

23/65, 1 High St. 1985
No. #

Frall Developers, Inc.

310 South Main Street
Mount Airy, Maryland 21771

September 4, 1985

Ms. Bobbi Hahn
Historic Preservation Division
100 Maryland Avenue, Room 412
Rockville, Maryland 20850

RE: Brookeville Post Office Renovations

Dear Ms. Hahn:

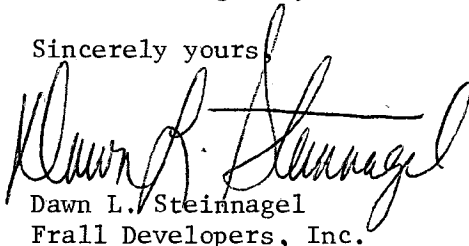
Pursuant to our telephone conversation of this date, enclosed please find two copies of the revised site plan for the renovations to the Brookeville Post Office. I understand that same is still on the agenda for September 5, 1985 at 7:30pm.

Further, we discussed the fact that the Town Commissioners of Brookeville passed a resolution on August 20, 1985 accepting the site plan enclosed with the understanding that suitable stone facing be placed on the retaining wall. Based upon our conversation, it would appear that the approval of the Town should pave the way for acceptance on all fronts.

Please do not hesitate to contact me should you have any questions or require any additional information. A representative of the Postal Service will be in attendance at the meeting.

With kind regards, I am

Sincerely yours,



Dawn L. Steinnagel
Frall Developers, Inc.

dls

Enclosures

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
SPECIAL DELIVERY

MEMORANDUM

July 29, 1985

TO: Don Boswell
DEP

FROM: Bobbi Hahn, Executive Director BH
Historic Preservation Commission

SUBJECT: Alterations to property at 1 High Street,
Brookeville historic district

This memo is a follow up to our phone conversation earlier this month and a letter sent to you on July 1, 1985, from Stephen Sanders, regarding construction at the above referenced property which serves as the Post Office in Brookeville. The work undertaken was the construction of a 5-foot retaining wall, expansion of a paved parking lot, and widening and paving of a driveway all at the rear (east side) of the building.

This work was done without the review of the Historic Preservation Commission and is of concern because of its high visibility from the public right-of-way on Market Street. The proximity of the retaining wall to the property line also has a negative impact on the house immediately adjacent to the post office property on Market Street. Please keep us informed as to what steps are being taken to deal with this situation. In addition to not being reviewed by the HPC, the owner of the property also neglected to secure a Town of Brookeville permit. I would be interested in knowing whether or not a county permit is required for such work and, if so, whether one was obtained.

CC: Bob Seeley

BH:gk:0544E

July 9, 1985

Mr. Richard Allan
President of Commissioners
Town of Brookeville

Dear Mr. Allan,

The members of the Local Advisory Committee (LAC) for Historic Preservation are appalled by the recent modifications to the U.S. Post Office building at the corner of High Street and Market Street in Brookeville. At present, a commercial facility has been installed in a residential neighborhood. Immediate devaluation has occurred to one property and has lessened resale value of 2 others. It is the understanding of the LAC that the U.S. Postal Service would now like to set things right by applying for the necessary building permits and subsequently modifying the existing illegal structure to be acceptable to the townspeople via the LAC concurrence. The LAC has met and these are our recommendations:

1. On the Lower Level (Market Street)

There are two car parking places (new) next to the Sander's house (212 Market Street) and one truck parking place (new) next to the Post Office building. We recommend that the two car parking places next to the Sanders be eliminated by removing the concrete slab under them. In place of the concrete slab install suitable shrubbery (Taxus) at the existing level (some fill needed) of the Sander's yard and contain it with a stone retaining wall (between the two car parking places and the truck parking place). The loading dock facing Market Street should be veneered with stone which matches the foundation of the existing Post Office building. The potential garden area between the truck parking place and the building should be planted with shrubs and retained by a new stone wall.

2. Stairs Between the Upper and Lower Levels

A pair of steps, 3 feet wide, should be installed between the lower and upper levels. The location of the stairs should be roughly in the middle (slightly towards the Sander's house) of the retaining wall between the upper and lower levels.

3. On the Upper Level (Market Street)

Remove 1 and 1/2 of the 3 new parking places adjacent to the wall next to the Sander's property. This will facilitate the survival of the 2 75-foot Maple trees on the Sander's property line which have been endangered by the illegal construction. In place of that portion of the slab, plant suitable shrubbery (Taxus).

4. Safety Gate

Install a wooden safety gate at the top of the retaining wall and paint it a subdued color such as dark green or brown facing Market Street. We prefer to avoid yellow, orange and red.

5. Use of Parking Lot

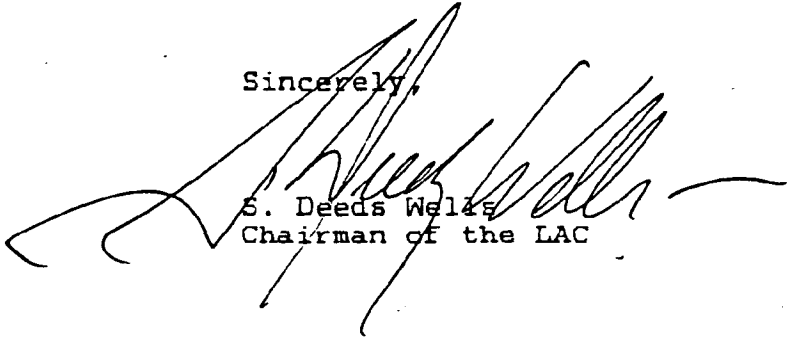
- a. No parking on the upper deck, near the gate, which now creates a double tiered parking lot effect.
- b. The one remaining truck parking place on the lower level should be chained off after business hours.

6. Responsibility for the Potential Destruction of Sander's Trees and Shrubs

A back-hoe was used to remove the earth around the roots (within 2 feet) of two large (approximately 75 feet tall) Maple trees and a privet hedge. The area was then covered with a concrete pad within 2 feet of the property line, depriving the trees and shrubs of rain water. If the trees and shrubs die during the next few years because of this abuse the U.S. Postal Service should make restitution of \$2000. to the Sanders.

This is a one time statement of opinion by the LAC due to the emergency nature of the situation.

Sincerely,



S. Deeds Wells
Chairman of the LAC

cc

Commissioners of Brookeville

Evelyn Yinger
Clyde Unglesbee

Members of the LAC

Diane Allan
Anita Archer
Mary Gardner
Dee Heritage
Karen Montgomery
Connie Sanders
Les Unglesbee
S. Deeds Wells
Evelyn Yinger

Town of Brookeville
A Historic District on the National Register
(Founded 1794 - Incorporated 1890)

Commissioners:

Richard S. Allan, President
Clyde W. Unglesbee
Evelyn A. Yinger

Robert K. Heritage
Clerk - Treasurer

July 10, 1985

Mr. R.K. Regan
Realty Management & Acquisition Specialist
Field Real Estate and Buildings Office
U. S. Postal Service
P. O. Box 701
Columbia, Maryland 21045-0701

Re: Brookeville Post
Office

Dear Mr. Regan:

This is with further reference to our telephone discussion of July 1, 1985 regarding the construction authorized by the U. S. Postal Service at the Brookeville Post Office. As I indicated to you, the construction, which consisted of the clearance of vegetation, excavation, the construction of a concrete block retaining wall, and the pouring of concrete slabs on two elevations for parking was carried out without a building permit as required by the Town of Brookeville Code. Further, a permit was required from the Brookeville Historic District Local Advisory Committee (LAC) authorized pursuant to Chapter 24A of the Montgomery County Code. I have enclosed a Town of Brookeville building permit form for which there is a \$25 filing fee as well as a Montgomery County Historic District Work Permit application. Please submit the completed forms as soon as possible.

The above-mentioned LAC has subsequent to our conversation expressed great concern over the nature of the construction put in place. The LAC has requested the Commissioners to pursue with the Postal Service a number of modifications to the construction. I have enclosed for your consideration a copy of The LAC's letter to the Commissioners which outline its recommendations.

Both the Commissioners and the LAC wish to resolve these issues as quickly as possible. I appreciated your expression of concern when I initially contacted you and I am therefore hopeful we can successfully resolve this

Town of Brookeville
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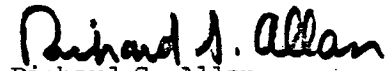
Robert K. Heritage

Clerk - Treasurer

unfortunate situation. I am sure the Postal Service desires to be a good responsive neighbor and to be sensitive to the unique historic character of the Town of Brookeville.

I can be reached at 755-5370 (202) during the day.

Sincerely,



Richard S. Allan

President of the Commissioners

Enclosures

cc Brookeville Historic District
Local Advisory Committee

Town of Brookeville
A Historic District on the National Register
(Founded 1794 - Incorporated 1890)

Commissioners:

Richard S. Allan, President

Clyde W. Unglesbee

Evelyn A. Yinger

Robert K. Heritage

Clerk - Treasurer

June 30, 1985

Mr. Wayne Harding
Postmaster
Brookeville Post Office

Dear Mr. Harding:

This is to advise you that the construction activity initiated by the United States Postal Service at the Brookeville Post Office is in violation of the Town of Brookeville Code of Ordinances, Chapter 5, Section 5-101. Section 5-101 states that "No person shall commence any construction, structural alteration, addition, removal, demolition, or location of any building, structure, or on-site access facilities to such structure without first obtaining a permit from the town." Additionally, the subject construction is in violation of Chapter 24A of the Montgomery County Code, as amended. Chapter 24A titled "Preservation of Historic Resources" requires an Historic Area Work Permit for work on public or private property before "constructing, reconstructing, moving, relocating, demolishing, or in any manner modifying, changing, or altering the exterior features of any Historic Site, or any historic resource located within an Historic District."

Further construction work shall not be undertaken until required permits are obtained by the United States Postal Service in compliance with the above ordinances.

Sincerely,

Richard S. Allan
Richard S. Allan
President

July 2, 1985

Mr. Don Boswell
Dept. of Environmental Protection
101 Monroe Street
Rockville, MD 20850

Dear Mr. Boswell:

I am writing to inform you of construction on the property at One High Street in Brookeville, which was done without any permit in violation of the Town code, the County Historic Preservation Ordinance, and possibly County building codes and zoning ordinances. This construction began on June 28, 1985 and was substantially completed by July 1. The property is privately owned and is leased by the U.S. Postal Service.

The construction involved erection of a 5-foot high retaining wall, expansion of a paved parking lot, and widening and paving of a driveway. The retaining wall is of 6-inch block construction without reinforcement.

As a result of this construction, virtually the entire lot has been paved over, with the new pavement extending to within 3 feet of the adjoining property. The excavation and paving threaten two large maple trees located on the property line. Furthermore, the drainage is such that the entire paved parking area now drains onto the adjoining property. I strongly believe that, had the plans for this project been submitted for proper review, they would not have been approved in the present form.

I appreciate your looking into this matter as soon as possible.

Sincerely,

Stephen F. Sanders
212 Market St. P.O. Box 212
Brookeville, MD 20833

(301)774-0554

cc: Bobbi Hahn
Executive Director, Historic Preservation Commission

Richard Allen
President, Brookeville Town Commissioners



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850

279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

* Property is leased by US Postal Service for a Postal facility

TAX ACCOUNT # 731836

NAME OF PROPERTY OWNER Nicholas Petrucci ** TELEPHONE NO. (301) 774-6206
(Contract/Purchaser) (Include Area Code)

ADDRESS 13608 Darnestown Rd Darnestown MD 20878
CITY STATE ZIP

CONTRACTOR Fram Developers, Inc. TELEPHONE NO. (301) 831-5518
CONTRACTOR REGISTRATION NUMBER 06-544879

PLANS PREPARED BY United States Postal Service TELEPHONE NO. (301) 795-1866
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 1 Street High Street

Town/City Brookville Election District 8-01

Nearest Cross Street Georgia Avenue

Lot 47 Block _____ Subdivision Town of Brookville

Liber 4916 Folio 325 Parcel 532

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	<u>Repair</u>	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revision	Porch	Deck	Fireplace
				Fence/Wall	Shed	Solar
				<u>(Block)</u>	Woodburning Stove	Other

1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet 48 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

By: Fram Developers, Inc. 8-6-85 Date

Signature of owner or authorized agent (agent must have signature notarized on back) Thomas M. Frey, President

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: 8-6-85 B. Hall PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Repairs to existing dock and parking area at United States Post Office as per attached plans.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

State of Maryland
County of Carroll Do wit:

I do hereby certify that on this 6th day of August 1985 James M. Frey, President of Frey Developers, Inc. personally known to me, appeared and executed the foregoing document
Witness my Hand and Notarial Seal.

[Signature]
Notary Public

My Commission Expires 7-1-86



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

* Property is leased by US Postal Service for a Postal facility

TAX ACCOUNT # 731836

NAME OF PROPERTY OWNER Nicholas Petrucci **
(Contract/Purchaser)

ADDRESS 13608 Darnestown Rd Darnestown MD 20878
CITY STATE ZIP

CONTRACTOR Frall Developers, Inc. TELEPHONE NO. (301) 831-5518

PLANS PREPARED BY United States Postal Service TELEPHONE NO. (301) 795-1866
CONTRACTOR REGISTRATION NUMBER 06-544879
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 1 Street High Street

Town/City Brookeville Election District 8-01

Nearest Cross Street Georgia Avenue

Lot 47 Block — Subdivision Town of Brookeville

Libert 4916 Folio 325 Parcel 532

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	<u>Repair</u>	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revision	Porch	Deck	Fireplace
		Revocable		Fence/Wall	Complete	Shed
						Solar
						Woodburning Stove
						Other

1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet 48 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

By: James M. Frey, President Date: 8-6-85

Signature of owner or authorized agent (agent must have signature notarized on back)

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: 8-6-85 B. Hahn PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Repairs in concrete to existing dock and parking area at US Post Office as per plans.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

State of Maryland
County of Carroll Do Wit:

I do hereby certify that on this 6th day of August 1985, James M. Fry, President of Fry Developers, Inc, personally known to me, appeared and executed the foregoing document.

Witness my hand and Notarial Seal.



my Commission expires 7-1-86

Dawn J. Starnagel
Notary Public



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

* Property is leased by US Postal Service for a Postal facility

TAX ACCOUNT # 731836

NAME OF PROPERTY OWNER Nicholas Petrucci** TELEPHONE NO. (301) 774-6206
(Contract/Purchaser) (Include Area Code)

ADDRESS 13608 Darnestown Rd Darnestown MD 20878
CITY STATE ZIP

CONTRACTOR Frank Developers, Inc. TELEPHONE NO. (301) 831-5578

PLANS PREPARED BY United States Postal Service CONTRACTOR REGISTRATION NUMBER 06-544879 TELEPHONE NO. (301) 795-1816
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 1 Street High Street

Town/City Brookville Election District 8-01

Nearest Cross Street Georgia Avenue

Lot 47 Block 0 Subdivision Town of Brookville

Liber 4916 Folio 325 Parcel 532

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	<u>Repair</u>	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other

1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000.00 (Block)

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT: SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01	<input checked="" type="checkbox"/>	WSSC	02	<input type="checkbox"/>	Septic
03	<input type="checkbox"/>	Other	_____		

2B. TYPE OF WATER SUPPLY

01	<input checked="" type="checkbox"/>	WSSC	02	<input type="checkbox"/>	Well
03	<input type="checkbox"/>	Other	_____		

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet 48 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

By: James M. King Signature of owner or authorized agent (agent must have signature notarized on back) Date 8-6-85
*****President*****

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: 8-6-85 B. Hahn PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Repairs in Concrete to existing dock and parking area at US Post ofc. As per plan

(If more space is needed, attach additional sheets on plain or lined paper to this application)

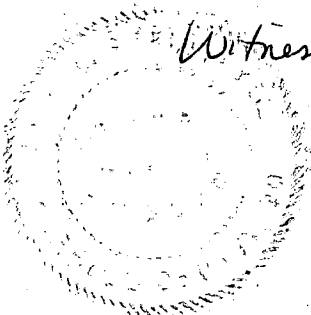
ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

State of Maryland
County of Carroll Do wit:

I do hereby certify that on this 6th day of August 1985, James M. Farley, Pres. of Grell Developers, Inc, known personally to me, appeared and executed the foregoing document.

Witness my Hand and Notarial Seal.



[Signature]
Notary Public

My Commission Expires 7-1-86



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 92000

NAME OF PROPERTY OWNER Montgomery County TELEPHONE NO. 279-1327
(Contract/Purchaser) (Include Area Code)

ADDRESS 100 Maryland Avenue CITY Rockville STATE MD ZIP 20850

CONTRACTOR John J. ... TELEPHONE NO. 279-1327

PLANS PREPARED BY ... CONTRACTOR REGISTRATION NUMBER ... TELEPHONE NO. ...
(Include Area Code)

REGISTRATION NUMBER ...

LOCATION OF BUILDING/PREMISE

House Number 1 Street 100 Maryland Avenue

Town/City Rockville Election District 2-1

Nearest Cross Street ...

Lot 47 Block ... Subdivision ...

Liber ... Folio 375 Parcel ...

1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Repair Revision
 Circle One: A/C Slab Room Addition
 Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 2000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIDNS

2A. TYPE OF SEWAGE DISPOSAL
 01 (x) WSSC 02 () Septic
 03 () Other _____

2B. TYPE OF WATER SUPPLY
 01 (x) WSSC 02 () Well
 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet 48 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Repairs to existing dock and parking area at United States Post Office as per attached plans.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

State of Maryland
County of Carroll I wit:

I do hereby certify that on this 6th day of August 1985 James M. Frey, President of Frey Developers, Inc. personally known to me, appeared and executed the foregoing document
Witness my Hand and Notarial Seal.

Edward J. Hanzel
Notary Public

my commission expires 7-1-86