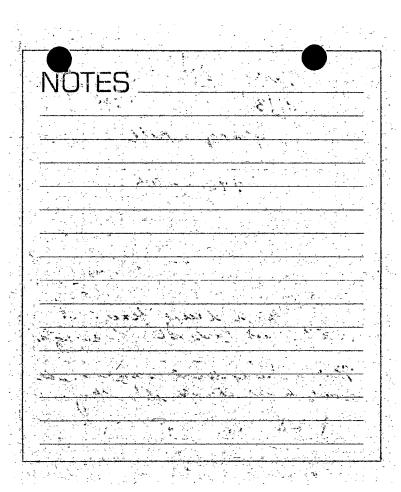
\_31/6-96R 10537 St. Paul Street (Kensington Historic District)

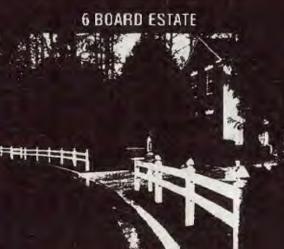


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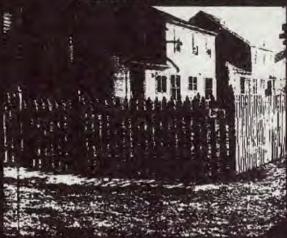
**ALUMINUM OR ORNAMENTAL IRON** 



P.V.C. FENCING



MONUMENT PICKET



**COLONIAL GOTHIC PICKET** 

Clinton Fence—With a reputation for quality materials and service since 1957

QUALITY WORKMANSHIP GUARANTEED

Jenny Smith 10537 St. Paul Street Kensington, MD 20895

Dear Jenny,

This letter is to confirm that you will not need to apply for approval of the Historic Preservation Commission in order to replace the picket fence at 10537 St. Paul Street, Kensington. Our understanding is that you will be installing a fence that is 6" lower and with simple caps on the fence posts, but using materials and a design which is substantially the same as those used on your existing fence.

Please let us know if we can be of further assistance.

Sincerely,

Perry Kephart Historic Preservation Planner.







THE MARYLA

AND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: December 8,1996

### **MEMORANDUM**

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Marcus, Historic Preservation Coordinator

Design, Zoning, and Preservation Division

M-NCPPC

SUBJECT:

Historic Area Work Permit Application - Approval of

Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

MIN		
MARYLA	AND-NATIONAL CAPITAL PARK AND PLA 8787 Georgia Avenue • Sil	ANNING COMMISSI( lver Spring, Maryland 20910-37
	DATE: Ţ	Ecember 18.1996
MEMORAND	<u>w</u>	
TO:	Robert Hubbard, Chief Division of Development Services and Department of Environmental Protectio	
FROM:	Gwen Marcus, Historic Preservation Co Design, Zoning, and Preservation Divi M-NCPPC	
The Mont	Historic Area Work Permit  gomery Historic Preservation Commission application for a Historic Area Work P	has reviewed the
The Mont attached cation w	gomery Historic Preservation Commission application for a Historic Area Work P	has reviewed the Permit. The appli-
The Mont attached cation w	gomery Historic Preservation Commission application for a Historic Area Work P	Permit. The appli-
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The Mont attached cation w	gomery Historic Preservation Commission application for a Historic Area Work P as: Approved	Permit. The appli-

Address: 10537 St. Paul Street, Kensington

Applicant: Douglas & Jennifer Smith

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



### 250 Hungertord Drive, Rockville, Maryland 20850 (301) 217-4

## Historic Preservation Commission (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

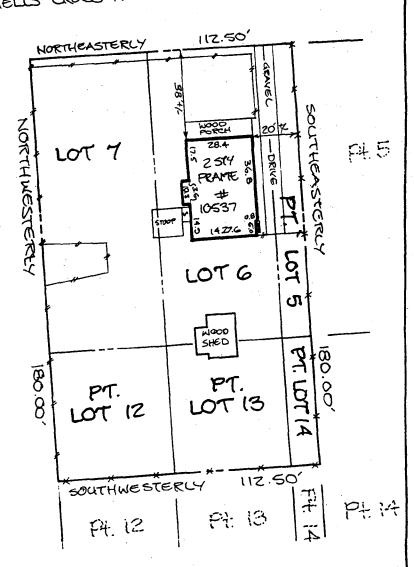
CONTA	CT PERSON Panglac Smil
TAX ACCOUNT # 13-15-1018512 DAYTH	ME TELEPHONE NO. (202) 586-3410
NAME OF PROPERTY OWNER Donder & Sanifac Sanifac	ME TELEPHONE NO. (11) (301) 946-38 04
·	<b>Y</b>
ADDRESS 10537 St. Port St. Kensin	STATE ZIP CODE
CONTRACTOR TELEP	HONE NO. ( )
CONTRACTOR REGISTRATION NUMBER	
AGENT FOR OWNER DAYTI	ME TELEPHONE NO()
LOCATION OF BUILDING/PREMISE	
HOUSE NUMBER 10537 STREET Saint	Paul S.t.
TOWNICITY Konsington MD NEARE	ST CROSS STREET Opheron St.
LOT 6 BLOCK = SUBDIVISION W. H. BOCK	Wheatlers Subdivision
LIBER 12053 FOLIO 356 PARCEL L. + 6	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CIRCLE ALL APPLICABLE: CIRCLE ALL API	PLICABLE: A/C Slab Room Addition
Construct Extend Alter/Renovate Repair Move Porch Deck	Fireplace Shed Solar Woodburning Stove
Wreck/Raze Install Revocable Revision Fence/Wall (comp	elete Section 4) Single Family Other Steven Section 4
1B. CONSTRUCTION COST ESTIMATE \$ # 2.000	Sterm Wido
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SE	PERMIT#
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTE	ND/ADDITIONS
2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC	03 ( ) OTHER
2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL	03 ( ) OTHER
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. HEIGHTfeetinches	
3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTR	UCTED ON ONE OF THE FOLLOWING LOCATIONS:
On party line/property line Entirely on land of owner	
I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING API THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES	PLICATION, THAT THE APPLICATION IS CORRECT, AND THAT
TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.	11-11/21
Signature of owner or authorized agent	11   Z T   e((, )
APPROVEDFor Chairperson, Historic Prese	10 10 01
DISAPPROVED Signature	Date 12.18.76
APPLICATION/PERMIT NO: DATE	FILED: DATE ISSUED:

W C

SAINT PAUL STREET (MITCHELLS CROSS ROADS TO KNOWLES STATION)

IOTES:

U.D. PANEL NOT. VAILABLE STAL AREA OF LOTS SHOWN EREON IS 20,250 \$ OBERON STREET



OF RAAS

LOCATION OF HOUSE

LOTS 7 & G & PART OF LOTS 5, 12, 13, \$ 14, BLOCK E

W.H. WHEATLEYS SUBDIVISION

APPROVED

Montg: disry County

Historic Preservation Commission

of Part of Losephs Park

MONTGOMERY COUNTY MARYLAND

ILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

SURVEYOR'S CERTIFICATE	REFERENCES	SNIDER & ASSOCIATES		
HEREBY CERTIFY THAT THIS INSPECTION WAS	PLAT BK. B	SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS		
RFORMED IN ACCORDANCE WITH THE STANDARDS		2 Prufessional Dr., Suite 216		
PRACTICE FOR REGISTERED SURVEYORS IN THE ATE AS ADOPTED BY THE MARYLAND SOCIETY OF		Gaithersborg, MID 20879 (301) 948-3100		
JRVEYORS."	LIBER	DATE OF LOCATIONS   SCALE: ("= 40"		
Delheu A Fortis PROPLINE		WALL CHECK: DRAWN BY: 7EK		
EGISTERED SURVEYOR MARYLAND NO. #907	FOLIO	HSE LOC.: )(-04-23 JOB NO.: 93-5126		

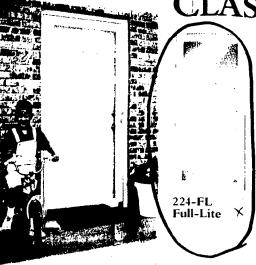
## Description of Materials

- (1) Storm Doors: "Full-Lite" storm
  doors manufactured by Larson. Simple
  white aluminum frame with glass in
  the door. See brochure,
- (2) Storm Windows: Aluminum 3-track storm windows manufactured by Gill Aluminum Products Corp. or DACO. See & brochures.

PROVED

County

## CLASSIC-VIEW SERIES Frame Your Home in Beauty.



710

229-GB Grooved Border

222-VF Vented **Full-View**  225-GA Grooved Arch

223-TL Self-Storing Twin-Lite

- 11/2" thick heavy-gauge aluminum main frame is filled with insulating foam.
- · Choose from Traditional White, Elegant Almond, Estate Brown or Satin Black.
- Solid brass mortise lockset with deadbolt for additional security.
- Brass-tone expander complements handle set.
- Premium weatherstripping seals out weather, pests and dust.
- Snap-in retainer strips hold tempered safety glass or screen. in place and add to the finished appearance of the door.
- Lifetime hinges to withstand years of heavy traffic.
- Two color-matched closure mechanisms keep door opening and closing smoothly for years and years.
- Select models available in Custom Fit sizes.
- REVERSA-HINGE\* for right or left mounts.

## LARSON SECURITY SERIES Protect Your Home in Style.



### Classic-View 221-SC

- Solid brass latch &
- Brass tone expander Traditional White,
- Elegant Almond.



#### Classic-View 220-SC

- Stylish Luch & linkset
- · Fradmonal White or Sain Black



### 232-SC

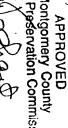
- Polished by as keyed deadlash bak
- Brass tone expander
- · White or brown



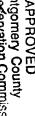
### MAGNA-CORE" MAGNA-CORE LIFE-CORE" 230-SC

- · Antique brosskeved alcadiolido E
- · White or brown
- 270-SC
- Sixlish keyed. deadbolt lock
- · White or brown.

- 172" thick heavy-gauge aluminum main frame is filled with insulating foam. (Models 220-SC and 221-SC)
- Solid wood core won't twist, rattle, warp or sag. (Models 270-8C, 230-SC and 232-8C)
- Weatherstripped for sure seal (MAGNA-CORE™ Models) 230 SC and 232-SC feature magnetic weatherstripping).
- Self-storing for top or bottom ventilation.
- T-6 heat-treated heavy-gauge aluminum bars are staked for greater durability and added security.
- Lock guard (not available on Model 230-SC).
- Tamper-proof *lifetime* hinges.
- All heavy-duty hardware included.
- Virtually no upkeep needed.
- REVERSA-HINGE\* for right or left mounts...
- Custom Fit sizes available in select models.







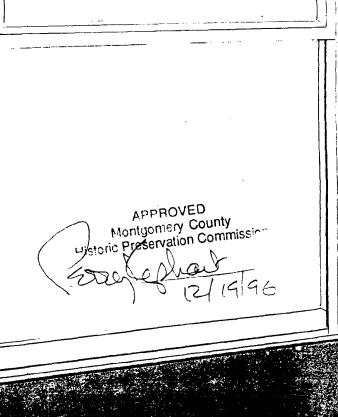
# the ASIRAL

# Monding. Constitution Illing of

The Astral Aluminum Combination 3-Track Storm Window has been designed for the energy needs of the 80's. They are a profitable way to invest in energy savings immediately and continue saving for years. They provide draft free comfort with a return in fuel savings. THE ASTRAL HAS PROVEN TO BE A LEADER IN ITS FIELD.

This rugged durable window is available in 12 attractive colors, which are Electrostatic Polyester Powder Coated, to match aluminum siding.

- Sides and top masterframe members are extra heavy to offer maximum strength and rigidity.
- Glass inserts are marine type glazed to lessen glass breakage and provide thorough sealing against water leakage
- Glass inserts have continuous extruded tongue, and groove interlocks to prevent air infiltration. Release bolts are extended for pary access. Glass is American made for maximum straight with minimum wave distortions. Hollow sill contains an adjustable expended to seal and seat under all conditions. Hollow screen insert is completely were and stripped to seal against all insect penetration. Masterframe is criple weather, arranges no offer the tightest possible wind seal.



GILL ALUMINUM PRODUCTION

## **Expedited Historic Preservation Commission Staff Report**

Address: 10	537 St. Paul Street, Kensington	Meeting Date: 12/18/96			
Resource:	Kensington Historic District	Public Notice: 12/04/96			
Case Numb	er: 31/6-96R	<b>Report Date:</b> 12/11/96			
Review:	HAWP	Tax Credit: Yes			
Applicant:	Douglas and Jennifer Smith	Staff: Perry Kephart			
DATE OF (	CONSTRUCTION: Circa 1893				
SIGNIFICA	ANCE:				
	Individual <u>Master Pl</u>				
	xWithin a <u>Master Plan</u>	n Historic District			
	xPrimary Resource Contributing Resour	rce			
		ut-of-Period Resource			
unusual tripl	e-grooved german siding. Windows	een Anne cross-gabled frame dwelling with are 1/1 of various sizes and groupings.			
		and install storm doors on other three exterior. Windows and doors to have white aluminum			
RECOMMI	ENDATION:				
	x_Approval				
	Approval with cond	itions:			
	1	·			
	3				
Section 8(b): to such cond	The commission shall instruct the d	Chapter 24A of the Montgomery County Code, irector to issue a permit, or issue a permit subject insure conformity with the purposes and			
	e proposal will not substantially alter	the exterior features of an historic site, or			



_x_2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship, or
6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

### . Policy on use of Expedited Staff Reports for simple HAWP cases

This policy is developed with the understanding that:

I the HPC's policy regarding in-kind replacements has not changed, that is - all replacement of exterior features with exactly matching materials may be done without a HAWP;

II. staff will continue to notify Local Advisory Panels (LAPs), and adjacent and confronting owners of all HAWP requests and, if a neighbor or the LAP is known to object to a proposal, then the Expedited Staff Report format will not be used;

III. if, because of the specifics of a case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, then the standard report format shall be used;

IV. the Expedited Staff Report format may be used on the following type of cases:

- 1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
- 2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to
  - a repair or replacement of masonry foundations with new materials that match the original closely.
  - b installation of vents, venting pipes, and exterior grills,
  - c. new installation of gutters.
- 4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and (where necessary) replaced in kind.
- 5. Removal of accessory buildings which are not original to the site nor otherwise historically significant
- 6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists which illustrates or describes the missing detail or details.
- 7. Signs which are in conformance with all other County sign regulations.

- 8. Construction of wooden decks which are at the rear of a structure and are not readily visible from a public right-of-way this applies to all categories of resources: outstanding, contributing, individually designated sites, etc.
- 9. Replacement of roofs on non-contributing/out-of-period buildings, as well as new installation of historic, appropriate roofing materials on outstanding and contributing buildings.
- 10. Installation of exterior storm windows and/or doors which are compatible with the historic site or district in terms of material, design, etc.
- 11. Construction of fences which are compatible with historic site or district in terms of material, height, location and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed through the Expedited Staff Report format.
- 12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas which are not readily visible from a public right-of-way and/or are compatible in material, location and design with the visual character of the historic site or district.
- 13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
- 14. Construction or replacement of storage and small accessory buildings which are not readily visible from a public right-of-way.
- 15 Landscaping, or the removal or modification of existing planting, which is compatible with the visual character of the historic site or district

APPLICATION FOR HISTORIC AREA WORK PE CONTACT PERSON DAYTIME TELEPHONE NO. 3011 946=38 04 ZIP CODE TELEPHONE NO. CONTRACTOR CONTRACTOR REGISTRATION NUMBER **AGENT FOR OWNER** LOCATION OF BUILDING/PREMISE SUBDIVISION LIBER 12053 FOLIO 356 PART ONE: TYPE OF PERMIT ACTION AND USE CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: Slab **Room Addition** Solar **Woodburning Stove** Fireplace Shed Construct Extend Alter/Renovate Move Porch Deck Fence/Wall (complete Section 4) Single Family Other. Wreck/Raze Install Revision Revocable Z000 CONSTRUCTION COST ESTIMATE \$ IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC ( ) OTHER 2R. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL 3A INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS: Entirely on land of owner ... On public right of way/easement I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT. APPROVED For Chairperson, Historic Preservation Commission

Signature,

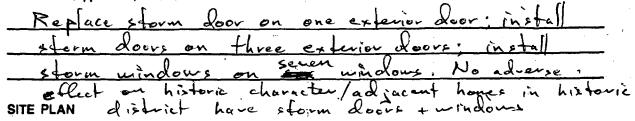
DISAPPROVED\_

## THE FOLLOWING ITEM MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1.	WRITTEN	DESCRIPTION OF PRO	JECT

a.	Description of existing significance:	structure(s) a	and environment	al setting, i	including the	eir historical	<b>features</b>	and
	2/2 story	wood +	Grame he	,use ,	civea	1893.	Ou	
	Sf. P 1 St.							برا <i>ن</i>
	district.		<del></del>		: 1			

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:



Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

### 3. PLANS AND ELEVATIONS

2.

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. <u>Schematic construction plans</u>, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

### 5. PHOTOGRAPHS

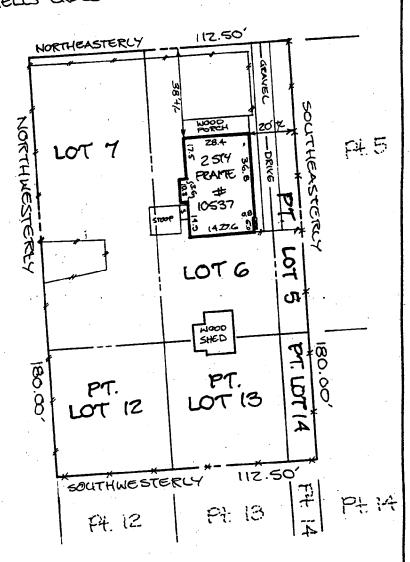
- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

### 6. TREE SURVEY

STREET SAINT PALLL KNOWLES STATION) ( MITCHELLS CROSS ROADS TO

NOTES:

H.U.D. PANEL NOT. AVAILABLE TOTAL AREA OF LOTS SHOWN HEREON IS 20,250 \$





LOCATION OF HOUSE

LOTS 7 & G & PART OF LOTS 5, 12, 13, \$ 14, BLOCK E

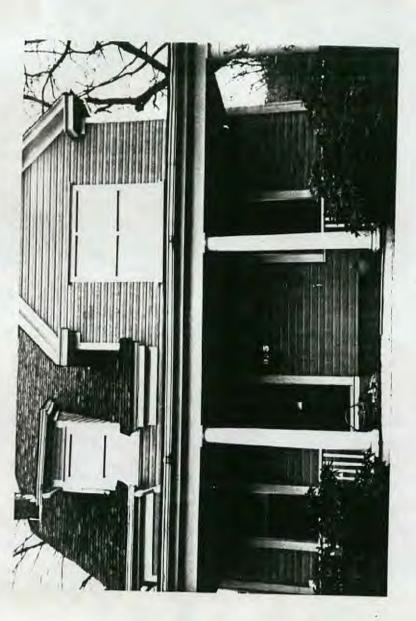
## LEYS SUBDIVISION

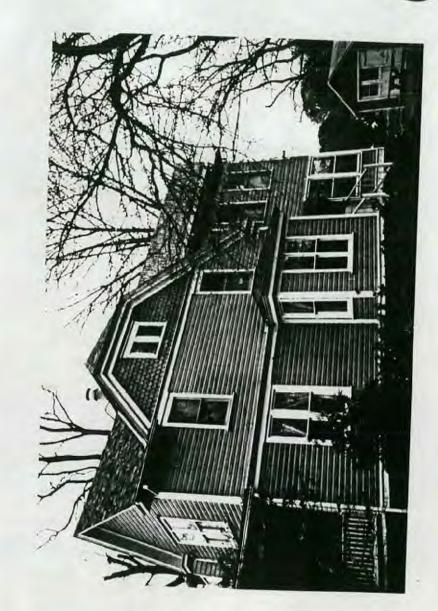
PART OF LOSEPHS PARK

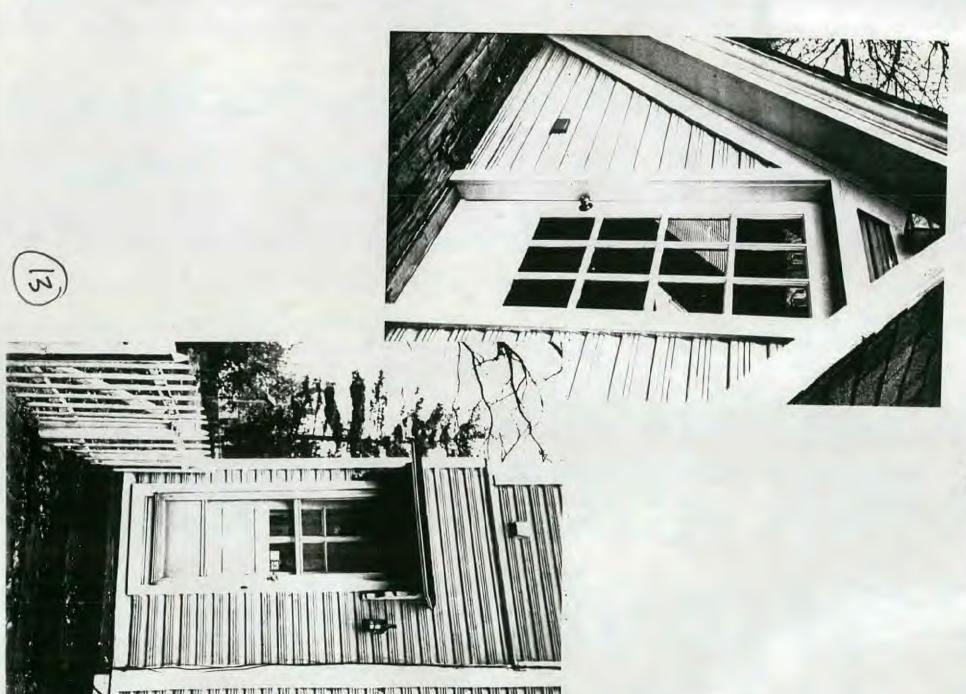
MONTGOMERY COUNTY MARYLAND

SURVEYOR'S CERTIFICATE	REFERENCES	s	NIDER & ASSOCIATES	
- John Donald Charles		su	RVEYORS - ENGINEERS	
I HEREBY CERTIFY THAT THIS INSPECTION WAS	PLAT BK. B	LAND PLANNING CONSULTANTS		
PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR REGISTERED SURVEYORS IN THE STATE AS ADOPTED BY THE MARYLAND SOCIETY OF	PLAT NO.		2 Professional Dr., Sone 216 Gaithersburg, MID 20879 (301) 948-5100	. /
URVEYORS."		DATE OF LOCATIONS	SCALE: ("= 40"	
Delhui A Fortin PROPLINE	LIBER	WALL CHECK:	DRAWN BY: 7EK	١
REGISTERED SURVEYOR MARYLAND NO. #507	FOLIO	HSE. LOC.: )(-04-23	JOB NO.: 93-5126	









Stephen + Arlene Lukacs 10531 St. Paul St. Kensington, MD 20895

Jack + Jackie Jones 10543 St. Paul St. Kensington, MD 20895

Martha + Val Deale 3501 Oberon St. Kensington, MD 20895

# Desaription of Materials

- (1) Storm Doors: "Fill-Lite" storm doors manufactured by Larson. Simple white aluminum frame with glass in the door. See brochure,
- (2) Storm Windows: Aleminum 3-track storm windows mannfactured by Gill Aleminum Products Corp. or DACO. See & brochures.





