

35/13-00E 22 Hesketh Street
(Chevy Chase Village Historic District)

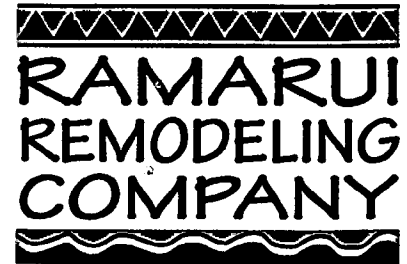
#35/13-00F 22 Hesketh Street, Chevy
Chase - Chevy Chase Village HD

BRUCE A. RICH ASSOCIATES

ARCHITECTS AND PLANNING CONSULTANTS

Bruce A. Rich, A.I.A.
MANAGING PRINCIPAL

15200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850
TEL. 301-670-2822 - FAX 301-984-0536



Dante Ramarui *Cell 240-372-4085*
5912 LeMay Road • Rockville, MD 20851 • (301) 468-9045 • MHC# 66008

Revision to
Existing HAWP

for next
meeting

5/13/01

6/8/01

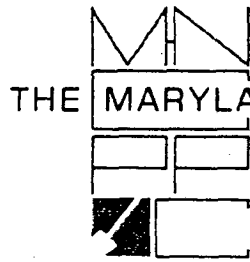
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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/20/01

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

35/13-00F REVISION (REAR PATIO
INSTALLATION)

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: LUCY O'BRIEN

Address: 22 HESKETH ST. CHEVY CHASE

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BRUCE RICH (ARCHITECT)

Daytime Phone No.: 301 670 2822

Tax Account No.: _____

Name of Property Owner: Ms. Lucy O'Brien

Daytime Phone No.: 301 656-6301

Address: 23 Hesketh St., Chevy Chase, Maryland 20815
Street Number City Street Zip Code

Contractor: (to be selected)

Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Bruce Rich (Architect)

Daytime Phone No.: 301 670 2822

LOCATION OF BUILDING/PREMISE

House Number: 22 Hesketh Street Street: Hesketh Street

Town/City: CHEVY CHASE MD Nearest Cross Street: Wisconsin Avenue

Lot: 20 Block: 24 Subdivision: CHEVY CHASE

Liber: 2233 Folio: 125 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000 (est)

1C. If this is a revision of a previously approved active permit, see Permit # —

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify, under the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Bruce A. Rich
Signature of owner or authorized agent

1/2/2000
Date

Approved: _____

For Chairperson, Historic Preservation Commission

(1)

REVISION TO 35/13-ODF

May 16,2001

Dear Robin,

Enclosed you will find a copy of the plat for my home at 22 Hesketh Street, Chevy Chase, Md. in Chevy Chase Village. I am appealing to you for the purpose of installing a patio in my backyard. The proposed location is shown in pink. It will be approximately 16 feet wide, which puts it 8' 9" from the east property line, curving to about 14' wide at the south end, and 15' to the south. The length may be shortened because I don't want to compromise the large, established Tulip Poplar tree in the backyard. The patio will be constructed of brick pavers layed onto blue stone. The location puts the patio at ground level next to the house, but because the lot slopes from the rear of the lot towards the house, the patio will be lower than the back part of the lot. To allow for the difference, there may need to be one or two steps from the patio up to the higher level, which will be grass between the already established plantings. I am making every effort not to change the original landscaping.

I spoke with the Montgomery County permitting office about the need for a permit for this construction, and was told that a permit was not needed.

If you need any other information, you can reach me at 508-693-5463 until Sunday, May 20, and at 301-656-6301 until the 26th of May. After the 27th of May, I will be at the 508 number.

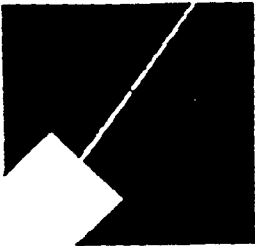
I'm sorry but I won't be able to attend the meeting. If my presence is needed, I could fly back. I can't remember the date of the meeting. If it is before the 3rd of June, I cannot return.

Thank you so much for all your kind attention and consideration.

Lucy O'Brien



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 6/20/01

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner

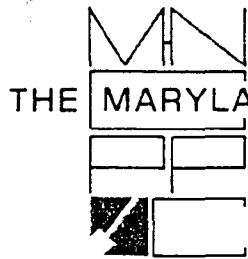


SUBJECT: Historic Area Work Permit Application - HPC Decision

35/13 - OOF REVISION

The Historic Preservation Commission reviewed this project on 6/13/01.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/20/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Prior to your permit submission, you must present Historic Preservation staff with 3 permit sets of drawings for review and stamping. In addition, please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	22 Hesketh Street, Chevy Chase	Meeting Date:	06/13/01
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	06/06/01
Review:	HAWP	Public Notice:	05/30/01
Case Number:	35/13-00F REVISION	Tax Credit:	None
Applicant:	Lucy O'Brien	Staff:	Michele Naru
PROPOSAL:	Rear Patio	RECOMMEND:	Approval

PROJECT DESCRIPTION:

SIGNIFICANCE: Contributing Resource in Chevy Chase Village Historic District.
STYLE: Colonial Revival
DATE: 1916-1927

PROPOSAL:

The applicant is proposing to install new rear patio. The patio is to be constructed of brick pavers on bluestone dust. The patio will measure approx. 20' in length and measuring 16' to 14' wide.

STAFF RECOMMENDATION:

Approval
 Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

____ 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

____ 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

____ 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

____ 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
 1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
 2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
 - A. Repair or replacement of masonry foundations with new materials that match the original closely.
 - B. Installation of vents, venting pipes, and exterior grills.
 - C. New installation of gutters.
 3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
 4. Removal of accessory building that are not original to the site or otherwise historically significant.
 5. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
 6. Signs that are in conformance with all other County sign regulations.

7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
8. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BRUCE RICH (ARCHITECT)

Daytime Phone No.: 301 670 2822

Tax Account No.: _____

Name of Property Owner: Ms. Lucy O'Brien

Daytime Phone No.: 301 656-6301

Address: 23 Hesketh St., Chevy Chase, Maryland 20815
Street Number City State Zip Code

Contractor: (to be selected)

Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Bruce Rich (Architect)

Daytime Phone No.: 301 670 2822

LOCATION OF BUILDING/PREMISE

House Number: 22 Hesketh Street Street: Hesketh Street

Town/City: Chevy Chase MD Nearest Cross Street: Wisconsin Avenue

Lot: 20 Block: 24 Subdivision: Chevy Chase

Liber: 2235 Folio: 125 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000 (est.)

1C. If this is a revision of a previously approved active permit, see Permit # —

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify, that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Bruce A. Rich
Signature of owner or authorized agent

1/2/2000
Date

Approved: _____

For Chairperson, Historic Preservation Commission

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MAP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

Ms. Lucy O'Brien
 23 Hesketh St.
 Chevy Chase, MD
 20815

Mr. & Mrs. John Thompson
 23 Grafton Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. Eric Lewis
 21 Hesketh Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. Forest Hamline
 22 Grafton Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. Joseph Schorman
 17 Hesketh Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. William McKee
 21 Grafton Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. Stan Brown
 24 Hesketh Street
 Chevy Chase, MD.
 20815

Mr. & Mrs. Frank Folkes
 19 Grafton St.
 Chevy Chase, MD
 20815

May 16,2001

Dear Robin,

Enclosed you will find a copy of the plat for my home at 22 Hesketh Street, Chevy Chase, Md. in Chevy Chase Village. I am appealing to you for the purpose of installing a patio in my backyard. The proposed location is shown in pink. It will be approximately 16 feet wide, which puts it 8' 9" from the east property line, curving to about 14' wide at the south end, and 15' to the south. The length may be shortened because I don't want to compromise the large, established Tulip Poplar tree in the backyard. The patio will be constructed of brick pavers layed onto blue stone. The location puts the patio at ground level next to the house, but because the lot slopes from the rear of the lot towards the house, the patio will be lower than the back part of the lot. To allow for the difference, there may need to be one or two steps from the patio up to the higher level, which will be grass between the already established plantings. I am making every effort not to change the original landscaping.

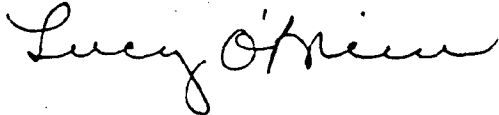
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If you need any other information, you can reach me at 508-693-5463 until Sunday, May 20, and at 301-656-6301 until the 26th of May. After the 27th of May, I will be at the 508 number.

I'm sorry but I won't be able to attend the meeting. If my presence is needed, I could fly back. I can't remember the date of the meeting. If it is before the 3rd of June, I cannot return.

Thank you so much for all your kind attention and consideration.

Lucy O'Brien



2-00187

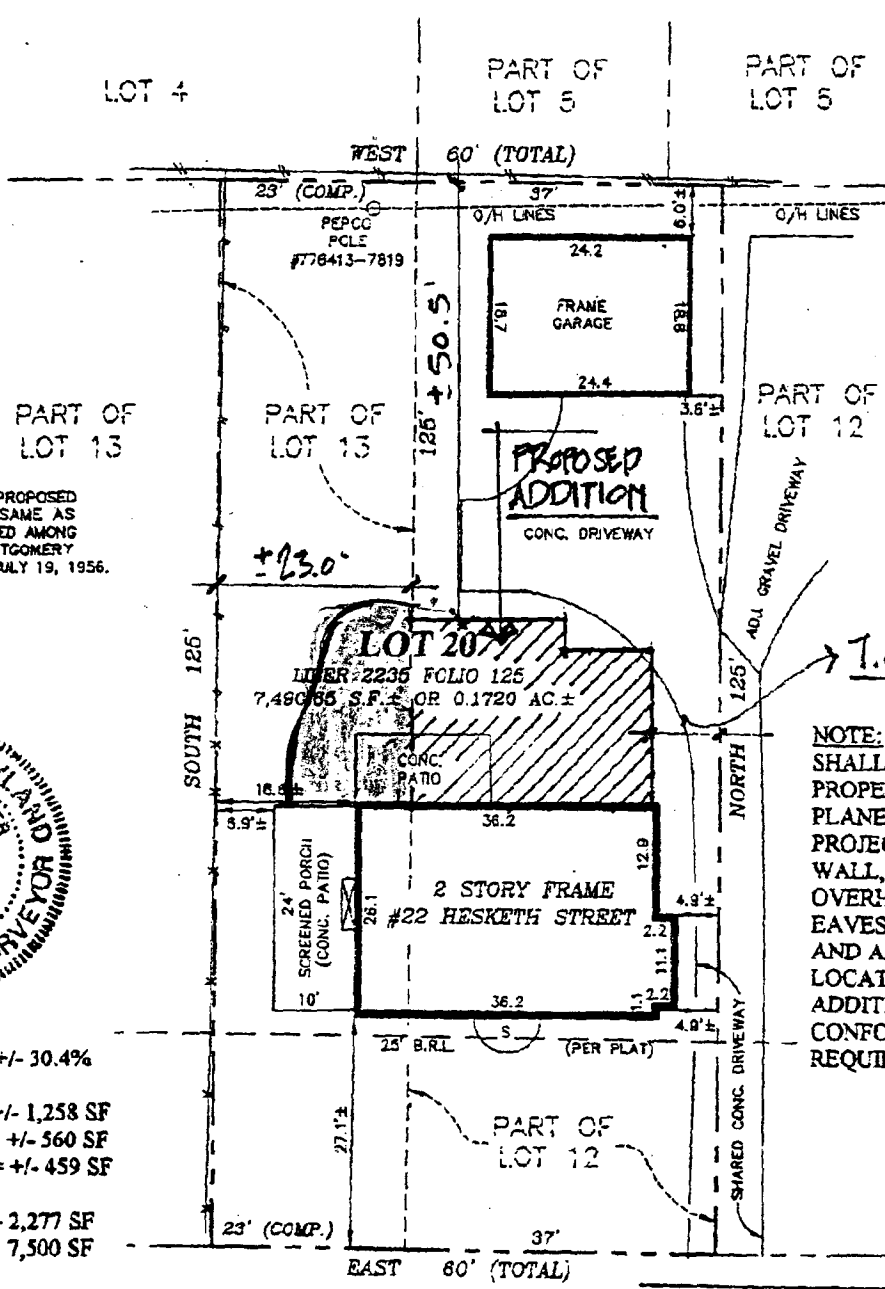
P.B. 2 P. 106

NOTE:

THE LOT CONFIGURATION OF PROPOSED LOT 20 IS TO REMAIN THE SAME AS LIBER 2235 FOLIO 125 RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, DATED JULY 19, 1956.



LOT COVERAGE = +/- 30.4%
EXIST'G HOUSE = +/- 1,258 SF
PROP. ADDITION = +/- 560 SF
EXIST'G GARAGE = +/- 459 SF
TOTAL AREA = +/- 2,277 SF
LOT SIZE = 7,500 SF



NOTE: SETBACK SHALL BE FROM PROPERTY LINE TO PLANE OF FARTHEST PROJECTION FROM WALL, INCLUDING OVERHANGS AND EAVES. FIELD VERIFY AND ADJUST LOCATION OF ADDITION TO CONFORM TO THIS REQUIREMENT.

LOT 20, BLOCK 24
SECTION NO. 2
CHEVY CHASE
MONTGOMERY COUNTY, MARYLAND

HESKETH STREET (60' WIDE R/W PER PLAT)
PROPOSED ADDITION TO 22 HESKETH ST.
(BRUCE A. RICH ASSOC.)
ARCHITECT
 S.30.00

SURVEYORS CERTIFICATE "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		REFERENCES PLAT BK NEW PLAT TO BE RECORDED PLAT NO. 2235 LIBER 2235 FOLIO 125	SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 PROFESSIONAL DRIVE SUITE 218 GAITHERSBURG, MARYLAND 20879 301-948-5100, FAX 301-948-1286 SCALE 1" = 20' DRAWN BY: M.A.S. JOB NO.: 99-25145
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8

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

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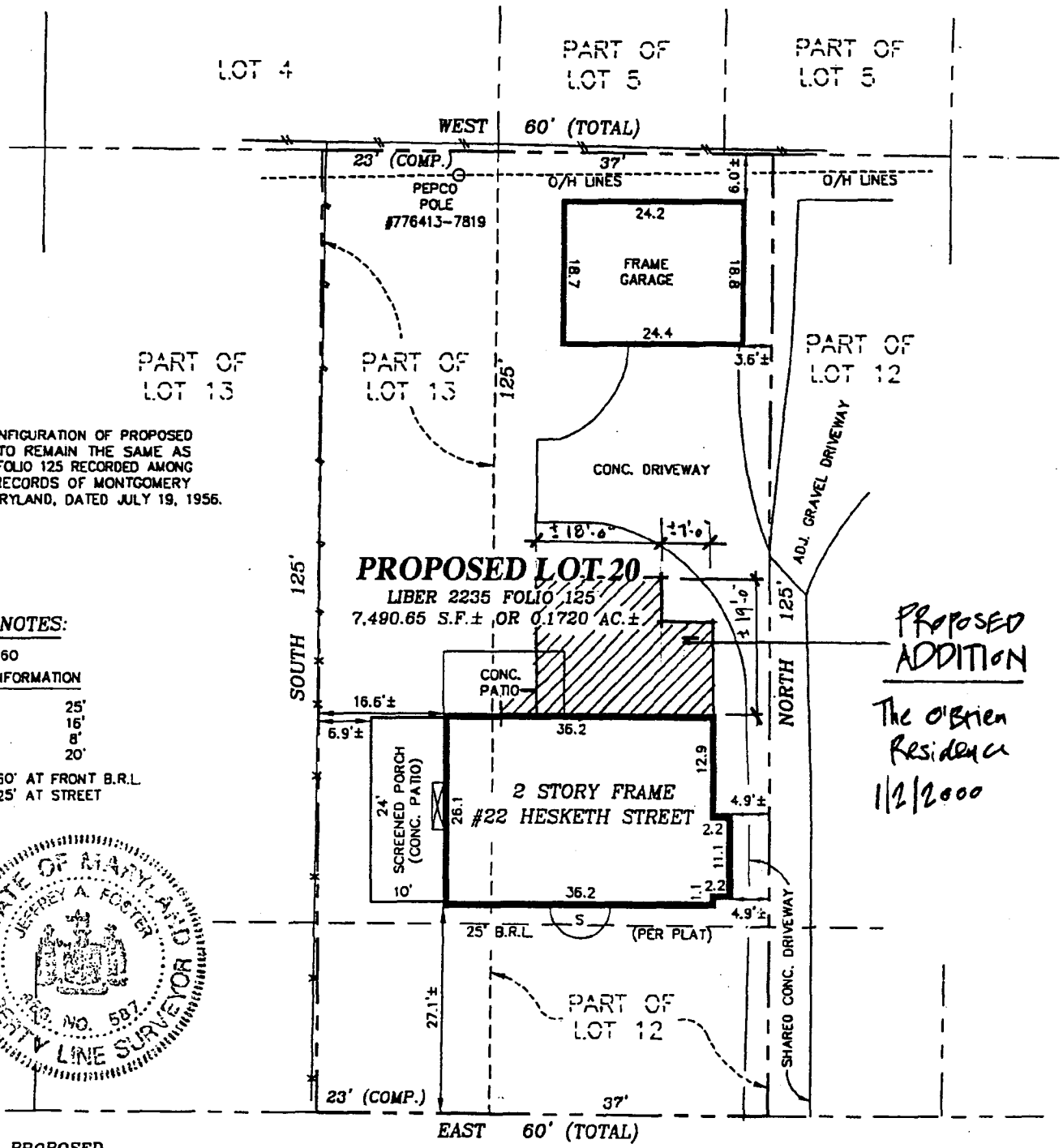
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 19 Grafton St.
 Chevy Chase, MD
 20815

SKETCH PLAT FOR MINOR SUBDIVISION PROCESS PLAT FOR PARCEL CREATED PRIOR TO JUNE 1, 1958

P.B. 2 P. 108



NOTE:

THE LOT CONFIGURATION OF PROPOSED LOT 20 IS TO REMAIN THE SAME AS LIBER 2235 FOLIO 125 RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, DATED JULY 19, 1956.

ZONING NOTES:

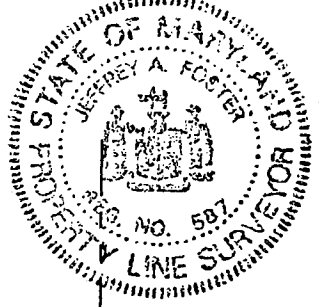
ZONEO: R-60

B.R.L. INFORMATION

- FRONT 25'
- TOTAL SIDE 16'
- MIN. SIDE 8'
- REAR 20'
- MIN. WIDTH 60' AT FRONT B.R.L.
- MIN. WIDTH 25' AT STREET

Proposed ADDITION

*The O'Brien Residence
1/2/2000*



**PROPOSED
LOT 20, BLOCK 24
SECTION NO. 2
CHEVY CHASE
MONTGOMERY COUNTY, MARYLAND**

HESKETH STREET
(60' WIDE R/W PER PLAT)

SURVEYORS CERTIFICATE		REFERENCES	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 PROFESSIONAL DRIVE, SUITE 216 GAITHERSBURG, MARYLAND 20879 301-948-8100, FAX 301-948-1286
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."		PLAT BK. 2 PLAT NO. 108	
Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		LIBER 2235 FOLIO 125	SCALE: 1" = 20' DRAWN BY: M.A.S. JOB NO.: 99-2514S

4

May 16,2001

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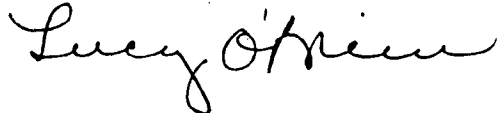
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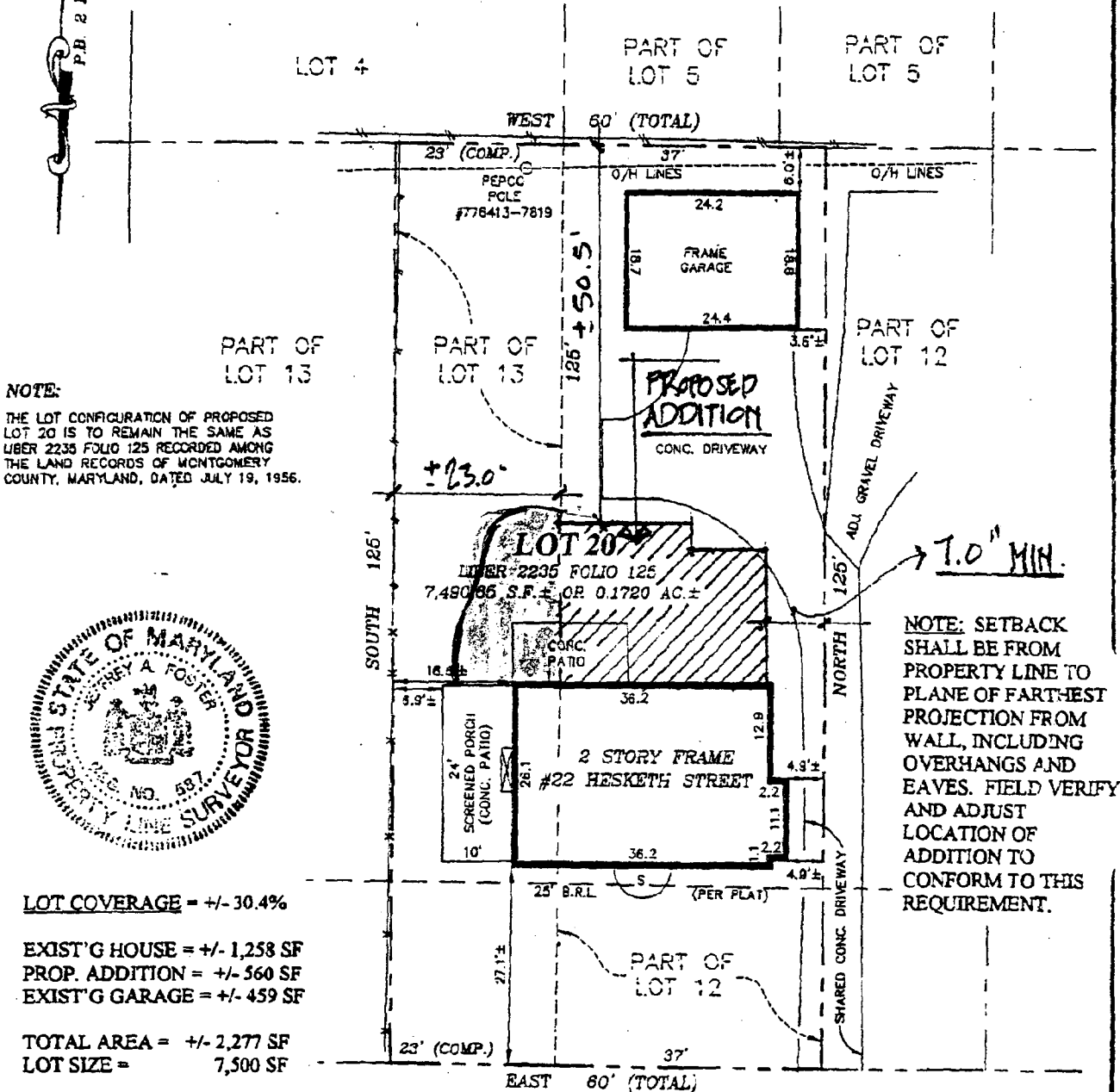
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Lucy O'Brien



P.B. 2 P. 106



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LOT 20, BLOCK 24
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CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

HESKETH STREET PROPOSED ADDITION
 (60' WIDE R/W PER PLAT) TO #22 HESKETH ST.
 S.30.60 (BRUCE A. RICH ASSOC.)
 ARCHITECT


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Jeffrey A. Foster
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587

REFERENCES	
PLAT BK.	NEW PLAT TO BE RECORDED
LIBER	2235
FOLIO	125

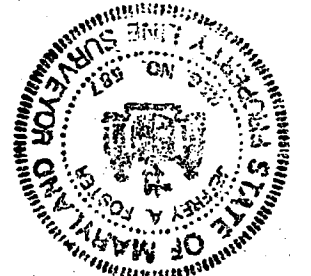
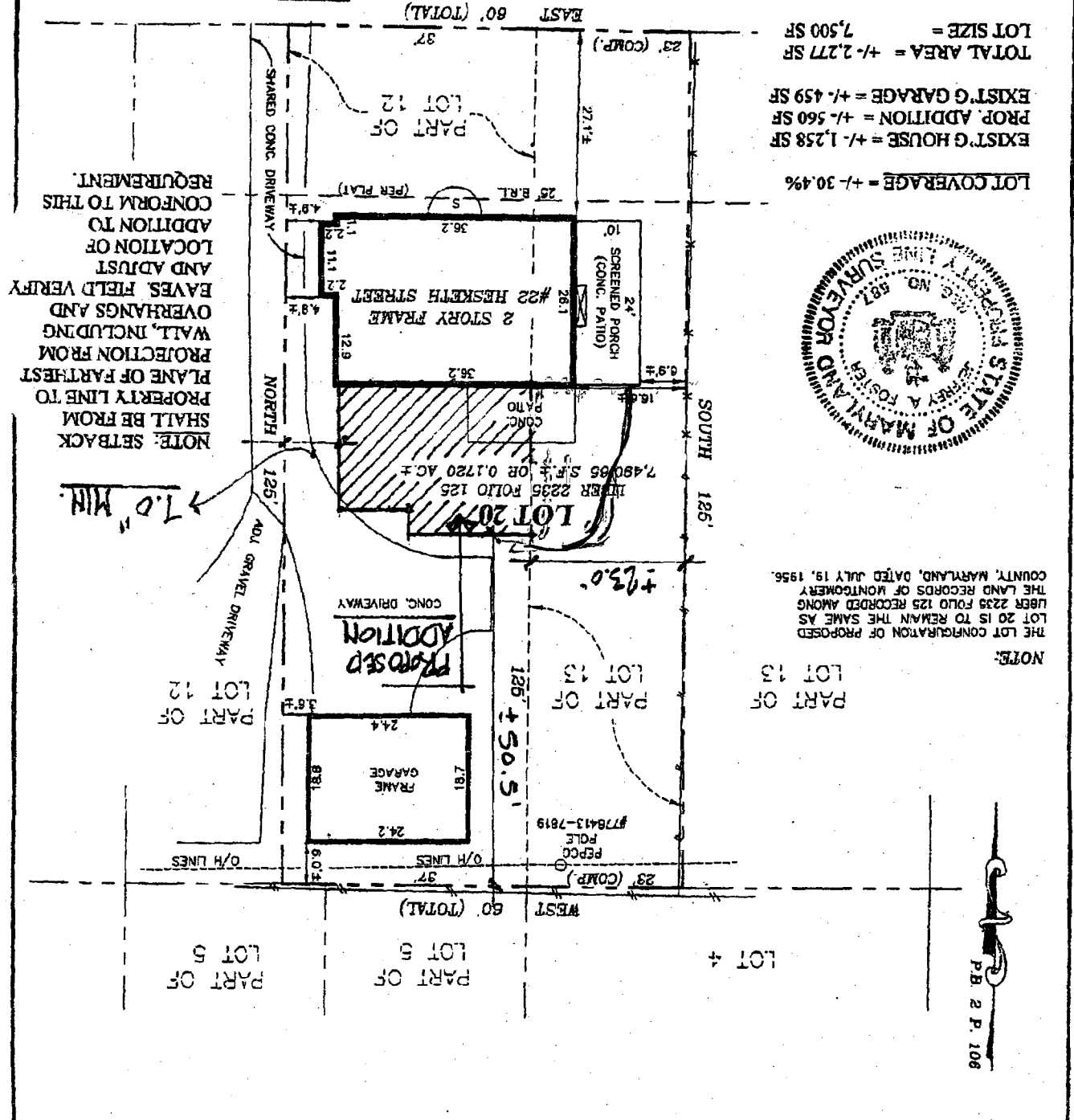


SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 2 PROFESSIONAL DRIVE, SUITE 218
 GAITHERSBURG, MARYLAND 20878
 301-848-5100; FAX 301-848-1286
SCALE: 1" = 20'
DRAWN BY: M.A.S.
JOB NO.: 99-2514S

9

SURVEYORS CERTIFICATE "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD, EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		FOLIO 125 LIBER 2236
JOB NO.: 89-2614S DRAWN BY: M.A.S. SCALE: 1" = 20' SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 PROFESSIONAL DRIVE, SUITE 218 GAITHERSBURG, MARYLAND 20878 301-948-6100 / FAX 301-948-1286		REFERENCES PLAT BK NEW PLAT TO BE RECORDED PLAT NO.

MONTGOMERY COUNTY, MARYLAND
CHEVY CHASE
 SECTION NO. 2
 LOT 20, BLOCK 24



NOTE:
 THE LOT CONFIGURATION OF PROPOSED LOT 20 IS TO REMAIN THE SAME AS LIBER 2236 FOLIO 125 RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, DATED JULY 19, 1956.

NOTE: SETBACK SHALL BE FROM PLANE OF FARTHEST PROJECTION FROM WALL, INCLUDING OVERHANGS AND EAVES. FIELD VERIFY AND ADJUST LOCATION OF ADDITION TO CONFORM TO THIS REQUIREMENT.

2-00187

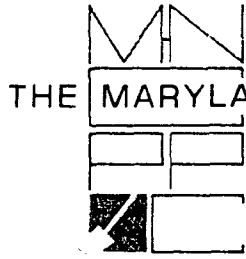
Lucy O'Brien

PO Box 4063

~~Ms~~ Vineyard Haven,
Mass. 02568

+

Ramarui
Remodeling
Co. --



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

January 22, 2001

Ms. Lucy O'Brien
P.O. Box 4063
Vineyard Haven, Mass. 02568

Dear Ms. O'Brien:

Thank you for contacting the Historic Preservation Commission (HPC) to discuss some changes in your project that was approved by the HPC at their 1/26/00 meeting. With regard to the existing side screened porch, the HPC approved your proposal to glass-in the porch with a glazing system that matched the pattern of the existing screening. The center bay was approved with wood panels rather than glazed panels.

Today, we discussed your new proposal to retain the front ½ of the porch with its existing screening. A dividing wall would be built in the middle, meeting a new intermediate column designed to match the existing columns. The rear portion would then be glazed to provide a small enclosed room at the rear. You propose to glaze 2/3s of the opening, but use a wood panel in the bottom 1/3 of each glazed section. As the new porch room will be experienced as an interior room, you propose to install two double-hung windows in the rear side bay, to match the existing windows in the house. The rear-facing bay will hold a glazed French door, with side light glazing to fill the opening. The new renovation will include retention of the original porch columns, massing, and materials, as originally approved.

As this change is consistent with the HPC approval, and would not constitute an essential change to the HAWP in terms of massing or loss of original fabric, I feel that this does not need to go back to the HPC for a revision to the HAWP.

Therefore, you may proceed with the proposed porch enclosure as per the enclosed stamped drawings. You need not file for a revision to your existing Historic Area Work Permit, and this letter serves as confirmation of this for your records. If you have any further questions, please do not hesitate to call me at (301)563-3408.

Sincerely,

Robin D. Ziek
Historic Preservation Planner

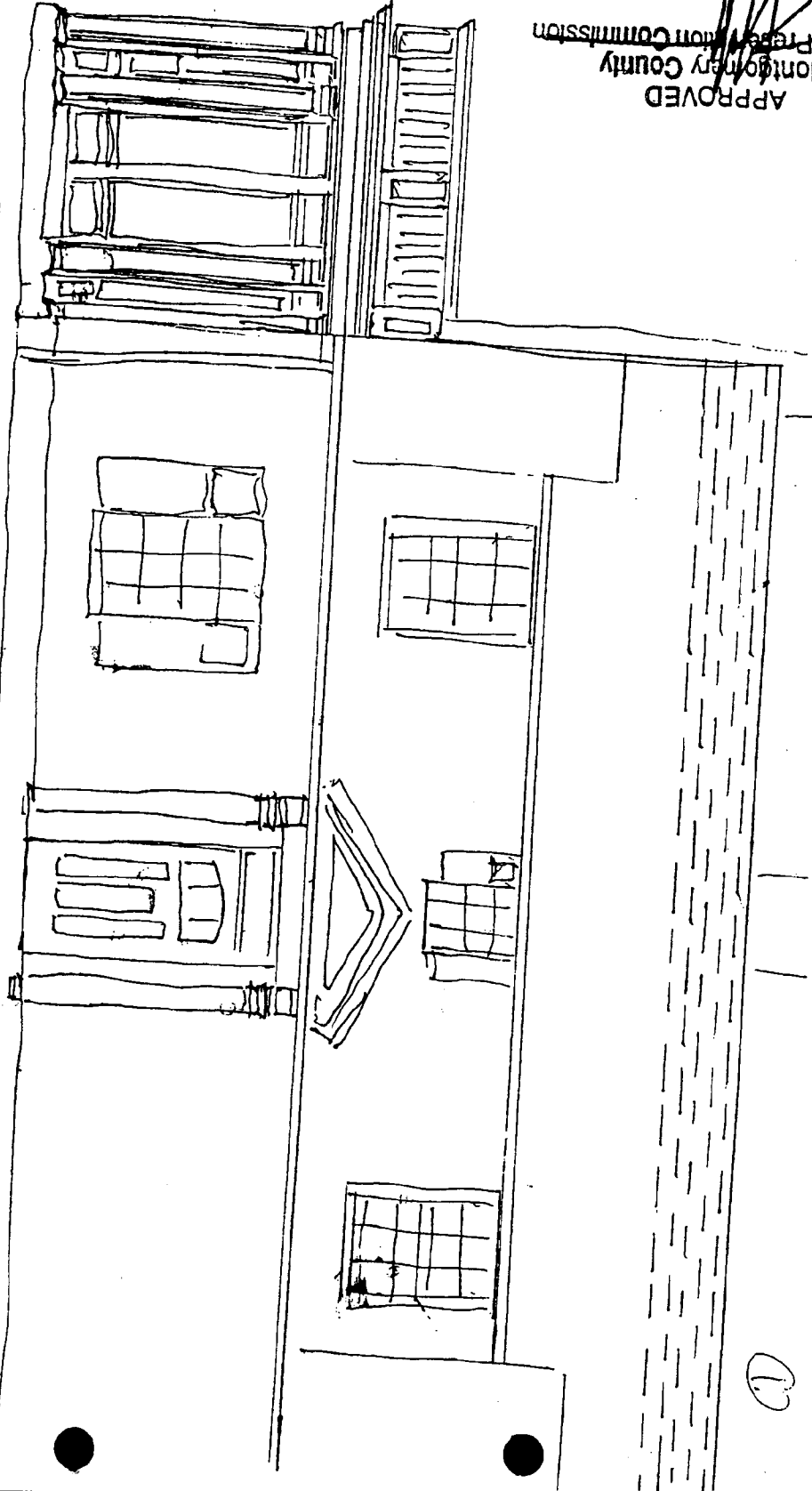
cc: Ramarui Remodeling Co.

1/22/01
DZ

APPROVED
Montgomery County
Historic Preservation Commission

SEEING # 146
DRAWING
NO 2

FRONT of House
Remain the same
ORIGIN - 22 WISKETH ST, CHEVY CHASS

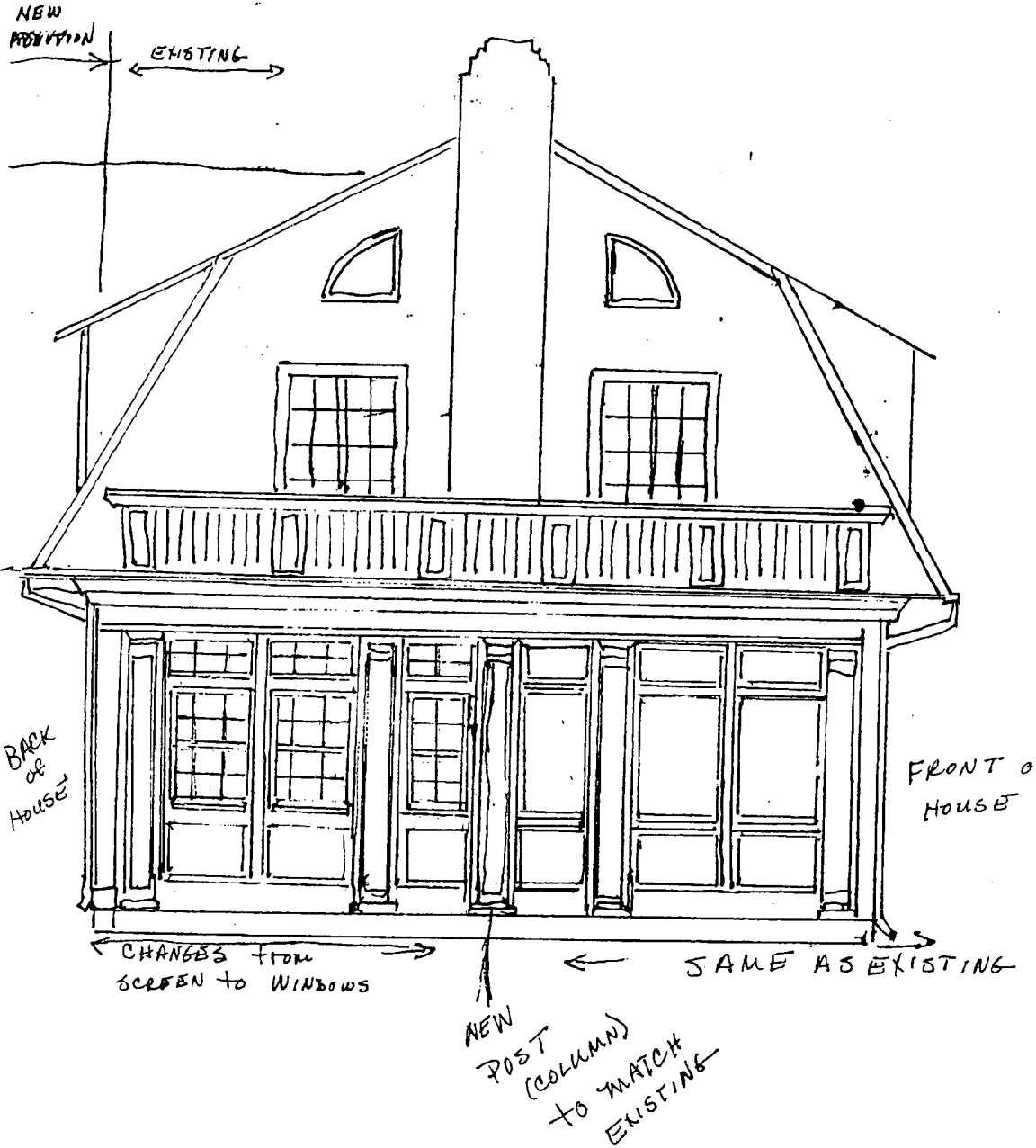


11

(LEFT SIDE ELEVATION)

(2)

EAST SIDE
of HOUSE



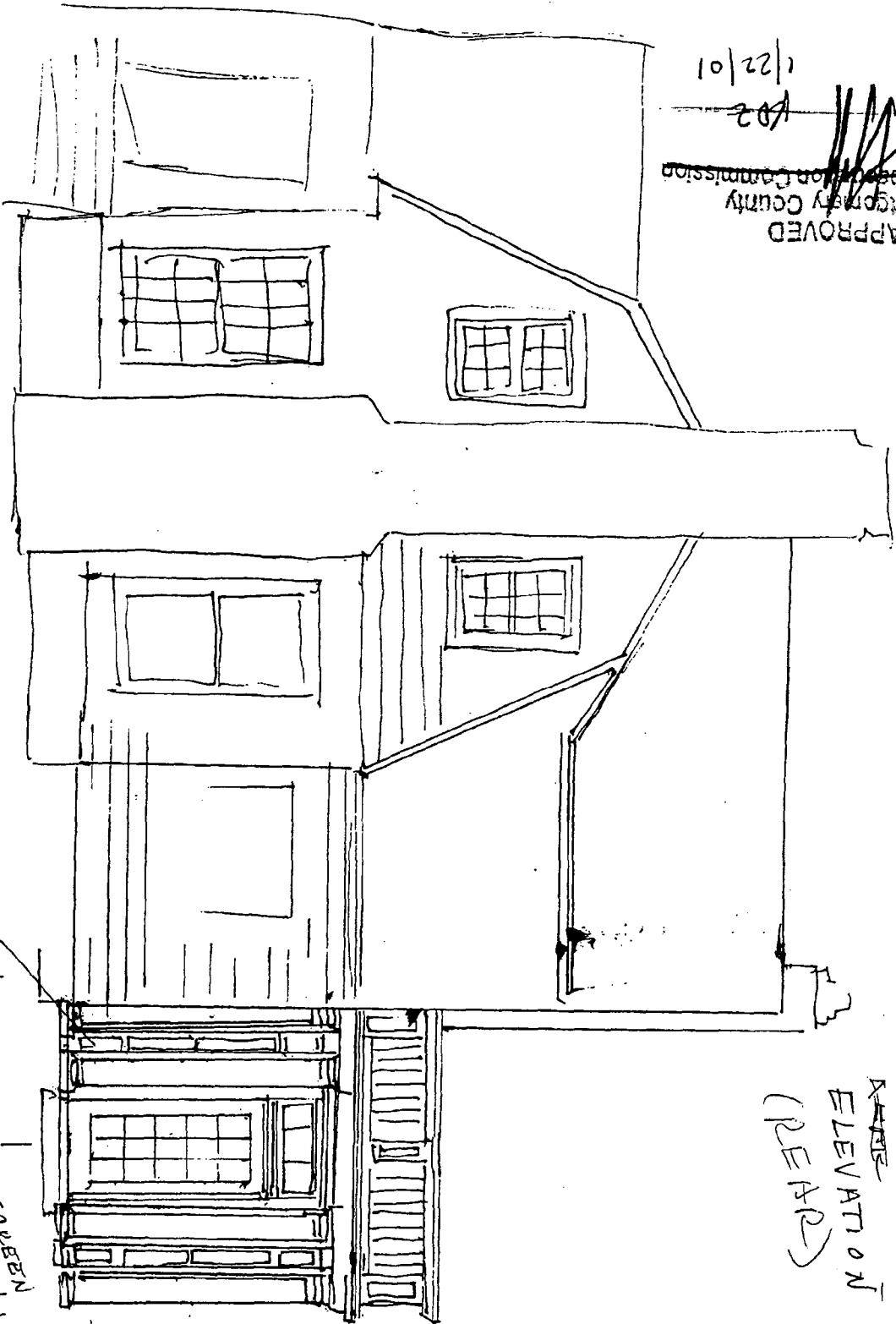
O'BRIEN-JJ HESKETH SJ; CHEVY CHASE

APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten signature]

PDZ 1/22/01

O'BRIEN - 22 HESKETH ST., CHEVY CHASE



SCREEN REPLACED

SCREEN REPLACED BY DOOR

APPROVED
 Montgomery County
 Historic Preservation Commission
 1/22/01

REPAIR ELEVATION (REPAIR)

3

BRUCE A. RICH
ASSOCIATES

ARCHITECTS AND
PLANNING CONSULTANTS

35/13-00E

15200 SHADY GROVE ROAD
SUITE 350
ROCKVILLE, MD 20850
TEL: (301) 670-2822
FAX: (301) 984-0536

Letter of Transmittal

To: Ms. Robin Ziek
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760
phone: 301-563-3400

From: Bruce Rich

Project: *Renovations and Additions to 22 Hesketh Street*

Date: 9/19/00

# of copies	Description	Remarks
1	7/23/00 floor plans, sections, and elevations	<p>Lucy O'Brien asked me to send you these drawings today along with the name of the roof material used for this project. The roof is "Royal Duraslate" and the color is Oxford Gray. I believe this is the roof that you suggested we explore when we came to your office on 12/6/00.</p> <p>The drawings, as you will see, have only minor changes from the set that you have approved. We again want to thank you for your support and advice. The construction is moving along well. Please call me if you have any questions.</p> <p>cc. Lucy O'Brien</p> <p>APPROVED Montgomery County Historic Preservation Commission</p>

22/01

Educomp
 4 State Road
 Vineyard Haven, MA 02568
 Fax (508) 693-6077
 Voice (508) 693-0803
 educomp@vineyard.net

FAX COVER SHEET

Number of pages including this sheet 4 Date _____

FROM	TO
Name <u>Lucy O'DRIEN</u>	Name <u>ROBIN ZIEK</u>
Co. _____	Co. _____
Phone _____	Phone _____
Fax No. _____	Fax No. _____

Special Instructions:

9525 Lakesville Rd

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Feb 2, 2000

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *RPB* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

Approved with Conditions: (1) Delete all proposed changes to side porch
except for ^{new} approved roof balustrade, (2) approve rear addition
with additional 4' width ~~of porch~~.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Ms. Lucy O'Brien

Address: 23 Hesketh St. Chevy Chase Village, MD. 20815

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

c:\dps.frm.wpd

RE: 22 Hesketh St.



JRN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

rec'd
1/3/2000

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: BRUCE RICH (ARCHITECT)
Daytime Phone No.: 301 670 2022

Tax Account No.: _____
Name of Property Owner: Ms. Lucy O'Brien Daytime Phone No.: 301 656-6301
Address: 23 Hesketh St., Chevy Chase, Maryland 20815
Street Number City State Zip Code
Contractor: (to be selected) Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Bruce Rich (Architect) Daytime Phone No.: 301 670 2022

LOCATION OF BUILDING/PREMISE

House Number: 22 Hesketh Street Street: Hesketh Street
Town/City: Chevy Chase, MD Nearest Cross Street: Wisconsin Avenue
Lot: 20 Block: 24 Subdivision: Chevy Chase
Liber: 2235 Folio: 125 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000 (est.)

1C. If this is a revision of a previously approved active permit, see Permit # —

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Bruce A. Rich 1/2/2000
Signature of owner or authorized agent Date

Approved: X w/conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 1/31/00
Application/Permit No.: 208744 Date Filed: 1/4/2000 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a 2 story, frame house in the Dutch colonial style. It is set on a residential street near similar homes. It is a Category 2 house, an "important contributing element". Exterior elements of project include dining room addition @ rear, conversion of screen porch into conditioned space at side, relocation of chimney, new rear trellis, updated windows, roof, paint.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Exterior description is noted above. Effect will be to improve appearance of house and setting. The historic district will be improved in part by this work.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Feb 2, 2000

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *RDZ* Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

A When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

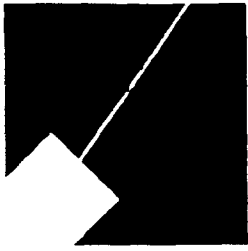
If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

** Please bring permit set (plus 1) to HPC staff for stamping PRIOR to applying to DPS for building permit. Thanks -*

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: Feb. 2, 2000
TO: Local Advisory Panel/Town Government
FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner
SUBJECT: Historic Area Work Permit Application - HPC Decision

Village of Chevy Chase

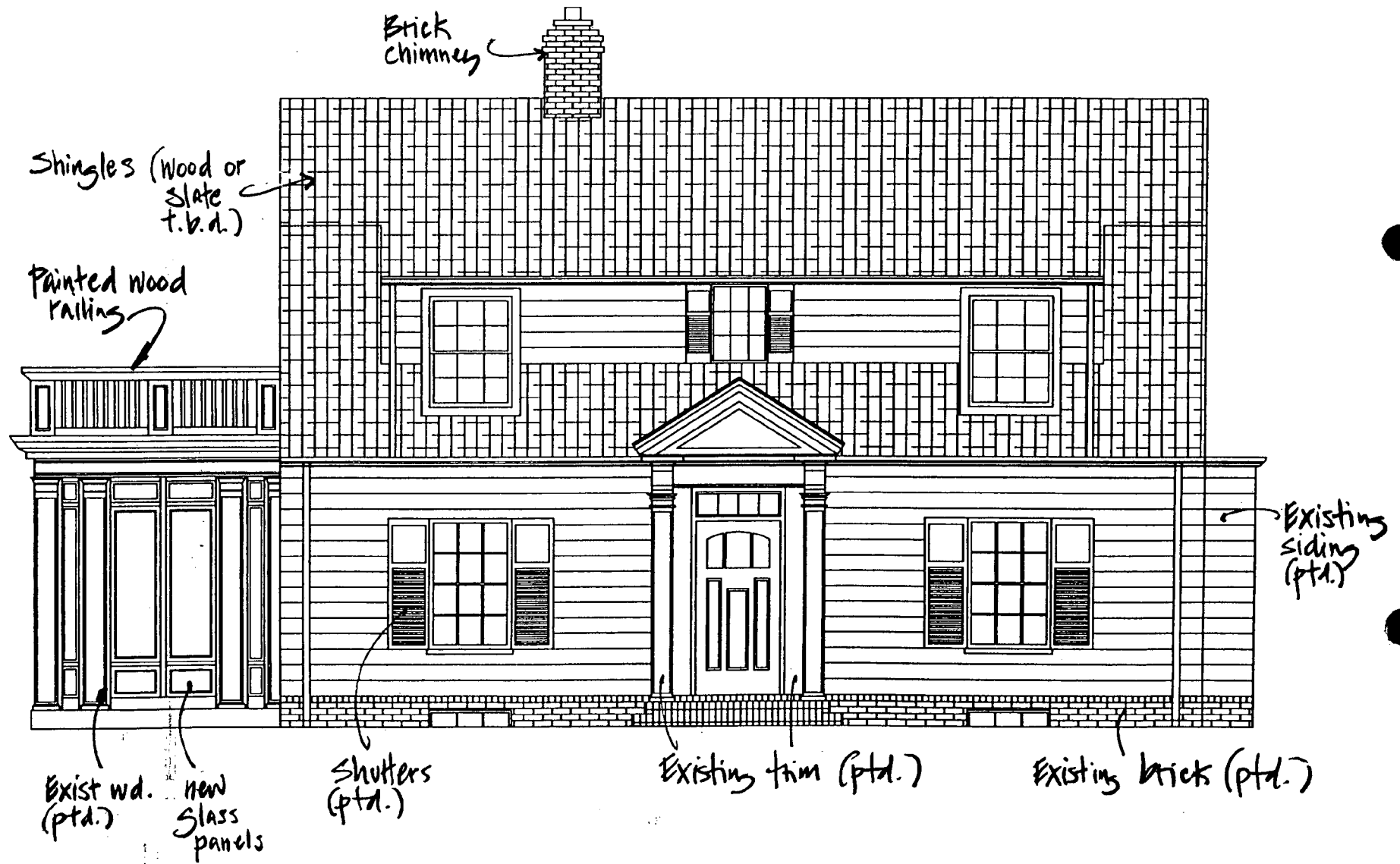
The Historic Preservation Commission reviewed this project on Jan 31, 2000.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



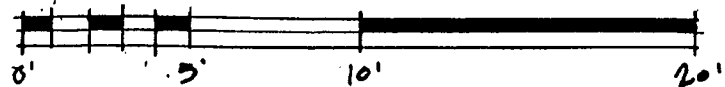
11

Existing Front Elevation
22 Hesketh Street, Chevy Chase, MD



12

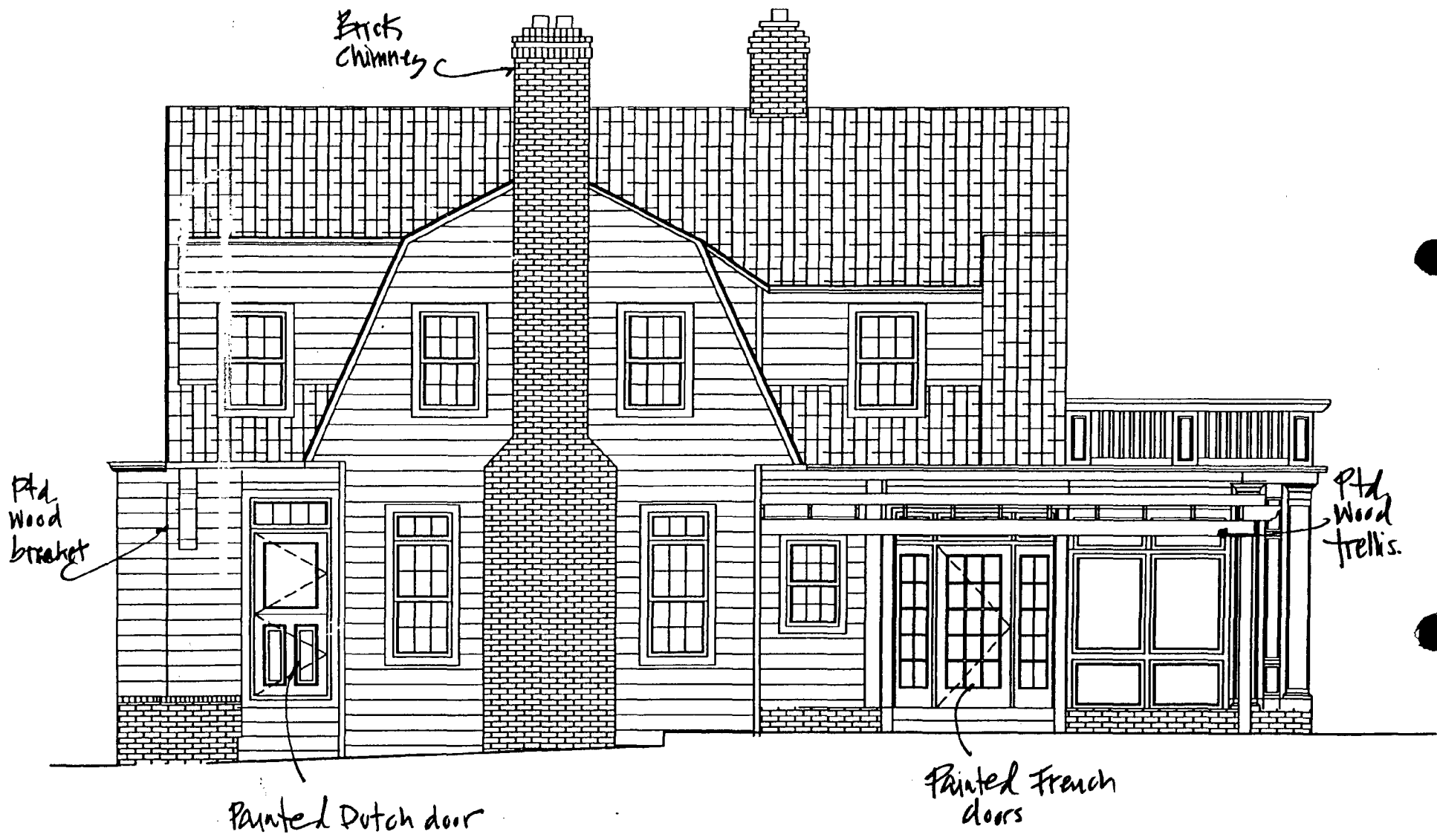
Proposed Front Elevation
22 Hesketh Street, Chevy Chase, MD





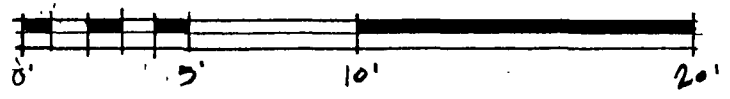
Existing Rear Elevation
22 Hesketh Street, Chevy Chase, MD

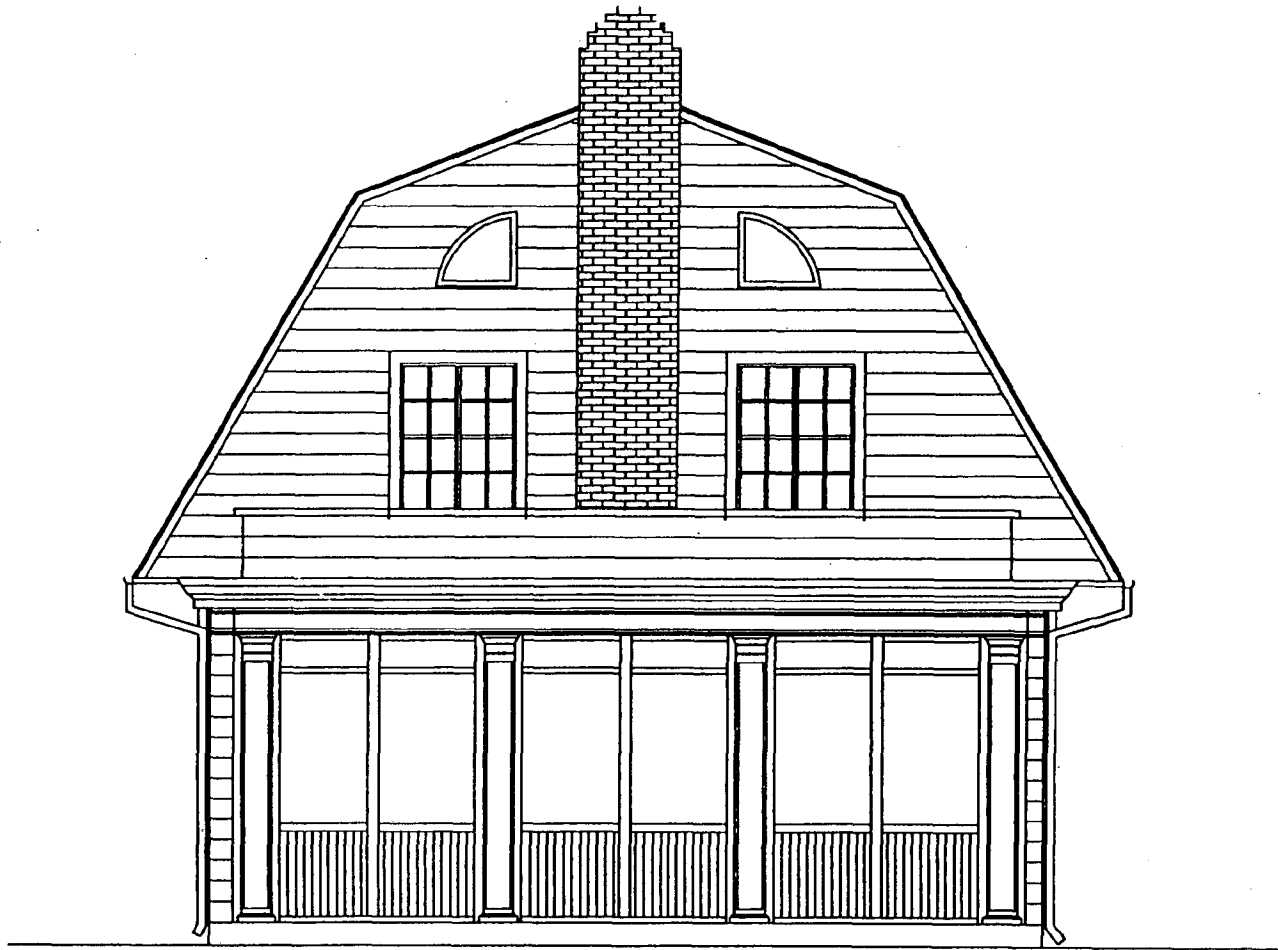
13



11

Proposed Rear Elevation
 22 Hesketh Street, Chevy Chase, MD
 (See front aug. for typ. materials)





15

Existing Left Side Elevation
22 Hesketh Street, Chevy Chase, MD

Proposed

Existing

New
Erick
chimneys

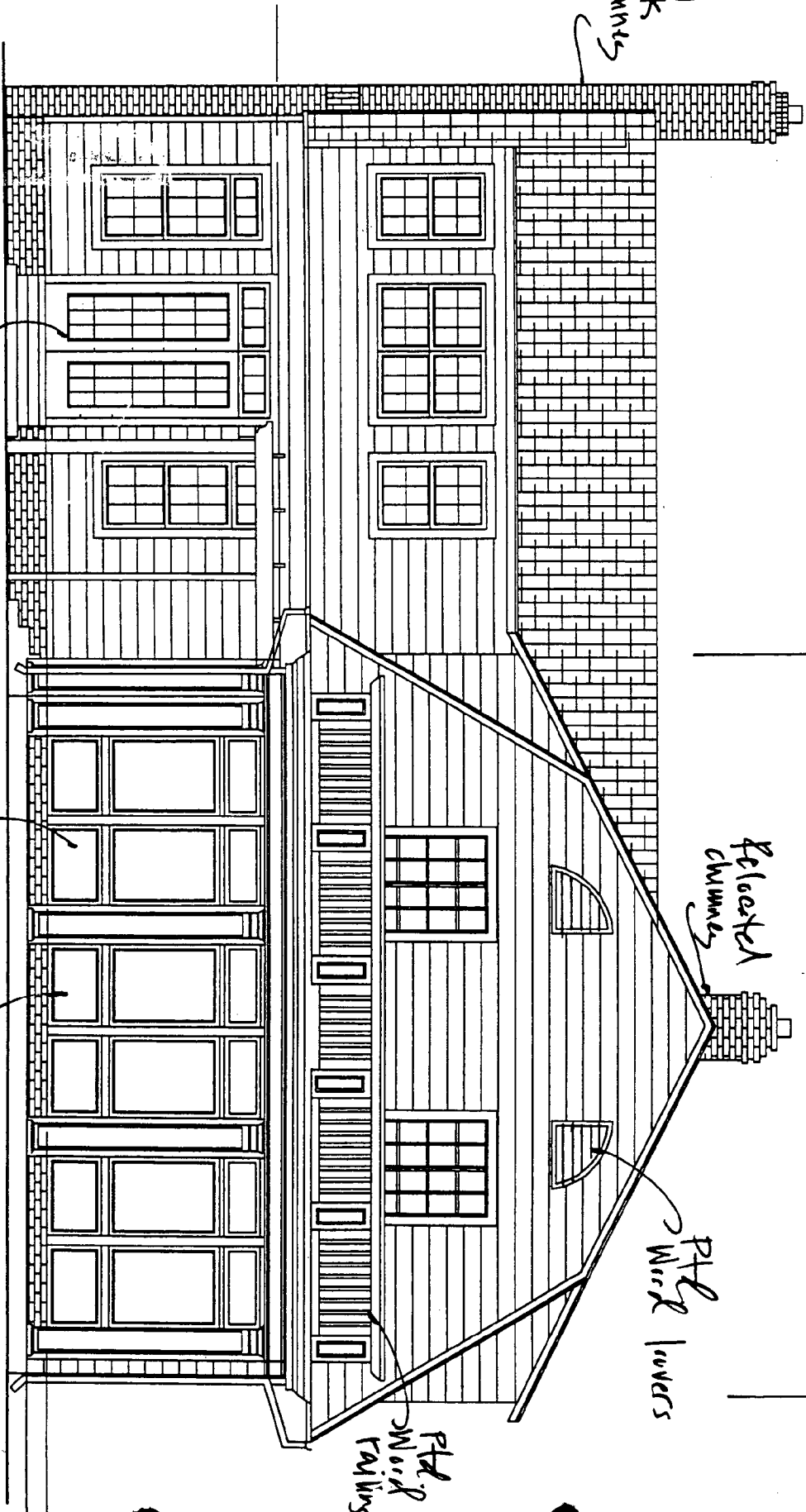
Relocated
chimney

PT&B
Wood
louver

PT&B
Wood
trim

Painted French
doors

New glass
panels
PT&B wood
panels



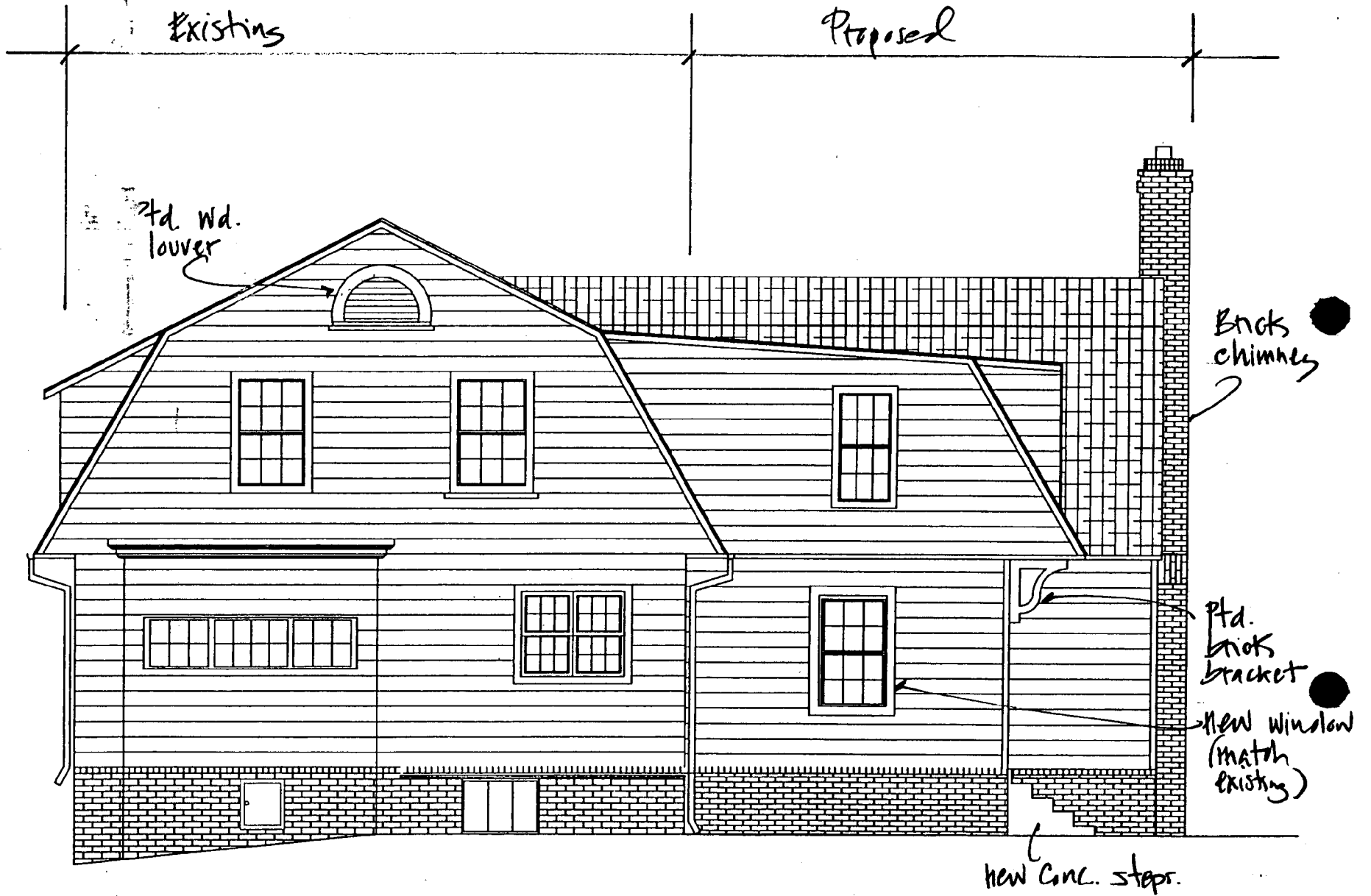
Proposed Left Side Elevation

22 Hesketh Street, Chevy Chase, MD

(See front AWS for FR materials)

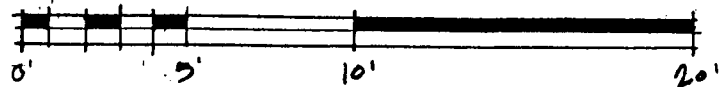
19





Proposed Right Side Elevation
22 Hesketh Street, Chevy Chase, MD
 (See front dwg. for typ. materials)

17



BRUCE A. RICH
ASSOCIATES

ARCHITECTS AND
PLANNING CONSULTANTS

BRUCE A. RICH, A.I.A.

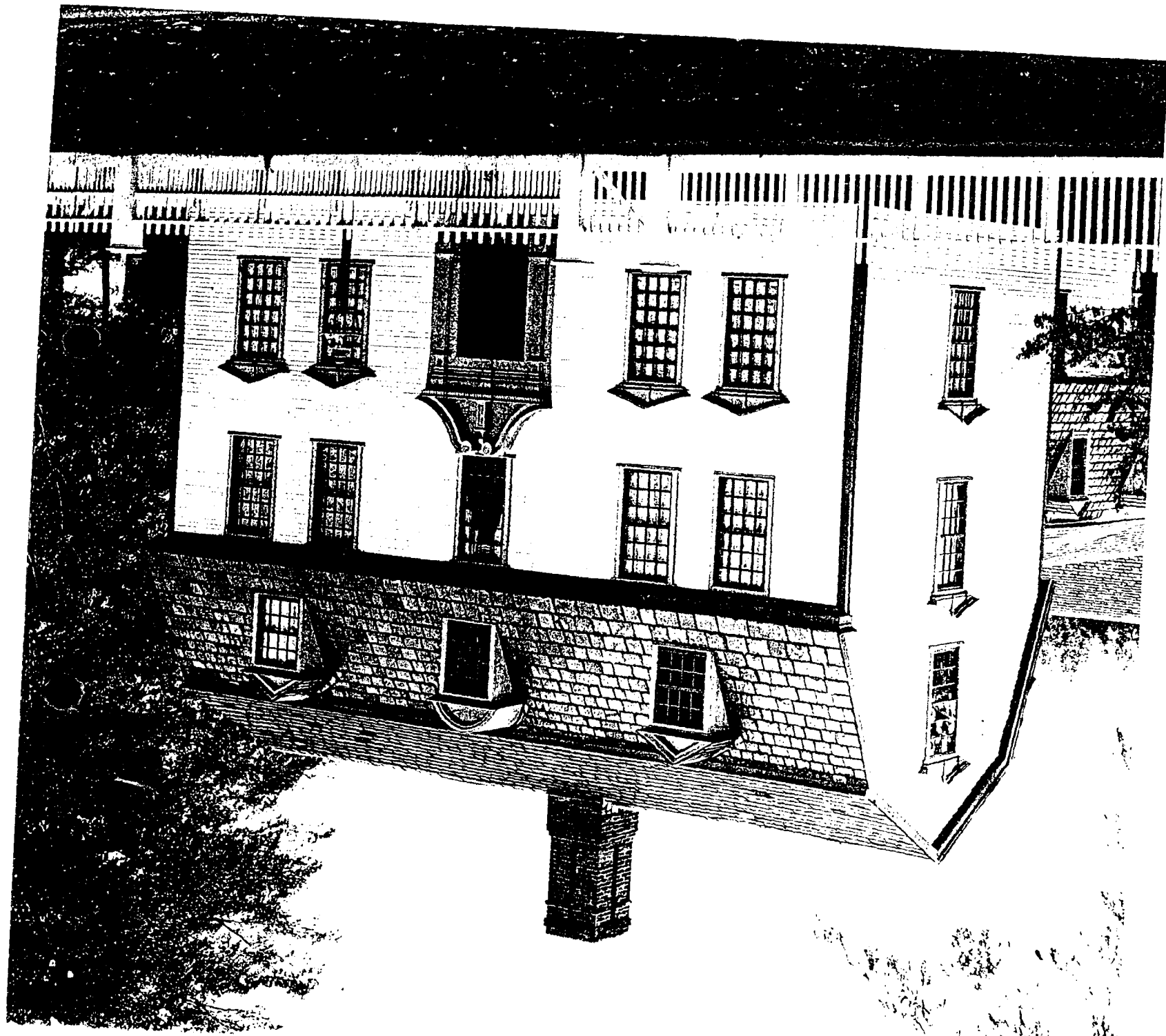
15200 SHADY GROVE ROAD
SUITE 350
ROCKVILLE, MD 20850
TEL: (301) 670-2822
FAX: (301) 984-0536

HISTORICAL REFERENCE MATERIAL
22 Hesketh Street, Chevy Chase, Maryland

In addition to the require items for the HPC Work Permit application, the following is a series of items submitted to support the relocation of the existing exterior chimney to a new, interior location. As shown by this material, the use of an interior chimney on a Dutch colonial house is not uncommon.

11

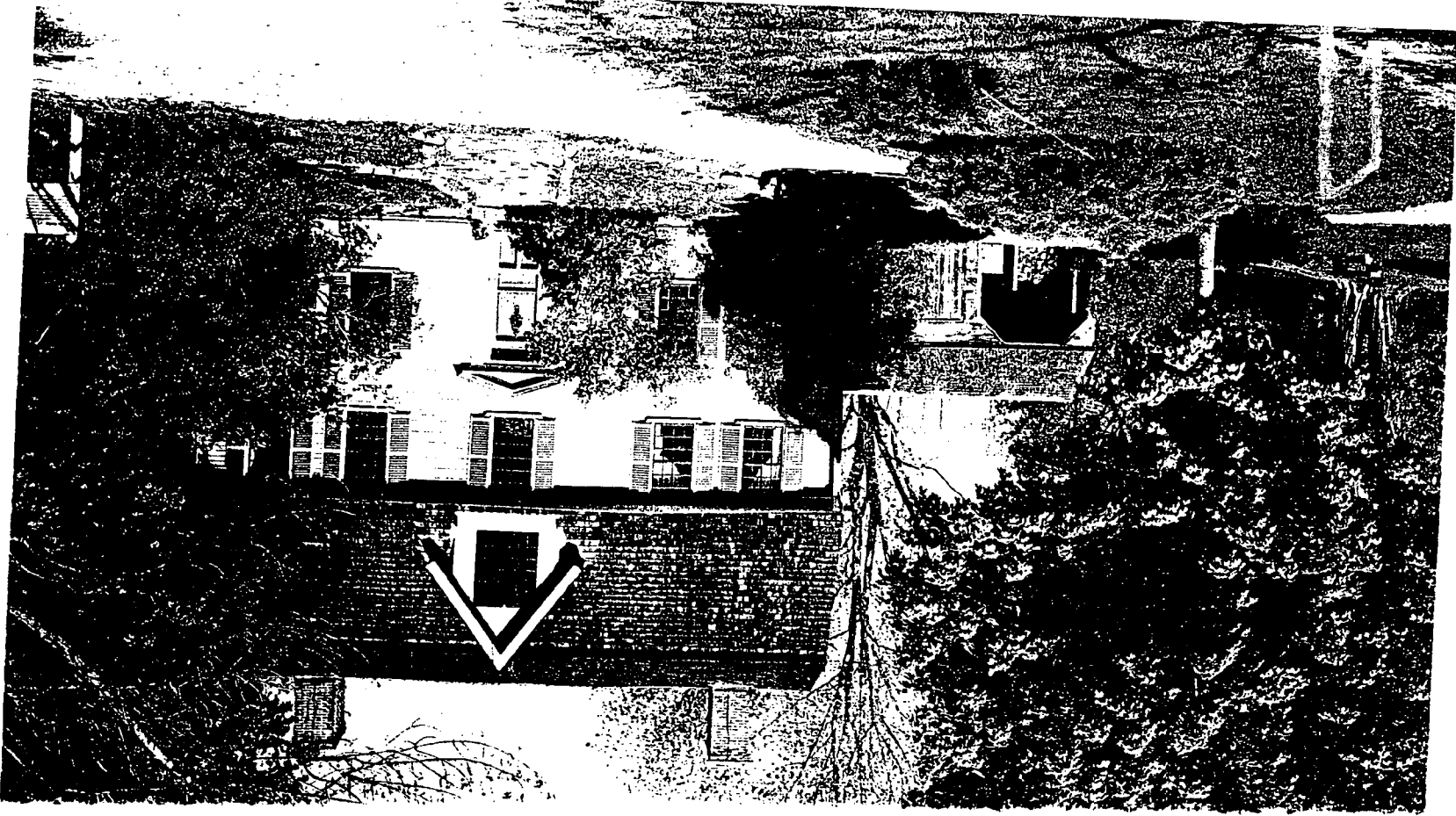
P.
MS.
2.
1.
S.
11
L.
11



The Old Manse in Concord, Massachusetts, built as a parsonage by the Reverend William Emerson in 1769-70, still looks very much as it did when it was new, except for the gabled window built into the roof by the Reverend Samuel Kipley in 1812. "Among the houses of Concord," wrote Franklin B. Sanborn, a friend and biographer of many of New England's greatest writers, "Old Manse has had the most fortunate history." Nathaniel Hawthorne made the charming house forever famous in his *Mosses from an Old Manse*.

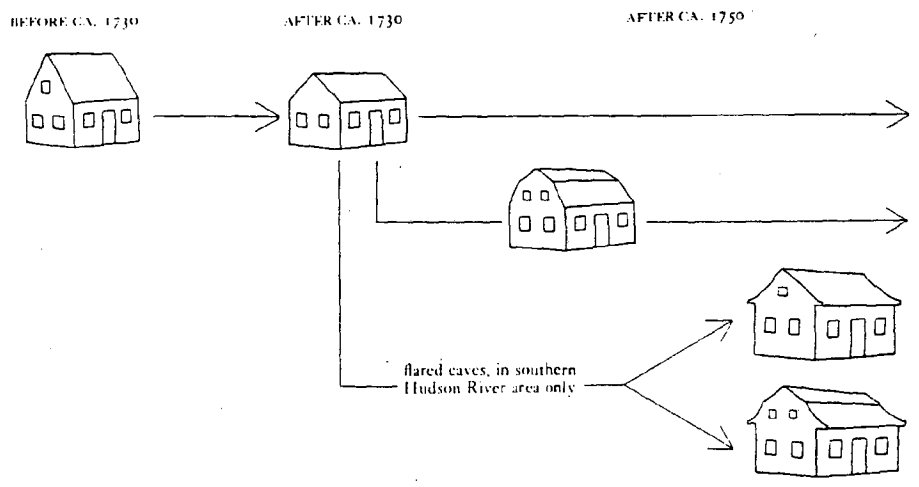
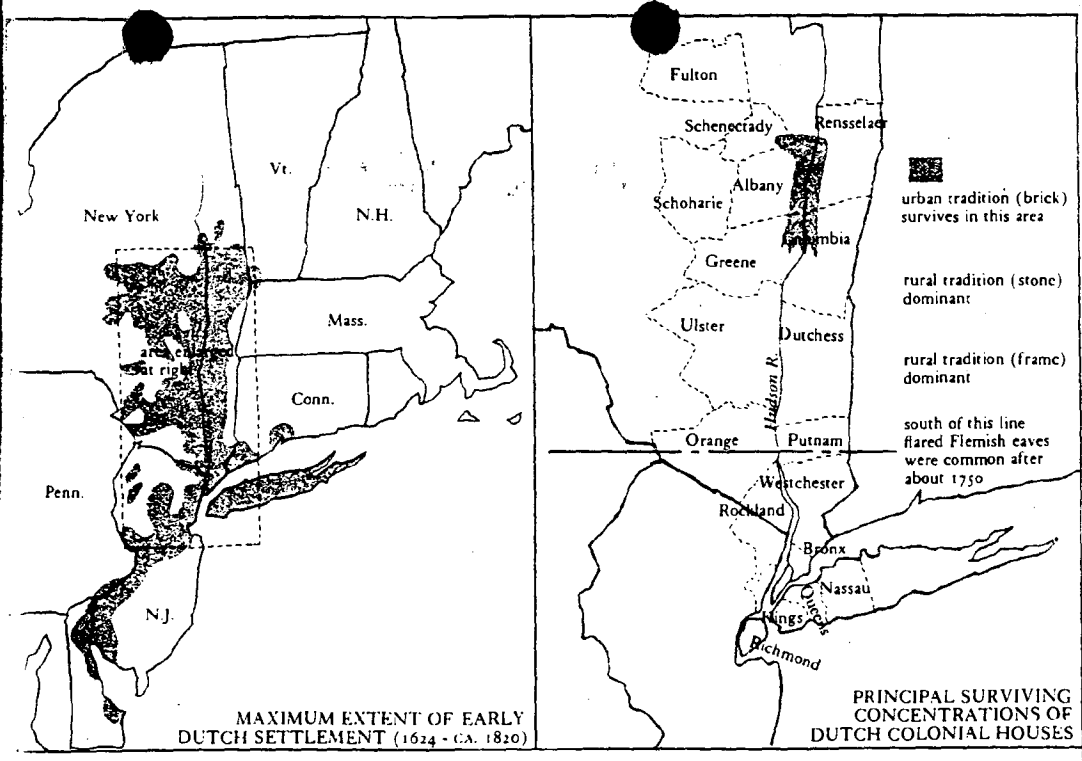
On a sunny morning the bull's-eye glass panes above the front door of the Old Manse make a swirling pattern of the brilliant autumn foliage. Ralph Waldo Emerson lived in the Old Manse in the mid-1830s. Describing the picketweed blooming in the shallow margins of the river and the swarms of butterflies in continual motion outside the window of his study, he wrote, "Art cannot rival this pomp of purple and gold."

Informing Press

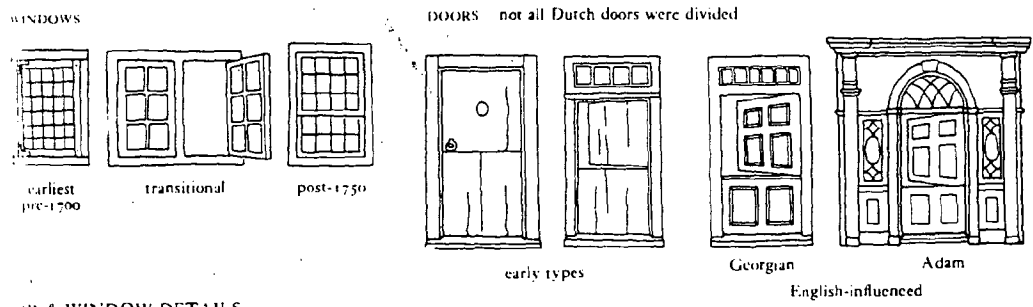


ectural details in rural
 typically incorporated
 centuries. For this regu-
 larly roof, door, and
 extend into the side
 monly, of shingle- or
 vely shaped gambrel
 h gable roofs of nor-
 of Dutch influence,
 stinctive flared eaves
 e the Dutch colonists
 on western Long Is-
 ng replaced the more
 ve double-hung sash
 . Like their English
 sement windows. In
 ng windows with one
 rts, during an early
 ooden double-hung
 ooden, survive. The
 with the bottom sec-
 This style of door is
 ntury, the treatment
 gent Adam styles of

rkably brief. Dutch
 Amsterdam (New
 er which connected
 nding English colo-
 rland became New
 e colony. All Dutch
 of Manhattan Island
 half-dozen—urban
 st of American dop-
 ples have been lost
 rural houses survive
 ea of former Dutch
 of whom controlled
 landlords, in turn,
 18th century. As a
 era of Dutch own-
 arrived, in isolated



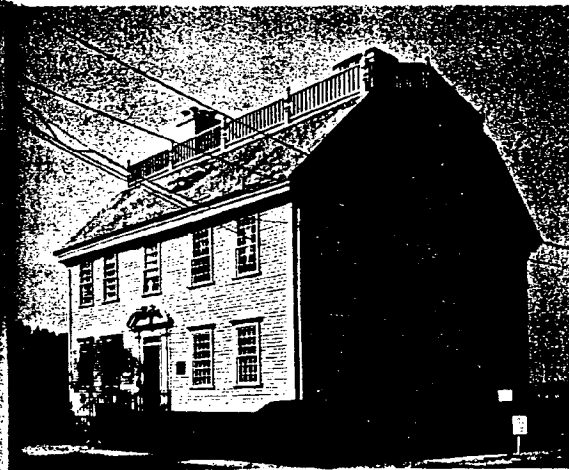
DEVELOPMENT OF THE RURAL DUTCH ROOF



DOOR & WINDOW DETAILS

GAMBREL ROOF

- 1. Salem, Massachusetts; mid-18th century. Nathaniel Hawthorne birthplace. This example was built around a smaller 17th-century house, a common practice. The 2 1/2 windows are later additions.
- 2. Newport, Rhode Island; ca. 1748. Nichols House (restoration).
- 3. Newport, Rhode Island; 1760. Robinson House. Originally a smaller 1 1/2 story house built in 1725, this example was enlarged and a gambrel roof added in 1760; there have been few exterior changes since.
- 4. Woodbury, Connecticut; 1760. Bacon House. Note the slight overhang of the second story, a holdover from Postmedieval building practices.
- 5. Deerfield, Massachusetts; ca. 1725. Dwight House. Moved from Springfield, Massachusetts, this house has a fine door pediment and pedimented windows.

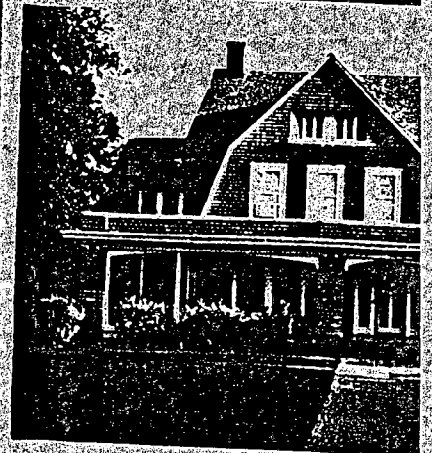


Victorian House: Shingle



GAMBREL ROOF

1. Nebraska City, Nebraska, late 19th century. The center doorway and the asymmetrical upper story window are unusual roof forms: the left half is gambrel; the right half is gable.
2. Cincinnati, Ohio, late 19th century. The windows are unusually large shingles.
3. Kansas City, Missouri, 1890. Alderson House. A very early example.
4. Emporia, Kansas, late 19th century.
5. Wichita, Kansas, 1887.
6. New Haven, Connecticut, late 19th century. The windows of varying shape in the dominant front porch are unusual.
7. Salisbury, North Carolina, late 19th century. The porch over the entry is unusual.
8. Gainesville, Texas, late 19th century. Although the roof is gable, the dominant front-facing gambrel porch is unusual.



BRUCE A. RICH
ASSOCIATES

ARCHITECTS AND
PLANNING CONSULTANTS

BRUCE A. RICH, A.I.A.

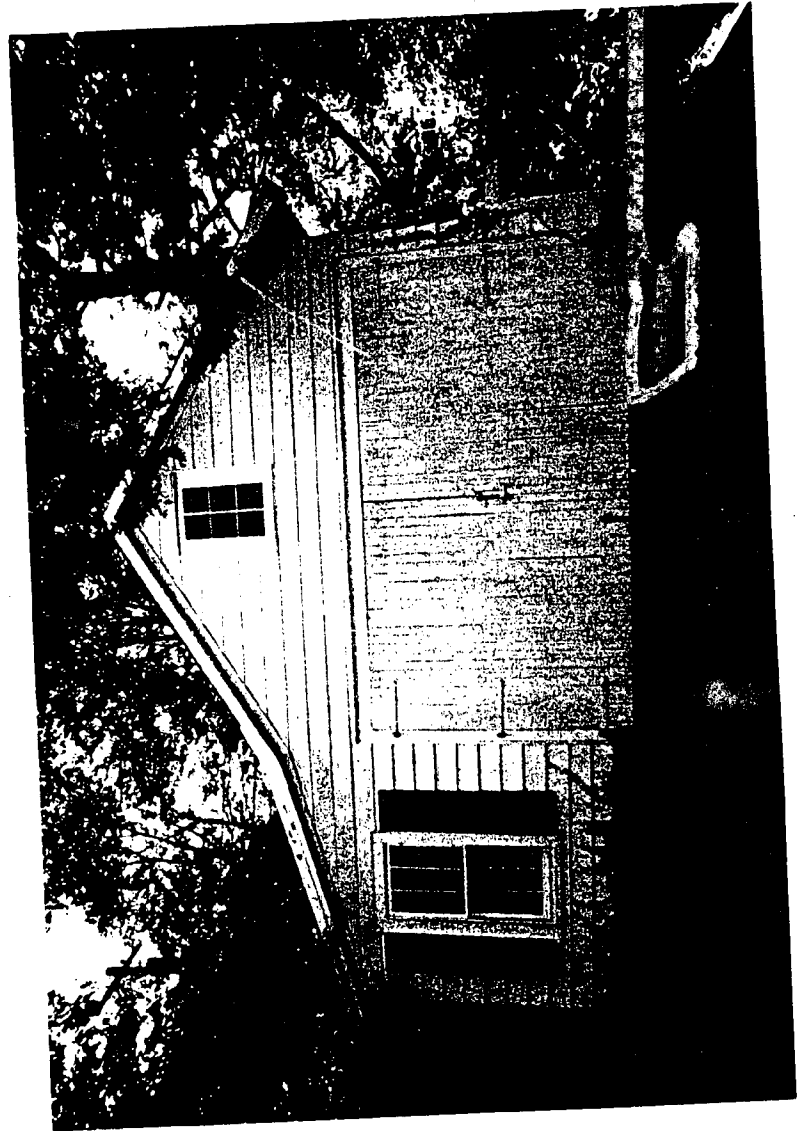
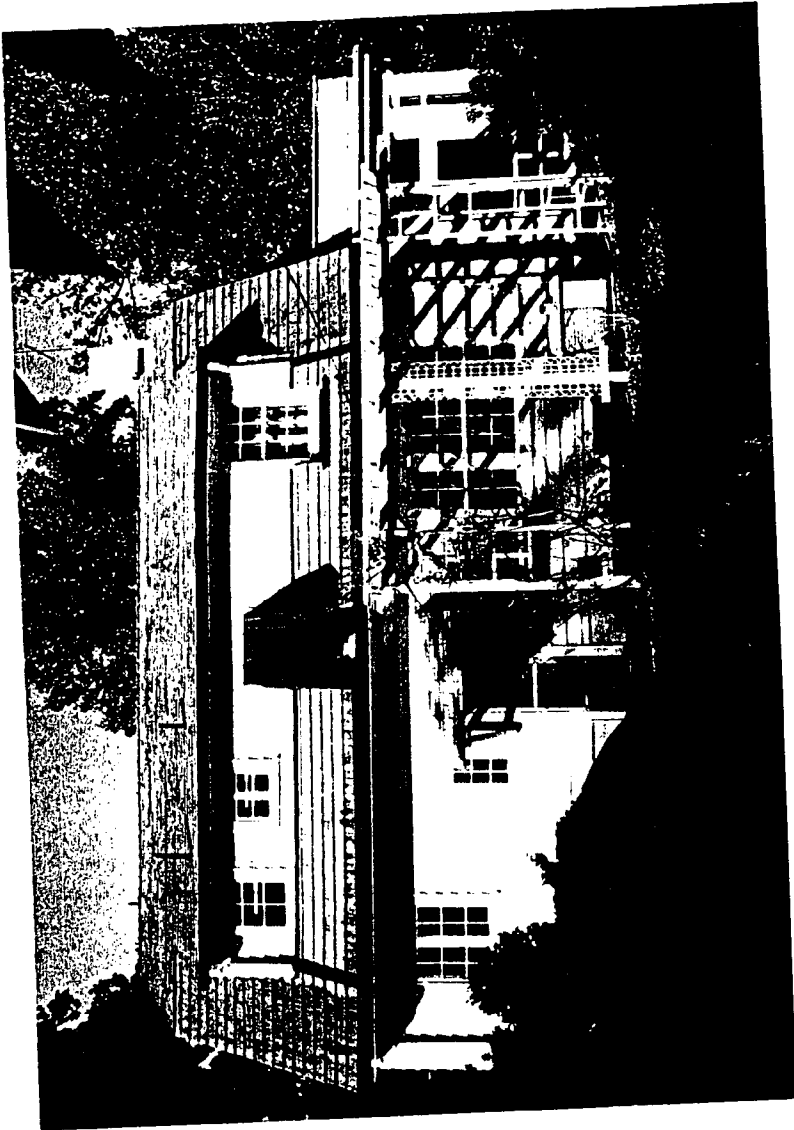
15200 SHADY GROVE ROAD
SUITE 350
ROCKVILLE, MD 20850
TEL: (301) 670-2822
FAX: (301) 984-0536

EXISTING CONDITIONS
22 Hesketh Street, Chevy Chase, Maryland

As required by the Application for Historic Area Work Permit, the following is a series of photographs illustrating the existing conditions for this project.

- Photo sheet 1: Front of existing house (top), side view of house front showing driveway and retaining wall (bottom)
- Photo sheet 2: Rear of existing house (top), front view of shed at back of property – not part of this submission (bottom)
- Photo sheet 3: View of existing side porch (top), detail of rear of house (bottom)
- Photo sheet 4: From view from street with adjacent house at right (top), view across street (bottom)
- Photo sheet 5: Side view of existing house, detail (top), side and rear view (bottom)



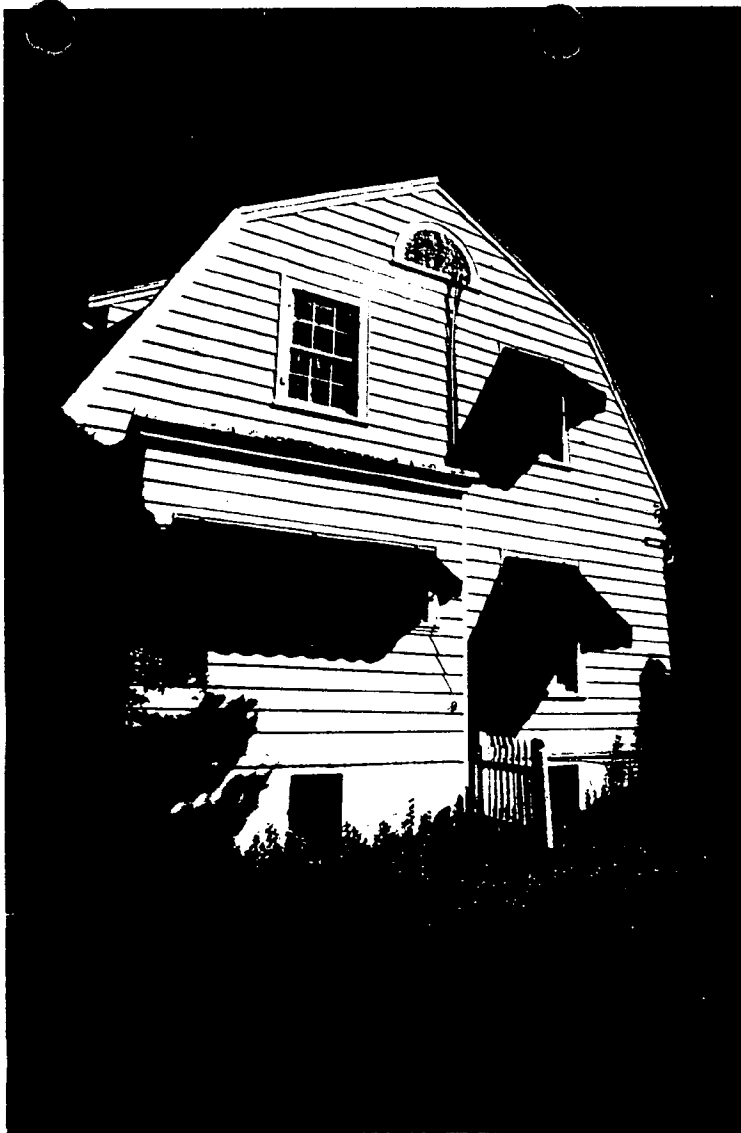




27







**BRUCE A. RICH
ASSOCIATES**

**ARCHITECTS AND
PLANNING CONSULTANTS**

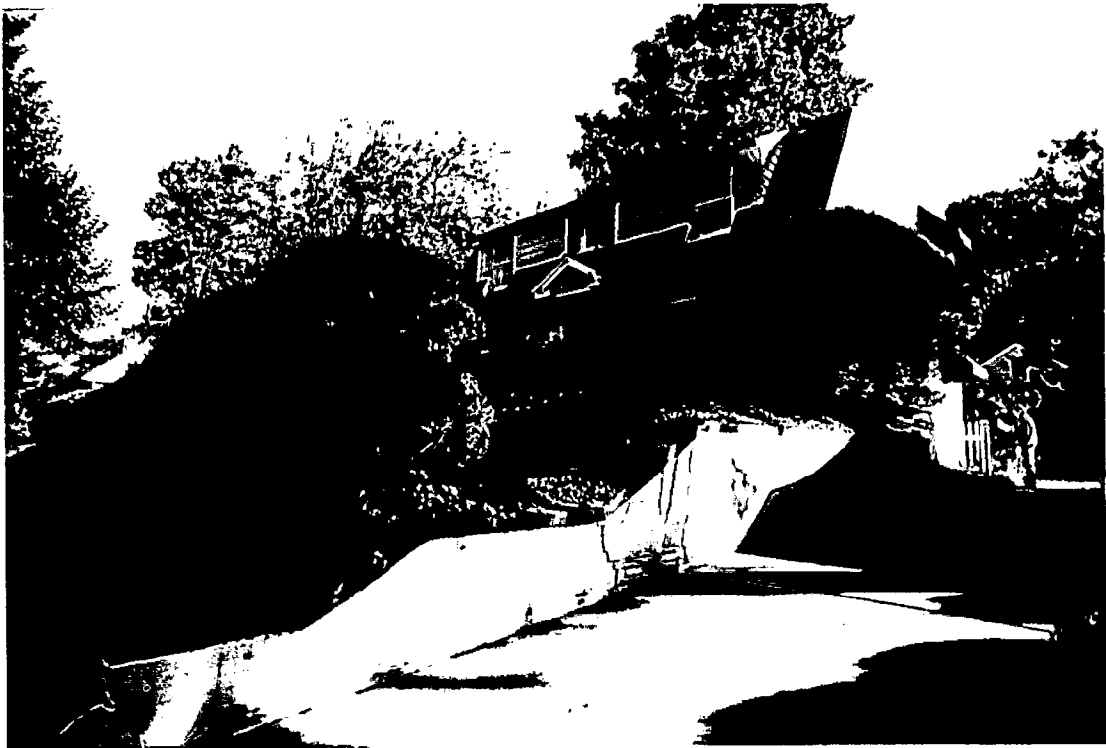
BRUCE A. RICH, A.I.A.

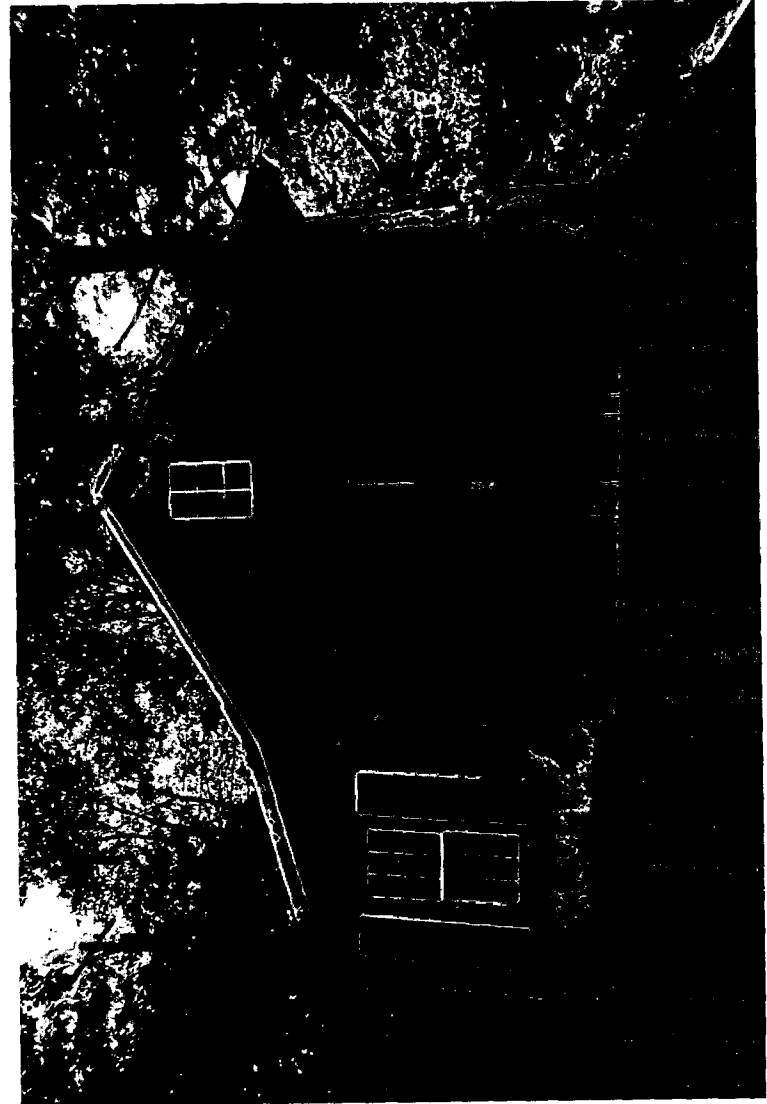
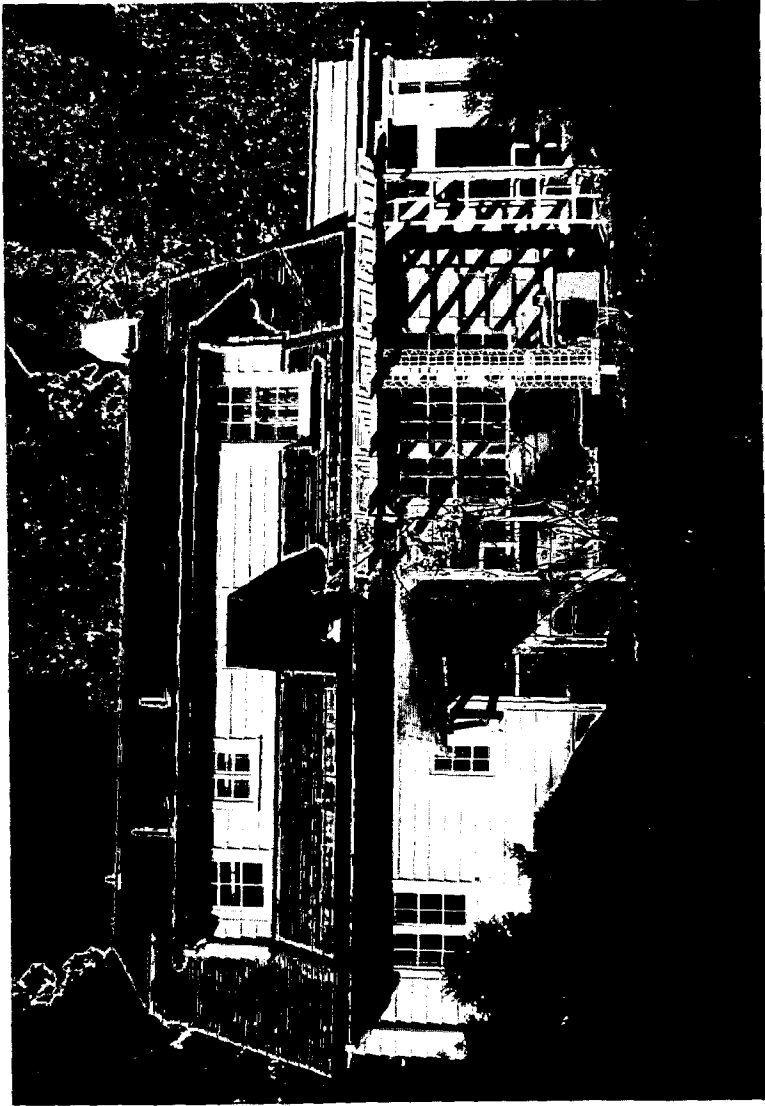
**15200 SHADY GROVE ROAD
SUITE 350
ROCKVILLE, MD 20850
TEL: (301) 670-2822
FAX: (301) 984-0536**

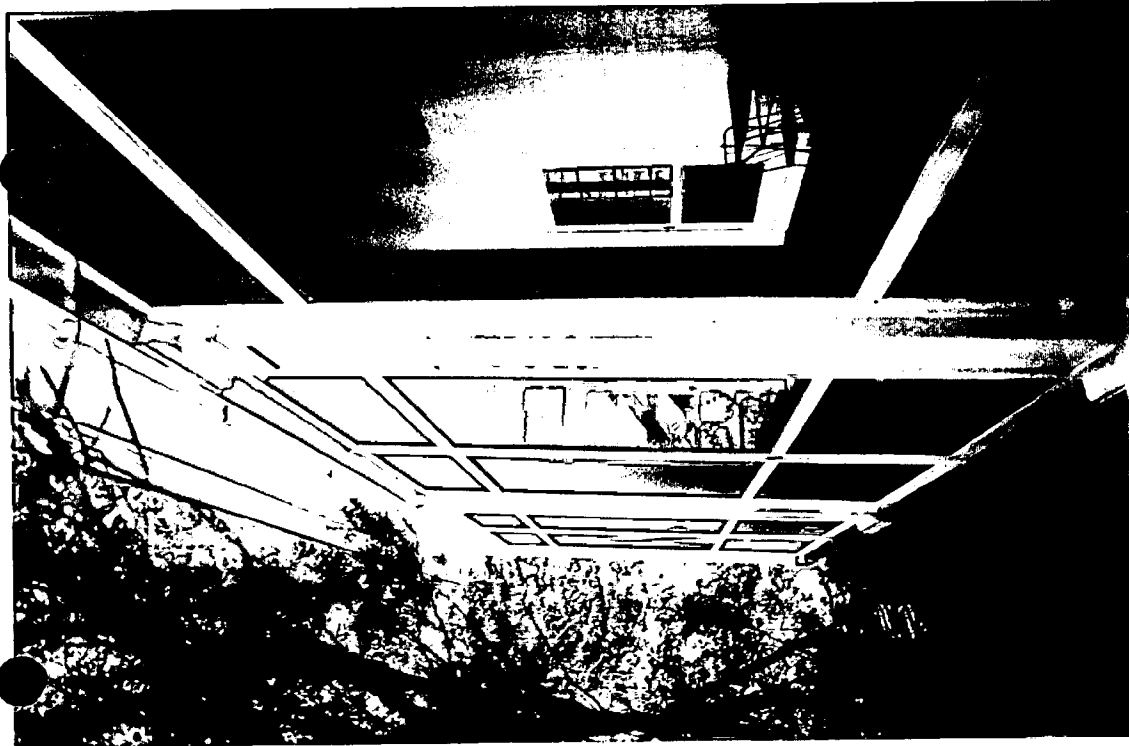
EXISTING CONDITIONS
22 Hesketh Street, Chevy Chase, Maryland

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- Photo sheet 1: Front of existing house (top), side view of house front showing driveway and retaining wall (bottom)
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**BRUCE A. RICH
ASSOCIATES**

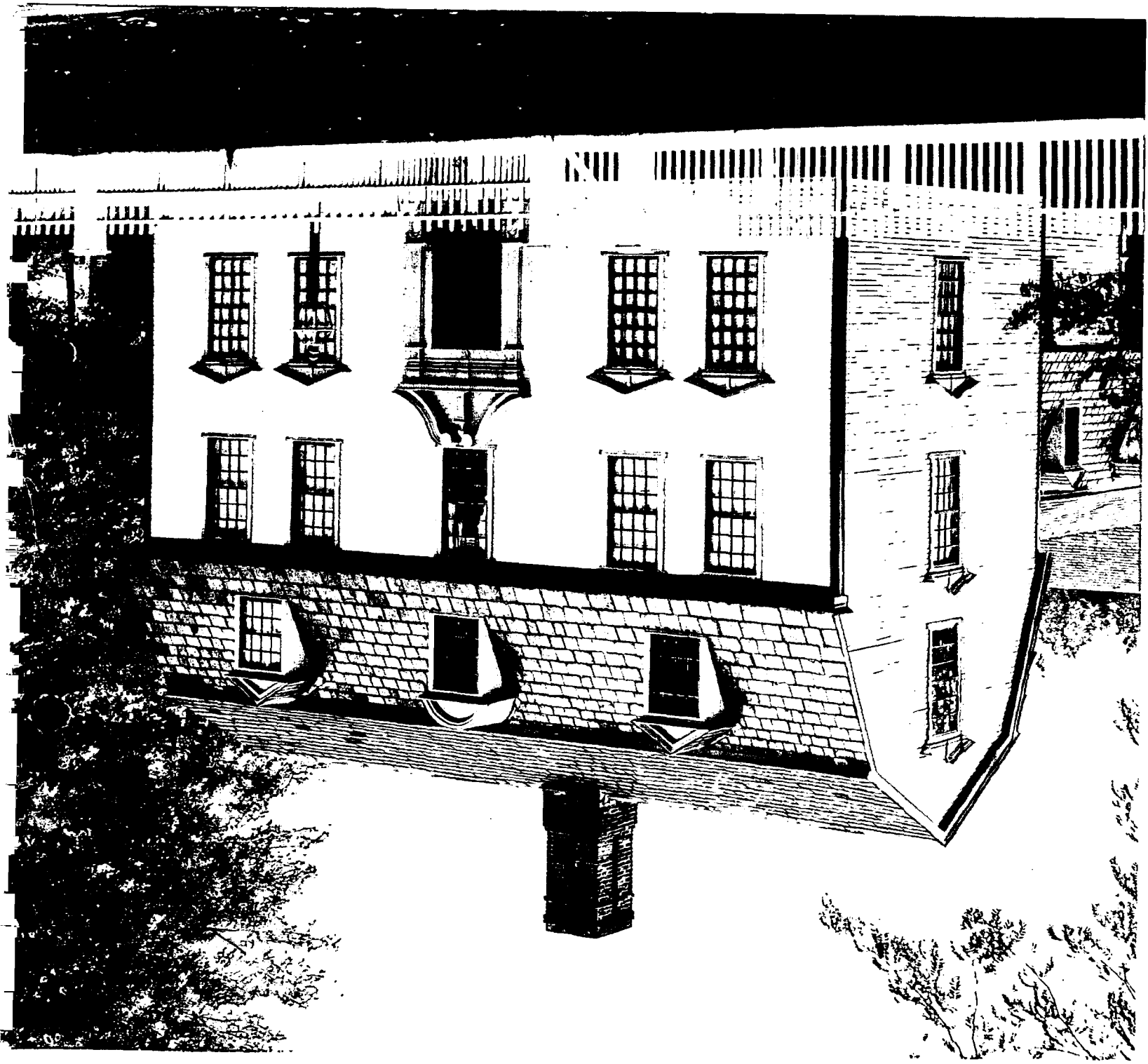
**ARCHITECTS AND
PLANNING CONSULTANTS**

BRUCE A. RICH, A.I.A.

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***HISTORICAL REFERENCE MATERIAL
22 Hesketh Street, Chevy Chase, Maryland***

In addition to the require items for the HPC Work Permit application, the following is a series of items submitted to support the relocation of the existing exterior chimney to a new, interior location. As shown by this material, the use of an interior chimney on a Dutch colonial house is not uncommon.



p:
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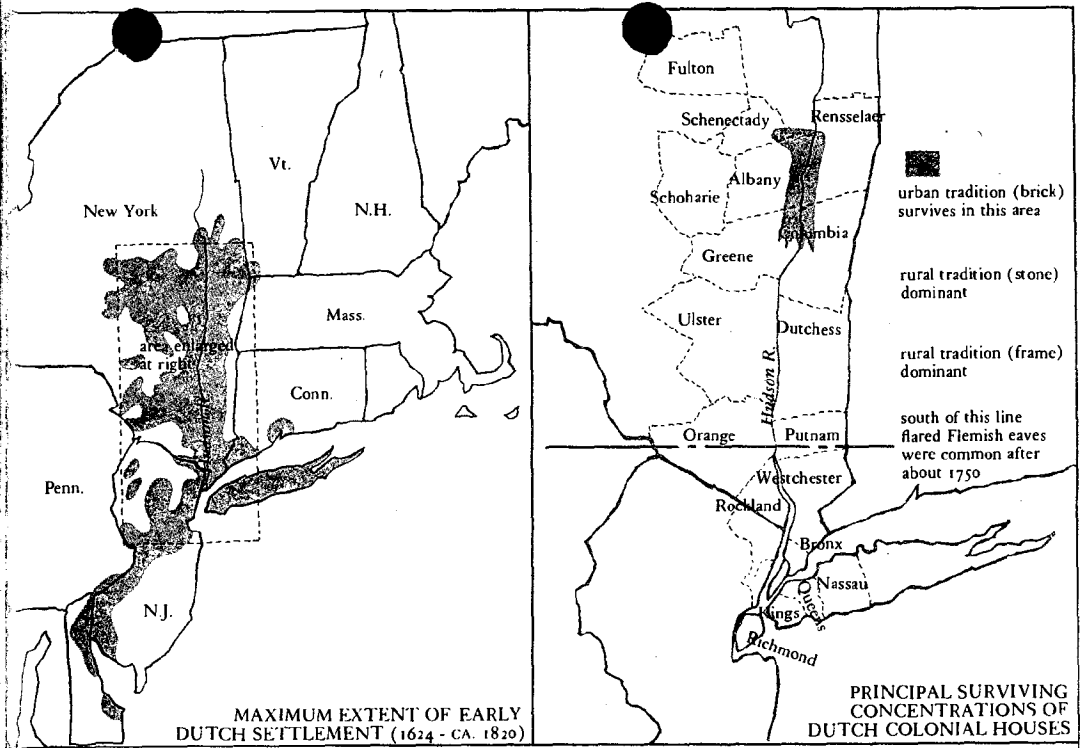


The Old Manse in Concord, Massachusetts, built as a parsonage by the Reverend William Emerson in 1769–70, still looks very much as it did when it was new, except for the gabled window built into the roof by the Reverend Samuel Ripley in 1845. “Among the houses of Concord,” wrote Franklin B. Sanborn, a friend and biographer of many of New England’s greatest writers, “Old Manse has had the most romantic history.” Nathaniel Hawthorne made this charming house forever famous in his *Mosses from an Old Manse*.

following page

On a sunny morning the bull’s-eye glass panes above the front door of the Old Manse make a swirling pattern of the brilliant autumn foliage. Ralph Waldo Emerson lived in the Old Manse in the mid-1830s. Describing the pickerelweed blooming in the shallow margins of the river and the swarms of butterflies in continual motion outside the window of his study, he wrote, “Art cannot rival this pomp of purple and gold.”

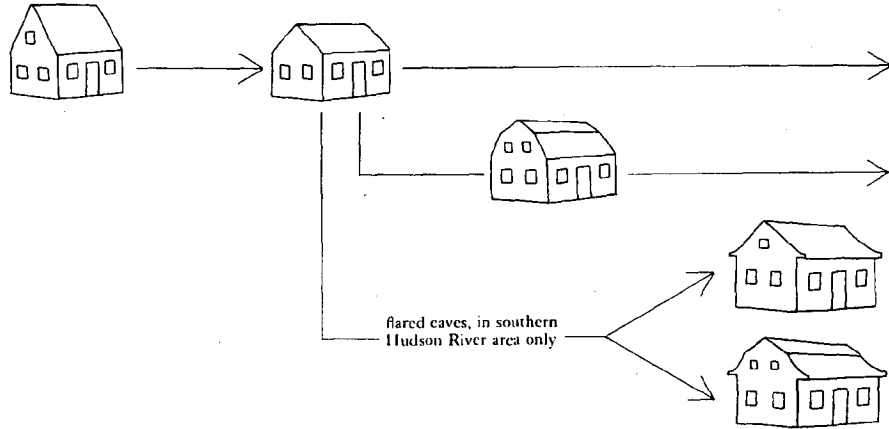
itectural details in rural
: typically incorporated
centuries. For this rea-
icularly roof, door, and
ot extend into the side
ommonly, of shingle- or
ctively shaped gambrel
with gable roofs of nor-
as of Dutch influence,
distinctive flared eaves
ere the Dutch colonists
ly on western Long Isl-
ling replaced the more
ave double-hung sash
es. Like their English
casement windows. In
ing windows with one
arently used outward-
airs, during an early
wooden double-hung
wooden, survive. The
(with the bottom sec-
. This style of door is
century, the treatment
quent Adam styles of



BEFORE CA. 1730

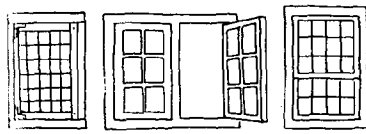
AFTER CA. 1730

AFTER CA. 1750



DEVELOPMENT OF THE RURAL DUTCH ROOF

WINDOWS

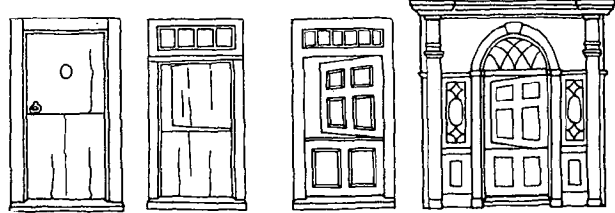


earliest
pre-1700

transitional

post-1750

DOORS not all Dutch doors were divided



early types

Georgian

Adam

English-influenced

DOOR & WINDOW DETAILS

markably brief. Dutch
w Amsterdam (New
iver which connected
panding English colo-
herland became New
he colony. All Dutch
of Manhattan Island
a half-dozen—urban
rest of American dom-
ples have been lost
h rural houses survive
area of former Dutch
: of whom controlled
se landlords, in turn,
e 18th century. As a
he era of Dutch own-

survived, in isolated

GAMBREL ROOF

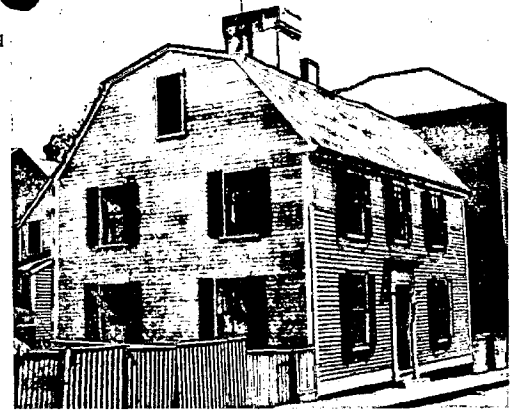
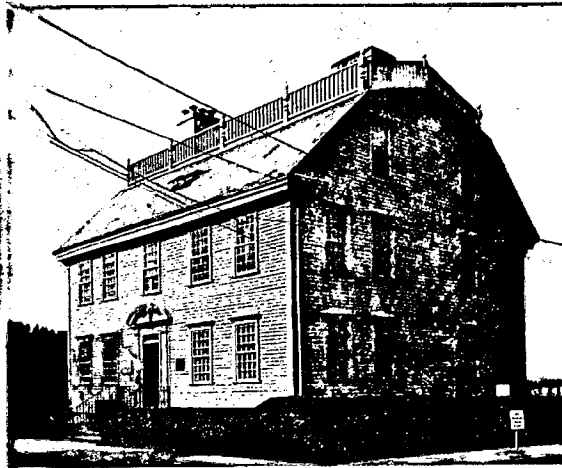
1 Salem, Massachusetts; mid-18th century. Nathaniel Hawthorne birthplace. This example was built around a smaller 17th-century house, a common practice. The 2 1/2 windows are later additions.

2 Newport, Rhode Island; ca. 1748. Nichols House (restoration).

3 Newport, Rhode Island; 1760. Robinson House. Originally a smaller two-story house built in 1725, this example was enlarged and a gambrel roof added in 1760; there have been few exterior changes since.

4 Woodbury, Connecticut; 1760. Bacon House. Note the slight overhang of the second story, a holdover from Postmedieval building practices.

5 Deerfield, Massachusetts; ca. 1725. Dwight House. Moved from Springfield, Massachusetts, this house has a fine door pediment and pedimented windows.

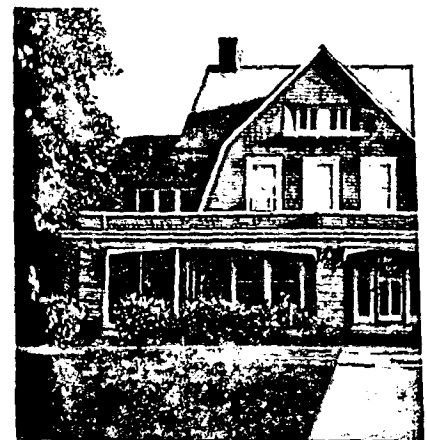


Victorian Houses: Shingle



GAMBREL ROOF

1. Nebraska City, Nebraska; late 19th century. off-center doorway and the asymmetrical upper gable are unusual roof form: the left half is gambrel, the right half is gabled.
2. Cincinnati, Ohio; late 19th century. The house has unusually large shingles.
3. Kansas City, Missouri; 1890. Alderson House is a very early example.
4. Emporia, Kansas; late 19th century.
5. Wichita, Kansas; 1887.
6. New Haven, Connecticut; late 19th century. The house has a gambrel roof with a variety of window shapes in the dominant front-facing gable (see 5).
7. Salisbury, North Carolina; late 19th century. The gambrel roof over the entry is unusual.
8. Gainesville, Texas; late 19th century. Although the house has a gambrel roof, the dominant front-facing gambrel is a subtype.



BRUCE A. RICH
ASSOCIATES

ARCHITECTS AND
PLANNING CONSULTANTS

BRUCE A. RICH, A.I.A.

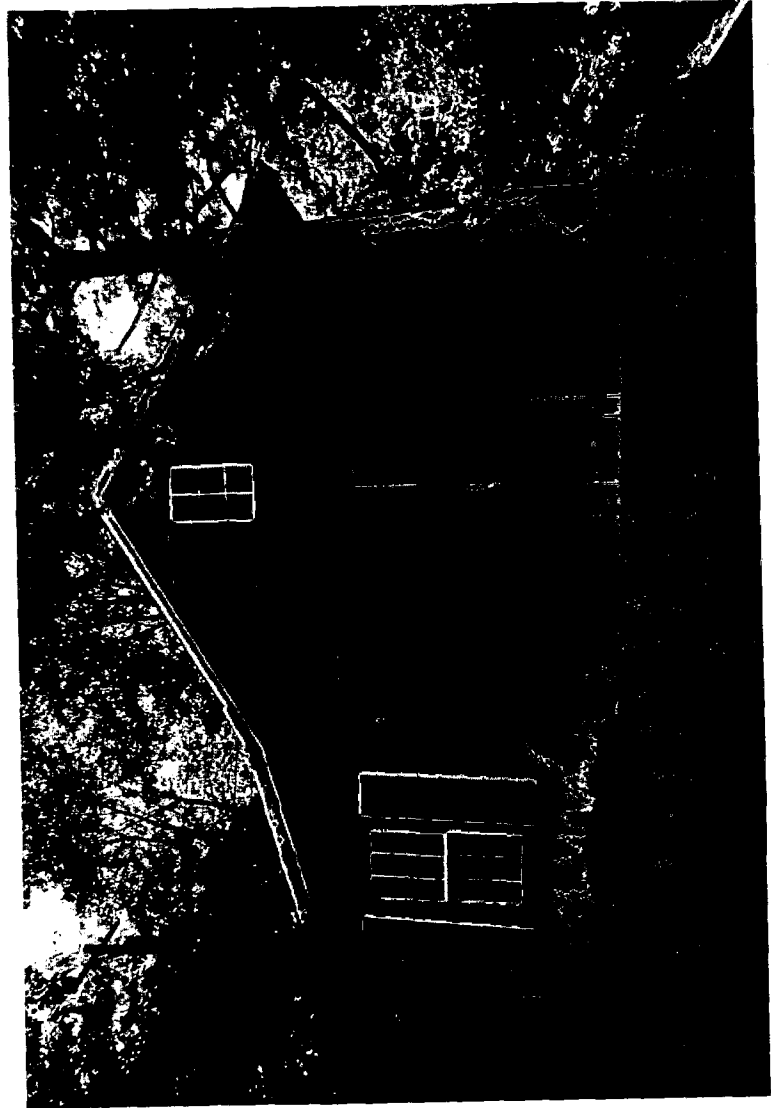
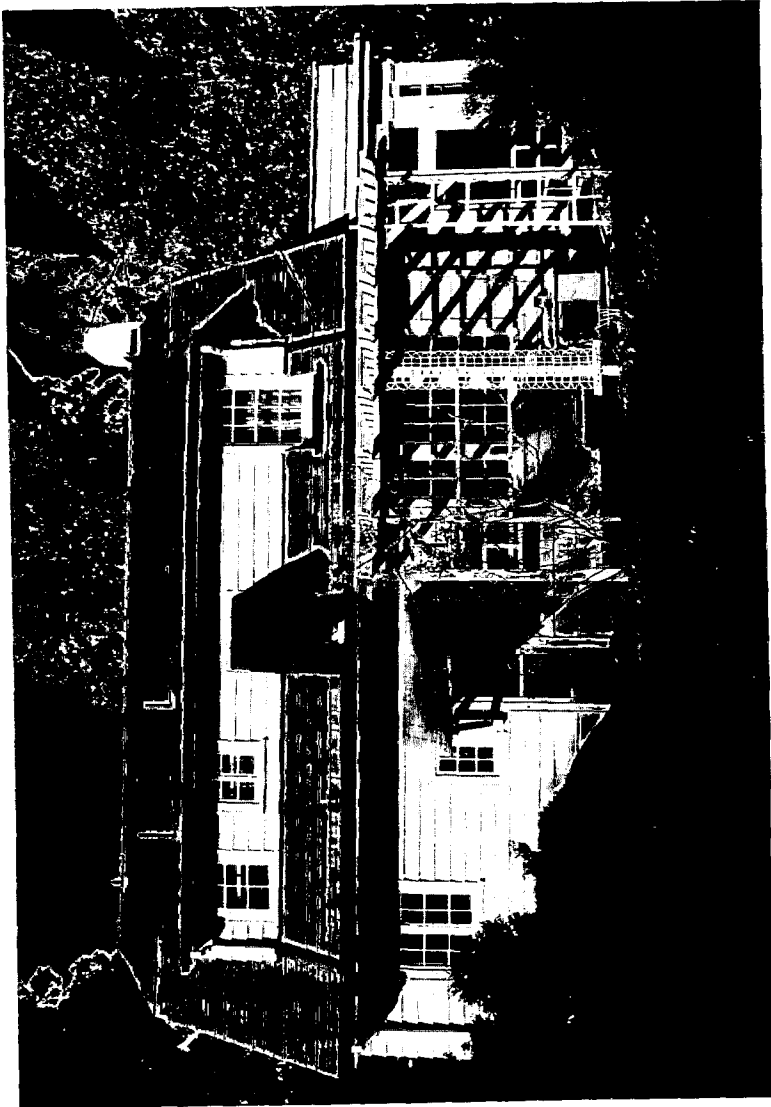
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EXISTING CONDITIONS
22 Hesketh Street, Chevy Chase, Maryland

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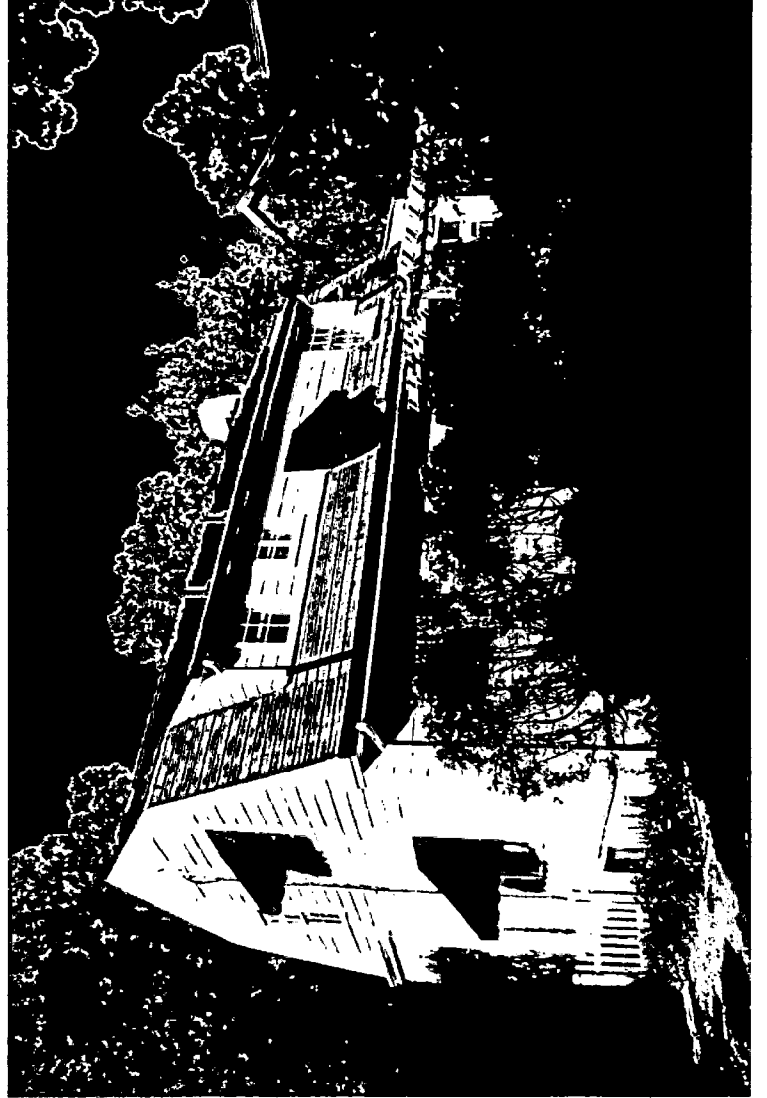
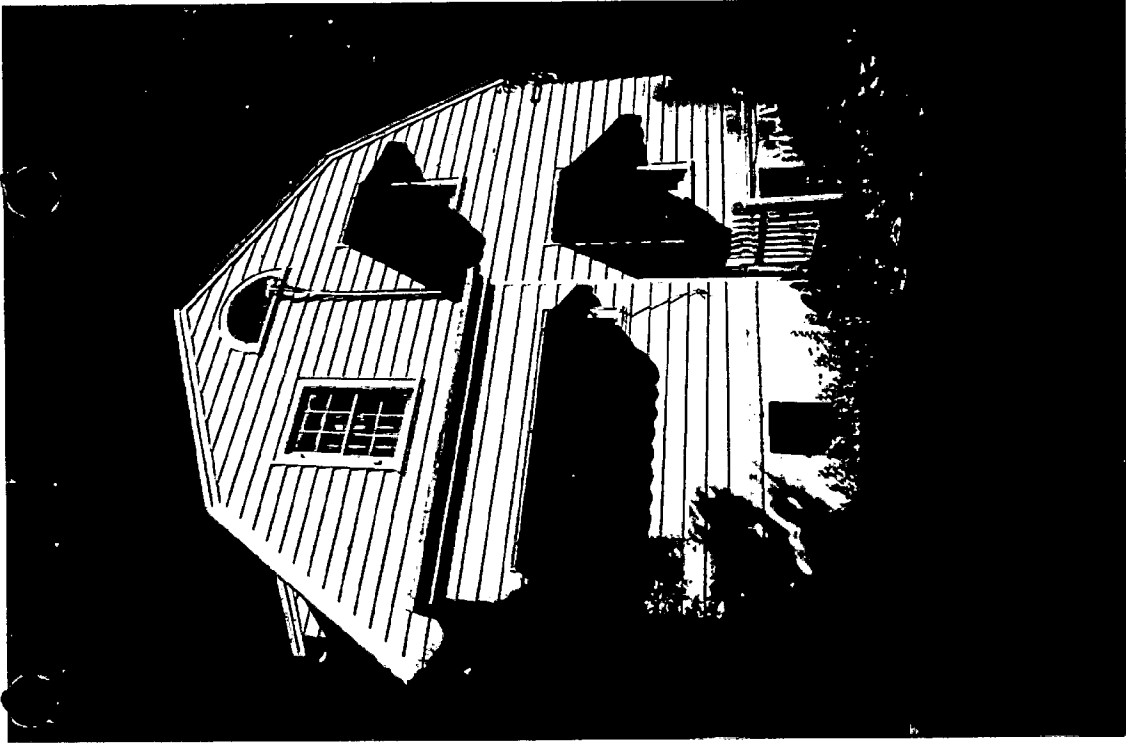
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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: ²² 23 Hesketh Street Meeting Date: 1/26/00
 Applicant: Mrs. Lucy O'Brien Report Date: 1/19/00
 (Bruce Rich, Agent)
 Resource: Chevy Chase Village Historic District Public Notice: 1/05/00
 Review: HAWP Tax Credit: No
 Case Number: 35/13-00E Staff: Robin Ziek

PROPOSAL: Add rear addition, move existing chimney, enclose existing side porch

RECOMMEND: Approval

approve w/ proposed change to

PROJECT DESCRIPTION

RESOURCE: Contributing Resource in the Historic District
 STYLE: Craftsman/ Dutch colonial
 DATE: 1892-1916

*short rear addition
 4', and to be
 approved at staff
 level -*

PROPOSAL

The applicant proposes a rear addition to accommodate a new dining room, while the existing dining room will be converted into a library. The applicant would also like to enlarge the existing living room, by expanding that room into the existing side porch. As part of that alteration, the applicant would like to move the chimney to the opposite wall in the living room, thus providing for one large room.

The materials would match the existing house, although there will be more emphasis on the side porch with the new porch railing, giving this addition more height. The porch would be enclosed with glass panels which would match the existing porch openings, with the sole exception of the center two panels on the left side elevation. The applicant would like to install painted wood panels at this location.

The chimney would be relocated to a point within the interior of the roof, and off-center. The applicant has included several illustrations of other gambrel-roofed structures with similar off-center chimneys.

(See Circle 18-23)

STAFF DISCUSSION

Staff feels that the proposed alterations are, for the most part, in-keeping with the character of the house and the overall district. While chimneys are often important features on a structure, staff feels that in this case, the strength of the chimney was offset by the existing side porch anyway, so that only a portion of it was ever visible.

The rear addition is suitably scaled to the site, and will be hardly visible from the public right-of-way. Staff has some concern, on the other hand, with the proposed use of painted wood panels on the open side porch. Staff notes that the Guidelines say that "enclosure of side porches should be permitted where compatibly designed." (p. 10) While the new fenestration pattern will match the existing, the painted wood panels would have a different reflectance from that of an open [glassed] porch, and as such, seems incompatible.

STAFF RECOMMENDATION

Staff recommends, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

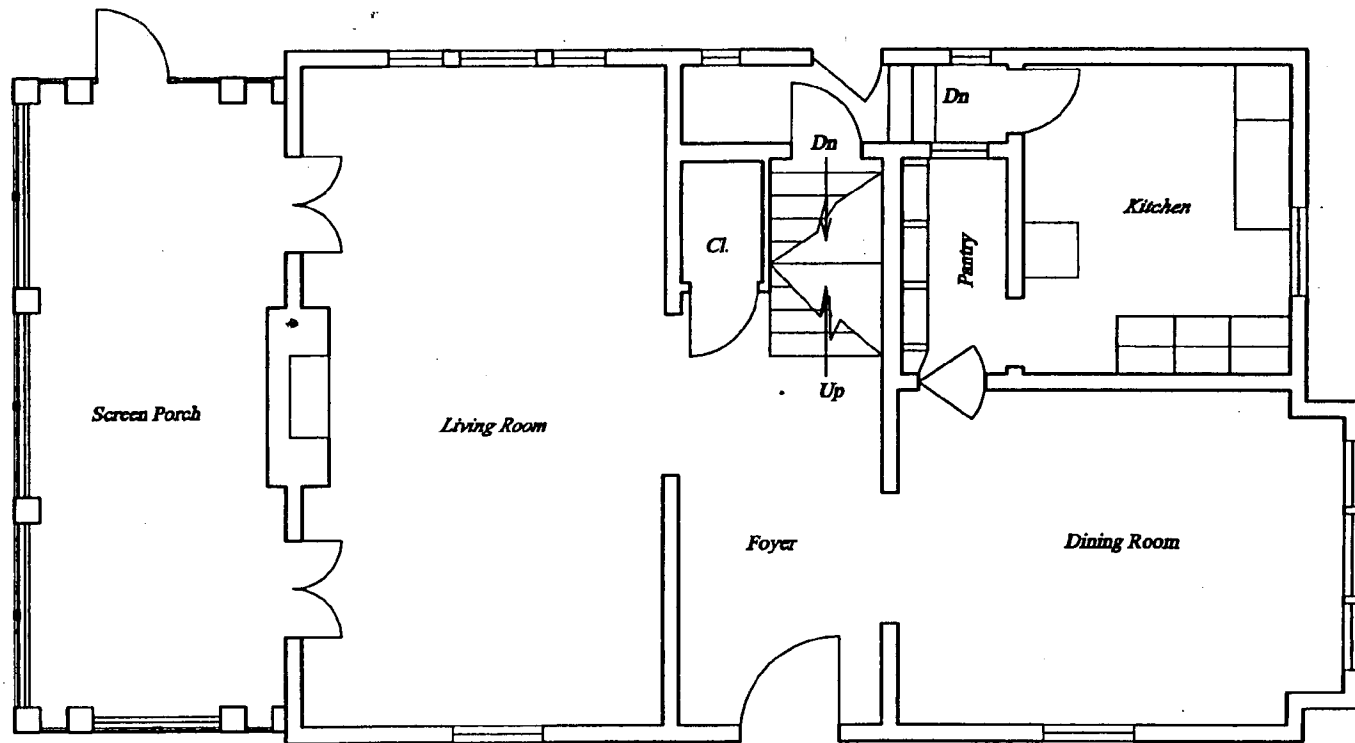
and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

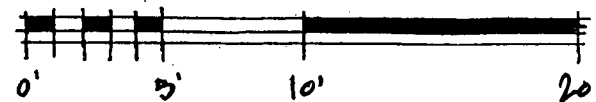
CONDITIONS:

1. The existing porch panels should be glazed instead of painted wood.

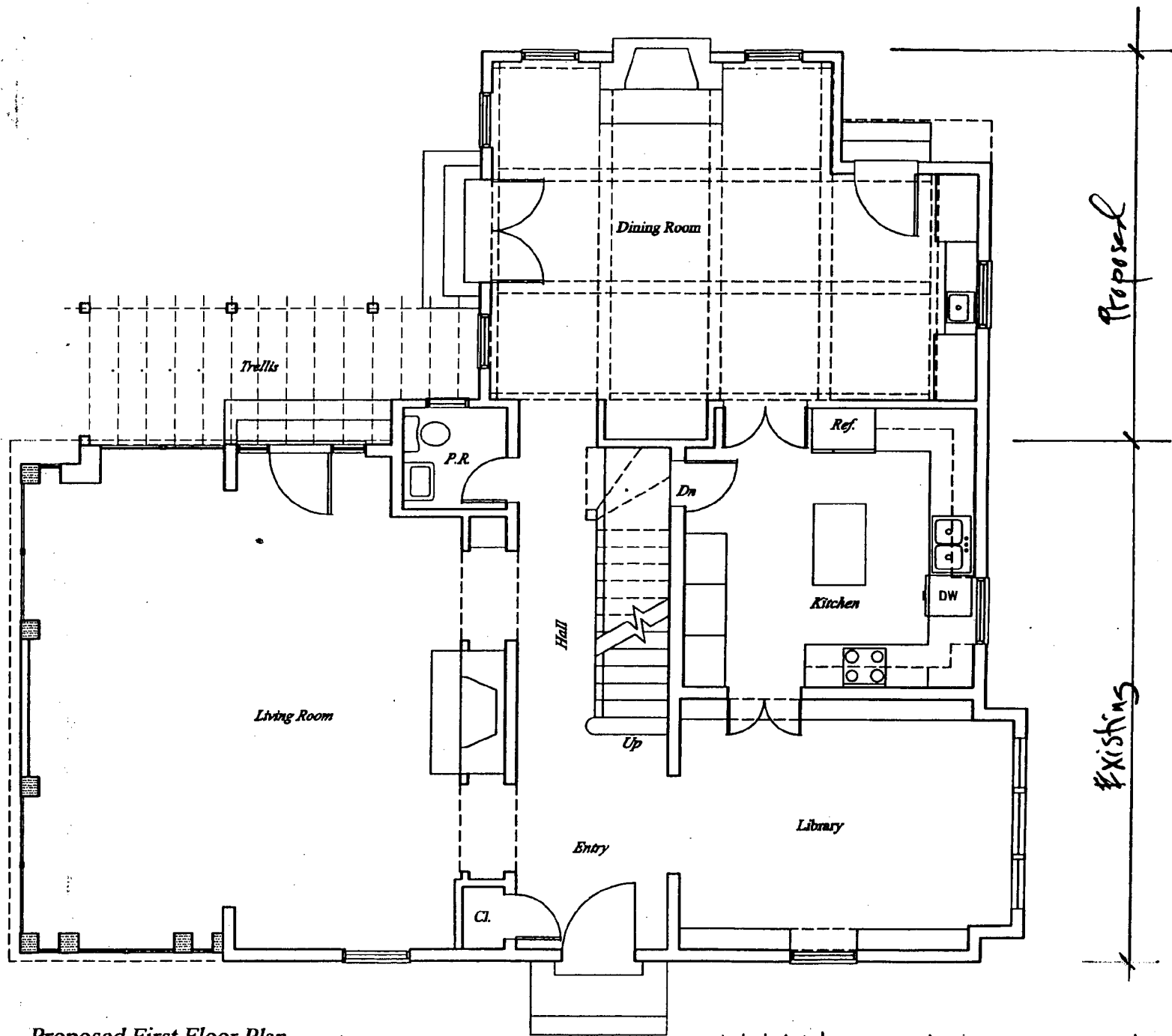
and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



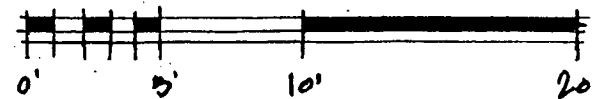
Existing First Floor Plan
22 Hesketh Street, Chevy Chase, MD



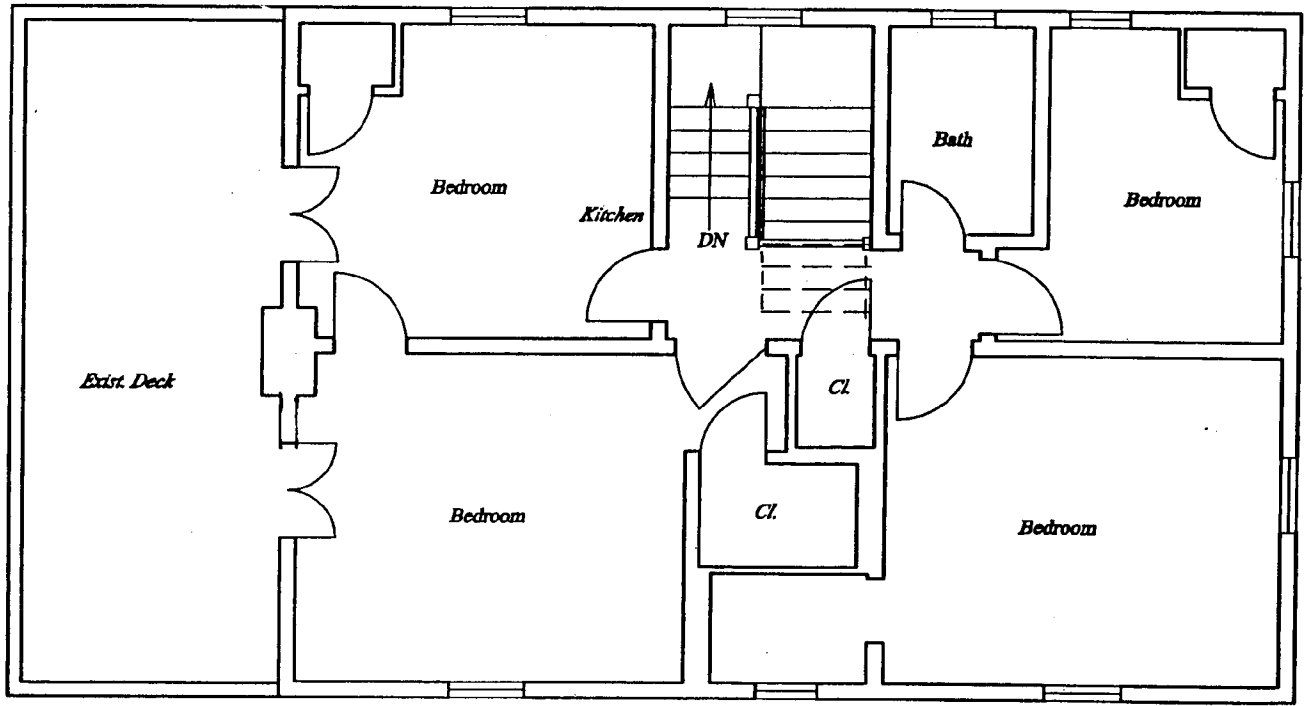
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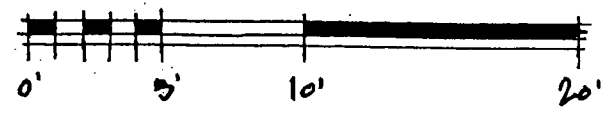
Proposed First Floor Plan
 22 Hesketh Street, Chevy Chase, MD



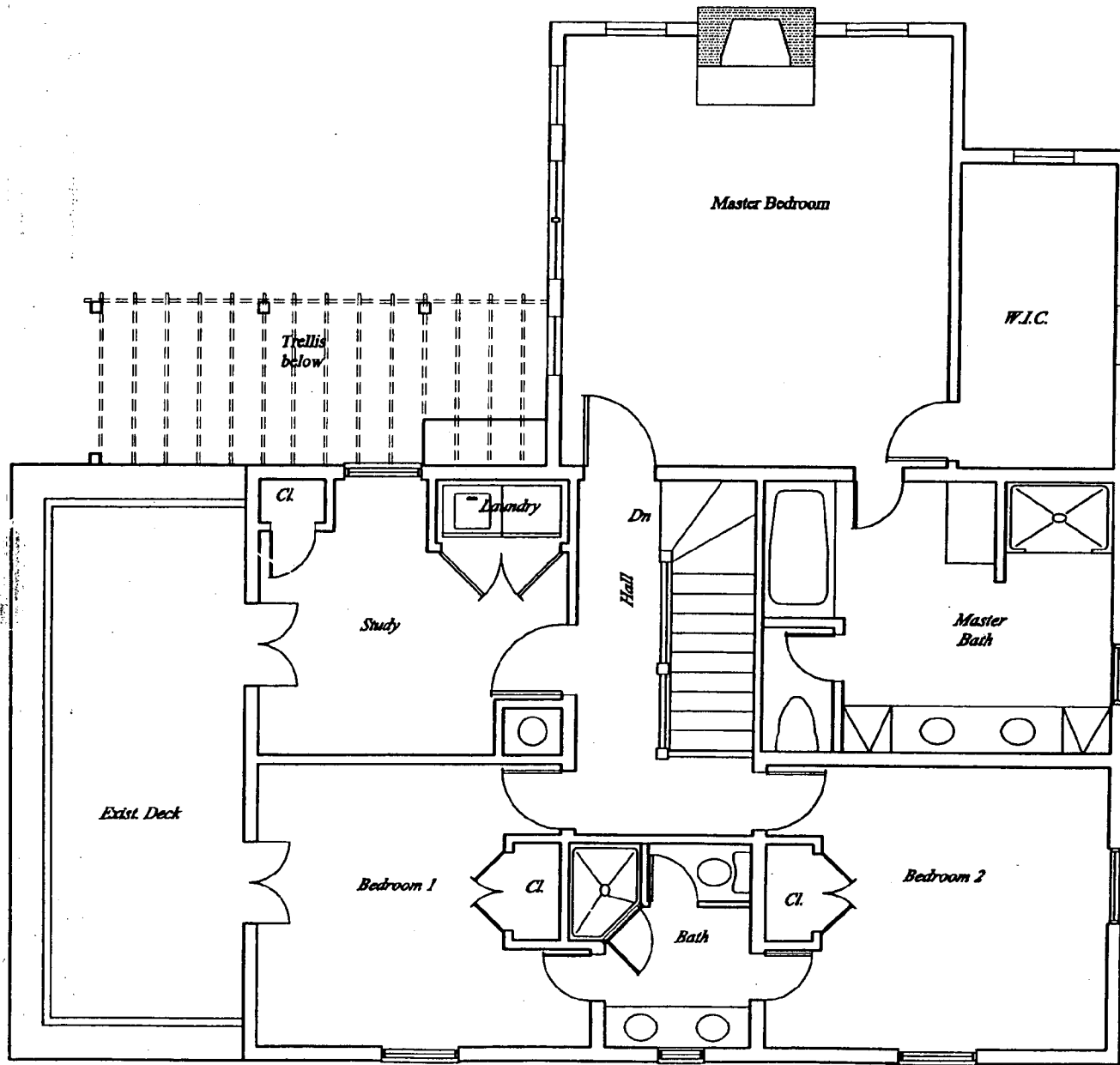
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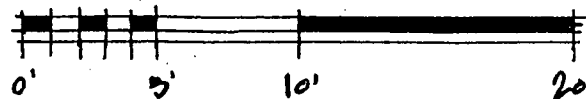
Existing Second Floor Plan
22 Hesketh Street, Chevy Chase, MD



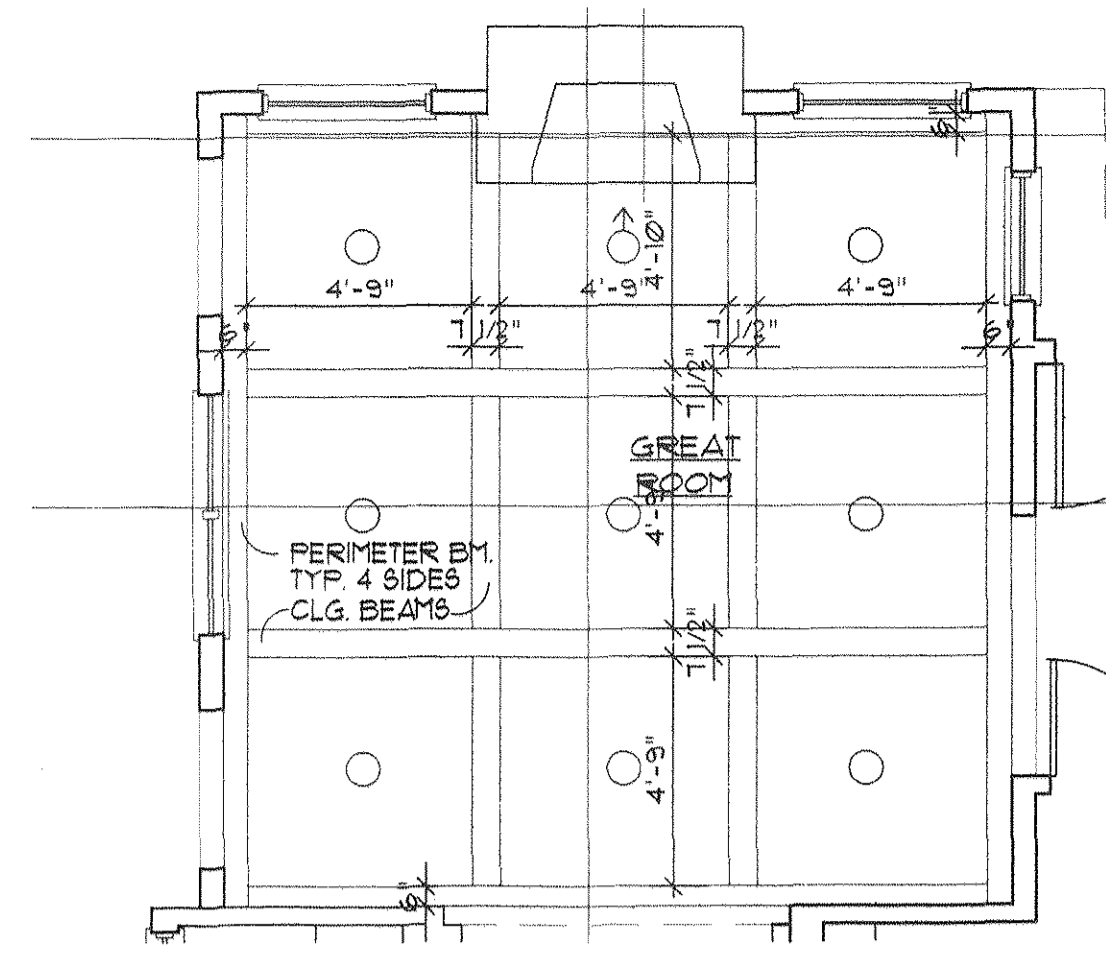
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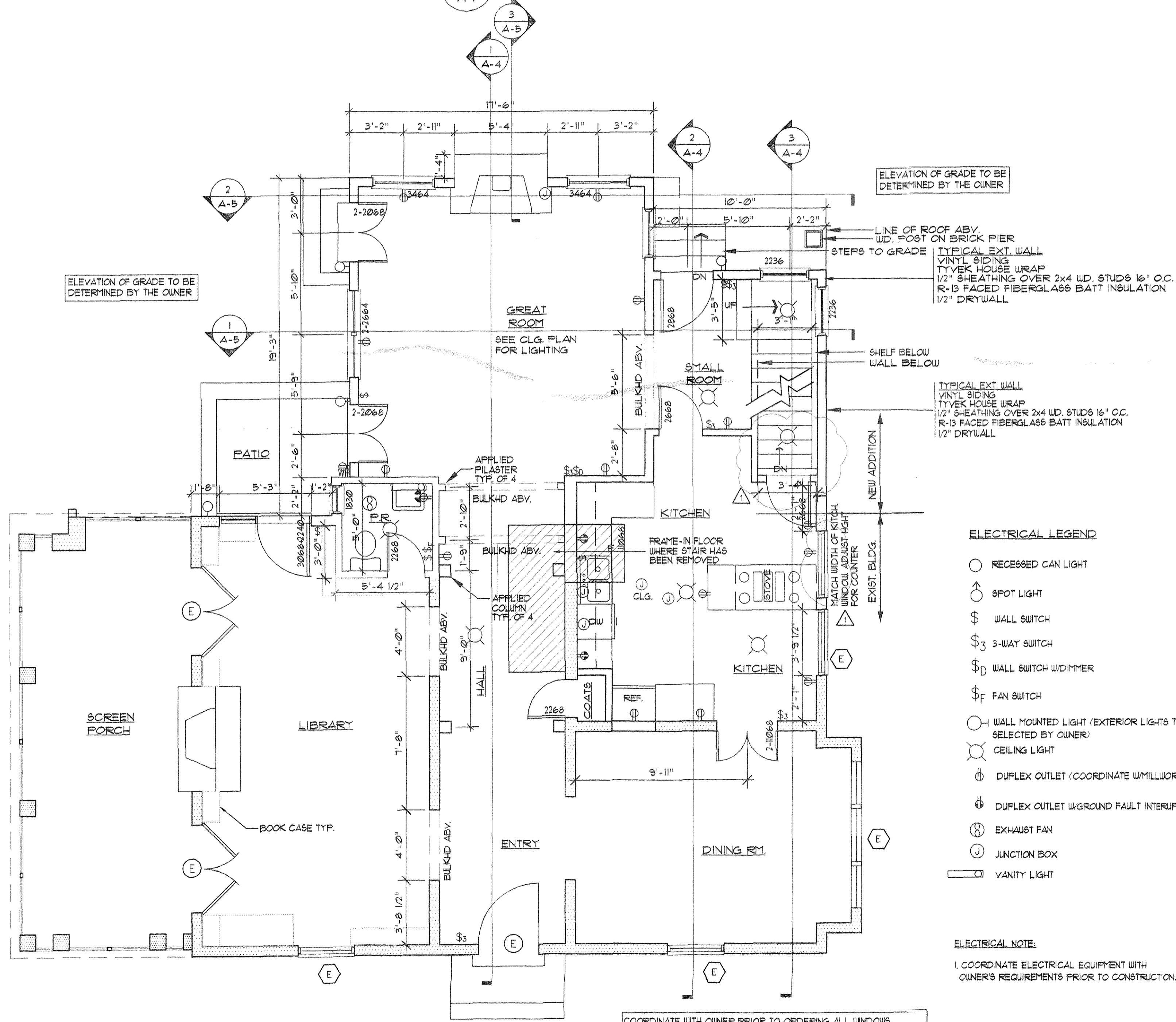
Proposed Second Floor Plan
22 Hesketh Street, Chevy Chase, MD



10



3 CEILING PLAN
1/4" = 1'-0"

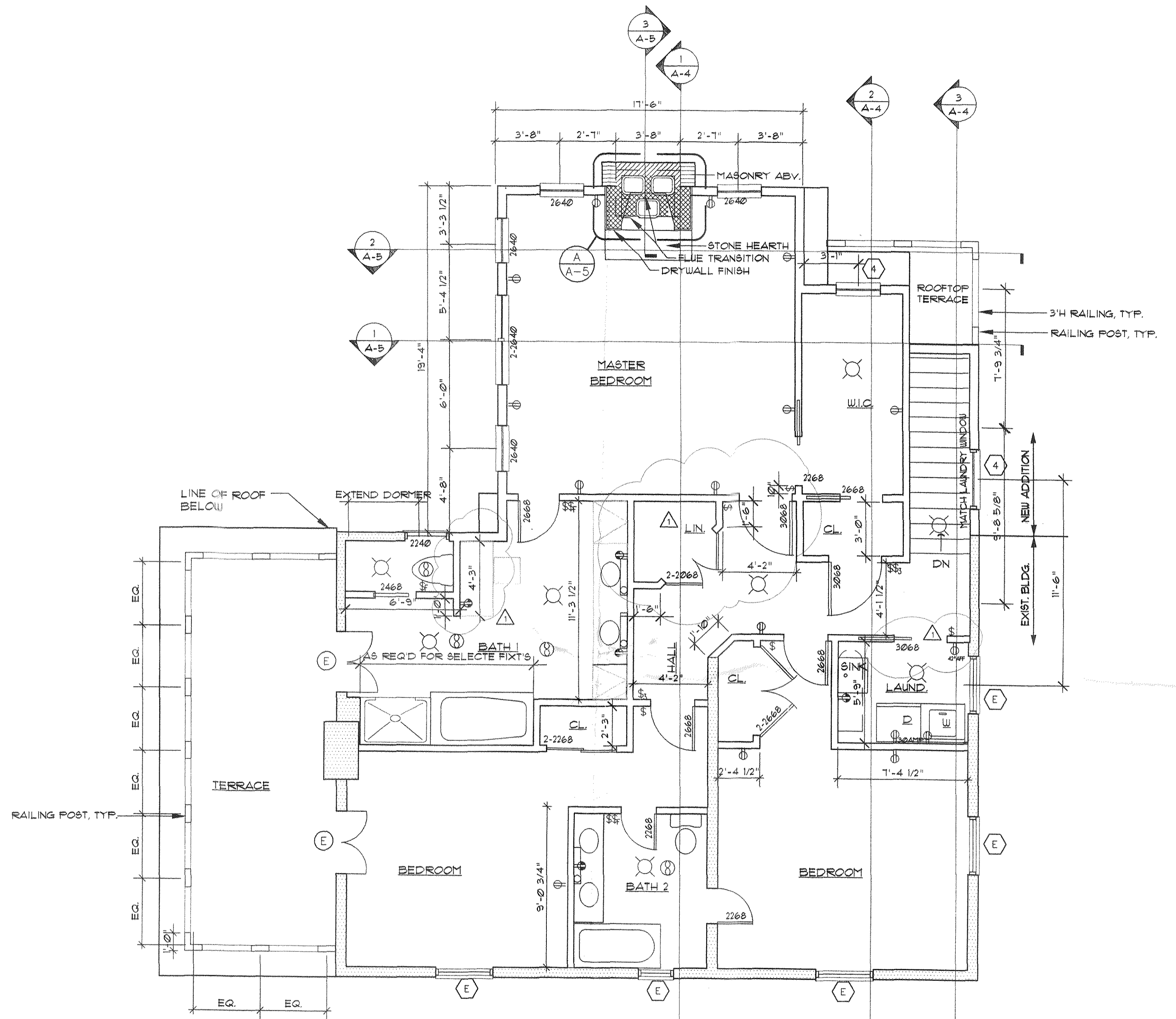


2 FIRST FLOOR PLAN
1/4" = 1'-0"

COORDINATE WITH OWNER PRIOR TO ORDERING ALL WINDOWS
REVIEW WINDOW SIZES HEAD HEIGHT WITH THE ARCHITECT PRIOR TO
PROCEEDING WITH WORK
REUSE EXISTING WINDOWS IF FEASIBLE

- ELECTRICAL LEGEND**
- RECESSED CAN LIGHT
 - ⬆ SPOT LIGHT
 - ⌘ WALL SWITCH
 - ⌘ 3-WAY SWITCH
 - ⌘ WALL SWITCH DIMMER
 - ⌘ FAN SWITCH
 - ⌘ WALL MOUNTED LIGHT (EXTERIOR LIGHTS TO BE SELECTED BY OWNER)
 - ⊙ CEILING LIGHT
 - ⊕ DUPLEX OUTLET (COORDINATE W/ MILLWORK)
 - ⊕ DUPLEX OUTLET W/ GROUND FAULT INTERRUPT
 - ⊕ EXHAUST FAN
 - ⊕ JUNCTION BOX
 - ⊕ VANITY LIGHT

ELECTRICAL NOTE:
1. COORDINATE ELECTRICAL EQUIPMENT WITH OWNER'S REQUIREMENTS PRIOR TO CONSTRUCTION.

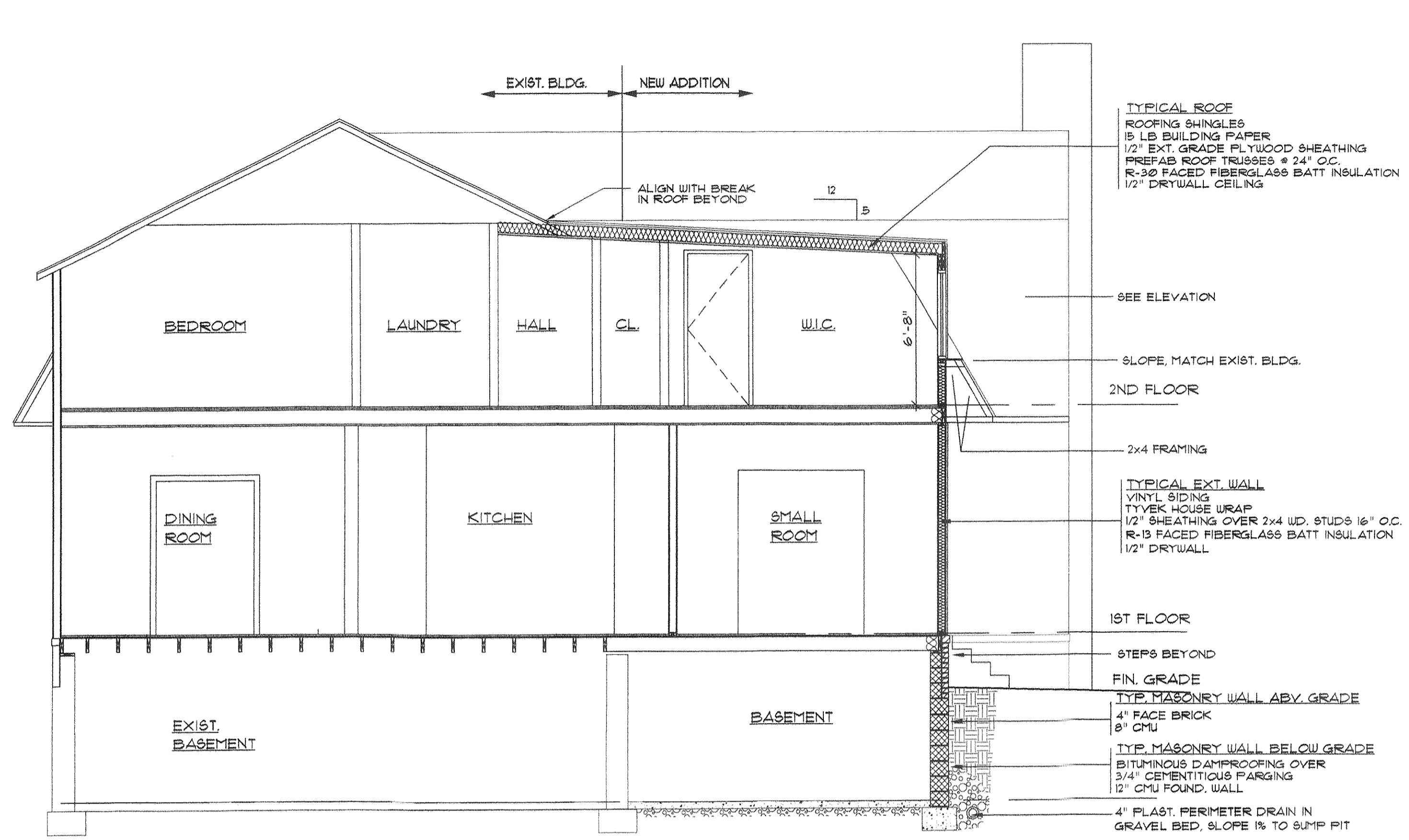


1 SECOND FLOOR PLAN
1/4" = 1'-0"

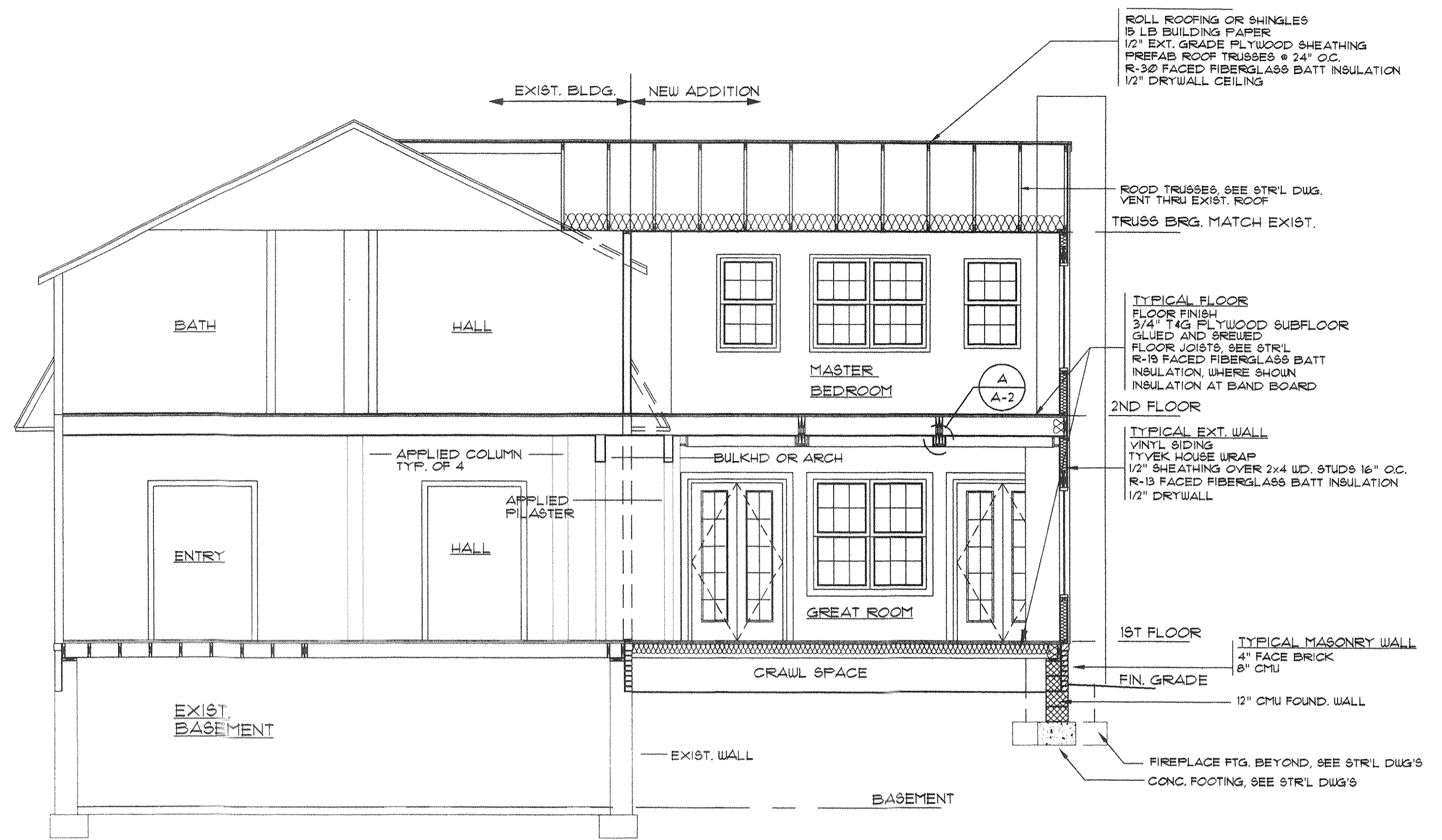
- WALL LEGEND**
- WALL TO BE REMOVED
 - EXIST. WALLS
 - NEW WALL OR PARTITION 2x4 WOOD STUDS 16" O.C.

THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES	Scale AS NOTED Date JULY 23, 2000	Seal
ARCHITECTS AND PLANNING CONSULTANTS 15700 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850		
Drawing Title FLOOR PLANS	Drawing No. A-1	Sheet _____ of _____

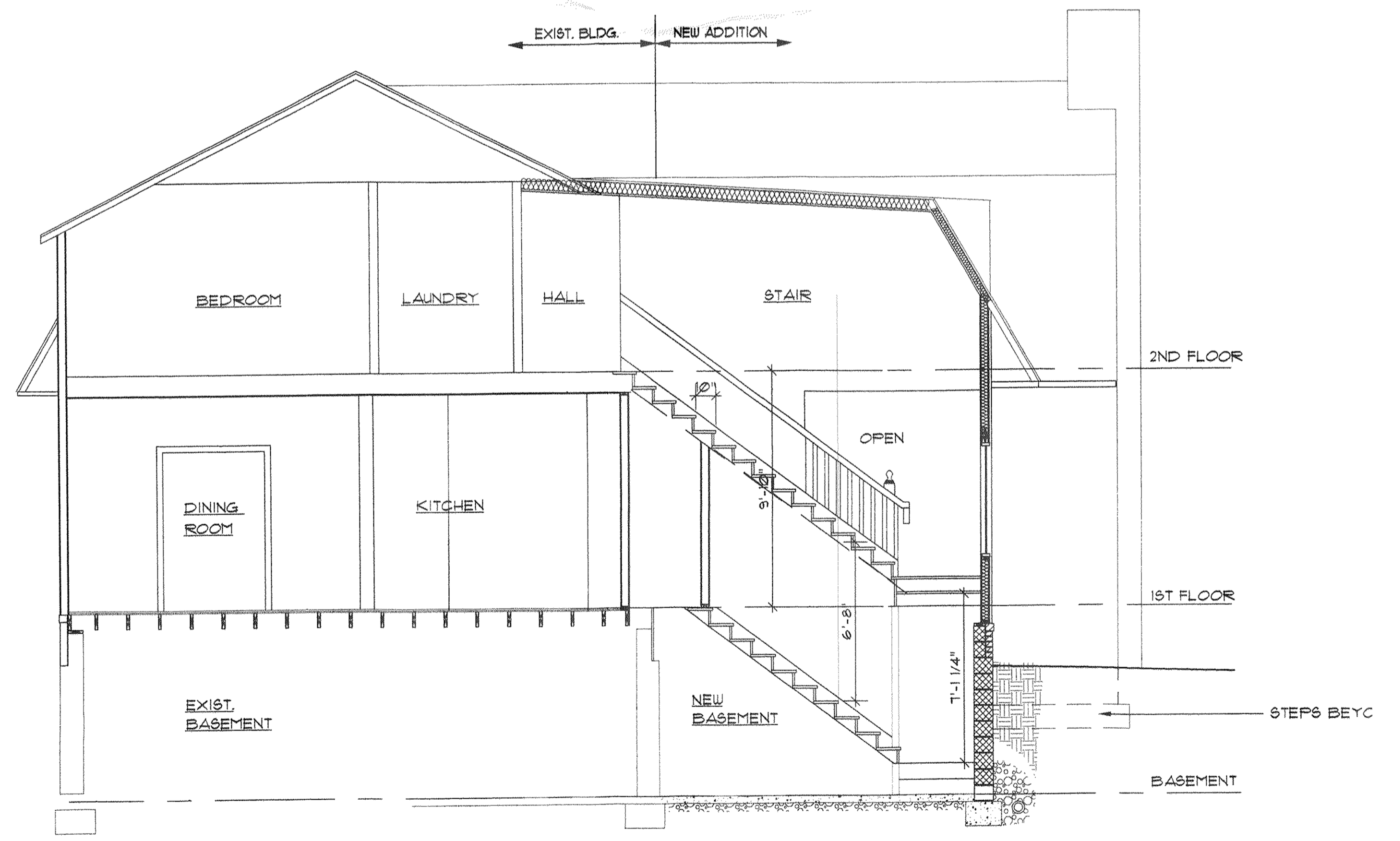
Update on interior changes.
9/19/00 - RAZ



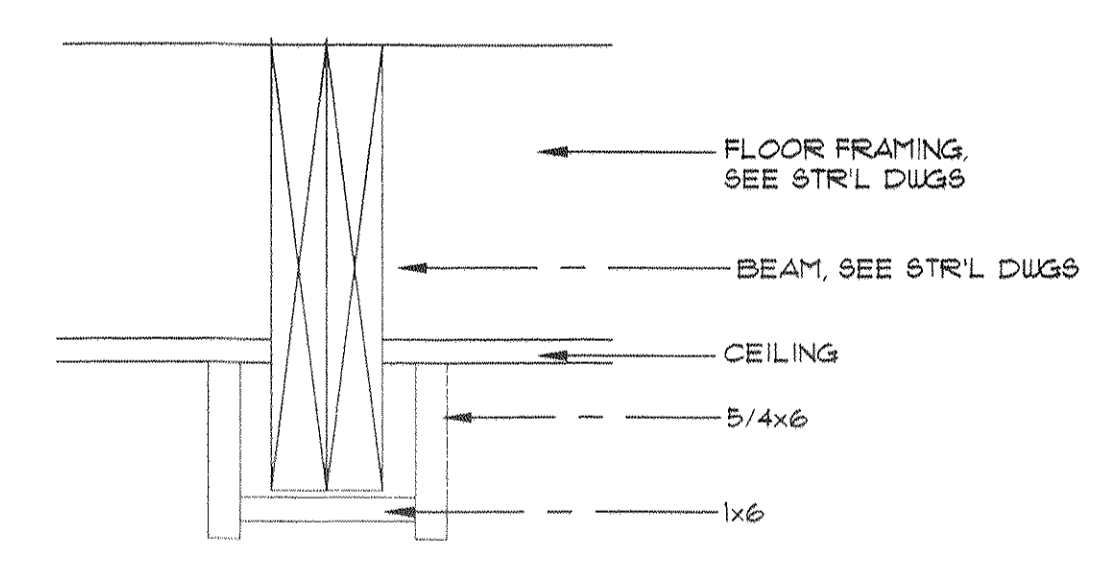
2 SECTION
A-4 1/4" = 1'-0"



1 SECTION
A-4 1/4" = 1'-0"

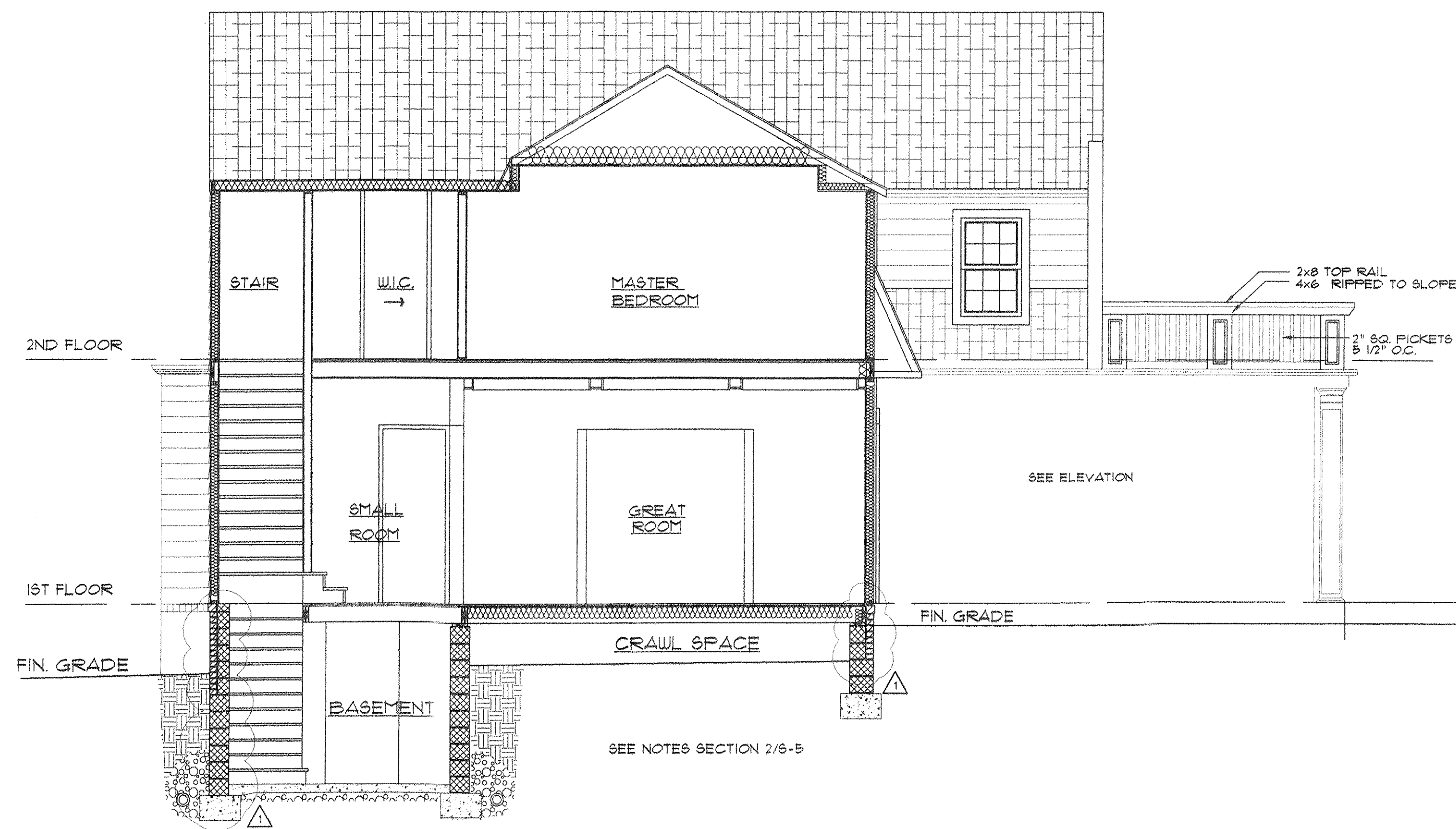


3 SECTION
A-4 1/4" = 1'-0"

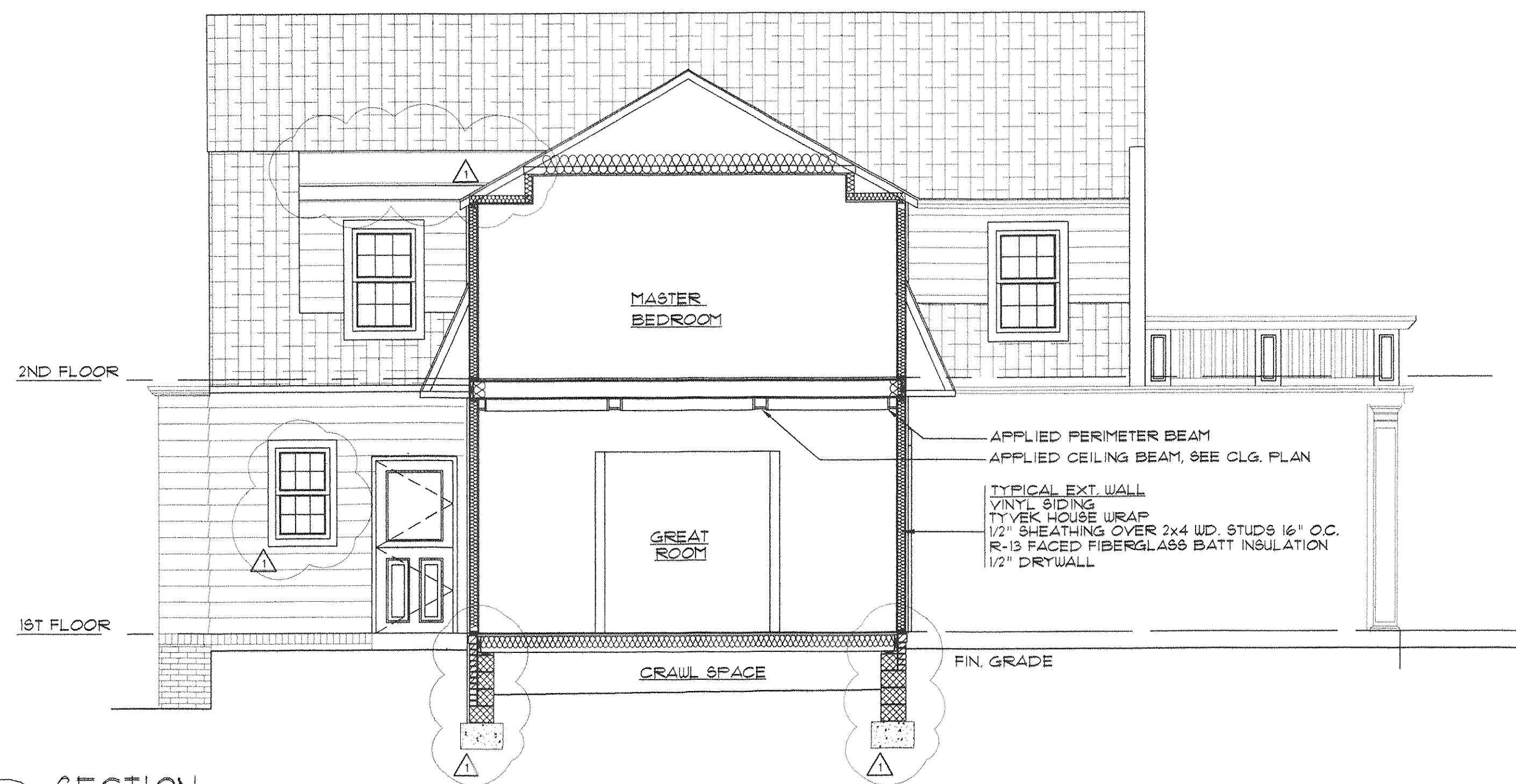


A DETAIL OF CLG. BEAM
A-4 2" = 1'-0"

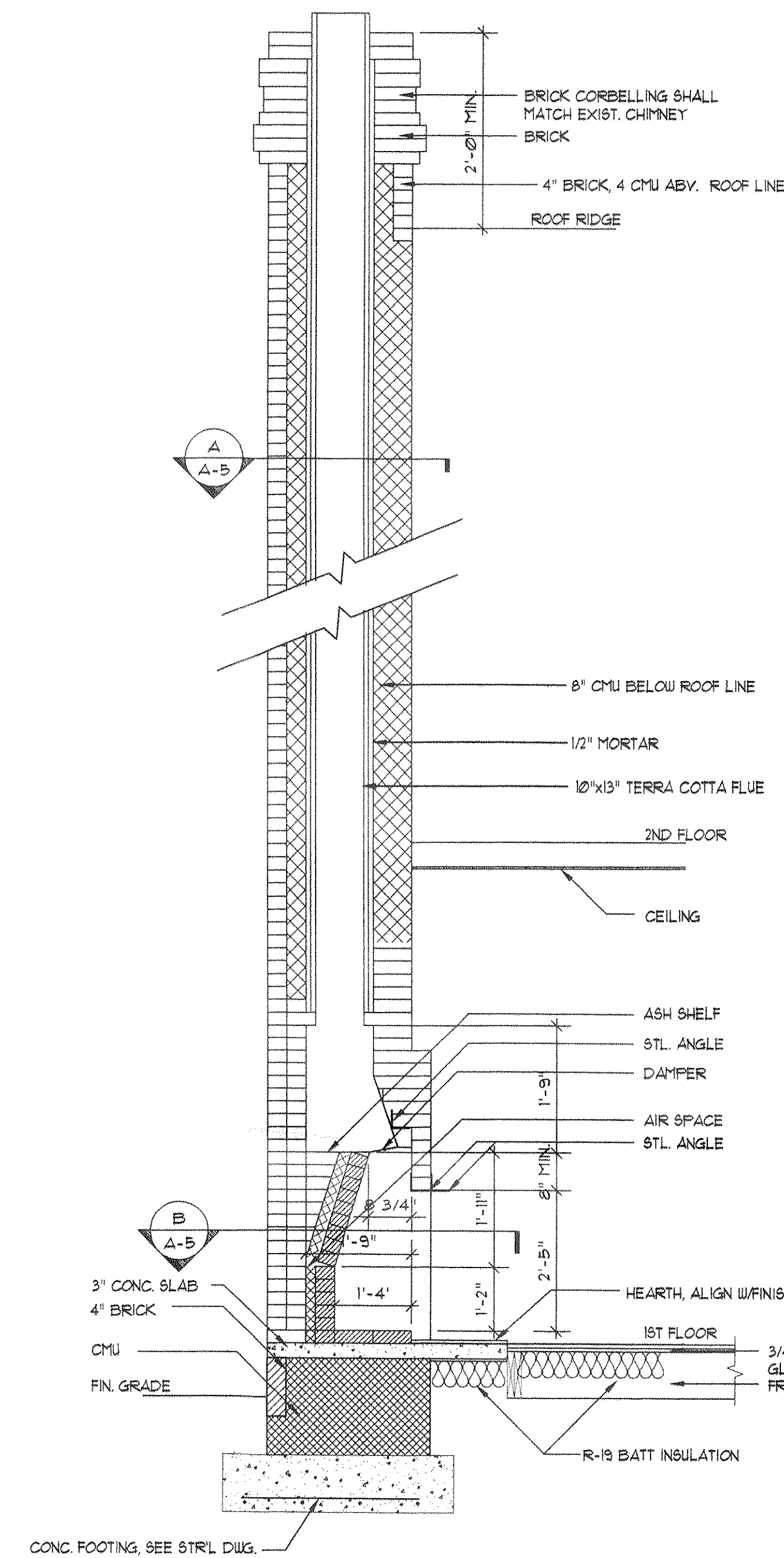
THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES ARCHITECTS AND PLANNING CONSULTANTS 15200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Scale AS NOTED Date APR. 20, 2000	Seal
Drawing Title SECTIONS	Drawing No. A-4	Sheet _____ of _____



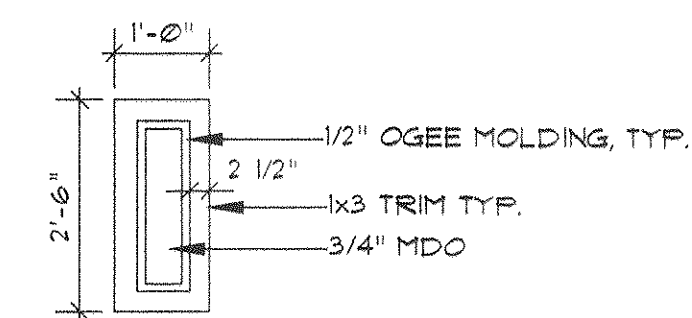
1 SECTION
A-5 1/4" = 1'-0"



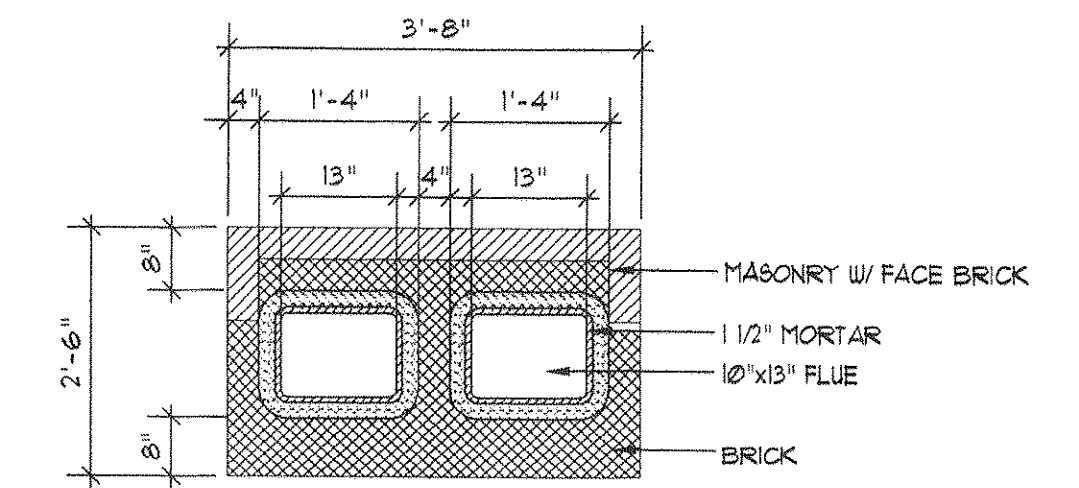
2 SECTION
A-5 1/4" = 1'-0"



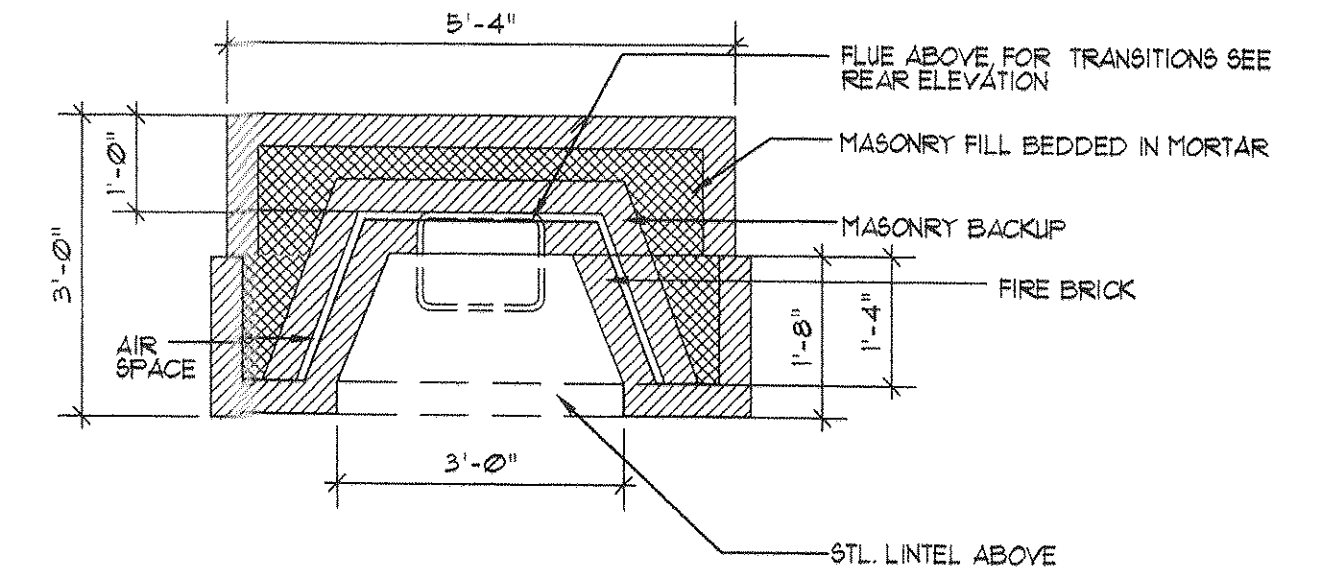
3 SECTION
A-5 1/2" = 1'-0"



C TYP. NEW RAILING POST
A-5 1/2" = 1'-0"

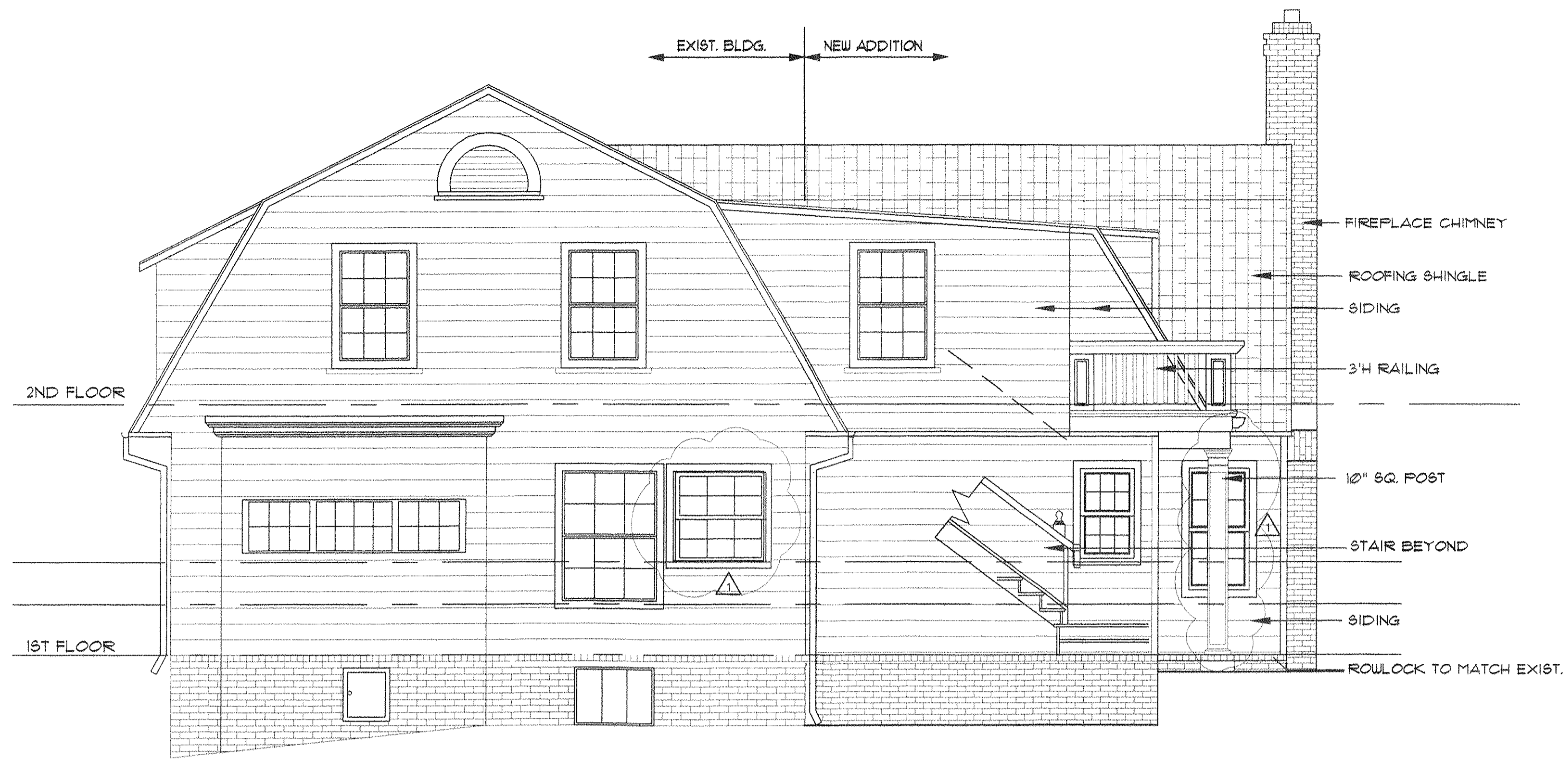


A PLAN/SECTION THRU STACK
A-5 1/2" = 1'-0"

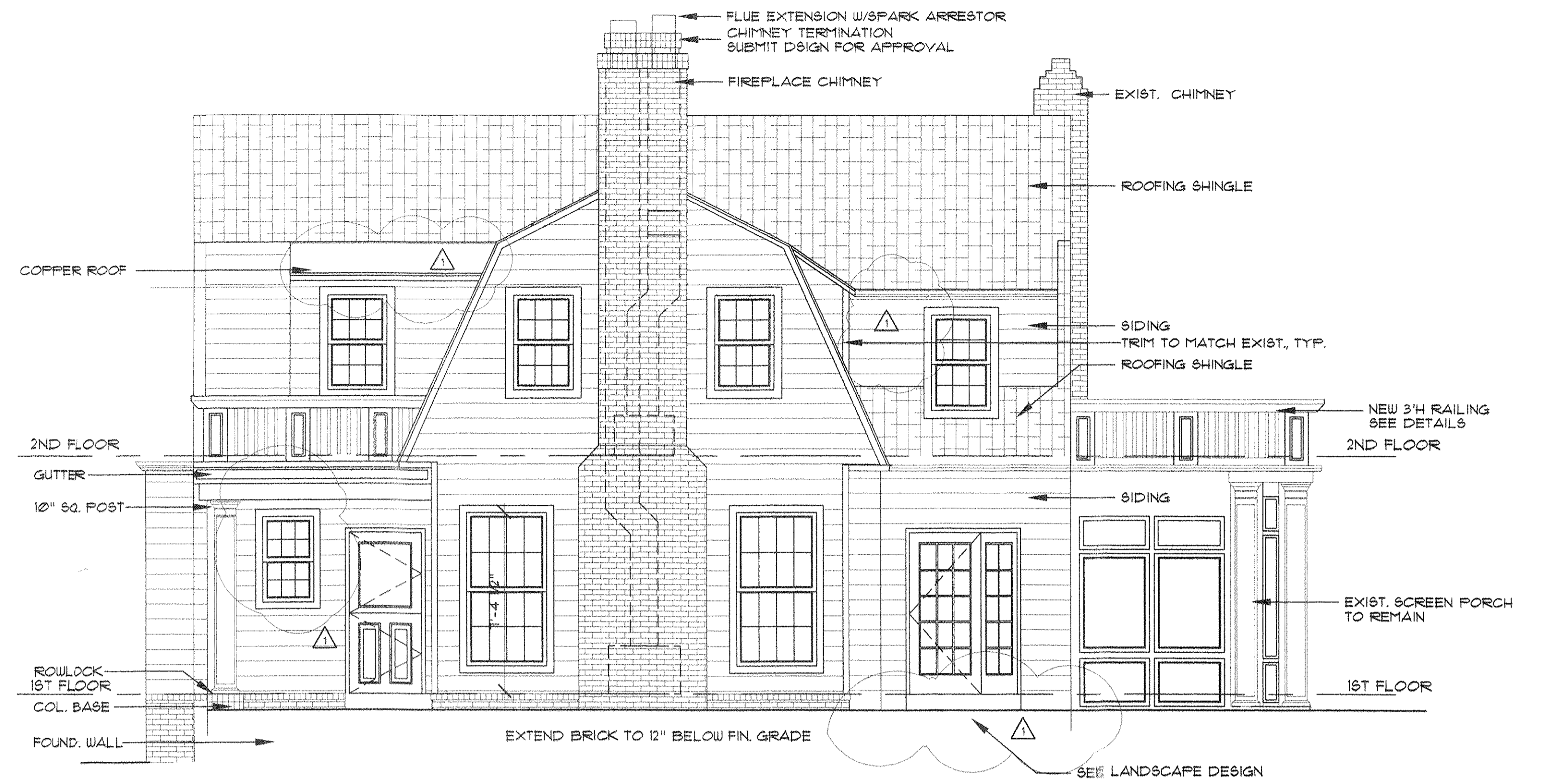


B FIREBOX AT 1ST FLOOR
A-5 1/2" = 1'-0"

THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES	Scale AS NOTED	Seal
ARCHITECTS AND PLANNING CONSULTANTS 15200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Date JULY 23, 2000	
Drawing Title SECTIONS	Drawing No. A-5	Sheet _____ of _____



2 RIGHT SIDE ELEVATION
 1/4" = 1'-0"



1 REAR ELEVATION
 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
 1/4" = 1'-0"



3 FRONT ELEVATION
 1/4" = 1'-0"

THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES	Scale AS NOTED	Seal
ARCHITECTS AND PLANNING CONSULTANTS 200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Date JULY 23, 2000	
Drawing Title ELEVATIONS	Drawing No. A-6	Sheet _____ of _____

ADDITION AND REMODELING

O'BRIEN RESIDENCE

22 HESKETH STREET
CHEVY CHASE, MARYLAND

BRUCE A. RICH ASSOCIATES
ARCHITECTS AND PLANNING CONSULTANTS

- C COVER SHEET
- A-1 FLOOR PLANS, ELECTRICAL PLAN
- A-2 DEMOLITION PLAN, BASEMENT PLAN
- A-3 ROOF PLAN, NOTES
- A-4 SECTIONS
- A-5 SECTIONS
- A-6 ELEVATIONS
- S-1 PARTIAL FOUNDATION/FIRST FLOOR PLAN
- S-2 PARTIAL SECOND FLOOR PLANS
- S-3 GENERAL STRUCTURAL NOTES AND TYP. DETAILS
- S-4 DETAILS

LIST OF DRAWINGS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/13/00

Compliance with the CABO Model Energy Code will be as noted on the

- Montgomery County Energy Worksheet # 15
- MECcheck Compliance Report
- CABO MEC Compliance Report
- Other _____

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

MONTGOMERY COUNTY
Department of Permitting Services

Approved *[Signature]*
Date 6-13-00

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

SITE PLAN

A.B.	ANCHOR BOLT	DBL	DOUBLE	HDW	HARDWARE	N.I.C.	NOT IN CONTRACT	SO	SQUARE
ABV	ABOVE	O	DIAMETER	HRWD	HARDWOOD	NO	NUMBER	S.S.,S/S	STAINLESS STEEL
ACOUST	ACOUSTICAL	DIM	DIMENSION	H.M.	HOLLOW METAL	NTS	NOT TO SCALE	STD	STANDARD
A/C	AIR CONDITIONING	DISP	DISPENSER	HORIZ	HORIZONTAL			STL	STEEL
ADJ	ADJACENT/ADJUSTABLE	DN	DOWN	HT	HEIGHT	O.C.	ON CENTER	STOR	STORAGE
A.F.F.	ABOVE FINISH FLOOR	DR	DOOR	HTR	HEATER	O.D.	OUTSIDE DIAMETER	STRUCT,STR'L	STRUCTURE/STRUCTURAL
A.F.S.	ABOVE FINISH GRADE	DTL,DTL'S	DETAIL	HVAC	HEATING, VENTILATING	OFF	OFFICE	SUSP	SUSPENDED
ALUM	ALUMINUM	DWG,DWG'S	DRAWING	H.W.	HOT WATER	OPNG	OPENING	SW	SWITCH
ANCH	ANCHOR					OPP	OPPOSITE		
APPROX	APPROXIMATE/LY	EA	EACH	IN(*)	INCH	P	PLATE	T	TREAD
ARCH	ARCHITECTURAL	E.J.	EXPANSION JOINT	INST	INSTALLATION	PLYWD	PLYWOOD	TEL	TELEPHONE
AVG	AVERAGE	ELEV	ELEVATION	INSUL	INSULATION	PL,LAM	PLASTIC LAMINATE	T&G	TEMPERED
AGG	AGGREGATE	ELEC	ELECTRICAL	INT	INTERIOR	PNL'G	PANELING	TH	TONGUE AND GROOVE
		ENC	ENCLOSURE	INT	INTERIOR	PTD	PAINTED	THK	THICK
BD	BOARD	ENLG	ENLARGED	INV	INVERT	PR	PREFINISHED	T.O.S.	TOP OF SLAB
BLDG	BUILDING	ENT	ENTRANCE	JAN	JANITOR	PROJ	PROJECT	TYP	TYPICAL
BLK	BLOCK	EQ	EQUAL	JNT	JOINT	PSI	POUNDS PER SQ. INCH	UL	UNDERWRITER'S LABORATORY
BLK'G	BLOCKING	EQUIP	EQUIPMENT	JST	JOIST	Q.T.	QUARRY TILE	UNIF	UNIFORM
BRG	BEARING	EXIST	EXISTING	KIT	KITCHEN	L	LONG	V.C.T.	VINYL COMPOSITION TILE
BSMT	BASEMENT	EXP	EXPOSED,EXPANSION			LAM	LAMINATE	VERT	VERTICAL
BOT	BOTTOM	EXT	EXTERIOR			LAV	LAVATORY	VEST	VESTIBULE
BET	BETWEEN	E.W.C.	ELECTRIC WATER COOLER			LB	POUND		
BU	BUILT UP					LF	LINEAR FOOT		
						MAS	MASONRY	W/	WITH
CC	CENTER TO CENTER	F.D.	FLOOR DRAIN			MAT	MATERIAL	WC	WATER CLOSET
CF	CUBIC FEET	FIN	FINISH			MAX	MAXIMUM	WD	WOOD
CFM	CUBIC FEET PER MINUTE	FIN. FLR	FINISH FLOOR			MCH	MECHANICAL	WDW	WINDOW
C.J.	CONSTRUCTION JOINT	FIN. GRD	FINISH GRADE			MFR	MECHANICAL MANUFACTURER	WH	WATER HEATER
C	CENTER LINE	FLR,FLR'G	FLOOR,FLOORING			REC	RECESSED	W/O	WITHOUT
CLG	CEILING	FLUOR	FLUORESCENT			REF	REFERENCE/REFRIGERATION	WP	WATERPROOF
CL	CLOSET	FT(*)	FOOT,FEET			REIN	REINFORCED	W/WF	WELDED WIRE FABRIC/MESH
CLR	CLEAR (ANCE)	FTG	FOOTING			REQ'D	REQUIRED	YD	YARD
CMU	CONCRETE MASONRY UNIT	FTG	FOOTING			REV	REVISION		
C.O.	CLEAN OUT	FIXT	FIXTURE			RM	ROOM		
COL	COLUMN	G	GAS			R.O.	ROUGH OPENING		
CONC	CONCRETE	G.B.	GRAB BAR			SAN	SANITARY		
CONT	CONTINUE (OUS)	G.C.	GENERAL CONTRACTOR			SEC	SECTION		
CONTR	CONTRACTOR	GLS	GLASS			S.F.	SQUARE FOOT		
CONSTR	CONSTRUCTION	GWB	GYP'SUM WALLBOARD			SHT	SHEET		
CNTR	CENTER, COUNTER					SIM	SIMILAR		
C.T.	CERAMIC TILE	HDBD	HARBORBOARD			SPEC, SPECS	SPECIFICATIONS		
C.W.	COLD WATER	HDR	HEADER						
		H.B.	HOSE BIB						

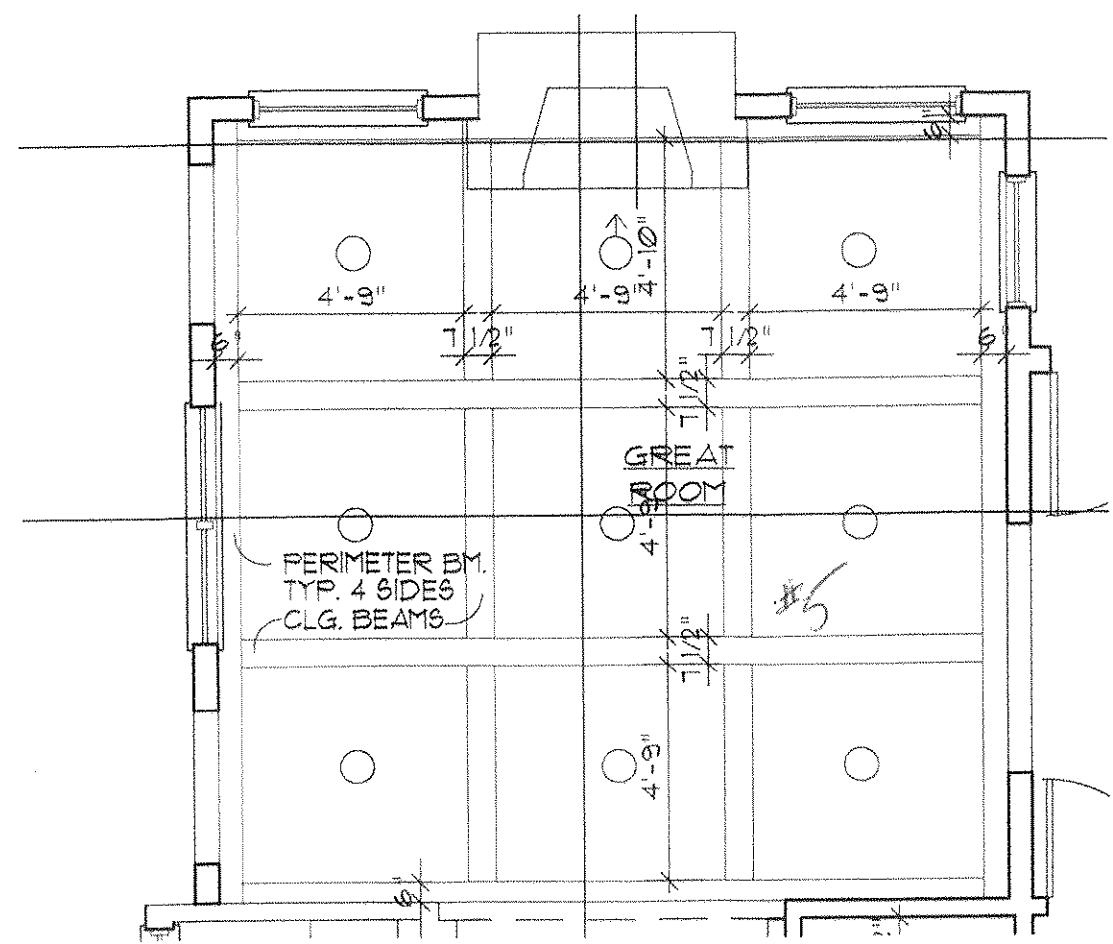
ABBREVIATIONS

	CONCRETE MASONRY UNIT		CONSTRUCTION NOTE
	BRICK		DOOR NUMBER
	STEEL		WINDOW NUMBER
	BATT INSULATION		PARTITION TYPE
	DIMENSION LUMBER, WOOD BLOCKING		DETAIL NUMBER
	CONCRETE		DRAWING NUMBER
	RIGID INSULATION		SECTION DESIGNATION
	EARTH		DRAWING NUMBER
			INTERIOR ELEVATION NUMBER

SYMBOLS LEGEND

DATE ISSUED	REVISED	FOR OWNER'S REVIEW	
	APRIL 20, 2000	FOR PERMIT	
		FOR BID	
		FOR CONSTRUCTION	

C



GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

Smoke detectors shall be installed in accordance with Section 316 of the 1995 One and Two Family Dwelling Code as amended. SEE ATTACHED SHEET

3 CEILING PLAN
1/4" = 1'-0"

Electrical wiring must conform to the 1996 National Electric Code and County Requirements.

TYPICAL EXT. WALL
VINYL SIDING
TYVEK HOUSE WRAP
1/2" SHEATHING OVER 2x4 WD. STUDS 16" O.C.
R-13 FACED FIBERGLASS BATT INSULATION
1/2" DRYWALL

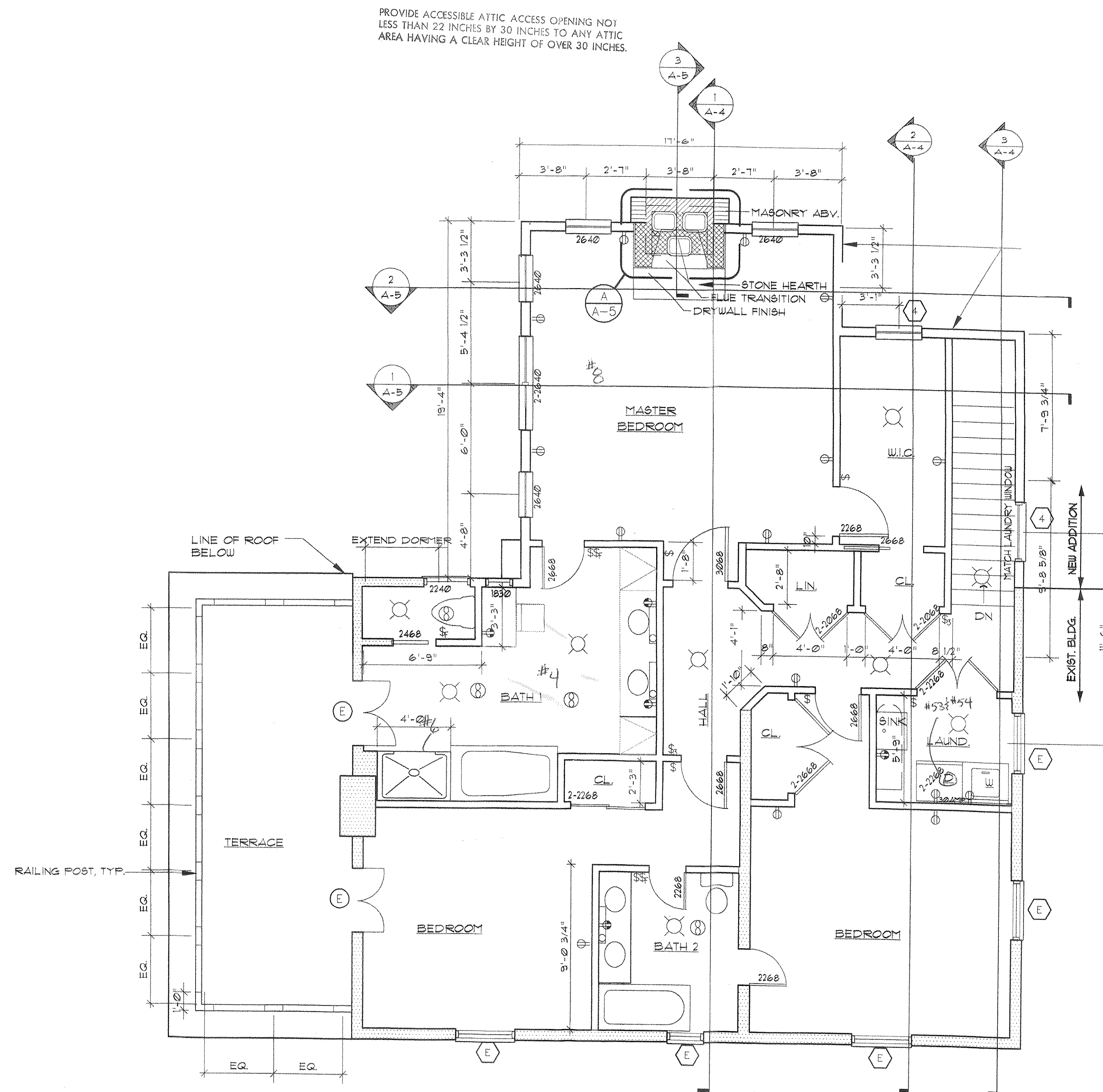
TYPICAL EXT. WALL
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1/2" SHEATHING OVER 2x4 WD. STUDS 16" O.C.
R-13 FACED FIBERGLASS BATT INSULATION
1/2" DRYWALL

ELECTRICAL LEGEND

- RECESSED CAN LIGHT
- SPOT LIGHT
- ⊞ WALL SWITCH
- ⊞ 3-WAY SWITCH
- ⊞ WALL SWITCH W/DIMMER
- ⊞ FAN SWITCH
- I WALL MOUNTED LIGHT (EXTERIOR LIGHTS TO BE SELECTED BY OWNER)
- ⊞ CEILING LIGHT
- ⊞ DUPLEX OUTLET (COORDINATE W/ MILLWORK)
- ⊞ DUPLEX OUTLET W/GROUND FAULT INTERRUPT
- ⊞ EXHAUST FAN
- ⊞ JUNCTION BOX
- VANITY LIGHT

ELECTRICAL NOTE:

1. COORDINATE ELECTRICAL EQUIPMENT WITH OWNER'S REQUIREMENTS PRIOR TO CONSTRUCTION.

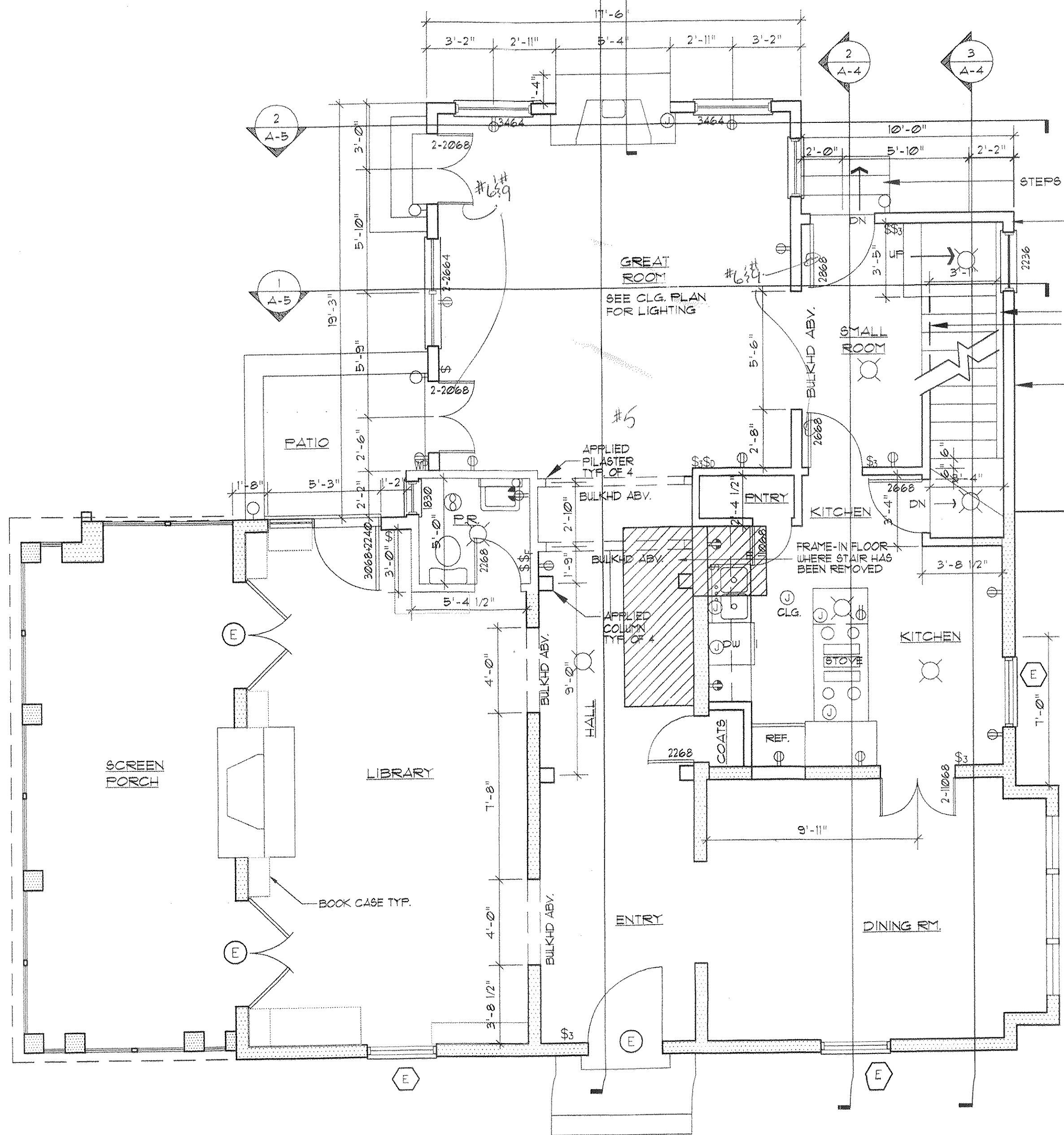


1 SECOND FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

- WALL TO BE REMOVED
- EXIST. WALLS
- NEW WALL OR PARTITION 2x4 WOOD STUDS 16" O.C.

PROVIDE ACCESSIBLE ATTIC ACCESS OPENING NOT LESS THAN 22 INCHES BY 30 INCHES TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES.

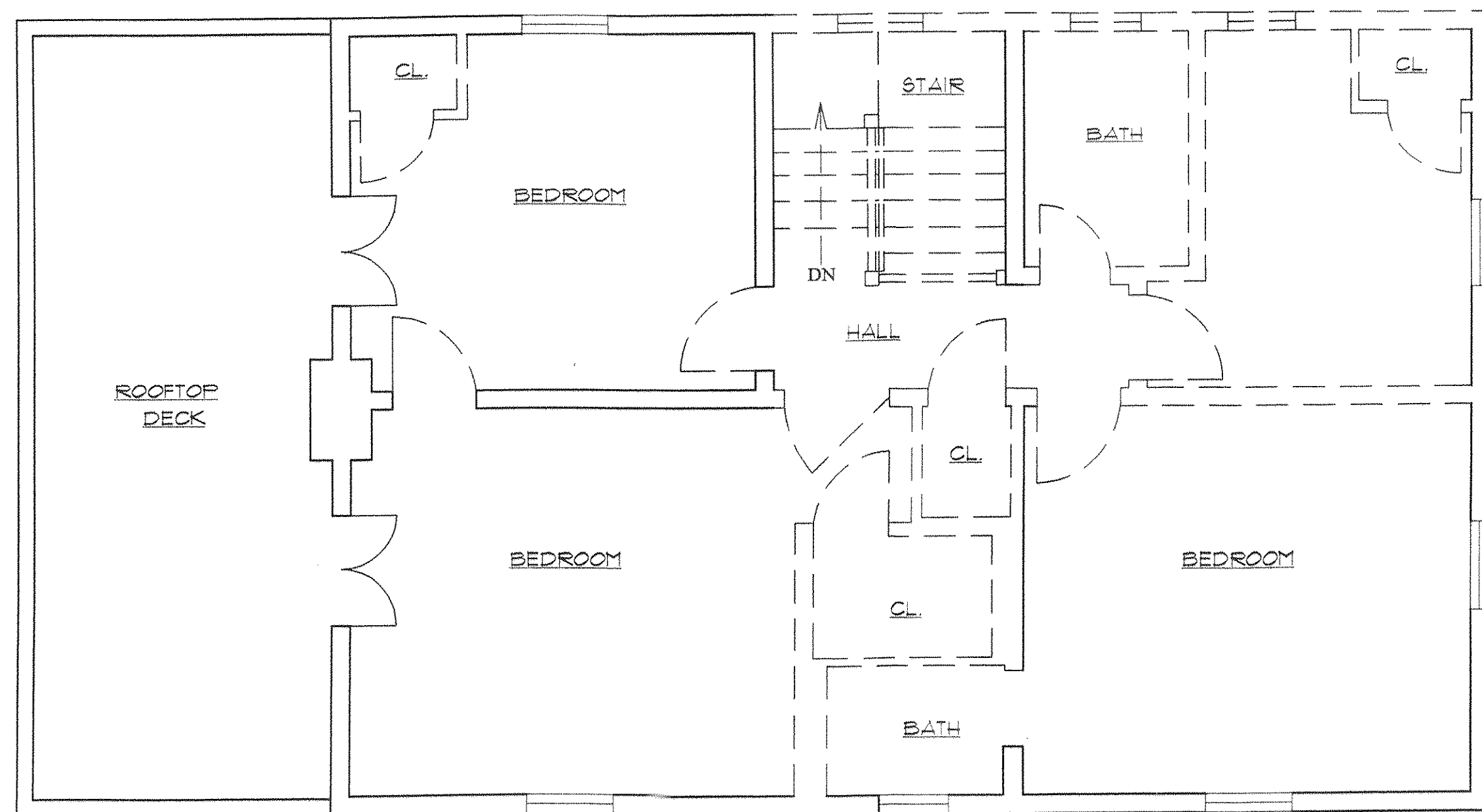


2 FIRST FLOOR PLAN
1/4" = 1'-0"

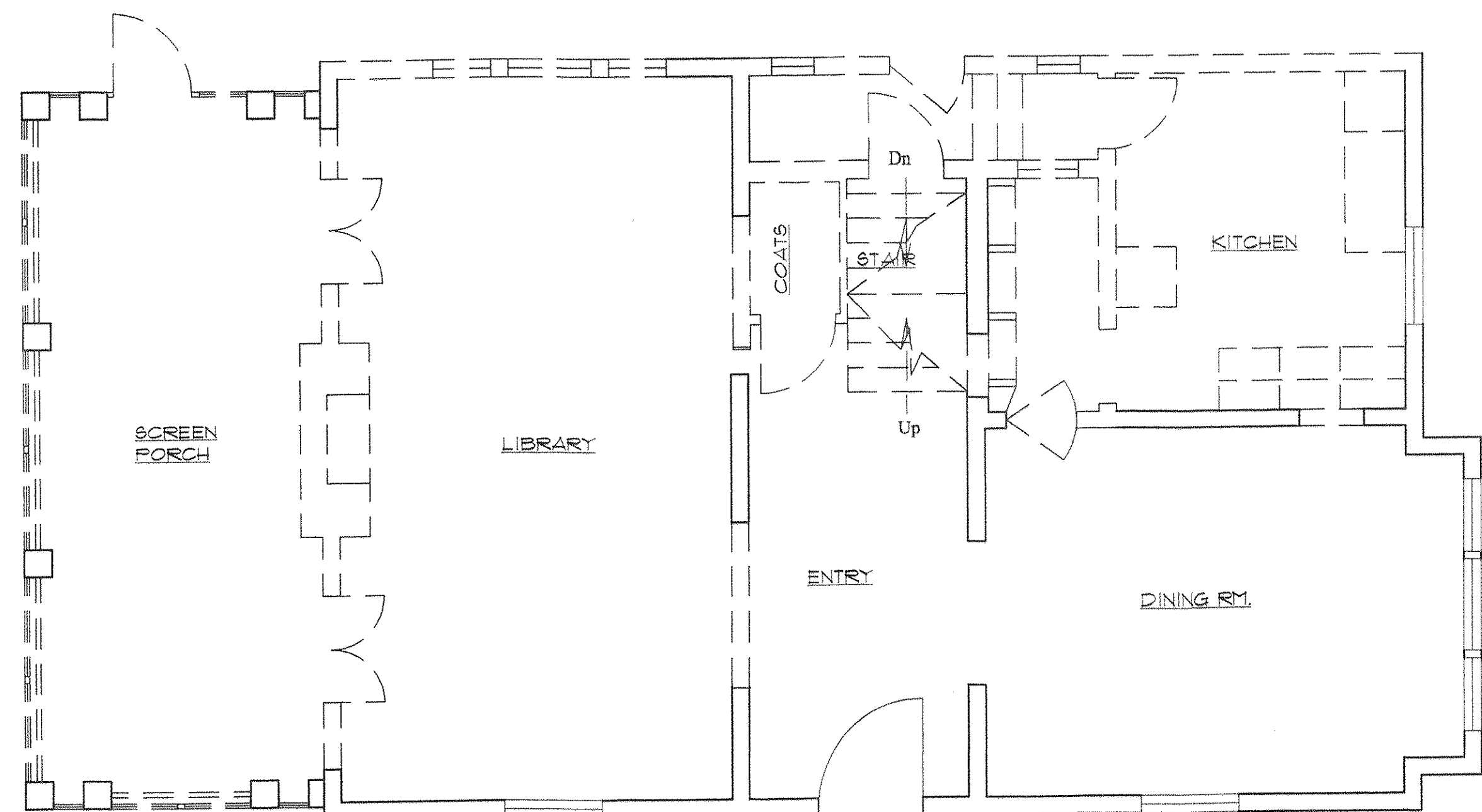
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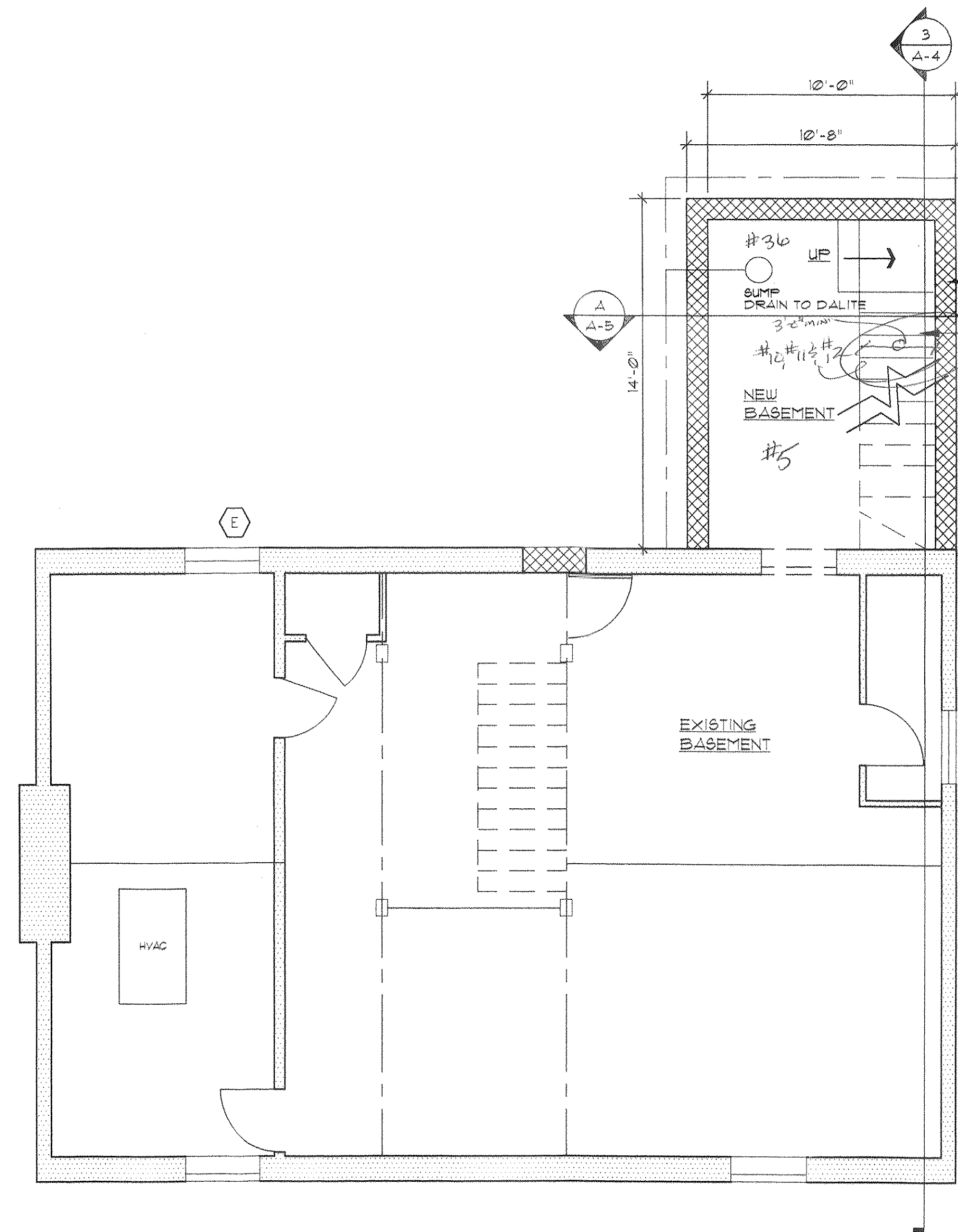
THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES	Scale AS NOTED Date APR. 20, 2000	Seal
ARCHITECTS AND PLANNING CONSULTANTS 1520 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850		
Drawing Title FLOOR PLANS	Drawing No. A-1	Sheet _____ of _____



2 2ND FLOOR DEMOLITION PLAN
A2 1/4" = 1'-0"



2 1ST FLOOR DEMOLITION PLAN
A2 1/4" = 1'-0"



2 BASEMENT PLAN
A2 1/4" = 1'-0"

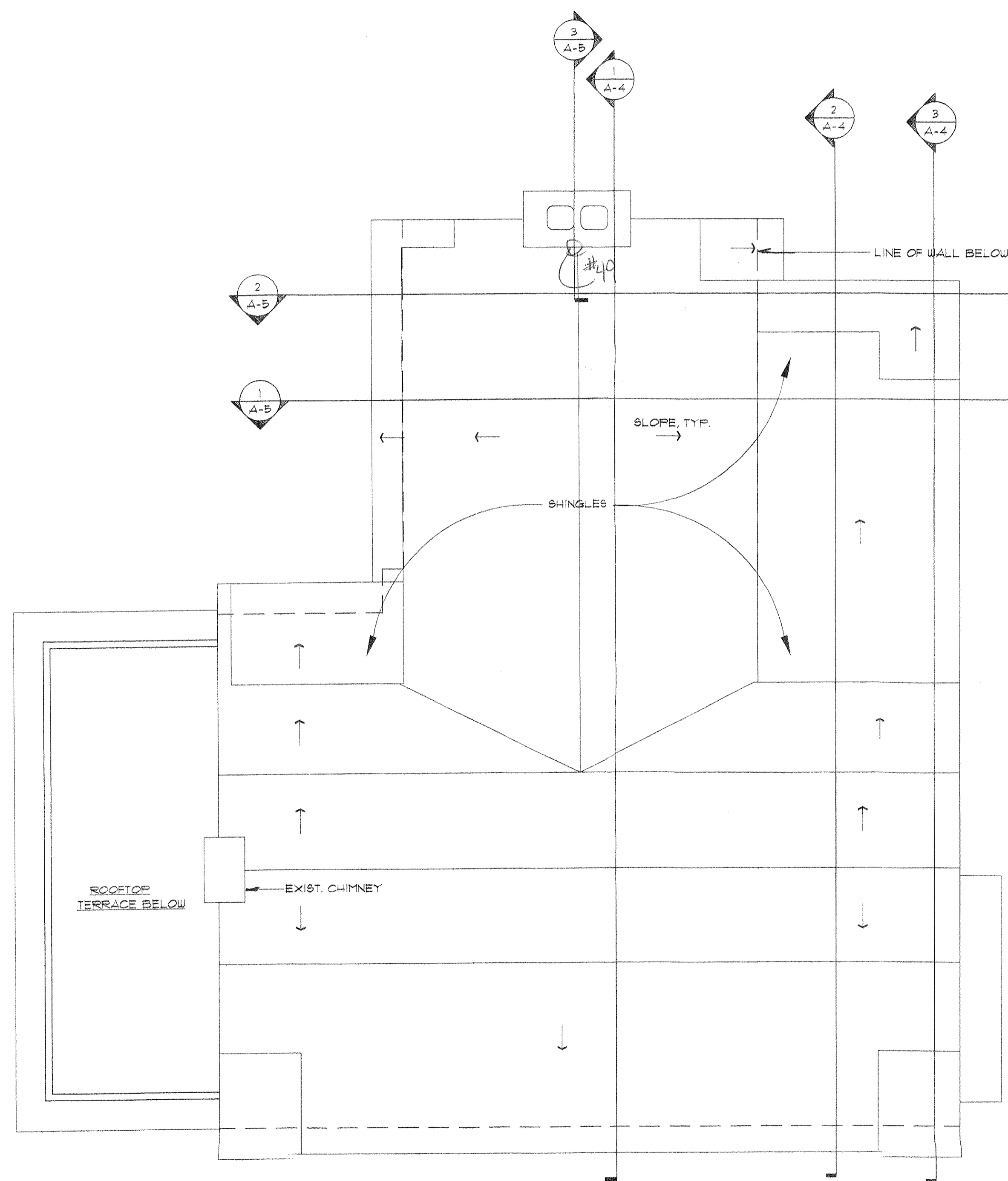
GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

Electrical wiring must conform to the 1996 National Electric Code and County Requirements.

- WALL LEGEND
- WALL TO BE REMOVED
 - EXIST. WALLS
 - NEW WALL OR PARTITION 2x4 WOOD STUDS 16" O.C.

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THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
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Drawing Title DEMOLITION PLANS BASEMENT PLAN	Drawing No. A-2 Sheet _____ of _____	



1 ROOF PLAN
 A-3 1/4" = 1'-0"

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND FIELD SITUATIONS AND INFORM THE ARCHITECT ABOUT ANY DISCREPANCY OR VARIANCE WITH THE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION, ORDERING OF MATERIAL OR FABRICATING COMPONENTS.

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE LOCAL, COUNTY AND NATIONAL CODES AND ORDINANCES.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING GENERAL BUILDING PERMIT, AND ARRANGE WITH THE GOVERNING AUTHORITIES FOR REQUIRED INSPECTIONS AND APPROVALS.

SPECIFICATIONS

WOOD FRAMING - SEE STRUCTURAL NOTES FOR LUMBER VALUES. PROVIDE CROSSBRIDGING FOR JOISTS AT 8'-0" INTERVALS. WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS LOCATIONS ARE APPROVED IN ADVANCE BY THE ARCHITECT. LUMBER ENTERING MASONRY OR CONCRETE WALLS SHALL BE PRESSURE TREATED AGAINST DECAY. LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

TERMITE SHIELD - PROVIDE CONTINUOUS TERMITE SHIELD AT ALL EXTERIOR WOOD FRAME WALLS.

PARGING - PROVIDE CEMENTITIOUS PARGING TO 6" ABOVE FINISH GRADE. PROVIDE DAMPROOFING TO 2" ABOVE THE GRADE.

RADON - PROVIDE VENT PIPE OR ADEQUATE VENTILATION AS REQUIRED BY CODE.

ROOF - ROOF COVERING SHALL MATCH EXISTING. THE ROOF PITCHES SHALL BE AS INDICATED ON THE DRAWINGS AND SHALL BE VERIFIED AGAINST EXISTING IN THE FIELD. THE ROOF SHALL BE INSTALLED WATERTIGHT AND COMPLETE INCLUDING BUILDING PAPER, ICE DAM, CRICKETS, RIDGE VENT, GUTTERS AND DOWNSPOUTS, WALL AND VALLEY FLASHING, AND CONTINUOUS VENTED SOFFITS, WHETHER SPECIFICALLY SHOWN OR NOT ON THE DRAWINGS. THE ROOF OVERHANGS SHALL BE ALIGNED AND MATCH IN ALL ASPECTS THE OVERHANGS ON THE EXISTING BUILDING.

WINDOWS - SHALL BE ACCORDING TO SIZES INDICATED ON THE DRAWINGS. WINDOWS SHALL BE CLAD WHITE, WITH LOW-E INSULATED GLASS. WINDOWS SHALL COMPLY WITH EGRESS REQUIREMENTS FOR SLEEPING ROOMS. THE CONTRACTOR SHALL VERIFY THAT WINDOW SIZES ARE IN ACCORDANCE WITH CURRENT REQUIREMENTS AND INSTALL CASEMENT WINDOWS IF NECESSARY IN LIEU OF DBL. HUNG WINDOWS.

DOORS - NEW INTERIOR DOORS SHALL MATCH EXISTING DOORS ELSEWHERE IN THE HOUSE.

MECHANICAL AND ELECTRICAL EQUIPMENT - RELOCATE EXISTING CONDENSING UNITS AND ELECTRICAL SWITCHES TO A NEW LOCATION AS DIRECTED BY THE OWNER. EVALUATE EXISTING MECHANICAL EQUIPMENT FOR SIZE AND RECOMMEND TO THE OWNER NEW EQUIPMENT TO SERVE THE ADDITION. ADVISE THE ARCHITECT BEFORE PROCEEDING WITH INSTALLATION ON ANY CIRCUMSTANCE THAT MAY CONFLICT WITH THE EXISTING DESIGN.

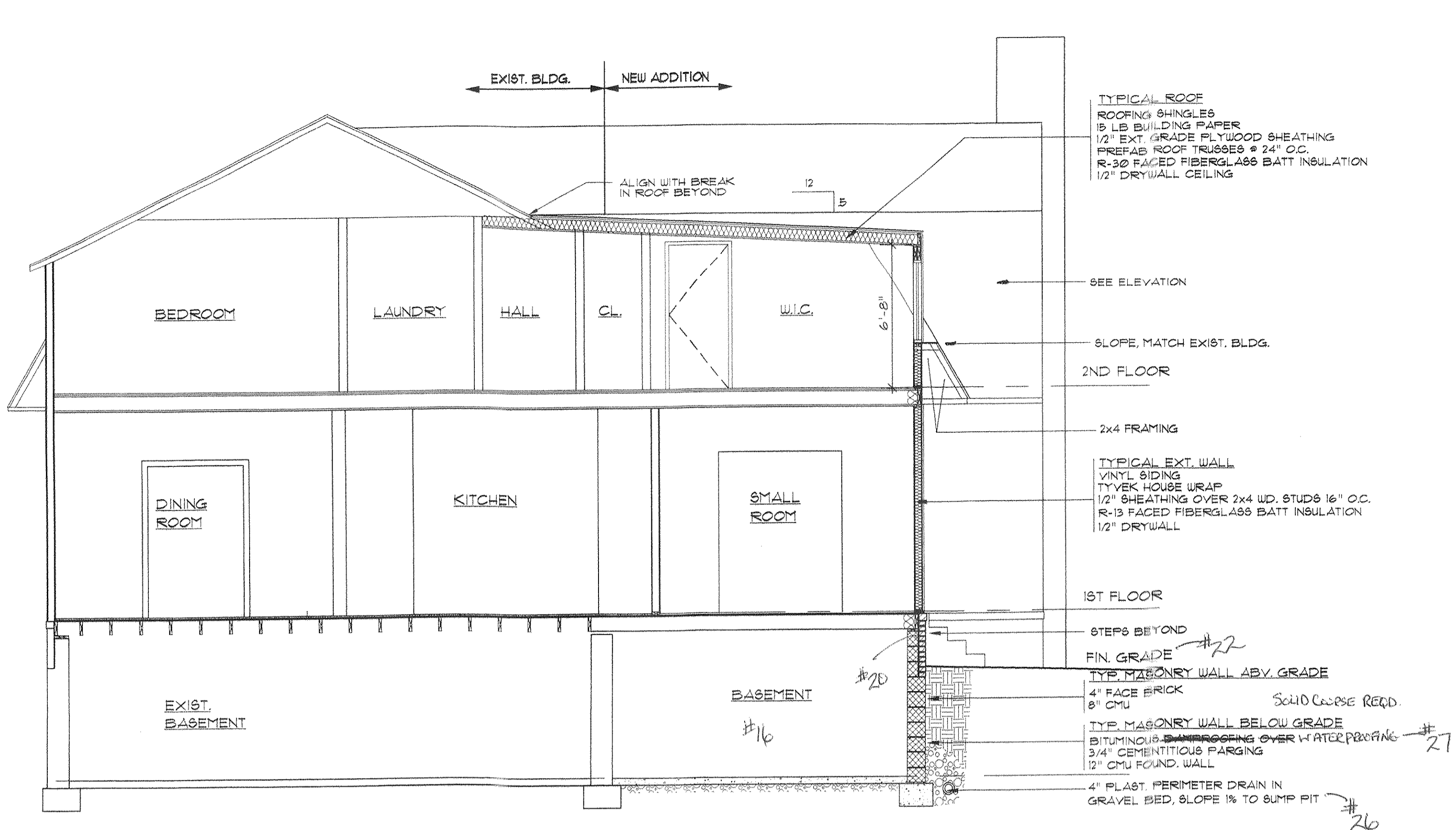
ELECTRICAL - BEFORE PROCEEDING WITH THE DEMOLITION IN THE EXISTING WALLS VERIFY THE PRESENCE OF ANY WIRING. DISCONNECT BEFORE DEMOLITION AND RELOCATE AS DIRECTED BY THE OWNER WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS THE NUMBER OF OUTLETS SHALL COMPLY WITH THE APPLICABLE ELECTRICAL CODE.

ROOF VENTILATION - MEET OR EXCEED ALL CODE VENTILATION REQUIREMENTS WHETHER SPECIFICALLY INDICATED OR NOT.

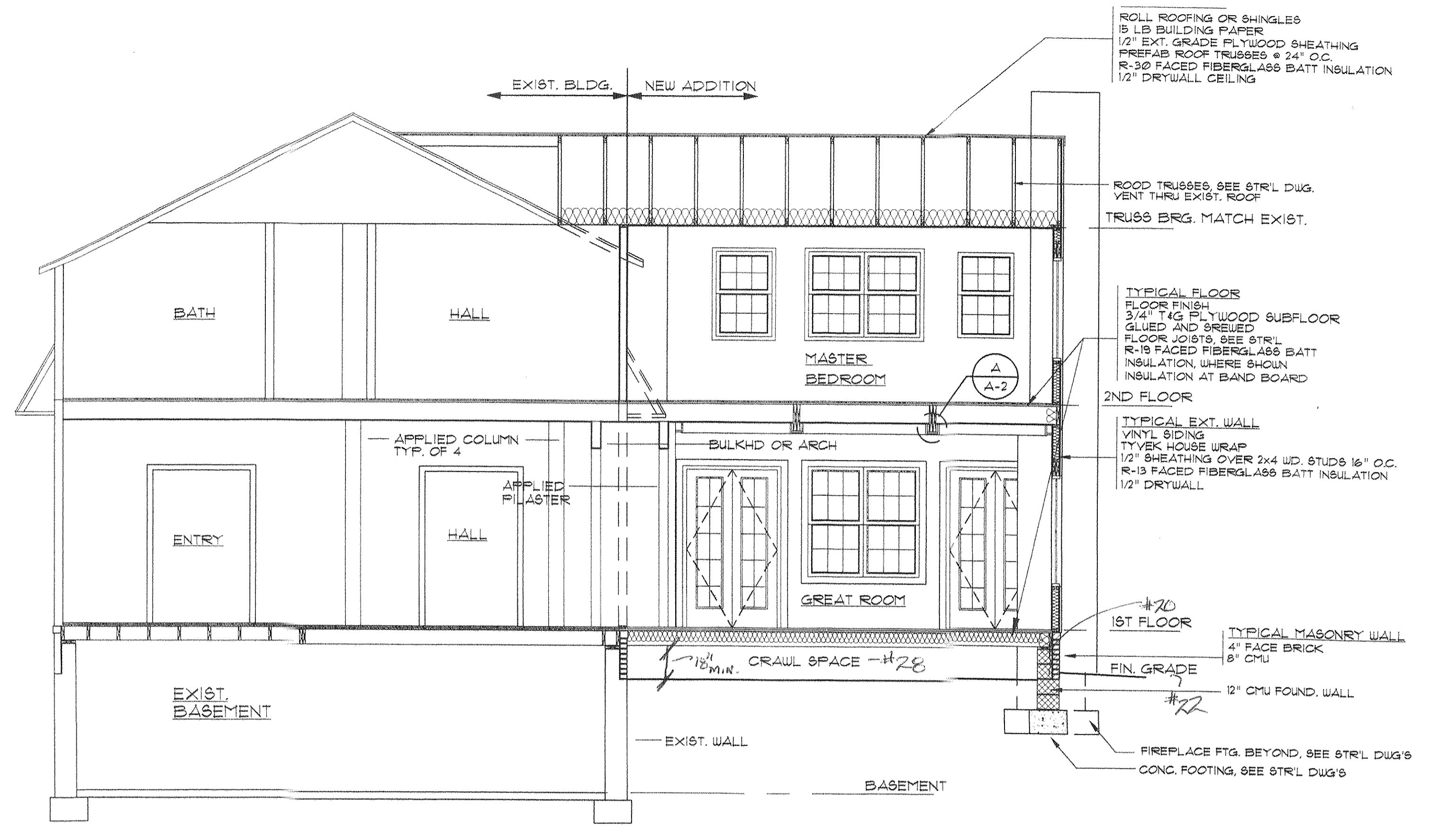
GENERAL STRUCTURAL
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Drawing by BRUCE A. RICH ASSOCIATES ARCHITECTS AND PLANNING CONSULTANTS 1500 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Scale AS NOTED Date APR. 20, 2000	Seal
Drawing Title ROOF PLAN	Drawing No. A-3	Sheet _____ of _____

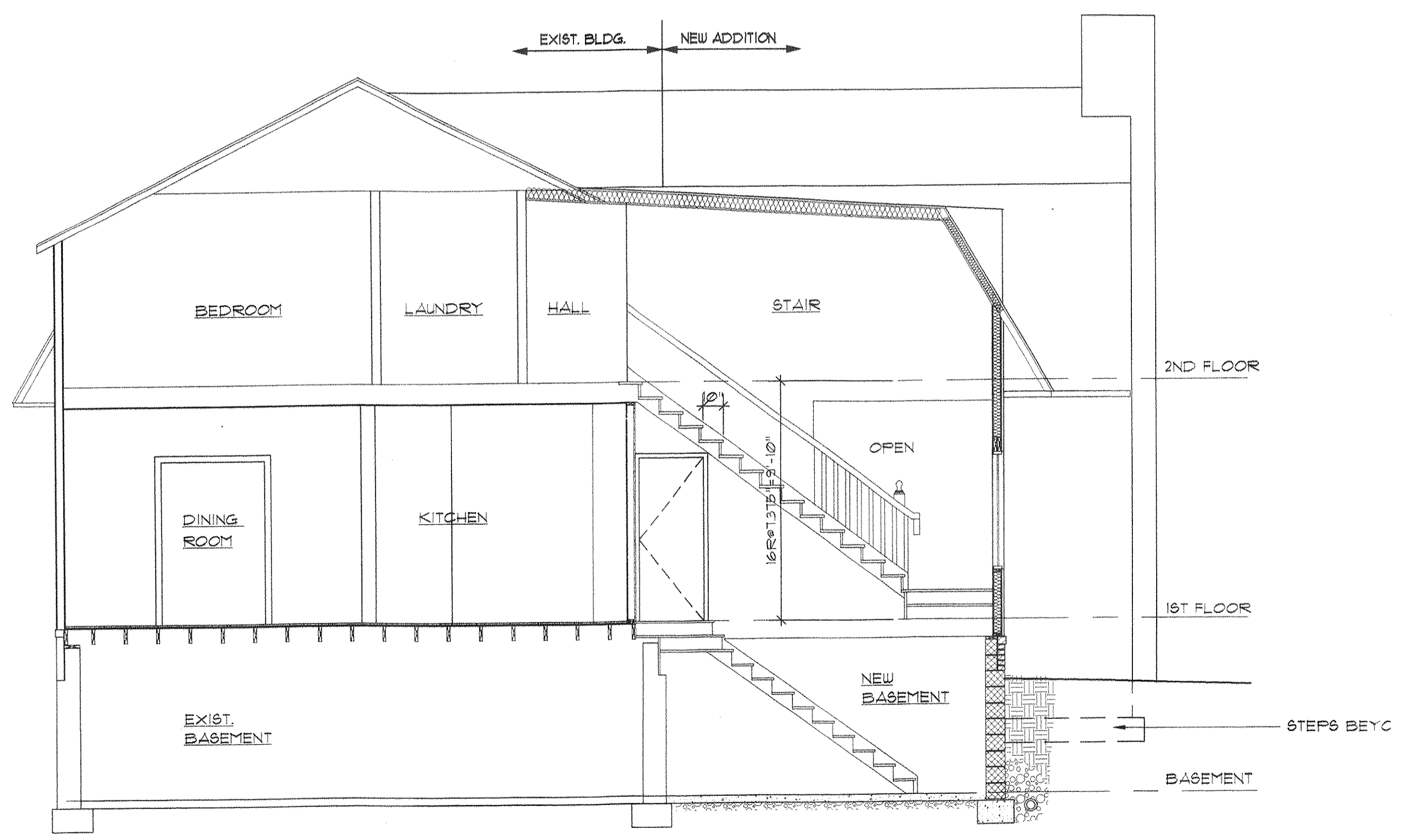


2 SECTION
 A-4 1/4" = 1'-0"

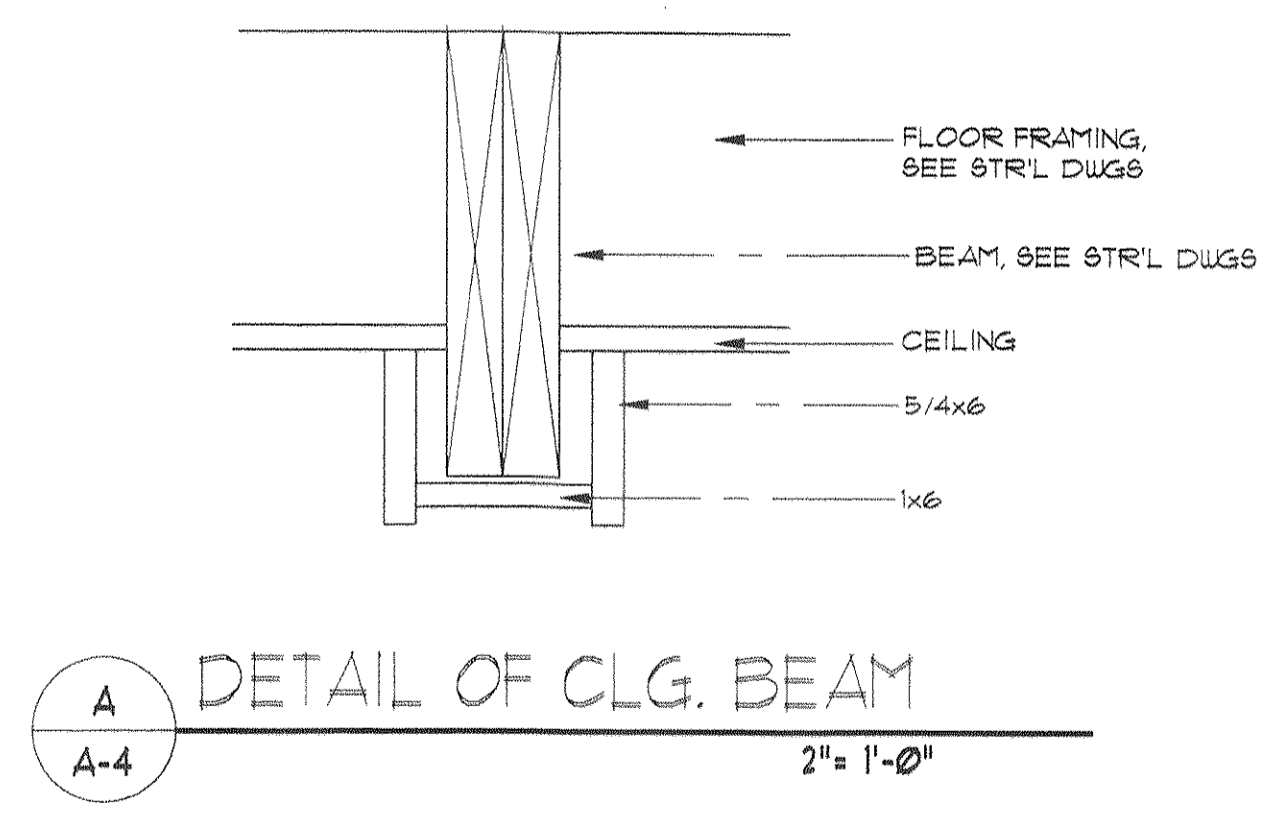


1 SECTION
 A-4 1/4" = 1'-0"

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

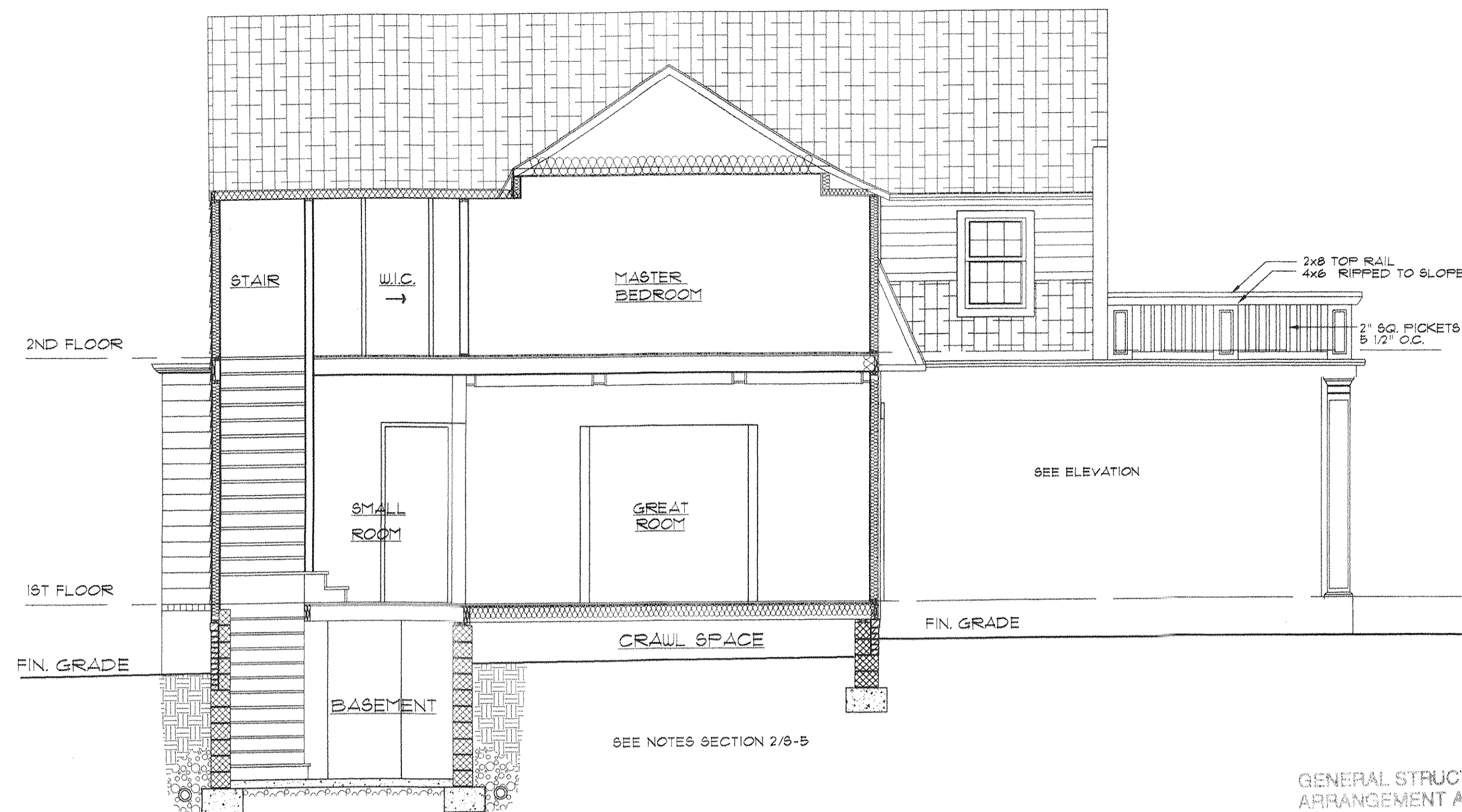


3 SECTION
 A-4 1/4" = 1'-0"



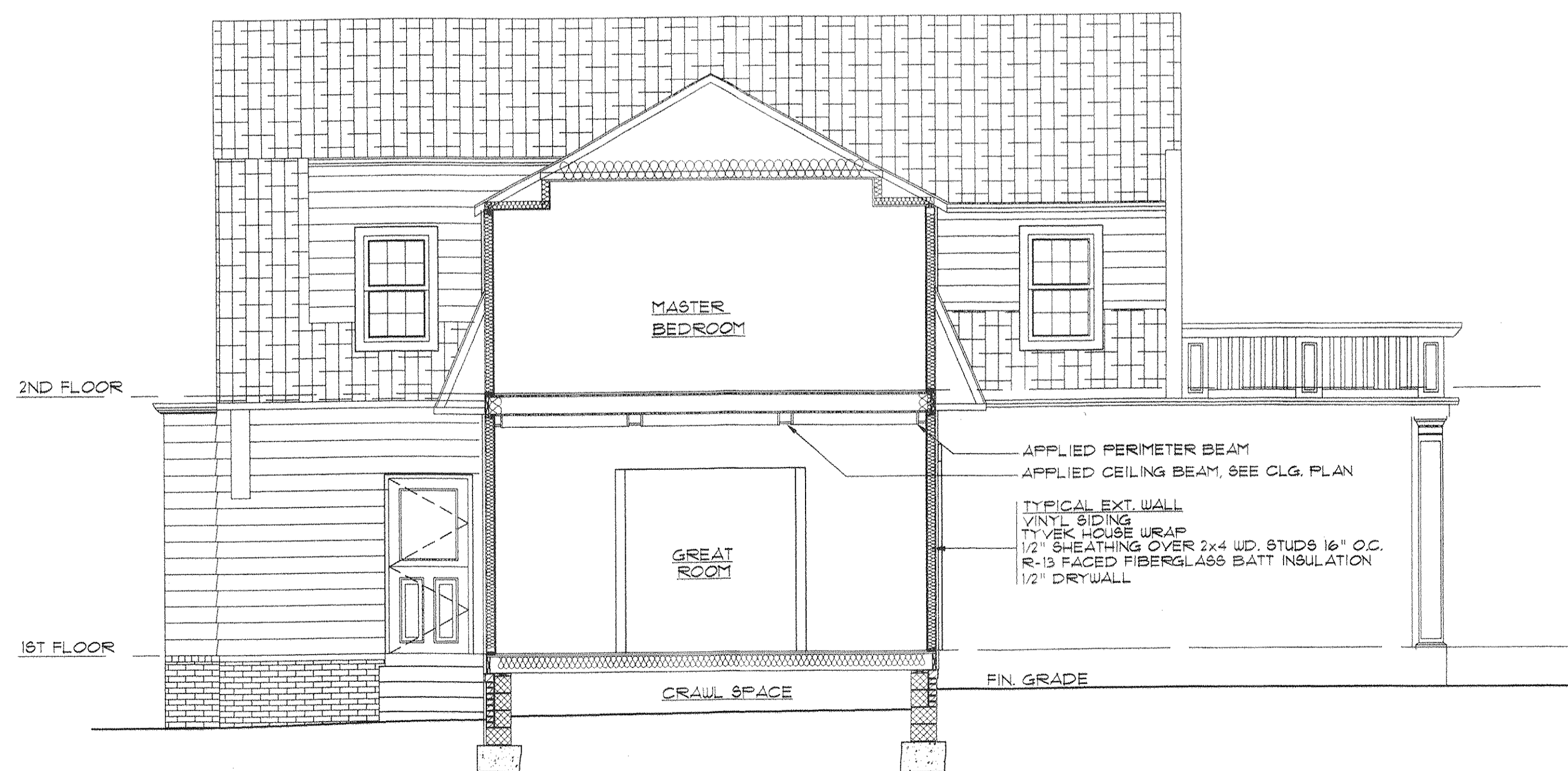
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THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES ARCHITECTS AND PLANNING CONSULTANTS 15200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Scale AS NOTED Date APR. 20, 2000	Seal
Drawing Title SECTIONS	Drawing No. A-4	Sheet of

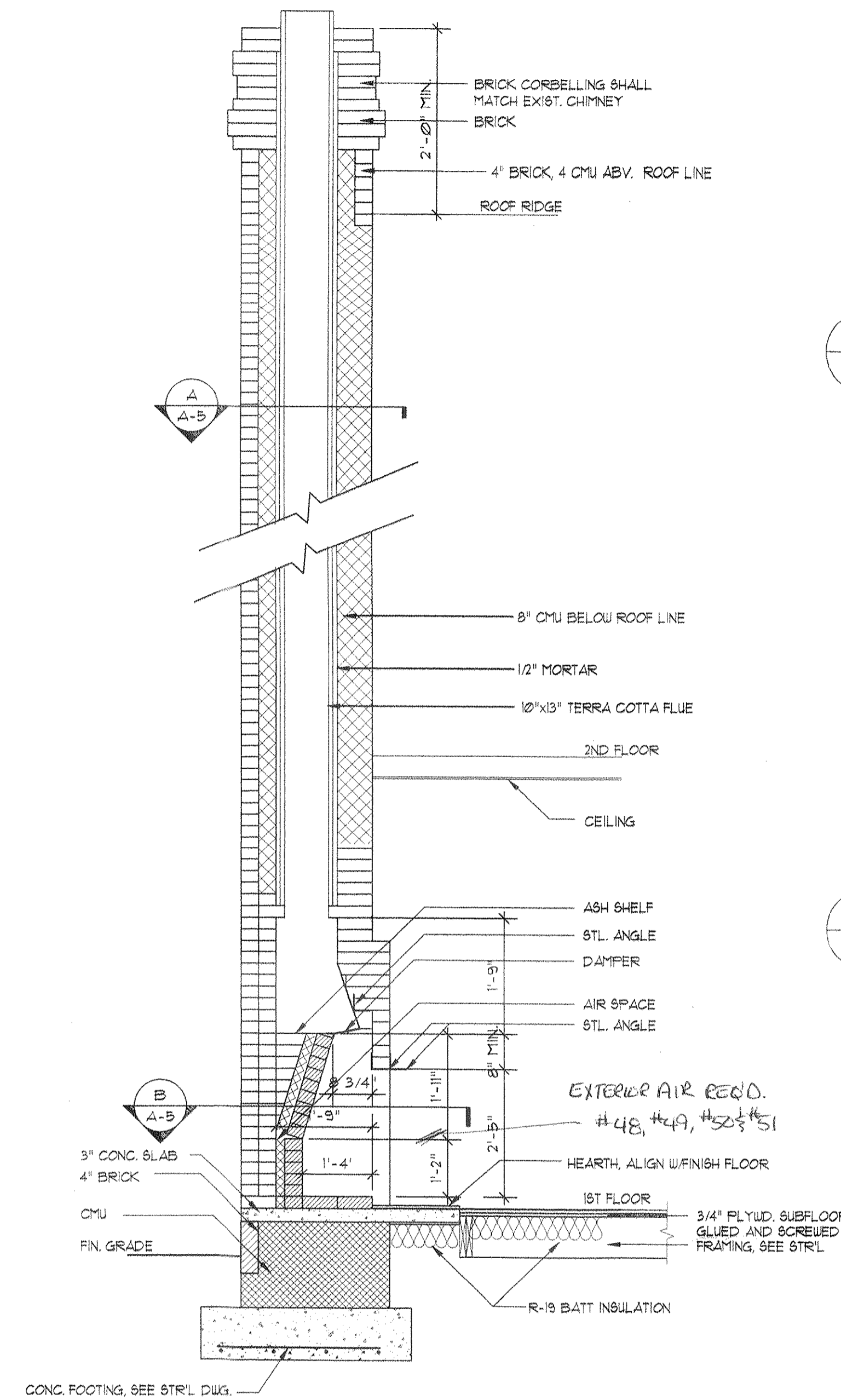


1 SECTION
A-5 1/4" = 1'-0"

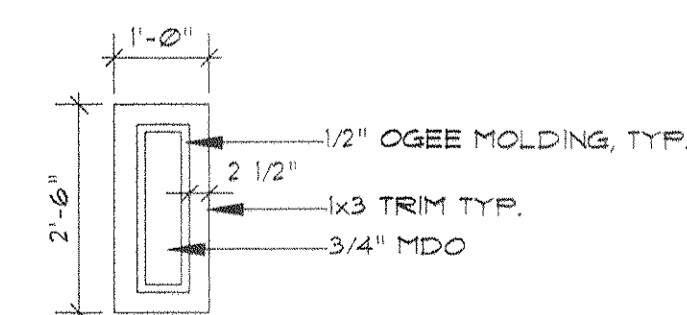
GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION



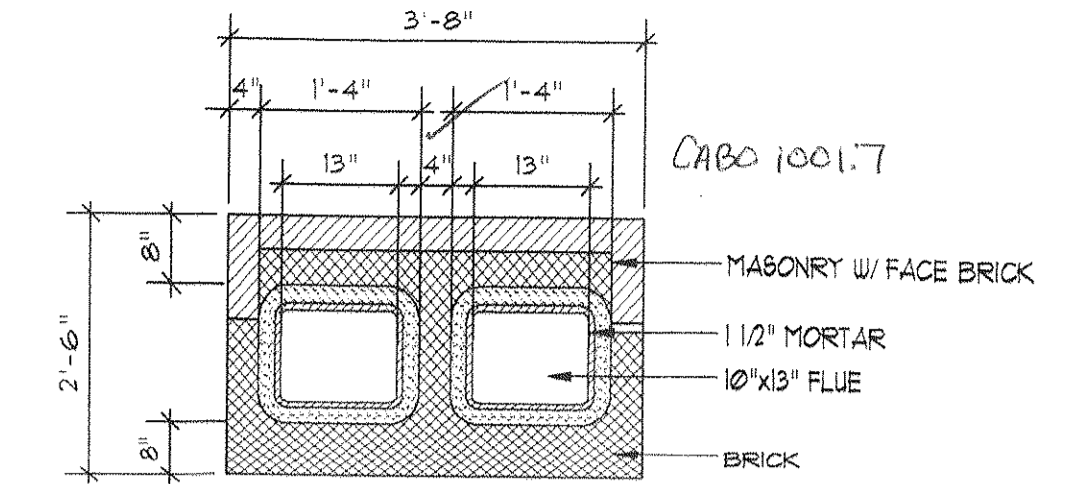
2 SECTION
A-5 1/4" = 1'-0"



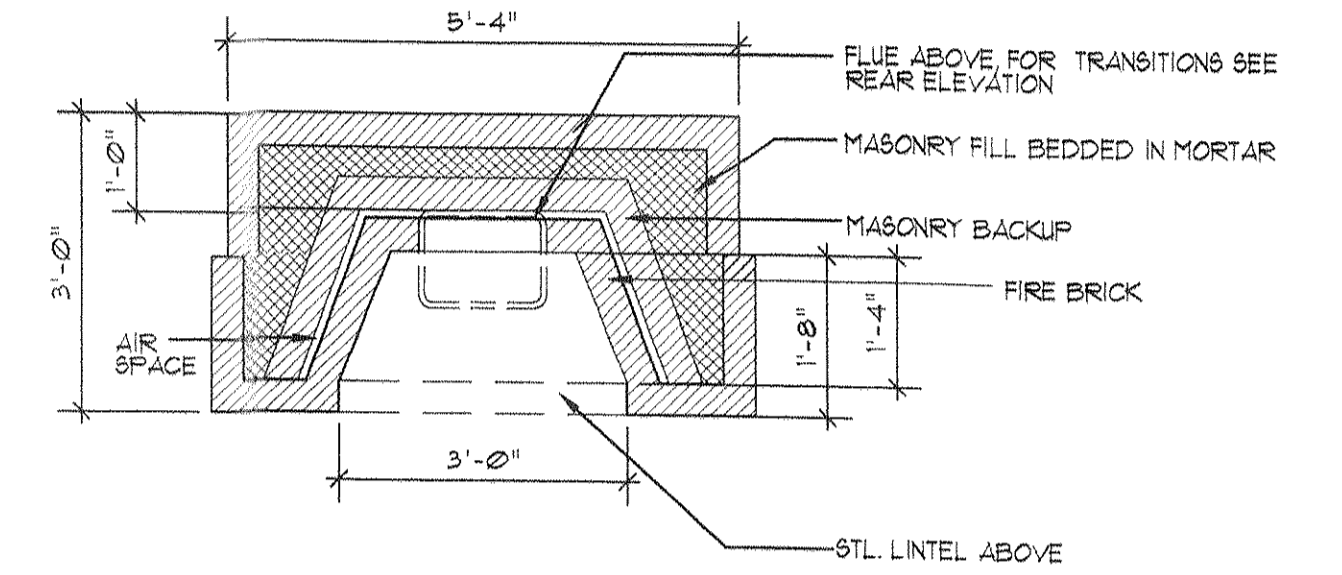
3 SECTION
A-5 1/2" = 1'-0"



C TYP. NEW RAILING POST
A-5 1/2" = 1'-0"



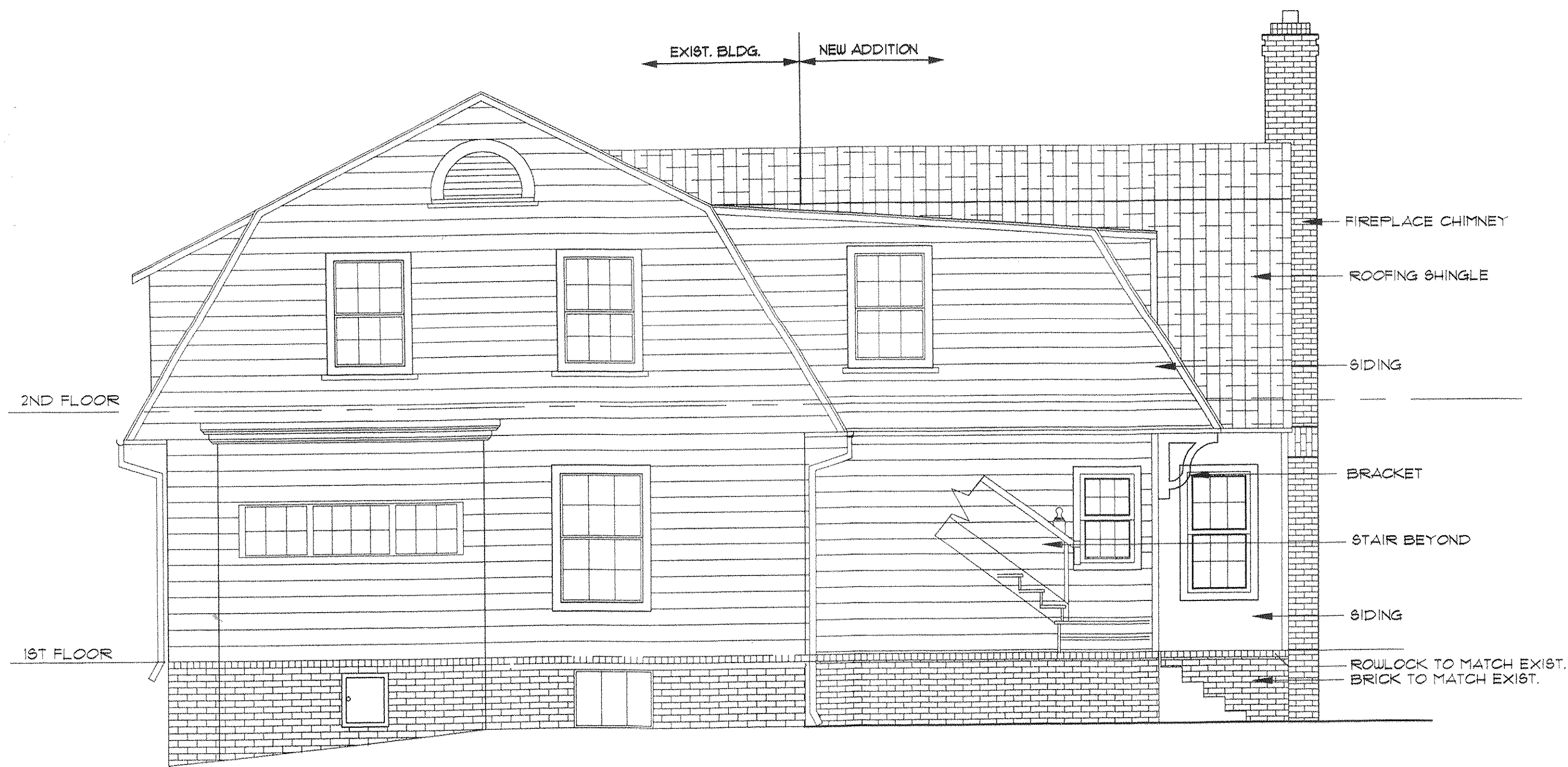
A PLAN/SECTION THRU STACK
A-5 1/2" = 1'-0"



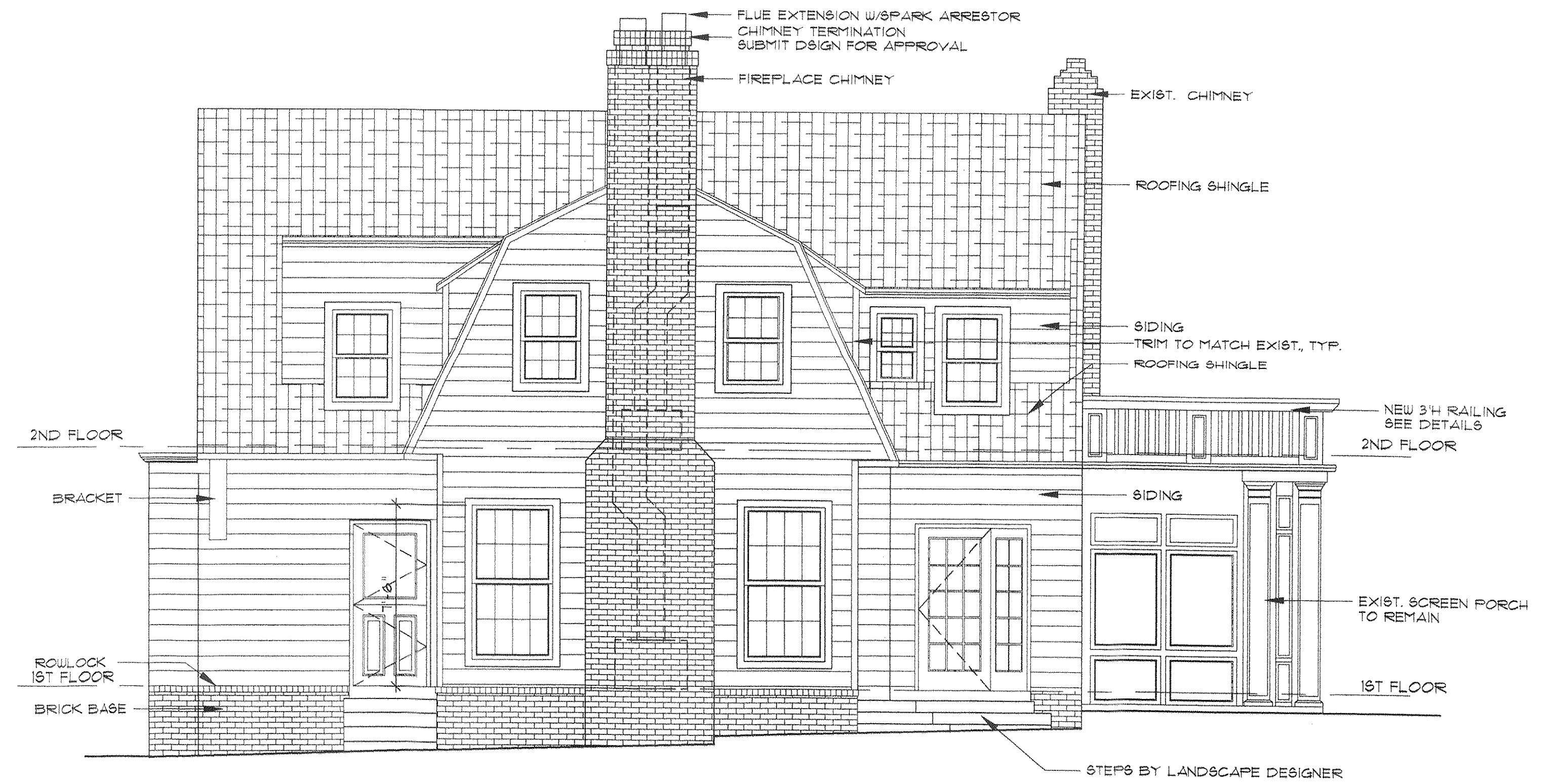
B FIREBOX AT 1ST FLOOR
A-5 1/2" = 1'-0"

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6/16/00

THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
Drawing by BRUCE A. RICH ASSOCIATES	Scale AS NOTED	Seal
ARCHITECTS AND PLANNING CONSULTANTS 15200 SHADY GROVE ROAD SUITE 350 ROCKVILLE, MD 20850	Date APR. 20, 2000	
Drawing Title SECTIONS	Drawing No. A-5	Sheet ___ of ___



2 RIGHT SIDE ELEVATION
A-6 1/4" = 1'-0"



1 REAR ELEVATION
A-6 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
A-6 1/4" = 1'-0"

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION



3 FRONT ELEVATION
A-6 1/4" = 1'-0"

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THE O'BRIEN RESIDENCE 22 HESKETH STREET, CHEVY CHASE, MARYLAND		
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Drawing Title ELEVATIONS	Drawing No. A-6	Sheet _____ of _____