23/65, 1 High St. 1985

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Frall Developers, Inc.

310 South Main Street
Mount Airy, Maryland 21771

September 4, 1985

Ms. Bobbi Hahn Historic Preservation Division 100 Maryland Avenue, Room 412 Rockville, Maryland 20850

RE: Brookeville Post Office Renovations

Dear Ms. Hahn:

Pursuant to our telephone conversation of this date, enclosed please find two copies of the revised site plan for the renovations to the Brookeville Post Office. I understand that same is still on the agenda for September 5, 1985 at 7:30pm.

Further, we discussed the fact that the Town Commissioners of Brookeville passed a resolution on August 20, 1985 accepting the site plan enclosed with the understanding that suitable stone facing be placed on the retaining wall. Based upon our conversation, it would appear that the approval of the Town should pave the way for acceptance on all fronts.

Please do not hesitate to contact me should you have any questions or require any additional information. A representative of the Postal Service will be in attendance at the meeting.

With kind regards, I am

Sincerely yours

Dawn L./Steinnagel Frall Developers, Inc.

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Enclosures

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
SPECIAL DELIVERY

MEMORANDUM

July 29, 1985

TO:

Don Boswell

DEP

FROM:

Bobbi Hahn, Executive Director \\\ \phi\\ \phi\\
Historic Preservation Commission

SUBJECT:

Alterations to property at 1 High Street,

Brookeville historic district

This memo is a follow up to our phone conversation earlier this month and a letter sent to you on July 1, 1985, from Stephen Sanders, regarding construction at the above referenced property which serves as the Post Office in Brookeville. The work undertaken was the construction of a 5-foot retaining wall, expansion of a paved parking lot, and widening and paving of a driveway all at the rear (east side) of the building.

This work was done without the review of the Historic Preservation Commission and is of concern because of its high visibility from the public right-of-way on Market Street. The proximity of the retaining wall to the property line also has a negative impact on the house immediately adjacent to the post office property on Market Street. Please keep us informed as to what steps are being taken to deal with this situation. In addition to not being reviewed by the HPC, the owner of the property also neglected to secure a Town of Brookeville permit. I would be interested in knowing whether or not a county permit is required for such work and, if so, whether one was obtained.

CC: Bob Seeley

BH:gk:0544E

Mr. Richard Allan
President of Commissioners
Town of Brookeville

Dear Mr. Allan,

The members of the Local Advisory Committee (LAC) for Historic Preservation are appalled by the recent modifications to the U.S. Post Office building at the corner of High Street and Market Street in Brookeville. At present, a commercial facility has been installed in a residential neighborhood. Immediate devaluation has occured to one property and has lessened resale value of 2 others. It is the understanding of the LAC that the U.S. Postal Service would now like to set things right by applying for the necessary building permits and subsequently modifying the existing illegal structure to be acceptable to the townspeople via the LAC concurrence. The LAC has met and these are our recommendations:

- 1. On the Lower Level (Market Street)
 There are two car parking places (new) next to the Sander's house (212 Market Street) and one truck parking place (new) next to the Post Office building. We recommend that the two car parking places next to the Sanders be eliminated by removing the concrete slab under them. In place of the concrete slab install suitable shrubbery (Taxus) at the existing level (some fill needed) of the Sander's yard and contain it with a stone retaining wall (between the two car parking places and the truck parking place). The loading dock facing Market Street should be veneered with stone which matches the foundation of the existing Post Office building. The potential garden area between the truck parking place and the building should be planted with shrubs and retained by a new stone wall.
- 2. Stairs Between the Upper and Lower Levels A pair of steps, 3 feet wide, should be installed between the lower and upper levels. The location of the stairs should be roughly in the middle (slightly towards the Sander's house) of the retaing wall between the upper and lower levels.
- 3. On the Upper Level (Market Street)
 Remove 1 and 1/2 of the 3 new parking places adjacent to the wall next
 to the Sander's property. This will facilitate the survival of the 2
 75-foot Maple trees on the Sander's property line which have been
 endangered by the illegal construction. In place of that portion of the
 slab, plant suitable shrubbery (Taxus).
- 4. Safety Gate Install a wooden safety gate at the top of the retaining wall and paint it a subdued color such as dark green or brown facing Market Street. We prefer to avoid yellow, orange and red.
- 5. Use of Parking Lot
 - a. No parking on the upper deck, near the gate, which now creates a double tiered parking lot effect.
 - b. The one remaining truck parking place on the lower level should be chained off after business hours.

6. Responsibility for the Potential Destruction of Sander's Trees and Shrubs

A back-hoe was used to remove the earth around the roots (within 2 feet) of two large (approximately 75 feet tall) Maple trees and a privet hedge. The area was then covered with a concrete pad within 2 feet of the property line, depriving the trees and shrubs of rain water. If the trees and shrubs die during the next few years because of this abuse the U.S. Postal Service should make restitution of \$2000. to the Sanders.

This is a one time statement of opinion by the LAC due to the emergency nature of the situation.

Sincerel

5. Deeds Wells//// Chairman of the LAC

CC

Commissioners of Brookeville

Evelyn Yinger Clyde Unglesbee

Members of the LAC

Diane Allan
Anita Archer
Mary Gardner
Dee Heritage
Karen Montgomery
Connie Sanders
Les Unglesbee
S. Deeds Wells
Evelyn Yinger

Town of Brookeville A Historic District on the National Register (Founded 1794 - Incorporated 1890)

Commissioners: Richard S. Allan, President Clyde W. Unglesbee Evelyn A. Yinger Robert K. Heritage Clerk - Treasurer

July 10, 1985

Mr. R.K. Regan
Realty Management & Acquisition Specialist
Field Real Estate and Buildings Office
U. S. Postal Service
P. O. Box 701
Columbia, Maryland 21045-0701

Re: Brookeville Post Office

Dear Mr. Regan:

This is with further reference to our telephone discussion of July 1, 1985 regarding the construction authorized by the U. S. Postal Service at the Brookeville Post Office. As I indicated to you, the construction, which consisted of the clearance of vegetation, excavation, the construction of a concrete block retaining wall, and the pouring of concrete slabs on two elevations for parking was carried out without a building permit as required by the Town of Brookeville Code. Further, a permit was required from the Brookeville Historic District Local Advisory Committee (LAC) authorized pursuant to Chapter 24A of the Montgomery County Code. I have enclosed a Town of Brookeville building permit form for which there is a \$25 filing fee as well as a Montgomery County Historic District Work Permit application. Please submit the completed forms as soon as possible.

The above-mentioned IAC has subsequent to our conversation expressed great concern over the nature of the construction put in place. The IAC has requested the Commissioners to pursue with the Postal Service a number of modifications to the construction. I have enclosed for your consideration a copy of The IAC's letter to the Commissioners which outline its recommendations.

Both the Commissioners and the IAC wish to resolve these issues as quickly as possible. I appreciated your expression of concern when I initially contacted you and I am therefore hopeful we can successfully resolve this

Town of Brookeville A Historic District on the National Register (Founded 1794 - Incorporated 1890)

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unfortunate situation. I am sure the Postal Service desires to be a good responsive neighbor and to be sensitive to the unique historic character of the Town of Brookeville.

I can be reached at 755-5370 (202) during the day.

Sincerely,

Richard S. Allan

President of the Commissioners

Enclosures

cc Brookeville Historic District Local Advisory Committee

Town of Brookeville A Historic District on the National Register (Founded 1794 - Incorporated 1890)

Commissioners:
Richard S. Allan, President
Clyde W. Unglesbee
Evelyn A. Yinger

Robert K. Heritage Clerk - Treasurer

June 30, 1985

Mr. Wayne Harding
Postmaster
Brookeville Post Office

Dear Mr. Harding:

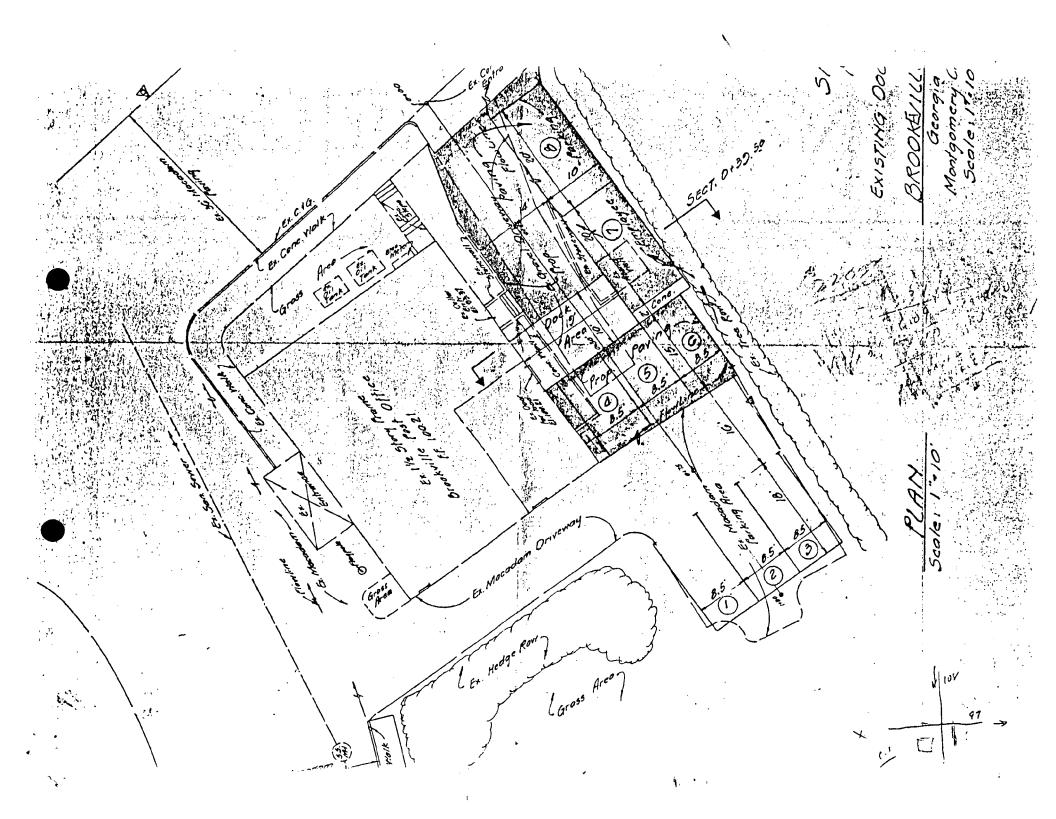
This is to advise you that the construction activity imitiated by the United States Fostal Service at the Prookeville Post Office is in violation of the Town of Brookeville Code of Ordinances, Chapter 5, Section 5-101. Section 5-101 states that "No person shall commence any construction, structural alteration, addition, removal, demolition, or location of any building, structure, or on-site access facilities to such structure without first obtaining a permit from the town." Additionally, the subject construction is in violation of Chapter 24A of the Montgomery County Code, as amended. Chapter 24A titled "Preservation of Historic Resources" requires an Historic Area Work Permit for work on public or private property before "constructing, reconstructing, moving, relocating, demolishing, or in any manner modifying, changing, or altering the exterior features of any Historic Site, or any historic resource located within an Historic District."

Further construction work shall not be undertaken until required permits are obtained by the United States Postal Service in compliance with the above ordinances.

Sincerely.

Richard S. Allan

President



Mr. Don Boswell Dept. of Environmental Protection 101 Monroe Street Rockville, MD 20850

Dear Mr. Boswell:

I am writing to inform you of construction on the property at One High Street in Brookeville, which was done without any permit in violation of the Town code, the County Historic Preservation Ordinance, and possibly County building codes and zoning ordinances. This construction began on June 28, 1985 and was substantially completed by July 1. The property is privately owned and is leased by the U.S. Postal Service.

The construction involved erection of a 5-foot high retaining wall, expansion of a paved parking lot, and widening and paving of a driveway. The retaining wall is of 6-inch block construction without reinforcement.

As a result of this construction, virtually the entire lot has been paved over, with the new pavement extending to within 3 feet of the adjoining property. The excavation and paving threaten two large maple trees located on the property line. Furthermore, the drainage is such that the entire paved parking area now drains onto the adjoining property. I strongly believe that, had the plans for this project been submitted for proper review, they would not have been approved in the present form.

I appreciate your looking into this matter as soon as possible.

Sincerely,

Stephen F. Sanders 212 Market St. P.O. Box 212 Brookeville, MD 20833

(301) 774-0554

cc: Bobbi Hahn Executive Director, Historic Preservation Commission

Richard Allen President, Brookeville Town Commissioners

Montgomery County Covernment

Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850

APPLICATION FOR HISTORIC AREA WORK PERMIT

Peoperty is lessed by US Probal Service for a Postal facility

	and gracely
TAX ACCOUNT # 73/836	
NAME OF PROPERTY OWNER Nicholas Pettruccelli	TELEPHONE NO. (301) 774 - 6206
ADDRESS 13608 Darnistown Rel Da	(Include Area Code) MD 20078
The first of the f	STATE (20) SILEDIA
CONTRACTOR FRU DUNCLO DES ANC.	TELEPHONE NO. (301) 831-5318
PLANS PREPARED BY UNITED States 1 5 stal	TELEPHONE NO. (301) 795-1866
REGISTRATION NUMBER	(Include Area Code)
nedistration number	
LOCATION OF BUILDING/PREMISE	
House Number Street MgA SW	cel -
Town/City Srookeville: Elect	ion District 8-0/
Nearest Cross Street What Wester	1. Britis 12 million and the man
Lot 47 Block Subdivision Town	Brosavill
Liber 4916 Folio 325 Margar Parcel 10 532 35 00 C	Communication of the Part Communication of the Comm
1A. TYPE OF PERMIT ACTION: (circle one)	Circle One: A/C Slab Room Addition
Construct Extend/Add Alter/Renovate (Renair)	Porch Oeck Fireplace Shed Solar Woodburning Stove
Wreck/Raze Move Install Revocable Revision	Fence/Wall Complete Section 4) Other
1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000 000	(NOOK)
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ASJIVED.	ERMIT SEE PERMIT #
10. INDICATE NAME OF ELECTRIC UTILITY COMPANY PERCE	
1E. IS THIS PROPERTY A HISTORICAL SITE?	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADOJT	
2A. TYPE OF SEWAGE DISPOSAL	2B. TYPE OF WATER SUPPLY
01 (WSSC 02 () Septic 03 () Other	01 () WSSC 02 () Well 03 () Other
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL 4A. HEIGHTfeet	
4A. HEIGHTfeetfeetformula in the fence or retaining wall is to be constructed on one	of the following locations:
1. On party line/Property line	•
Entirely on land of owner On public right of way/easement	(Payacable Letter Required)
3. On public right of way/easement	. (Nevocable Letter Negulieu).
I hereby certify that I have the authority to make the foregoing application,	
plans approved by all agencies listed and I hereby acknowledge and accept this to	o be a condition for the issuance of this permit.
TRUCOSTOS, SINC.	8-10-8
Signature of owner Mauthurized agent (agent most have signature notarized o	n back) Oate
- Agrica M. TRig. P. Wardens	*****
APPROVED For Chairperson, Historic Presen	vation Commission
OISAPPROVEO Signature	Oate
OISAPPROVEO Signature	
APPLICATION/PERMIT NO:	FILING FEE:\$
DATE ISSUED.	PERMIT FEE: \$BALANCE \$
OATE ISSUED:	RECEIPT NO: FEE WAIVEO:

THE FOLLOWING ITEMS 1-UST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION 1994 1995

ALTHOUgh target DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:) (If more space is needed, attach additional sheets on plain or lined paper to this application) ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work. MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE: HISTORIC PRESERVATION COMMISSION 100 MARYLAND AVENUE ROCKVILLE, MARYLAND 20850



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850 279-1327

	PLICATION FOR STORIC AREA W	ork permi	450	rty is lessed by sold Service for sold facility
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	SPREPARED BY United	CONTRACTOR REGIST FOR POSTA Seven REGISTRATION NUMB	TELEPHONE (Include Area	_
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1A. 1B. 1C. 1D.	TYPE OF PERMIT ACTION: (circle Construct Extend/Add Wreck/Raze Move Install CONSTRUCTION COSTS ESTIMATIF THIS IS A REVISION OF A PREINDICATE NAME OF ELECTRIC LISTHIS PROPERTY A HISTORICA	Alter/Renovate Repaired Revision Revision Revision Revision Revision Revision Revision Repaired Repair	ion Fence/Wall (k Fireplace Shed Solar Woodburning Stove complete Section 4) Other
PART 2A.	TWO: COMPLETE FOR NEW CONST TYPE OF SEWAGE DISPOSAL 01 (WSSC 02 () Se 03 () Other	ptic	2B. TYPE OF WA	ATER SUPPLY VSSC 02 () Well Other
PART 4A. 4B.	THREE: COMPLETE ONLY FOR FE HEIGHT feet incl Indicate whether the fence or retaini 1. On party line/Property line 2. Entirely on land of owner 3. Dn public right of way/easement	es ng wall is to be constructed		
plans a	pproved by all agencies listed and I he	eby acknowledge and accep	ot this to be a condition for th	01.0
/ /	overe of owner trautherized agent (agent)		arized on back) ******************** c Preservation Commission	Date *******************
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and parking area at us Post office to plain or lined paper to this application) ACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, bui	Kesain	o in Coner	ete to ex	isting	lvek
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Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850 279-1327

APPLICATION FOR	* Property is clased by
	US Poplar Service for
HISTORIC AREA WORK PERMIT	a Postal Jacilt
721001	$\int \int \int d^2 x d^2 x d^2 x$
TAX ACCOUNT # $\frac{731836}{2}$	** (-) (-)
NAME OF PROPERTY OWNER Nicholas Pettruccelli	TELEPHONE NO. (301) 774 - (0206
ADDRESS 13/008 Natri Lotour Rel Na	Me Stown MD 20878
O SITY	STATE ZIP
CONTRACTOR FRUI WINCLADERS ANC.	TELEPHONE NO. <u>(30)</u> 831-5518 ON NUMBER <u>06-544879</u>
PLANS PREPARED BY While Stales Lostal	TELEPHONE NO. (301) 755-18/a/a
Dervice	(Include Area Code)
REGISTRATION NUMBER	**************************************
LOCATION OF BUILDING/PREMISE	•
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
House Number Street	·
Town/City Brookeville Elec	ection District $8-0/$
	,
Nearest Cross Street (Machine Communication)	4 12 11
Lot 47 Block U Subdivision	7 Brookeville
Libe/49/16Folio 325 Parcel 532 ()
1A. TYPE OF PERMIT ACTION: (circle one)	Circle One: A/C Slab Room Addition
Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision	Porch Deck Fireplace Shed Solar Woodburning Stove Fence/Wall (complete Section 4) Other
VVIECK/ Naze Wove Histori Nevocapie Nevision	(Nock)
1B. CONSTRUCTION COSTS ESTIMATE \$ 7 100 500	
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE,	PERMIT #
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY 1E. IS THIS PROPERTY A HISTORICAL SITE?	
TE. 18 THIST NOTENTY ATTRIBUTED TO THE STATE OF THE STATE	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDI	TIONS
2A. TYPE OF SEWAGE DISPOSAL	2B. TYPE OF WATER SUPPLY
01 (→ WSSC 02 () Septic 03 () Dther	01 (L) WSSC 02 () Well 03 () Other
OS (/ Dillel	os () otter
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
4A. HEIGHTfeetfeetfeet	and the transfer of
4B. Indicate whether the fence or retaining wall is to be constructed on one 1. On party line/Property line	
2. Entirely on land of owner	
3. On public right of way/easement	(Revocable Letter Required).
I hereby certify that I have the authority to make the foregoing application	that the application is correct, and that the construction will camply with
plans approved by all agencies listed and I hereby acknowledge and accept this t	
TRAU OCHLOPEN Anc.	$\alpha = \alpha$
	X-6-85
Signature of owner or authorized agent (agent must have signature notarized of	on back) Date
** * * * * * * * * * * * * * * * * * *	**************************************
APPROVED For Chairperson, Historic Prese	rvation Commission
,	
DISAPPROVED Signature	FILING FEE:\$ PERMIT FEE:\$ BALANCE\$
APPLICATION/PERMIT NO:	FILING FEE:\$
DATE FILED: 8-6-8:- B. Haim	PERMIT FEE:\$
DATE ISSUED:	BALANCE \$
DWNERSHIP CDDE:	RECEIPT NO: FEE WAIVED:

THE FOLLOWING ITEMS ST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:) (If more space is needed, attach additional sheets on plain or lined paper to this application) ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work. MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE: HISTORIC PRESERVATION COMMISSION 100 MARYLAND AVENUE ROCKVILLE, MARYLAND 20850 Pobla



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850 279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

NAME OF PROPERTY OWNER ASSAULT ASSAULT STATES	TELEPHONE NO.
(Contract/Purchaser)	(Include Area Code)
(Contract/Purchaser) ADDRESS	STATE
CITY	
CONTRACTOR TO THE CONTRACTOR T	TELEPHONE NO.
CONTRACTOR REGISTRA PLANS PREPARED BY	ATION NUMBER
	TELLITOTE NO.
	(Include Area Code)
REGISTRATION NUMBER	
LOCATION OF BUILDING/PREMISE	ing Andre ing service of the service
House Number Street	<u> </u>
Town/City	Election District
Nearest Cross Street	
Lot Block Subdivision	
Liber Folio Parcel	
1A. TYPE OF PERMIT ACTION: (circle one) Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision	Circle One: A/C Slab Room Addition Porch Deck Fireplace Shed Solar Woodburning Stove Fence/Wall (complete Section 4) Other
1B. CONSTRUCTION COSTS ESTIMATE \$	
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIV	VE PERMIT SEE PERMIT #
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY	A STATE OF THE STA
1E. IS THIS PROPERTY A HISTORICAL SITE?	
TE. TO THIS THE ENTLY WITHOUT ON ONE OTHER	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/AL	nnitinns
2A. TYPE OF SEWAGE DISPOSAL	
01 (%) WSSC 02 () Septic	01 (~) WSSC 02 () Well
03 () Other	03 () Other
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
4A. HEIGHTfeetfinches	one of the following locations:
 4A. HEIGHTfeet	one of the following locations:
4A. HEIGHTfeetinches 4B. Indicate whether the fence or retaining wall is to be constructed on 1. On party line/Property line 2. Entirely on land of owner	'
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4B. Indicate whether the fence or retaining wall is to be constructed on 1. On party line/Property line 2. Entirely on land of owner 3. On public right of way/easement	(Revocable Letter Required).
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