

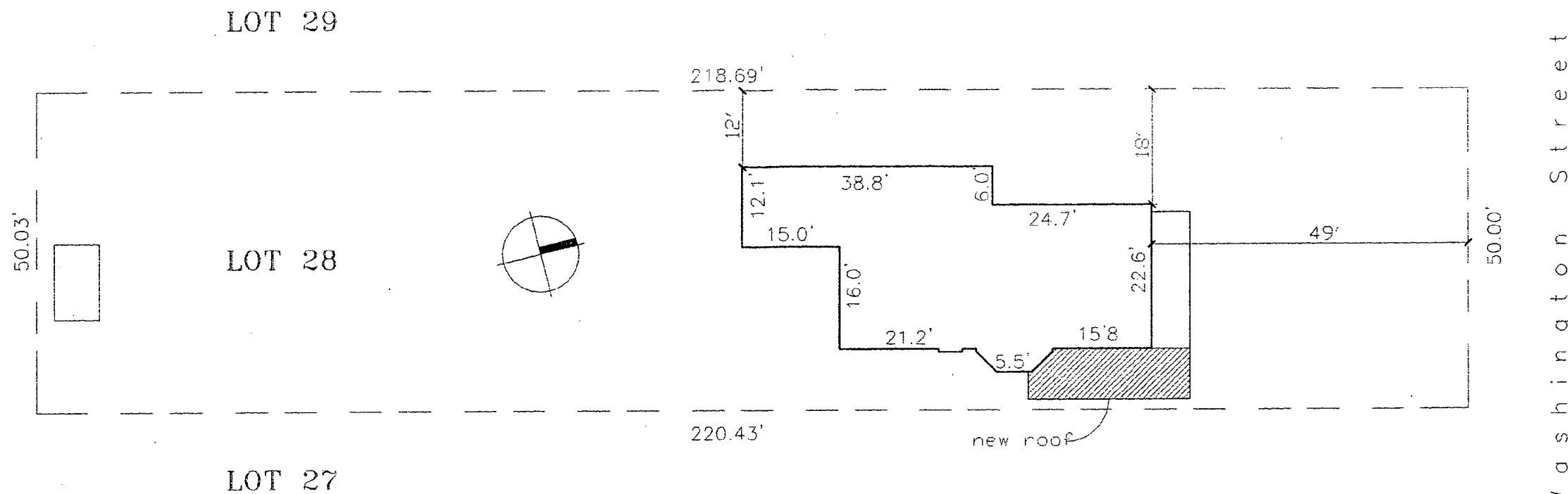
31/6-97F 3808 Washington Street  
(Kensington Historic District)

Please mail to Re  
① ~~Coons~~ & to

② ~~Miche Booz~~  
in Brookeville.

(~~Diane Teague's~~ 11/6  
husband -  
same address)  
as LAP

Thanks - R



**INDEX OF DRAWINGS**

- 1. Site Plan
- 2. Plan
- 3. Corner Detail, Roof Framing
- 4. Front Elevation
- 5. Side Elevation
- 6. Rear Elevation, Porch Detail
- 7. Porch Detail
- 8. Bay Plan, New Door Elevation, Interior Elevation
- 9. Existing Plan
- 10. Existing Front Elevation
- 11. Existing Side Elevation
- 12. Specifications
- 13. Specifications
- 14. Specifications

1 SITE PLAN  
 1 1/20" = 1' - 0"

3808 Washington Street  
 Kensington, MD 20895

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 1/24/98

**G E R S O N P O R C H**

J A N U A R Y 2 1 , 1 9 9 8

MICHE	BOOZ
ARCHITECT	
1	

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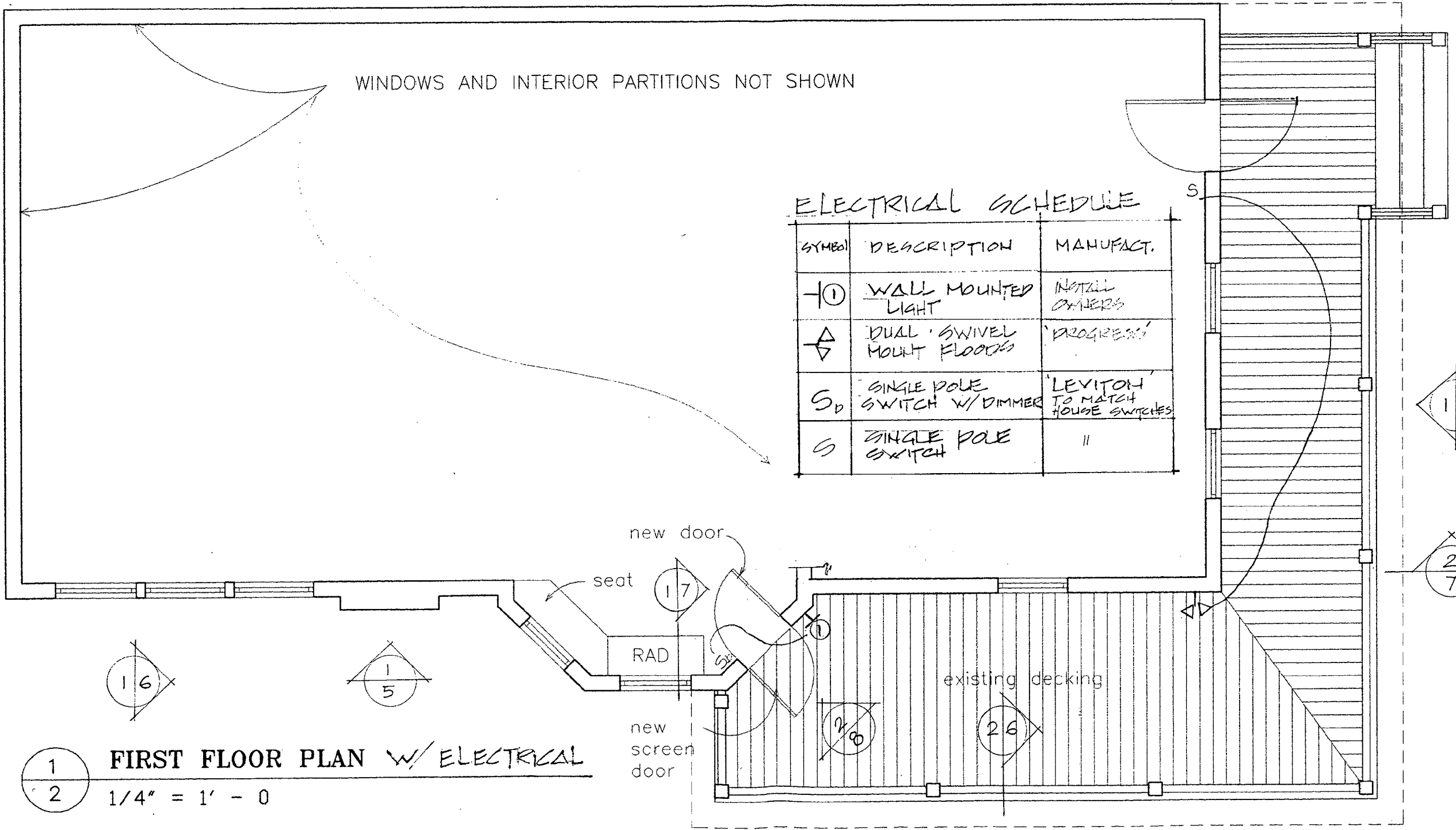
*[Signature]* 12/1/98

MICHE	BOOZ
ARCHITECT	
2	

WINDOWS AND INTERIOR PARTITIONS NOT SHOWN

ELECTRICAL SCHEDULE

SYMBOL	DESCRIPTION	MANUFACT.
⊕	WALL MOUNTED LIGHT	NOTALL OWNERS
⚡	DUAL SWIVEL MOUNT FLOODS	'PROGRESS'
S <sub>D</sub>	SINGLE POLE SWITCH W/ DIMMER	'LEVITON' TO MATCH HOUSE SWITCHES
S	SINGLE POLE SWITCH	''

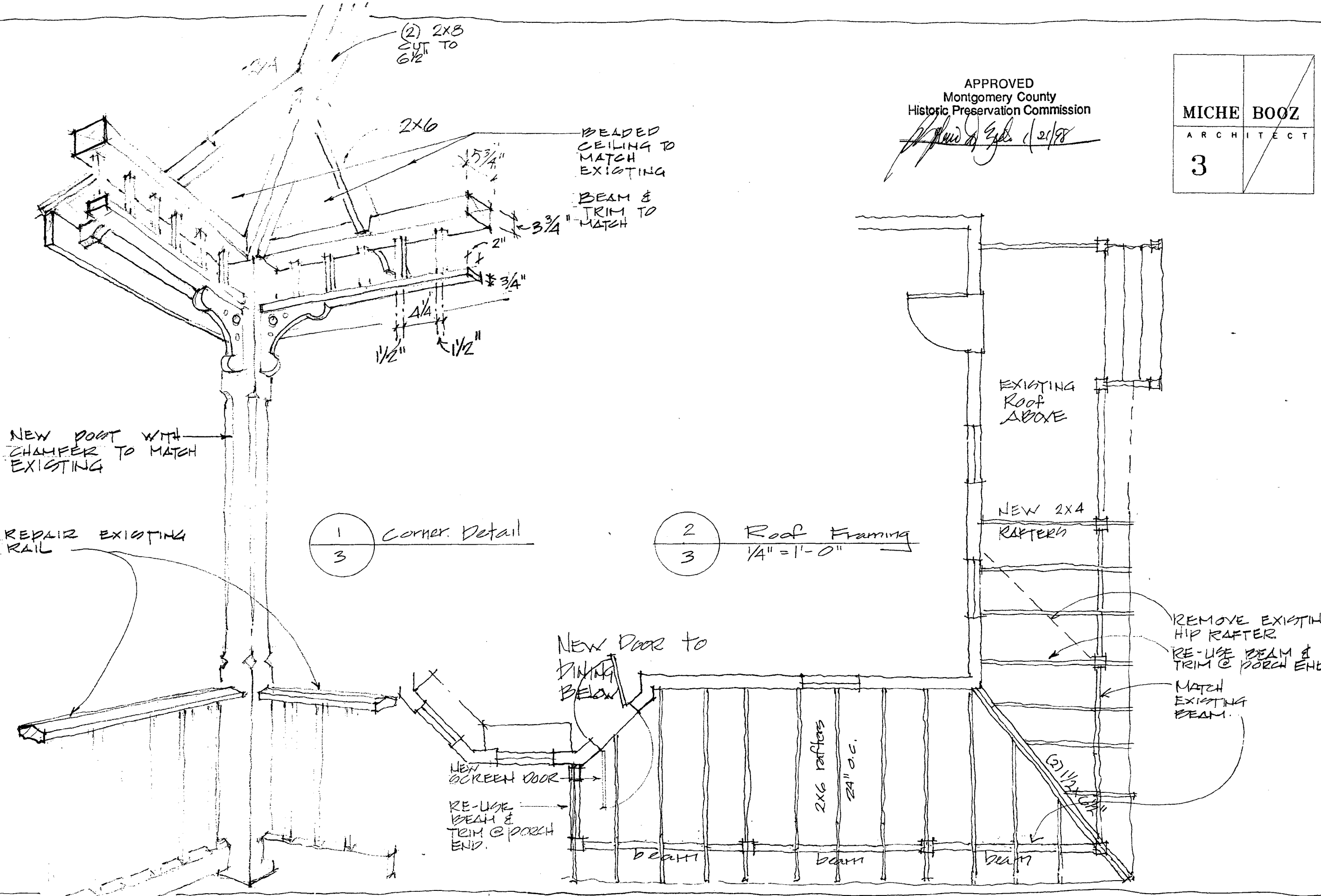


1  
 2 FIRST FLOOR PLAN W/ ELECTRICAL  
 1/4" = 1' - 0

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3	



(2) 2x8  
 CUT TO  
 6 1/2"

BEADED  
 CEILING TO  
 MATCH  
 EXISTING

BEAM &  
 TRIM TO  
 MATCH

NEW POST WITH  
 CHAMFER TO MATCH  
 EXISTING

REPAIR EXISTING  
 RAIL

1 Corner Detail  
 3

2 Roof Framing  
 3 1/4" = 1'-0"

EXISTING  
 Roof  
 ABOVE

NEW 2x4  
 RAFTERS

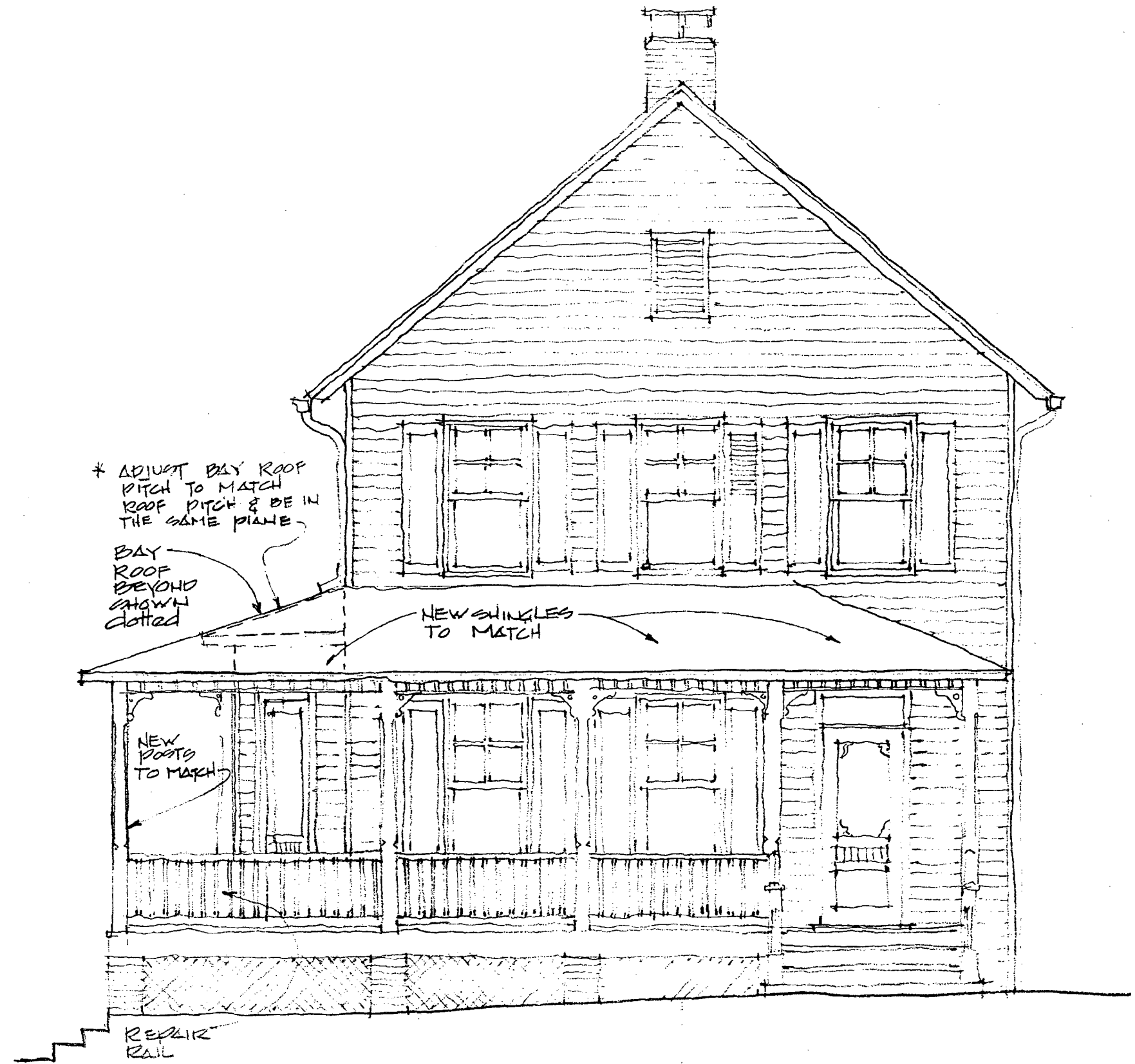
REMOVE EXISTING  
 HIP RAFTER  
 RE-USE BEAM &  
 TRIM @ PORCH END  
 MATCH  
 EXISTING  
 BEAM

NEW DOOR TO  
 DINING  
 BELOW

NEW  
 SCREEN DOOR  
 RE-USE  
 BEAM &  
 TRIM @ PORCH  
 END

2x6 rafters  
 24" o.c.

beam beam beam



①  
4 Front Elevation  
1/4" = 1'-0"

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*[Handwritten signature]*

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5	

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 Historic Preservation Commission

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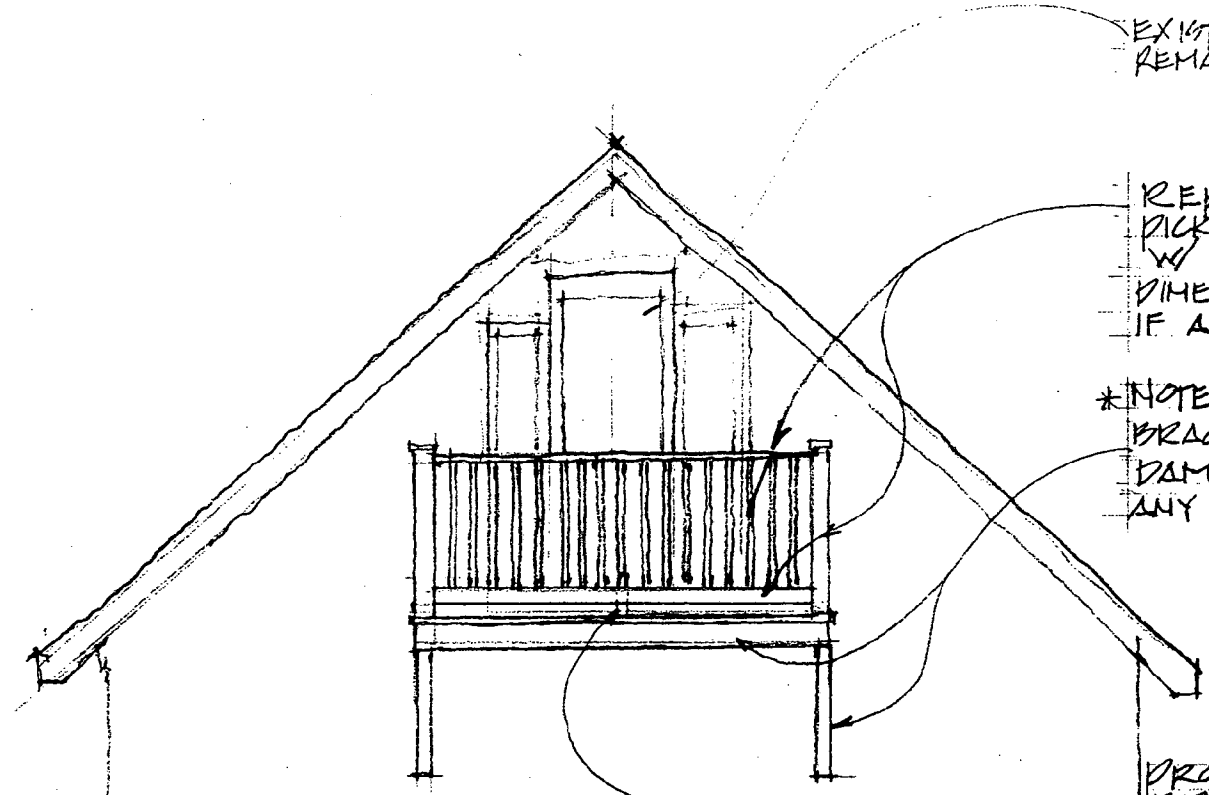


1 side Elevation  
 5 1/4" = 1'-0"

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6	



EXISTING DOOR & SIDELIGHTS  
REMAIN AS IS.

REPLACE TOP RAIL  
PICKETS & BOTTOM RAIL  
W/ IDENTICAL PROFILES &  
DIMENSIONS. REPLACE POSTS  
IF ANY DAMAGE IS DISCOVERED

\*NOTE: CHECK PLATFORM &  
BRACKET STRUCTURE FOR  
DAMAGE FROM ROT OR  
ANY OTHER CAUSE

PROVIDE STEEL 'L'  
BRACKET, PAINTED, SCREWED  
TO LOWER RAIL OF RAILING &  
PLATFORM

OPEN  
PORCH END  
RAFTER  
ALIGN W/ BAY  
FACIA

DETAIL 1.

RE-USE TRIM  
& LADDER BEAM  
FROM FRONT PORCH

NEW BRACKETS

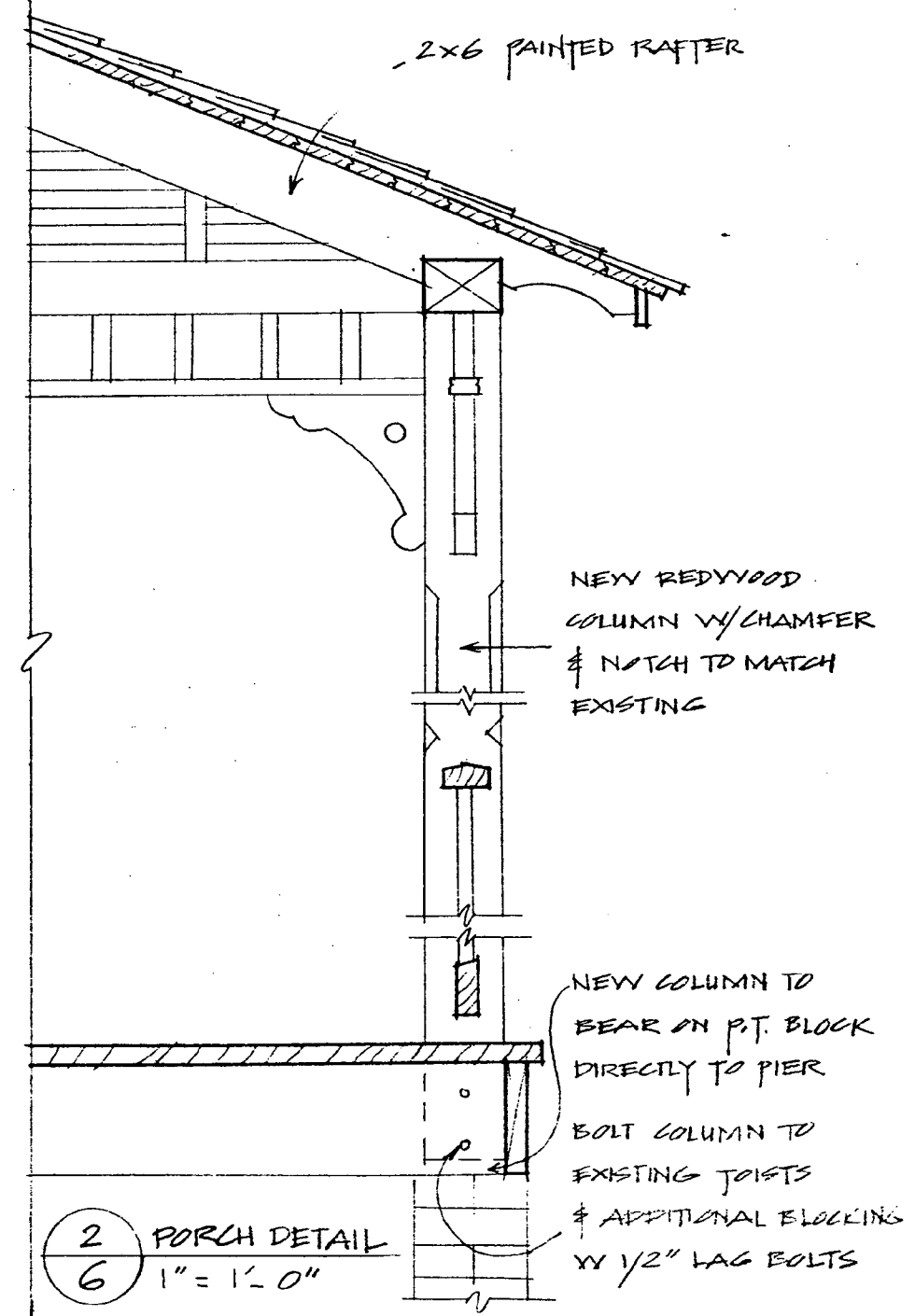
NEW POSTS

REPAIR RAIL

EXISTING WINDOW  
NOT SHOWN

EXISTING FAMILY  
ROOM NOT SHOWN

1 REAR BALCONY PORCH & BAY ELEVATION  
6 1/4" = 1'-0"



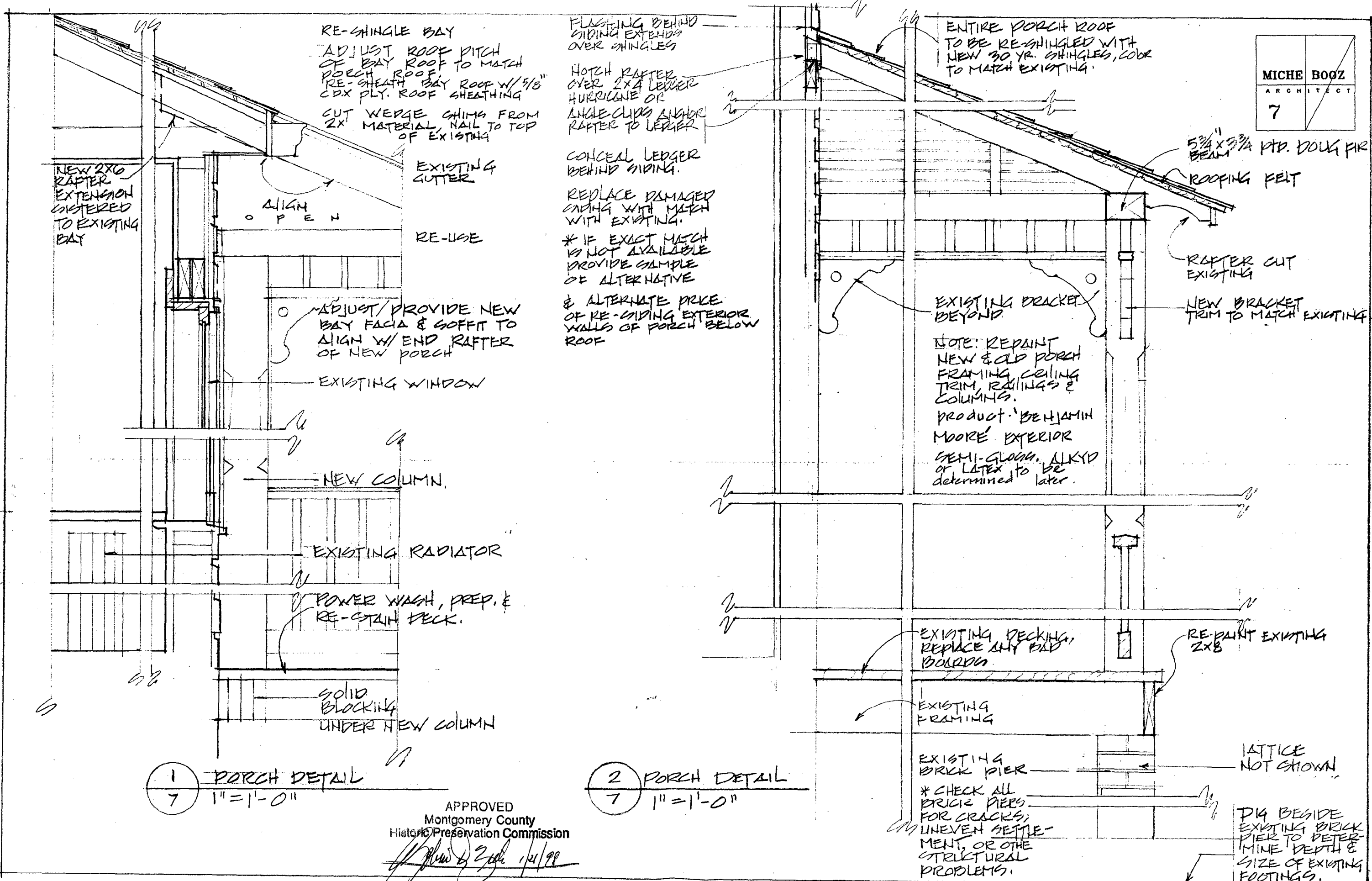
2x6 PAINTED RAFTER

NEW REDWOOD  
COLUMN W/ CHAMFER  
& NOTCH TO MATCH  
EXISTING

NEW COLUMN TO  
BEAR ON P.T. BLOCK  
DIRECTLY TO PIER  
BOLT COLUMN TO  
EXISTING JOISTS  
& ADDITIONAL BLOCKING  
W/ 1/2" LAG BOLTS

2 PORCH DETAIL  
6 1" = 1'-0"





RE-SHINGLE BAY  
 ADJUST ROOF PITCH OF BAY ROOF TO MATCH PORCH ROOF  
 RE-SHEATH BAY ROOF W/ 5/8" CDX PLY. ROOF SHEATHING  
 CUT WEDGE SHIMS FROM 2X MATERIAL, NAIL TO TOP OF EXISTING

FLASHING BEHIND SIDING EXTENDS OVER SHINGLES  
 NOTCH RAFTER OVER 2X4 LEDGER HURRICANE OR ANGLE CLIPS ANCHOR RAFTER TO LEDGER  
 CONCEAL LEDGER BEHIND SIDING.  
 REPLACE DAMAGED SIDING WITH MATCH WITH EXISTING.  
 \* IF EXACT MATCH IS NOT AVAILABLE PROVIDE SAMPLE OF ALTERNATIVE & ALTERNATE PRICE OF RE-SIDING EXTERIOR WALLS OF PORCH BELOW ROOF

ENTIRE PORCH ROOF TO BE RE-SHINGLED WITH NEW 30 YR. SHINGLES, COLOR TO MATCH EXISTING.

NEW 2X6 RAFTER EXTENSION DISTERED TO EXISTING BAY

EXISTING GUTTER

ALIGN OPEN

RE-USE

ADJUST/PROVIDE NEW BAY FACIA & SOFFIT TO ALIGN W/ END RAFTER OF NEW PORCH

EXISTING WINDOW

NEW COLUMN.

EXISTING RADIATOR

POWER WASH, PREP. & RE-STAIN DECK.

SOLID BLOCKING UNDER NEW COLUMN

1 PORCH DETAIL  
 7 1" = 1'-0"

2 PORCH DETAIL  
 7 1" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 2/24/99

5 3/4" x 3 3/4" PTD. DOUG FIR BEAM

ROOFING FELT

RAFTER CUT EXISTING

NEW BRACKET TRIM TO MATCH EXISTING

EXISTING BRACKET BEYOND

NOTE: REPAINT NEW & OLD PORCH FRAMING, CEILING TRIM, RAILINGS & COLUMNS.  
 PRODUCT: BENJAMIN MOORE EXTERIOR SEMI-GLOSS, ALKYD OR LATEX TO BE DETERMINED LATER.

EXISTING DECKING, REPLACE ANY BAD BOARDS

RE-PAINT EXISTING 2X8

EXISTING FRAMING

EXISTING BRICK PIER

\* CHECK ALL BRICK PIERS FOR CRACKS, UNEVEN SETTLEMENT, OR OTHER STRUCTURAL PROBLEMS.

LATTICE NOT SHOWN

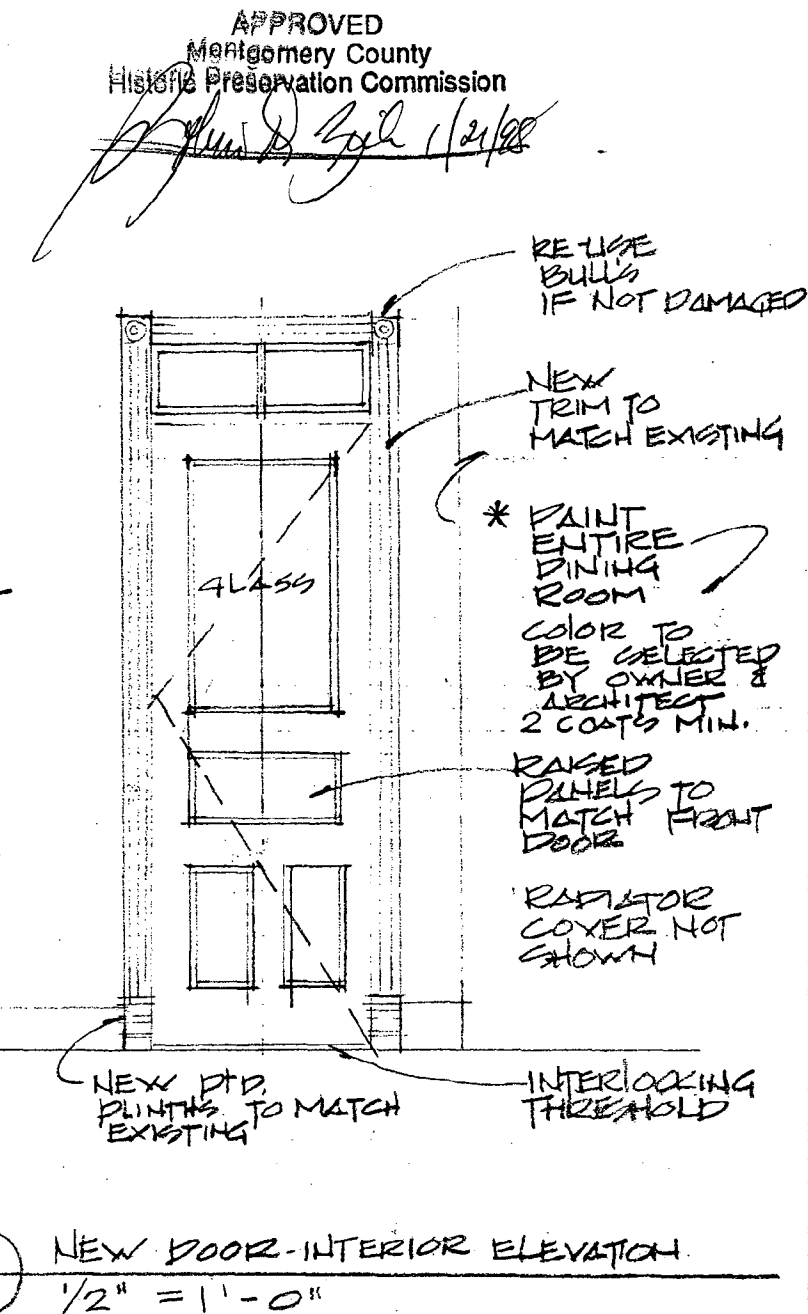
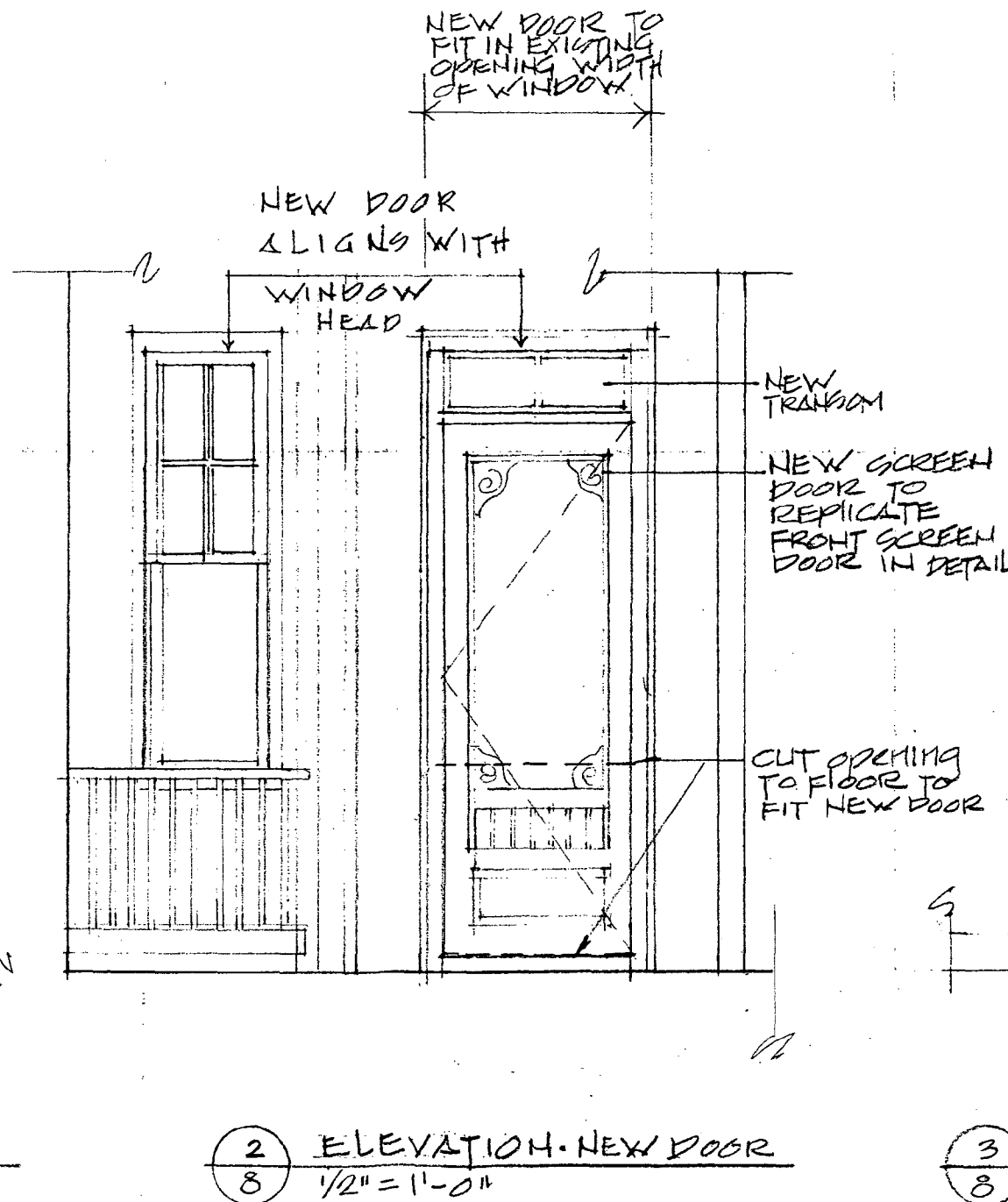
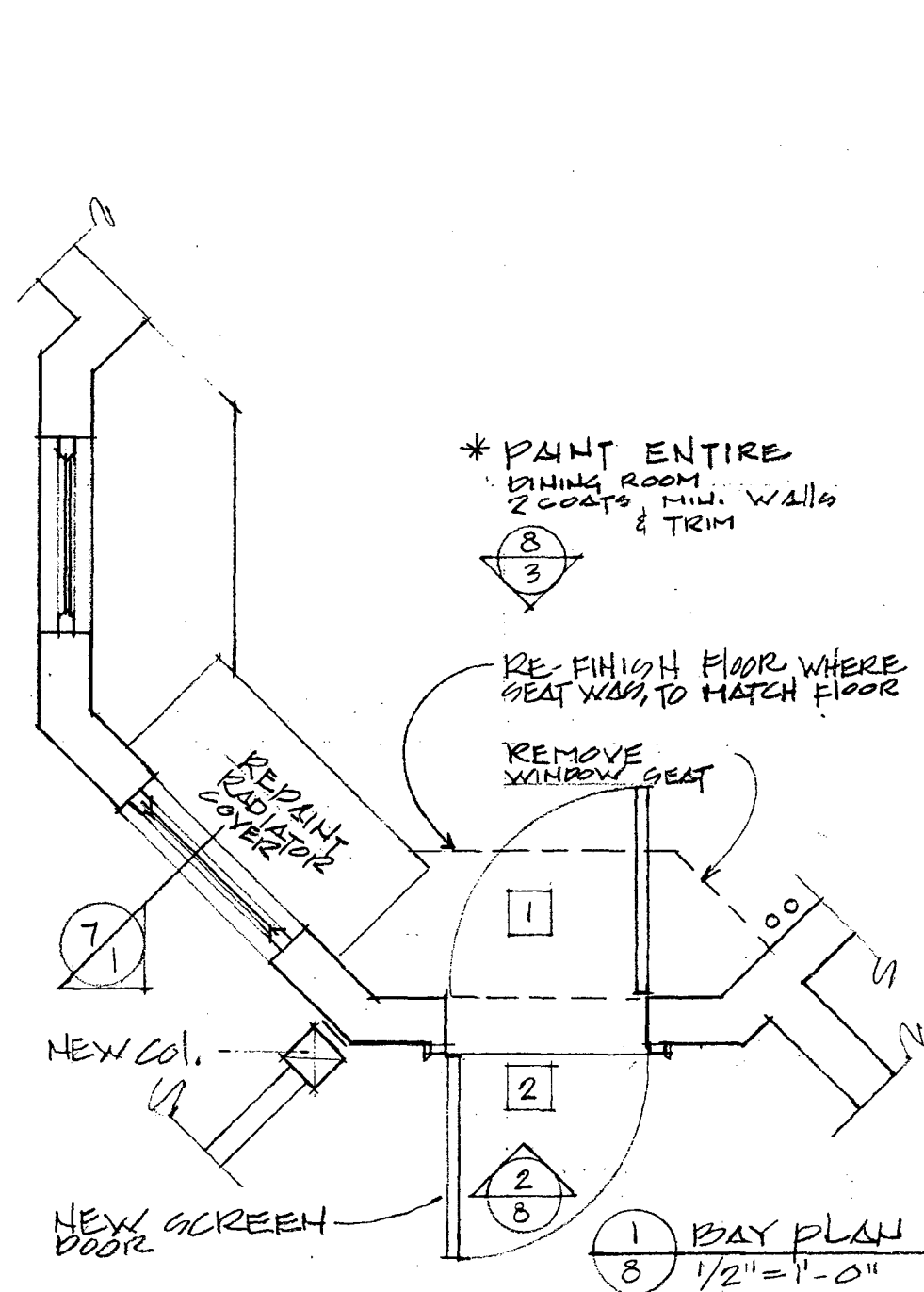
DIG BESIDE EXISTING BRICK PIER TO DETERMINE DEPTH & SIZE OF EXISTING FOOTINGS.

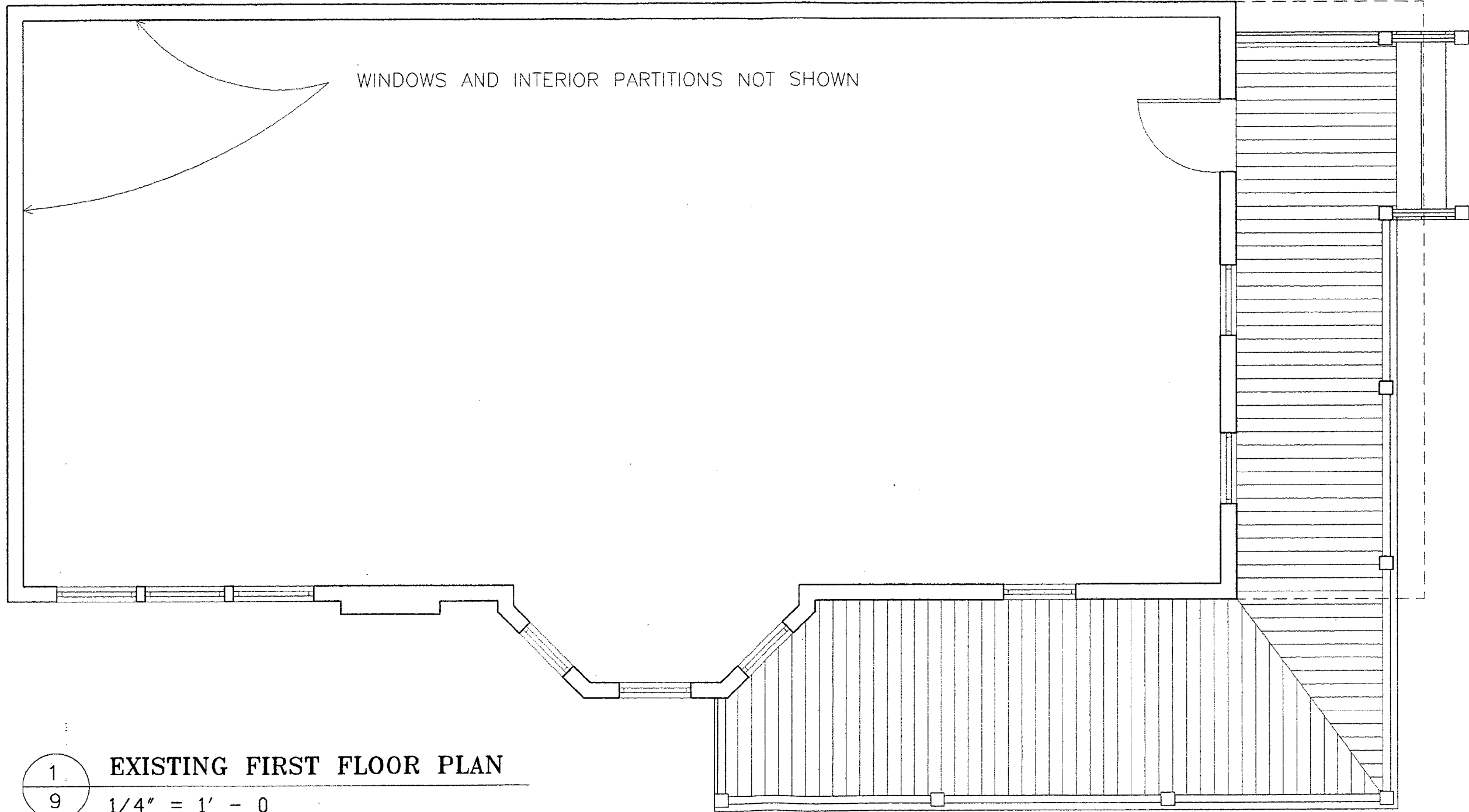
DOOR SCHEDULE.

\* NOTE: SAVE THE WINDOW BEING REPLACED BY DOOR FOR OWNER

SYMBOL	TYPE	DESCRIPTION	TRANSOM DESCRIPTION	HARDWARE
1	6'-8" x 2'-4" +- CUSTOM WIDTH EXTERIOR WOOD DOOR W/ TRANSOM	DOOR TO MATCH FRONT DOOR. USE INSULATED GLASS.	WOOD TRANSOM W/ TRUE 1	TO BE PROVIDED & INSTALLED BY OWNER. * DO NOT BOKE DOOR
2	6'-8" x 2'-4" +- CUSTOM WIDTH SCREEN DOOR	DETAILING TO MATCH FRONT SCREEN DOOR		POLISHED BRASS 'BALDWIN' KNOBS W/ CLOSER & THUMB LATCH

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ARCHITECT	
8	





1  
9

**EXISTING FIRST FLOOR PLAN**

1/4" = 1' - 0

MICHE BOOZ	/
ARCHITECT	
10	



1  
10

EXISTING FRONT ELEVATION

1/4" = 1' - 0

MICHE BOOZ  
ARCHITECT  
11



1  
11

EXISTING SIDE ELEVATION

1/4" = 1' - 0

## Division 1 - General Requirements

### 01035 - Modification Procedures

#### Part 1 - General

##### 1.1 Extras and Credits

A. The amounts of extras and credits for changed items shall be agreed to by the Owner and the Contractor, and written authorization shall be issued by the Owner before the Contractor shall proceed with the work.

### 01040 - Coordination

#### Part 1 - General

##### 1.1 Jobsite

A. The Contractor shall give his personal supervision to the work and have a responsible foreman continuously on the job to act for him. The Contractor and all his Sub-contractors shall coordinate their work with all adjacent work and shall cooperate with all trades so as to facilitate the general progress of the work. Each trade shall afford other trades every reasonable opportunity for the installation of their work.

### 01340 - Submittals

#### Part 1 - General

##### 1.1 Product Information

A. Manufacturers' warranties and product information shall be delivered to the Owner.

### 01440 - Contractor's Quality Control

#### Part 1 - General

##### 1.1 Materials and Verification

A. Every material shall be installed in a manner as recommended by the manufacturer involved, the relevant trade association, all pertinent Codes and regulations, and as good building practice recommends.

B. Contractor is to verify all relevant dimensions prior to ordering and installing new doors.

### 01540 - Protection of the Work and Property

#### Part 1 - General

##### 1.1 Precautions and Protection

A. General - The Contractor shall take every reasonable precaution needed to protect all work and all adjacent features, from damage due to wind, rain, fire and vandalism during construction.

B. Utilities - Every care shall be taken to protect all utilities, both above and below grade, from damage during all phases of construction, with all such damage to be repaired by the Contractor at his own cost.

### 01060 - Regulatory Requirements

#### Part 1 - General

##### 1.1 Code Conformity

A. All provisions of relevant Codes and Regulations are to take precedence over any conflicting provision, or lack of provision in these Specifications or the Drawings. Should such a conflict, or such a lack, appear to exist such revision to the Specifications or the Drawings so as to bring them into compliance with Codes (whether initiated by the Contractor or by Public Officials) shall become part of the Contract without additional cost of Contract.

### 01700 - Contract Closeout

#### Part 1 - General

##### 1.1 Final Conditions of the Project

A. Each and every Contractor and Sub-Contractor shall leave the work in perfect order at completion. Neither the Final Payment nor any provision in the Contract Documents shall relieve the Contractor of the responsibility for negligence or for faulty materials or faulty workmanship. Upon written notice, he shall remedy any such defects, and pay all expenses for any damage to other work that might have resulted.

##### 1.2 Guarantee

A. The entire work is to be guaranteed for the period of one year from the date of completion and final acceptance and payments, except in the case of longer guarantee periods called for on specific materials or installations.

## Division 2 - Sitework

### 02050 - Demolition

#### Part 1 - General

##### 1.1 Temporary Supports/ Barriers

A. Every care shall be taken during demolition to protect the house by means of temporary braces and supports as necessary to prevent any structural failure during removal of existing structural roof members.

B. Temporary walls and dust-barriers are to be installed as necessary to prevent entry by unauthorized persons and to prevent circulation of dirt and dust into portions of the house that are not part of the work.

##### 1.2 Protection

A. The Contractor shall take every precaution to protect existing shrubs, trees and bushes. The Contractor shall replace, at his own expense, any such plantings substantially damaged or killed as a result of demolition or construction.

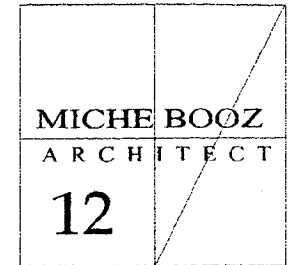
## Division 3 - Concrete

### 03730 - Concrete Rehabilitation

#### Part 1 - General (n/a)

#### Part 2 - Product (n/a)

#### Part 3 - Execution



3.1 Existing Footings

A. The Contractor is to inspect the depth and quality of existing pier footings to determine safe bearing capacity for new roof. Check for uneven settlement. Dig one inspection hole.

Division 4 - Masonry

04520 - Masonry Restoration

Part 1 - General (n/a)

Part 2 - Product (n/a)

Part 3 - Execution

3.1 Existing Porch Piers

A. All brick on existing porch piers to be inspected. Any loose mortar shall be removed and re-pointed with mortar of similar type.

Division 6 - Wood

06100 - Carpentry

Part 1 - General (n/a)

Part 2 - Products

2.1 Grades and Species

A. Framing Lumber for rafters, beams, posts, etc to be either:

1. Douglas Fir #1 or better

2. Hem Fir #1 or better

with good appearance as framing is visible.

B. Blocking under new columns to be: Wdmanized pressure-treated lumber.

C. New columns and post trim to be: Clear Redwood.

D. All plywood sheathing to be exterior grade, with exterior glue.

2.2 Moisture Content

A. Lumber to be dried, with a maximum of 19% moisture content.

B. Storage on site to be protected from the weather.

2.3 Quality

A. All lumber to be checked for quality upon delivery, and upon installation to insure that no members are used that have substantial checks, cracks damages or dimensional distortions.

Part 3 - Execution

3.1 Installation

A. All nailing to be as required by all relevant Codes, and if not so covered, then as good building practice recommends.

Division 7 - Thermal and Moisture Protection

07200 - Insulation

Part 1 - General (n/a)

Part 2 - Product (n/a)

Part 3 - Execution

3.1 Installation around doors

A. All shim spaces and other small cavities and cracks in framing to be filled with small pieces of fiberglass insulation to insure thoroughness of insulation work.

07310 - Shingles

Part 1 - General (n/a)

Part 2 - Product

2.1 New Shingles

A. New fiberglass shingles to match existing porch roof.

07460 - Aluminum Siding

Part 1 - General (n/a)

Part 2 - Product

2.1 New Siding

A. New aluminum siding to match existing siding in size, exposure and color.

07600 - Flashing

Part 1 - General (n/a)

Part 2 - Product

2.1 Flashing

A. White baked-on enamel finish

Part 3 - Execution

3.1 Installation

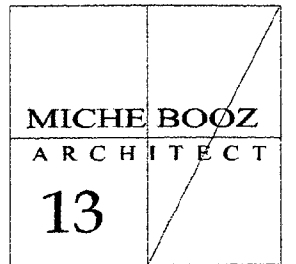
A. Flashing to be installed where shown on Drawings, and wherever else recommended by good building practices.

B. Bends in flashings to be straight and sharp-edged, done with care to insure tight fit against backing members wherever exposed to view.

07900 - Sealants

Part 1 - General (n/a)

Part 2 - Product



2.1 Caulking

- A. Exterior caulking is to be butyl except at fixed glass which is to be silicone
- B. Interior caulking is to be latex

Division 8 - Doors and Windows

08000 - Doors and Transoms

Part 1 - General (n/a)

Part 2 - Product (n/a)

Part 3 - Execution

3.1 Installation

- A. Install doors, windows and glazing as described in Drawings, with screens at new side door.

08710 - Weatherstripping

Part 1 - General (n/a)

Part 2 - Product

2.1 Door

- A. All new exterior doors to have full weather-stripping (including sill), installed by unit manufacturer, using gasket-type material.

Division 9 - Finishes

09250 - Drywall

Part 1 - General

1.1 Altered or damaged walls

- A. All altered or damaged walls of existing construction to be finished in 1/2" drywall or plaster as is most appropriate, in order to provide a smooth, plane, flat surface that blends evenly into adjacent surfaces.

Part 2 - Product (n/a)

Part 3 - Execution

3.1 Joints

- A. All joints to be taped and cemented so as to be smooth and ready for painting. Any irregularities apparent after priming to be corrected.

09550 - Wood Flooring

Part 1 - General

1.1 Adjacencies

- A. Flooring where window seat is removed to be finished so as to match adjacent floorings as closely as possible.

09900 - Paint

Part 1 - General

1.1 Drywall and Plaster

- A. All drywall and plaster surfaces in room affected by this work are to be painted with interior latex flat wall paint.
- B. All interior trim and interior wood surfaces in dining room and of doors affected by this work are to be painted or stained to match existing trim.
- C. New exterior wood surfaces of doors and other new exterior wood trim, porch ceiling, railings columns rafter, to be painted with exterior semi-gloss paint.
- D. Deck shall be repainted or restained after power washing and prep.
- E. All paint colors to be those approved by Architect and Owner using Benjamin Moore paints of as many coats as needed for full and complete coverage over surfaces prepared and primed as suggested by paint manufacturer. Contractor to assume one wall color for each interior room, with one trim color, and to assume one color for exterior with one additional color for door.

Division 16 - Electrical

06050 - Basic

Part 1 - General

1.1 Extent

- A. Electrical Contractor to supply all labor, materials and equipment needed to properly install fixtures indicated on Drawings in the Electrical Schedule and described in the Specifications, with such circuits, additions to panel board, etc. as may be needed, and in a manner as required by all relevant codes to provide fully operating electrical system.

Part 2 - Product

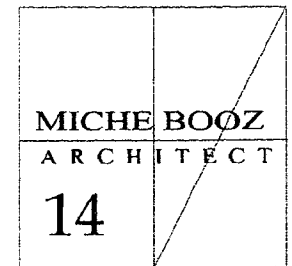
2.1 Wiring

- A. All wiring to be copper, installed so as to be concealed from view.

Part 3 - Execution

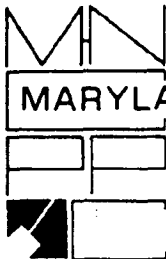
3.1 Cuts

- A. All holes, notches, cuts etc. made through and to structural members to be coordinated with General Contractor to prevent structural damage, and in any event not to be within 2" of top or of bottom of any joists or rafters.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



DATE: Nov. 12, 1997

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, <sup>DDZ</sup> Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

(1) The window in the bay shall be carefully removed & retained on site.

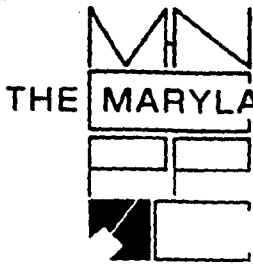
(2) The exterior trim for the new door opening shall match the existing trim on the house.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Susan - Jon Gerson

Address: 3808 Washington Street, Kensington, MD.

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6/26/97

MEMORANDUM

TO: Robert Hubbard, Acting Director  
Department of Permitting Services

FROM: <sup>POZ</sup> Gwen Wright, Historic Preservation Coordinator  
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 Approved with Conditions: \_\_\_\_\_

(1) DPS will review HPC stamped drawings only for building permit.

(2) applicant to provide detailed drawings to HPC for review/ approval prior to HPC staff stamping permit set.

(3) All new wood surfaces will be painted.

(4) New Construction shall approximate existing porch, with some differentiation.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Susan + Jon Gerson

Address: 3808 Washington Street, Kensington, MD. 20895

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.\*\*\*



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON \_\_\_\_\_  
 DAYTIME TELEPHONE NO. ( ) \_\_\_\_\_  
 TAX ACCOUNT # \_\_\_\_\_  
 NAME OF PROPERTY OWNER Susan and Jon Gerson DAYTIME TELEPHONE NO. (301) 949-0202  
 ADDRESS 3808 Washington Street Kensington MD 20895  
CITY STATE ZIP CODE  
 CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( ) \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 AGENT FOR OWNER \_\_\_\_\_ DAYTIME TELEPHONE NO. ( ) \_\_\_\_\_

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 3808 STREET Washington St Kensington MD  
 TOWN/CITY \_\_\_\_\_ NEAREST CROSS STREET Connecticut Ave  
 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_  
 LIBER \_\_\_\_\_ FOLD \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 6,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent \_\_\_\_\_ Date 6/4/97

APPROVED X W/CONDITIONS For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 6/26/97

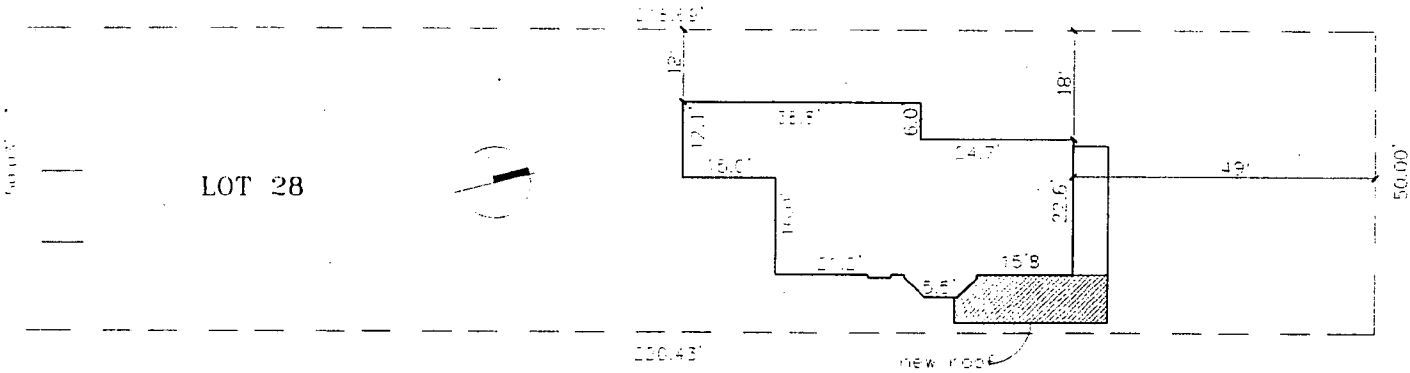
APPLICATION/PERMIT NO: 9706050005 DATE FILED: 6-5-97 DATE ISSUED: \_\_\_\_\_


**SEE REVERSE SIDE FOR INSTRUCTIONS**

LOT 29

LOT 28

LOT 27



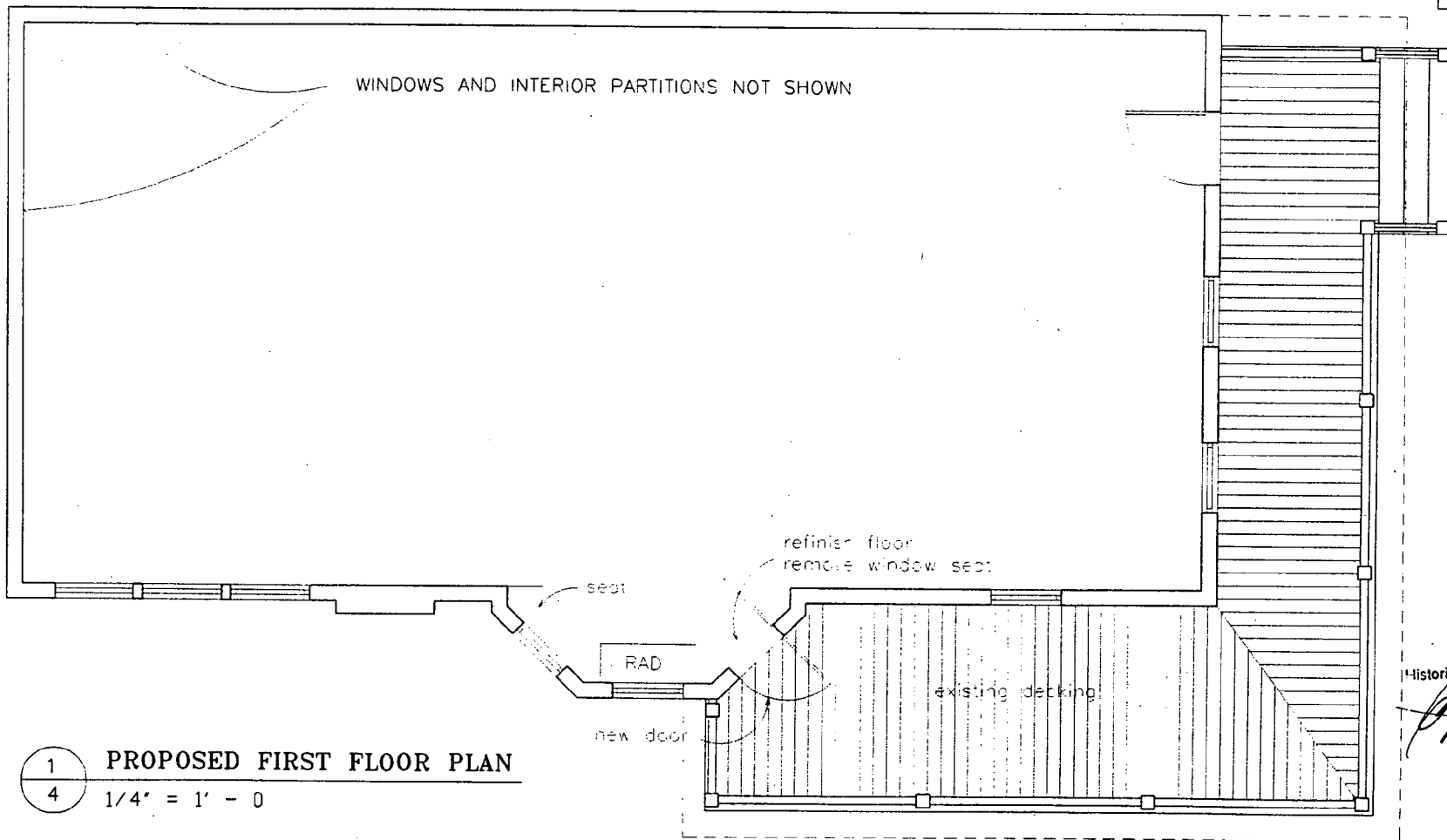

**SITE PLAN**  
 1/20" = 1' - 0

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/13/97

**G E R S O N P O R C H**  
 O C T O B E R 2 4 , 1 9 9 7

MICHE	BOOZ
ARCHITECT	

MICHE	BOOZ
ARCHITECT	
4	

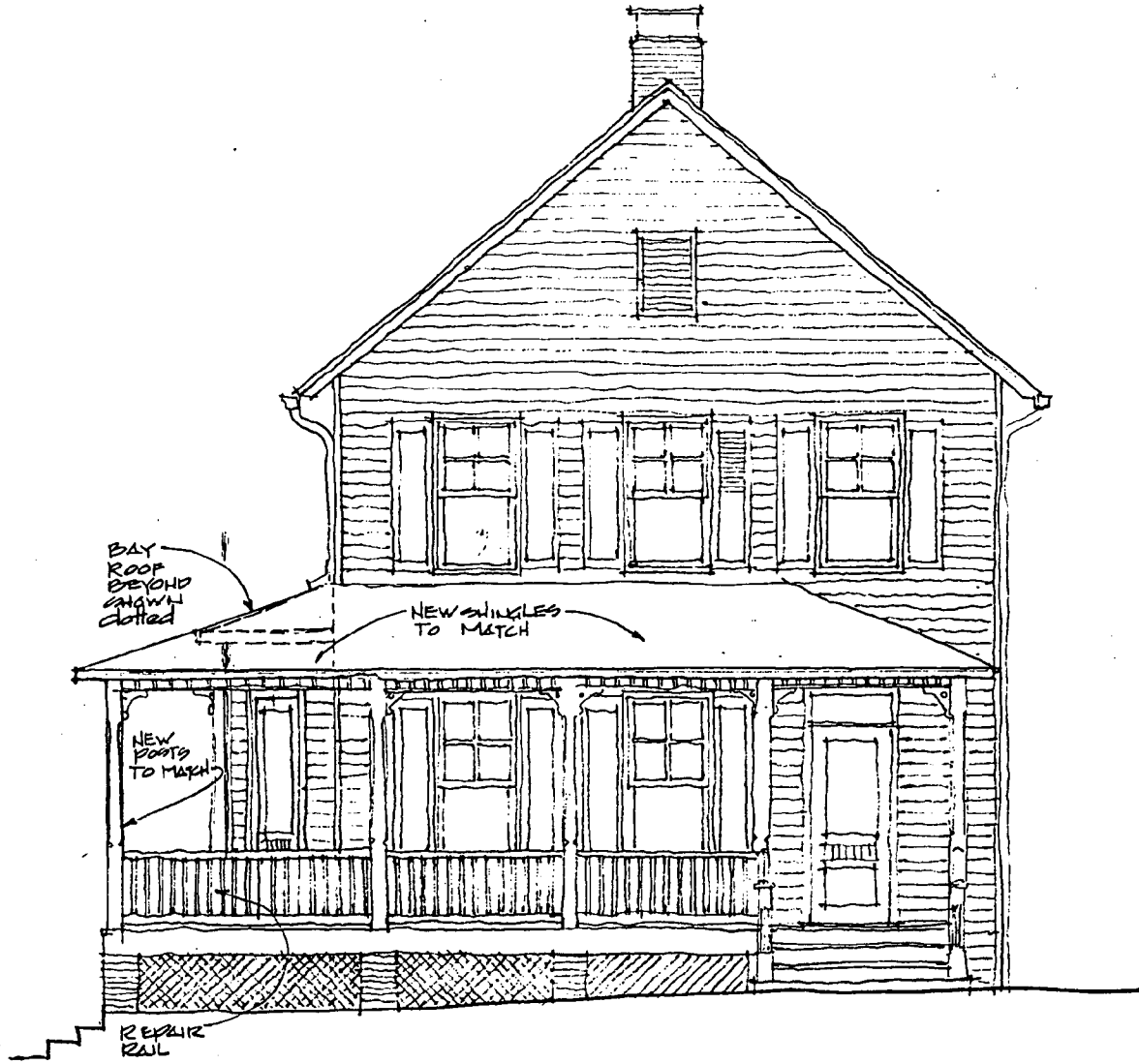


1 PROPOSED FIRST FLOOR PLAN  
4 1/4" = 1' - 0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 3/26/13

MICHE	BOOZ
ARCHITECT	
5	



Proposed front Elevation

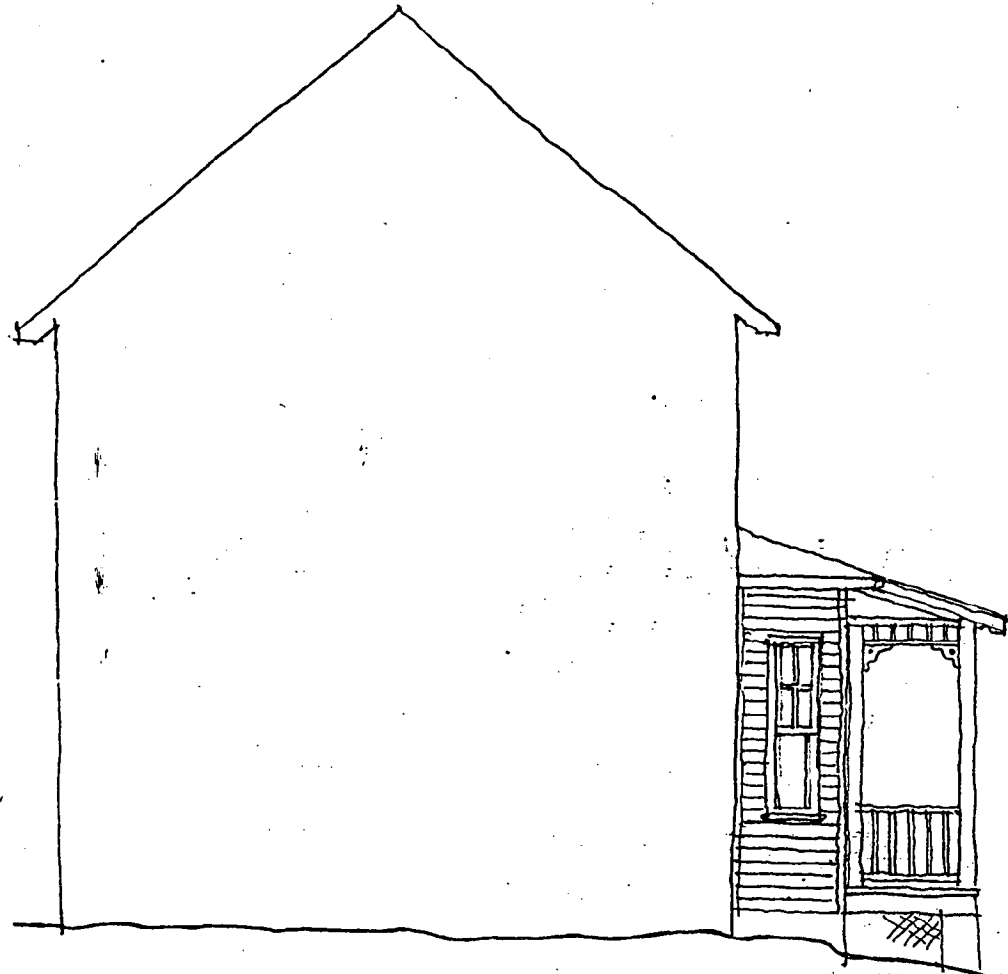
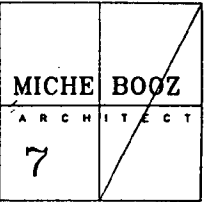
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 2/13/97

MICHE	BOOZ
ARCHITECT	
6	



proposed side Elevation

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 2/26 4/13/97



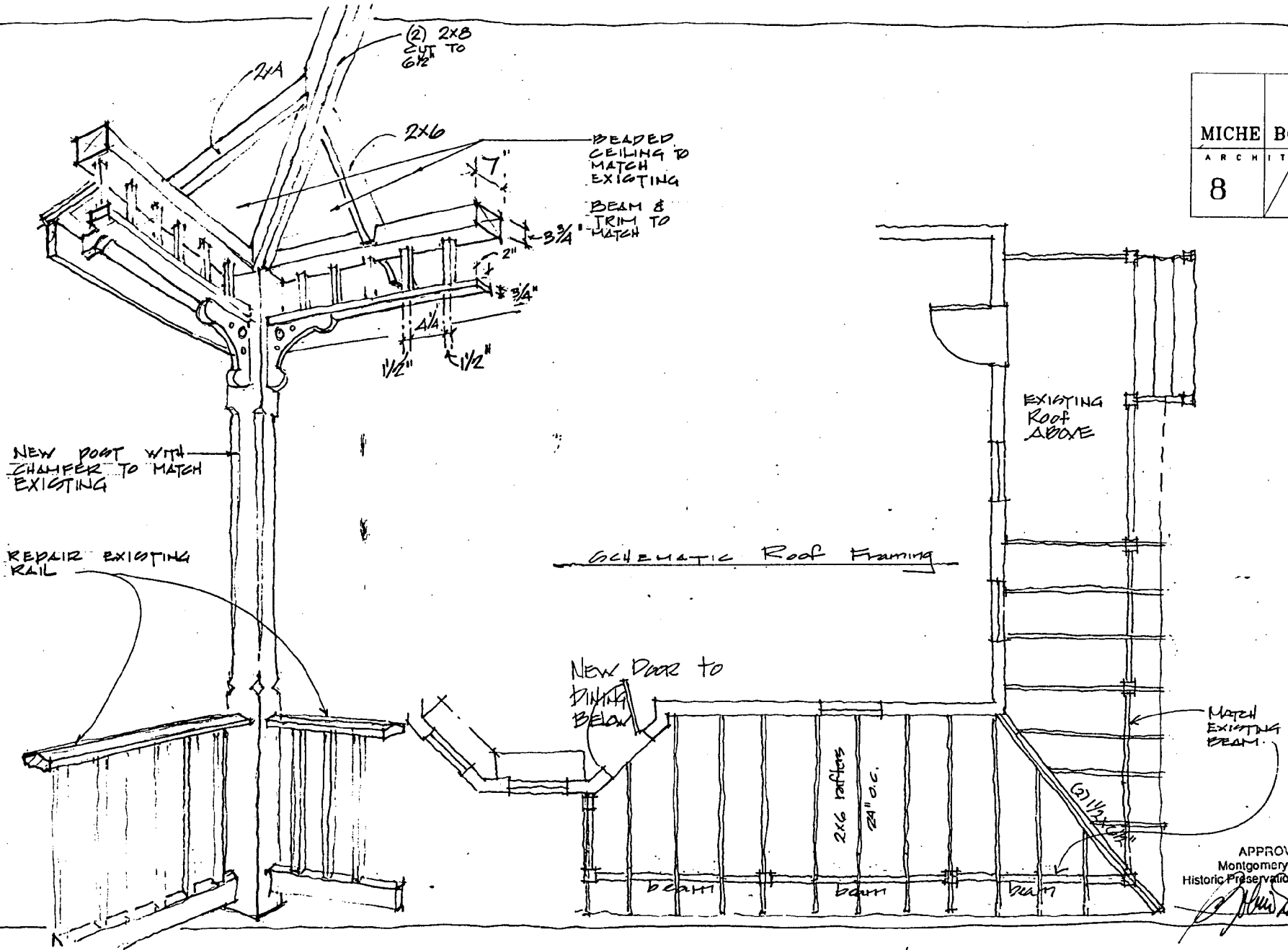
APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
7/13/97

PROPOSED REAR PORCH & BAY ELEVATION



MICHE	BOOZ
ARCHITECT	
8	



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3808 Washington Street

Meeting Date: 11/12/97

Resource: Kensington Historic District

Review: HAWP

Case Number: 31/6-97F CONTINUED

Tax Credit: Partial

Public Notice: 10/29/97

Report Date: 11/5/97

Applicant: Susan & Jon Gerson

Staff: Robin D. Ziek

PROPOSAL: Alter front porch

RECOMMENDATIONS: **APPROVAL  
W/CONDITIONS**

---

PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Queen Anne with front gabled roof

DATE: 1880-1910

This proposal was before the HPC on 6/25/97. At that time, the HPC approved the application **in concept**, with the following conditions:

- 1) DPS must review HPC stamped drawings prior to issuance of a building permit.
- 2) Applicant to provide detailed drawings to HPC for review/approval prior to HPC staff stamping permit set.
- 3) All new wood surfaces will be painted.
- 4) New construction shall approximate existing porch, with some differentiation.

The applicant is now providing developed drawings for HPC consideration which incorporate the above conditions. In addition, the applicant proposes to replace a window in the side bay with a door to the porch.

PROPOSAL

The applicant has provided detailed drawings on the approved new porch roof/construction. One of the issues which was discussed by the HPC was the need to differentiate the new construction in some way from the existing front porch. In the proposed project, the new rafter

system will have a greater depth (5-1/2") than the existing rafter structure (3-1/2"). Other than that, the new columns will match the original. The existing brackets and the ladder trim detail between columns will be replicated. The segment of ladder trim which is currently at the left side of the porch will be moved and reused as a return at the back of the porch, where it joins the bay window. The existing railing will be reused, and the flooring will remain.

The only change in the application is the additional request for the replacement of one window in the bay, with a door of the same width as the window. (See Circle .) The new door will be a half-light wood door, with raised panels in the lower half, to match the style of the front door. The new 1/2 light panel will be insulated glass.

### **STAFF DISCUSSION**

Staff feels that the proposed design development is consistent with the concept as approved by the HPC. The replacement of the one bay window with a door of the same width is a minor modification to the house, and is consistent with the general design of a wrap-around porch, where the porch leads to a side entrance. The proposed materials are consistent with the resource and complement the historic district.

The windows in the house are 4/1, and the window in the bay appears to be original to the house. As the 4/1 configuration is not that common, staff is concerned with the potential loss of this original window. Perhaps in the future, there may be a need for a replacement window, or a wish for another window at some other location. Staff would suggest that the window be carefully removed and retained on site, perhaps in attic storage if possible. The other alternative is to donate the window to Old House Parts for reuse at some other historic site.

With the alteration of the window opening to a door opening, there will be some alteration to the framing of the opening, and the need for additional trim on the interior and exterior. Staff notes that the trim at the head of the opening could be retained, and the trim down the sides of the opening could replicate the existing trim. This will minimize the disturbance of the resource, while still permitting the proposed alterations.

### **STAFF RECOMMENDATION**

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

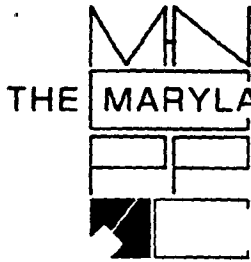
and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**CONDITIONS:**

1. The window in the bay be removed carefully and retained on site.
2. The exterior trim for the new door opening should match the existing trim on the house.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6/26/97

MEMORANDUM

TO: Robert Hubbard, Acting Director  
Department of Permitting Services

FROM: <sup>RW</sup>Gwen Wright, Historic Preservation Coordinator  
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 Approved with Conditions: \_\_\_\_\_

(1) DPS will review HPC stamped drawings only for building permit.

↓  
SEE  
ATTACHED  
↑

(2) applicant to provide detailed drawings to HPC for review/ approval prior to HPC staff stamping permit set.

(3) All new wood surfaces will be painted.

(4) New Construction shall approximate existing porch with some differentiation.

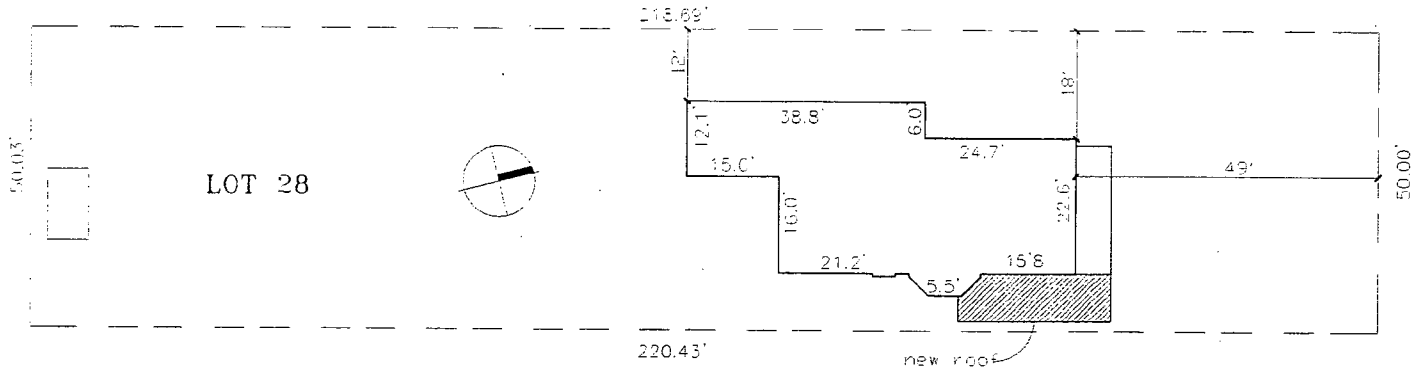
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Susan + Jon Gerson

Address: 3808 Washington Street, Kensington, MD. 20895


\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.\*\*\*

LOT 29



LOT 28

LOT 27


**SITE PLAN**  
 1/20" = 1' - 0

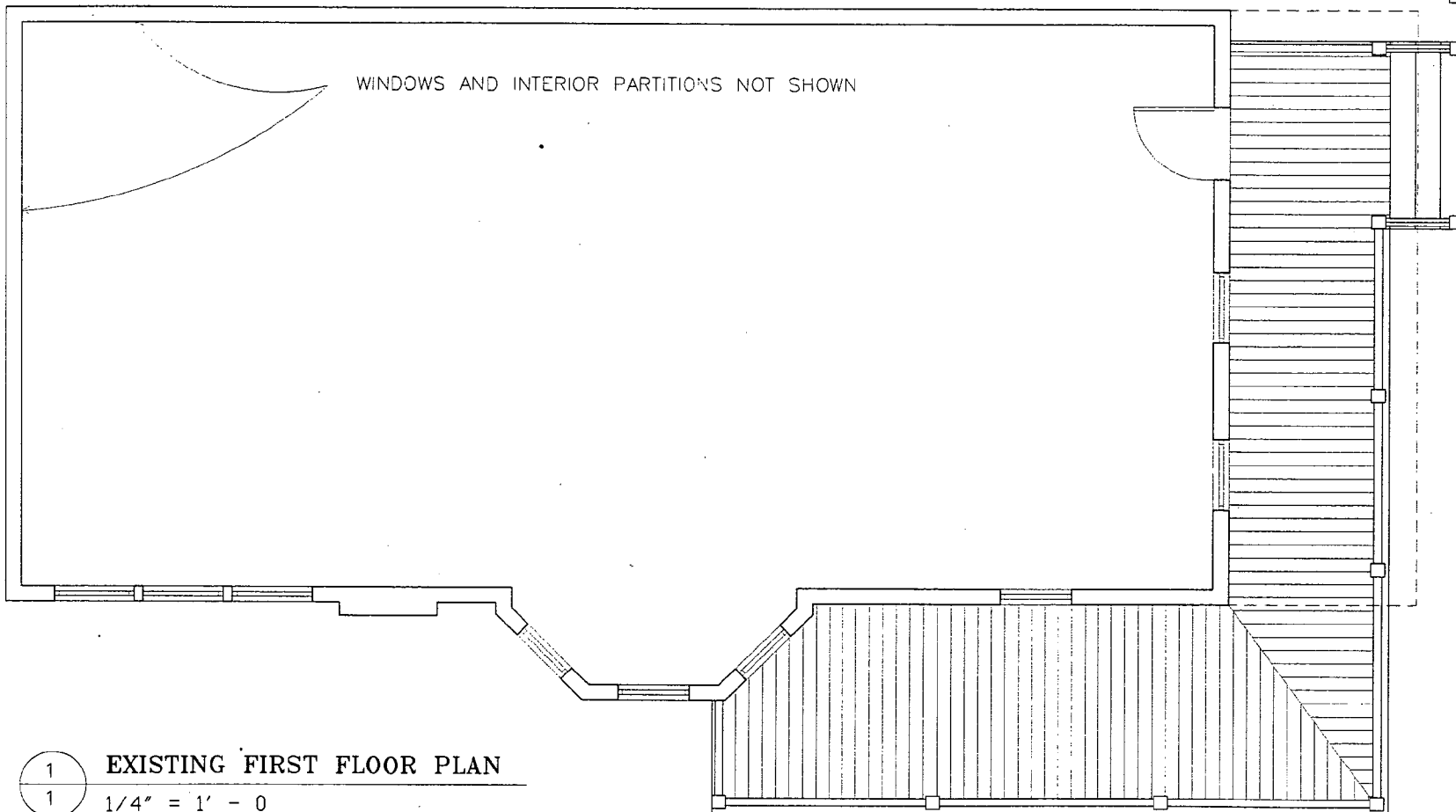
G E R S O N P O R C H

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MICHE	BOOZ
ARCHITECT	

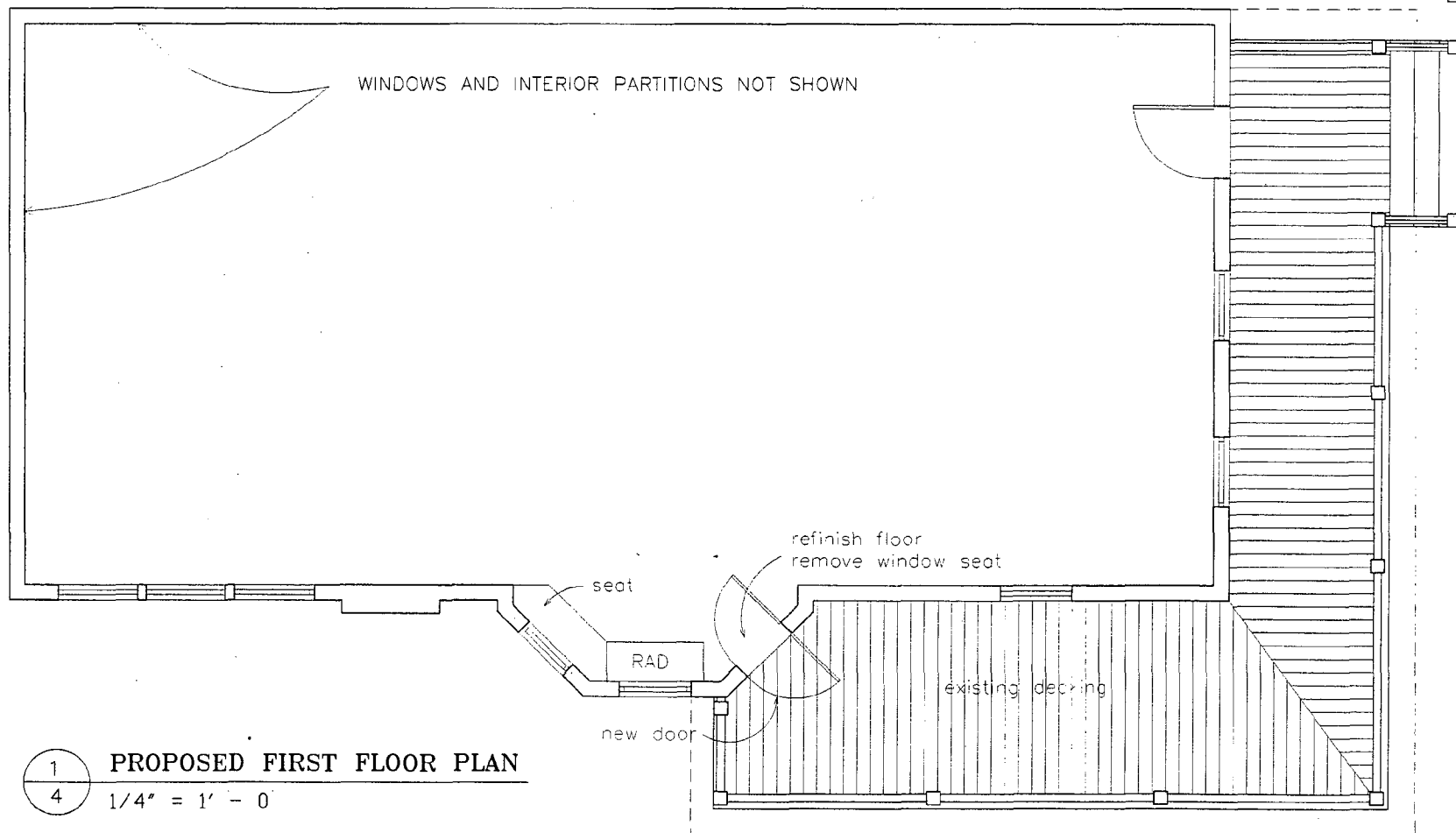
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MICHE	BOOZ
ARCHITECT	
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1 EXISTING FIRST FLOOR PLAN  
1 1/4" = 1' - 0

69

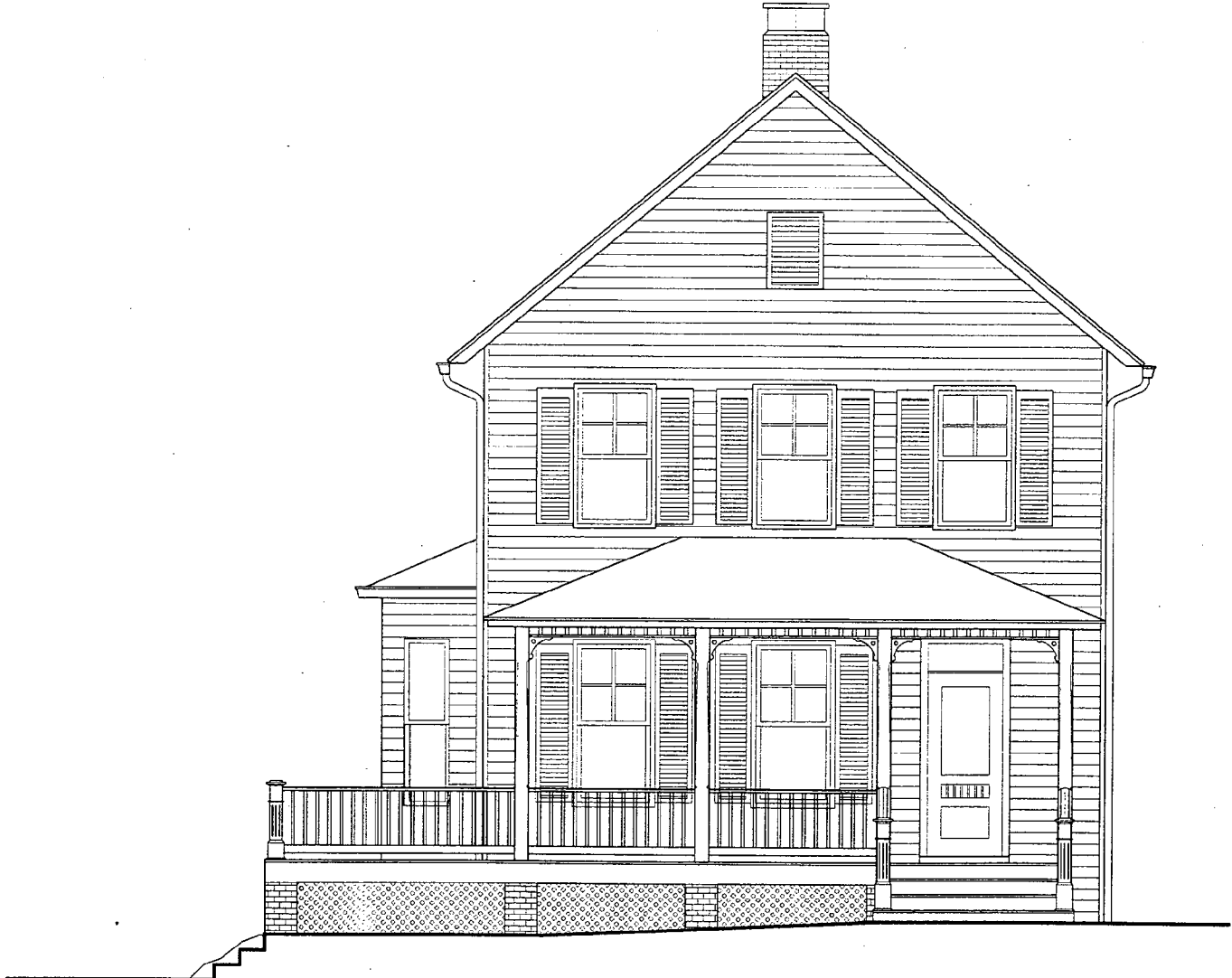


1 PROPOSED FIRST FLOOR PLAN  
4 1/4" = 1' - 0"

7



MICHE BOOZ	
ARCHITECT	
2	

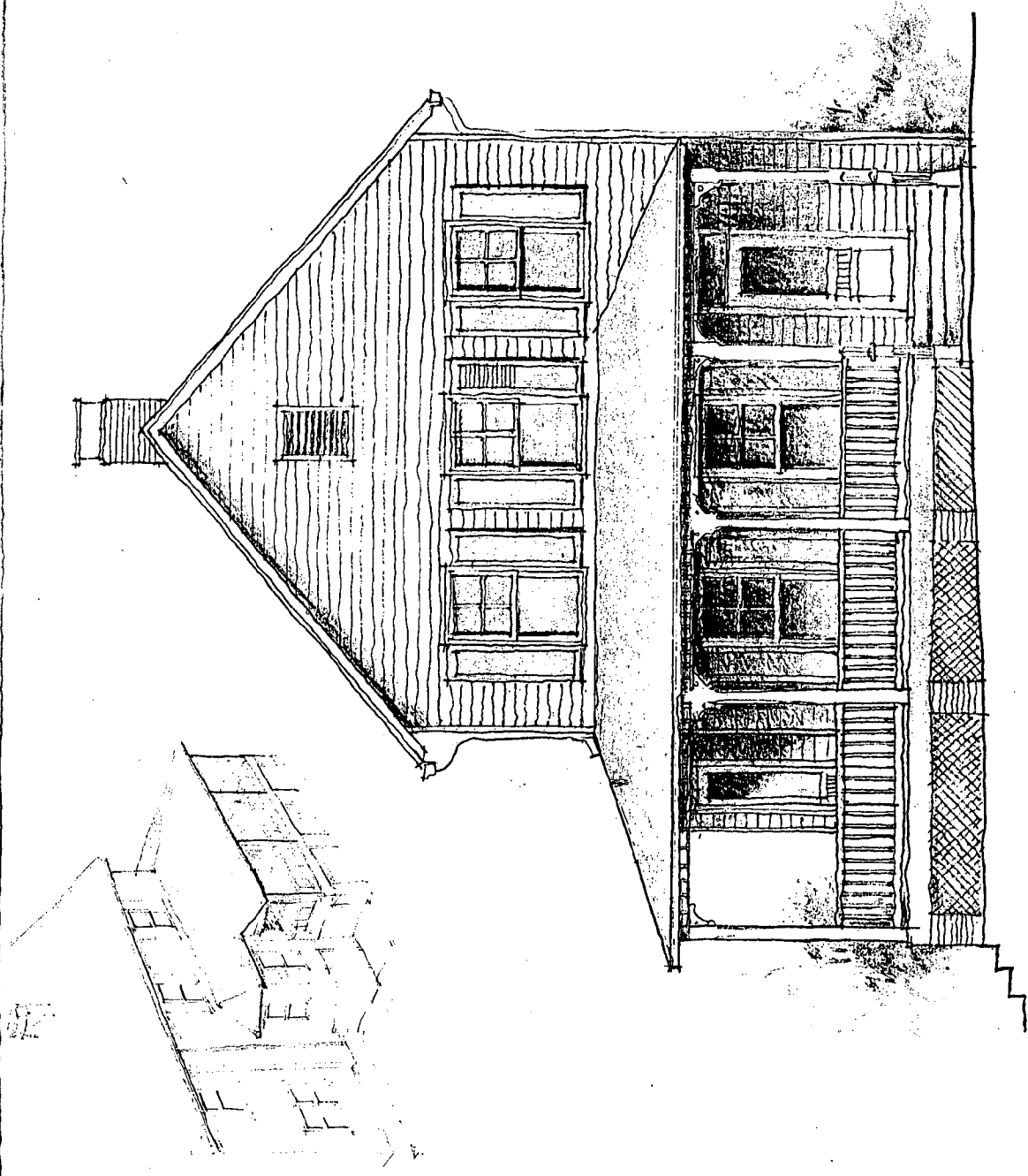


1 EXISTING FRONT ELEVATION  
2 1/4" = 1' - 0

8



Proposed front Elevation



Proposed Front Elevation

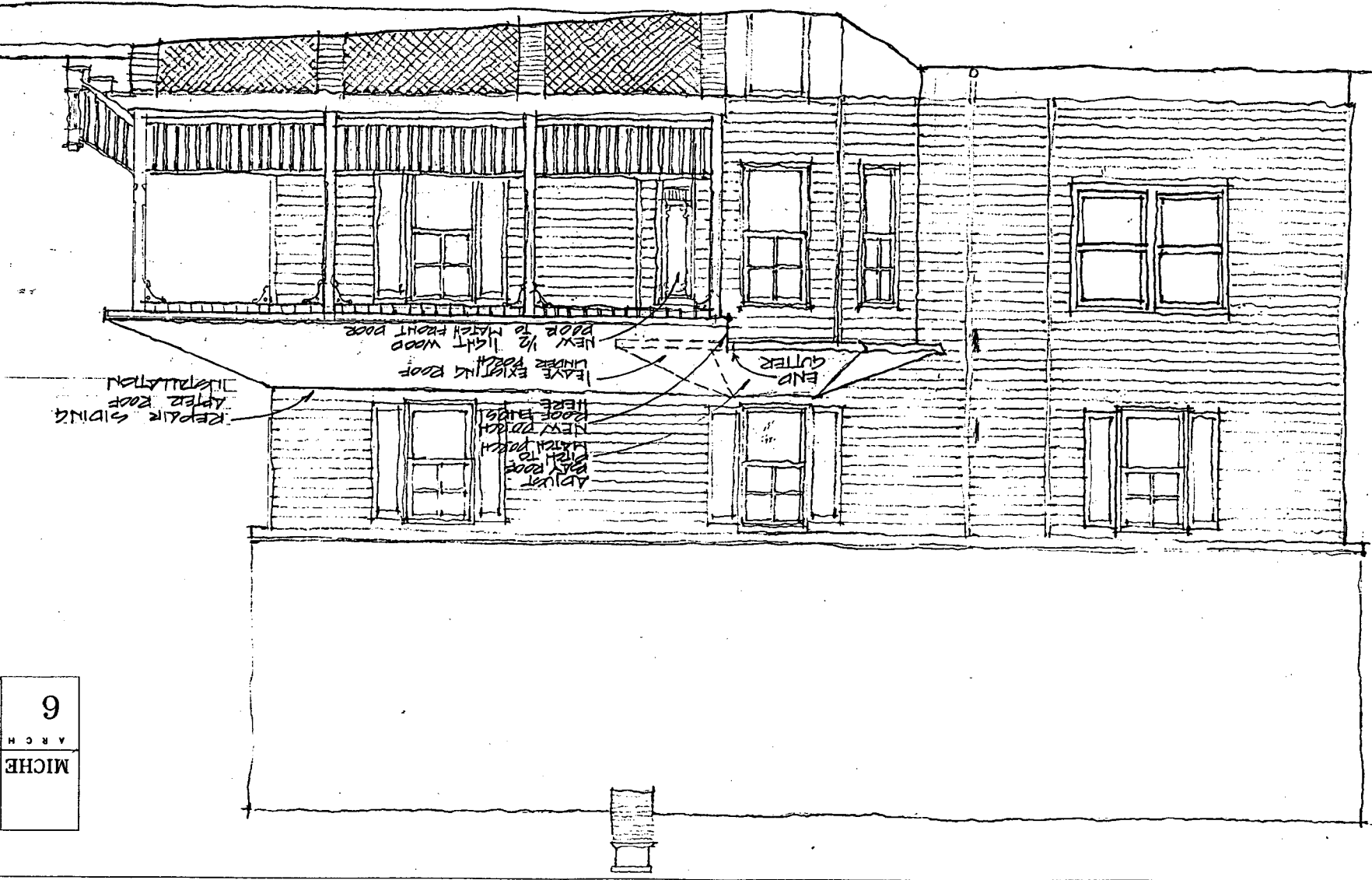
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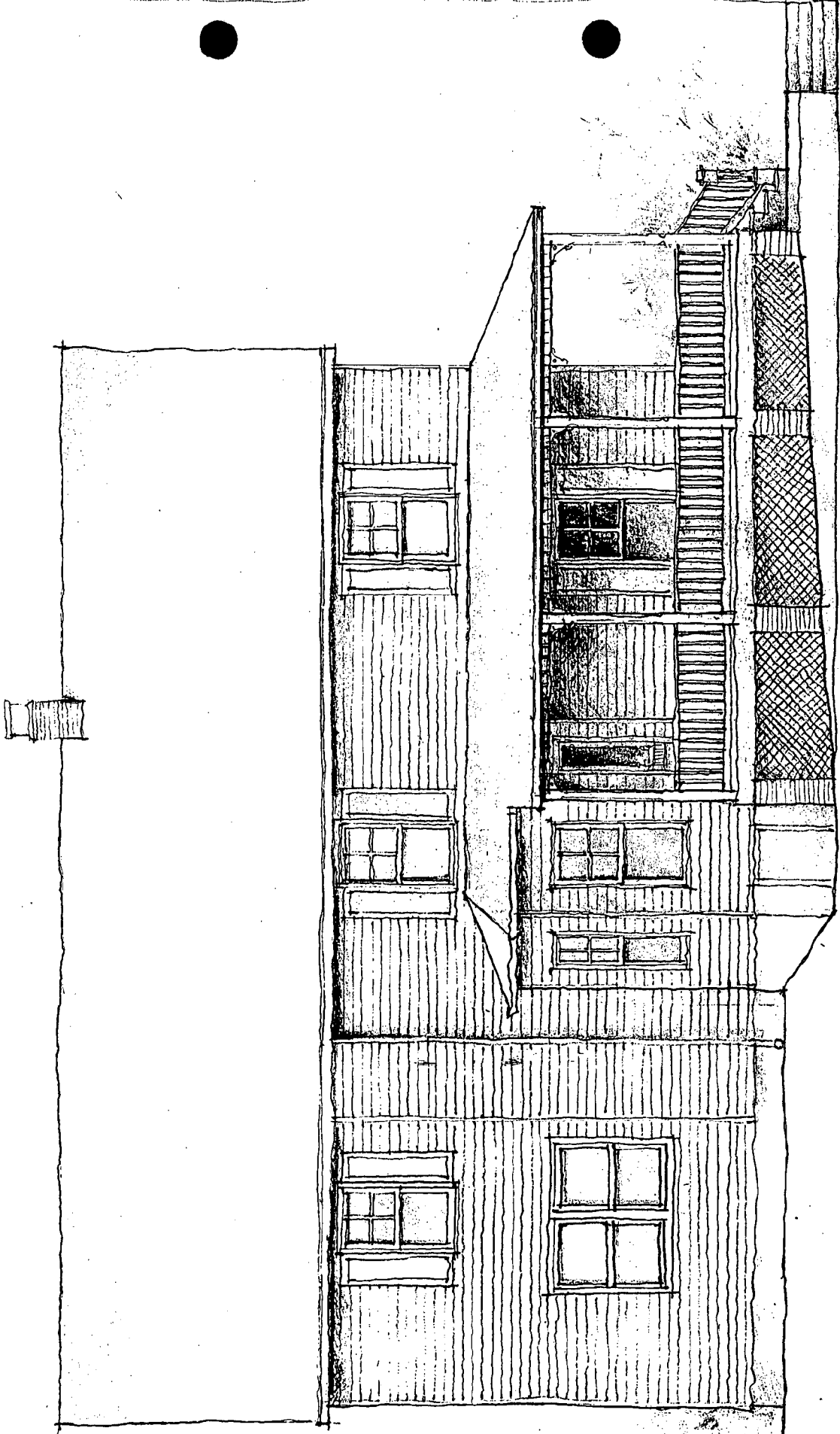
1  
3 EXISTING SIDE ELEVATION  
1/4" = 1' - 0

11

Proposed side Elevation

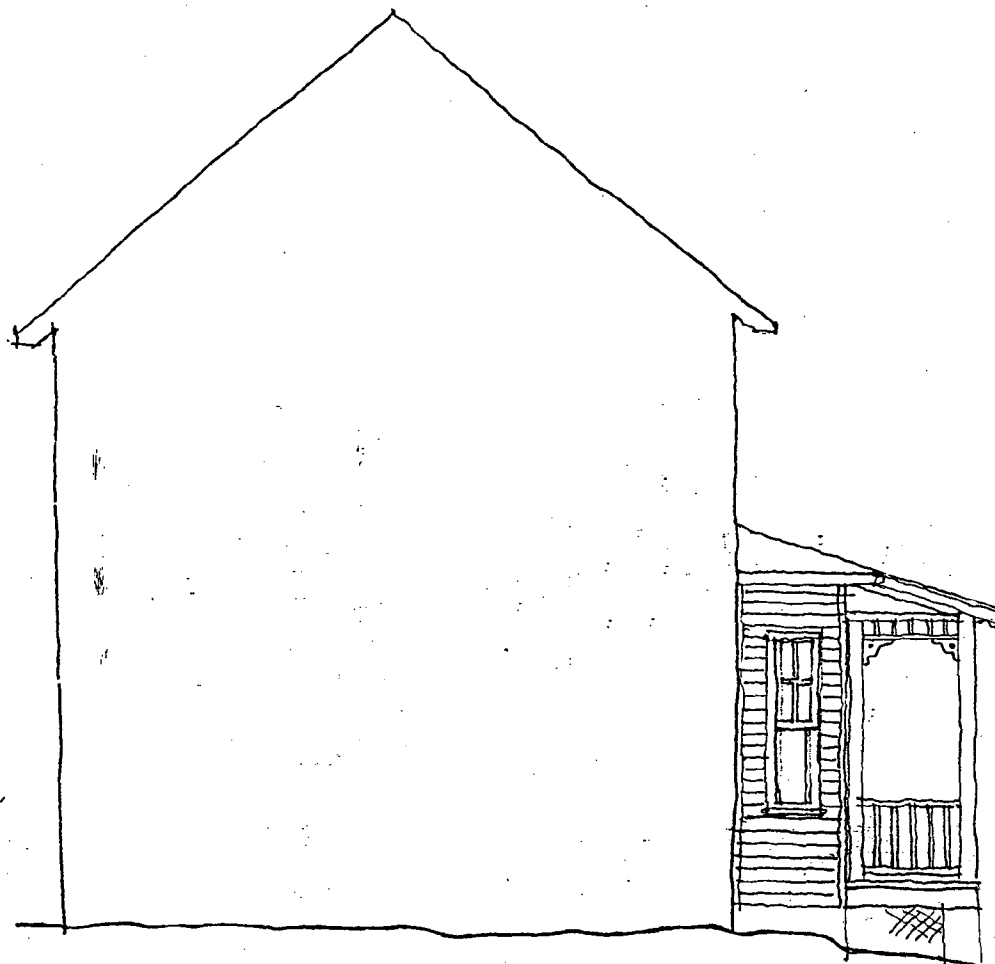


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ARCHITECT	
MICHE BOOZ	

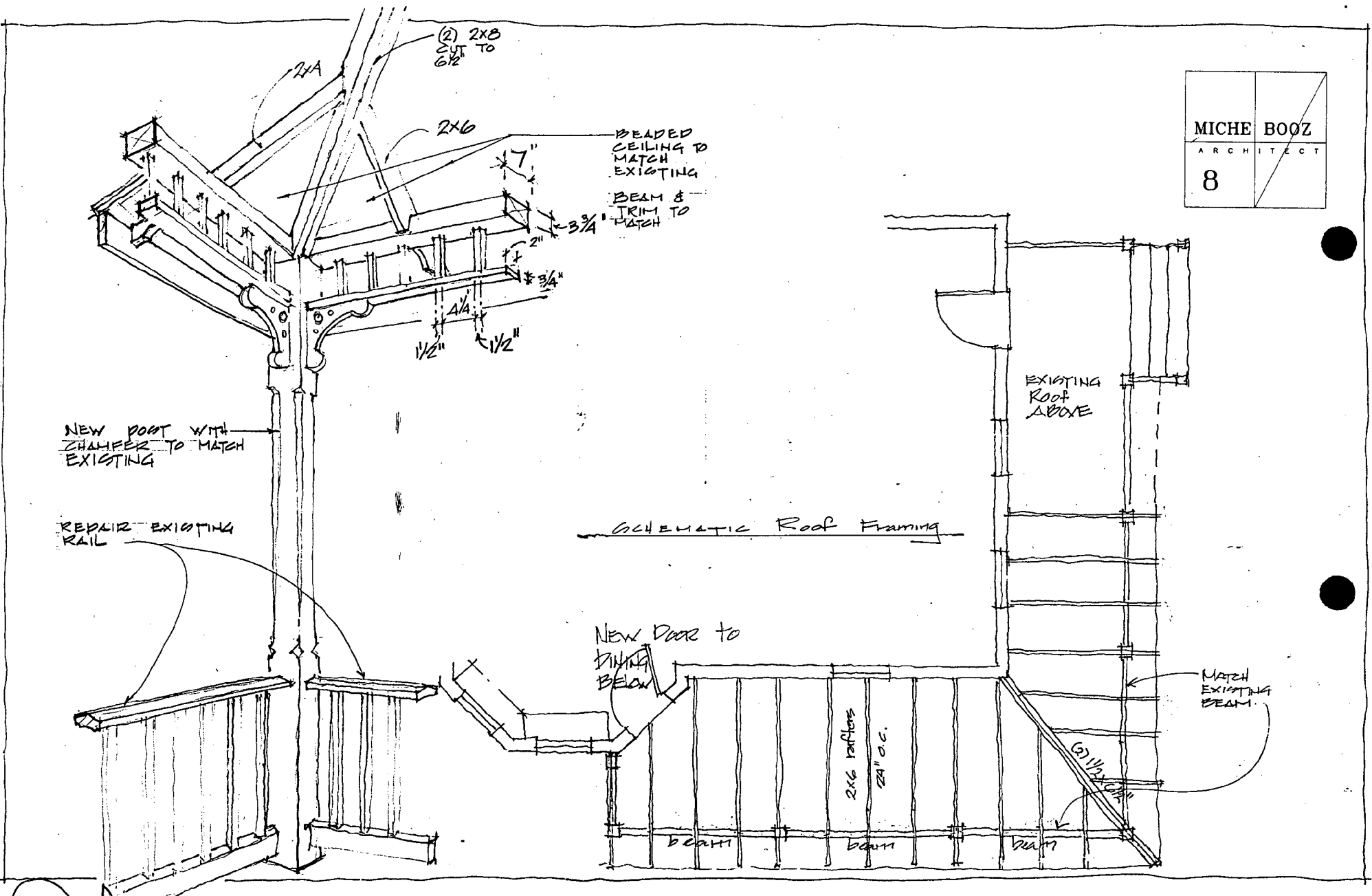


Proposed side Elevation

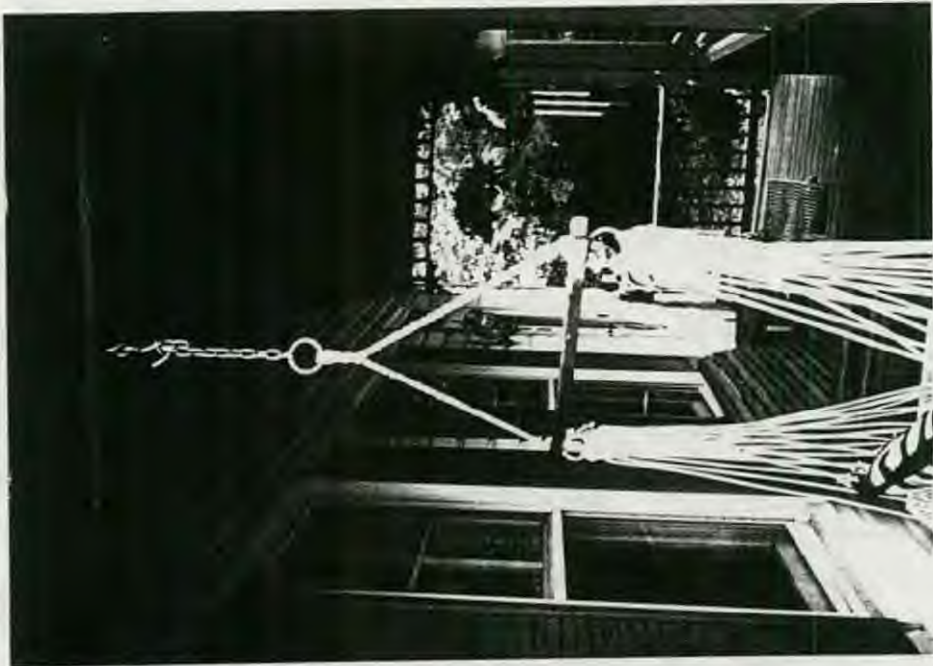
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PROPOSED REAR PORCH & BAY ELEVATION







GERSON

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17

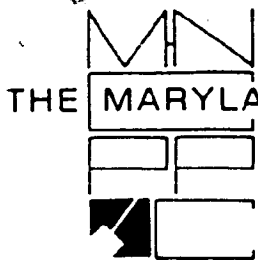


81

PERSON







THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6/26/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus *GM* Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

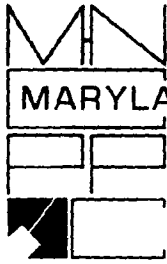
*\** When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

*# Detailed drawings to be reviewed/approved by HPC prior to HPC staff stamping permit set.*



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6/26/97

MEMORANDUM

TO: Robert Hubbard, Acting Director  
Department of Permitting Services

FROM: Gwen Wright, <sup>RDW</sup> Historic Preservation Coordinator  
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 Approved with Conditions: \_\_\_\_\_

- (1) DPS will review HPC stamped drawings only for building permit.
- (2) Applicant to provide detailed drawings to HPC for review/ approval prior to HPC staff stamping permit set.
- (3) All new wood surfaces will be painted.
- (4) New Construction shall approximate existing porch, with some differentiation.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Susan + Jon Gerson

Address: 3808 Washington Street, Kensington, MD. 20895

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.\*\*\*



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON \_\_\_\_\_  
 DAYTIME TELEPHONE NO. ( ) \_\_\_\_\_  
 TAX ACCOUNT # \_\_\_\_\_  
 NAME OF PROPERTY OWNER Susan and Jon Gerson DAYTIME TELEPHONE NO. (301) 949-0202  
 ADDRESS 3808 Washington Street Kensington MD 20895  
CITY STATE ZIP CODE  
 CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( ) \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 AGENT FOR OWNER \_\_\_\_\_ DAYTIME TELEPHONE NO. ( ) \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**  
 HOUSE NUMBER 3808 STREET Washington St Kensington MD  
 TOWN/CITY \_\_\_\_\_ NEAREST CROSS STREET Connecticut Ave  
 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 6,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

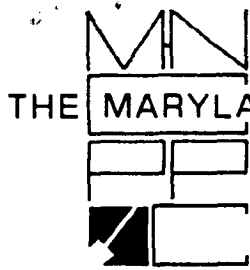
Signature of owner or authorized agent \_\_\_\_\_ Date 6/4/97

APPROVED  W/CONDITIONS For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 6/26/97

APPLICATION/PERMIT NO: 9706050065 DATE FILED: 6-5-97 DATE ISSUED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS  
 2116-97 F





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE:

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

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The Historic Preservation Commission reviewed this project on 6/25/97.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 495-4570.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

the house currently has <sup>rotted</sup> ~~approach~~ access to front of it and ~~the porch~~ <sup>the porch</sup> deck  
continues around the side without a roof

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The side railing has rotted away. We would like to replace the railing and extend the front roof to cover the side porch so that the railing will not continue needing replacement every few years.

**2. SITE PLAN** Completed new porch railing will be painted to match existing railings.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3808 Washington Street

Meeting Date: 6/25/97

Resource: Kensington Historic District

Review: HAWP

Case Number: 31/6-97F

Tax Credit: Partial

Public Notice: 6/11/97

Report Date: 6/18/97

Applicant: Susan & Jon Gerson

Staff: Robin D. Ziek

PROPOSAL: Alter front porch

RECOMMENDATIONS:  
APPROVAL w/CONDITIONS

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### PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Queen Anne with front gabled roof

DATE: 1880-1910

The existing house is a 2-1/2 story wood frame house. The front porch currently has a hipped roof across the full width of the house. The floor of the porch, however, wraps around the side of the house to a bay window. (See Circle 6 ). The railing of this unroofed area is rotted due to lack of weather protection. In addition, the railing on the front of the house is different from the railing for the side porch extension.

### PROJECT PROPOSAL

The owner proposes to extend the existing porch roof around the side of the house, to complete a wrap-around porch. The existing footprint will remain unchanged. The porch railing along the side of the house will be replaced with a railing to match the existing railing on the front of the house. The new railing will be painted to match the existing front porch railing. The new side porch columns will match the existing front porch columns, and the new porch roof will match the existing porch roof.

### STAFF COMMENTS

This proposal is consistent with the style of the house. While not as exuberant as the full-blown Queen Anne style, the Victorian Vernacular is also characterized by eccentric massing and singular features rather than symmetrical design. In this style, the wrap-around porch is a typical feature. Staff notes that there appears to be some discrepancy between the width of the existing

front porch and the existing deck, which could be problematic in terms of connecting the two roof sections. This should be worked out in some detail before submitting drawings to DPS. Staff notes that the new construction will not be eligible for tax credits, but any work to the existing porch structure would probably be eligible.

### STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### CONDITIONS:

1. Before the HAWP is transmitted to DPS, the applicant will provide for staff review detailed drawings of the proposed porch, including specifications for the porch columns, the porch ceiling, the porch floor, and the porch railing, as well as roof details.

2. All new wood surfaces will be painted.

3. Applicant bring detailed drawings to HPC for review + approval prior to stamping permit set.  
and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Guidance: <sup>new</sup> Porch shall approximate the existing porch columns + trim, but shall be differentiated to some degree.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON \_\_\_\_\_  
 DAYTIME TELEPHONE NO. \_\_\_\_\_

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Susan and Jon Gerson DAYTIME TELEPHONE NO. (301) 949-0202

ADDRESS 3808 Washington Street Kensington MD 20895  
CITY STATE ZIP CODE

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

AGENT FOR OWNER \_\_\_\_\_ DAYTIME TELEPHONE NO. \_\_\_\_\_

LOCATION OF BUILDING/PREMISE \_\_\_\_\_

HOUSE NUMBER 3808 STREET Washington Street Kensington MD.

TOWN/CITY \_\_\_\_\_ NEAREST CROSS STREET Connecticut Ave.

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE:  A/C  Slab  Room Addition
- Construct  Extend  Alter/Renovate  Repair  Move  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove
- Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_
- 1B. CONSTRUCTION COST ESTIMATE \$ 6,000
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_
- 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/assessment \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent \_\_\_\_\_ Date 6/4/97

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

continues the house currently has <sup>rotted</sup> ~~approach~~ access the front of it and ~~supports~~ <sup>the porch deck</sup> around the side without a roof

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The side railing has rotted away. We would like to replace the railing and extend the front roof to cover the side porch so that the railing will not continue needing replacement every few years.

**2. SITE PLAN**

Completed new porch railing will be painted to match existing railings. All new construction will match the existing in materials & design.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

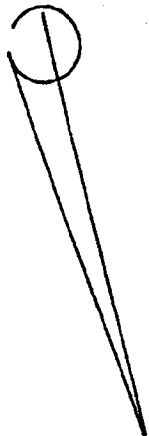
**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

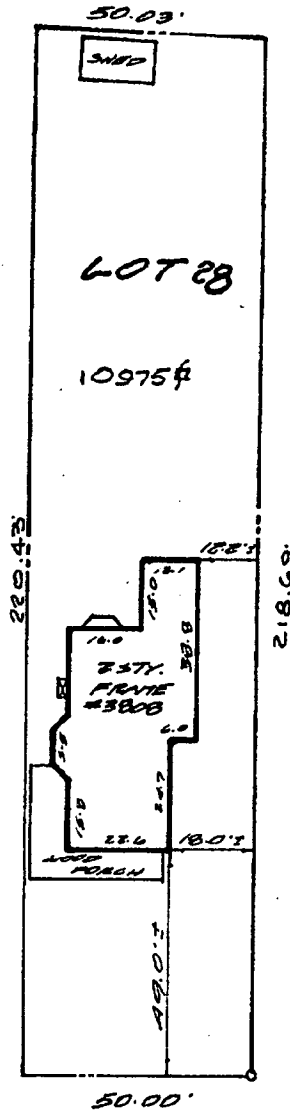
list of adjacent property owners:

next door -	3810	Washington St	Mr & Mrs. Salamat
next door -	3806	Washington St	Mark & Samantha Leaning
across the street:	3805	Calvert Place	Mr. <del>Gregor</del> Snyder (he is currently living in Florida & plans to put his house up for sale this month.)
across the street -	3803	Calvert Place	Mr & Mrs. Kaplan



27

29



NOTE:  
 PROPERTY PREPARED  
 MODERN DAY ZONING

LOT 28 BLOCK 13  
 KENSINGTON PARK

WASHINGTON STREET

### Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

1.21.94  
 Date

*Stephen J. Wenthold*  
 Stephen J. Wenthold  
 Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED



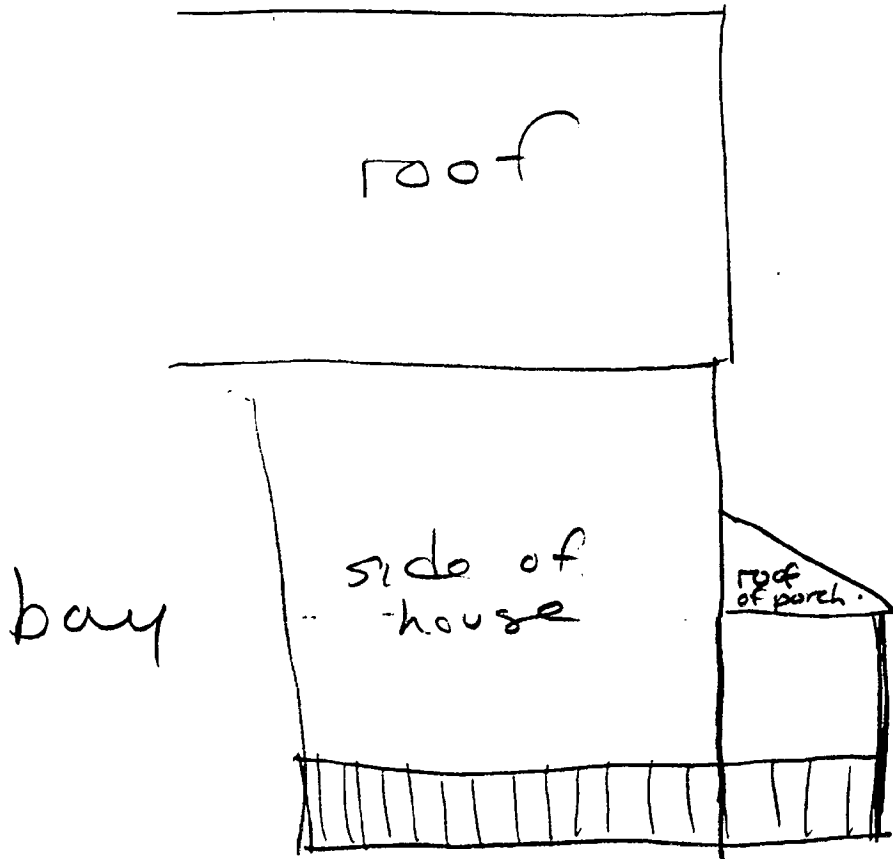
Meridian Surveys, Inc.  
 2401 Research Boulevard  
 Suite 380  
 Rockville MD. 20850  
 (301) 840-0025

Scale: 1" = 40'  
 Plat Book: B  
 Plat No.: 4  
 Work Order: 94-0281  
 Rev. 22.94

Property  
 Address: 3900 WASHINGTON STREET  
 Election Districts #: 13  
 Jurisdiction: MONTGOMERY COUNTY, MD.

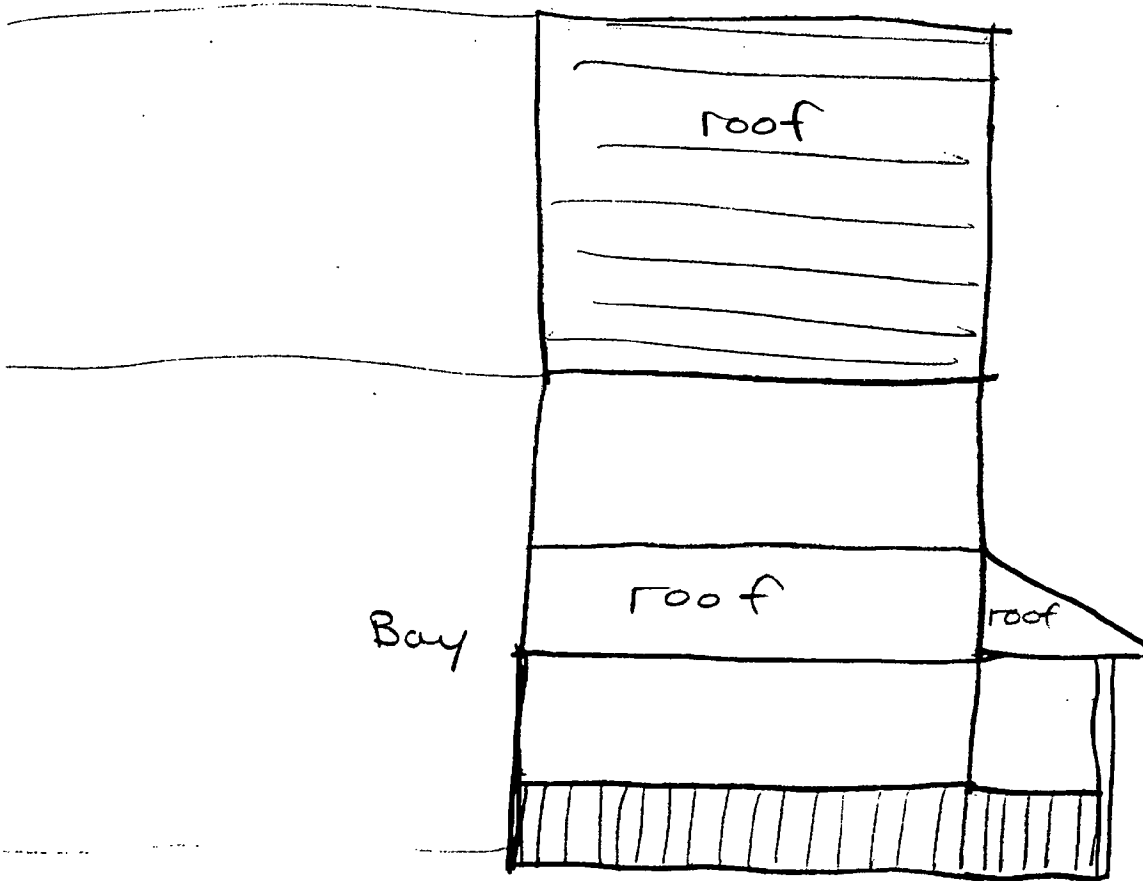
6





Side currently.

**EXISTING**



Side with new roof,

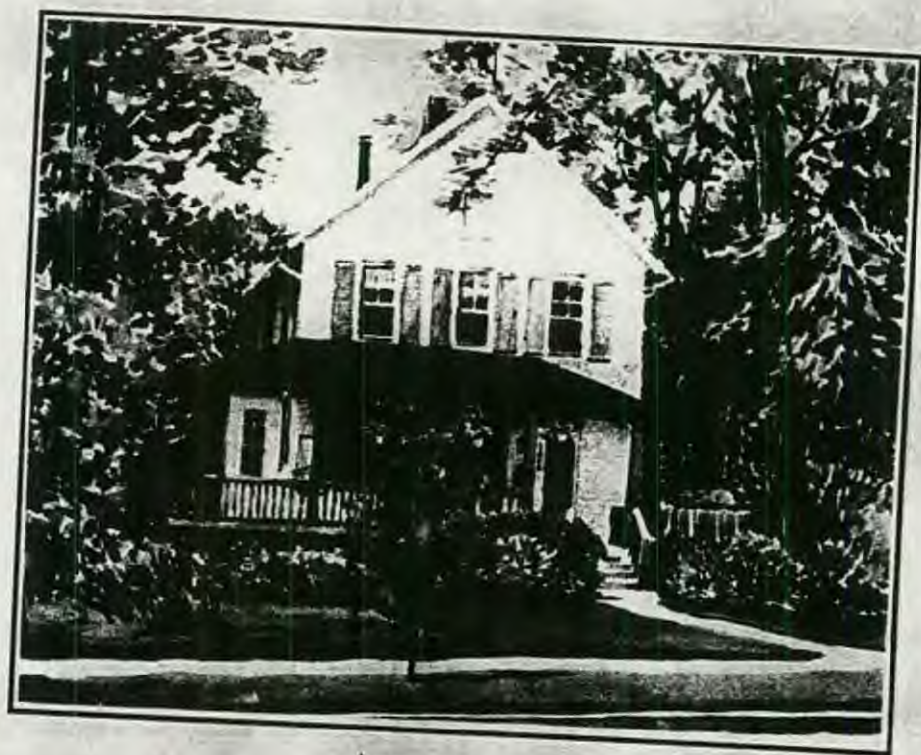
**PROPOSED**



front of house currently  
(professional pen sketch)

EXISTING

9



front view with  
new roof,

**PROPOSED**



Side View

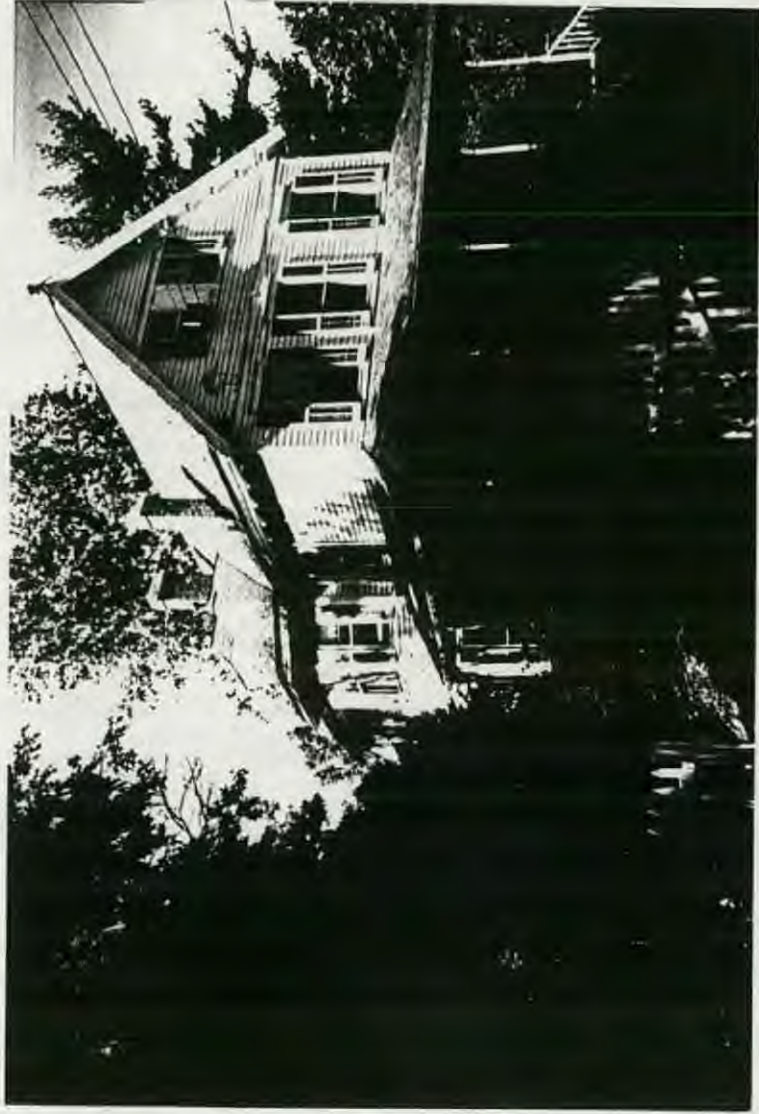
3808 Washington St



Front View



3808 Washington St



Similar house w/ porch  
roof extended to side



Similar Side / Front  
Porch Treatments



front porch and the existing deck, which could be problematic in terms of connecting the two roof sections. This should be worked out in some detail before submitting drawings to DPS. Staff notes that the new construction will not be eligible for tax credits, but any work to the existing porch structure would probably be eligible.

**STAFF RECOMMENDATION**

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**CONDITIONS:**

1. Before the HAWP is transmitted to DPS, the applicant will provide for staff review detailed drawings of the proposed porch, including specifications for the porch columns, the porch ceiling, the porch floor, and the porch railing, as well as roof details.
2. All new wood surfaces will be painted.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Anne Barsh remembers it being taken off (at 70+) - she's 90 now.  
Mr. Thompson did the work himself. - No permits - done in the 50's.

~~HBST~~ HBST Soc - Concern of extending masonry to the lot line!  
House shouldn't be too large for the lot.

Over says new porch might help reduce way new house impinges on old house. Let old house get more masonry to stand up to new house.

Emily - Duplicate, with slight differentiation  
front work -

Martha - we want more info. This should be a Preliminary Consult. (2)  
Should differentiate a little, slight.

David - Support

Susan - Duplicate

Steve - agree - Duplicate



Meet

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3808 Washington Street

Meeting Date: 6/25/97

Resource: Kensington Historic District

Review: HAWP

Case Number: 31/6-97F

Tax Credit: Partial

Public Notice: 6/11/97

Report Date: 6/18/97

Applicant: Susan & Jon Gerson

Staff: Robin D. Ziek

PROPOSAL: Alter front porch

RECOMMENDATIONS:  
APPROVAL w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Primary Resource

STYLE: Vernacular Queen Anne with front gabled roof

DATE: 1880-1910

The existing house is a 2-1/2 story wood frame house. The front porch currently has a hipped roof across the full width of the house. The floor of the porch, however, wraps around the side of the house to a bay window. (See Circle 6 ). The railing of this unroofed area is rotted due to lack of weather protection. In addition, the railing on the front of the house is different from the railing for the side porch extension.

PROJECT PROPOSAL

The owner proposes to extend the existing porch roof around the side of the house, to complete a wrap-around porch. The existing footprint will remain unchanged. The porch railing along the side of the house will be replaced with a railing to match the existing railing on the front of the house. The new railing will be painted to match the existing front porch railing. The new side porch columns will match the existing front porch columns, and the new porch roof will match the existing porch roof.

STAFF COMMENTS

This proposal is consistent with the style of the house. While not as exuberant as the full-blown Queen Anne style, the Victorian Vernacular is also characterized by eccentric massing and singular features rather than symmetrical design. In this style, the wrap-around porch is a typical feature. Staff notes that there appears to be some discrepancy between the width of the existing

(1)

## Memorandum

Date: June 21, 1997  
To: Montgomery County Historic Preservation Commission  
From: Kensington Local Advisory Panel  
Subject: Case Number 31/6-97F

The Kensington Local Advisory Panel (LAP) met this morning to review the Historic Area Work Permit Application HPC Case Number 31/6-97F to extend the existing porch roof around the side of the house to complete a wrap-around porch at 3808 Washington Street, a primary resource in the Kensington Historic District.

The majority of the LAP members were not opposed to extending the existing porch roof to cover the unroofed side porch. However, the LAP did ask that the HPC carefully consider several issues.

First, as submitted the HAWP does not provide detailed architectural drawings. This leaves the LAP to speculate on the width of the uncovered porch. From the plat, it appears that the front and side porch deck is continuous and may therefore have a common width. Yet, the plat does not indicate a covered wrap-around porch. The LAP members concur with staff that drawings should be submitted detailing the integration of the side and front roofs.

Several LAP members were concerned that the addition of a roof to the side porch would result in a wrap-around porch thus significantly changing this primary resource. To those LAP members, restoring a wrap-around porch is very different than adding a wrap-around porch. The Kensington Historic District is noted for a variety of Vernacular Queen Annes some of which have wrap-around porches while others have only front porches. These members believe that adding wrap-around porches to those that were built with only front porches endangers the integrity of the Kensington Historic District.

Finally, a majority of LAP members were concerned that covering the side deck will visually encroach on the already diminished side yard of this resource. The streetscape in this area has undergone significant change in the past several years with the infill construction at 3806 Washington, originally the side yard of this resource. The LAP noted the proximity of the deck/porch to the lot line of the side yard. Members were concerned that covering the side deck/porch will alter the streetscape by creating the visual perception of further reducing the already-reduced spacing between the primary resource at 3808 and the new construction at 3806.

THE KENSINGTON HISTORICAL SOCIETY  
P.O. BOX 453  
KENSINGTON, MARYLAND 20895

21 June 1997

Historic Preservation Commission  
Maryland-National Park and Planning  
5757 Georgia Avenue  
Silver Spring, MD 20910  
Facsimile 301-495-1307

Subject: APC Case No. 31,6-97E, 3805 Washington Street, Kensington, Maryland 20895

Dear Commissioners,

The Preservation Committee (PC) of the Kensington Historical Society (KHS) met and discussed the proposed porch roof extension at the above subject address and report the following conclusions and recommendations.

The railings of the unroofed area (deck) may be in a deteriorating state due to poor maintenance and/or material. A roof over a porch does not keep the porch railings dry at all times. Railings must be installed properly and maintained and painted. The KHS Preservation Committee encourages the petitioner to change the deck railing to match the railings on the front porch as proposed.

We agree with the HPC staff that the proposed wrap-around porch would be consistent with the style of the house. However, our major concern is the appearance of bulk and the loss of openness between the property and its neighboring house to the east. The subject property's deck is very close to and may be on the property line. If the deck is covered by a roof, it will appear to bring the house much closer to its neighbor giving a feeling of greater mass.

Therefore, we encourage the HPC to deny the request for a roof over the deck and approve the change of a railing to match the railings currently on the front porch.

Sincerely,



Betty F. Radtke  
Chairman, Preservation Committee  
Kensington Historical Committee

cc: Local Advisory Council  
Town of Kensington

405  
405  
405

4105 Everett Street  
Kensington, MD 20895-3823  
June 17, 1997

Mr. and Mrs. Jon Gerson  
3808 Washington Street  
Kensington, MD 20895

Dear Susan and Jon:

This is in response to your inquiry regarding the architectural history of your home. As you know we owned the home from March 1978 until we sold it to you in 1994. As I indicated, we were told shortly after we moved into the house that the original house had a fully covered, wrap-around porch. We were informed that the roof for the side part of the porch was removed in the mid-1940s by Mr. William C. Thompson who owned the house between July 1947 and June 1948. We were also told that in 1978 Mr. Thompson lived in Kensington on the other side of Connecticut Avenue; we do not know if he is still a resident.

This information was provided to us by Ann Barch, former owner of 3804 Washington Street. Mrs. Barch was a longtime resident of Kensington and the surrounding area and was quite familiar with the history of the house. Mrs. Barch provided us this information when I inquired about the porch, since the current porch design seemed inconsistent with the architecture of the time; most wrap-around porches for homes of this period were covered all around.

I hope this information is helpful and we wish you success in restoring the porch to its original design.

Sincerely,



Gale A. Held

*Mark and Samantha Leaning  
3806 Washington Street  
Kensington, MD 20895*

Ms Robin Ziek  
Planner  
Historic Preservation  
Montgomery County  
Department of Park & Planning  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

June 24, 1997

Dear Robin:

Following your visit this morning, we are writing in support of Jon and Susan Gerson's application to remodel the porch on the front and side of their property at 3808 Washington Street, Kensington.

We believe that their proposal to extend the roof of the porch to the side of the house is in keeping with the style and age of this type of Victorian house. Further, it would seem that evidence suggests that the roof originally extended to the side of the house.

We are also confident that the Gerson's will execute this remodeling work in a manner consistent with the original Victorian style and sympathetic to the historic nature of this neighborhood.

Sincerely yours,

Mark S Leaning PhD

Samantha Leaning

cc John + Susan Gerson


Christopher and Louise Slark  
3804 Washington Street  
Kensington, Maryland 20895  
(301) 946-0811

To Members of the Historic Preservation Commission:

Re: Application of HAWP for property at 3808 Washington Street

As residents of 3804 Washington Street we would like to state our support for the above-referenced application. Specifically, with regard to the extension of the porch roof around the northeast corner of the house, we believe this will have little to no impact on the street scape and, in fact, will restore an important architectural feature of this primary resource. We recommend the Commission grant this application.

Christopher Slark

  
Louise Bison Slark

3802 Washington Street  
Kensington, Maryland 20895

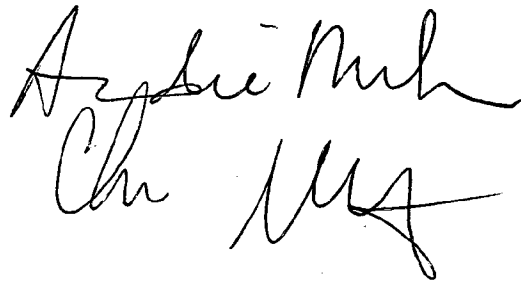
June 22, 1997

To the Members of the Historic Preservation Commission:

We are residents of 3802 Washington Street in the town of Kensington. We are aware that the owners of 3808 Washington Street would like to extend the roof of their porch to wrap around the side of the house. We believe that this will be an improvement to our street and neighborhood. We hope you agree!

Sincerely,

Chris and Andie Murtha

Handwritten signatures of Andie Murtha and Chris Murtha. The signature for Andie Murtha is written in a cursive style, and the signature for Chris Murtha is also in cursive, appearing below the first signature.



Side View

3808 Washington St



Front View





3808 Washington St



Similar house w/ porch  
roof extended to side

Park St. ?



Similar Side/Front  
Porch Treatments



Wash. St.



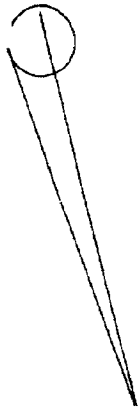
front of house currently  
(professional pen sketch)

**EXISTING**



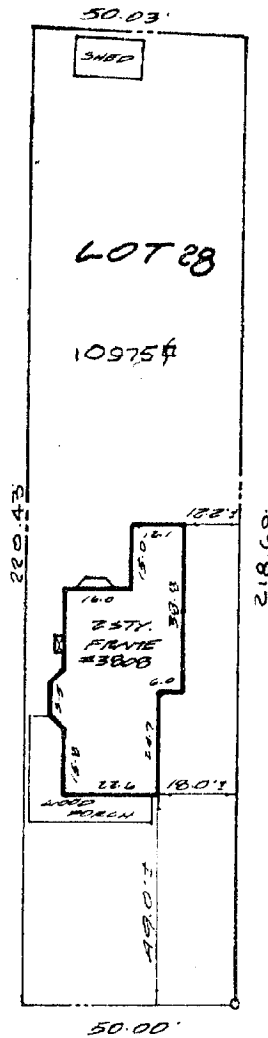
front view with  
new roof,

**PROPOSED**



27

29



NOTE:  
PROPERTY PREPARED  
MODERN DAY ZONING

LOT 28 BLOCK 13  
KENSINGTON PARK

WASHINGTON STREET

### Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

1.21.94  
Date

*Stephen J. Wenthold*  
Stephen J. Wenthold  
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED



**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Suite 380  
Rockville MD, 20850  
(301) 840-0025

Scale: 1" = 40'  
Plat Book: B  
Plat No.: 4  
Work Order: 94-0281  
REV. 2.22.94

Property  
Address: 3808 WASHINGTON STREET  
Election District # 13  
Jurisdiction: MONTGOMERY COUNTY, MD.

3808 Washington St.

Kensington

6/25/97



Wash-St.

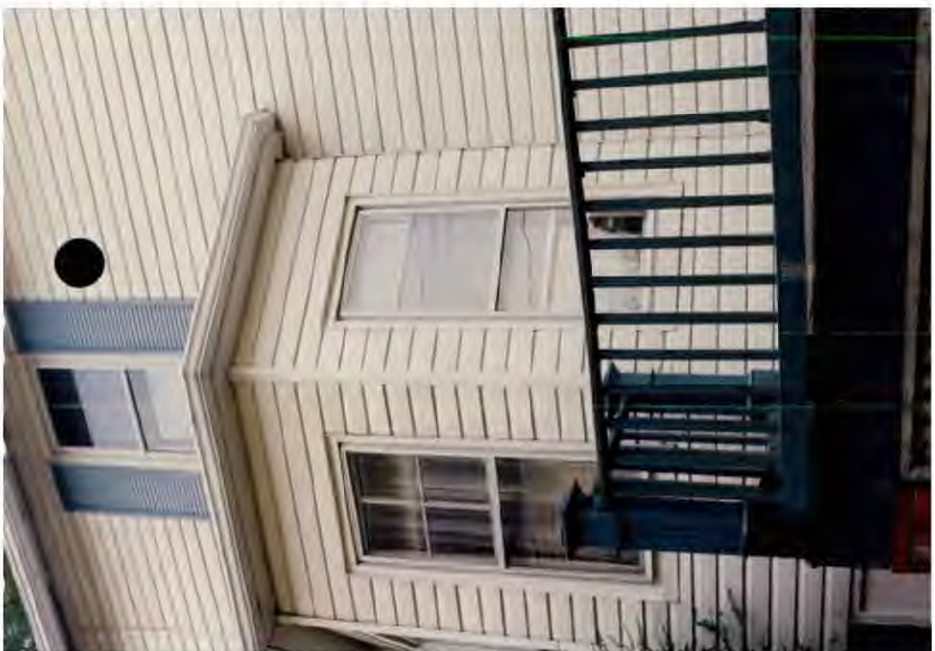
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OCT 10 1907





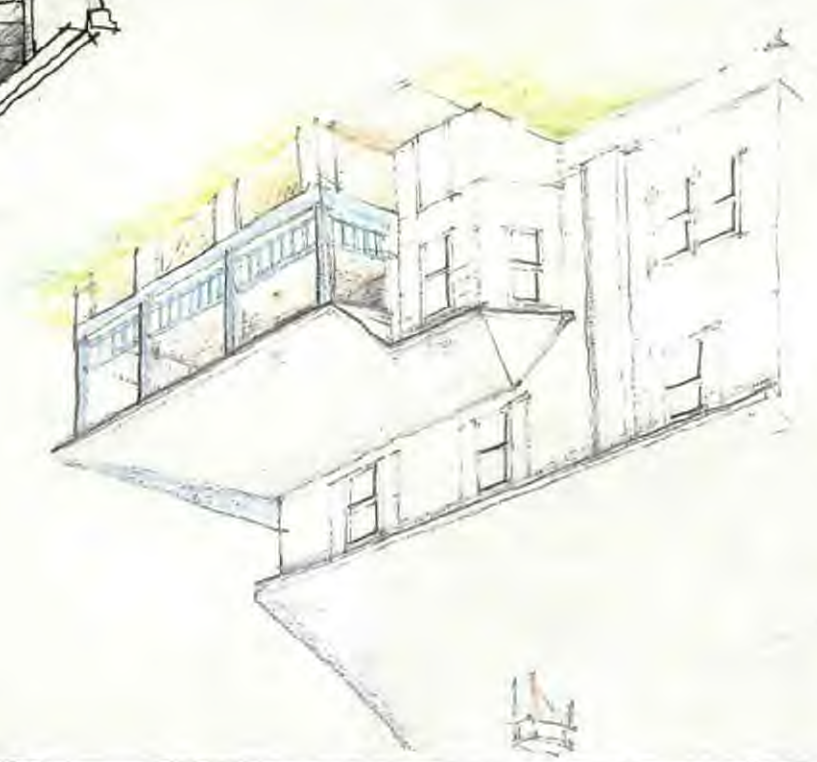
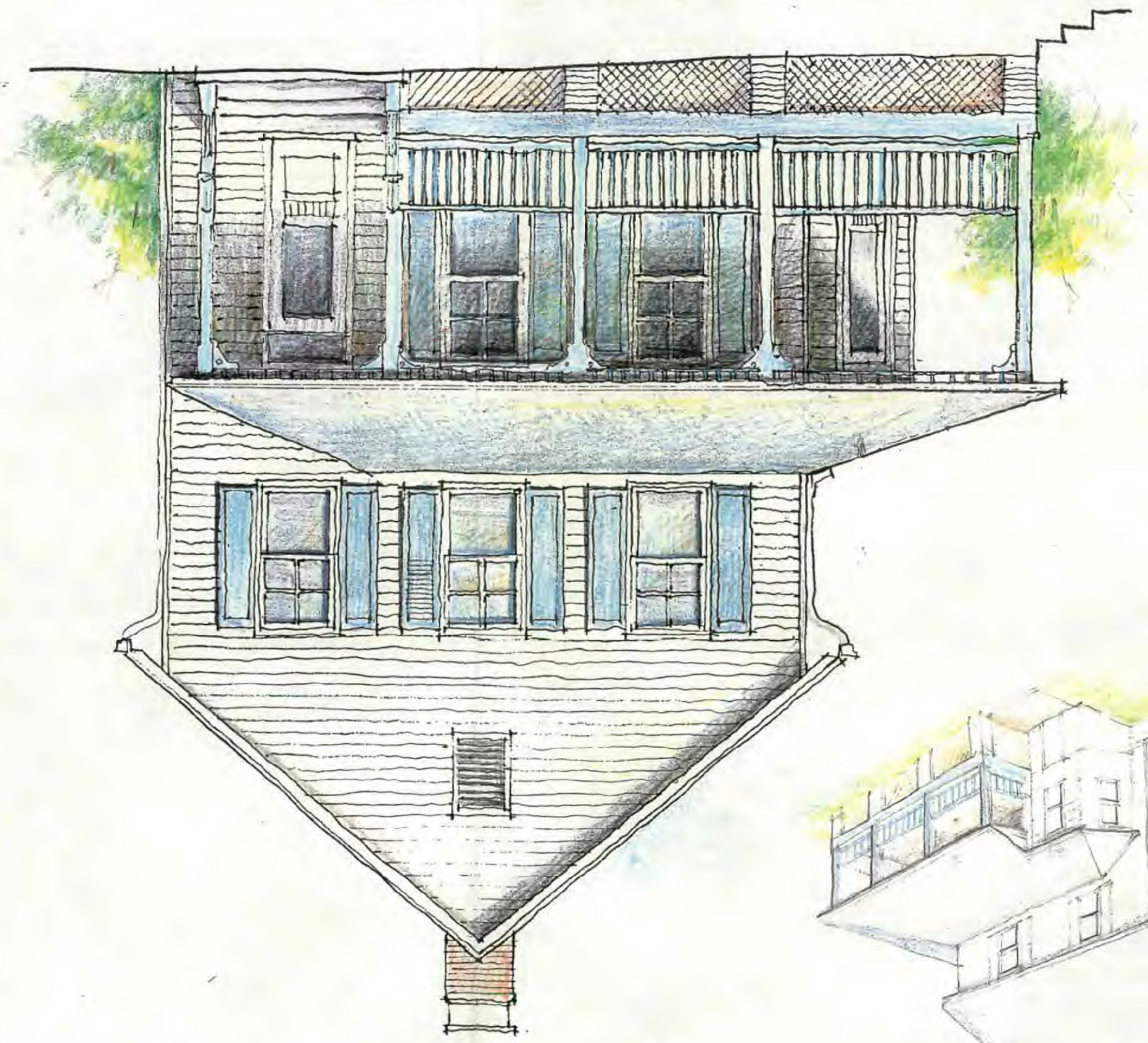






== 22 +00 NNNNN 255 -19

Proposed front Elevation



21

Proposed side Elevation

