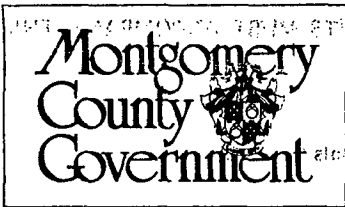


23/33 Bleakwood .
OM 31-87



Historic Preservation Commission
 100 Maryland Avenue, Rockville, Maryland 20850
 279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 00002475 (301) 924-3904 (h)
 NAME OF PROPERTY OWNER H. Johnson/S. Kromholz TELEPHONE NO. (301) 454-7451 (w)
 (Contract/Purchaser) (Include Area Code)
 ADDRESS 3730 Damascus Road, Brookeville, Maryland 20833
 CITY STATE ZIP
 CONTRACTOR not yet determined TELEPHONE NO. _____
 CONTRACTOR REGISTRATION NUMBER _____
 PLANS PREPARED BY Scott Detienne TELEPHONE NO. (202) 462-5010
 (Include Area Code)
 REGISTRATION NUMBER 5937

LOCATION OF BUILDING/PREMISE
 House Number 3730 Street Damascus Road
 Town/City Brookeville Election District Laytonsville
 Nearest Cross Street Howard Chapel Road
 Lot Block Subdivision _____
 Liber 915 Folio 236 Parcel P399

1A. TYPE OF PERMIT ACTION: (circle one) (see attachment)
 Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition
 Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other see attachment
 1B. CONSTRUCTION COSTS ESTIMATE \$30,000-\$40,000
 1C. IF THIS IS A REVISDN OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Baltimore Gas & Electric
 1E. IS THIS PROPERTY A HISTORICAL SITE? #23/33-Bleakwood on McMaster Plan for Hist. Pres.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
 2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 (X) Septic 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 (X) Well
 03 () Other _____ 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
 4A. HEIGHT _____ feet _____ inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date 7/17/97
 Signature of owner or authorized agent (agent must have signature notarized on back)

APPROVED X For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] Date 7/17/97

APPLICATION/PERMIT NO: OM 31-87 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

* The HPC recommends that patterned tin shingle be used on the roof if it can be obtained.



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 00002475 (301) 926-2904 (A)

NAME OF PROPERTY OWNER H. Johnson/S. Kronholz TELEPHONE NO. (301) 292-7197 (A)
(Contract/Purchaser) (Include Area Code)

ADDRESS 3730 Damascus Road, Brookeville, Maryland 20822
CITY STATE ZIP

CONTRACTOR not yet determined TELEPHONE NO. _____

PLANS PREPARED BY Scott Detienne TELEPHONE NO. (202) 462-5018
(Include Area Code)

REGISTRATION NUMBER 5937

LOCATION OF BUILDING/PREMISE

House Number 3730 Street Damascus Road

Town/City Brookeville Election District Daytonville

Nearest Cross Street Komar Chapel Road

Lot _____ Block _____ Subdivision _____

Liber 915 Folio 236 Parcel 2399

- 1A. TYPE OF PERMIT ACTION: (circle one) (see attachment)
- | | | | | | | |
|------------|------------|----------------|-----------|---------------------------------|-------------------|---------------|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition |
| Wreck/Raze | Move | Install | Revocable | Porch | Deck | Fireplace |
| | | | Revision | Fence/Wall (complete Section 4) | Shed | Solar |
| | | | | Other | Woodburning Stove | |
- 1B. CONSTRUCTION COSTS ESTIMATE \$30,000-\$40,000
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Dalton Energy Related
- 1E. IS THIS PROPERTY A HISTORICAL SITE? #23/33-Bleakwood on McMaster Plan for Historic

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | |
|--------------------|---------------|
| 01 () WSSC | 02 (X) Septic |
| 03 () Other _____ | |
- 2B. TYPE OF WATER SUPPLY
- | | |
|--------------------|-------------|
| 01 () WSSC | 02 () Well |
| 03 () Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

The CPC recommends that patterned tin shingle be used on the roof if it can be obtained.

PROPOSED WORK TO BE DONE AT BLEAKWOOD

Because the proposed work to be done at Bleakwood is extensive and includes repairs, renovation, and building an addition, we have written as complete a description as possible of what we hope to achieve. The following sections each treat one aspect of the work we propose.

1. Repairs to the Roof

Bleakwood has a tin roof. The tin itself is in fairly good condition, with only minor pin-holes allowing water to enter the attic. Our original plan was to have the roof painted with a rust-retardant sealer and then with a finish coat. However, one expert who examined the roof suggested that some of the rafters are damaged enough by dry rot to require replacement. If this is true, we will be forced to replace the roof.

The current roof on the main part of the house is milled in a pattern resembling shingles (see photo No. 1), and pictures taken in the 1890's show that the roof was originally shingled. However, if we are forced to replace the roof, we would prefer to do so with tin, because tin roofs are a hallmark of Victorian houses in the County.

We have been unable to locate a firm that can supply an exact replacement for our current roof. Therefore, we wish permission to replace the roof, if necessary, with a standing-ridge tin roof.

2. Clapboard, wooden exterior trim

The house is currently covered with aluminium siding applied in the 1950's (see photos No. 2 and 3). We wish permission to remove the siding, to restore the clapboard underneath and the exterior trim to good condition, and to paint the house. We will, of course, retain the shutters.

3. Gutters and downspouts

Bleakwood currently has only one run of tattered guttering. It is along the side porch (see photo No. 4). The lack of gutters has caused some settling of the foundations. We wish permission to add gutters and downspouts to all sides of the house as necessary to preserve it from further damage.

4. Front porch steps

Photographs of the house show that it once had wooden front steps with a milled pattern on the risers. (It has been impossible to obtain a clear picture of these steps without removing the photos from their frames, which we would prefer not to do. We will, of course, be delighted to produce the photos at any time.)

We wish permission to replace the concrete steps with a replica of the original wooden steps.

* * * * *

For the following items, please refer to the attached blueprints. Mr. DeTienne has asked that I stipulate that these are not for construction purposes, but are design documents only.

* * * * *

5. Side porch, back porch

Bleakwood originally had an eight-foot-wide porch that ran along the east wall and wrapped around the back. According to his granddaughter, from whom we bought the house, Dr. John D. Dwyer needed a place with good light where he could work on false teeth. Accordingly, shortly after the house was built he enclosed part of the side porch and the back porch. The enclosed area became the kitchen. It is distinguished by two huge twelve-over-twelve windows on the east wall (see photo No. 5).

A new back porch was built (see photo No. 6). Later, it was screened, as was the side porch. The back porch retains its original construction, but the side porch has been greatly modified. This is, in fact, the area of the house that has been changed the most. The most recent modifications came in the 1960's when a half-bath was added to the first floor by partitioning a section of the side porch. This addition destroyed a window and cut off most of the ventilation and light of the room inside.

We wish to make the following changes:

a. Side porch

We wish to enclose the side porch and incorporate the area into the existing family room. Our proposed design visually unifies the east wall of the house by employing windows matching those in the kitchen, and follows a pattern set by the original owner.

On a practical level, we need to add light and air to this part of the house. The house is dark, surrounded by many trees. The family room has no cellar under it, has no subfloor, and is cold and damp year-round. By opening up the east (porch) wall, we hope to provide some passive solar heat in the winter, and to allow for cross-ventilation. We hope this will control the mildew.

b. Back porch (existing)

Currently our washing machine is in the small half-bath (we had to remove the sink to put it there) and our dryer is on the side porch. There is no where else in the house for these appliances, or for a larger bathroom. We wish to rebuild the current back porch, creating a full bath and a mud room/laundry area. The east wall of this new area will have a window matching those in the kitchen.

Constructing a new interior area behind the uninsulated kitchen will also improve it. We will, for example, be able to add new water lines, which are impossible now due to the danger of freezing.

c. Back porch (projected)

Because back porches are typical of farmhouses, and because we use the current porch heavily, we wish to add a new screened porch to the back of the house. This porch will follow as much as possible the design of the original porch.

d. The plans

We have worked to create an architectural plan which does not destroy the character or rhythm of the houses's original architecture. We have, for example, maintained the step-down roof line, and we have duplicated the false facade on the west side of the house (see photo No. 7; compare photos No. 3 and 5). The addition will be covered with clapboard, will use wooden trim exactly like that on the house now, etc. Our goal is a seamless addition providing comfort and harmony to the back of the building. Nothing we propose to add will be visible from the road.

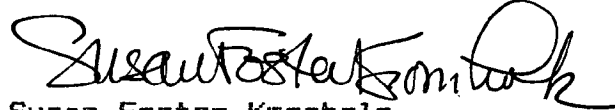
6. Tree

Bleakwood is surrounded by huge oak trees, one of which is about six inches from the side porch (see photos No. 8, 9 and 10). The tree seems healthy, and, while it has obviously caused foundation damage in the past, we have been told that its roots are no longer a danger. We have been

cautioned, however, about what will happen if one of the limbs falls on the house. And the tree has been weakened by almost complete defoliation by gypsy moth larva this summer.

We do not want to remove this tree, but fear that the construction we envision may be impossible as long as it is there. We wish permission, therefore, to remove this tree if it becomes necessary in the course of construction, or if its condition becomes bad enough to pose a threat to the house.

We are excited by the prospect of beginning work on Bleakwood. We will be pleased to discuss any of the above requests with the committee. Any advice which you might have would also be most welcome.

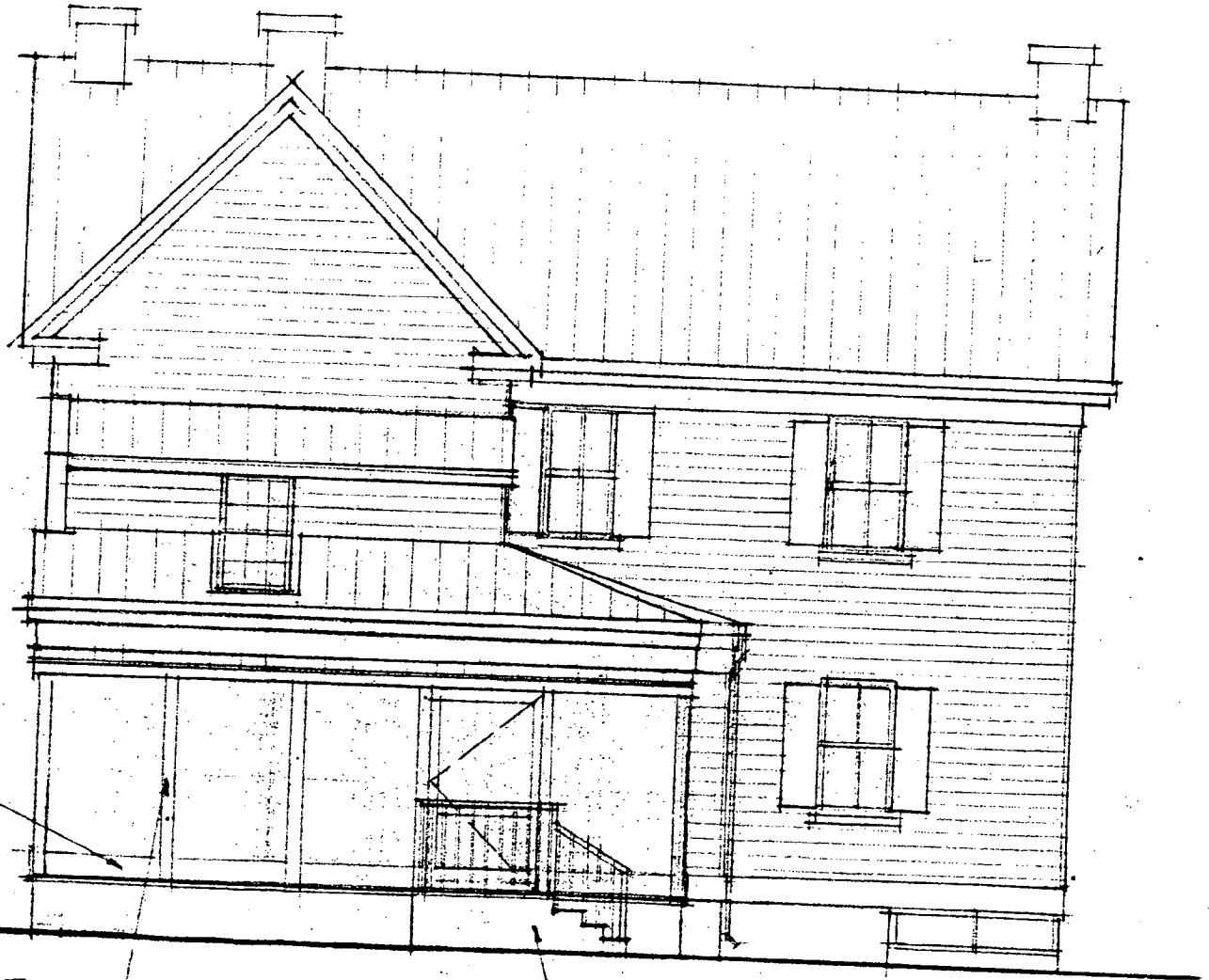


Susan Foster Kromholz



Halvard Brooks Johnson

3730 Damascus Road
Brookeville, Maryland 20833
924-3904

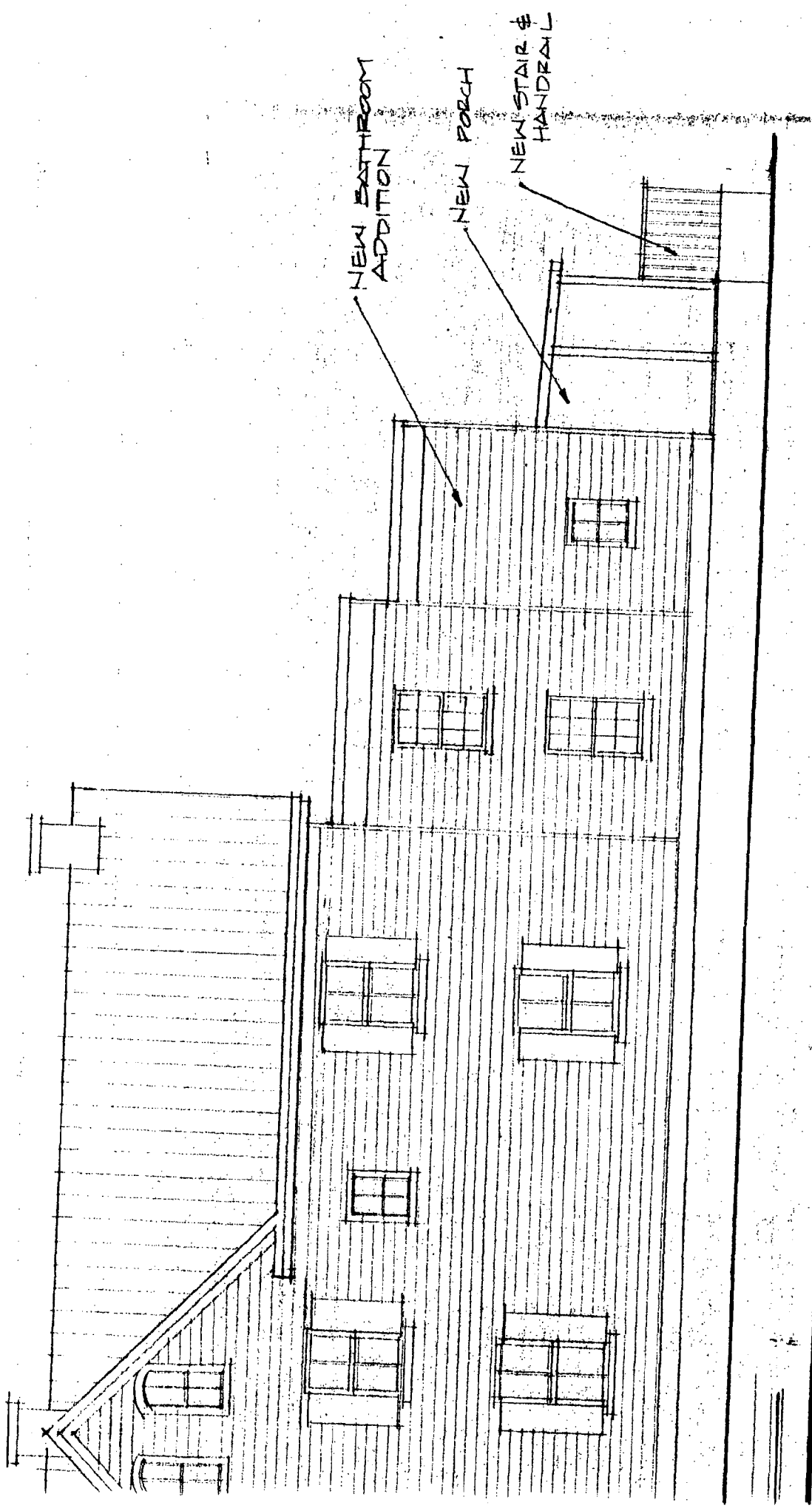


DECKBOARD
YOND

SCREENED PORCH

NEW STEPS & HANDRAIL

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



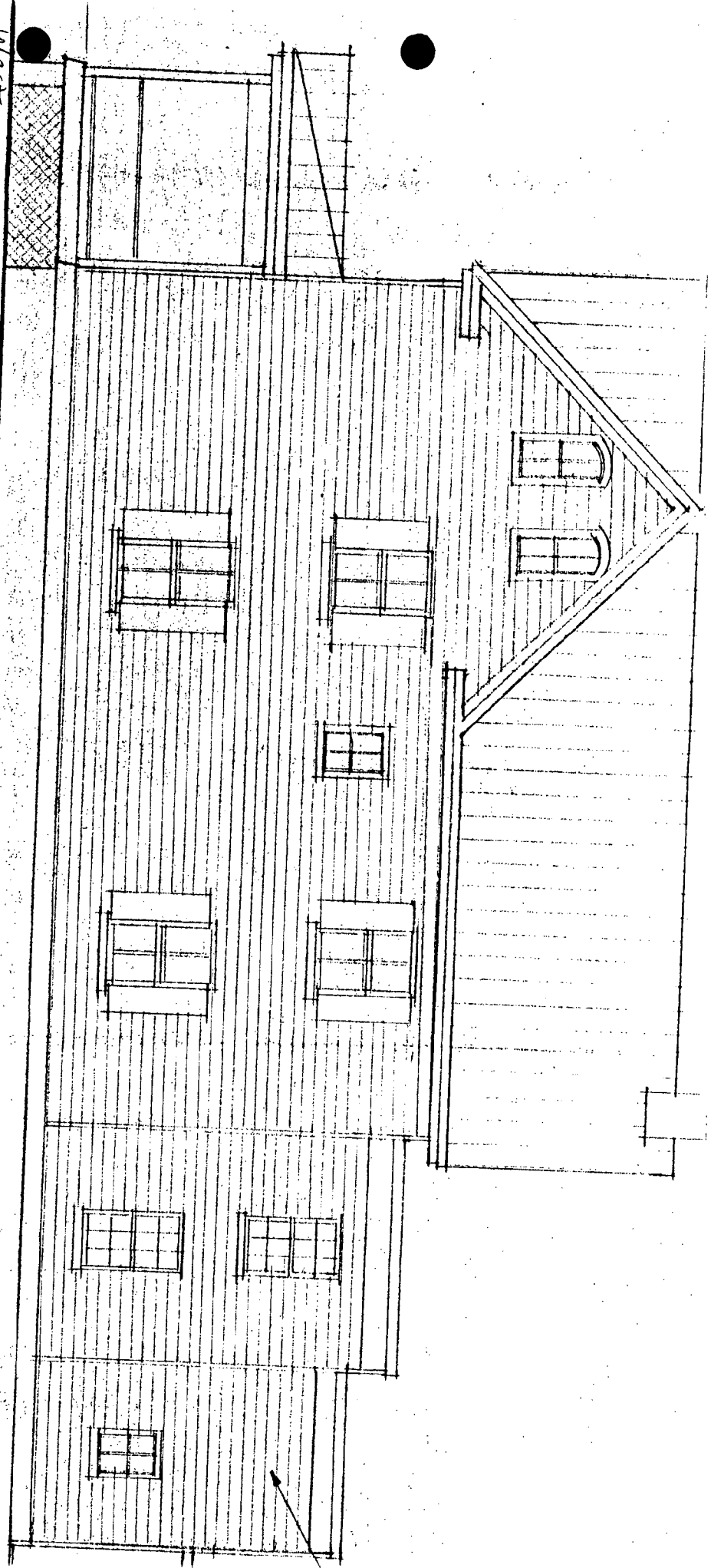
NEW BATHROOM
ADDITION

NEW PORCH

NEW STAIR &
HANDRAIL

West elevation

West
ELEVATION
14111201



FOR ADDITIONAL INFORMATION SEE
EAST ELEVATION - PRELIMINARY PLAN - PAGE

NOTE:

UNDER NO CIRCUMSTANCES SHOULD ANY WORK SHOWN ON THIS PAGE BE ATTEMPTED WITHOUT THE FURTHER ASSISTANCE OF A REGISTERED CONTRACTOR AND/OR ARCHITECT. THIS PAGE SHOWS ONLY PRELIMINARY DESIGN FEATURES AS APPROVED BY THE OWNER. THIS PAGE SHALL NOT BE USED FOR CONSTRUCTION. THE OWNERS SHALL RETAIN AN ARCHITECT AND/OR REGISTERED CONTRACTOR TO BE RESPONSIBLE FOR DESIGN DEVELOPMENT INCLUDING SELECTION OF MATERIALS, SYSTEMS AND CODE COMPLIANCE) AND CONSTRUCTION DOCUMENTS NECESSARY FOR PERMITS AND DETAILS.

PRELIMINARY DESIGN NOTES:

- THE FOLLOWING PRELIMINARY NOTES ARE SUGGESTED RENOVATION FEATURES. THESE NOTES ARE LIST FOR CONSTRUCTION AND DO NOT INDICATE CONSTRUCTION TECHNIQUES, SEQUENCE OR BUILDING REQUIREMENTS:
1. REMOVE EXISTING ROOFS. REPLACE DAMAGED & DECAYED PARTS & FLUFRING.
 2. REMOVE EXISTING SIDING. REPLACE DAMAGED FRAMING SYSTEM AS NECESSARY.
 3. INSTALL NEW ROOF & SIDING SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL NEW FLASHING, GUTTERS, INSULATION, VENTS, VAPOR BARRIER, TRIM, EXISTING WINDOWS & MISC. ACCESSORIES, FASCIA & SOFFIT.
 4. PROVIDE MUDRUM - BATHROOM - SCREEMED PORCH AS SHOWN. DGRADE FLYBANKS, STRUCTURAL, & ELECTRICAL SYSTEMS AS NECESSARY TO ACCOMMODATE ANY ADDITIONAL WORK.
 5. REPAIR CRACKS IN WALLS & FLOORS ONLY AFTER SOURCE OF CRACKS IS REPAIRED.
 6. REMOVE EAST DECK & EAST KITCHEN WALL. REPAIR AND/OR REPLACE FOUNDATION SYSTEM. REPLACE EAST SLOPED KITCHEN FLOOR. PROVIDE NEW EAST WALL SYSTEM WITH NEW WINDOWS.

NOTE: ALL EXISTING AREAS THAT ARE TO ADJOIN, CONNECT TO OR ADJUST NEW CONSTRUCTION AND ALL EXISTING AREAS TO BE RESTORED OR MOVED AS SHOWN ON ALL THE PRELIMINARY TRAILING MUST BE REVIEWED AND REPAIRED AS NECESSARY BY REGISTERED CONTRACTOR PRIOR TO ANY NEW CONSTRUCTION WORK.

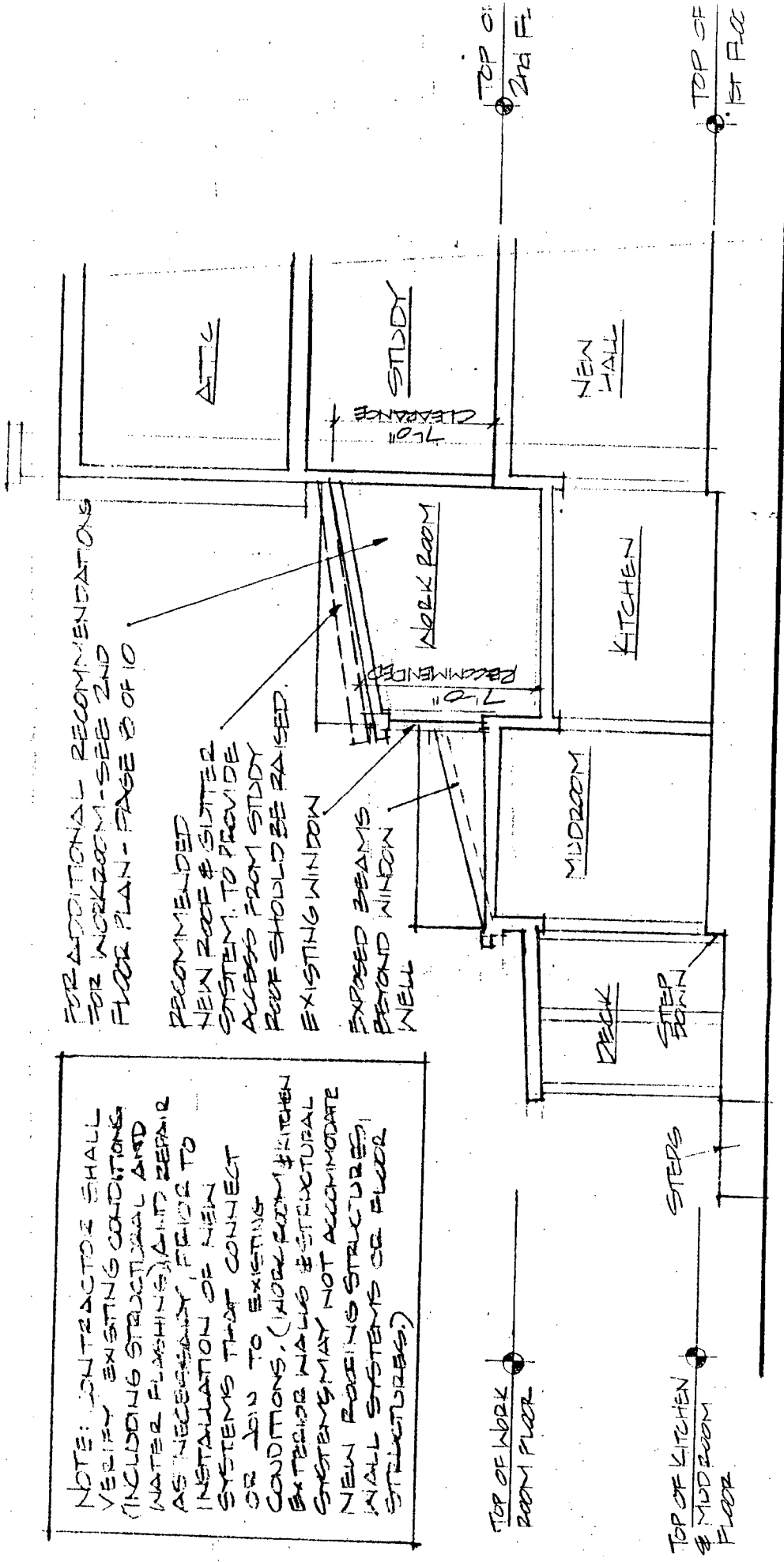
EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL VERIFY EXISTING CONDITIONS (INCLUDING STRUCTURAL AND WATER FLASHING) AND REPAIR AS NECESSARY, PRIOR TO INSTALLATION OF NEW SYSTEMS THAT CONNECT OR JOIN TO EXISTING CONDITIONS. (WORK ROOM & KITCHEN EXTERIOR WALLS & STRUCTURAL SYSTEMS MAY NOT ACCOMMODATE NEW ROOFING STRUCTURES, WALL SYSTEMS OR FLOOR STRUCTURES)

FOR ADDITIONAL RECOMMENDATIONS FOR WORK ROOM - SEE 2ND FLOOR PLAN - PAGE 8 OF 10

RECOMMENDED NEW ROOF & SLITER SYSTEM TO PROVIDE ACCESS FROM STUDY ROOF SHOULD BE RAISED. EXISTING WINDOW EXPOSED BEAMS BEYOND WINDOW WELL

RECOMMENDED 7'-0" CLEARANCE



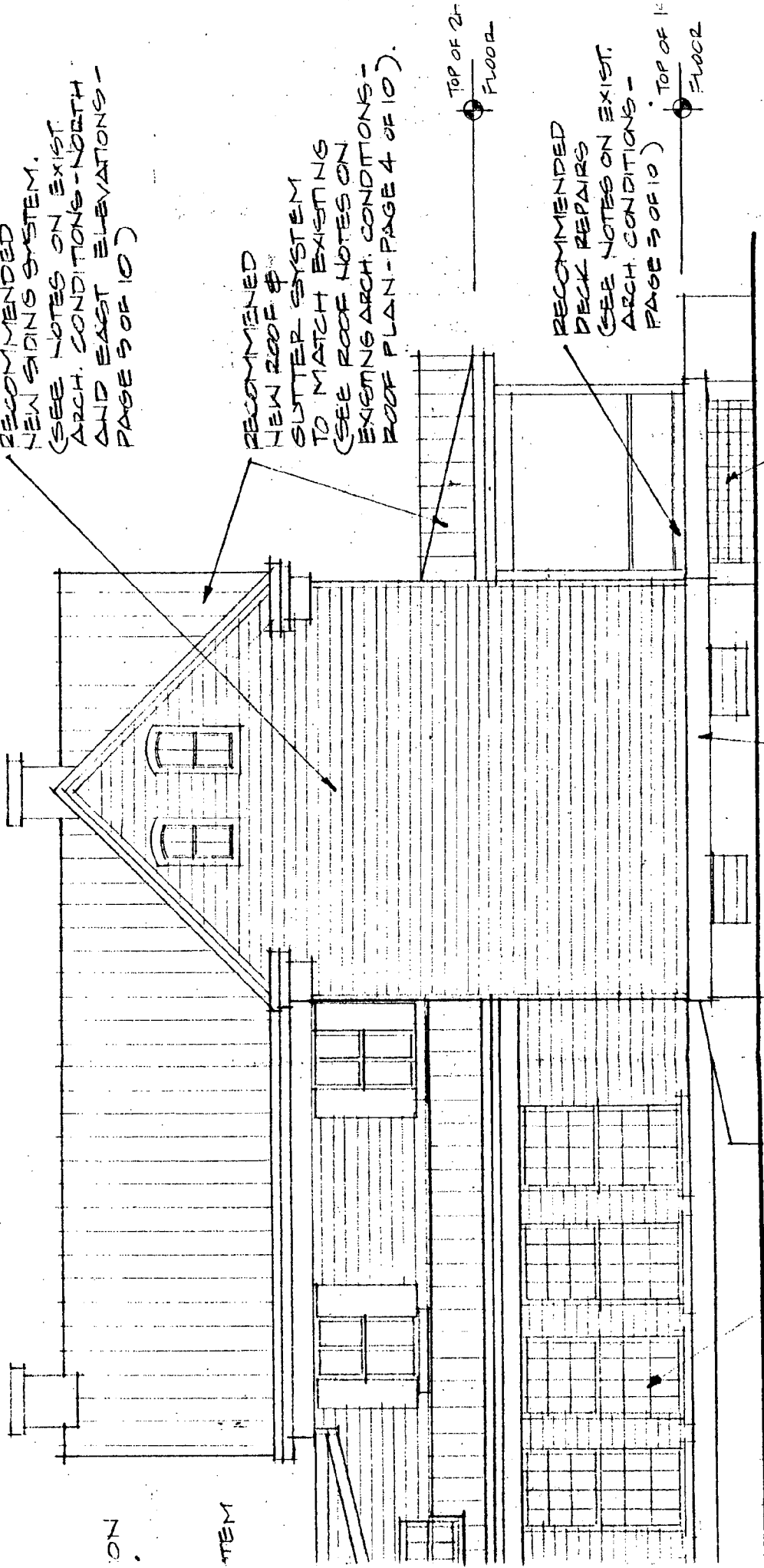
PARTIAL SECTION THRU MUDROOM
SCALE: 1/4" = 1'-0"

RECOMMENDED
NEW SIDING SYSTEM.
(SEE NOTES ON EXIST.
ARCH. CONDITIONS-NORTH
AND EAST ELEVATIONS -
PAGE 5 OF 10)

RECOMMENDED
NEW ROOF #
GUTTER SYSTEM
TO MATCH EXISTING
(SEE ROOF NOTES ON
EXISTING ARCH. CONDITIONS -
ROOF PLAN - PAGE 4 OF 10).

RECOMMENDED
DECK REPAIRS
(SEE NOTES ON EXIST.
ARCH. CONDITIONS -
PAGE 5 OF 10)

RECOMMEND
REPAIR #10R REPLACE
TELLS TO MATCH EXISTING



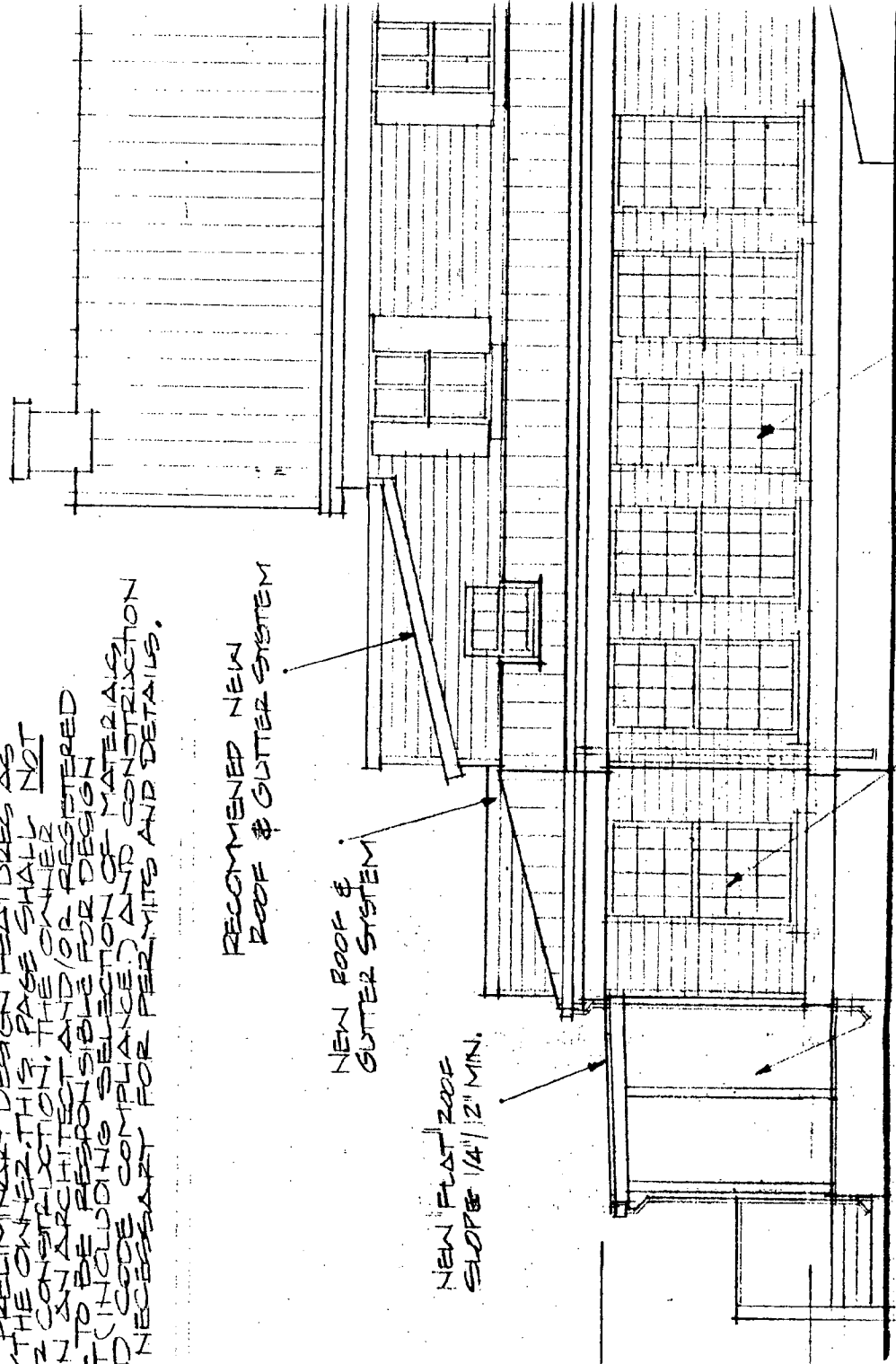
ON
ITEM

RECOMMEND
NEW BASE BOARD

NEW HALL
ADDITION

MUDROOM
ADDITION

NOTE: NO CORRECTIONS SHOULD ANY WORK WITHIN THIS PAGE BE ATTEMPTED WITHOUT THE WRITTEN APPROVAL OF A REGISTERED ARCHITECT AND/OR ARCHITECT. THIS PAGE SHOWS ONLY PRELIMINARY DESIGN FEATURES AS APPROVED BY THE OWNER. THIS PAGE SHALL NOT BE USED FOR CONSTRUCTION. THE OWNER SHALL RETAIN AN ARCHITECT AND/OR REGISTERED CONTRACTOR TO BE RESPONSIBLE FOR DESIGN DEVELOPMENT, INCLUDING SELECTION OF MATERIALS, SYSTEMS AND CODE COMPLIANCE, AND CONSTRUCTION DOCUMENTS NECESSARY FOR PERMITS AND DETAILS.



RECOMMENDED NEW ROOF & GUTTER SYSTEM

NEW ROOF & GUTTER SYSTEM

NEW FLAT ROOF SLOPE 1/4" 12" MIN.

TOP OF WORK ROOM FLOOR

TOP OF KITCHEN & MIDDROOM FLOOR

NEW SCREENED PORCH & STAIR HANDRAIL ASSEMBLY

NEW MIDDROOM ADDITION

NEW HALL ADDITION



1



2



3



4



5



6



7



9



8



10