

31/6-90P 3929 Prospect Street  
Kensington

HPC  
11/28/90

#3116 case file



November 26, 1990

Ms. Molly Murray Nalls  
Murray and Sons Builders  
6422 Western Ave.  
Chevy Chase, Maryland 20815

Dear Ms. Murray:

As per your written request dated Nov. 1, 1990, the Town of Kensington grants you permission to make a temporary 10' wide curb cut for a construction entrance at 3929 Prospect St. in accordance with the attached drawing. This curb cut is valid for eighteen months from November 26, 1990 and during this time the builder agrees to maintain a safe pedestrian right-of-way. Further, after completion of this project the builder agrees to restore the sidewalk using same type materials as the adjacent walkways. A bond of \$500.00 must be posted by the builder to the Town of Kensington before this permit will issued.

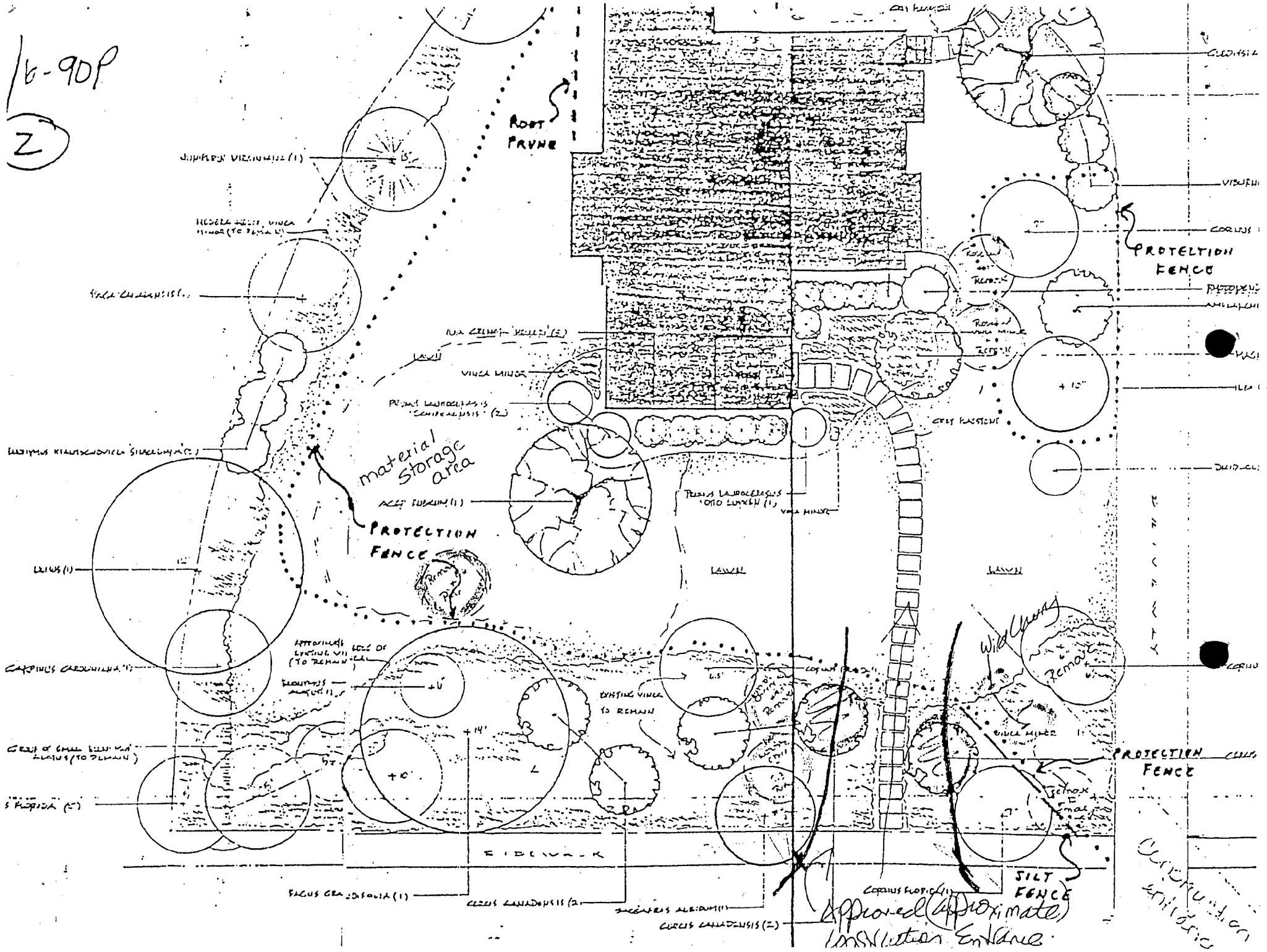
Sincerely,

  
James Wagner  
Councilmember  
Streets & Roads

encl.  
cc.

Mr. & Mrs. Sherman-Presser  
Mr. & Mrs. Barnes  
Mr. & Mrs. Sullivan  
Mr. & Mrs. Cohn  
Mr. & Mrs. Weisman  
Mr. Leonard Taylor, Chmn., HPC ✓

16-90P  
Z



JUNIPERUS VIRENUNZ (1)

HEDERA HELIX VINCA MINOR (TO REMAIN)

FAGUS C. CANADENSIS (1)

QUERCUS ALBA (5)

VINCA MINOR

PRUNUS LAUROCEASUS 'CENTRALENSIS' (2)

WIKSTRÖMIA KALININOVICII (SIBIRIENSIS) (1)

material storage area

ACEQ TUBERUM (1)

PROTECTION FENCE

PRUNUS LAUROCEASUS 'OTTO LUXEM' (1)

LIQUIS (1)

LEVEL

LEVEL

CASPARIUS CAROLINENSIS (1)

APPROXIMATE LOCUS OF EXISTING VINE (TO REMAIN)

REMOVING PLANT (1)

EXISTING VINE TO REMAIN

CRAB APPLE (TO REMAIN)

S. FLORIDA (5)

FAGUS C. CANADENSIS (1)

CERCUS CANADENSIS (2)

SUCCEANUS ALBIDUM (1)

CERCUS CANADENSIS (2)

CERCUS FLORIDA (1)

Approved (Approximate) Installation Entrance

SILT FENCE

PROTECTION FENCE

Wild Cherry  
Removal  
SILT FENCE  
CRAB APPLE  
S. FLORIDA  
CERCUS FLORIDA



## Montgomery County Government

October 17, 1990

Jack Jones, Mayor  
Town of Kensington  
3710 Mitchell Street  
Kensington, Maryland 20895

Dear Mayor Jones:

This is to inform you that at their October 10, 1990 meeting, the Historic Preservation Commission approved an application for an Historic Area Work Permit by Molly C. Murray for construction staging, landscaping and tree preservation measures at 3929 Prospect Street. This application was a condition of approval for new construction at this property. After much discussion, the Commission determined that locating the construction access as shown on the attached plan (in black) would have the least impact on existing plants and trees on the property. We would like to ask for the Town's support of this decision by granting Ms. Murray permission to make the curb cut necessary for this construction access location.

Your assistance is greatly appreciated. If you have any questions, please feel free to call Alison Vawter or Laura McGrath, staff, at 217-3625.

Sincerely,

A handwritten signature in cursive script that reads "Leonard Taylor".

Leonard Taylor, Chairman  
Historic Preservation Commission

cc: Molly Murray

William Hanna, President, Montgomery County Council

Attachment

2178E



RAFO MEMO

TO: Pat Waikel, Town of Kensington

FROM: Laura McGrath, Department of Housing & Community Development - HPC

SUBJECT: 3929 Prospect Street, Landscaping Plan

MESSAGE

Enclosed please find the landscaping plan for 3929 Prospect Street as approved by the HPC. I apologize for the oversight in the original letter. Please call me with any questions - 217-3625

SIGNED

Laura E McGrath DATE 10-22-98

REPLY

SIGNED

DATE

SENDER RETAIN THIS COPY



## Montgomery County Government

October 15, 1990

Molly C. Murray  
6422 Western Avenue  
Chevy Chase, Maryland 20815

RE: Historic Area Work Permit Application

Dear Ms. Murray:

Enclosed please find a copy of your Historic Area Work Permit, which was approved by the Historic Preservation Commission at its meeting of October 10, 1990 with the following modifications:

1. Construction access shall be located as marked in black on the attached landscape plan (Exhibit #5), with the centerline approximately in the location of the proposed walkway. You will need permission from the Town of Kensington to make the appropriate curb cut.
2. Trees approved to be removed, circled in red on the attached landscape plan, are:
  - 4 wild cherries; 2 just west of the construction access and 2 east of the construction access;
  - 2 redbud trees located on either side of the construction access;
  - 2 redbud trees just east of the proposed house; and
  - 1 pear tree.

It is also understood that scrub will be removed as is necessary for the construction access.

This approved work meets three of the four conditions placed upon your June 27, 1990 Historic Area Work Permit. You are reminded of the fourth condition, which is as follows:

The applicant shall formally advise any person or entity purchasing lot 15 that this is an extremely sensitive property in an area of the Kensington Historic District which characterizes the Victorian garden setting that earned Kensington its placement on the Master Plan for Historic Preservation, as well as the National Register of Historic Places. Because of its sensitive location, the Commission is concerned about the potential impact of any future development on the immediate area of the district and the adjoining primary resources. Any HAWP application will be critically reviewed with respect to its impact on this setting. This fact should be certified in writing to the Commission.

Historic Preservation Commission

51 Monroe Street, Rockville, Maryland 20850-2419, 301/217-3625

If you have any questions regarding these modifications, please feel free to call me at 217-3625.

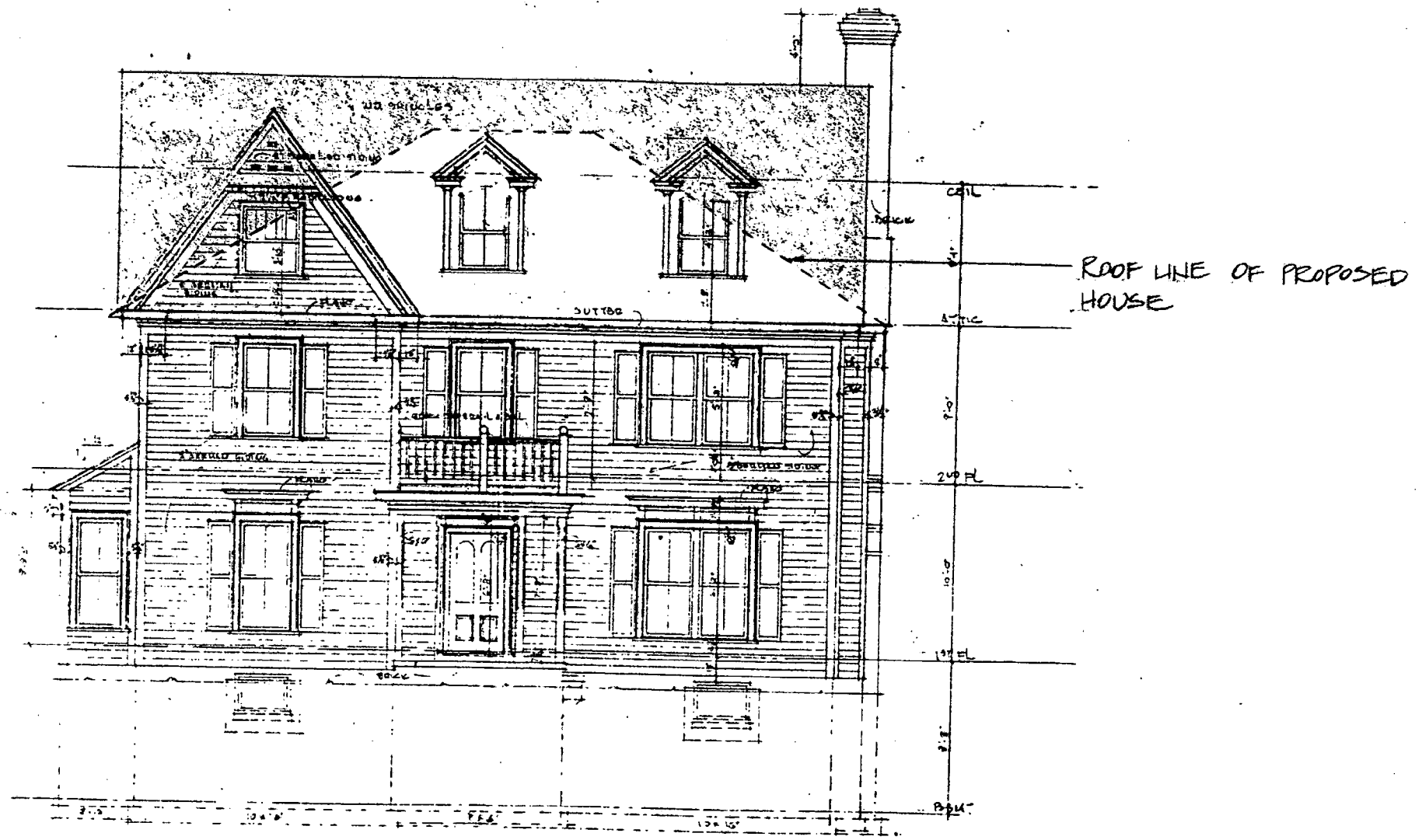
Sincerely,

*Laura McGrath*

Laura McGrath,  
Planning Specialist

Attachment

2177E



PROJECT STREET ELEVATION  
(PREVIOUS APPLICATION)

AREA OF REDUCTION

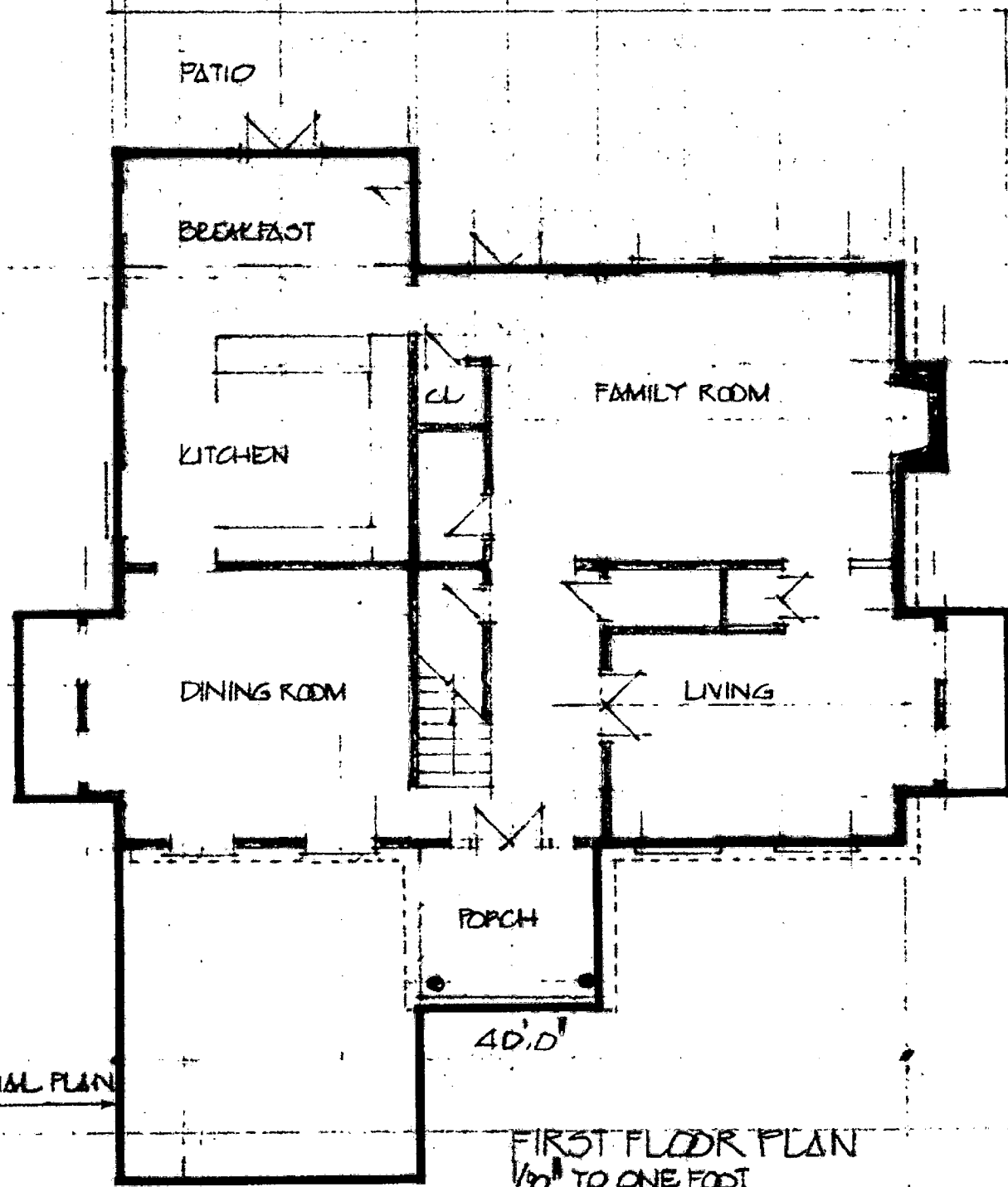
**Thomas G. Georgelas & Associates**  
A Professional Corporation

Architects + Planners

1430 Springhill Rd., Suite 220  
McLean, Virginia 22102-3001  
703/749-4545

ASK-4





TOTAL AREA OF FOOTPRINT 1330 SF  
 OF LOT 14870 SF

LOT RATIO OF HOUSE W/O PORCH 9%  
 WITH PORCH 9.2%

Δ I

**Thomas G. Georgelas & Associates**  
 A Professional Corporation

Architects + Planners

1430 Springhill Rd., Suite 220  
 McLean, Virginia 22102-3001  
 703/749-4545

ASK-3



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625 3116-907

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 2405-958  
 NAME OF PROPERTY OWNER Frank P. & Margaret Murray TELEPHONE NO. 301-951-7011  
 (Contract/Purchaser) C. Murray (Include Area Code)  
 ADDRESS 422 Western Ave. J. C. H. MD. 20815  
 CITY STATE ZIP  
 CONTRACTOR same TELEPHONE NO. \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 PLANS PREPARED BY: Michael Patterson TELEPHONE NO. 881-6855  
 REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE  
 House Number 3929 Street Prospect St  
 Town/City Kensington Election District \_\_\_\_\_  
 Nearest Cross Street Baltimore St  
 Lot 15 Block 11 Subdivision Kensington Park  
 Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)  
 Construct  Extend/Add  Alter/Renovate  Repair   
 Wreck/Raze  Move  Install  Revocable  Revision   
 Circle One: A/C \_\_\_\_\_ Slab \_\_\_\_\_ Room Addition \_\_\_\_\_  
 Porch Deck Fireplace Shed Solar Woodburning Stove \_\_\_\_\_  
 Fence/Wall (complete Section 4) Other \_\_\_\_\_  
 1B. CONSTRUCTION COSTS ESTIMATE \$ 500 K  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_  
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY \_\_\_\_\_  
 1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
 2A. TYPE OF SEWAGE DISPOSAL  
 01  WSSC 02  Septic  
 03  Other \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY  
 01  WSSC 02  Well  
 03  Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL  
 4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 1. On party line/Property line \_\_\_\_\_  
 2. Entirely on land of owner \_\_\_\_\_  
 3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Molly Murray 9-20-90  
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED Xenia conditions/modifications For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature Dennard Taylor Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9009200061 FILING FEE: \$ \_\_\_\_\_  
 DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
 DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
 OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used.)

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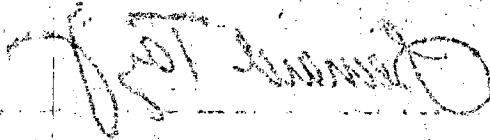
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(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850





# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 5405425

NAME OF PROPERTY OWNER Frank P. Margaret TELEPHONE NO. 301 331 1111  
(Contract/Purchaser) C. Murray (Include Area Code)

ADDRESS 422 Western Ave CITY MD STATE MD ZIP 20850

CONTRACTOR same TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY M. Murray CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_ TELEPHONE NO. 301 331 1111  
(Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number 3929 Street Prospect

Town/City Kensington Election District \_\_\_\_\_

Nearest Cross Street Kennelwood

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision Kensington Park

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 500 K.

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY \_\_\_\_\_

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 ( <input checked="" type="checkbox"/> ) WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 ( ) WSSC	02 ( ) Well
03 ( ) Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Murray Signature of owner or authorized agent (agent must have signature notarized on back) 7-20-70 Date

APPROVED M. Murray For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: \_\_\_\_\_ FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION:

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used.)

~~[Lined area for description of proposed work, crossed out with a large X]~~

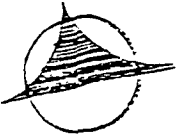
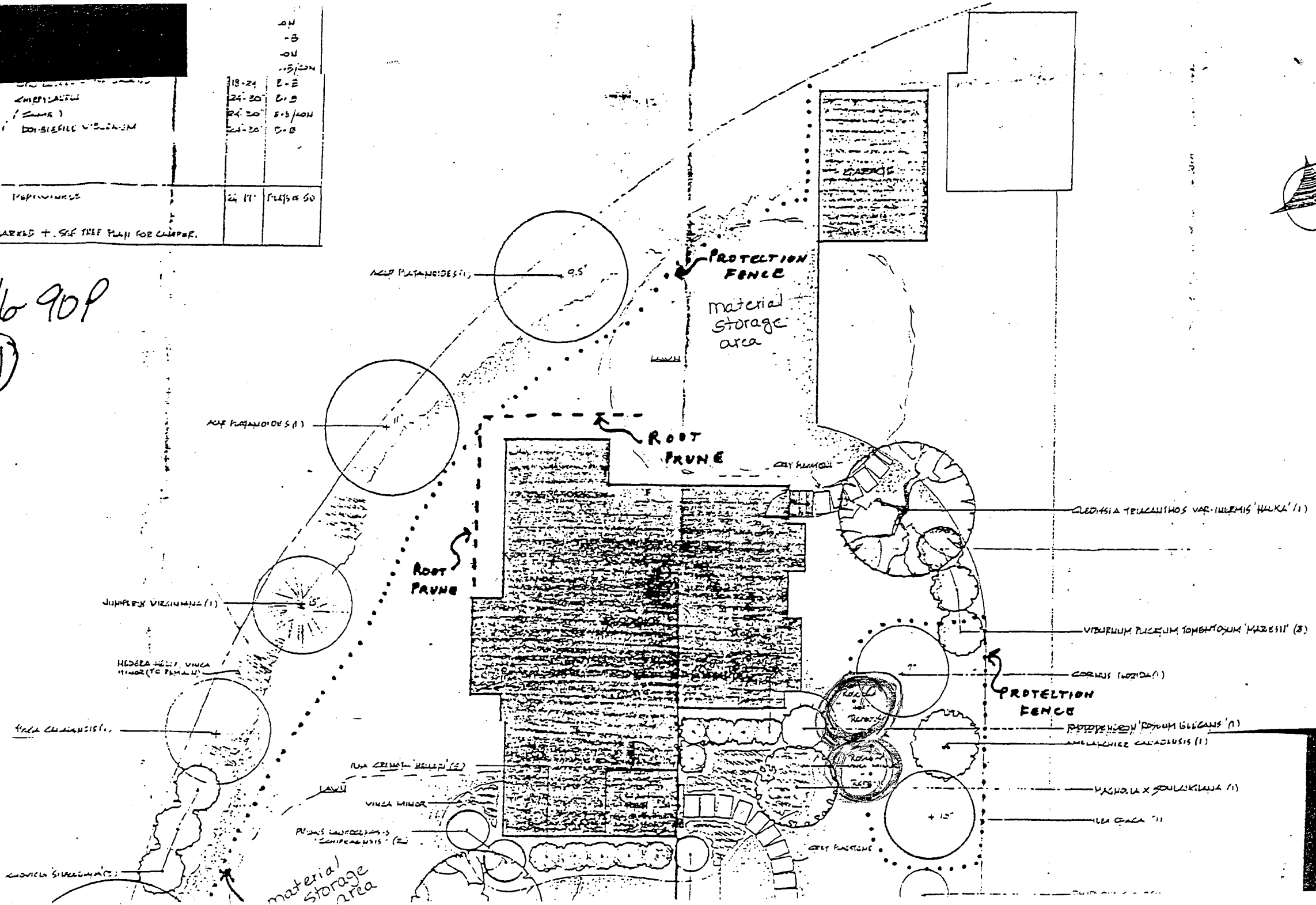
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ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

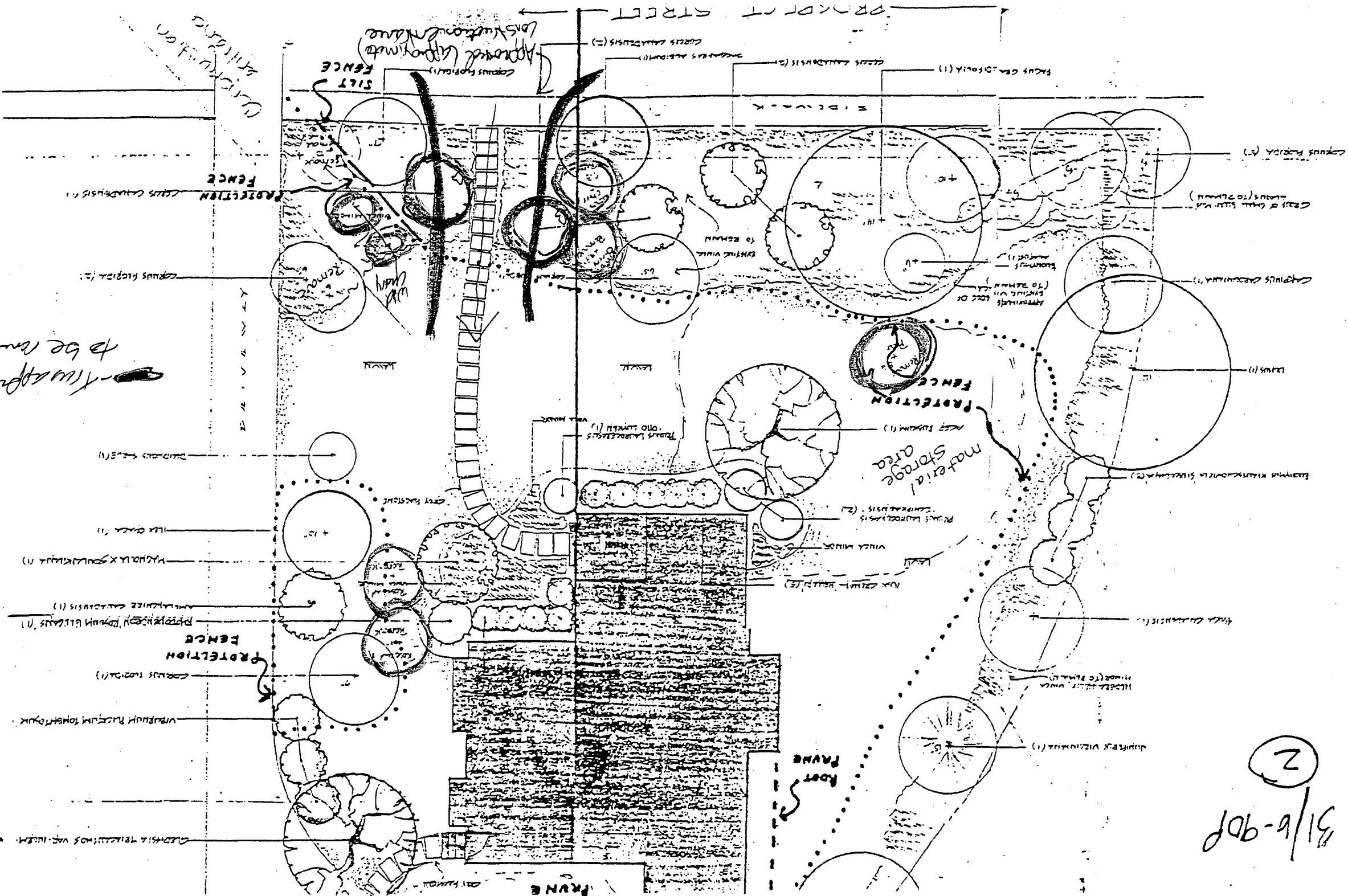
MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850

[REDACTED] [REDACTED] [REDACTED]	18-24	E-E
	24-30	E-S
	30-36	E-S/40N
	36-42	D-E
PROVISIONS	24 11'	PLAYS 60
MARKED + SEE TREE PLAN FOR CAMP.		

3/16 90P  
 (1)



to be removed  
- in approval

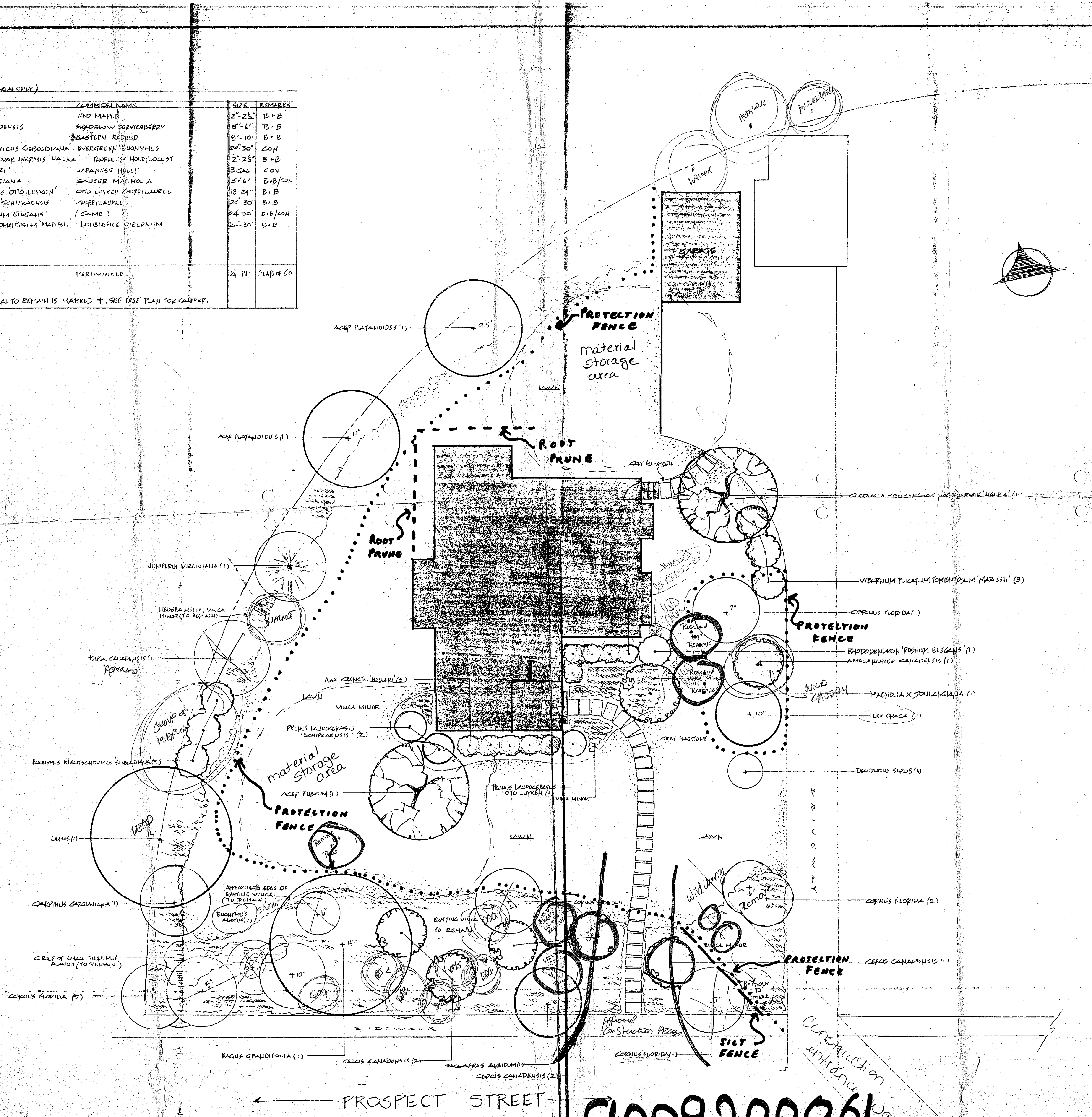


3/16-90P  
2

PLANT LIST (NEW MATERIAL ONLY)

QTY	POTENTIAL NAME	COMMON NAME	SIZE	REMARKS
1	ACEF RUBRUM	RED MAPLE	2'-2 1/2'	B+B
1	AMELANCHIER CANADENSIS	SHADBLOW FORSYTHIA	5'-6'	B+B
5	CERCIS CANADENSIS	EASTERN REDBUD	8'-10'	B+B
3	EUDYMYUS KRAUSCHOVICUS SIBOLDIANA	EVERGREEN BUONNYMUS	24'-30'	CON
1	QUERCUS TRIACANTHOS VAR INERMIS 'HALKA'	THORNLESS HONEYLOCUST	2'-2 1/2'	B+B
10	ILEX CRENATA 'HELLERI'	JAPANESE HOLLY	3 GAL	CON
1	MAGNOLIA X SOULANGIANA	SAUCEY MAGNOLIA	5'-6'	B+B/CON
1	PRUNUS LAUROCEPESUS OTTO LUYKEN'	OTTO LUYKEN CHERRYLAUREL	18'-24'	B+B
2	PRUNUS LAUROCEPESUS SCHTIKAENSIS	CHERRYLAUREL	24'-30'	B+B
1	RHODODENDRON 'ROSEUM ULEGANS'	(SAME)	24'-30'	B+B/CON
3	VIBURNUM PUCETUM TOMENTOSUM 'MARISSII'	DOUBLEFILE VIBURNUM	24'-30'	B+B
<b>GROUND COVER</b>				
350	VINCA MINOR	PERIVINKLE	24' PI'	PLANTS @ 50

NOTE: EXISTING MATERIAL TO REMAIN IS MARKED +. SEE TREE PLAN FOR CALIBER.



**PLANTING PLAN**  
**FRANK P. MURRAY & ASSOCIATES**  
 3729 PROSPECT STREET  
 KENSINGTON, MARYLAND

**SOLAR GARDENS INC.**  
 1400 NEW HAMPSHIRE AVENUE  
 SILVER SPRING, MD 20910-90  
 HENRIE, U.C.A. ... DESIGNER: S. BOGGS

Scale 1/8" = 1'-0"

9009200061



HISTORIC PRESERVATION COMMISSION STAFF REPORT

HPC Ex 4

PREPARED BY: Jared B. Cooper

DATE: March 21, 1990

CASE NUMBER: 31/6-90E

TYPE OF REVIEW: HAWP

SITE/DISTRICT NAME: Kensington

PROPERTY ADDRESS: 3929 Prospect Street  
Kensington

DISCUSSION:

The applicant, Frank P. Murray, is proposing construction of a new residence at 3929 Prospect Street in the Kensington Historic District. As you will recall, the Commission reviewed this proposal on a preliminary basis at its January 4, 1990 meeting. A proposal by the same applicant to construct a new residence at the same address was the subject of HPC Case No. 31/6-89K, which was denied by the Commission in August, 1989. As you may recall, the reasons, in summary, for denial of that application were as follows:

1. Proposed structure was overscaled in terms of height and square footage.
2. The lot coverage ratio (house to lot) was too high.
3. The proposed width was too great, and the setback line was positioned such that a "building wall" was created.
4. As proposed, there would have been a great deal of destruction of vegetation.
5. The proposed fence was inappropriate.
6. The proposed asphalt driveway was inappropriate.
7. The addition of a garage resulted in two garages on one lot.

As indicated in a December 22, 1989 staff report to the Commission, staff met twice with the applicant and his representatives during the fall of 1989. The goal of these meetings was to bring any new proposal(s) for construction at 3929 Prospect Street into better conformance with earlier concerns. To assist the applicant in developing a revised proposal, staff offered the following general recommendations, using the original proposal (March, 1989) and findings (August, 1989) as a reference:

1. Reduce height and footprint, and change massing in order to impose less on streetcape.
2. Reduce house to lot ratio to no more than 9%.
3. Reduce width and examine the possibility of alternate setback line(s).
4. Place and size structure so that a minimum of mature vegetation is destroyed.
5. Eliminate fence.
6. Install narrow gravel or stone driveway, instead of asphalt.
7. Eliminate garage.

In the proposal currently before the Commission, the applicant responded to many of these concerns, as well as concerns expressed by the Commission and the LAP at the preliminary consultation on January 4, 1990. The applicant has submitted two design alternatives, one which is very similar to that reviewed in January, and one which includes the addition of a small balustraded front porch, roof dormers, and decorative trim. Otherwise, the alternatives are alike (footprint, site plan, etc.). Please note that, in response to two of the primary concerns which were raised at the January 4th meeting (front porch/door orientation and setback from the street), the applicant has added a small front porch and street-facing door, and moved the proposed structure back on the lot. Also, in general response to the August, 1989 findings regarding the original proposal, the applicant has:

1. Reduced the height from 35' to 34' .
2. Reduced footprint from 1594 s.f. plus porches to 1529 s.f.
3. Reconfigured the massing, including removal of large porches.
4. Reduced lot coverage ratio from 14.91% (with porch) or 11.39% (w/o porch) to 10.28%.
5. Reduced overall width (including porch) from 54' to 43'.
6. Not changed the setback line.
7. Indicated that no more vegetation will be destroyed by new proposal, although it is not clear whether less will be destroyed.
8. Eliminated the fence.
9. Proposed gravel or stone for driveway.

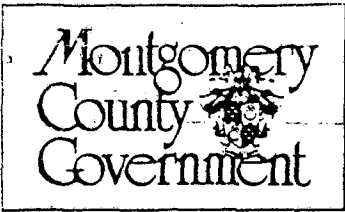
10. Not eliminated the garage, but sold Lot 14 (existing structure) with an easement for the existing garage, so that there will be one garage per residence.

Staff recommends approval of design alternative "B" of the application, which differs from alternative "A" by virtue of its balustraded front porch, street-facing entrance door, roof dormers, and decorative gable trim. Staff finds that the applicant's response to the issues outlined above represents a good faith effort to bring the proposal into conformance with Chapter 24A and the Kensington Historic District Master Plan amendment, and that the proposal meets the following approval criteria: 24A-8(b)(1), and (2).

#### ATTACHMENTS

1. HAWP Application and Attachments
2. Photos
3. Site Plan
4. Landscape Plan
5. Elevations/Alternate "A"
6. Elevations/Alternate "B"
7. Excerpts from Applicant's Preliminary Revised Proposal (1/90)
8. Excerpts from Applicant's Original Proposal (3/89)

1721E



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT = 2405458
NAME OF PROPERTY OWNER Frank P. + Margaret C. Murray
ADDRESS 6422 Western Ave. Ch. Ch. MD.
CONTRACTOR Same
PLANS PREPARED BY Michael Patterson

LOCATION OF BUILDING/PREMISE
House Number Lot 15 Street Prospect street #, 3929
Town/City Kensington, MD. Election District 13
Nearest Cross Street Baltimore + Washington Streets
Lot 15 Block 11 Subdivision Kensington Park

1A. TYPE OF PERMIT ACTION: (circle one) 05 S/S
Construct Extend/Add Alter/Renovate Repair
1B. CONSTRUCTION COSTS ESTIMATES 300-425 K.
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT #
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Pepco
1E. IS THIS PROPERTY A HISTORICAL SITE? in Historic district

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. TYPE OF SEWAGE DISPOSAL 01 (X) WSSC 02 ( ) Septic
2B. TYPE OF WATER SUPPLY 01 (X) WSSC 02 ( ) Well

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches
4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back)
Date 3-5-90

RE: Application of Frank P. and Margaret C. Murray  
3929 Prospect Street, Kensington  
HPC Case No. 31/6-90E

PROJECT DESCRIPTION

The proposed house to be built at 3929 Prospect Street is a turn-of-the-century, two story frame Victorian-style home similar to the existing house at Lot 18, Baltimore Street, Kensington. The home's urbane features include traditional wood clapboard siding, charming front entry-way with a balustered flat roof overhead, ornamental front gable with window and simulated "dove-cote" at peak, wood shingle roof material, compatible brick chimney, projected eaves on main and rear gables, Victorianesque 2 over 2 style windows with slat shutters, and, appropriately, a Victorian style glass pane front door.

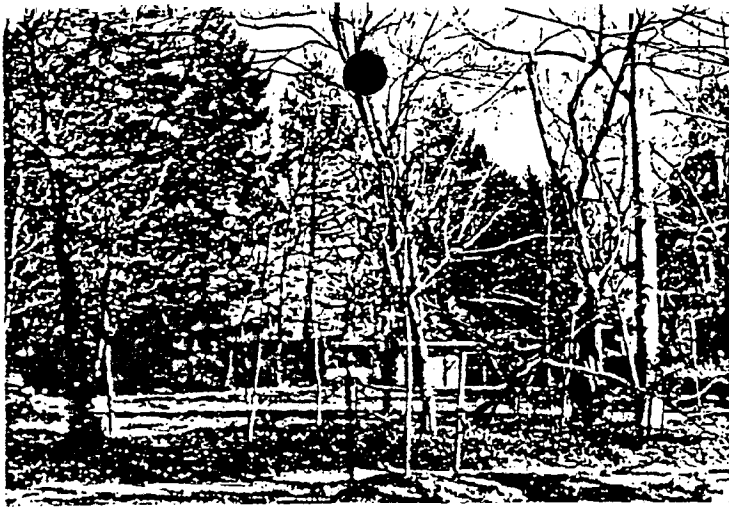
2. SITE PLAN. For all projects, attach an accurate site plan or property survey, which shall include the following:
  - a. Scale (for example, 1/4" = 1 foot)
  - b. North Arrow
  - c. <sup>site</sup> Location and dimensions of all existing and proposed structures:
  - d. Location of other features such as walks, drives, fences, ponds, streams, dumpsters, mechanical equipment, and major landscaping elements.
3. TREE SURVEY. If any 6" diameter or larger trees are to be removed, or fall within the construction zone, attach an accurate tree survey. The survey should include the exact location, size, and species of all trees located in the project area, indicating which are to be preserved and which are to be removed.
4. FLOOR PLANS; CONSTRUCTION PLANS. For new construction and room additions, attach a complete set of scaled floor plans. For porches and decks, attach scaled drawings showing dimensions, materials, and where and how they will be attached to existing structures. For other types of work, such as outbuildings and fences, attach scaled drawings showing dimensions, materials, construction methods, and design details.
5. ELEVATION DRAWINGS. For new construction, including outbuildings, attach scaled drawings of all sides of the proposed structure. For additions, decks, porches, and major exterior alterations, attach scaled drawings of all sides of structure which will be affected by the proposed work.
6. MATERIAL SPECIFICATIONS. For all projects, provide a written description of all exterior materials to be used. If desired, material specifications may also be included as notes on elevation drawings. If available, manufacturer's literature may also be included.

Wood siding

aluminum gutters

Clear shingle Roof material

double hung windows



Prospect Street

Left



center

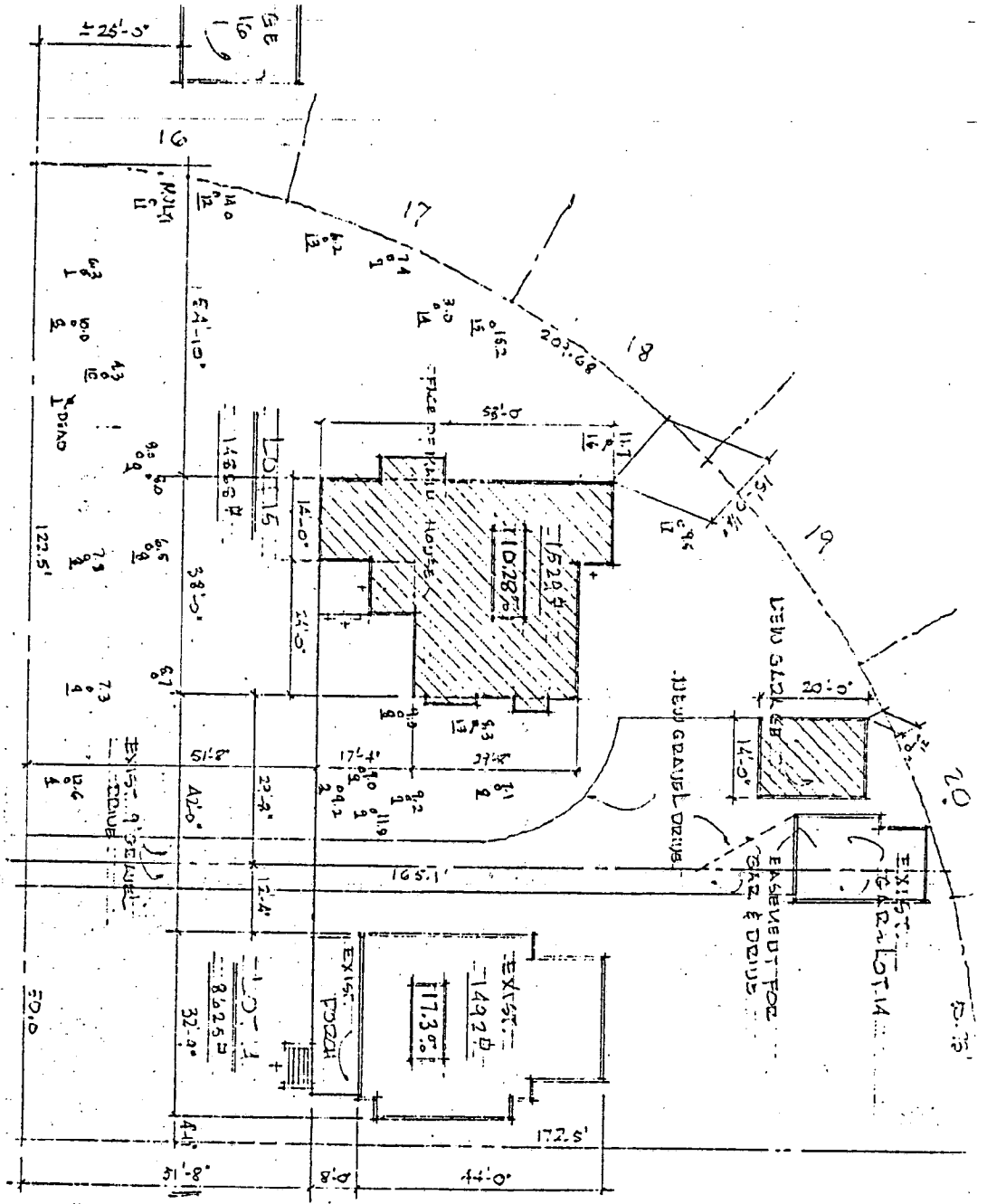


right



3927 Prospect Street  
LOT 14 BLOCK 11  
(Neighboring Structure)



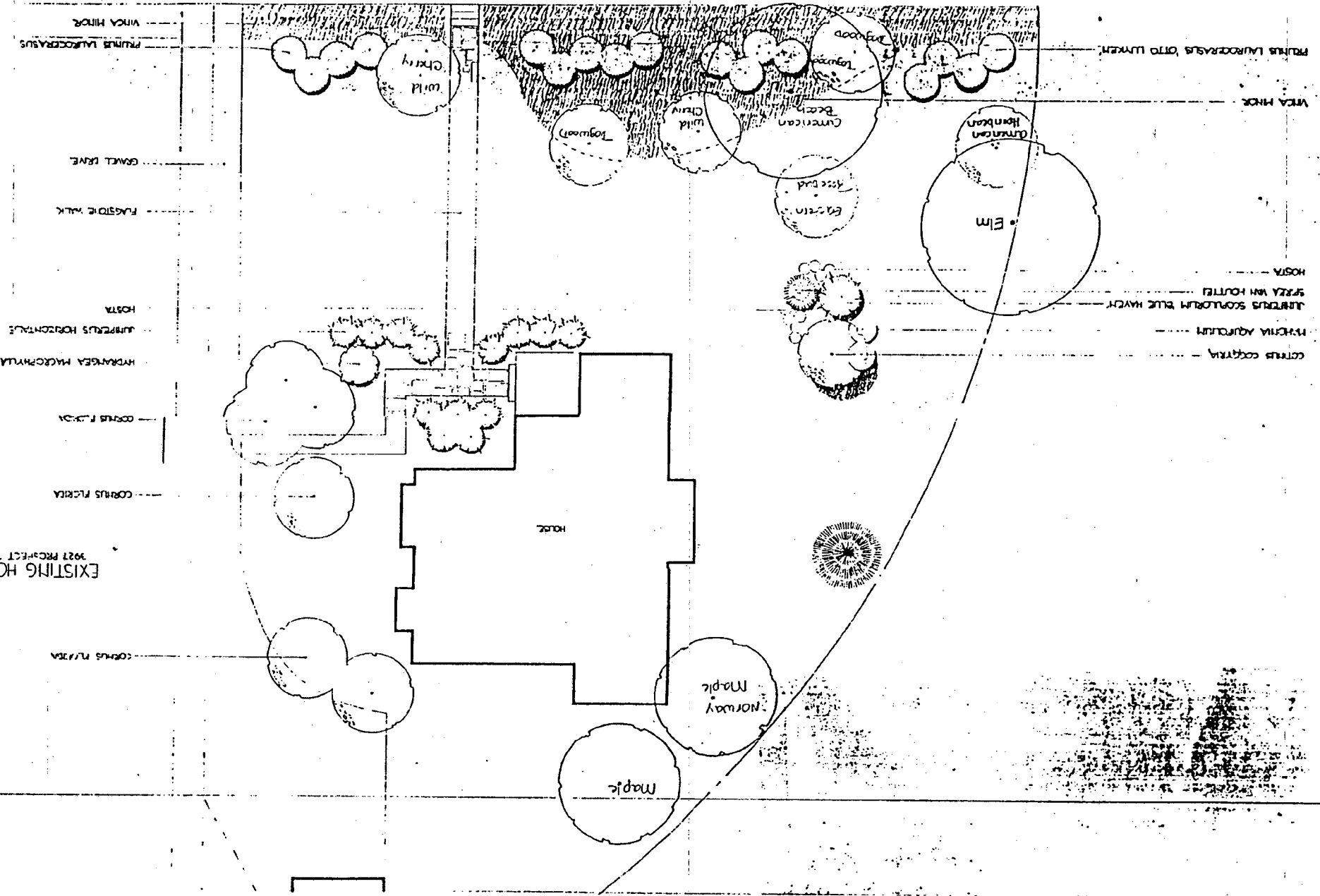


PROSPECT ST.

EXIST. DRIVE

20'-0"

EXISTING HOUSE  
9027 PROSPECT STREET



CORNUS FLORIDA

CORNUS FLORIDA

CORNUS FLORIDA

HYDRANGEA MACROPHYLLA

JUNIPERUS HORIZONTALIS

HOSTA

PAVING SLAB

GRAVEL DRIVE

PRUNUS LAUROCERASUS

VICIA HIRSA

Maple

Norway  
Maple

PLANTING

CORNUS COGONIA

HYDRANGEA AQUIFOLIUM

JUNIPERUS SCOPULORUM BLUE HAVEN

HOSTA

Elm

American  
Hemlock

Eastern  
Yucca

Wild  
Cherry

Logwood

American  
Beach

Logwood

Wild  
Cherry

PRUNUS LAUROCERASUS OTTO LUYKEN

VICIA HIRSA



FRONT

- NOTES:
- ① 2x4 SIDING - 7" EXP
  - ② 2" BOARD AND BATT SIDING
  - FIGURE SCALE - SHINGLES
  - IN GABLES



ATTORNEY  
 PROJECT  
 11-0888  
 ROCKWELL RD 80888

98'080 51



RIGHT SIDE

MICHAEL B. PATTERSON  
ARCHITECT  
11820 PARKLAWN DRIVE, ROCKVILLE, MD. 20852  
(301) 681-6855

25 JAN 90

3

DR  
HI  
CL



LEFT SIDE

MICHAEL B. PATTERSON  
ARCHITECT  
11000 BIRCHMOUNT RD. BIRMINGHAM, AL 35221





READ

MICHAEL B. PATTERSON  
ARCHITECT  
11820 PARKLAWN DRIVE, ROCKVILLE, MD 20852



# Montgomery County Government

## MEMORANDUM

DATE: 7/23/90

TO: Robert Seely, Chief  
Department of Environmental Protection  
Division of Construction Codes Enforcement

FROM: Jared B. Cooper, <sup>JBC</sup>Historic Preservation Specialist  
Department of Housing and Community Development  
Division of Community Planning and Development

SUBJECT: Historic Area Work Permit Application

The Montgomery County Historic Preservation Commission at their meeting of 6/22/90 reviewed the attached application by Frank P. Murray for an Historic Area Work Permit. The application was:

- Approved
- Denied
- With Conditions: (see attached)

### Attachments:

1. HAWP Application
2. Conditions of Approval
3. Site Plan
4. Elevations
5. Floor Plans

JBC:av

1199E

Historic Preservation Commission

HISTORIC PRESERVATION COMMISSION STAFF REPORT

PREPARED BY: Laura McGrath

DATE: October 3, 1990

CASE NUMBER: 31/6-90P

TYPE OF REVIEW: HAWP

SITE/DISTRICT NAME: Kensington

PROPERTY ADDRESS: 3929 Prospect Street

TAX CREDIT ELIGIBLE: No

DISCUSSION:

A proposal by the applicant for new construction at 3929 Prospect Street was approved with conditions by the Commission in June, 1990. The applicant's present proposal attempts to conform with those conditions, which were as follows:

1. To support the preservation of the Historic District's park-like garden setting, the applicant must submit a formal landscape plan for HPC approval. The landscape plan shall delineate all landscape features, including walks, drives, walls, fences, trees, shrubs, and other plantings.
2. To mitigate the effects of construction on existing vegetation on and adjacent to the property, the applicant must implement a tree preservation program prior to and during the construction process. The plan shall be prepared by a qualified arborist.
3. To mitigate the effects of construction on the surrounding historic resources, the applicant must implement an approved construction staging plan. The plan shall demonstrate that construction activity will not harm the adjacent historic resources by indicating the areas that construction equipment will access the site, the areas on the site where construction materials will be stored, and the areas on the site where dirt will be stockpiled.

In response to condition #1, the applicant has submitted an arborist's "Tree Preservation Program", which includes early action requirements for preservation, clearing, root pruning, and construction pruning, and on-going maintenance. In response to condition #2, the applicant has submitted a detailed landscape plan. In response to condition #3, the applicant has submitted a construction staging plan.



STAFF RECOMMENDATION:

It appears that a minimal amount of clearing will be needed for construction and that a large majority of the original trees and other plantings will be preserved. The arborist's report identifies one hemlock tree and two dogwood trees to be removed for clearing of the construction access at the far east side of the front of the property. No provision is made for their future replacement, however. Two redbud trees just east of the location of the new house and two black cherry trees at the center of the front of the property are also slated for clearance. The arborist recommends that any additional clearance be postponed until after construction; this will require another Historic Area Work Permit. Approximately 30 new plantings will be made. The submitted construction staging plan should ensure minimum impact of the construction process on adjacent resources.

Staff recommends that the submitted construction staging plan be approved based on criterion 24A-8(b)(1) and (3). The submitted tree preservation plan and landscaping plan do work to preserve and maintain the district's park-like garden setting and staff recommends approval 24A-8(b)(1), (2), and (3) with the condition that the applicant replace the hemlock and dogwood trees that will be removed for construction access with trees of similar size and canopy in order to maintain their screening effect on the front and east side of the property.

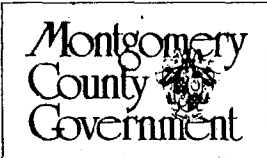
ATTACHMENTS:

1. HAWP Application and Attachments
2. Photos
3. Landscaping Plan

SENT TO LAP: 9-24-90

COMMENTS RECEIVED: No

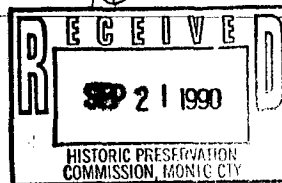
SENT TO APPLICANT 10-4-90



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

311690P



## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 2405458

NAME OF PROPERTY OWNER Frank P. + Margaret Murray TELEPHONE NO. 301-951-7011  
(Contract/Purchaser) C. Murray (Include Area Code)

ADDRESS 6422 Western Ave., Ch. Ch. MD. 20815  
CITY STATE ZIP

CONTRACTOR Same TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY Michael Patterson CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_ TELEPHONE NO. 881-6855  
(Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number 3929 Street Prospect St.

Town/City Kensington Election District \_\_\_\_\_

Nearest Cross Street Baltimore St.

Lot 15 Block 11 Subdivision Kensington Park

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 500 K.

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY \_\_\_\_\_

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 ( <input checked="" type="checkbox"/> ) WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 ( <input checked="" type="checkbox"/> ) WSSC	02 ( ) Well
03 ( ) Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Molly Murray 9-20-90  
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 900920061 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

7

APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s):

We have enclosed  
the landscape plan,  
tree preservation plan  
and construction  
staging plan.

b. General Description of Project:

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Lot 15 Block 11  
Prospect Street

Left



center



right

9009200061



3927 Prospect Street  
Lot 14 Block 11  
(Neighboring Structure)

9009200061

9009260061

MURRAY AND SONS  
Builders  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815  
PHONE (301) 951-7011

August 28, 1990

Historic Preservation Commission  
of Montgomery County  
51 Monroe Street, Tenth Floor  
Rockville, Maryland 20850

Attention: Leonard Taylor Jr. AIA.

Re: New construction at 3929 Prospect Street,  
(Lot 15, Block 11) Kensington.

Dear Mr. Taylor,

As requested, we are pleased to submit the following  
construction staging plan for the above property:

- A. Stake-out and Excavation. Dirt stockpiled in rear right side of yard (to save for backfilling) and remainder to be hauled away to other job site. Vegetation will be preserved by fencing around all key areas of preservation. (See Arborist's report) Construction vehicle access through front right (cleared) area of lot. Access over driveway apron and across open area. (See diagram on landscape plan)
- B. Footings, Framing, Close-in. Lumber and material storage in left front cleared area and right of rear yard. Fencing will protect root zones and vegetation.
- C. Backfill. Dirt from stockpile to be used.
- D. Utilities. (Electric, Water, Sewer and Gas). Will be fed underground on front right side of lot where already cleared.
- E. Landscaping, etc. See landscape diagram.

Yours truly,

Frank P. Murray

THE CARE OF TREES by URBAN FOREST MANAGEMENT, INC.  
13964 BARNSFIELD ROAD  
HERNDON, VIRGINIA 22071

09/09/90

MURRAY AND SONS, INC.  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815

## TREE PRESERVATION PROGRAM

### KENNSINGTON PARK SUBDIVISION, LOT 15

#### I. Early Action Requirements

##### A. Tree Protection Fencing

In order to provide protection for all trees which are to be preserved on the site, tree protection fencing should be installed at the limits of clearing before any clearing, grading, excavation or construction begins on the site. Tree protection fencing should have upright posts installed in the ground, with a strong chain link fabric or board battens should be placed across the uprights. The fencing should be strong enough to deter construction workers on the site from moving it once installed.

Tree protection fencing should be placed along the entire perimeter of the building envelope, at a minimum of ten feet from the trunks of the trees to be preserved. Silt fencing material should be placed along with the tree protection fencing in areas where construction run-off may effect tree preservation areas. Along the side of the construction access is one area in which tree protection fencing and silt fencing are both recommended.

Once established, no activity should be allowed within the tree preservation zones. This shall include but not be limited to the storage of equipment, construction materials, tools, and the parking of vehicles. Construction workers should be prohibited from cleaning or rinsing tools or equipment, and throwing construction wastes, chemicals or paint thinners into these areas.

MURRAY AND SONS, INC.  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815

09/09/90

TREE PRESERVATION PROGRAM

KENNSINGTON PARK SUBDIVISION, LOT 15

We recommend that a continuous protection zone be placed around the American holly and the dogwood trees to the preserved along the east side of the property. Because these trees will be subject to significant construction disturbance the extended tree protection area will be required.

B. Clearing

Prior to any construction on the site, the limits of clearing should be clearly identified. Minimal clearing is required to prepare this site for construction. Therefore each tree to be removed should be marked to eliminate the accidental removal of the wrong tree. Two areas of primary concern, are the construction access easement at the front of the property, and the group of ornamental trees located on the east side of the property, along the driveway.

The clearing of the construction access is to include the removal of one hemlock tree, and several black cherry trees. Trees and limbs which will interfere with construction vehicles to a height of fourteen feet should be removed. Due to their proximity to the construction access, we suggest that the dogwood trees located along the east side of the construction access be removed.

Selected clearing on the east side of the property is to include the removal of two redbud trees and two black cherry trees. One American holly and one Dogwood tree are to be preserved in this area.

Selective removal of additional trees along the perimeter of the property may be necessary to improve the remaining stand of trees. We suggest that this clearing be postponed until after the completion of construction, in order to deter construction workers from cutting through the tree preservation zone.



MURRAY AND SONS, INC.  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815

09/09/90

### TREE PRESERVATION PROGRAM

#### KENNSINGTON PARK SUBDIVISION, LOT 15

In order to protect the trees adjacent to the limits of clearing, stump removal should be completed with a stump grinding machine, and not pushed or pulled out with a bulldozer or back-hoe. Stump grinding will minimize the disturbance to the root systems of the adjacent trees to be preserved.

#### C. Root Pruning

Root pruning is recommended in those areas where excavation is likely to impact significant roots of adjacent trees. Root pruning is carried out to cleanly sever the roots at the known limits of excavation. In this case root pruning should be completed by trenching to a depth of eighteen to twenty four inches, with a ditch witch or stump grinder at the limit of excavation for the foundation at the northwest corner of the structure. Root pruning should extend for a minimum of twenty feet south and east of from this corner. To accommodate the required overdig for the excavation, the root pruning should be offset approximately four feet from the proposed foundation wall.

#### D. Construction Pruning

Prior to construction, a careful assessment should be made to determine if any trees will require pruning to provide clearance for the proposed construction. This pruning should include limbs that are likely to interfere with the walls, eaves or roof of the structure. Additional clearance should be considered for all construction equipment which may be required. This may include, scaffolds, ladders, fork-lifts, tractors, etc..

Construction pruning should be carried out by a qualified tree expert who is licensed by the State of Maryland. Pruning should be completed according to standards set forth by the National Arborist Association.

MURRAY AND SONS, INC.  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815

09/09/90

## TREE PRESERVATION PROGRAM

KENNSINGTON PARK SUBDIVISION, LOT 15

### II. Maintenance

#### A. Remedial Action

Damage incurred by trees on the site during the construction process should be repaired immediately. Wounds should be traced. Broken branches should be properly pruned.

Soils compacted within tree preservation zones should be aerated by auguring holes three feet on center throughout the root zone of the tree. The holes should be approximately two and one half inches in diameter, and approximately eighteen inches deep.

#### B. Additional Maintenance

**Fertilization.** Trees within the preservation zones will benefit from proper fertilization in fall or early spring. Natural areas can be fertilized by liquid injection throughout the root zone, or surface application of appropriate formulations. Generally balanced formulations, such as 20-20-20 NPK, should be applied at a rate of three to four pounds N per 1000 square feet of surface area.

**Insect pest and Disease Control.** All plant materials to be preserved on the site should be inspected and treated for any harmful insect infestations or diseases. Cover sprays are not recommended, and chemical applications should only be applied to control specific target problems.

**Tree Stand Improvement in Non-disturbed Areas.** Within the tree preservation zones, tree stand improvement may be carried out to improve the health and appearance of those trees not directly impacted by the construction process. In addition

MURRAY AND SONS, INC.  
6422 WESTERN AVENUE  
CHEVY CHASE, MARYLAND 20815

09/09/90

TREE PRESERVATION PROGRAM

KENNSINGTON PARK SUBDIVISION, LOT 15

to pruning, fertilization, insect pest and disease control, tree stand improvement may include the selective removal of marginal or undesirable trees, clean-up of the ground plane, and release thinning to promote the growth of selected high value specimens.

PLANT LIST (NEW HARVEST ONLY)

TREES & SHRUBS		POTENTIAL NAME	COMMON NAME	SIZE	REMARKS
1	1	ACEP RUBRUM	RED MAPLE	2"-2 1/2"	B+B
1	1	AMELANSCHIER CANADENSIS	SHADBLOW SWEETBERRY	5'-6'	B+B
5	5	CERCIS CANADENSIS	BRASTEN REDBUD	8'-10'	B+B
3	3	EUONYMUS KIATSCHOVICUS SIBIRICUS	EVERGREEN BUONNYMUS	24'-30"	CON
1	1	ZIBETHIA TRIACANTHOS VAR INERMIS HAKKA	THORNLESS HONEYLOCUST	2'-2 1/2"	B+B
10	10	ILEX CRENATA 'HELLERI'	JAPANESE HOLLY	3 GAL	CON
1	1	MAGNOLIA X SOULANGIANA	SAUCEP MAGNOLIA	5'-6'	B+B/CON
1	1	PRUNUS LAUROCYPRESSUS 'OTTO LUYKEN'	OTTO LUYKEN CHIFFLAREL	18-24	B+B
2	2	PRUNUS LAUROCYPRESSUS 'SCHILLERIANENSIS'	CHIFFLAREL	24-30	B+B
1	1	RHODODENDRON 'KOSHUKU ELIGANS'	(SAME)	24-30	B+B/CON
3	3	VIBURNUM RUCIATUM TOMIYOSHIKI 'MAFESSII'	DOBIEBITE VIBURNUM	24-30	B+B
GROUND COVER					
NOTE: EXISTING MATERIAL TO REMAIN IS MARKED +. SEE TREE TAGS FOR COMMENTS.					
300		VINCA MINOR	PERIVIVKLE	24 (11)	PLANTS 50

M E M O R A N D U M

TO: Robert Seely, Chief  
Construction Codes Enforcement Division  
Department of Environmental Protection

FROM: Laura McGrath, Planning Specialist LM  
Department of Housing and Community Development

DATE: October 15, 1990

SUBJECT: Historic Area Work Permit No. 9009200061  
Property Owner: Margaret C. Murray  
Property Address: 3929 Prospect Street, Kensington

The Montgomery County Historic Preservation Commission, at their meeting of October 10, 1990, reviewed the above-referenced application for an Historic Area Work Permit (HPC Case No. 31/6-90P) and approved the application with the following modifications:

1. Construction access shall be located as marked in black on the attached landscape plan (Exhibit #5), with the centerline approximately in the location of the proposed walkway. Permission from the Town of Kensington will be necessary for the appropriate curb cut.
2. Trees approved to be removed, marked in red on the attached landscape plan, are:
  - 4 wild cherries; 2 just west of the construction access and 2 east of the construction access;
  - 2 redbud trees located on either side of the construction access;
  - 2 redbud trees just east of the proposed house; and
  - 1 pear tree.

It is also understood that scrub will be removed as is necessary for the construction access.

Please call me at 217-3625 with any questions.



Montgomery County Government

MEMORANDUM

TO: Ray Shulman, Chairman  
Washington Local Advisory Panel

FROM: Laura McGrath, Planning Specialist *LM*  
 Department of Housing and Community Development  
 Division of Community Planning and Development

DATE: 9-24, 1990

SUBJECT: Historic Area Work Permit Application

The attached application by Molly Murray for Frank Murray for an Historic Area Work Permit at 3929 Prospect Street is being forwarded for review and comment by the Local Advisory Panel. If the Panel would like written comments to be included in the Historic Preservation Commission's pre-meeting packet, they should be received at our office by no later than October 2, at 5:00 p.m. Otherwise, verbal and/or written comments may be presented at the Commission meeting scheduled for October 10, 1990.

Dr. Shulman:

JBC:av  
 1549E  
 1/90

The application by the Usemans for awnings at 10403 Prospect Street is also scheduled for the 10/10 meeting. At this time, I have not received any further information on the application. When, and if, I do, I will forward it to you.

Laura

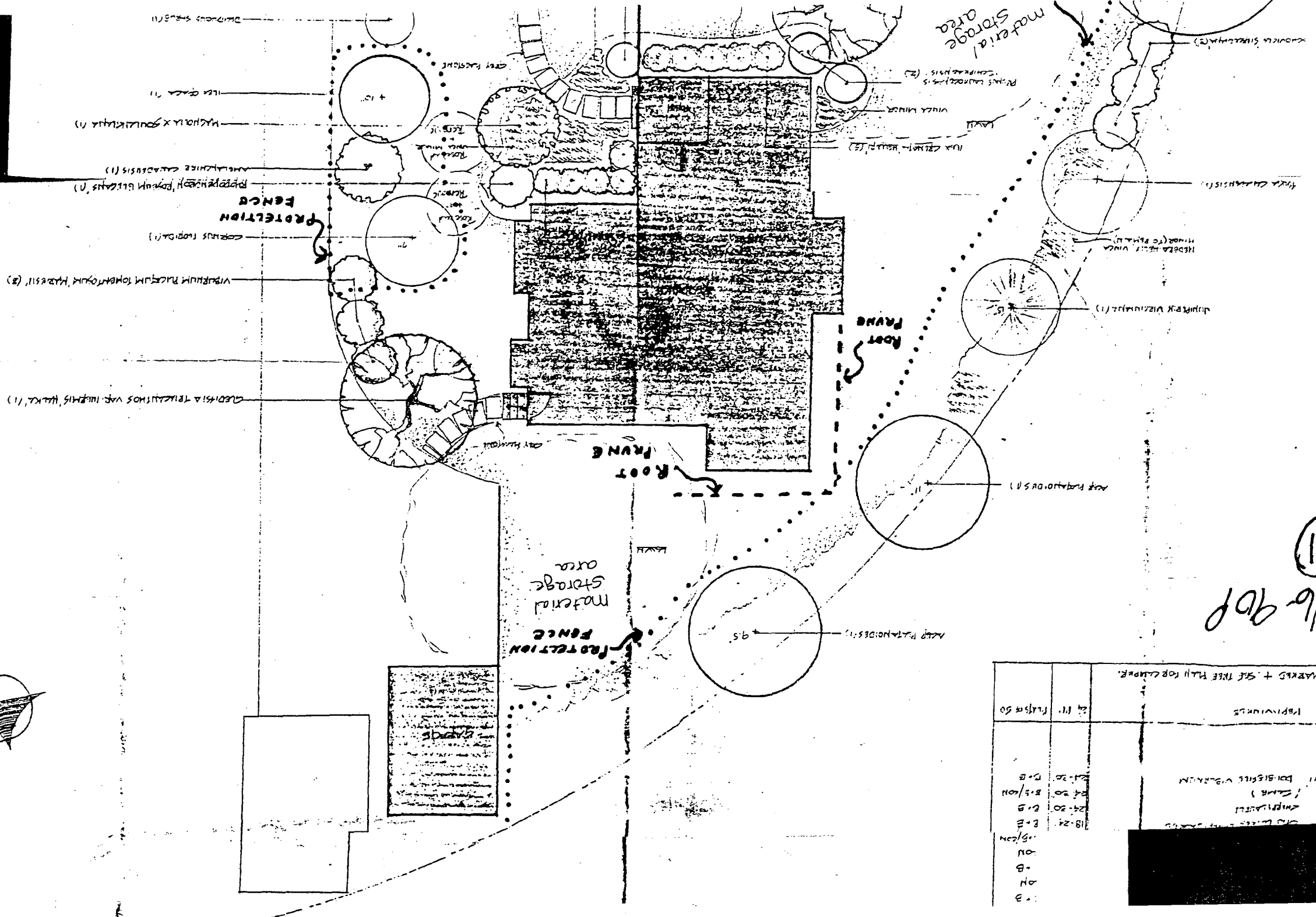
6a



Red Gables

6b

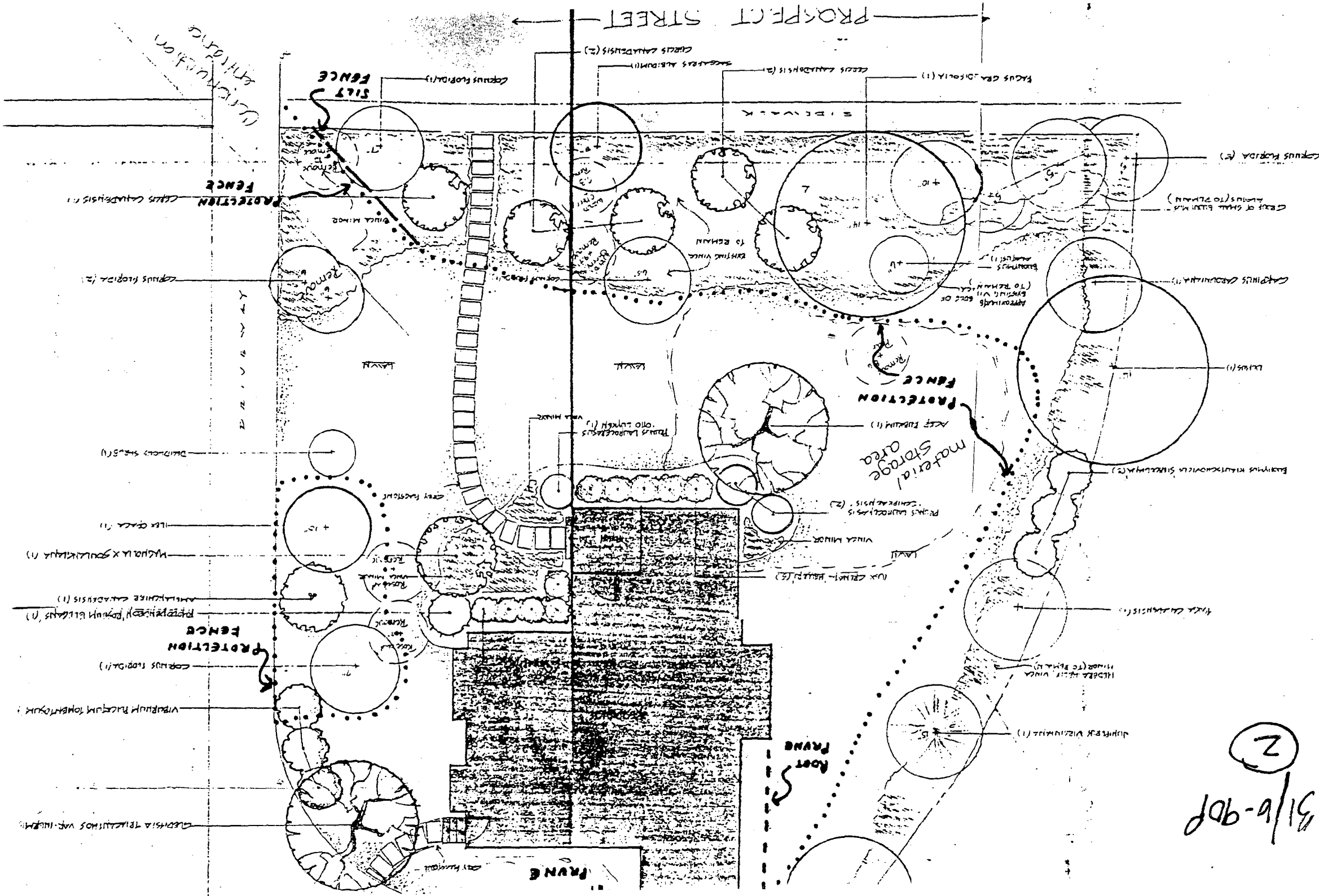




①  
3/16/90

MAPPED + SET TREE TAGS FOR CLIMBER.	
18-24	18-24
24-30	24-30
30-36	30-36
36-42	36-42
42-48	42-48
48-54	48-54
54-60	54-60
60-66	60-66
66-72	66-72
72-78	72-78
78-84	78-84
84-90	84-90
90-96	90-96
96-102	96-102
102-108	102-108
108-114	108-114
114-120	114-120
120-126	120-126
126-132	126-132
132-138	132-138
138-144	138-144
144-150	144-150
150-156	150-156
156-162	156-162
162-168	162-168
168-174	168-174
174-180	174-180
180-186	180-186
186-192	186-192
192-198	192-198
198-204	198-204
204-210	204-210
210-216	210-216
216-222	216-222
222-228	222-228
228-234	228-234
234-240	234-240
240-246	240-246
246-252	246-252
252-258	252-258
258-264	258-264
264-270	264-270
270-276	270-276
276-282	276-282
282-288	282-288
288-294	288-294
294-300	294-300
300-306	300-306
306-312	306-312
312-318	312-318
318-324	318-324
324-330	324-330
330-336	330-336
336-342	336-342
342-348	342-348
348-354	348-354
354-360	354-360
360-366	360-366
366-372	366-372
372-378	372-378
378-384	378-384
384-390	384-390
390-396	390-396
396-402	396-402
402-408	402-408
408-414	408-414
414-420	414-420
420-426	420-426
426-432	426-432
432-438	432-438
438-444	438-444
444-450	444-450
450-456	450-456
456-462	456-462
462-468	462-468
468-474	468-474
474-480	474-480
480-486	480-486
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492-498	492-498
498-504	498-504
504-510	504-510
510-516	510-516
516-522	516-522
522-528	522-528
528-534	528-534
534-540	534-540
540-546	540-546
546-552	546-552
552-558	552-558
558-564	558-564
564-570	564-570
570-576	570-576
576-582	576-582
582-588	582-588
588-594	588-594
594-600	594-600
600-606	600-606
606-612	606-612
612-618	612-618
618-624	618-624
624-630	624-630
630-636	630-636
636-642	636-642
642-648	642-648
648-654	648-654
654-660	654-660
660-666	660-666
666-672	666-672
672-678	672-678
678-684	678-684
684-690	684-690
690-696	690-696
696-702	696-702
702-708	702-708
708-714	708-714
714-720	714-720
720-726	720-726
726-732	726-732
732-738	732-738
738-744	738-744
744-750	744-750
750-756	750-756
756-762	756-762
762-768	762-768
768-774	768-774
774-780	774-780
780-786	780-786
786-792	786-792
792-798	792-798
798-804	798-804
804-810	804-810
810-816	810-816
816-822	816-822
822-828	822-828
828-834	828-834
834-840	834-840
840-846	840-846
846-852	846-852
852-858	852-858
858-864	858-864
864-870	864-870
870-876	870-876
876-882	876-882
882-888	882-888
888-894	888-894
894-900	894-900
900-906	900-906
906-912	906-912
912-918	912-918
918-924	918-924
924-930	924-930
930-936	930-936
936-942	936-942
942-948	942-948
948-954	948-954
954-960	954-960
960-966	960-966
966-972	966-972
972-978	972-978
978-984	978-984
984-990	984-990
990-996	990-996
996-1002	996-1002





Watering  
 direction

3/6-90p  
 2

3116 3929 Prospect Street



## Montgomery County Government

Historic Preservation Commission  
51 Monroe Street  
Rockville, Maryland 20850



Ex 6a

31/6-90P



Ex 66  
31/690P