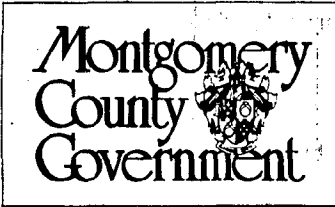


23/65. 1 High St.

HAWP 19-87



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
51 Monroe Street Room 1009
Rockville, Md. 20850

****Leased by the United States Post Office,
Wayne Harding is the Postmaster 774-9481

TAX ACCDUNT # 732306

NAME OF PROPERTY OWNER Vanda Anne and Nicholas D. Petrucelli ***** TELEPHDNE NO. 948-8770, (301)
(Contract/Purchaser) (Include Area Code)

ADDRESS 13608 Darnstown Road Brookeville Maryland 20878
CITY STATE ZIP

CDNTRACTOR _____ TELEPHDNE NO. _____

CDNTRACTDR REGISTRATION NUMBER _____

PLANS PREPARED BY Designtech-East, Architects/Planners TELEPHDNE NO. (202) 775-0505
(Include Area Code)

REGISTRATIDN NUMBER MD 3673

LOCATIDN OF BUILDING/PREMISE

House Number 1 Street High Street

Town/City Brookeville Election District _____

Nearest Cross Street Market Street

Lot 48 Block N/A Subdivision 05

Liber 5113 Folio 337 Parcel 533

1A. TYPE DF PERMIT ACTIDN : (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	
						Dther <u>Parking Lot</u>

1B. CDNSTRUCTION CDSTS ESTIMATE \$ 36,000.00

1C. IF THIS IS A REVISIDN DF A PREVIDUSLY APPRDVD ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY CDMPANY PEPCO

1E. IS THIS PROPERTY A HISTDRICAL SITE? It is located within a historic district.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIDNS

2A. TYPE DF SEWAGE DISPOSAL

01 () WSSC	02 () Septic	2B. TYPE DF WATER SUPPLY
03 () Other		01 () WSSC
		02 () Well
		03 () Dther

PART THREE: COMPLETE ONLY FDR FENCE/RETAINING WALL

4A. HEIGHT 4 feet 0 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. Dn party line/Property line no
2. Entirely on land of owner yes
3. Dn public right of way/easement no (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Samuel G. Sheets Designtech-East 3-30-87
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPRDVED X 2YA-8(b)(2) For Chairperson, Historic Preservation Commission record closed 7/16/87

DISAPPRDVED _____ Signature Robert W. Hahn Date 7/17/87

APPLICATION/PERMIT NO: HAWP 19-87 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

DWNSERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

TO ENLARGE PARKING AREA, UPGRADE ENTRANCE TO BUILDING, LANDSCAPE
PROPERTY OF THE BROOKEVILLE POST OFFICE:

1. Create double driveway and parking for seven cars (including handicap space), using concrete, brick dividers flush with the pavement.
2. Install wood fence along side of parking area, to match one at rear. Plantings on exterior of fence.
3. Install a sidewalk (concrete or brick) around front, side, and rear, with ramp access on driveway side.
4. Construct a parking entrance wall (brick), with signage, lamppost, and plantings.
5. Raise level of porch, flush with door. Install wood ballustrade across front of building.

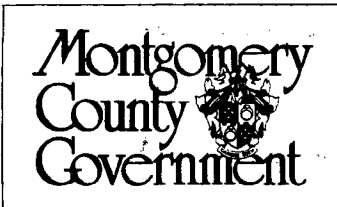
drives, walks, fences, patios, etc. proposed or existing, and/or
PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

Subscribed and duly sworn to before me on March 30, 1987.

Anne Marie Jacobs
Notary Public

My Commission Expires May 31, 1988



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

****Leased by the United States Post Office, Wayne Harding is the Postmaster 774-2481

TAX ACCOUNT # 732306

NAME OF PROPERTY OWNER Wanda Anne and Nicholas D. Patrucelli TELEPHONE NO. 948-8778 (301)
(Contract/Purchaser)

ADDRESS 13602 Darnotown Road Brookeville Maryland 20878
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____

CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY Designtech-East, Architects/Planners TELEPHONE NO. (202) 775-0505
(Include Area Code)

REGISTRATION NUMBER MD 3673

LOCATION OF BUILDING/PREMISE

House Number 1 Street High Street

Town/City Brookeville Election District _____

Nearest Cross Street Market Street

Lot 68 Block N/A Subdivision 05

Liber 5113 Folio 337 Parcel 533

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other <u>Parking lot</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 35,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? It is located within a historic district.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT 4 feet 0 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line no
- Entirely on land of owner yes
- On public right of way/easement no (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Saul G. Shedd Designtech-East 7-30-87
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED X 24A-8(b)(2) For Chairperson, Historic Preservation Commission signed closed 7/16/87

DISAPPROVED _____ Signature Robert W. Hale Date 7/17/87

APPLICATION/PERMIT NO: +HWP 7-87 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used):

Multiple horizontal lines for describing the proposed work.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:

HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

HISTORIC PRESERVATION COMMISSION
51 Monroe Street Room 1009
Rockville, Md. 20850

Subscribed and duly sworn to before me on March 30, 1987

Anne Marie Jocal
Notary Public

My Commission Expires May 31, 1988

TO ENLARGE PARKING AREA, UPGRADE ENTRANCE TO BUILDING, LANDSCAPE PROPERTY OF THE BROOKEVILLE POST OFFICE:

1. Create double driveway and parking for seven cars (including handicap space), using concrete, brick dividers flush with the pavement.
2. Install wood fence along side of parking area, to match one at rear. Plantings on exterior of fence.
3. Install a sidewalk (concrete or brick) around front, side, and rear, with ramp access on driveway side.
4. Construct a parking entrance wall (brick), with signage, lamppost, and plantings.
5. Raise level of porch, flush with door. Install wood ballustrade across front of building.

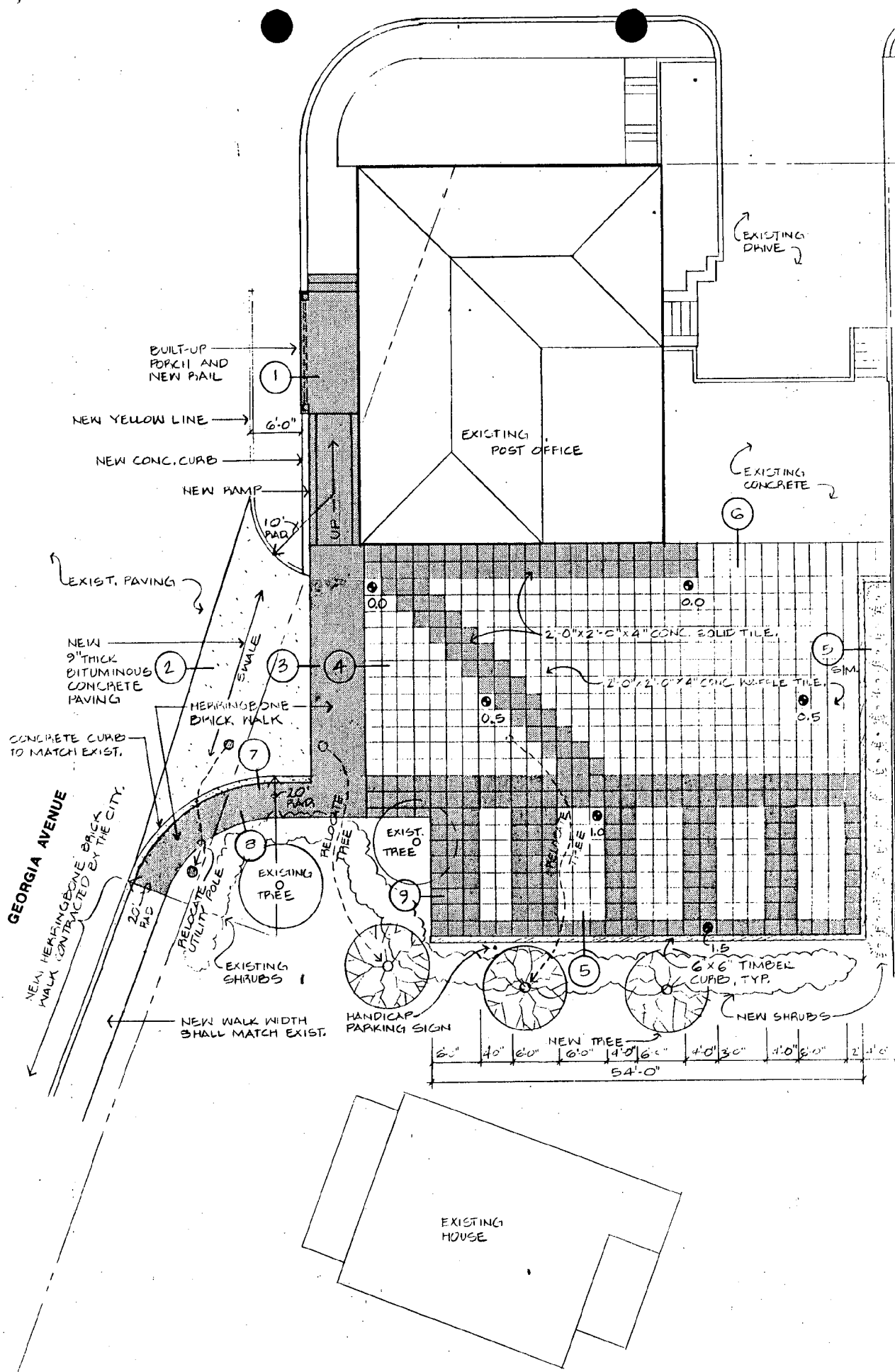
drives, walks, fences, patios, etc. proposed or existing, and/or
PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
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Anne Marie Jacobs
Notary Public

My Commission Expires May 31, 1988



BUILT-UP PORCH AND NEW RAIL

NEW YELLOW LINE

NEW CONC. CURB

NEW PAMP

EXISTING POST OFFICE

EXISTING DRIVE

EXISTING CONCRETE

EXIST. PAVING

NEW 9" THICK BITUMINOUS CONCRETE PAVING

CONCRETE CURB TO MATCH EXIST.

NEW HEARINGSTONE BRICK WALK CONTRACTED BY THE CITY.

RELOCATE UTILITY POLE

HEARINGSTONE BRICK WALK

NEW WALK WIDTH SHALL MATCH EXIST.

HANDICAP PARKING SIGN

NEW TREE

6x6 TIMBER CURB, TYP.

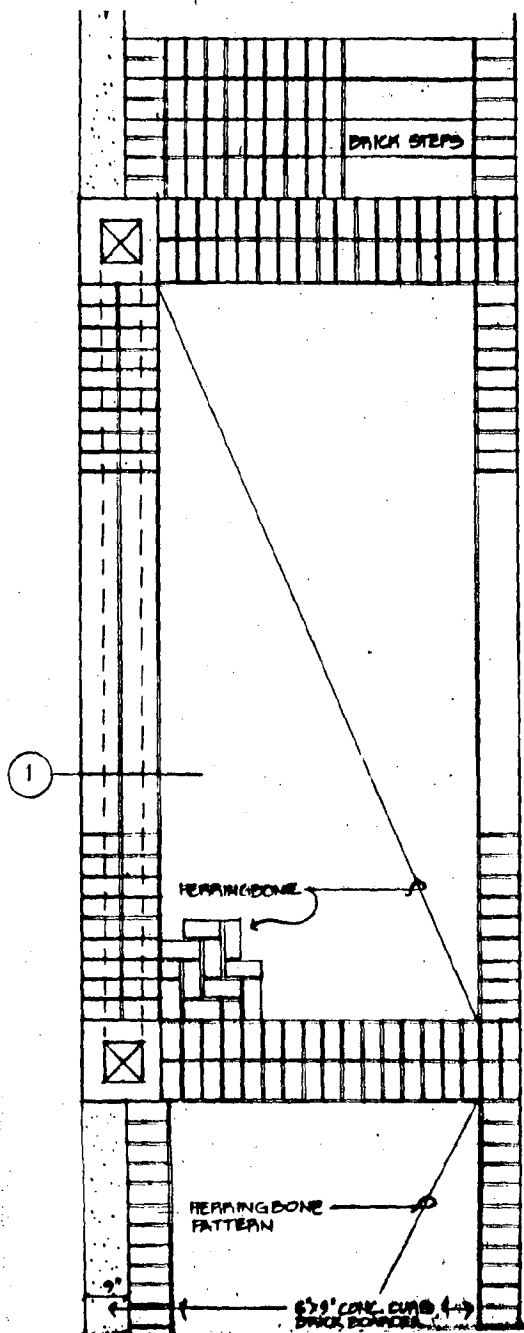
NEW SHRUBS

2'-0" x 2'-6" x 4" CONC. SOLID TILE.

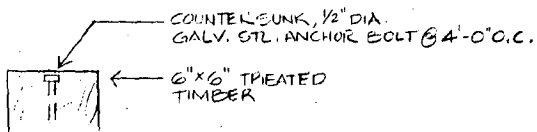
2'-0" x 2'-0" x 4" CONC. WAFER TILE.

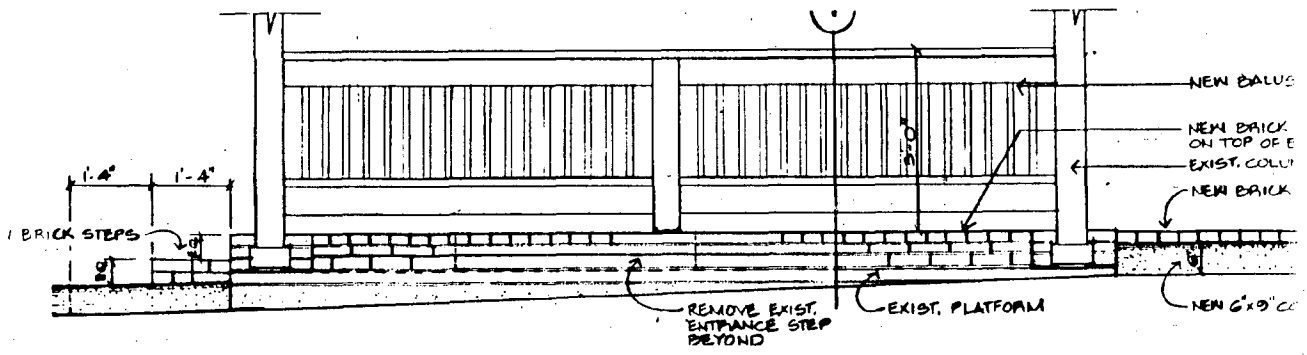
6'-0" 4'-0" 6'-0" 6'-0" 4'-0" 6'-0" 4'-0" 3'-0" 4'-0" 6'-0" 2'-0" 54'-0"

EXISTING HOUSE

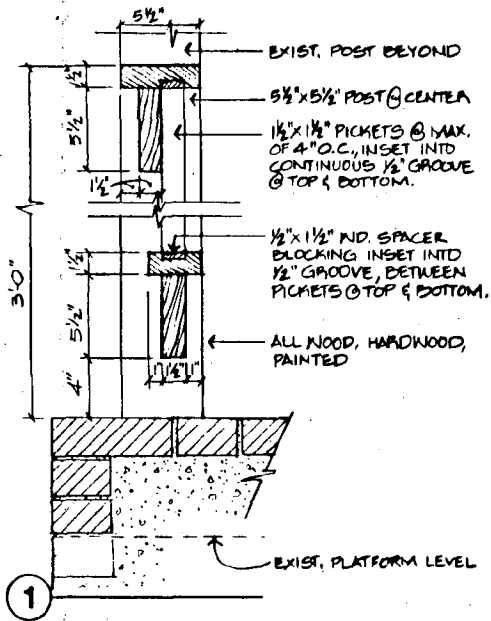


**PLAN BRICK PAVING PATTERN
AT FRONT PORCH ENTRY PLATFORM**
SCALE: 1/2"=1'-0"



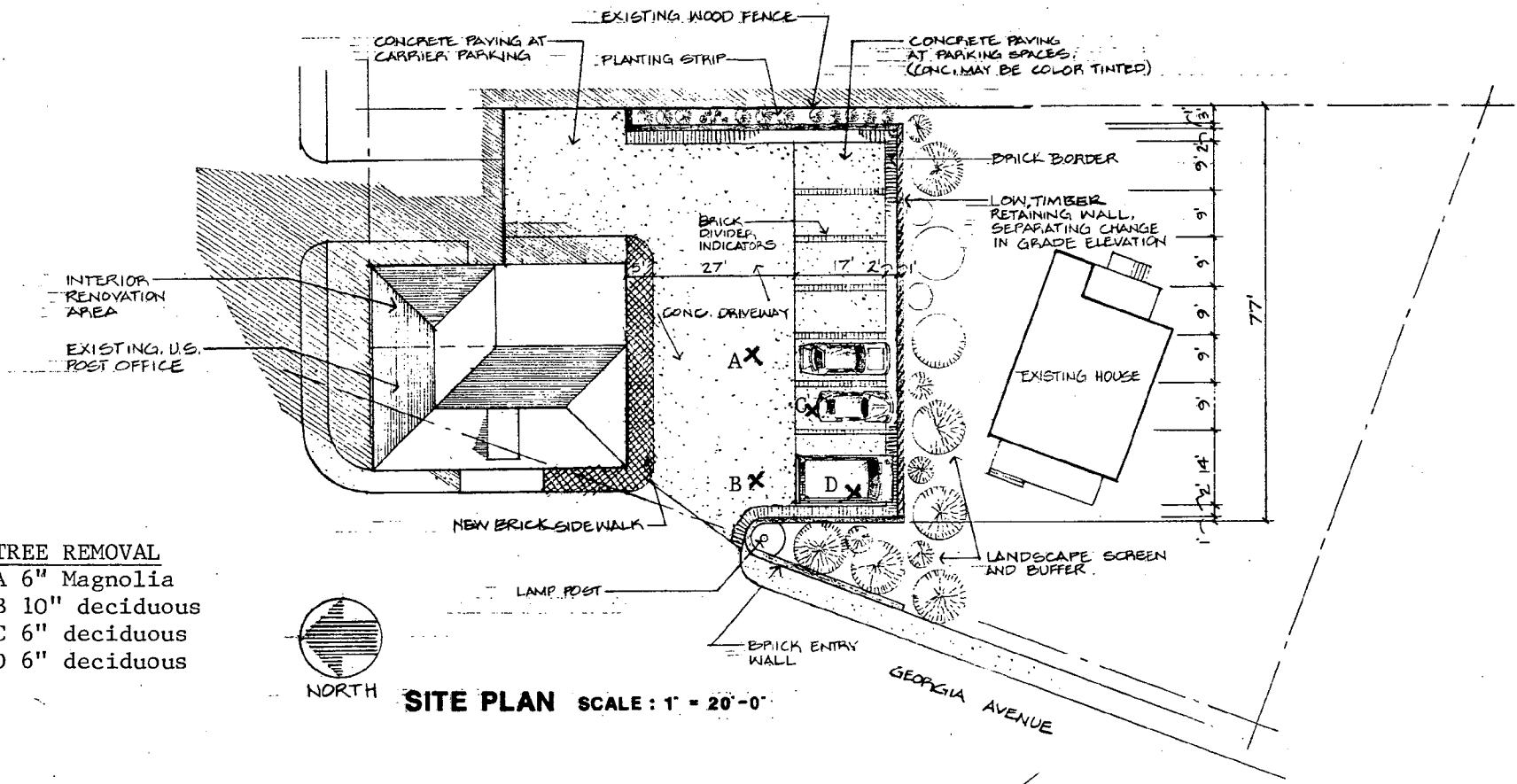


ELEVATION AT FRONT PORCH ENTRY PLATFORM
 SCALE: 1/2"=1'-0"



DETAIL
 SCALE: 1-1/2"=1'-0"

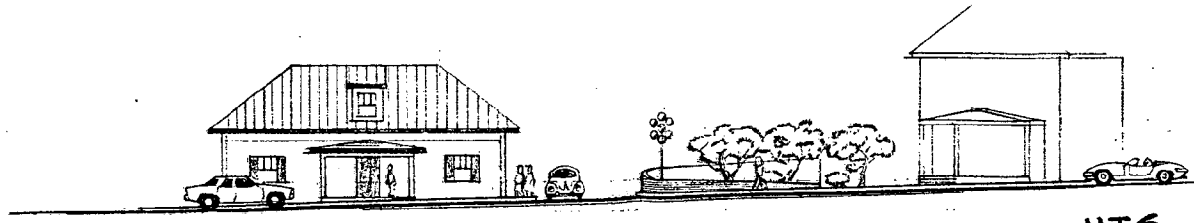




- TREE REMOVAL**
 A 6" Magnolia
 B 10" deciduous
 C 6" deciduous
 D 6" deciduous



SITE PLAN SCALE: 1" = 20'-0"



DESIGNTECH-EAST
 ARCHITECTS / PLANNERS
 1130 17th STREET, N.W.,
 WASHINGTON, DC 20036

SITE ELEVATION (VIEWED FROM GEORGIA AVENUE) SCALE: 1" = 20'-0" *REVISED 1/25/87

1

THE AMERICAN INSTITUTE OF ARCHITECTS

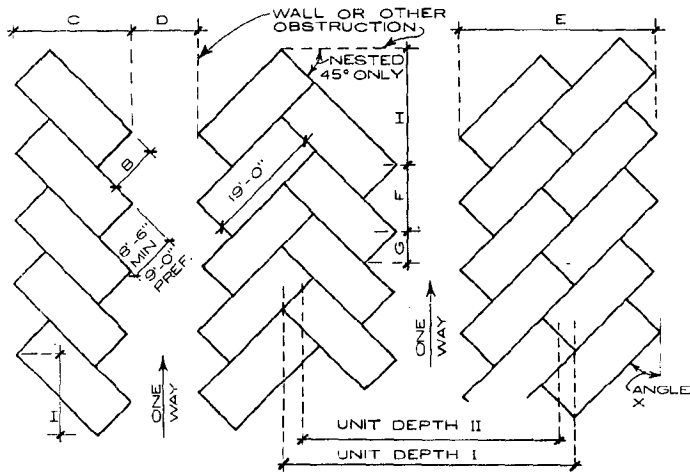
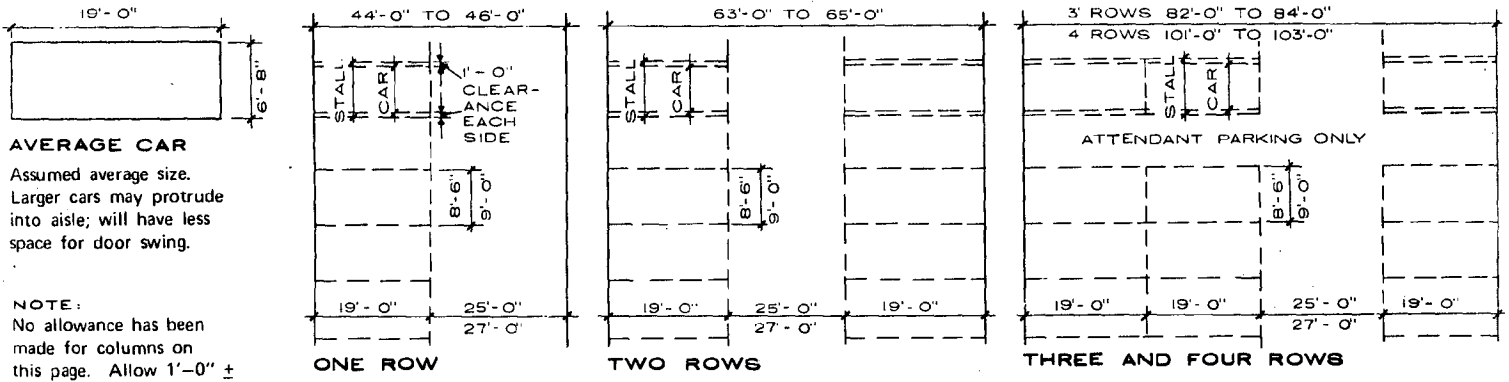
BY HENRY H. REBER

CONSTITUTIONAL

AND

STANDARDS

SIXTH EDITION



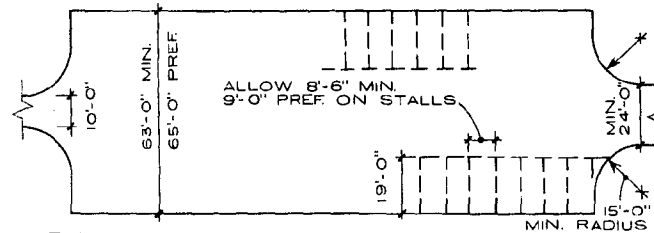
RECOMMENDED STALL AND AISLE DIMENSIONS

ANGLE X	B	C	D	E	F	G	H	UNIT DEPTH	
								I	II
30°	8.5	16.9	11.0	26.4	17.0	12.7	29.2	44.8	37.5
	9.0	17.3	11.0	26.8	18.0	13.5	30.0	45.6	37.8
45°	8.5	19.4	13.5	32.9	12.0	6.0	19.4	52.3	46.3
	9.0	19.8	13.0	33.3	12.7	6.3	19.7	52.6	46.2
60°	8.5	20.7	18.5	37.3	9.8	2.4	11.9	59.9	55.8
	9.0	21.0	18.0	37.5	10.4	2.6	12.1	60.0	55.5
70°	8.5	20.8	19.5	38.7	9.0	1.0	7.5	61.1	58.2
	9.0	21.0	19.0	38.9	9.6	1.1	7.6	61.0	57.9
80°	8.5	20.2	24.0	39.0	8.6	0.2	3.5	64.4	62.9
	9.0	20.3	24.0	39.0	9.1	0.2	3.5	64.6	63.0
90°	8.5	19.0	27.0	38.0	8.5	0.0	0.0	65.0	65.0
	9.0	19.0	25.0	38.0	9.0	0.0	0.0	63.0	63.0

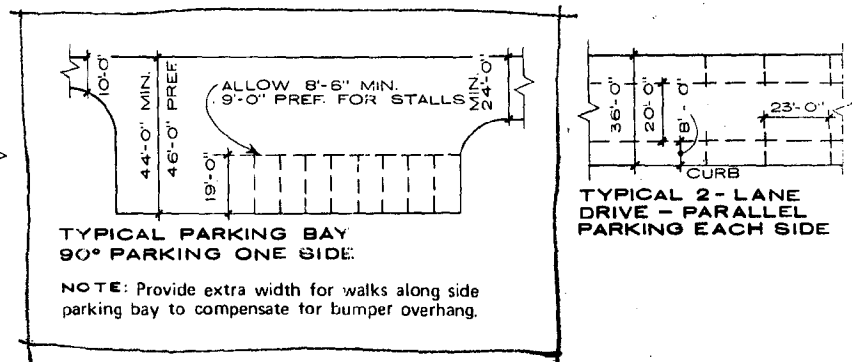
NOTE: Even number of spaces, "N" in length of curb,

$$"L" = N = \frac{L - H + C}{F} \quad \text{Stall length} = 19'-0"$$

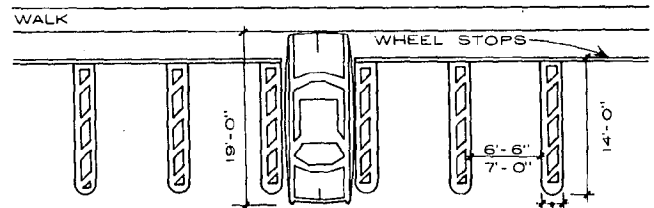
STALL AND AISLE DIAGRAM



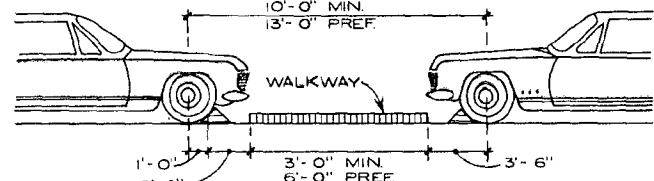
TYPICAL PARKING BAY 90° PARKING EACH SIDE



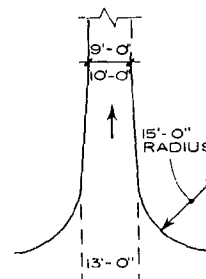
TYPICAL PARKING BAY 90° PARKING ONE SIDE



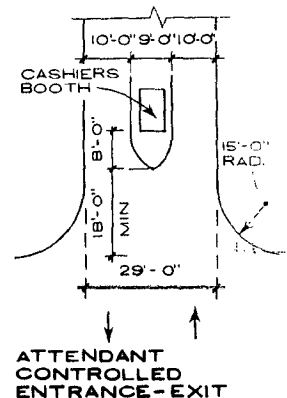
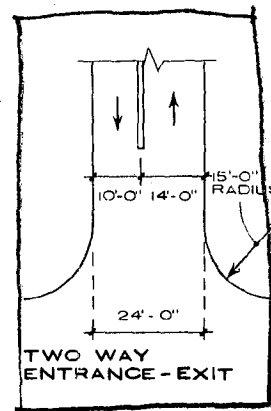
RECOMMENDED STALL MARKING



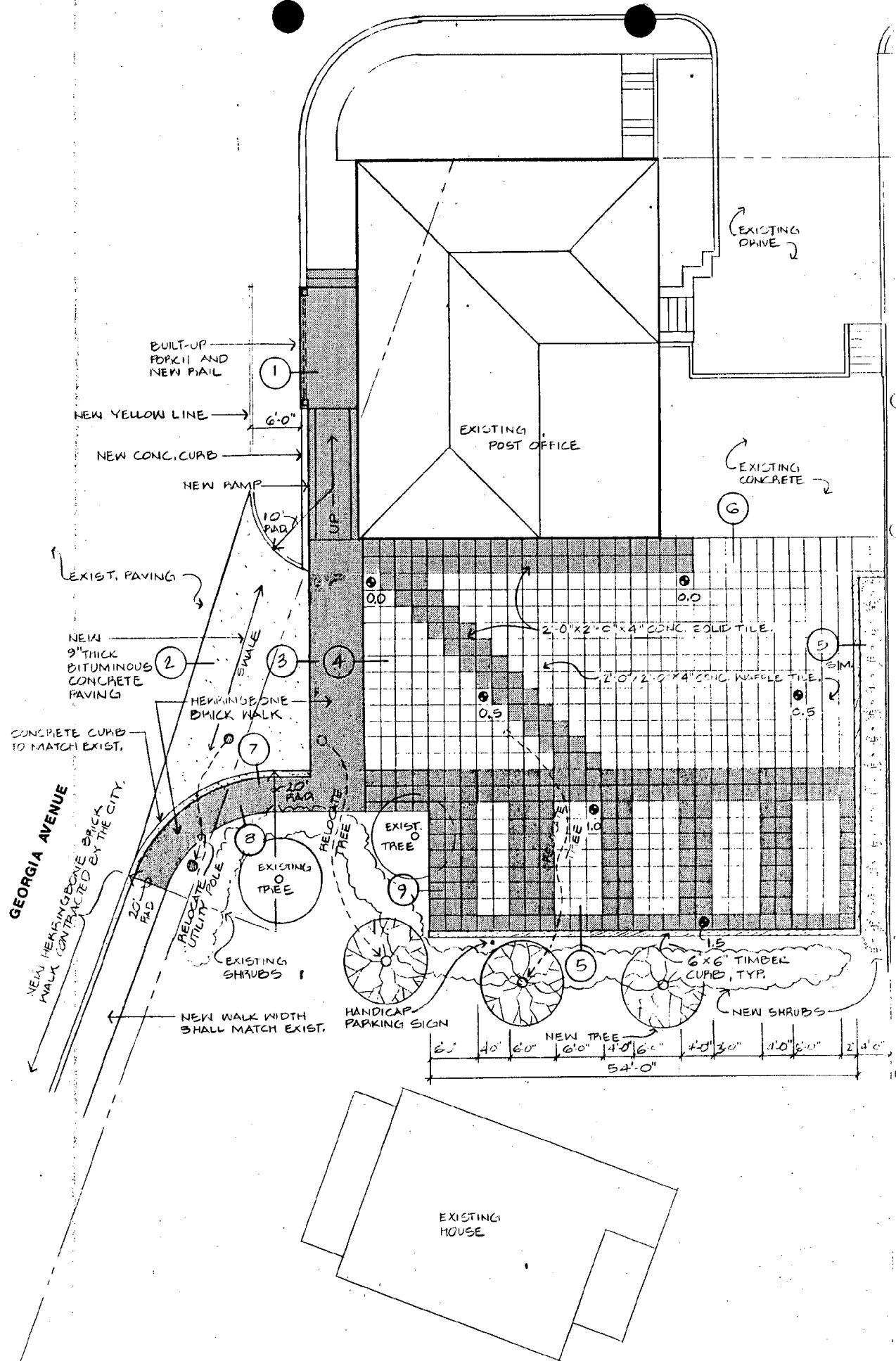
PEDESTRIAN WALKWAY

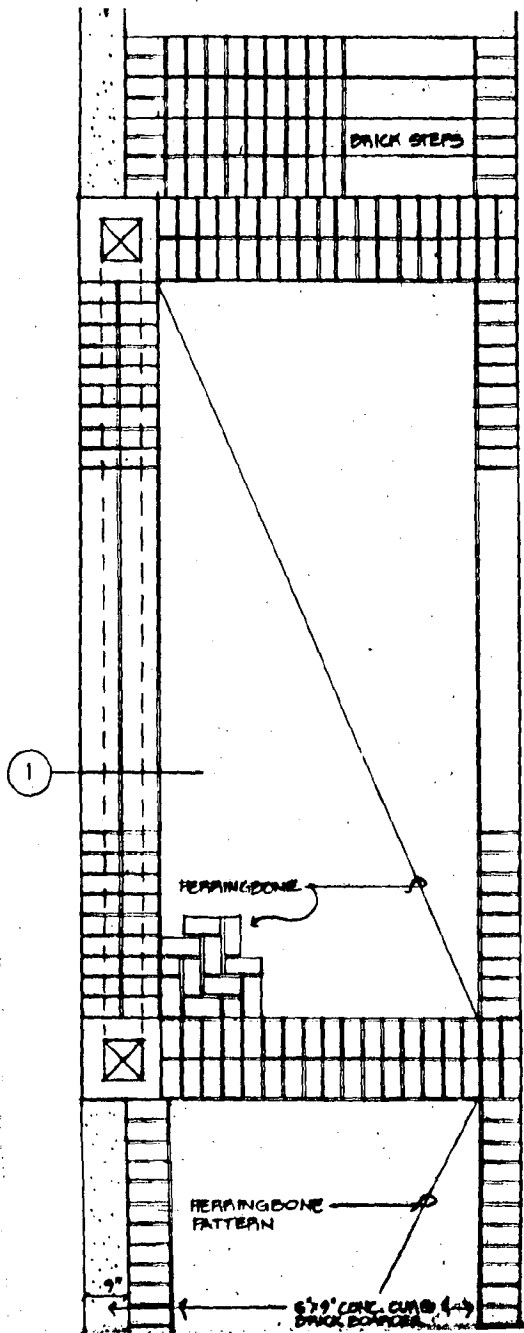


NOTE: Begin to taper to 9'-0" to 10'-0" for approach to ticket dispenser.

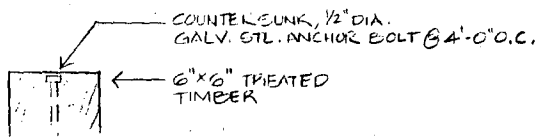


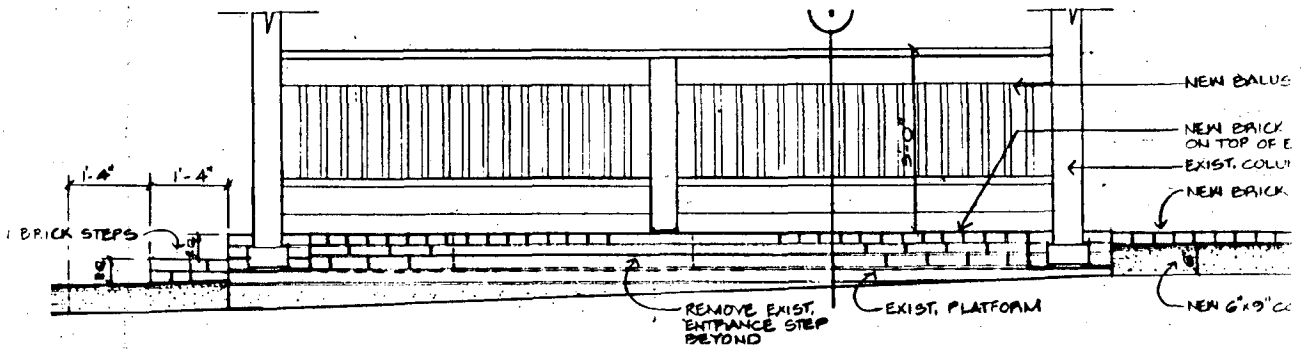




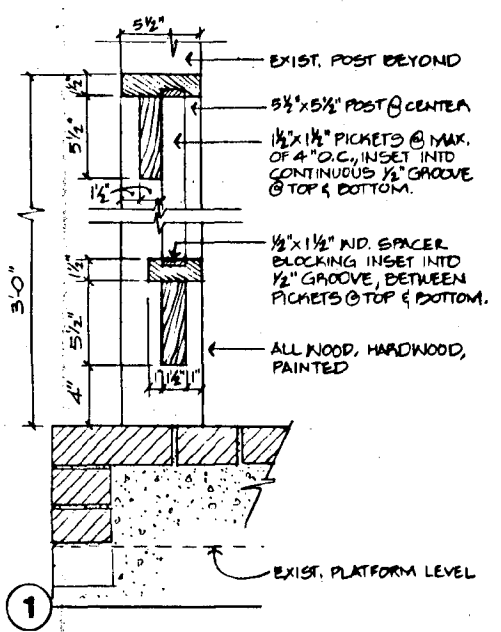


**PLAN BRICK PAVING PATTERN
AT FRONT PORCH ENTRY PLATFORM**
SCALE: 1/2"=1'-0"





ELEVATION AT FRONT PORCH ENTRY PLATFORM
 SCALE: 1/2"=1'-0"



DETAIL
 SCALE: 1-1/2"=1'-0"

