street and to the community.

The logic of the proposed plan would not be altered substantially, I believe, by leaving the existing front porch and entry intact and making a secondary entry, with separate stair, to the new foyer. I hope that the Commission and the Applicant will agree that this compromise would preserve the architectural integrity of this contributing resource.

Sincerely yours,



Helen Crettier Wilkes, A.I.A.

3923 Prospect Street, Kensington, Maryland 20895

Andreasen

congruence:

1) keep horizontal

2) keep front door

3) hold repeat highly textured concrete block in
condition - use block + curvilinear w/ trellis

make
unanimously

front facade - intact
steps, opening
all in place
pool will wrap

rephrase of wrap-around porch
"chairs like on porch" - want more
slope of porch roof has been changed

But - 2 problems of porch -
- would be in porch railing
- in character - makes it look more PA,
rather than 4sq

Water - OK - keep front stairs as well

Ken - OK -

Greg - wants people to ID Seaks house
wants distinction betw. old + new =
(doesn't say whether this makes
it or not)

Abuk - OK, w/ concessions

square feature window

(202) 429-8870
(703) 848-2992
(703) 683-2080
(301) 495-RUSH

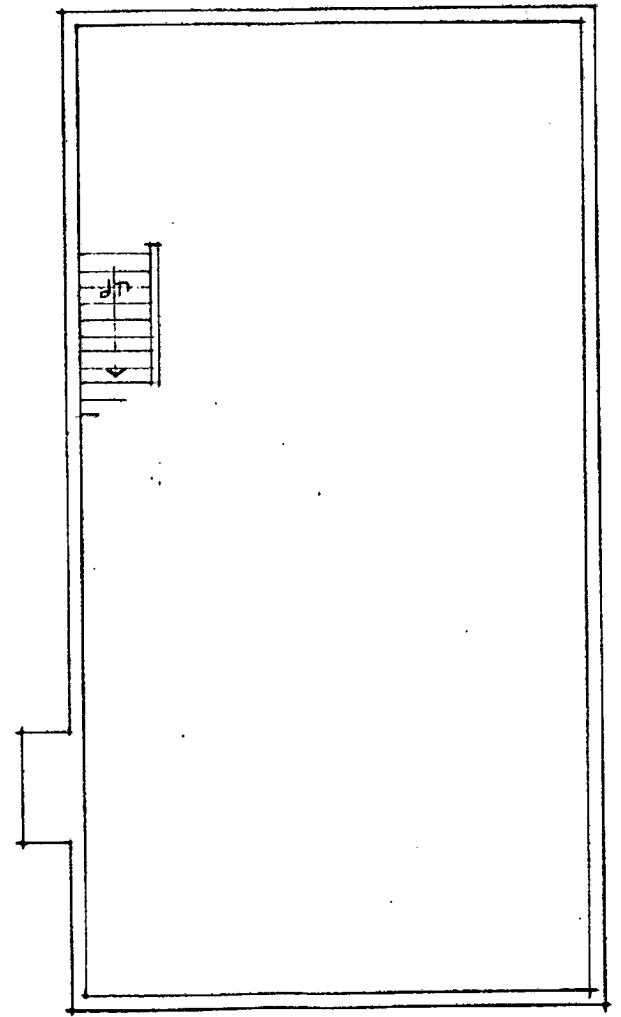
Headquarters
Tysons Corner
Alexandria
Silver Spring

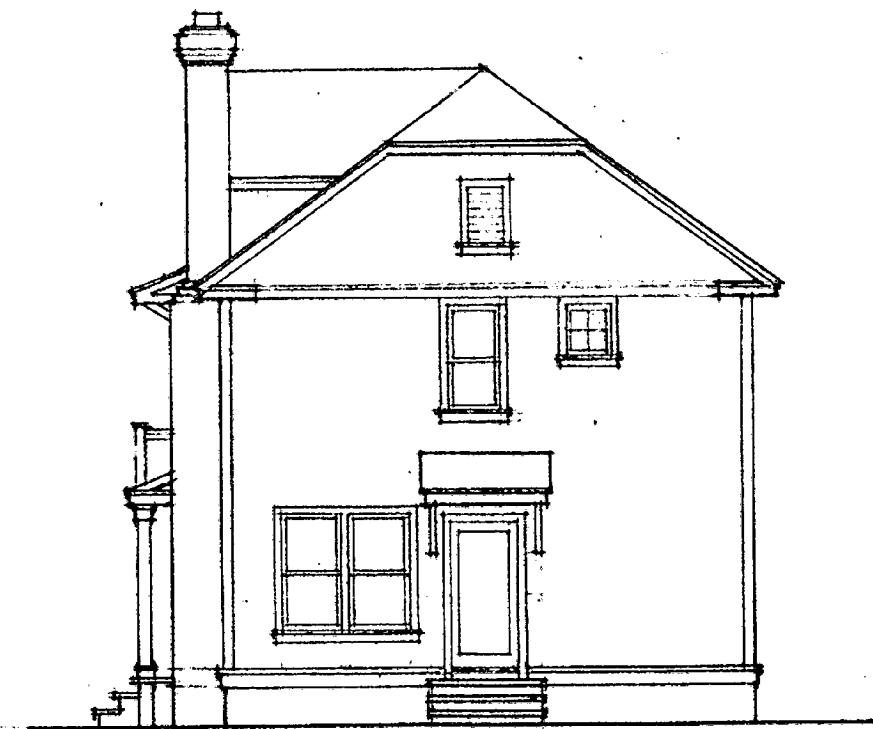


Headquarters (202) 429-8870
Tysons Corner (703) 848-2992
Alexandria (703) 683-2080
Silver Spring (301) 495-RUSH

CAREY HOOPER
ELLISON CORP
681-1411

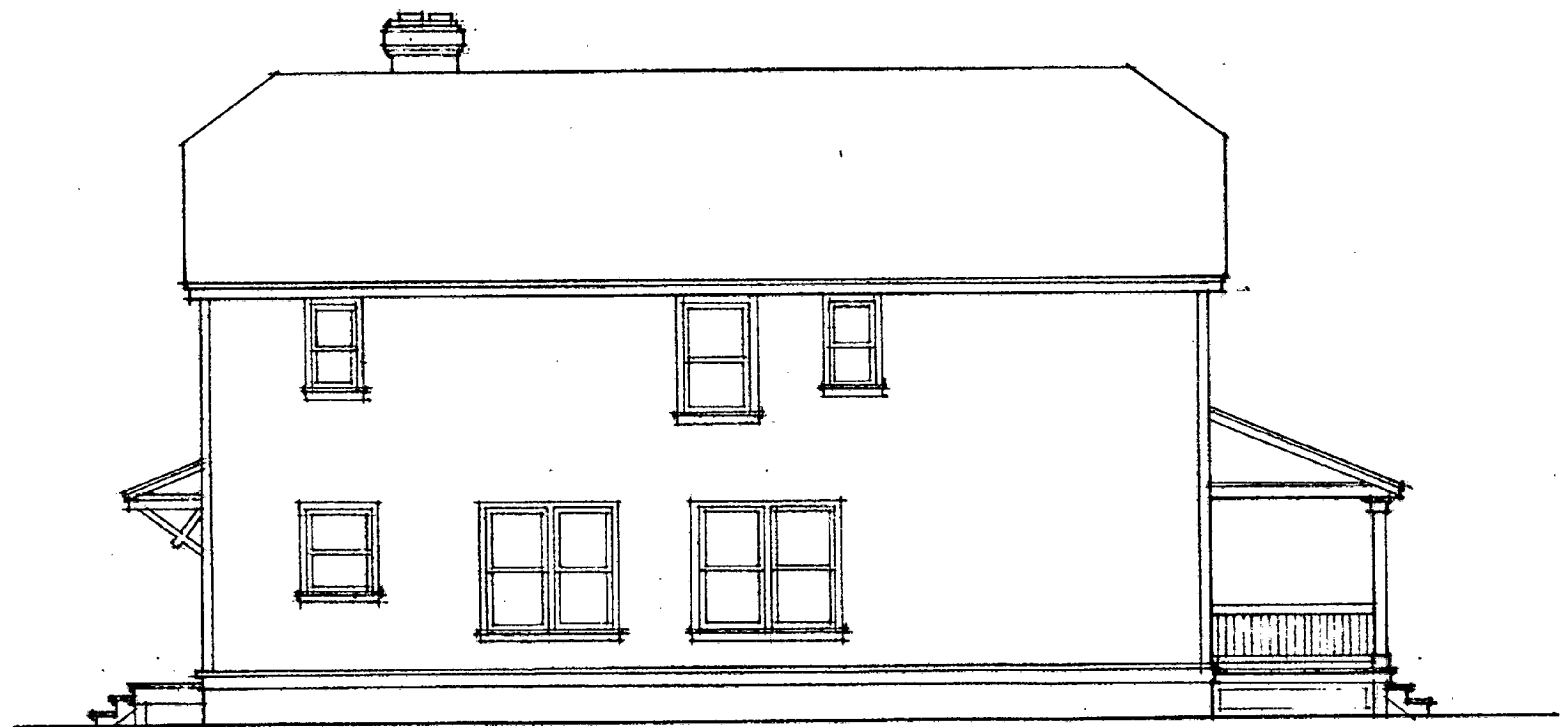
BASEMENT FLOOR PLAN
1/8" = 1'-0"





REAR ELEVATION

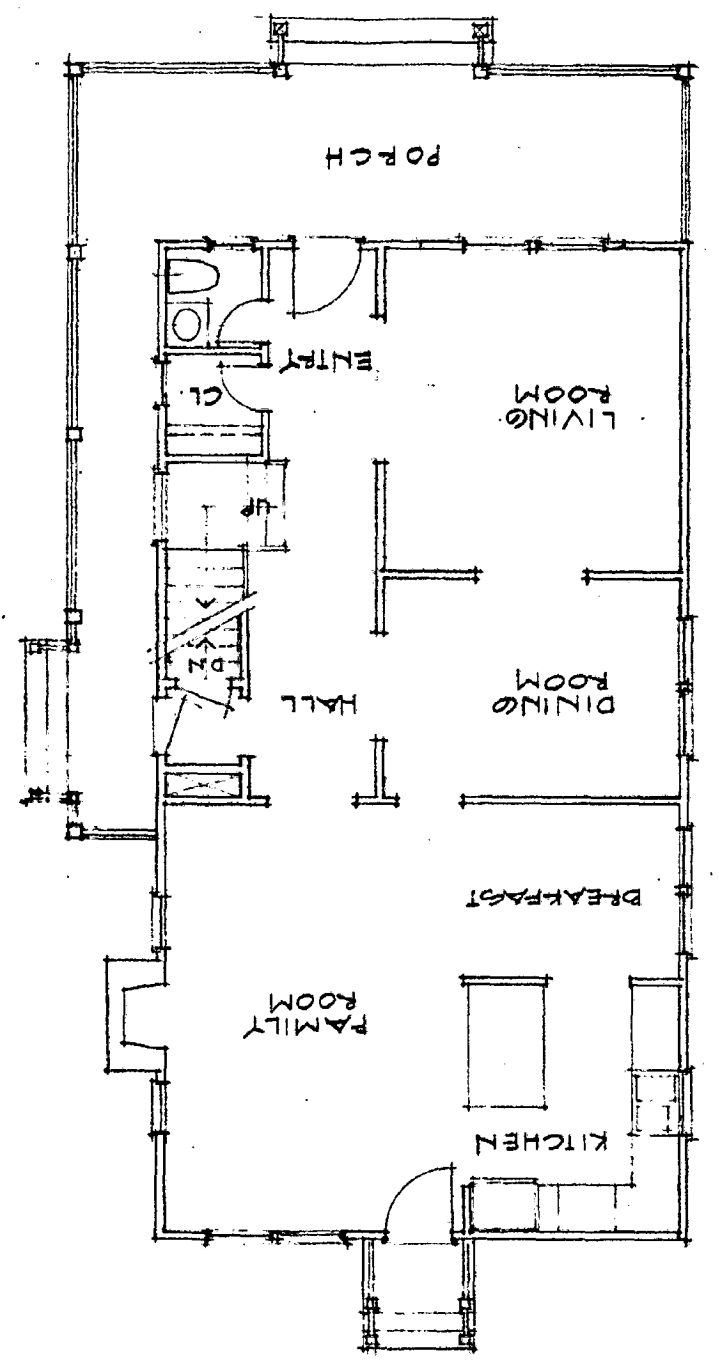
$1/8" = 1'-0"$



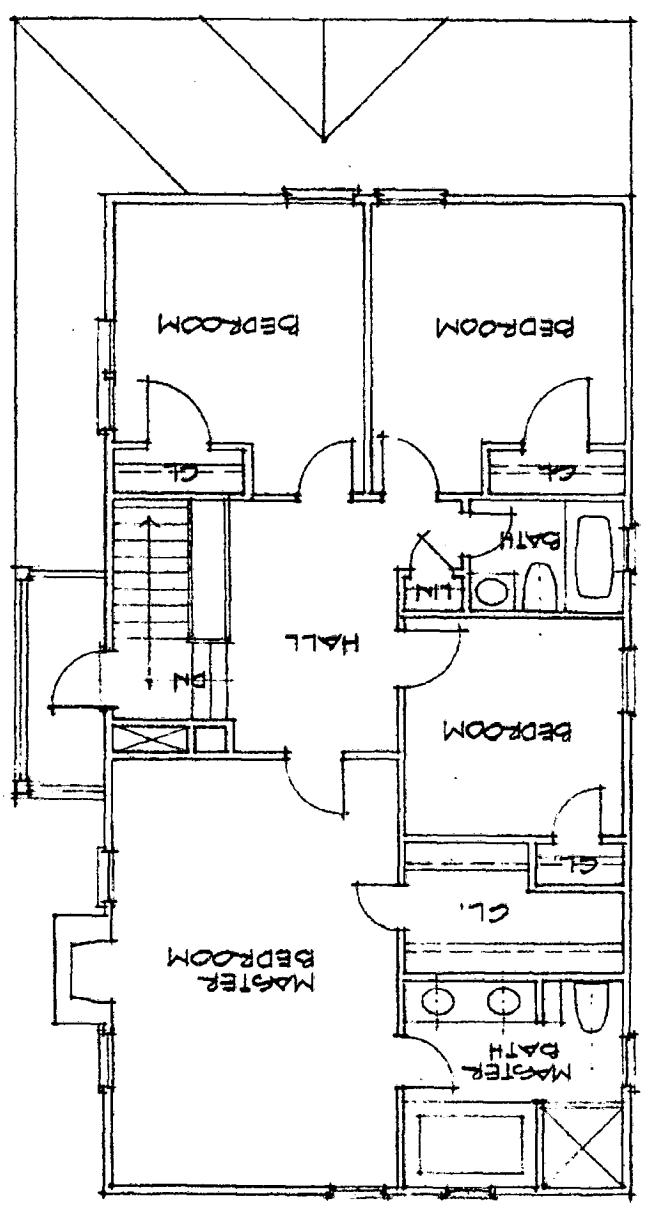
SIDE ELEVATION

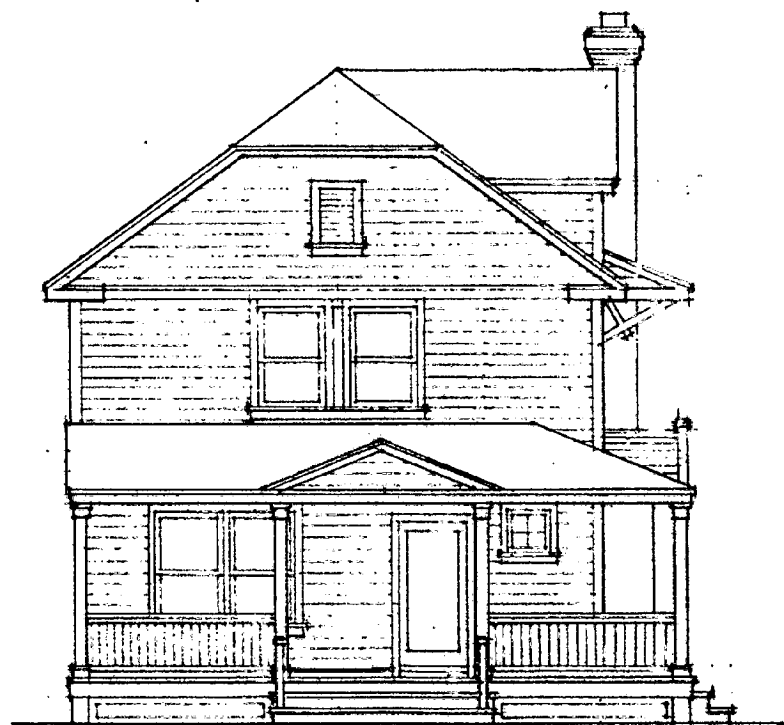
$1/8" = 1'-0"$

FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"





FRONT ELEVATION

$\frac{1}{8}'' = 1'-0''$



SIDE ELEVATION

$\frac{1}{8}'' = 1'-0''$



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1023245

NAME OF PROPERTY OWNER PAUL J. ANDREASON TELEPHONE NO. (301)933 8824
(Contract/Purchaser) (Include Area Code)

ADDRESS 3927 WASHINGTON ST Kensington MD 20895
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY CAREN YGLESIAS CONTRACTOR REGISTRATION NUMBER _____ TELEPHONE NO. 202 265-2575
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 3927 Street WASHINGTON ST

Town/City Kensington Election District 7

Nearest Cross Street Prospect Ave

Lot 14 Block 12 Subdivision Kensington Park

Liber 9934 Folio 830 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one) Circle One: A/C Slab Room Addition
Construct Extend/Add Alter/Renovate Repair Porch Deck Fireplace Shed Solar Woodburning Stove
Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 115,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY

01 WSSC 02 () Septic 01 WSSC 02 () Well

03 () Other _____ 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date 5/5/93
Signature of owner or authorized agent (agent must have signature notarized on back)

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B. Randall Date 10-4-93

APPLICATION/PERMIT NO: 9305050070 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3927 Washington Street Meeting Date: 5/26/93
Resource: Kensington Historic District Review: HAWP/Alteration
Case Number: 31/6-93B Tax Credit: No
Public Notice: 5/12/93 Report Date: 5/19/93
Applicant: Paul Andreason Staff: Nancy Witherell
PROPOSAL: Rear and side addition RECOMMEND: Partial approval; restudy porch proposal

The applicant proposes a two-story addition to a contributing resource in the historic district. The house, identified by the owner as a Sears house dating to 1923, is essentially square in plan, with a slight bay projection at the front, and a porch across the front. The porch has cast concrete piers with paired posts, a balustrade similar to that designed by Sears, and a distinctive eave return best seen from each side. A rear one-story porch would be demolished to accommodate a new two-story rear and side addition. A small one-story section would also be constructed at the rear. A one-story covered porch, connecting the new two-story addition and the existing front porch, is proposed for the left side of the house.

The proposed new construction would match the existing materials, including trim; windows would be relocated and reused. The proposal includes the removal of the front door, its replacement with a window, and the extension of the front porch in order to reinstall the front door, with new sidelights, in a new location.

The house has a generous side yard. The house's side elevations are visible from the street, especially the left side (where most of the work is proposed) which faces the side yard.

STAFF DISCUSSION

The staff finds the proposal only partially consistent with the historic preservation ordinance criteria and the Secretary of the Interior's Standards. Despite its size, the two-story addition maintains the solid, rectilinear character of the house, and the one-story section at the rear mimics the eave lines of the front porch.

The staff is concerned, however, to see proposed the relocation of the front door and the alteration of the front porch (including removal of the eave and front steps, removal of the balustrade and its replacement with one of another design, the installation of a new section of railing where none now exists, and the addition of a new porch roof form at the corner). Alterations to the most significant design features of the house, on the first floor of the front facade, should be avoided if at all possible.

In this instance, ironically, the replication of facade and porch elements compounds the problem, since it would be difficult to read the original features and fenestration pattern of the house following this alteration. This original historic architectural character and fabric, regardless of whether the house came from a catalog or from a local builder, is what the designation of the Kensington Historic District is intended to retain.

While understanding the applicant's desire to add a foyer, the staff recommends that the proposal be altered so that the front door remain in its existing location and the front porch remain intact without an attached porch section and without a change in the balustrade design. The two-story addition should truly remain a background alteration to the extent possible. If a foyer is desired, the staff would suggest that it be done without alteration to the existing front facade and porch.

STAFF RECOMMENDATION

The staff commends the applicant and architect for their sensitivity to the qualities of the historic fabric of the house and to its generous setting. With respect to the rear addition, the staff finds the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The alterations to the first story at the front, however, do not meet these threshold requirements. In the staff's judgment, Criterion 24A-8(b)1 of the historic preservation ordinance is not met:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and Standard #2 is not met:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The staff urges the applicant and architect to reconsider the proposal for the alteration and addition to the porch, as well as the relocation of the front door so that the entire project can be found consistent with the ordinance criteria and the Secretary of the Interior's Standards.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1023245

NAME OF PROPERTY OWNER PAUL J. ANDREASON TELEPHONE NO. (301) 933 8824
(Contract/Purchaser)

ADDRESS 3927 WASHINGTON ST Kensington STATE MD ZIP 20895
CITY

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY CAREN YGLESIAS CONTRACTOR REGISTRATION NUMBER _____ TELEPHONE NO. 202 265-2575
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 3927 Street WASHINGTON ST

Town/City Kensington Election District 7

Nearest Cross Street Prospect Ave

Lot 14 Block 12 Subdivision Kensington Park

Liber 9934 Folio 830 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<input checked="" type="checkbox"/> Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	<input checked="" type="checkbox"/> Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Shed	Solar	Woodburning Stove
				Fence/Wall (complete Section 4) Other _____		

1B. CONSTRUCTION COSTS ESTIMATE \$ 115,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit

May 3, 1993

Paul J. Andreason
3927 Washington Street
Kensington, MD
20895

Historic Area Preservation Committee
250 Hungerford Drive
Rockville, MD

Subject: Proposed renovation and addition to 3927 Washington St. Kensington, MD.

Dear Committee:

We are applying for a "Historic Area Work Permit" to renovate and add onto our home. This particular home is a 1923 vintage Sears catalog home. Enclosed are two copies of the proposed plans and a copy of the original floor plan and elevation drawings. The plans include an aerial representation of the current house's footprint and the footprint of the house with the elevation.

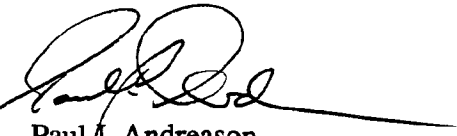
The names and mailing addresses of the adjoining and facing property owners are included in the "checklist" form.

The home adjoining our property at 3925 Washington St. is vacant and has been so since the latter part of 1992, yet the mailing address for the property owner is listed as 3923 Washington St.. We have reviewed the enclosed plans with as many adjoining owners as could be contacted and they expressed support for the project. The Littles have provided a letter which is enclosed.

A tree survey is not included as neither trees of diameter 6" or greater, nor their root systems will be effected (per discussion with Ms. Witherell).

Thank you very much for your consideration.

Sincerely,



Paul J. Andreason



Charles E. Little

To Whom It May Concern,

This is to advise that we have inspected the renovation plans of Dr. and Mrs. Anderson for their residence at 3927 Washington Street and are in support of their application to the Historic Commission to undertake the project.

Sincerely,

Charles and Iva Little

May 2, 1993

HISTORIC AREA WORK PERMITS CHECKLIST OF APPLICATION REQUIREMENTS

REQUIREMENTS	WRITTEN DESCRIPTION	PROJECT INTENT	PROJECT PLAN	TREE SURVEY	DESIGN FEATURES	FACADES	MATERIAL SPECIFICATIONS	PHOTOGRAPHS	PROPERTY OWNER ADDR.
NEW CONSTRUCTION	*	*	*	*	*	*	*	*	*
ADDITIONS	*	*	*	*	*	*	*	*	*
PARTIAL/TOTAL DEMO.	*	*	*					*	*
DECKS/PORCHES	*	*	*		*	*	*	*	*
FENCES/WALLS	*	*	*				*	*	*
DRIVES/PARKING AREAS	*	*	*	*			*	*	*
MAJOR LANDSCAP./GRADING	*	*	*	*			*	*	*
TREE REMOVAL	*	*	*	*			*	*	*
SIDING/ROOFING CHANGES	*	*	*			*	*	*	*
WINDOW/DOOR CHANGES	*	*	*		*	*	*	*	*
MASONRY REPAIR/REPOINT	*	*	*			*	*	*	*
SIGNS	*	*	*			*	*	*	*

Please see attached instructions for further details regarding these application requirements.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs.

HISTORIC AREA WORK PERMITS

INSTRUCTIONS FOR FILING AND APPLICATION REQUIREMENTS

All applications for work involving properties listed on the Montgomery County Master Plan for Historic Preservation require the approval of the Historic Preservation Commission, which is charged with reviewing all work projects in listed historic districts and on listed individual historic sites. Prior to filing an application for an Historic Area Work Permit (HAWP), applicants with major projects may contact the Historic Preservation Commission (HPC) for a preliminary consultation. The Commission is located at 51 Monroe Street, Suite 1001, Rockville, and can be reached at 217-3625.

Applications for HAWP's must be obtained from, and returned to, the Department of Environmental Protection (DEP), Division of Construction Codes Enforcement, 250 Hungerford Drive, Rockville (738-3110). The application requirements depend on the nature of the proposed project, and are listed in the attached checklist. HAWP applications and all required attachments will be reviewed by authorized staff prior to acceptance of the application. Applications must be complete before they will be accepted by DEP staff. Once accepted, the application will be forwarded within three business days to the Historic Preservation Commission office. The Historic Preservation Commission staff will review the application. If, in its judgment, additional information is necessary to reasonably document the proposed work in relationship to the historic district, existing historic resource(s) and/or environmental setting, staff will contact the applicant and request the information. The HPC will typically schedule a hearing on the application at the regular Commission meeting falling between 24 and 37 days after the date of the acceptance of the application. The applicant will be notified by mail of the meeting time and place, and will be expected to attend the meeting. The applicant may contact the HPC in order to confirm the time and place.

Some historic districts have Local Advisory Panels (LAP's), groups of volunteer citizens which assist the HPC in reviewing HAWPs. If the project is in a historic district the HPC will forward a copy of the application to the LAP. The LAP will review the application and forward its comments to the HPC for inclusion in the record. Further information on the Local Advisory Panel and the role it plays in the HAWP process is available from the HPC.

If the HPC approves the application, it is forwarded with approved plans and conditions of approval, if any, to DEP for issuance of an Historic Area Work Permit and Building Permit. A copy of the approved HAWP will also be forwarded to the applicant. A copy of the HPC and DEP-stamped approved plans and related information must be made readily available to DEP and HPC staff on the project site during construction for reference. If the application is denied, or if the applicant is not satisfied with the decision of the Commission, she/he may choose to submit a revised application, or may appeal the decision to the County Board of Appeals. The Board of Appeals will hear the original application and render its own decision.

The Historic Area Work Permit is neither a substitute for, nor a part of, the Building Permit. For most projects, both a Historic Area Work Permit and a Building Permit are required. These permits are entirely separate, with different application procedures and requirements. Applicants are encouraged to obtain the Historic Area Work Permit prior to filing for a Building Permit.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a 1923 vintage Sears catalog home. It is in a neighborhood of homes that range in age from new construction to 1912.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed addition/renovation is described in the attached plans & specifications. There is no impact on the environmental setting of the district as the addition is well within the design style of the original structure. There is no impact on historic resources.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

The design of the new work is to conform with that of the original structure using massing and materials that conform with code yet maintained the style of the original structure.

- b. the relationship of this design to the existing resource(s):

The design is completely consistent with the existing structure.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

The proposed design conforms with the ordinance in that its design is compatible & scaled with the original structure, and that it is not out of scale with the surrounding environment.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Victor H. and M.K. COHN
 Address 3932 Prospect Ave
 City/Zip Kensington, MD 20895
2. Name Raymond L. and L.W. Weisman
 Address 3926 Prospect Ave
 City/Zip Kensington, MD 20895

3. Name Dalton L. and D.W. Lane
Address 3923 Washington St.
City/Zip Kensington, MD 20895

4. Name Charles E and I.D. LITTLE
Address 3929 Washington St.
City/Zip Kensington, MD 20895

5. Name William B & J M COHEN
Address 3928 Washington St
City/Zip Kensington, MD 20895

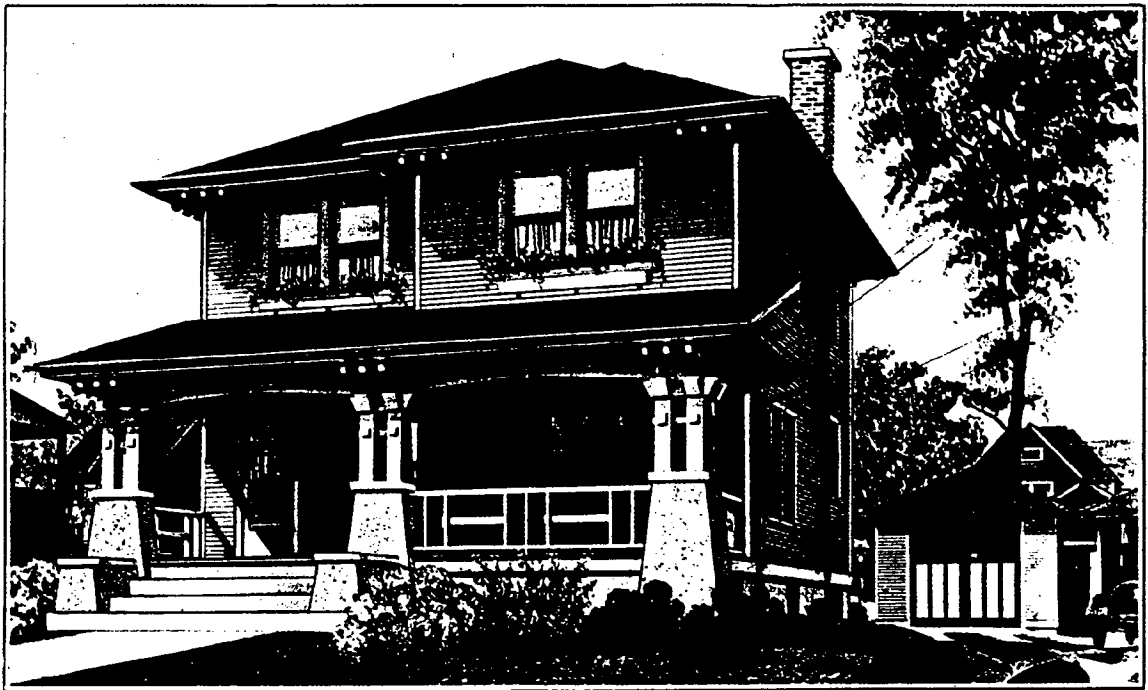
6. Name _____
Address _____
City/Zip _____

7. Name Holly A. and M.A. Sullivan
Address 3928 Prospect Ave
City/Zip Kensington, MD 20895

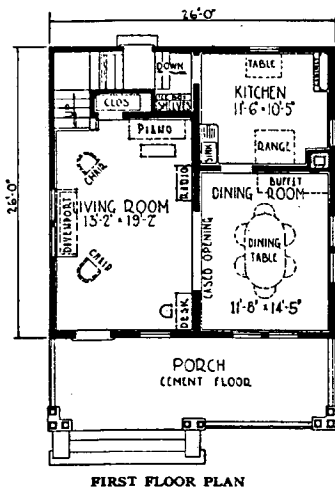
8. Name _____
Address _____
City/Zip _____

1757E

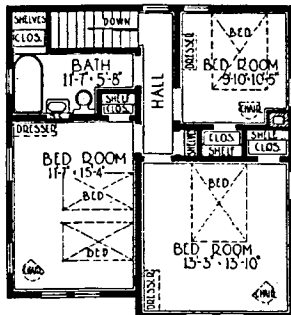
SIX ROOMS AND BATH



Can be built on a lot 32 feet wide



FIRST FLOOR PLAN



SECOND FLOOR PLAN

HERE is a fine two-story home that any American can be proud of and be comfortable in. It is a dignified, substantial house that will stand out among its neighbors and never go "out of style." The rooms of the Americus are all of good size and well lighted and ventilated. Lots of big closets just where needed, and a kitchen that will save a great many steps.

FIRST FLOOR
The Porch is almost a living room during the summer. It may be screened, or if glazed can be used as a sun room. Size, 26 feet by 8 feet.

The Living Room is of excellent proportions and has good wall space. It measures 13 feet 2 inches by 19 feet 2 inches. The stairway to the second floor is located directly opposite the front door, near which is a spacious coat closet with a mirror door. Furniture can be grouped to effect almost any kind of arrangement, and there is wall space for a piano. Light and air from windows at the side and front.

The Dining Room. A 7-foot cased opening connects the living room and the dining room. Here is room enough for a large buffet, as well as for a china cabinet, serving table or tea wagon. Four big windows allow light and air.

The Kitchen connects with the dining room by a swinging door. A couple of steps from the sink is the space for a range, with good light for oven and top. At one corner of the kitchen is a built-in kitchen cabinet, and nearby is space for the table directly underneath a window. Now, if you bake, you have everything together, floor in sanitary swinging bins, all utensils and ingredients, without crossing the room once. At the grade entrance and on the same level with the kitchen floor is space for refrigerator. Over the refrigerator space is a big shelf for things wanted near the kitchen but not used daily. All your work is concentrated on the three walls nearest the dining room. On the other wall is a window and space for table. Notice the grade entrance and the square turn for basement stairs—no winding stairs. Tradesmen and icemen cannot track up your clean kitchen floor, and the kitchen is always warm in winter. There are windows on two sides.

SECOND FLOOR
The Bedrooms. The stairs make a turn and bring you to a small hall from which all rooms and a closet open. A window lights stairs and hall. At the head of the stairs is the bathroom, all plumbing on one wall, and plenty of space for towel rods. At the end of the tub is a generous cupboard, over 5 feet high and 3 feet deep, in the back of which are deep shelves for storage and in the front of which, out of the reach of children, is ample shelf and a handy shelf for bottles. All three bedrooms are large. Each has windows on two sides and a closet with a shelf. Windows are so arranged that beds can be placed away from them in winter and near them in summer. Off the hall is another closet for bed linen, or storage, or for an extra broom, etc., so that it will not be necessary to carry the cleaning things up and down stairs.

The Basement. Room for furnace, laundry and storage. Height of Ceilings. First floor, 9 feet from floor to ceiling. Second floor, 8 feet 2 inches from floor to ceiling. Basement, 7 feet from floor to joists.

Honor Bill

The Americus

No. P13063 "Already Cut" and Fitted.

\$2,286⁰⁰

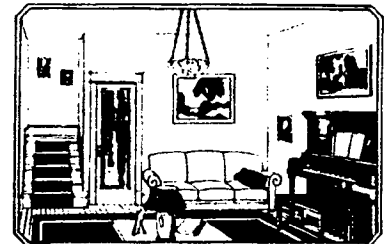
What Our Price Includes

At the price quoted we will furnish all the material to build this six-room two-story home, consisting of:
Lumber; Lath;
Roofing, Oriental Asphalt Shingles, Guaranteed 17 Years;
Siding, Clear Cypress or Clear Red Cedar, Bevel;
Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
Flooring, First Floor, Clear Oak for Living Room and Dining Room, Clear Maple for Kitchen; Second Floor, Clear Maple for Bathroom, Clear Douglas Fir or Pacific Coast Hemlock for Bed rooms and Hall;
Porch Ceiling, Clear Douglas Fir or Pacific Coast Hemlock;
Finishing Lumber;
High Grade Millwork (see pages 110 and 111);
Interior Doors, Two Vertical Panel Design for First Floor and Two-Cross Panel Design for Second Floor, All of Douglas Fir;
Trim, Beautiful Grain Douglas Fir or Yellow Pine;
Windows of California Clear White Pine;
Medicine Case;
Kitchen Cabinet;
Eaves Trough and Down Spout;
40-Lb. Building Paper; Sash Weights;
Chicago Design Hardware (see page 132);
Paint for Three Coats Outside Trim and Siding;
Shellac and Varnish for Interior Doors and Trim;
Shellac, Paste Filler and Floor Varnish for Oak and Maple Floors.

Complete Plans and Specifications.
We guarantee enough material to build this house. Price does not include cement, brick or plaster.
See description of "Honor Bill" Houses on pages 12 and 13.

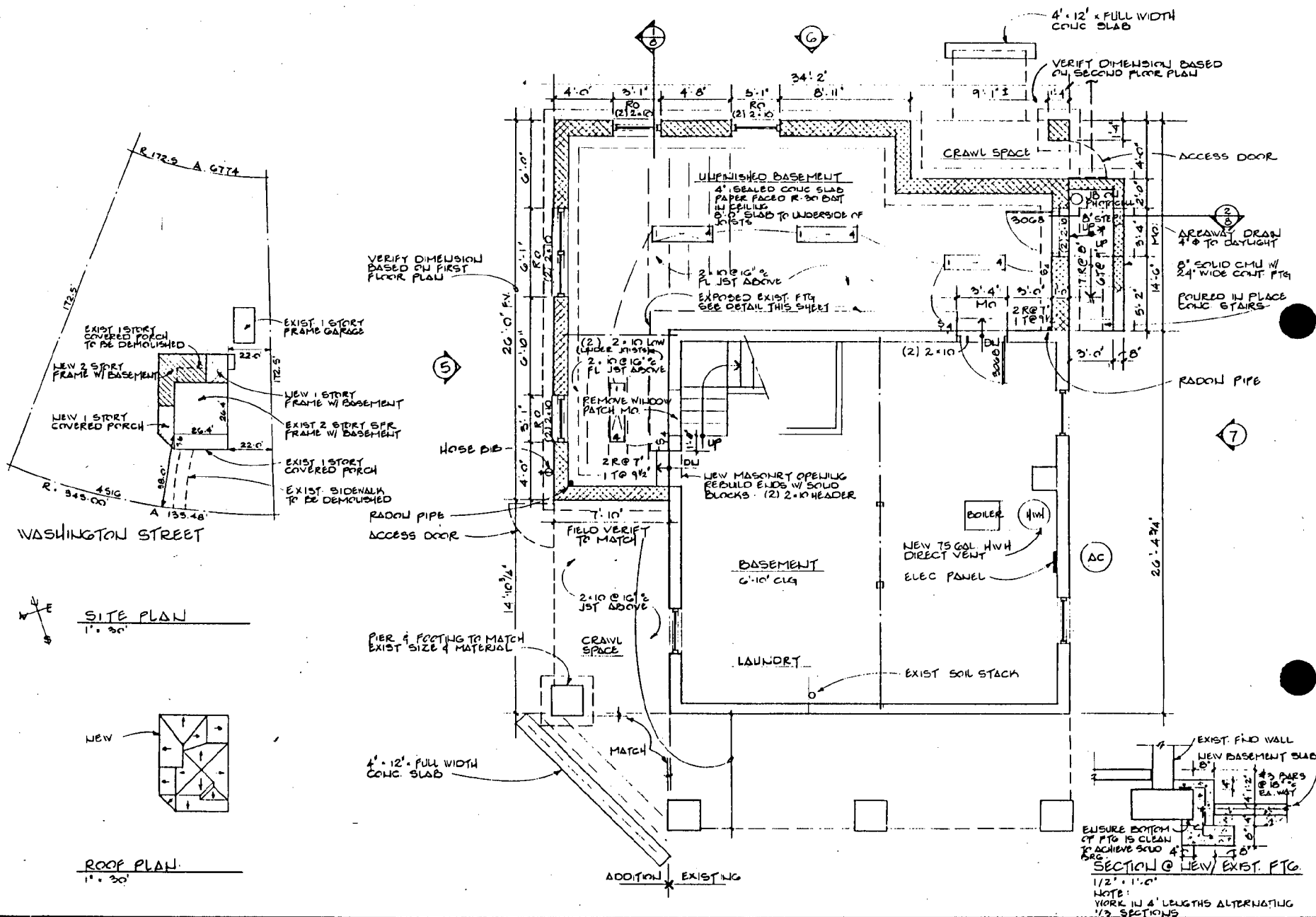
OPTIONS

Sheet Plaster and Plaster Finish to take the place of wood lath, \$221.00 extra. See page 109.
Oak Doors and Trim in living room and dining room, \$137.00 extra.
Wood Floor Material for the porch, \$73.00 extra.
Storm Doors and Windows, \$78.00 extra.
Screen Doors and Windows, galvanized wire, \$49.00 extra.
For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.



View of end of Living Room, showing stairway and mirror door.

For Our Easy Payment Plan See Page 144



ANDREASON ADDITION & RENOVATION
5927 WASHINGTON STREET - KENSINGTON MD 20895

BASEMENT PLAN
SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA
202.265.2575 29 APRIL 93 SHEET 1 OF 8

VERIFY DIMENSION BASED ON FIRST FLOOR PLAN

4' x 12' x FULL WIDTH CONC. SLAB

VERIFY DIMENSION BASED ON SECOND FLOOR PLAN

UNFINISHED BASEMENT

4' SEALED CONC. SLAB
PAPER FACED R-30 DONT
IN EFF. ILL.
8" SLAB TO UNDERSIDE OF
STEPS

2" x 10" @ 16" FL JST ABOVE

EXPOSED EXIST. FTG
SEE DETAIL THIS SHEET

(2) 2" x 10" LWB
(UNDER FINISH)

2" x 10" @ 16" FL JST ABOVE

REMOVE W/DOOR
PATCH M.O.

2" x 8" T
1 TO 9"

NEW MASONRY OPENING
REBUILD ENDS W/ SOLID
BLOCKS (2) 2" x 10" HEADER

BASEMENT
6" x 10" CLG

LAUNDRY

BOILER

HWH

NEW 75 GAL HWH
DIRECT VENT

ELEC PANEL

EXIST SOIL STACK

RADON PIPE

RADON PIPE
ACCESS DOOR

PIER & FOOTING TO MATCH
EXIST SIZE & MATERIAL

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

1" x 10" FIELD VERIFY TO MATCH

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

2" x 10" @ 16" FL JST ABOVE

CRAWL SPACE

EXIST FIND WALL
NEW BASEMENT SLAB

ENSURE BOTTOM OF FTG IS CLEAN
TO ACHIEVE SOLID 4"

SECTION @ NEW/EXIST. FTG

1/2" x 1'-0"

NOTE:
WORK IN 4' LENGTHS ALTERNATING
1/2 SECTIONS

EXIST FIND WALL
NEW BASEMENT SLAB

ENSURE BOTTOM OF FTG IS CLEAN
TO ACHIEVE SOLID 4"

SECTION @ NEW/EXIST. FTG

1/2" x 1'-0"

NOTE:
WORK IN 4' LENGTHS ALTERNATING
1/2 SECTIONS

ANDREASON ADDITION & RENOVATION

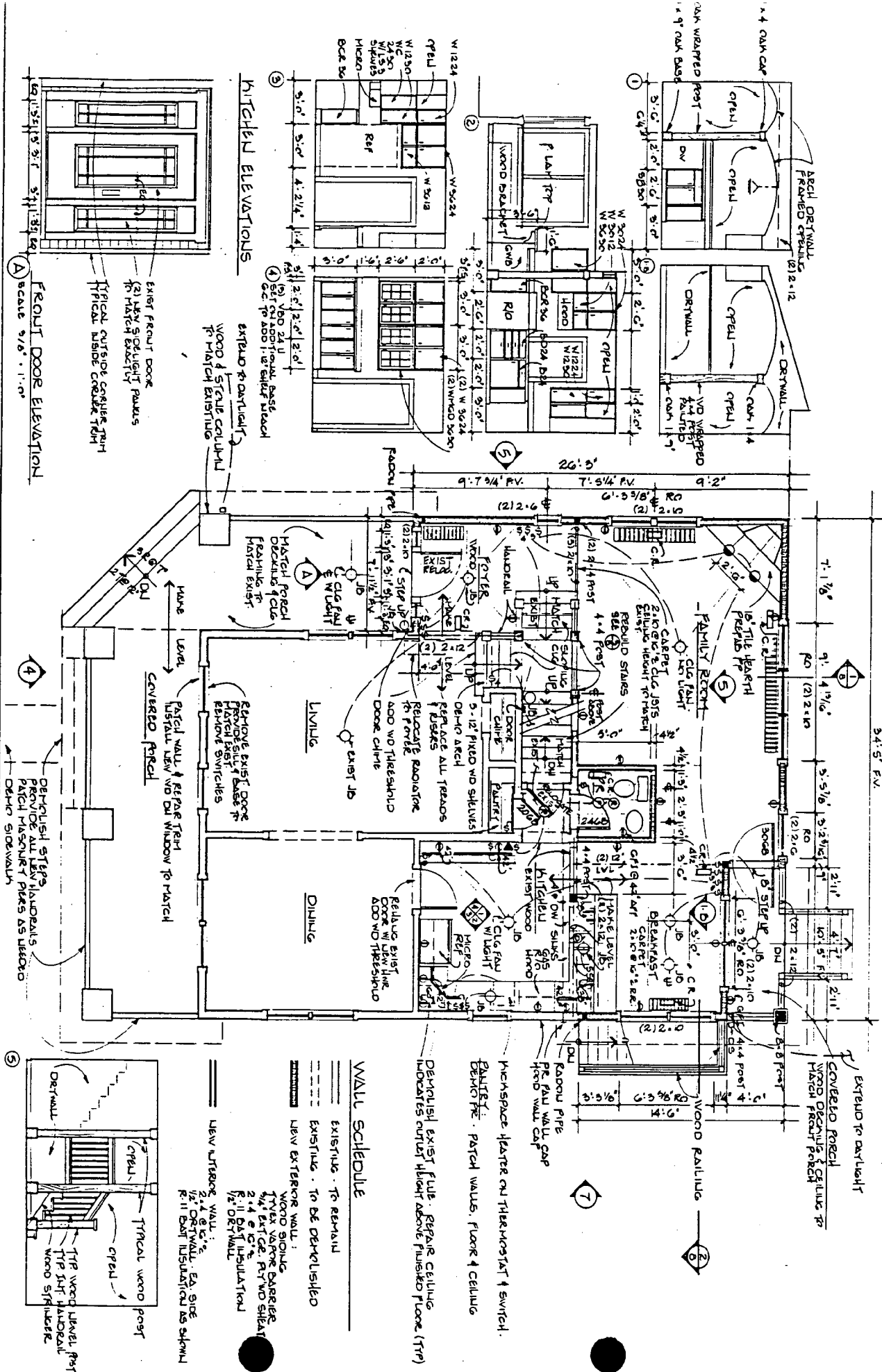
3927 WASHINGTON STREET - KENNESHA WASH WA 98143

FIRST FLOOR PLAN

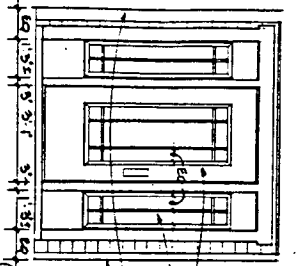
Scale 1/4" = 1'-0"

ARCHITECT CAREN TOLSTIAS DIA

202.265.2575 29 APRIL 95 SHEET 2 OF 6



KITCHEN ELEVATIONS



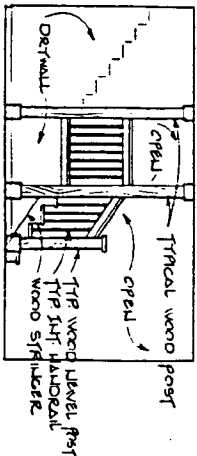
FRONT DOOR ELEVATION

EXIST. FRONT DOOR
TYPICAL CURTAINS COULDS NOT
BE MATCHED

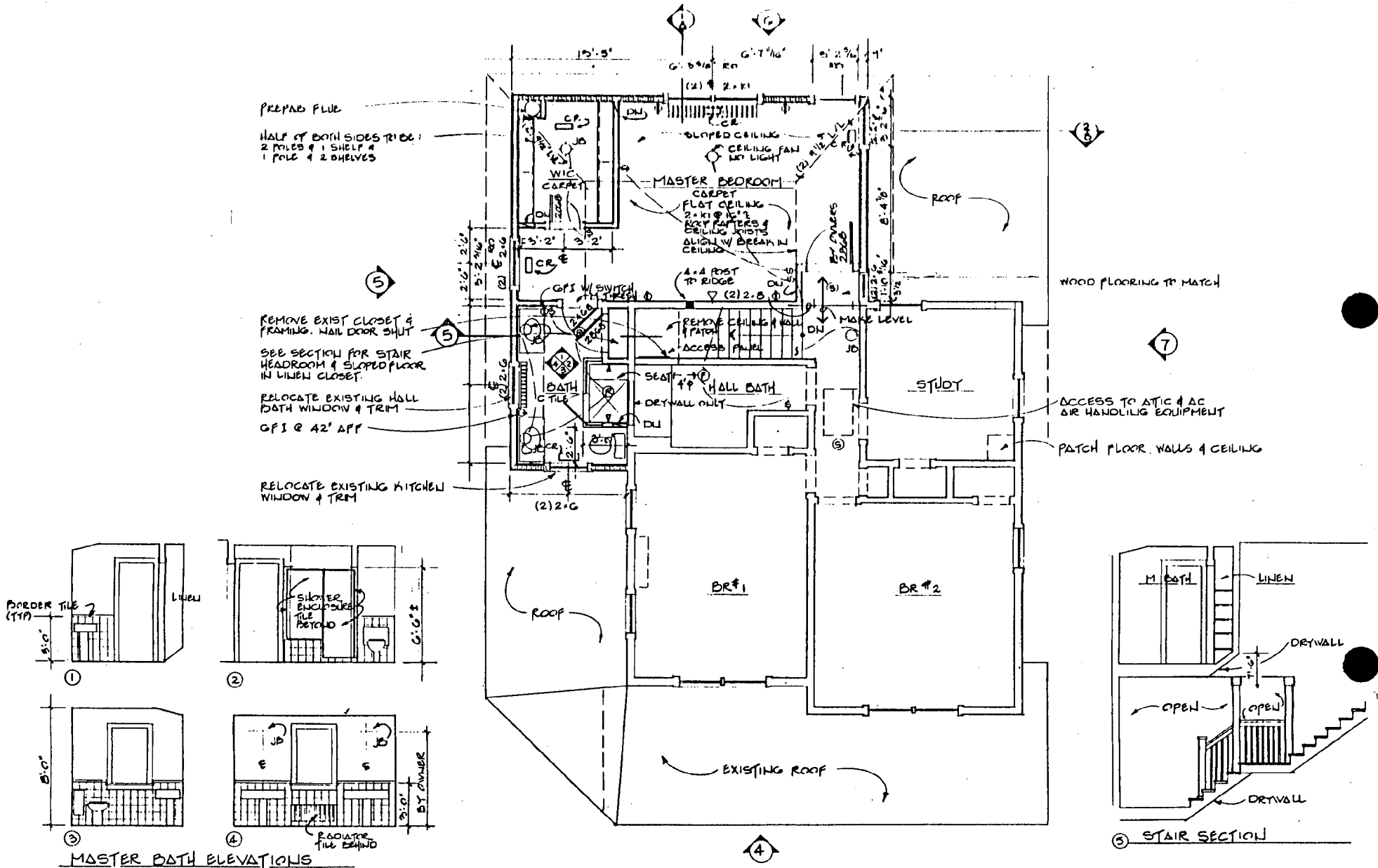
SCALE 3/8" = 1'-0"

WALL SCHEDULE

- EXISTING - TO REMAIN
- EXISTING - TO BE DEMOLISHED
- NEW EXTERIOR WALL:
 - WOOD SHINGLES
 - TRIPLE VAPOR BARRIER
 - 5/4" EXTER. FRYND SHEATH
 - 2" x 4" @ 16" O.C.
 - 1/2" GYPSUM BOARD
 - 1/2" DRYWALL
- NEW INTERIOR WALL:
 - 2" x 4" @ 16" O.C.
 - 5/8" GYPSUM BOARD
 - 1/2" DRYWALL



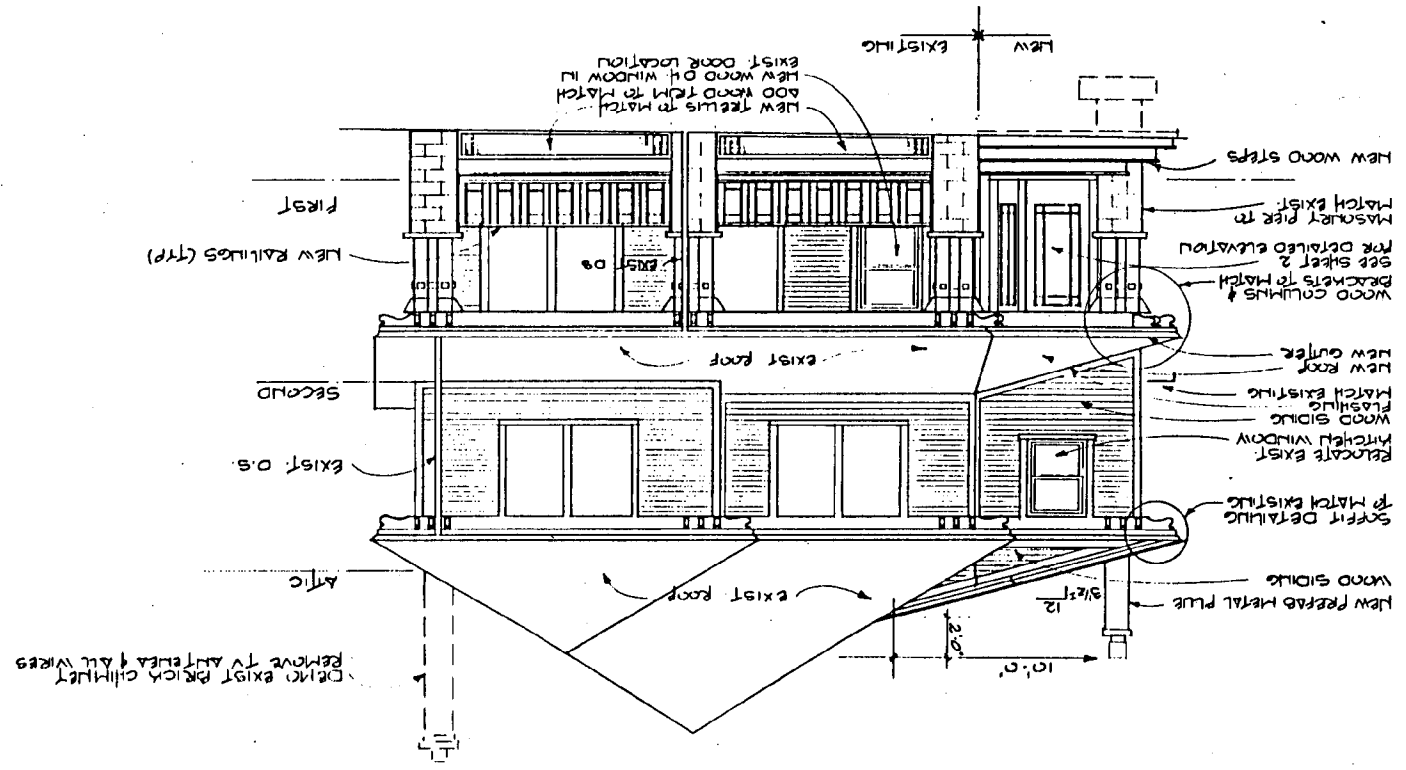
WOOD RAILING
WOOD POST
WOOD RAIL
WOOD STRINGER

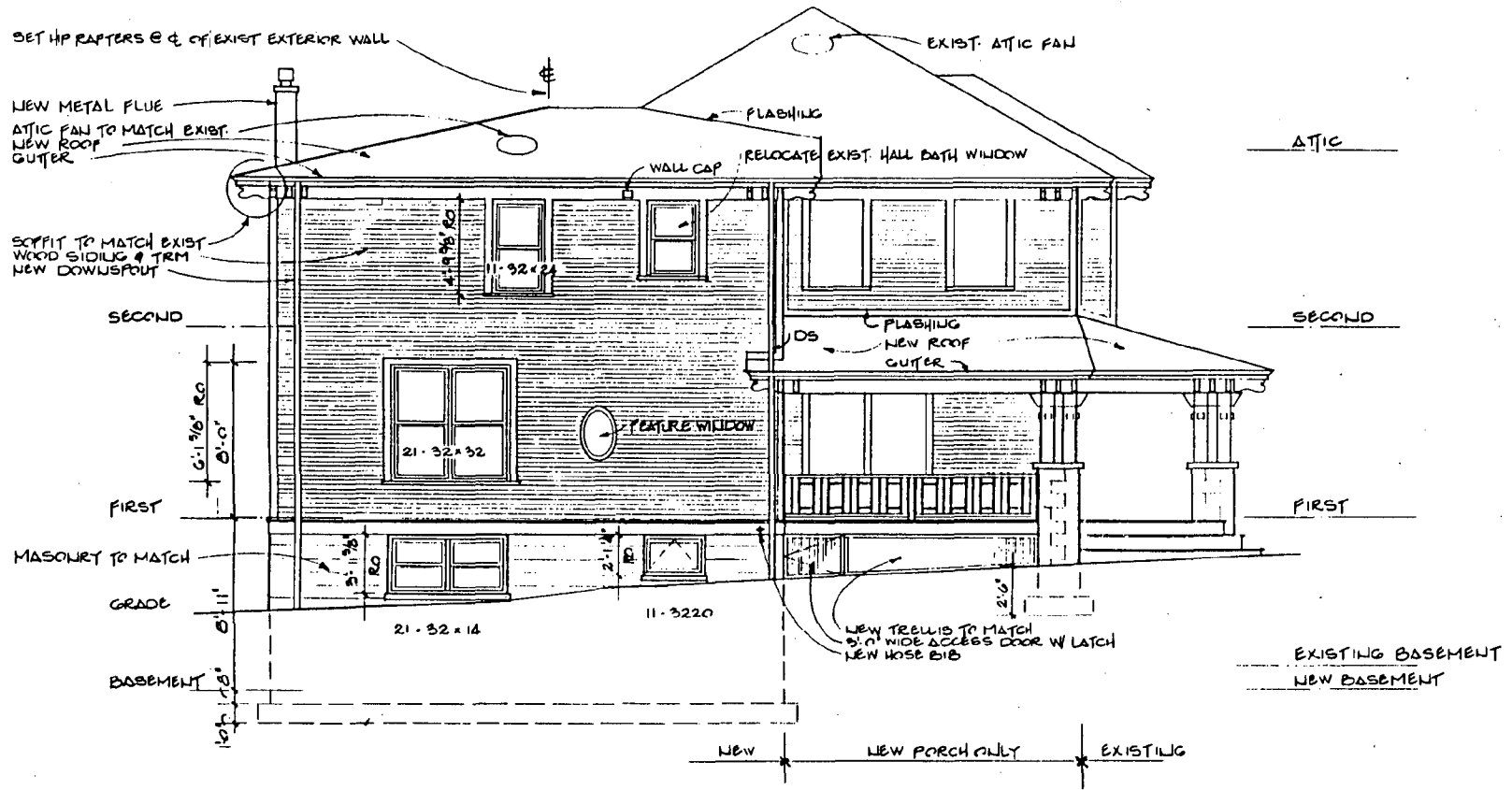


ANDREASON ADDITION & RENOVATION
 3927 WASHINGTON STREET • KENSINGTON MD 20895

SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS DIA
 202.265.2575 29 APR 95 SHEET 3 OF 8

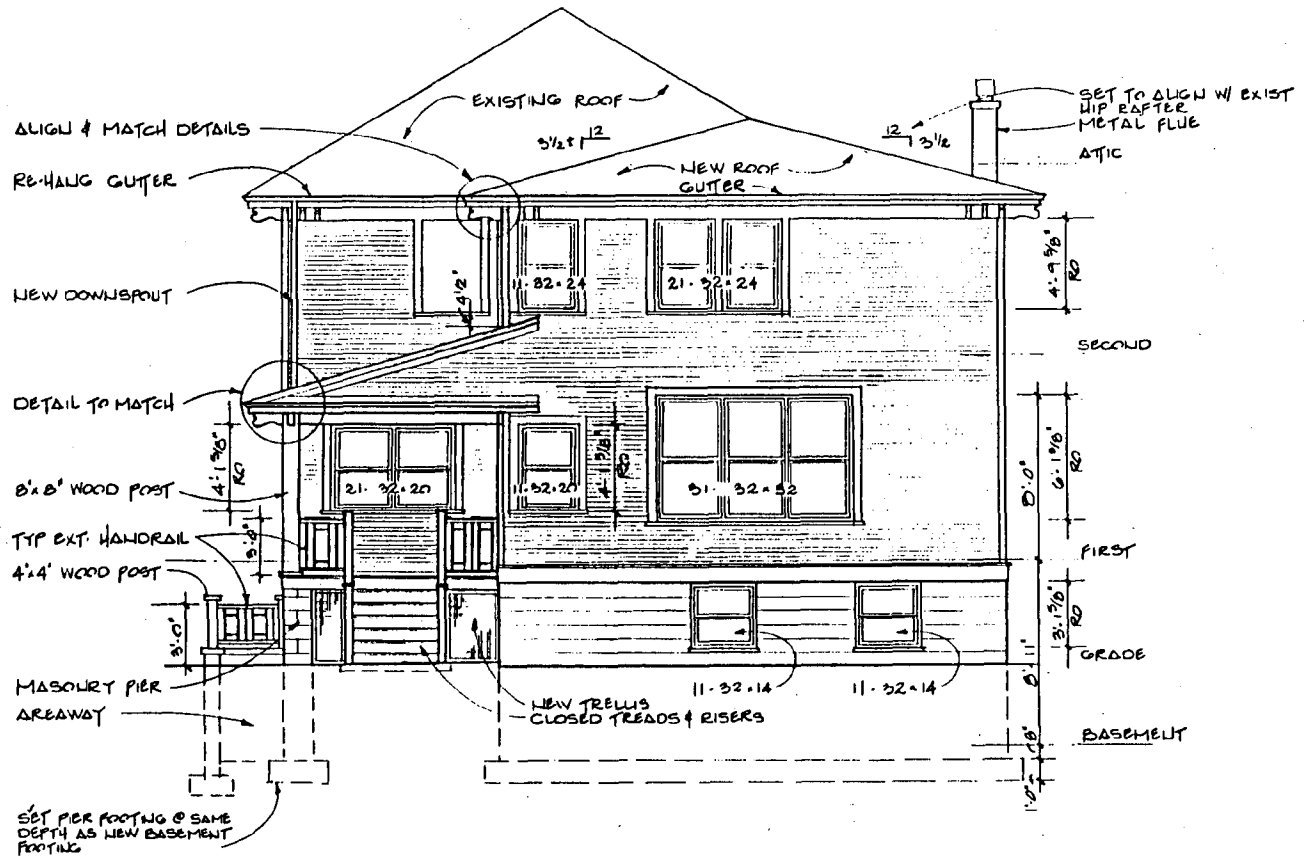




ANDREASON ADDITION & RENOVATION
 3927 WASHINGTON STREET • KENSINGTON MD 20895

WEST ELEVATION
 SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA
 202.265.2575 29 APR 93 SHEET 5 OF 6



ANDERSON ADDITION & RENOVATION

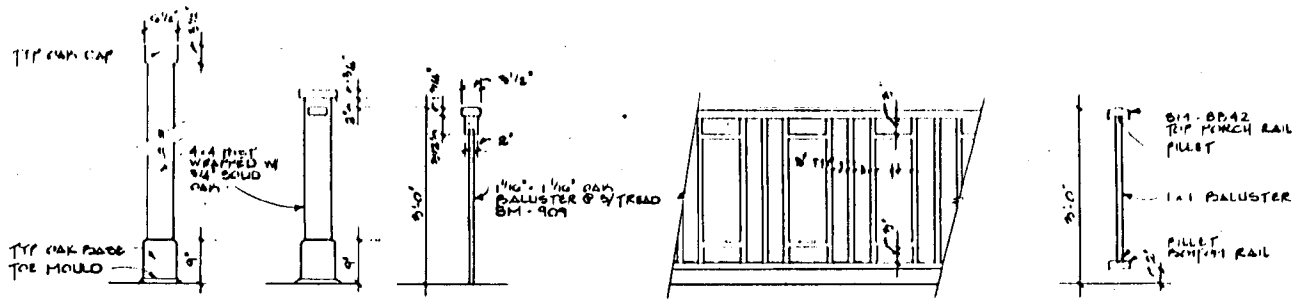
3927 WASHINGTON STREET - KENSINGTON MD 20893

NORTH ELEVATION

SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA

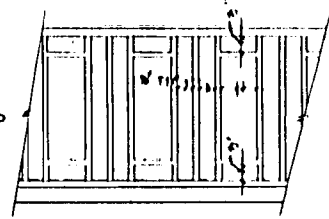
202 265 2575 29 APR 93 SHEET 6 OF 8



POST NEWEL HANDRAIL

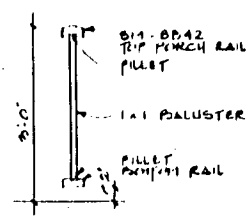
INTERIOR POST & RAILING DETAILS

3/4" x 1'-0"
NOTE:
ALL OAK TO HAVE ROUNDED OVER CORNERS

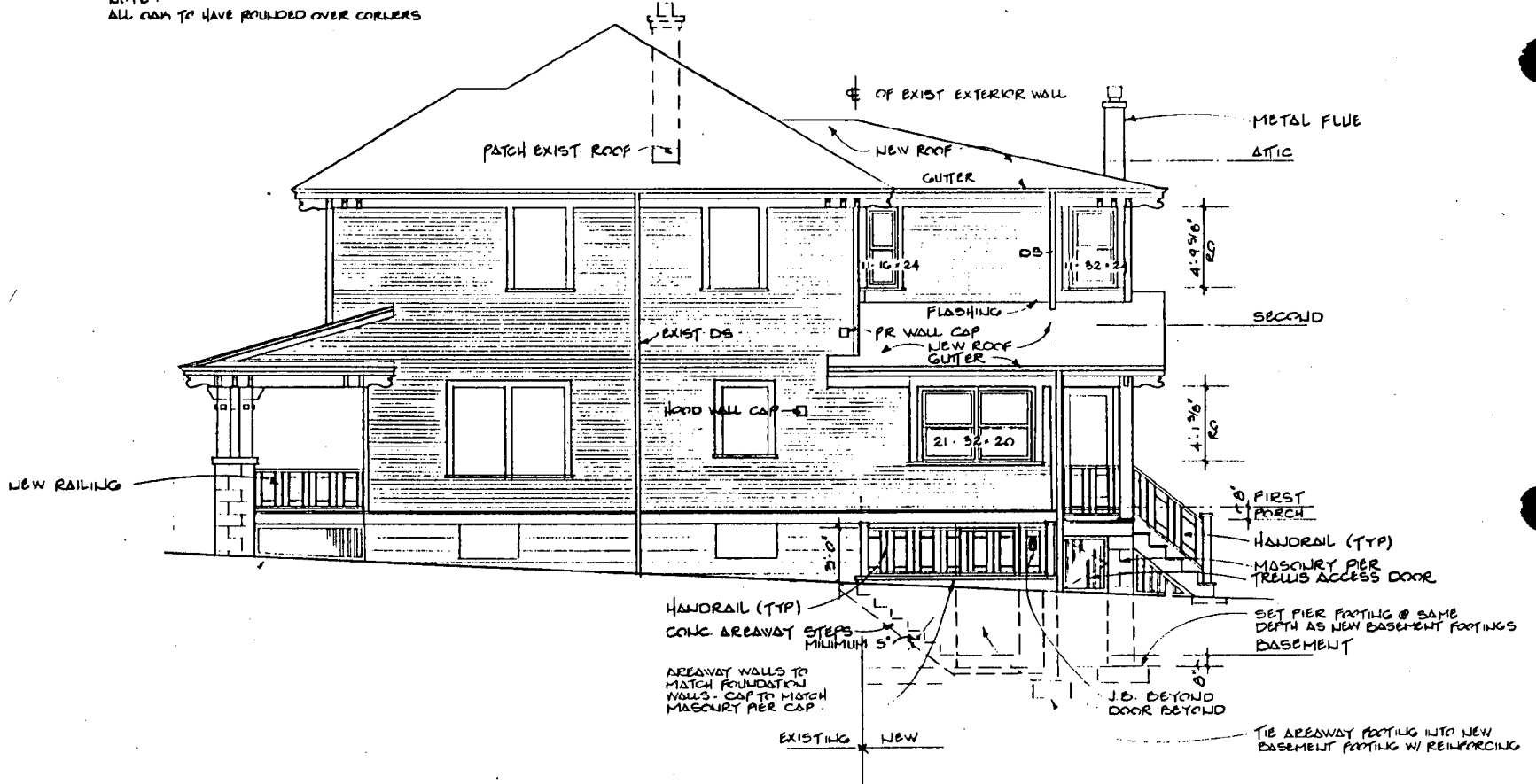


EXTERIOR HANDRAIL DETAILS

3/4" x 1'-0"



SECTION



ANDREASON ADDITION & RENOVATION

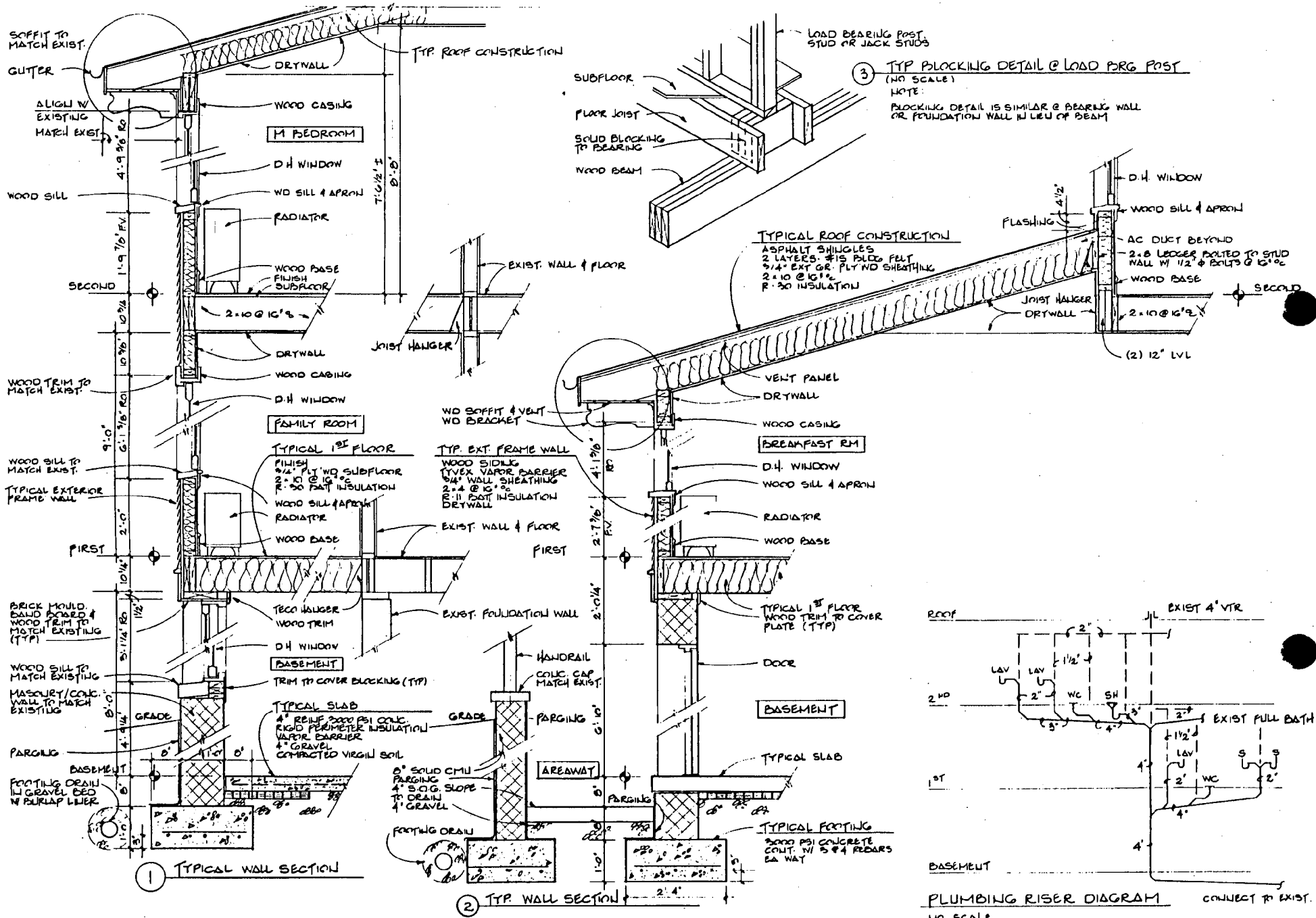
3927 WASHINGTON STREET • KENSINGTON MD 20895

EAST ELEVATION

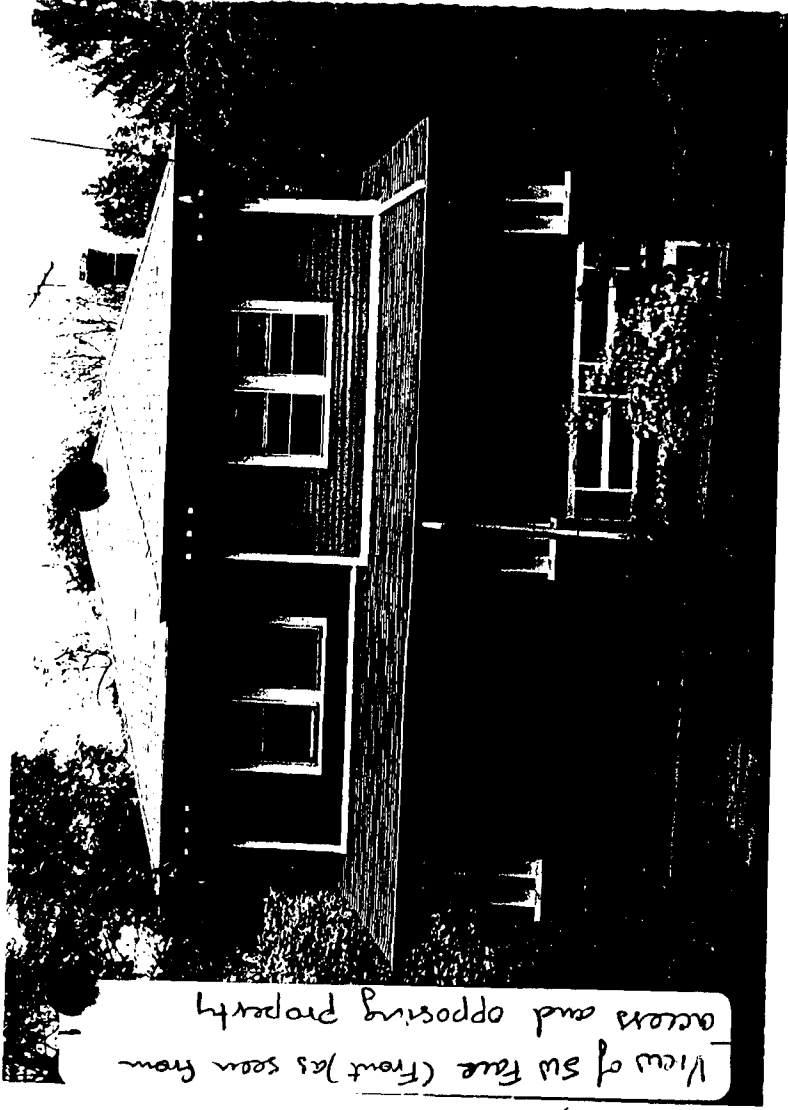
SCALE 1/4" = 1'-0"

ARCHITECT CAREN YGLESIAS AIA

202 265 2575 29 APR 93 SHEET 7 OF 8



151

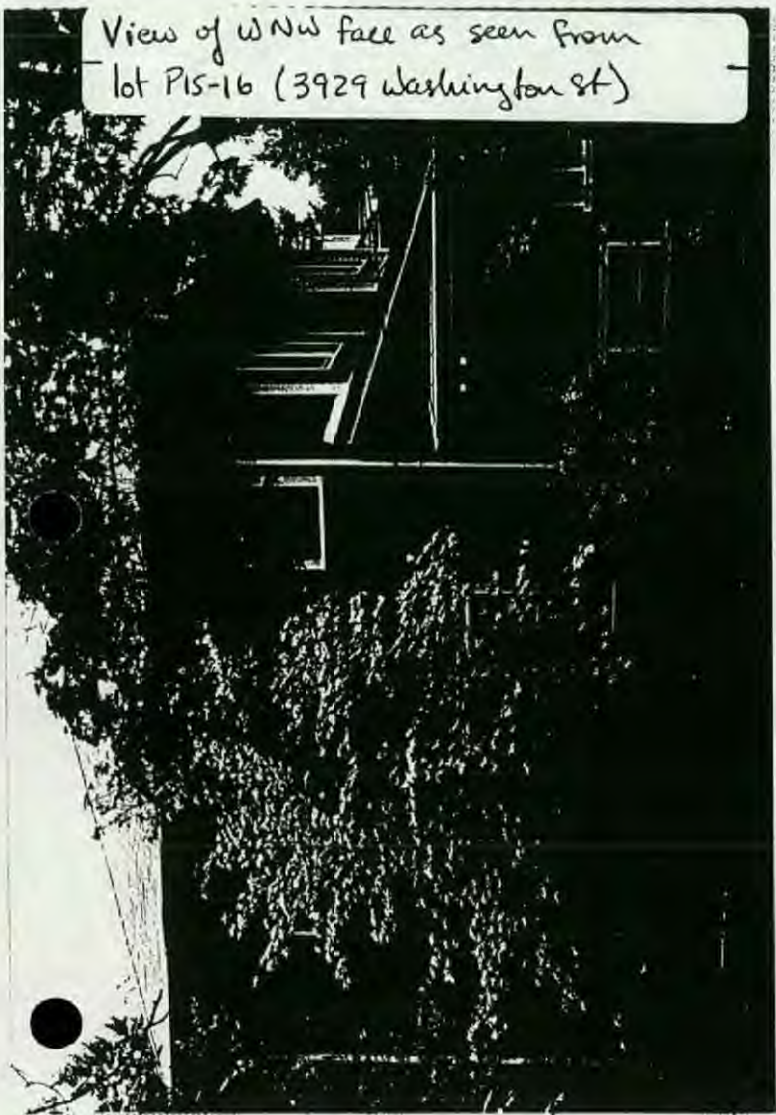


View of SW Face (Front) as seen from access and opposing property

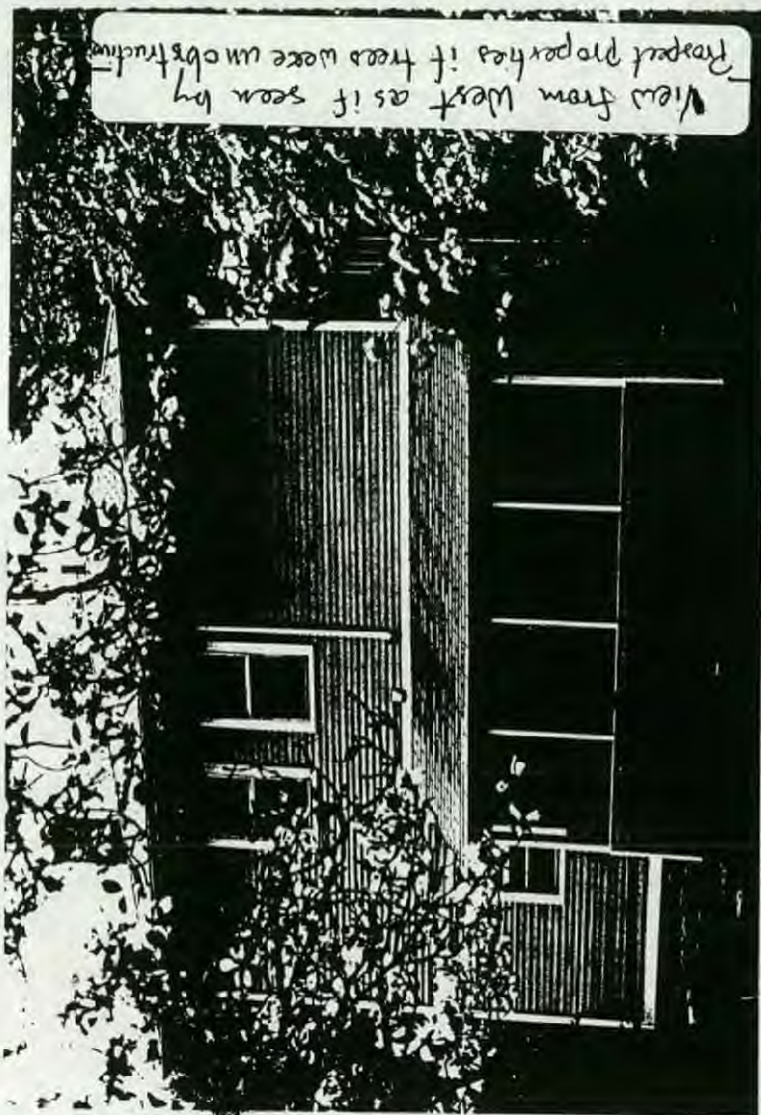


View of ESE face as seen from lot 13 (3925 Washington St)

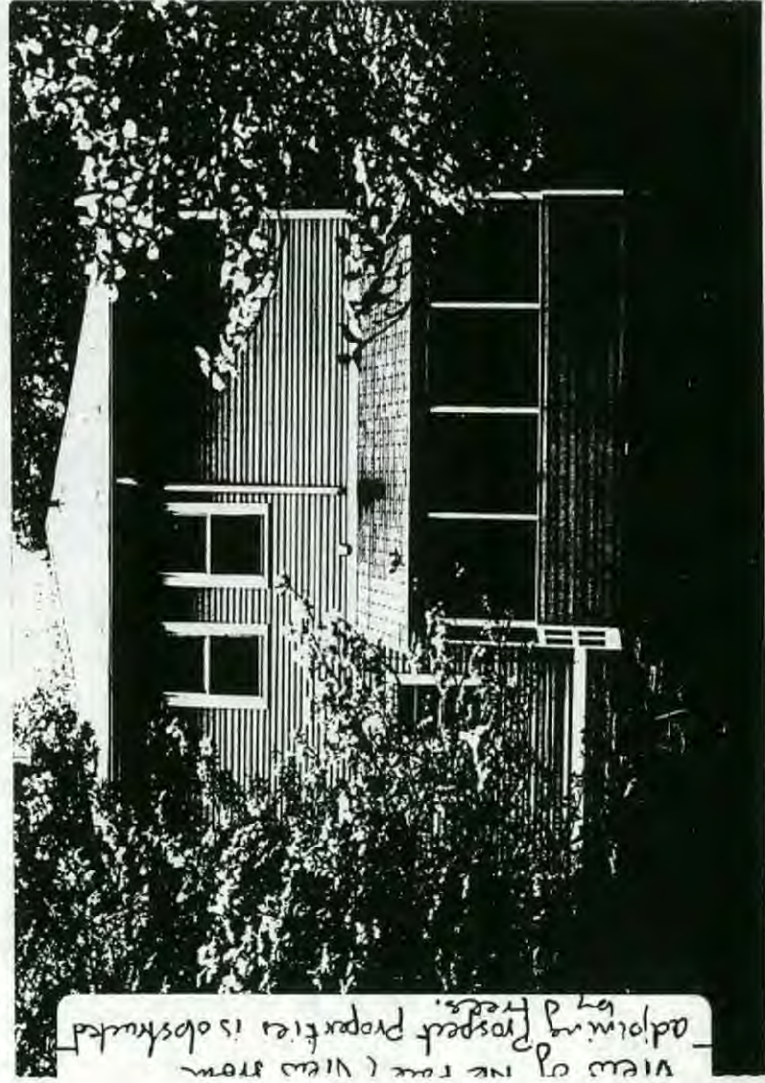
View of WNW face as seen from
lot P15-16 (3929 Washington St)



View from West as if seen by
Prospect properties if trees were an obstruction



(7)



Views of the two views from
adjoining Prospect properties is obstructed
by trees.



Context Views

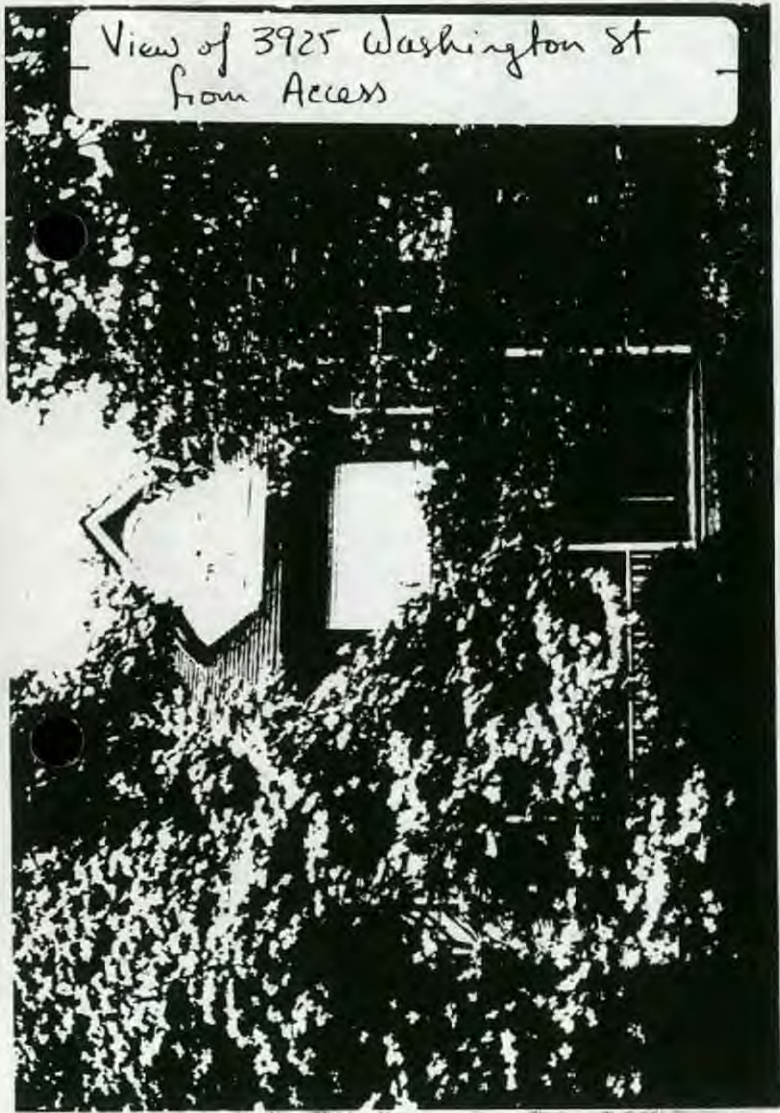


View of 3929 Washington St from across



View of 3928 Washington St from 3927 Washington St

View of 3925 Washington St
from Access

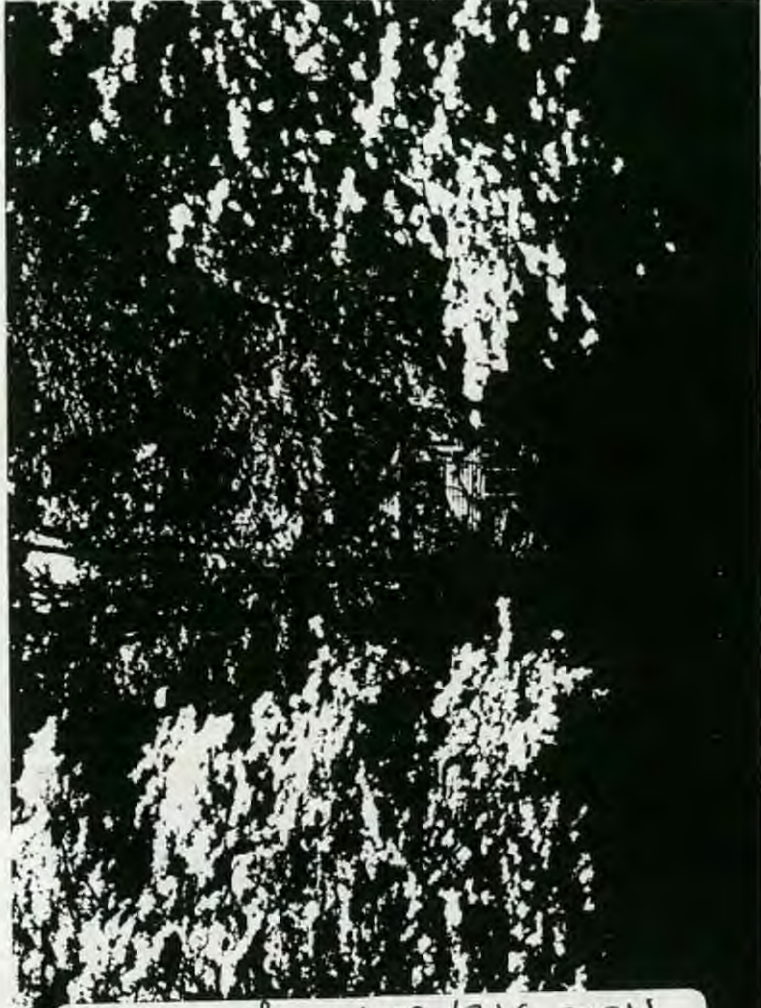


View of Prospect ave property
from 3927 Washington St

5



View of Prospect Ave property
from 3927 Washington St



View of Prospect Ave Property
from 3927 Washington St

ANDREASON RENOVATION AND ADDITION

Date: 29 April 1993
Project Address: 3927 Washington Street
Kensington, Maryland 20895

GENERAL REQUIREMENTS

01010 Summary of Work - AIA Document A201, General Conditions of the Contract for Construction, pages 1 through 24, 1987 Edition is part of this Contract. Any reference to a performance or specification standard shall mean the latest applicable edition of such standard. The Contractor shall guarantee that all work performed by him directly or by his employees, subcontractors or agents is in strict conformance with BOCA, latest edition, local codes and meets top quality trade standards.

The Contractor shall obtain all permits and pay all construction related fees. Any parking fines are not the responsibility of the Owner. Owners will obtain the approvals from the Neighborhood Historic Review Board.

The Contractor shall carry insurance as required by Federal, State or County laws and shall be responsible for any loss of life or limb or damage of the building, holding the Owner free from damage. The Owner shall maintain fire insurance during the construction of the Work in amounts reasonably adequate to cover the value of work completed.

The Contractor shall furnish a Release of Liens, signed by all subcontractors, major suppliers and the General Contractor for amounts in excess of \$500, satisfactory to the Owner that all materials and equipment have been paid for, at the time of application for Substantial Completion for those trades that have finished their work and before final payment is made for the rest of the trades.

Work by Others: Carpet and pad

Items Provided by Owner and Installed by Contractor:

Stained glass window.

Interior door knobs as listed in Section 08710.

Kitchen appliances as listed in the Plumbing Section.

Master Bathroom and Powder Room pedestal lavatories (3), lavatory and shower faucets and accessories as listed in the Plumbing Section.

Cast iron radiators as listed in the Plumbing Section.

Surface mounted light fixtures as listed in the Electrical Section.

The General Contractor is responsible to receive deliveries of these above mentioned items either from the Owners directly or from a delivery by the supplier. At that time the Contractor will inspect the materials and notify the Owners at once if any defects are found so that they may obtain replacement materials. If the materials are satisfactory, the Contractor is thereafter responsible for the safekeeping and installation of these materials. Any subsequent defect found in the materials will be the responsibility of the Contractor.

01020 Allowances: (Material costs only. Labor and all mark ups are to be included in the bid.)

Vinyl tile flooring @ \$4.00/square foot

Toilets (2) @ \$300.00 each

M. Bath ceramic tile @ \$5/SF and \$5 each for border tile.

Kitchen sink faucet @ \$100.

01100 Alternates - Where the words "or equal" are used, the Architect, acting as the Owner's agent, is the sole judge of the quality and suitability of the proposed substitution. The Architect and Owner will consider substitutions of materials and/or construction techniques based upon simplification of construction or economy provided that quality is maintained. Approvals must be made prior to any changes in construction.

01300 Submittals: Roof fiberglass asphalt shingles
Masonry materials
Stain samples for interior woodwork

01500 Temporary facilities - The Owner is to provide temporary water, power, telephone and electricity. Contractor to pay for long distance telephone calls. Contractor may use the existing Powder Room until it's demolished. After that the Contractor is to provide a portable toilet located in coordination with the Owner. The Contractor is to provide temporary lighting if needed. The Contractor may not use the microwave or other Kitchen appliances or equipment. There will be no access to the existing house not affected by this construction.

Any cut-off of power or water requiring more than one hour shall be coordinated with and approved by the Owner.

01610 Quality - The Contractor is responsible for all specified work, and will supply everything necessary for a complete job, fully and satisfactorily operable systems and equipment, except with respect to items specifically noted as Not in Contract (NIC). The Contractor is to field verify all dimensions before beginning work. Any discrepancies are to be reported to the Architect immediately for resolution. Should the Contractor find discrepancies in, or omissions from, the Drawings and Specifications, he shall notify or inquire of the Architect the intent and scope of the Drawings and Specifications immediately.

Outline Specification - ANDREASON ADDITION AND RENOVATION Page 2

Do not scale drawings. All dimensions shall be read or computed.

01630 Storage and Protection - The Contractor is responsible for the protection and safekeeping of all property, buildings, existing landscaping, equipment and materials and for securing the areas opened by construction activities. The Contractor is responsible for the removal, safekeeping and reinstallation of the existing surface mounted light fixtures.

Existing finished surfaces shall be protected at all times during construction and all carpets and wood floors shall be fully covered to protect from damage in all areas of construction. Replace protection as needed. The Contractor shall provide a dust-free barrier between new work and undisturbed areas of the house. Any resulting damage incurred during construction shall be made good by the Contractor at his expense.

The Contractor shall take all necessary precautions to protect, maintain and prevent damage to the existing utilities.

01710 Cleaning Up - The Contractor shall broom clean the project at the end of every work week and shall have the finished project professionally cleaned at the time of Substantial Completion, including all new windows, and have all identifying manufacturers labels removed where visible.

SITE WORK AND DEMOLITION

02100 Clearing - The Contractor to remove all shrubbery as required for the construction of the project. Contractor is responsible for the protection of remaining landscaping and other sitework during the course of this work especially the existing dogwood trees in the side and rear yards.

02110 Demolition - All demolition work shall be carried out with care to minimize damage to adjacent surfaces. Contractor shall repair any surface which is to remain and is damaged during any phase of construction.

02112 Selective Demolition - Areas of the house adjacent to those being demolished shall be completely protected from the effects of demolition. If any part of the existing grounds and house not affected by the work is damaged by the work of the Contractor, it shall be satisfactorily repaired by the Contractor at his expense.

02220 Excavating and Backfilling - The Contractor will excavate sufficiently to set footings as shown on Drawings, and in any event to place dry, firm bottoms on undisturbed, virgin earth. Footings are designed to bear on soil with an assumed design bearing value of 3000 psf.

The equivalent fluid weight of soil for basement wall design is assumed to be 55 pcf. Foundations shall not be constructed until the soil is approved by the Building Inspector. All foundations are to be placed not less than 1'-6" below adjacent finished exterior grade. Footings to step a maximum of 8" vertical to 1'-4" horizontal where required to accomplish change in elevation. If utility lines pass under footings, backfill excavation with 2000 psi concrete the width and length.

The Contractor will backfill to original grades and will compact earth so as to minimize settlement to avoid damage to walls and waterproofing.

Backfill shall not be placed against Basement walls until at least 7 days after placing core-fill concrete. Heavy equipment used in backfilling should not approach closer to the top of the wall than a distance equal to the height of the wall at any time.

All backfill shall be clean porous material such as the original dirt, clean sand, gravel, broken stone and must be free of construction materials that might obstruct free drainage. Clay material shall not be used, even if it is the original material. Fill from the Basement excavation to be located on site as directed by the Owners. Contractor to remove topsoil and save separately, and then use it to fine grade the relocated excavated material.

Contractor to maintain excavation and keep it free of accumulated rainwater.

02251 Termite control - Soil poisoning work shall not begin until all preparations for foundations have been completed. Where vapor barriers occur, soil poisoning work shall not begin until subgrade is ready for vapor barrier installation. Soil poisons shall not be applied when soil is excessively wet. Soil poisons shall be applied uniformly to areas beneath building, including beneath slabs adjacent to building according to the manufacturer's recommendations. Contractor to use a Boric Acid compound and to subcontract with a company familiar with its application. The subcontractor will be asked to submit a proposal for an annual maintenance contract. Any environmental clean-up required due to misapplication shall be the responsibility of the Contractor.

02420 Underpinning - The Contractor to underpin or brace existing footings as required during the excavation for the new Basement.

02511 Foundation Drainage - Contractor to install 4 inch black plastic drains along footings, to extend downspouts and to drain areaway drain as shown on the plans. Footing drains to be perforated and set in minimum 12" bed of gravel wrapped in burlap. Other drains to be extended to daylight at least 10' from the building.

Outline Specification - ANDREASON ADDITION AND RENOVATION Page 4

02540 Erosion Control - The Contractor to provide and maintain all erosion control work as required by local codes and maintain the site in a clean and orderly fashion. Area of disruption for construction to be designated by the Contractor in coordination with the Owner and to have a silt erosion control fence erected.

02810 Soil Preparation and Final Grading - The Contractor will, prior to substantial completion, do finish grading adjacent to all new work. Grade shall slope approximately 5% away from the building out to a distance of not less than ten (10) feet. Contractor to provide new topsoil to depth of five (5) inches on all areas adjacent to new construction. Topsoil is to be completely free from stones, roots, clods or debris and from weed seeds. Topsoil at final grade shall be hand raked. No planting or sodding is included in this Contract. Contractor to seed all disturbed all areas with grass seed and cover with hay as designated by Owners.

The Contractor will, prior to Substantial Completion, restore any disturbance or damage by the Work to the lawn or garden areas not included in the construction area when weather permits.

CONCRETE

The ACI-318 "Building Code Requirements for Reinforced Concrete", latest edition shall apply to this section.

03100 Concrete Formwork - Formwork must be straight and plumb, and concrete must be poured and hand vibrated so that no air bubbles or uneven surfaces result when forms are removed. All concrete shall be cured for a period of not less than 3 days.

03210 Steel Bar and Welded Wire Fabric Reinforcing - Concrete cover over reinforcement to be a minimum of three (3) inches. Reinforcing bars shall conform to ASTM A-615 Grade 60, FY=60,000 psi. Welded wire fabric "Fibermesh" shall conform to ASTM A-185, 6x6, W1.4xW1.4 WWM lapped 12" in all directions. Bar supports, accessories and derailing shall be in accordance with the latest ACI detailing manual, ACI 315, all reinforcement shall be positively located and secured in position to maintain at least 3 inches of concrete cover before concreting begins.

03300 Cast-In-Place Concrete - Concrete construction shall be in conformance with the applicable sections of ACI 301 (revised 1988) "Specifications for Structural Concrete for Buildings." Concrete shall have a compressive strength of 3,000 psi compressive strength at 28 days. All concrete shall be a minimum six (6) bag mix per cubic yard with a maximum slump of 4 inches. Slabs shall be four (4) inches thick.

MASONRY

The ACI 531 "Building Code Requirements for Concrete Masonry Structures" shall apply to this section.

Contractor may submit an alternate proposal for 12" thick poured-in-place concrete foundation walls.

04110 Cement and Lime Mortar - Grout for masonry shall be 2,500 psi pea gravel concrete with a slump of 8". Grout shall be placed within one and one-half (1-1/2) hours after water is first added to mix. Where concentrated loads bear on masonry walls, provide a minimum of two courses wide by two courses deep of solid or grout-filled masonry below bearing held in place with screening.

04160 Joint Reinforcement - Truss-type reinforcement "Dur-O Wall" or equal is to be provided in all masonry walls at a maximum of 16" oc (every other course) above grade and at every block course below grade.

04210 Masonry - New masonry work to match existing masonry. Match color, size, texture and pattern of existing walls in same face as existing walls.

04220 Concrete Masonry Units - Concrete masonry units shall be hollow load-bearing units (ASTM C-90) Grade N-1 or solid load bearing block (ASTM C-145) Grade N-1. All masonry below grade to be 100% solid or fill all cells with grout. The bearing course under all sill plates and concentrated loads shall be 100% solid masonry. The solid masonry shall consist of 100% solid units or hollow block grouted solid. Mortar will comply with ASTM C-270 (Type S). Foundation walls will be reinforced at each course with truss-type steel reinforcing which is to be grouted at least four inches (4") into existing masonry foundation walls wherever the two intersect.

METALS

05500 Misc. Metals - All joist, beam, post and rafter connections shall be made with Teco, Simpson or Kant-Sag structural wood fasteners, unless noted otherwise on the drawings and shall be installed in accordance with manufacturer's recommendations. Wood posts to be set on galvanized steel post bases.

05501 Anchor Bolts - Anchor bolts will be set at six foot (6') intervals and shall extend through at least sixteen inches (16") of masonry and be firmly grouted in place. Bolts will be one-half inch (1/2") diameter, and will be fully grouted into block cores over their entire length.

WOOD AND PLASTIC

All timber nailing will be done in accordance with Appendix C - BOCA Basic Building Code, a copy of which shall be on the site at all times.

Provide double joists under all paralleling partitions.

06100 Framing and Sheathing - Roof sheathing to be 1/2" CDX plywood, wall sheathing to be 3/4" CDX plywood. All ceiling joists/collar ties to be fully installed prior to installation of roof sheathing.

Subfloor to be 3/4" T&G or one panel edge clips between each support plywood, glue and nailed to floor joists. A second subfloor under ceramic tile to be "Wonderboard" or equal.

06110 Rough Carpentry - All studs for exterior walls shall be Hem Fir No. 2, Doug Fir No. 2 or Spruce Pine Fir No. 2 or better. All structural beams, joists, rafters and columns shall be Sou. Yellow Pine No. 2 or Doug Fir No. 2 or better. All lumber to be kiln-dried with visible identification. Architect to check lumber delivery prior to construction. All structural lumber used shall be at 19% moisture content maximum at time of construction and have the following minimum design values:

Fb = 1000 PSI and Fv = 75 PSI
E = 1.6 x 10 to the 6th power PSI

Design live loads are as follows: Roof = 30 PSF
First Floor = 40 PSF
Second Floor = 30 PSF

Glue and nail all plys of multi-stud columns together with 10d nails at 12" oc staggered. All partitions shall have horizontal bridging at mid-height.

Unless noted otherwise on the plans, window, door and other openings to have the following lintels:

<u>Opening</u>	<u>Lintel Size</u>
0' to 5'-0"	(2) 2x8 or (3) 2x6
5'-1" to 7'-0"	(2) 2x10 or (3) 2x8
7'-1" to 8'-6"	(2) 2x12 or (3) 2x10

All lintel jacks unless noted otherwise to be:

Up to 4'-0" opening - 1 jack each end
6'-0" opening - 2 jacks each end
8'-0" opening - 3 jacks each end

Note: All jacks or posts are to line up with those on floor below even when jacks are not required by the framing of the floor below.

Multiple LVL beams are to be fastened together with a minimum of (3) rows of 16d nails @ 12" oc. All lag screws shall be installed in pre-drilled holes of appropriate size. For lag screws pre-drill body diameter. Lag screws are to have washers at all contact surfaces.

06200 Finish Carpentry - Interior moldings, trim, base and plinth blocks to be pine to match existing. Windows to have sills and aprons. All materials to be stain grade. Reuse any casing removed for window and door changes. Contractor to provide toe molding to match existing throughout project, including Living Room, Dining Room and on new cabinets, to be stained.

Stair members to be Basement to be unfinished pine. New main stairs and existing lower main stairs to have new treads and risers, to be oak with trim to match existing. Newel posts to be 4x4 posts wrapped in oak, wood columns to be 4x4 wrapped in oak with solid oak base and caps as shown on drawings. Balusters to be square oak with solid oak top and bottom rails as shown on the drawings. All oak to be stained.

New wood flooring to match existing heart pine strip flooring, grain and color, width and direction to match existing. Strip into existing where all existing walls are being removed to provide a uniform pattern and appearance. Finish to match existing. Patch base, walls and ceiling as needed.

All shelving to be 3/4" pine shelving material, to be painted. All clothes closet poles to be 1-3/4" wood dowels supported minimum @ 3'-0" oc, to be stained.

06220 Millwork - New front door sidelights (2) to be custom milled. Contractor to remove front door and deliver it to the millwork shop so that sidelight materials and detailing will match the front door exactly. Replace mismatched front door mullion.

06310 Pressure Treated Lumber - All wood blocking and plates permanently fastened to masonry or concrete and all wood structural members within 8" of grade shall be pressure treated lumber as called for under the Provisions of Section 1712.0 BOCA, 1987. Porch decking, ceilings, railings and structural members for deck to match existing.

Lattice to be pressure treated, square, spacing to match existing, to be painted.

06410 Cabinetwork - Kitchen cabinets to be Merrilat, "White Bay", with brass knob pulls. Countertop, 4" side and backsplashes to be "Pionite" plastic laminate, bevel edges and corners, color to be "Anthra Green, SV 710 suede".

THERMAL AND MOISTURE PROTECTION

07180 Cementitious Dampproofing - Exterior face of all new masonry walls will be parged to a thickness of one-half inch (1/2") minimum from top of footing to just above final finish grade.

07190 Vapor Barrier - Vapor barrier under concrete slabs to be 6 mil polyethylene over 4" washed gravel fill. All crawl spaces to have 6 mil polyethylene under 4" washed gravel fill.

07210 Building Insulation - Exterior wall insulation to be friction-fit, fiberglass batt insulation, R-19, with separate Tyvex vapor barrier installed over plywood sheathing. Install according to manufacturer's recommendations.

Interior wall insulation to be R-11 fiberglass batt insulation with no vapor barrier. Stuff in all exposed wall cavities and around all plumbing pipes.

Ceiling insulation to be fiberglass batt insulation, R-30. Hold down from cathedral roof sheathing with "Sturdy-Vent", "Snap-It" or equal, styrofoam panels.

First floor insulation to be paper-faced fiberglass batt insulation, R-30, with no vapor barrier.

Perimeter Basement slab insulation to be 2" x 2'-0" continuous rigid styrofoam insulation. Contractor to install between new pipes and exterior wall sheathing.

07311 Asphalt Shingles - Shingle roofing to match existing, 30 year (transferable) warranty. Contractor to submit sample to Owner/Architect for approval. Install according to manufacturer's recommendations.

07461 Wood Siding - Exterior siding to match existing redwood or cyprus hardwood siding, all corners trim, etc. to match existing. All exterior casing and details at windows and doors to match existing. Exterior fascia and soffits to match existing size, material and detailing.

07520 Prepared Roll Roofing - Apply two layers of 15 lb. asphalt saturated felt over roof sheathing.

07620 Flashing - All flashing to be anodized aluminum, 0.032" thick. Contractor shall not assume all flashing is noted on the drawings and is responsible to provide flashing wherever necessary for a waterproof project. Cover with wood trim to match existing.

07630 Metal Vents - Provide 3" diameter anodized aluminum vent louvers at every new rafter space.

07631 Gutters - New gutters and downspouts to match existing half round seamless aluminum, as available from the Roof Center. Contractor to size and install to provide adequate drainage. Slope 1/4" per foot. Rehang existing gutters to provide slope to relocated or new downspouts. Repair the existing gutters and downspouts to make sure there are no leaks and that the material is not bent. Locate all downspouts tight in corners or as shown.

07951 Sealants & Caulking - Caulking to be DAP exterior caulk or equal. Install as per manufacturer's instructions. Contractor is responsible for caulking between all materials to form a weathertight seal for the exterior skin of the building whether noted on the drawings or not.

DOORS AND WINDOWS

08210 Exterior Wood Doors:

Existing front door to be relocated with the existing hinges, Owners to provide new hardware, Contractor to install. Provide a new threshold, weatherstripping and deadbolt.

TYPE A - New exterior Family Room door to be 1-3/4" wood, with 5/8" full light panel, Morgan-5911, pine, insulated glass, interior side to be stained, no mullions. Provide weatherstripping and metal threshold.

TYPE B - New screened door to be pine, single panel fiberglass screen, side, top and bottom rail sizes to match glass door, to be painted.

TYPE C - New Basement door to be F-2132, to be painted. Provide weatherstripping and metal threshold.

08212 Interior Wood Doors:

TYPE D - All new interior wood doors to be 1-3/8" fir, 4 panel, paint grade, except where noted as provided by Owners below. Reinstall existing doors as noted on drawings.

08375 Safety Glass Doors: New shower door to be standard 6'-0" high x full width, safety glass with bright brass trim. Contractor to coordinate pipe installation for shower heads to allow glass on side walls as shown on the drawings. See drawings for operation.

08610 Wood Windows: Relocated windows (2) to be reinstalled with interior and exterior casing, provide new ropes and repair as necessary. If existing windows cannot be reused, Contractor to notify Owners at time of Bidding and include in the bid the cost of new milled wood doors that match the existing.

New windows to be Weathershield or Anderson, (dimensions on drawings are for Weathershield) wood double-hung or awning, factory glazed with insulating glass, integral weather-stripping with screens, no mullions. Provide all flashing and exterior sills to match existing. See elevations for sizes. New Living Room window to be custom milled to match adjacent Living Room window in size, material and detail.

New feature window to be provided by Owners and installed by Contractors.

08710 Finish Hardware - Hinges to be paint grade, 2 pr for hollow core doors, 3 pr for solid core doors.

Hardware for new exterior doors to be Schlage Ventura #605, bright brass finish, all keyed locksets to be keyed alike. Provide key-operated deadbolt with keying to match other hardware.

Interior doors to have knob sets as follows:

- Basement door - Builders standard, brass finish, no lock.
- Powder Room door - Provided by Owners.
- Basement Stair door - Relocate hardware with door.
- Pantry door - Provided by Owners.
- Dining Room door - New hinging hardware by Contractor with push plates provided by Owners. (Door is in Basement)
- Master Bedroom door - Door and hardware provided by Owners.
- WIC, Master Bath and Linen Closet door - Schlage, Ventura #605, bright brass finish.

Provide thumb turn locksets, bright brass finish on Bedroom, Bathroom and Powder Room doors.

Accessories - Contractor to provide solid brass door stops for all doors.

08740 Thresholds - Bathroom thresholds to be white Alabama marble. All other thresholds to be red oak, to be stained. Provide only as noted on the drawings.

FINISHES

09250 Gypsum Wallboard - Drywall to be U. S. Gypsum, 1/2" thick, horizontal application, mastic set and screwed @ 16" oc. Provide and install all accessories, tape, spackle, corner beads, casing beads, etc., as recommended by manufacturer's instructions. Contractor to provide water-resistant type drywall in Bathroom bathtub/shower walls and ceiling. Contractor to furr out beams as required for drywall to clear bolts, nuts or other structural connectors. Contractor should be prepared to repair imperfections after first coat of paint or primer is applied.

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09820 Cementitious Coatings - Seal new Basement concrete slab with liquid-curing, hardening compound to provide a hard, non-dusting surface. Sonneborn Corporation "Lapidolith" or equal. Use in accordance with manufacturer's recommendations.

Floor finishes - Vinyl flooring - Powder Room, Back Hall and Pantry: Install vinyl tile according to manufacturer's recommendations. Existing floor tile and glue to be removed. Contractor to provide 5% extra tiles. All new tile to be from the same dye lot.

Ceramic Tile - Master Bath floor, wainscot and shower enclosure: Install over new Wonderboard subfloor and water-resistant drywall. Set in latex mortar and grout with tinted grout, color to be selected by Owners.

Shower to have recessed ceramic soap dish.

Carpet and Pad flooring - Family Room, Breakfast Room, Master Bedroom and WIC to be 3/4" plywood subfloor with carpet and pad supplied and installed by Owners.

09900 Painting - Contractor to fully paint the entire exterior and the following interior (including ceilings):

- Basement - none
- First Floor - all spaces.
- Second Floor - Hall, Hall Bath and all new work.

Note that the existing interior trim is stained and no additional work is part of this contract.

The existing exterior to be fully stripped (using chemicals only). It is expected (although it has not been tested) that there is existing lead paint on exterior surfaces. Owners will seal the windows with plastic, Contractor to collect all existing paint pieces during the prep phase, dispose of the lead paint according to code and wash the wood with a neutralizing acid. Painting Subcontractor to individually guarantee the exterior work for a period of five (5) years.

Owner to select all colors. Paint to be Duron, Sherwin Williams, Glidden or equal, top quality residential grade.

There will be the following different exterior colors as follows:

- Body - _____
- Trim - _____
- Trellis - Dark forest green
- Porch deck - _____
- Porch ceiling - _____

09910 Exterior Painting - New exterior wood doors, windows, wood siding and wood trim to have nail holes set, filled and sanded, prime with one coat of alkyd exterior wood primer, putty and caulk open joints, cracks and frame perimeters. Prime and apply two coats of oil base enamel paint.

09920 Interior Painting Contractor to repair walls as required for a smooth finish and apply one coat of latex wall primer and two coats of flat latex wall paint. Use semi-gloss in the Kitchen and Bathrooms. Use two coats of latex egg-shell enamel ceiling paint. All wood doors, trim, moldings, casings and base to have nail holes set, filled and sanded, sealed and stained (2 steps).

Sand the existing Kitchen pine floor. All wood floors to be sanded by an experienced subcontractor. Apply two coat of Target, high shine finish. Protect with Kraft paper until Owner removes.

EQUIPMENT

10301 Prefabricated Fireplace - Heat-N-Glo "Royal Series" RH 41, 36" wide wood burning, heat-circulating, with slate kit as available from The Fireplace Shop (619-890-8367). The fireplace and combustion air kit are to be installed in strict accordance with the manufacturer's instructions.

Powder Room and existing Hall Bath fan to be NuTone QT80 Whisper, top vent to exhaust as shown on drawings.

Provide a new attic fan on a thermostat to match the existing.

MECHANICAL

Note: Bethesda Plumbing has recently installed a new furnace and is familiar with the heating system. McLaughlin Heating and Air Conditioning has recently installed a new central air conditioning system and is familiar with the air conditioning system.

15010 General - All work to comply with all requirements of all local codes and utility companies.

Contractor to extend ductwork for air conditioning system in the Addition with ceiling registers as shown. New equipment was installed with sufficient capacity for Addition. New systems to provide a design temperature of 75 degrees in with 10 degrees out for heating and 70 degrees in with 100 degrees out for cooling.

Contractor to extend existing hot water radiator heating system in Addition and connect to the existing new high-efficiency furnace.

Outline Specification - ANDREASON ADDITION AND RENOVATION Page 13

It shall be the responsibility of the Contractor to install the heating, ventilating and air conditioning systems so as to insure quiet operation. Contractor to start up service, adjust all equipment, and is responsible for a complete and balanced system. All equipment to be installed in accordance with manufacturer's guarantees. Contractor shall guarantee the work and materials for a period of one year after acceptance by Owner. Contractor to provide Owner with all manufacturer's guarantees and equipment maintenance and descriptive information.

Kitchen to have supplemental heat, electric kickspace Heat-a-lator, with thermostat and separate switch, register color to match kickspace material. Contractor to provide any cut-outs in cabinets for installation of kickspace heater.

Some existing cast iron radiators are to be relocated. Contractor to repair existing wood floors with full wood boards and refinish. New cast iron radiators to be provided by Owner and installed by Contractor. Heating subcontractor to verify adequate mass as suitable for heating room volume. Maximum dimensions as follows:

Family Room (2) - 1'-6" maximum height, length approximately as shown, to be verified by subcontractor.
Breakfast Room - 2'-6" maximum height, length approximately as shown, to be verified by subcontractor.
Master Bedroom (1) - 2'-0" maximum height, length approximately as shown, to be verified by subcontractor.
Master Bathroom - 2'-6" maximum height x 3'-6" maximum length.

Architect shall approve the placement of equipment, ductwork, registers and diffusers with the subcontractor in the field. The system shall be integrated into the existing and new construction to the satisfaction of the Owner and Architect.

All ductwork shall be constructed of hot-dipped, galvanized sheet metal in accordance with SMACNE Low Velocity Duct Construction Standards. Ducts running parallel to floor joists to run between the joists in all cases. All ductwork to have standard duct liners. All ductwork in exterior walls or attic space to be insulated to the value of the surrounding batt or rigid insulation.

15084 Vent Caps - Contractor to provide and install all vents and wall caps, grilles and ductwork required for Kitchen equipment and Bathroom exhausts.

15401 Plumbing - Contractor shall provide all the materials and equipment and perform all the work necessary for a complete, functioning system. Contractor shall guarantee the work and materials for a period of one year after acceptance by the Owner. All work must conform to requirements of prevailing code and local authorities. This Contractor shall obtain and pay for all permits and inspections. No plumbing system or part thereof shall be covered until it has been inspected, tested and accepted by a plumbing inspector.

Water and drain connections shall be provided for each piece of equipment and fixture. Provide a shut-off valve for the non-freeze type exterior hose bib. All new and existing plumbing fixtures and equipment shall be protected during the course of construction. Any damaged fixtures or equipment and other work shall be replaced at no cost to the Owner.

Contractor to coordinate provide any cut-outs in cabinets required for pipe installation and to patch, cover or repair any damage to the cabinets.

All water piping shall be type "L" copper; all waste and vent piping shall be PVC. Provide piping for passive radon system as per Code. (2 vertical pipes located as shown on drawings.)

Provide a new direct-vent gas 75 gallon hot water heater in same location as existing. Contractor to dispose of existing hwh.

List of Kitchen appliances and Bathroom fixtures to be provided by Owner and installed by Contractor:

- Refrigerator - Amana #36531, white
- Range/oven - Sears Brand Central #36520, gas slide-in, black glass panel door.
- Hood - Kenmore #55399, vent to the exterior.
- Microwave - GE #JM23K, installed to underside of wall hung cabinets.
- Garbage Disposal - Kenmore 6040 on switch, install on smaller bowl.
- Dishwasher - Kenmore Ultra Wash II #15615, black glass front.

- M Bath shower faucets (2) - _____
- M Bath pedestal lavatories (2) - _____
- M Bath lavatory faucets (2) - _____
- PR lavatory (1) - Cheviot "Classis" #404 (24"x19 1/2"x32") as available from T. W. Perry
- PR lavatory faucets - _____

List of appliances and fixtures to be provided and installed by Contractor:

Sinks - Moen #22116 double bowl, stainless steel, install disposal on smaller sink, side away from DW.

Faucets - _____, brass and chrome finish.

Master Bathroom Toilet - _____

Powder Room Toilet - _____

Bathroom accessories to be provided by the Owner and installed by the Contractor include, but are not limited to:

Towel bars or rings

Toilet paper holders

Fully/semi/surface mounted cup, toothbrush or soap dishes

ELECTRICAL

16101 General - The Electrical Contractor shall furnish all labor, materials, tools, transportation, equipment, services and facilities required for the complete, proper and substantial installation of all electrical work shown on the drawings or outlined in these Specifications. The work shall include all material, appliances and apparatus not specifically mentioned herein or noted on the drawings but which is necessary to make a complete working installation of all electrical systems.

All work shall be installed in accordance with the local electrical code, the regulations of the local electrical power company and the requirements and recommendations of the National Electrical Code (latest edition). Any additional outlets (not shown on the drawings) that are required by the Inspector are to be provided at no additional cost to the Owner. Contractor shall guarantee the work and materials for a period of one year after acceptance by the Owner.

This Contractor shall obtain and pay for all licenses, permits, certificates and inspections required by state, county and other authorities having jurisdiction and shall comply with the rules and requirements of the National Fire Protection Association (latest edition) and with all laws, ordinances, regulations or Building Codes. Any deviation shall be reported to the Owner in writing.

Light fixtures, switches and outlets shall be generally located as shown. However, exact locations shall be determined before wiring installation in a walk-through by Owner, Architect and Contractor.

16120 Wires - All wiring to be copper, gauge as required by code. Contractor to provide and install new circuit breaker panel box and change service from 140 amps to 200 amps.

16140 Switches - Plates to be brass to match existing. Groups of switches in the same location to be installed so as to have one plate.

All exterior and Bathroom outlets to be waterproof, ground-fault interrupter receptacles.

16501 Lighting - Contractor to provide all recessed and fluorescent light fixtures. Closets to have 24" fluorescent light fixtures with covers, typically installed over the door as shown on drawings. All Kitchen cabinets to have 1" Slimline under-the-cabinet fluorescent light fixtures, maximum length allowed by the cabinet box, installed along the front face of the cabinet and wired continuously. The Contractor is responsible to patch any holes in the drywall or cabinets and to install painted wood trim to cover the lighting wire.

The Owner is to provide surface mounted interior and exterior light fixtures as follows:

Exterior Basement door - wall mounted, waterproof type
Front Porch - ceiling fan, with light
Foyer - ceiling mounted chandelier
Family Room - ceiling fan, no light
Stairs (2) - wall mounted sconces
Breakfast Room (2) - ceiling mounted
Kitchen (2) - ceiling mounted
Kitchen - ceiling fan with light
Back Porch - ceiling mounted
Master Bedroom - ceiling fan, no light
Master Bathroom (2) - wall mounted sconces
WIC - ceiling mounted

Opening for all recessed lights to have visual field inspection by Architect prior to wiring and installation of fixtures.

16725 Smoke Detection - Smoke detectors to be ionization-type, dual chamber, ceiling mounted, hard wired.

16740 Telephone - Telephone wiring to be concealed and connected to existing system.

Nutone door chime, equipment to be located by Owner.

View of WNW face as seen from
lot P15-16 (3929 Washington St)



View from West as if seen by
Respect properties if trees were unobstructive





Views of NE Face (Views from
adjoining Prospect Properties is obstructed
by Trees.)



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Views of 3928 Washington St
From 3927 Washington St



View of 3929 Washington St from
across



View of Prospect Ave property
from 3927 Washington St



View of Prospect Ave Property
from 3927 Washington St





View of ESE face as seen from
lot 13 (3925 Washington St)



View of SW Face (Front) as seen from
access and opposing property

**THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
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